

- IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION, A MECHANICAL VENTILATING SYSTEM MAY BE PROVIDED, SUCH SYSTEM SHALL BE CAPABLE OF PROVIDING TWO AIR CHANGES PER HOUR FOR ALL GUEST ROOMS, CORRIDORIES, HABITABLE ROOMS, AND IN PUBLIC CORRIDORS, ONE FIFTH OF THE AIR SUPPLY SHALL BE TAKEN FROM OUTSIDE THE BUILDING. IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, AND SLEEPING ROOMS, A MECHANICAL VENTILATION SYSTEM CONNECTS DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR SHALL BE PROVIDED.
- PER CALIFORNIA CARBON MONOXIDE PREVENTION ACT OF 2010 CALIFORNIA'S CARBON MONOXIDE PREVENTION ACT OF 2010 REQUIRES THAT ALL RESIDENTIAL PROPERTY BE EQUIPPED WITH A CARBON MONOXIDE DETECTOR WHEN THE PROPERTY HAS A FISSILE FUEL BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE.
- SHOWER STALLS AND TUB ENCLOSURES SHALL CONFORM TO THE REQUIREMENTS OF CBC SECTION 411.102 SQUARE INCHES MINIMUM FLOOR AREA WITH 30 INCHES MINIMUM BAY DIMENSION.
- MAXIMUM FLOOR LEVEL CHANGE AT ANY DOOR SHALL BE "TWO INCHES" EXCEPT IF STAIRS END AT DOORWAY AND THE DOOR DOES NOT SWING OVER TOP STEP. CBC SECTION 1009.
- APPLIANCES PROVIDED IN GARAGE, WAREHOUSE OR OTHER AREAS WHERE THEY MAY BE SUBJECT TO MECHANICAL DAMAGE SHALL BE SUBSTITUTED AGAINST SUCH DAMAGE BY BEING BEHIND PROTECTIVE BARRIERS OR BY BEING ELEVATED OR LOCATED OUT OF THE NORMAL PATH OF VEHICLES.
- ATTIC ACCESS SHALL BE AT LEAST 20 INCHES X 30 INCHES NET CLEAR OPENING WITH A MINIMUM 30 INCHES HEAD ROOM, THERE IS NO HEAT PRODUCING EQUIPMENT IN ATTIC SPACE.
- UNDER-DOOR ACCESS SHALL BE AT LEAST 1 1/2 INCHES X 24 INCHES NET CLEAR OPENING WITHOUT PIPE OR DUCT INTERFERENCE.
- ACCESS FOR BATHUB TANK AND ALL CLEANOUTS SHALL BE PROVIDED WITH A MAXIMUM 20 FEET OBTANCE TO ALL PLUMBING IN CRAWL SPACE OR A CLEANOUT SHALL BE PROVIDED AT THE EXTERIOR WALL.

- MASONRY:**
- MASONRY VENEER SHALL COMPLY WITH CBC CHAPTERS 21 AND 23.
 - VENEER TIES AND A WEATHERPROOF COVERING SHALL BE PROVIDED AS REQUIRED.

- MIRRORS:**
- MIRRORS SHALL BE 1/4 INCH POLISHED GLASS, 1/4" QUALITY.

- INSULATION:**
- ALL INSULATION BATTIS SHALL BE PROVIDED WITH A VAPOR BARRIER AGAINST HEATED SPACE.
 - INSULATION INSTALLATION DETAILS ARE REQUIRED IN THE EXTERIOR AND COMMON WALLS BETWEEN THE INTERIOR CONDITIONED SPACE AND THE GARAGE.
 - FOR UNDER-FLOOR INSULATION BATTIS SHALL BE OVER 1/8 INCH NETTING OR METAL WIRING.
 - EXCEPT WHEN ENCLOSED, USABLE SPACE UNDER STAIRS IS PROHIBITED BY CBC SECTION 1009.
 - THE WALLS AND SOFFITS OF THE ENCLOSED SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ON-SHOULDER PRESERVATION OF THE CONSTRUCTION.
 - INSULATION SHALL NOT BLOCK REQUIRED VENTILATION IN RAFTER CAVITIES, ATTICS OR CRAWL SPACES.

- KITCHEN APPLIANCES:**
- THE FOLLOWING APPLIANCES SHALL BE PROVIDED: WALL OVEN RANGE COMPLETE WITH EXHAUST FAN SYSTEM (DISHWASHER/GARAGE DISPOSAL).
 - APPLIANCES SHALL BE SELECTED BY OWNER.
 - WATER HEATER SHALL BE ONSITE AND TYPE MANUFACTURED BY RENOWNED GENERAL CONTRACTOR SHALL PROVIDE MODEL NUMBER AND COMPLETE SPECIFICATIONS FOR OWNERS REVIEW PRIOR TO ORDERING.

- PAINTING:**
- NO PAINTING OR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH DEGRADIZE THE QUALITY OF THE WORK. SURFACES TO BE FINISHED SHALL BE IN PROPER CONDITION TO RECEIVE FINISH. EACH COAT SHALL BE APPLIED AT THE PROPER CONSISTENCY, FREE OF DUSTS, SANDS, BRUSH MARKS, SPATTERING OR ANY EXCESSIVE COLOR WORKMANSHIP.
 - SURFACES SHALL BE SMOOTH, SMOOTH WALL HOLES AND IMPERFECTIONS IN THE WOOD SHALL BE FILLED WITH WAXING OF THE SAME COLOR AS THE FINISH.
 - ALL ITEMS HAVING A FACTORY FINISH SHALL NOT BE PAINTED, ALL OTHER SURFACES SHALL BE PAINTED OR FINISHED WHETHER SPECIFICALLY MENTIONED HEREIN OR NOT.
 - PAINT MATERIALS SHALL BE APPROVED BY OWNER.
 - DRYWALL IN KITCHEN, BATHS, LAUNDRY, AND GARAGE SHALL BE ENAMELED, ALL OTHER DRYWALL AREAS SHALL HAVE ONE COAT OF ENAMELED WHITE FINISH. INTERIOR TRIM SHALL BE ENAMELED.
 - NATURAL WOODS SHALL BE FINISHED WITH SEMI-TRANSPARENT STAIN AND SEALER. CABINETS AND WOOD DOORS SHALL BE SMOOTH, STAINED, AND SEALED.
 - WOOD SPRING TRIM, FASCIA BEAMS, AND RAILINGS SHALL BE TREATED WITH A SEMI-PERMEABLE OR HIGHLY EASY-TO-REPEL FINISH.
 - EXTERIOR DOORS SHALL HAVE TWO COATS OF EXTERIOR TYPE SPARK FINISH.
 - ALL GALVANIZED METAL SHALL BE COATED WITH EPOXY ENAMEL.
 - SPECIAL CARE SHALL BE TAKEN TO PRESERVE NATURAL WOODWORK, WORK SHALL BE NEAT, CLEAN, AND ACCURATE SO AS NOT TO DAMAGE FINISH ON NATURAL WOOD SURFACES. ALL SURFACES NOT INTENDED TO HAVE PAINT SHALL BELIEF IN A CLEAN CONDITION.

- PLUMBING:**
- THE PLUMBING CONTRACTOR SHALL DESIGN AND PROVIDE A COMPLETE PLUMBING SYSTEMS INDICATED ON THE DRAWINGS.
 - PIPES SHALL BE SIZED APPROPRIATELY TO ACCOMMODATE THE FITURES SERVED, THE PLUMBING CONTRACTOR SHALL MAKE ALL NECESSARY CONNECTIONS TO UTILITIES SHOWN ON PLOT PLAN AND PROVIDE ALL PIPING, ETC. REQUIRED.
 - STOP VALVES SHALL BE AT EACH FITURE OR APPLIANCE.
 - PROVIDE PLUMBING FOR AUTOMATIC WASHER, PLUMB ROUGH FOR FUTURE SOFT WATER SYSTEM (IT HOT SIDE SHALL PLUMB FOR AT LEAST EXTERIOR HOSE BIBBS).
 - PROVIDE A PRESSURE RELIEF VALVE AT THE WATER HEATER, PROVIDE A PRESSURE REDUCER IF WATER PRESSURE EXCEEDS 80 PSI.
 - PROVIDE ALL GYMNASTIC OR LEAD ROOF JACKS FOR PLUMBING VENTS, ETC., AS REQUIRED AND LOCATE ALL ROOF VENTS SO THEY ARE NOT VISIBLE FROM THE STREET OR ENTRY WALK.
 - REINFORCEMENT SHALL BE NOT LESS THAN #4 @ 200 NOMINAL LUMBER, FLUSH WITH THE WALL FRAMING, AND LOCATED BETWEEN 20 INCHES AND 30 INCHES ABOVE THE FINISH FLOOR.
 - WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FITURE, OR ONE SIDE WALL AND THE BACK WALL.
 - SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
 - BATHUB AND COMBINATION BATH/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHUB AND BACK WALL, ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 18 INCHES ABOVE THE BATHUB RIM.
 - SHOWER AND TUB/SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, CPC 408.5.
 - MAXIMUM WATER TEMPERATURE DISCHARGING FROM AN INDIVIDUAL SHOWERHEAD SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT, SPECIFY ONE OF THE TEMPERATURE LIMITING METHODS LISTED IN CPC 408.5.2.

- INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4, DIVISION 4.4, CPC 402.1.1.4.
- A BACKFLOW PREVENTER WITH INTERMEDIATE ATMOSPHERIC VENT CONSISTS OF TWO INDEPENDENTLY ACTING CHECK VALVES, FORCE LOADED TO A NORMALLY CLOSED POSITION, AND AN INTERMEDIATE CHAMBER WITH A MEANS FOR AUTOMATICALLY VENTING TO ATMOSPHERE, FORCE LOADED TO A NORMALLY OPEN POSITION.

- TILE:**
- TILE SHALL BE INSTALLED IN ACCORDANCE WITH BEST METHODS AND CONSTRUCTION PRACTICES. JOINTS SHALL BE KEPT NEAT AND SYMMETRICAL AND ALL LINES SHALL BE TRUE AND STRAIGHT.
 - JOINTS AND TILE SHALL BE THOROUGHLY WASHED.
 - OWNER SHALL SELECT COLOR, FINISH AND PATTERN OF ALL TILE AND GROUT.

- TRIM WORK:**
- ALL EXTERNAL FASCIAE SHALL BE SCARFED, NO BUTT JOINTS OR SPACED BOARDS SHALL BE ALLOWED, ALL TRIM CONNECTIONS SHALL BE TIGHT AND FIT FLUSH AGAINST THE EXTERIOR.
 - ALL EXTERIOR REDWOOD DECORS SHALL BE INSTALLED IN A CRAFTSMANLIKE MANNER, AND ALL MFERED CORNERS AND EXPOSED EDGES, REMOVE ALL SHARP EDGES FROM HANDRAILS.
 - CLOSETS SHALL HAVE SHELVES OF 1/2 INCH SERRAPHINE "ARRED", SOLID PINE SHELVES MAY BE USED AS A SUBSTITUTE, CLOTHES POLE MADE OF PINE, 1 1/2 INCH DIAMETER, AN INTERMEDIATE SUPPORT FOR SPANES LONGER THAN 40 INCHES SHALL BE PROVIDED AND A 1/4 INCH HOOK STRIP TO ALSO ACT AS A SHELF SUPPORT.
 - 3/4 INCH SERRAPHINE "ARRED" MET SHALL BE USED AS UNDERLAMENT UNDER ALL RECENT FLOORING EXCEPT FOR SLAB AREAS, NAL 3 INCHES ON CENTER 1/2" IN FROM EDGE, 4 INCHES ON CENTER FIELD.

- VENTILATION:**
- BEDROOMS, LIVING ROOM, KITCHEN, DINING ROOM, FAMILY ROOM AND ALL OTHER HABITABLE ROOMS SHALL HAVE A WINDOW AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM WITH A MINIMUM AREA OF 4 PERCENT OPERABLE FOR NATURAL VENTILATION, OR A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 7 AIR CHANGES PER HOUR, CBC CHAPTER 13.
 - MECHANICAL VENTILATION SYSTEMS MUST SUPPLY 5 CHANGES PER HOUR IN BATHROOMS AND LAUNDRY ROOMS, 2 CHANGES PER HOUR IN OTHER HABITABLE ROOMS.
 - CLOTHES DRYER SHALL BE VENTED TO EXTERIOR OF BUILDING.
 - VENTS SHALL BE PROVIDED FOR KITCHEN FANS, BATH FANS, GAS RANGES, GAS HEATERS, AND ANY OTHER AS INDICATED ON THE DRAWINGS.
 - ATTIC VENTILATION SHALL BE PROVIDED EQUAL TO 1/50 OF AREA TO BE VENTILATED, VENT AT TIC PER CBC SECTION 1009.
 - PROVIDE 1" X 1/4" SCREENED CEILING VENTS AT 4 FEET ON CENTER EQUAL TO NOT LESS THAN 1/50 OF UNDER-COR AREA BEGINNING 3 FEET FROM CORNERS, LOCATE ON OPPOSITE WALLS TO PROVIDE CROSS-VENTILATION.
 - PROVIDE 60 SQUARE INCHES FRESH VENTILATION PER CAR TO OUTSIDE AIR, 6 INCHES ABOVE THE GARAGE FINISHED FLOOR NEAR THE GARAGE DOOR IF POSSIBLE.

- WATER HEATERS:**
- WATER HEATER SHALL BE APPROVED WITH A TEMPERATURE AND PRESSURE-RELIEF VALVE HAVING A FULL SIZE DRAIN OF GALVANIZED STEEL OR HAND-DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 1 FEET OR LESS THAN 6 INCHES ABOVE GRADE, POINTING DOWNWARD AND WITH THE TERMINAL END BEND UNTHREADED.
 - PROVIDE A 1/2 INCH DIAMETER POWER RECIRCULATION PUMP ON THE HOT WATER LINE, IF REQUESTED BY OWNER.
 - ON DEMAND WATER HEATERS SHALL BE INSTALLED IN COMPLIANCE WITH MANUFACTURERS REQUIREMENTS.

- WATER HEATER STRAPPING:**
- WATER HEATER STRAP SHALL BE LOCATED BETWEEN 8 INCHES AND 10 INCHES FROM THE TOP OF THE WATER HEATER TANK CASE, THIS STRAP SHALL BE GALVANIZED 3/4 INCH WIDE MINIMUM PERFORATED STEEL STRAP AND HAVE MINIMUM 5/16" SIZE HOLES, PROVIDE 1/4 X 3/4 LAG BOLTS WITH WASHERS LOCATED AT EACH END OF STRAP TO STUD.
 - WATER HEATER BASE ANCHORAGE SHALL NOT BE CONSTRUCTED TO BE USED IN LIEU OF THE UPPER STRAP.
 - MINIMUM 2 INCHES NON-COMBUSTIBLE SPACER BETWEEN WATER HEATER TANK AND WALL STUD UNLESS WATER HEATER IS APPROVED FOR A LESSER CLEARANCE FROM COMBUSTIBLES.

- WATER RESISTANT WALL MATERIAL:**
- SHOWER AREA WALLS SHALL BE PROVIDED WITH A NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 70 INCHES.
 - WALL SURFACES BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIAL SHALL BE CONSTRUCTED OF MATERIAL NOT ADVERSELY AFFECTED BY WATER, IF GYPSUM BOARD IS USED, IT MUST BE APPROVED WR BOARD PROVIDED ACCORDING TO CBC CHAPTER 25.

- WINDOWS:**
- WINDOWS SHALL BE "SERRA PACE" QUALITY OR EQUAL.
 - WINDOWS SHALL BE DUAL THERMAL PANE SELECTED BY OWNER.
 - SCREENS AND LOCKS SHALL BE PROVIDED FOR ALL OPENINGS.
 - WINDOWS SHALL BE STRAIGHT, PLUMB AND TRUE, AND SHALL OPERATE EASILY WITHOUT BINDING, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTION.

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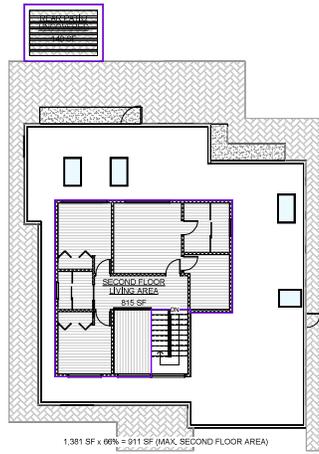
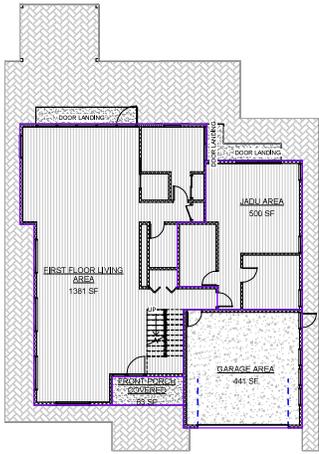
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No.	Description	Date
1	1/18	7/2/2025

**THE
 GENERAL
 NOTES**

DRAWING NUMBER
A 003

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1 FIRST FLOOR AREA PLAN
1/8" = 1'-0"

2 SECOND FLOOR AREA PLAN
1/8" = 1'-0"

AREA SCHEDULE	
Name	Area
FIRST FLOOR LEVEL	
GARAGE AREA	441 SF
FIRST FLOOR LIVING AREA	1381 SF
JADU AREA	500 SF
FRONT PORCH COVERED	63 SF
2385 SF	
SECOND FLOOR LEVEL	
SECOND FLOOR LIVING AREA	815 SF
REAR PATIO UNCOVERED	140 SF
955 SF	
TOTAL AREA	3340 SF

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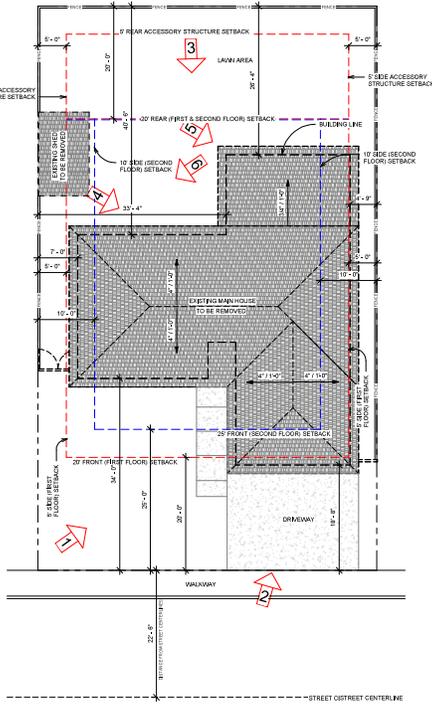
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1	PRELIMINARY	09/22/2025

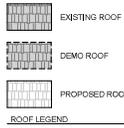
TITLE
 AREA PLAN

DRAWING NUMBER
A 004

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MACHADO AVE



EXISTING SITE PLAN
1/8" = 1'-0"



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DATE:
1/18/2025

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DESIGNER:
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No.	Description	Date
1	Site Plan	1/18/2025

TITLE:
EXISTING SITE
PLAN

DRAWING NUMBER:
A 101

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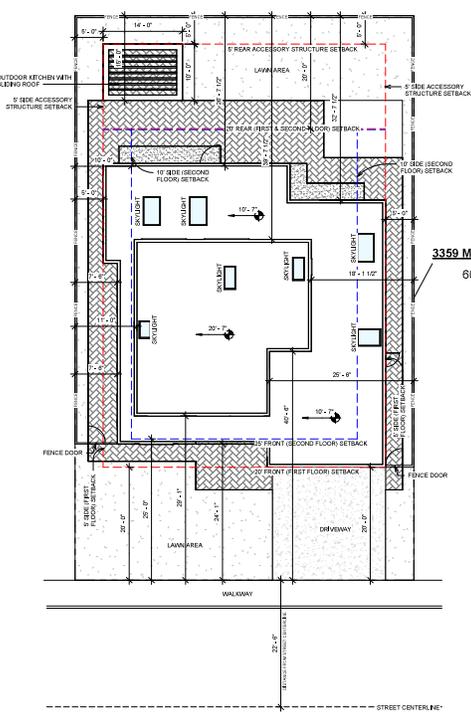
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No.	Description	Date
1	PROPOSED SITE PLAN	09/22/2021

TITLE
 PROPOSED
 SITE PLAN

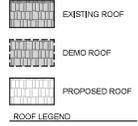
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EXTERIOR VIEW 1

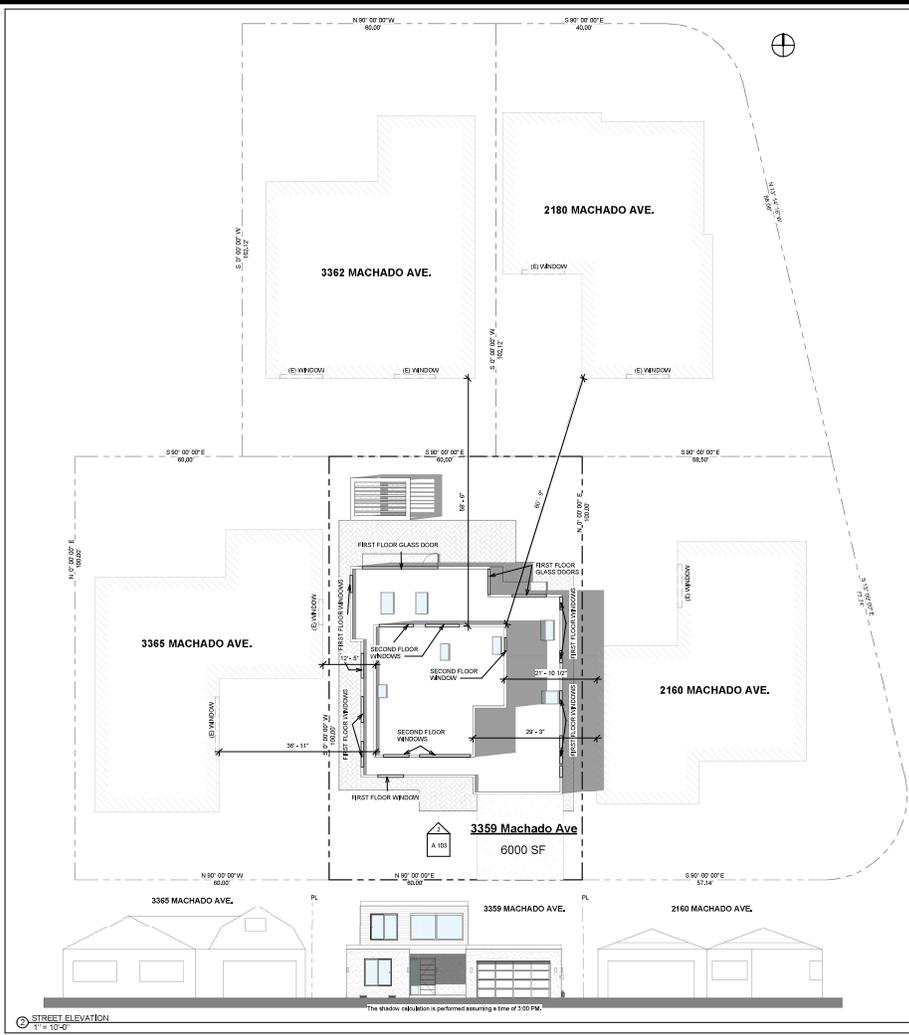


EXTERIOR VIEW 2



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PROPOSED SITE PLAN
 1/8" = 1'-0"



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DATE:
1/18/2024

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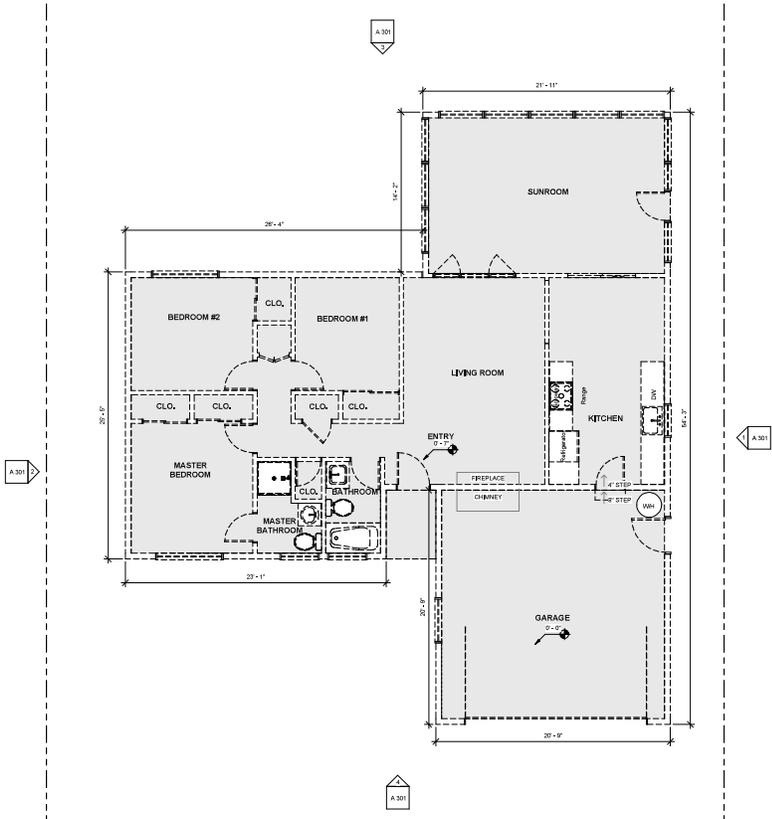
No.	Description	Date
1	PLN	1/18/2024

TITLE:
NEIGHBORHOOD
PLAN

DRAWING NUMBER:
A 103

STREET ELEVATION
1/18/2024

The shadow calculation is performed assuming a time of 3:00 PM.



EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

EXISTING FLOOR
NEW FLOOR

FLOOR LEGEND

EXISTING WALL
NEW WALL
DEMO WALL
1-HR FIRE RATED WALL

WALL LEGEND

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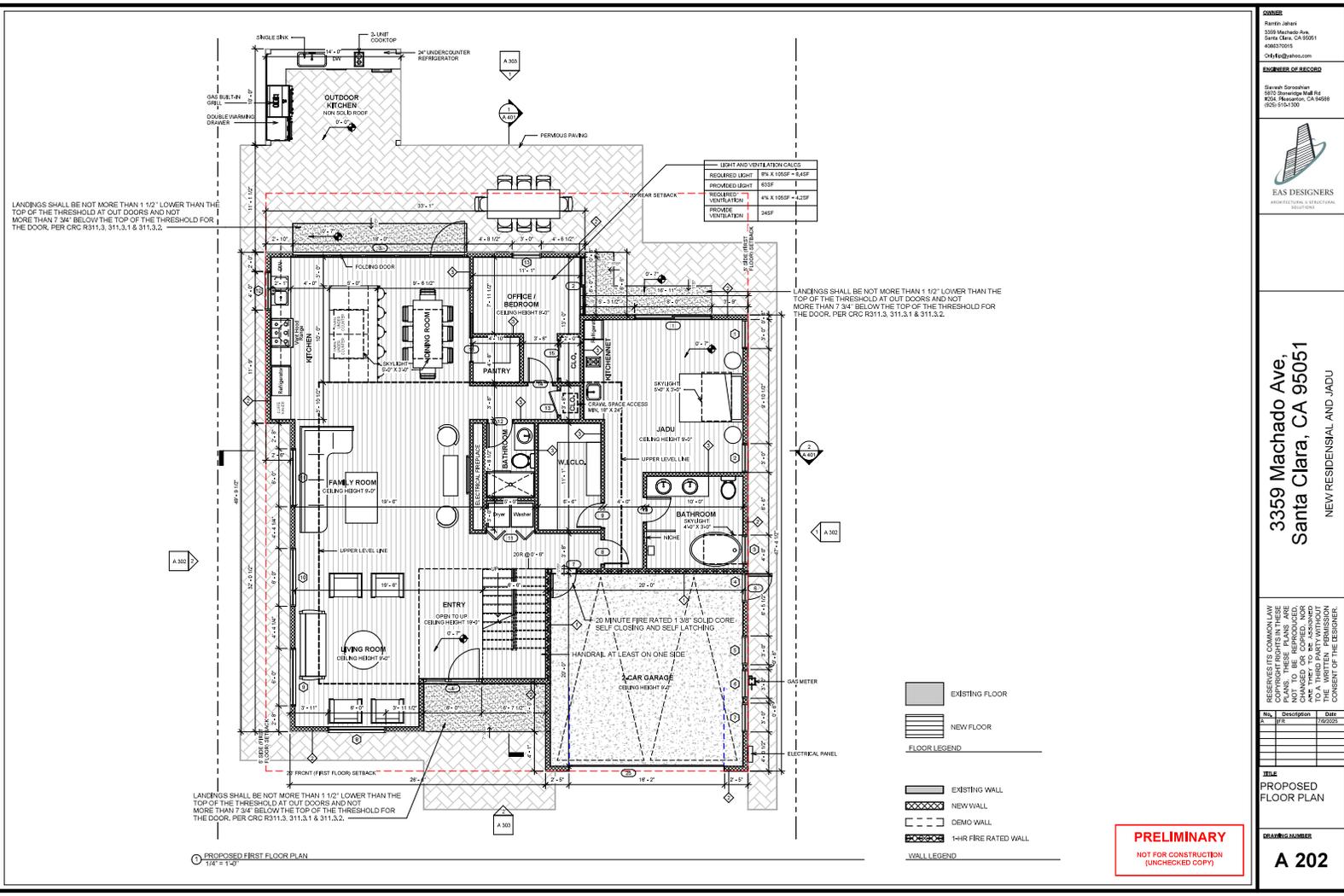
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No.	Description	Date
1		09/22/2015

TITLE:
EXISTING
FLOOR PLAN

DRAWING NUMBER:
A 201



LANDINGS SHALL BE NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD AT OUT DOORS AND NOT MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD FOR THE DOOR. PER CRC R311.3, 311.3.1 & 311.3.2.

LANDINGS SHALL BE NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD AT OUT DOORS AND NOT MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD FOR THE DOOR. PER CRC R311.3, 311.3.1 & 311.3.2.

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LIGHT AND VENTILATION TABLE

REQUIRED LIGHT	7'6" X 10'0"FP - 6,45F
PROVIDED LIGHT	633F
REQUIRED VENTILATION	4'6" X 10'0"FP - 4,33F
PROVIDE VENTILATION	345F

DATE:
09/22/2025

PROJECT:
3359 Machado Ave,
Santa Clara, CA 95051

DESIGNER:
EAS DESIGNERS



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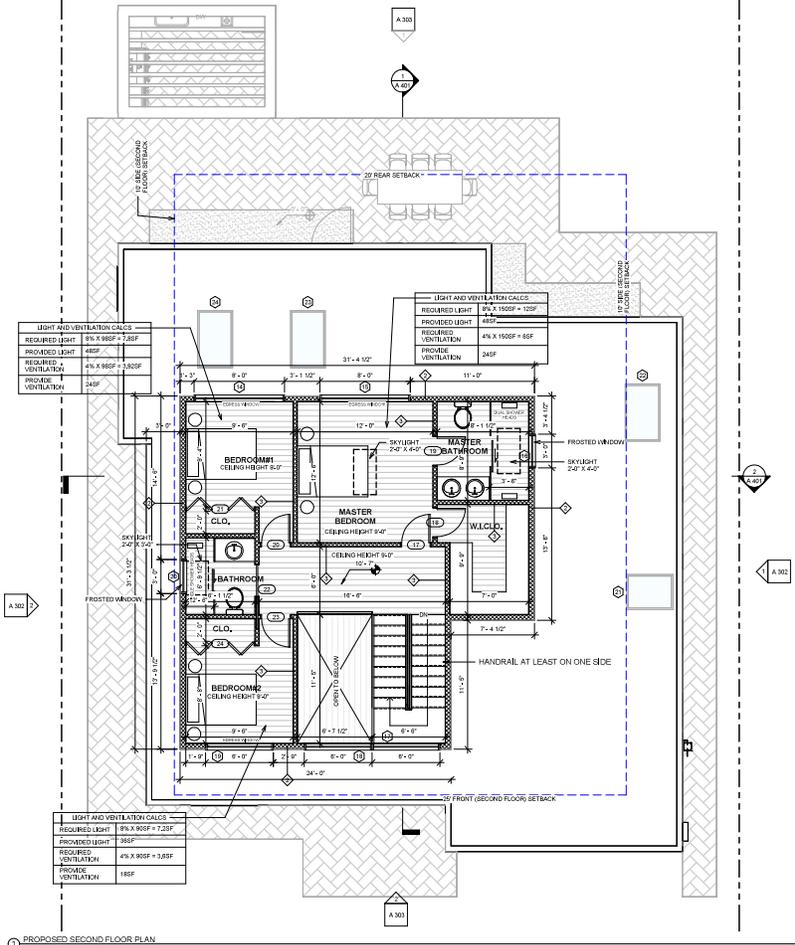
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No.	Description	Date
1	ISSUE FOR PERMITS	09/22/2025

PROPOSED FLOOR PLAN

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A 202



- FLOOR LEGEND**
- EXISTING FLOOR
 - NEW FLOOR
- WALL LEGEND**
- EXISTING WALL
 - NEW WALL
 - DEMO WALL
 - 1-HR FIRE RATED WALL

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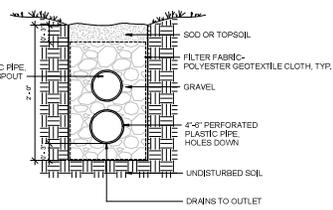
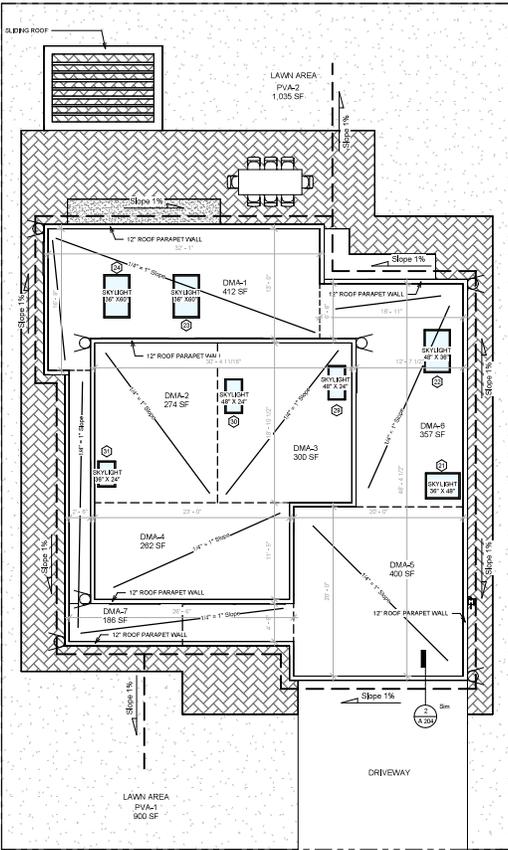
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No.	Description	Date
1	1/4" = 1'-0"	08/22/2024

TITLE: PROPOSED FLOOR PLAN

DRAWING NUMBER: **A 203**



① FRENCH DRAIN DETAIL
1 1/2" = 1'-0"

- DOWNSPOUT TO SOLID DRAIN PIPE
 - DRAIN LINE
 - DMA DRAINAGE MAINTENANCE
 - PVA PERVIOUS VEGETATED AREA
- ② DRAINAGE LEGEND

① PROPOSED ROOF PLAN
3/16" = 1'-0"

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EAS DESIGNERS
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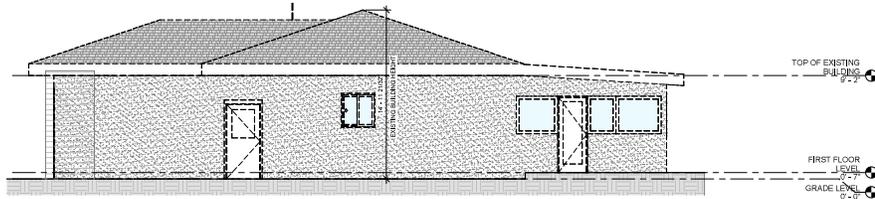
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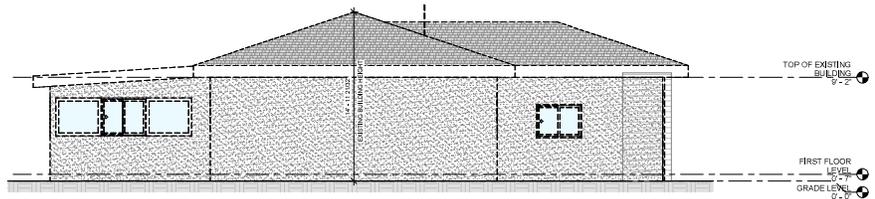
No.	Description	Date
1	PRELIMINARY	08/25/2025

TITLE:
 PROPOSED ROOF PLAN

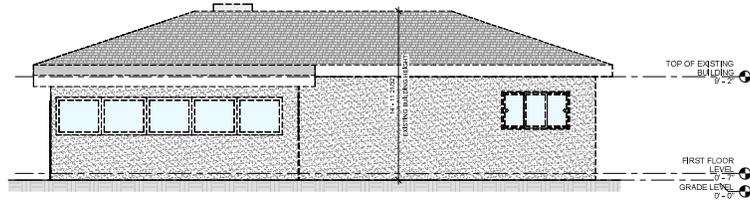
DRAWING NUMBER:
A 204



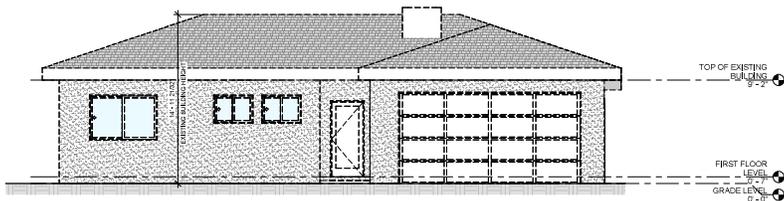
1 EXISTING EAST ELEVATION
1/4" = 1'-0"



2 EXISTING WEST ELEVATION
1/4" = 1'-0"



3 EXISTING NORTH ELEVATION
1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

PRELIMINARY
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DESIGNER
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CM.Arch@yahoo.com

ENGINEER OF RECORD
Saraiah Sarrafian
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800A, Pleasanton, CA 94588
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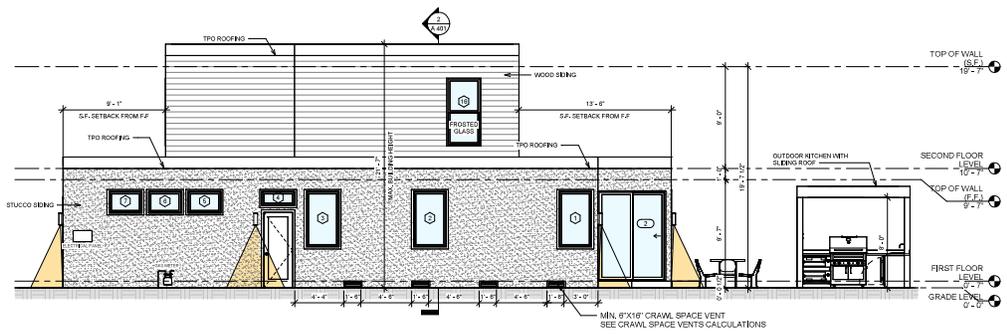
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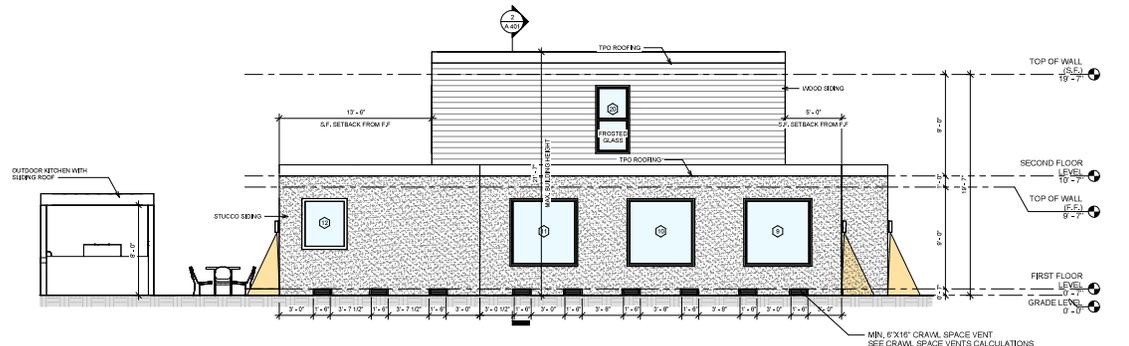
No.	Description	Date
1	1/4"	7/22/2015

TITLE
EXISTING ELEVATIONS

DRAWING NUMBER
A 301



1. PROPOSED EAST ELEVATION
1/4" = 1'-0"



2. PROPOSED WEST ELEVATION
1/4" = 1'-0"

EXTERIOR LIGHTING SHALL BE DESIGNED SO THAT IT DOES NOT DIRECT ILLUMINATION TOWARD ADJACENT RESIDENTIAL PROPERTIES OR PUBLIC STREETS, AND THE USE OF SHIELDED FIXTURES IS RECOMMENDED IN ACCORDANCE WITH THE DESIGN GUIDELINES (DESIGN GUIDELINES, P. 36).

CRAWL SPACE VENTS CALCULATION:
EFFECTIVE AREA OF CRAWL SPACE = 1,991 SF
REQUIRED AREA OF VENTILATION = 1,991/150 = 13.27 SF
TYPE 1 AREA OF SIDE VENTS (6\"/>

PRELIMINARY
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DATE:
1/20/2025

PROJECT:
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408370015
CM.Arch@yaho.com

DESIGNER OF RECORD:
Sarah Soranlian
820 Stonegate Mall Rd
Redwood City, CA 94068
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DESIGNERS

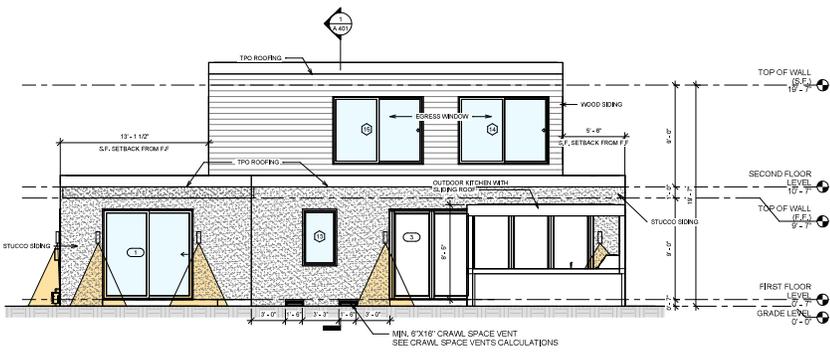
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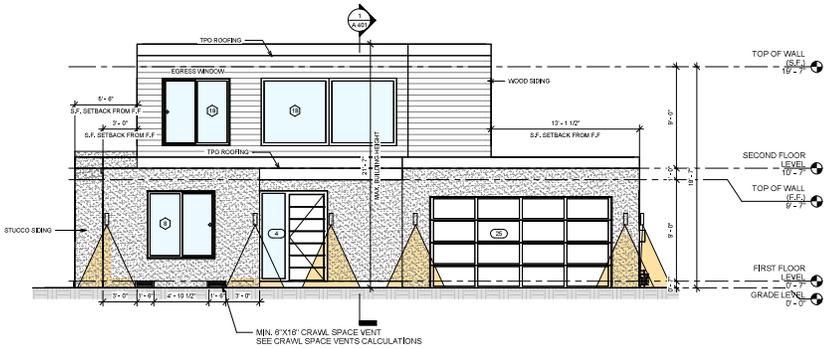
No.	Description	Date
1	1/20/2025	

TITLE:
PROPOSED
ELEVATIONS

DRAWING NUMBER:
A 302



PROPOSED NORTH ELEVATION
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR LIGHTING SHALL BE DESIGNED SO THAT IT DOES NOT DIRECT ILLUMINATION TOWARD ADJACENT RESIDENTIAL PROPERTIES OR PUBLIC STREETS, AND THE USE OF SHIELDED FIXTURES IS RECOMMENDED IN ACCORDANCE WITH THE DESIGN GUIDELINES (DESIGN GUIDELINES, P. 39).

WALL MATERIALS:

WOOD SIDING

WHITE STUCCO SIDING

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SOLUTIONS

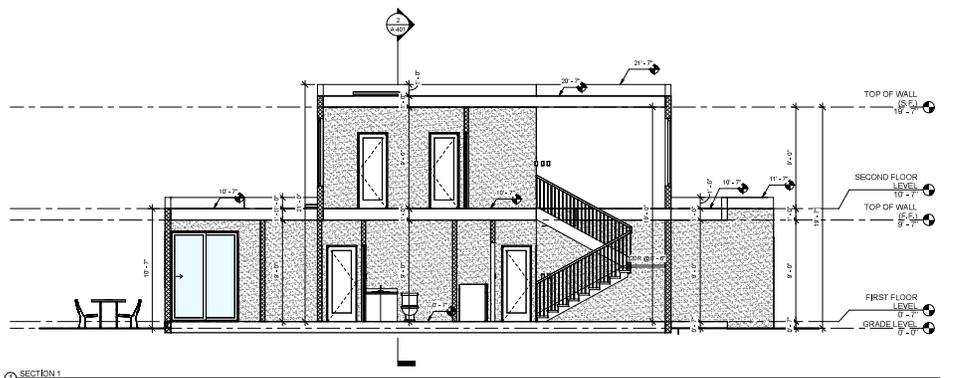
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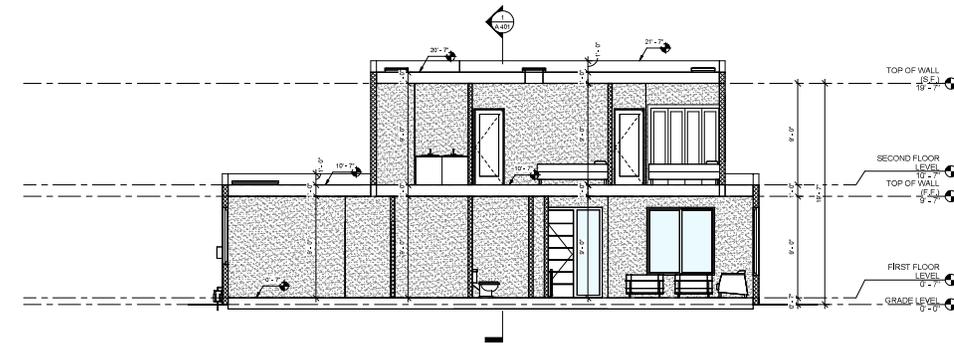
No.	Description	Date
1	1/4"	7/2/2025

TITLE
PROPOSED
ELEVATIONS

DRAWING NUMBER
A 303



SECTION 1
1/4" = 1'-0"



SECTION 2
1/4" = 1'-0"

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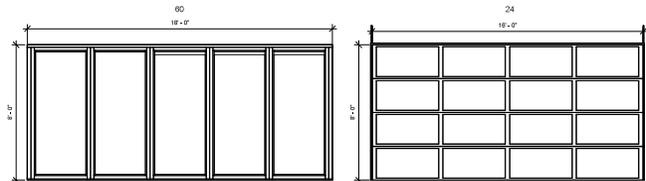
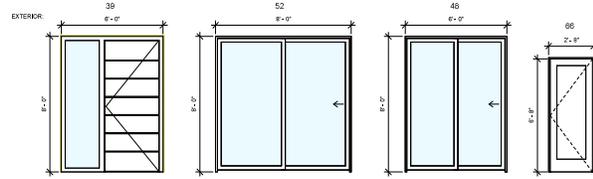
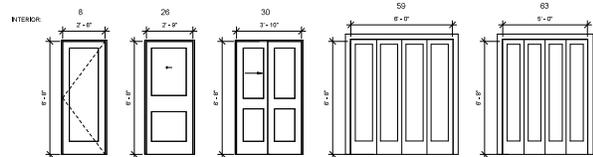
No.	Description	Date
1	Issue	09/22/2025

TITLE
PROPOSED
SECTIONS

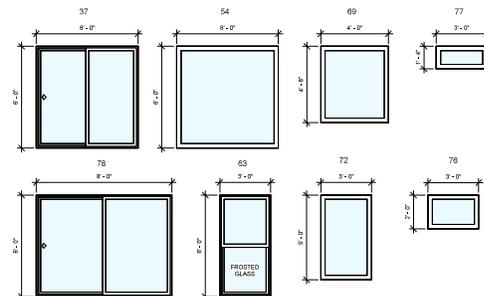
DRAWING NUMBER
A 401

DOORS SCHEDULE					
Mark	Type Mark	Level	Width	Height	Comments
New Construction					
4	59	FIRST FLOOR LEVEL	6'-0"	6'-0"	
1	52	FIRST FLOOR LEVEL	6'-0"	6'-0"	
3	60	FIRST FLOOR LEVEL	18'-0"	6'-0"	
2	47	FIRST FLOOR LEVEL	6'-0"	6'-0"	
5	66	GRADE LEVEL	2'-6"	6'-8"	
25	24	GRADE LEVEL	16'-0"	6'-0"	
Exterior					
7	8	FIRST FLOOR LEVEL	2'-6"	6'-8"	
10	8	FIRST FLOOR LEVEL	2'-6"	6'-8"	
8	8	FIRST FLOOR LEVEL	2'-6"	6'-8"	
17	8	SECOND FLOOR LEVEL	2'-6"	6'-8"	
20	8	SECOND FLOOR LEVEL	2'-6"	6'-8"	
23	8	SECOND FLOOR LEVEL	2'-6"	6'-8"	
22	28	SECOND FLOOR LEVEL	2'-10"	6'-8"	
24	59	SECOND FLOOR LEVEL	6'-0"	6'-8"	
21	59	SECOND FLOOR LEVEL	2'-0"	6'-8"	
18	8	SECOND FLOOR LEVEL	2'-6"	6'-8"	
14	8	FIRST FLOOR LEVEL	2'-6"	6'-8"	
12	8	FIRST FLOOR LEVEL	2'-6"	6'-8"	
8	8	FIRST FLOOR LEVEL	2'-6"	6'-8"	
11	63	FIRST FLOOR LEVEL	6'-0"	6'-8"	
19	8	SECOND FLOOR LEVEL	2'-6"	6'-8"	
16	11	FIRST FLOOR LEVEL	2'-6"	6'-8"	
13	8	FIRST FLOOR LEVEL	2'-6"	6'-8"	
15	30	FIRST FLOOR LEVEL	3'-10"	6'-8"	

WINDOWS SCHEDULE						
Mark	Type Mark	Level	Width	Height	Sill Height	Comments
New Construction						
8	37	FIRST FLOOR LEVEL	6'-0"	6'-0"	2'-0"	
9	54	FIRST FLOOR LEVEL	6'-0"	6'-0"	2'-0"	
11	54	FIRST FLOOR LEVEL	6'-0"	6'-0"	2'-0"	
14	78	SECOND FLOOR LEVEL	8'-0"	6'-0"	2'-0"	
5	72	FIRST FLOOR LEVEL	3'-0"	6'-0"	6'-0"	
2	72	FIRST FLOOR LEVEL	3'-0"	6'-0"	3'-0"	
1	72	FIRST FLOOR LEVEL	3'-0"	6'-0"	3'-0"	
30	66	TOP OF WALL (S.F.)	2'-0"	4'-0"		Skylight
12	66	FIRST FLOOR LEVEL	4'-0"	4'-0"	3'-6"	
13	72	FIRST FLOOR LEVEL	3'-0"	6'-0"	3'-0"	
31	70	TOP OF WALL (S.F.)	2'-0"	3'-0"		Skylight
7	76	FIRST FLOOR LEVEL	3'-0"	2'-0"	6'-0"	
6	78	FIRST FLOOR LEVEL	3'-0"	2'-0"	6'-0"	
5	76	FIRST FLOOR LEVEL	3'-0"	2'-0"	6'-0"	
4	77	FIRST FLOOR LEVEL	3'-0"	1'-6"	6'-8"	
15	78	SECOND FLOOR LEVEL	8'-0"	6'-0"	2'-0"	
20	63	SECOND FLOOR LEVEL	3'-0"	6'-0"	2'-0"	Frosted glass
19	37	SECOND FLOOR LEVEL	6'-0"	6'-0"	2'-0"	
18	54	SECOND FLOOR LEVEL	6'-0"	6'-0"	2'-0"	
17	54	SECOND FLOOR LEVEL	6'-0"	6'-0"	2'-0"	
10	54	FIRST FLOOR LEVEL	6'-0"	6'-0"	2'-0"	
24	23	TOP OF WALL (F.F.)	3'-0"	5'-0"		Skylight
23	23	TOP OF WALL (F.F.)	3'-0"	5'-0"		Skylight
22	23	TOP OF WALL (F.F.)	3'-0"	5'-0"		Skylight
21	71	TOP OF WALL (F.F.)	3'-0"	4'-0"		Skylight
20	66	TOP OF WALL (S.F.)	2'-0"	4'-0"		Skylight
16	63	SECOND FLOOR LEVEL	3'-0"	6'-0"	2'-0"	Frosted glass



NEW DOORS



NEW WINDOWS

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No.	Description	Date
1	Issue	7/22/2025

TITLE
DOOR &
WINDOW
SCHEDULES

DRAWING NUMBER
A 501

