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MEMORANDUM

Date: July 10, 2026

To: Rebecca and Andrew Fung
834 Main Street
Santa Clara, CA 95050

From: Kathleen McDonald, Conditions Assessment Specialist/ Architectural Historian

Project: 834 Main Street
GA Job #2026058

Re: Standards Compliance Review - Roof Replacement - 834 Main Street, Santa Clara

Via: ptdrbecca@gmail.com
andrew.h.fung@gmail.com

To Whom it May Concern,

Garavaglia Architecture, Inc. (GA) has been retained by Rebecca and Andrew Fung (the Client) to provide guidance on the compliance of a proposed project at 834 Main Street in Santa Clara, with the Secretary of the Interior's Standards for Rehabilitation (the Standards). The City of Santa Clara requested this review in connection with proposed re-roofing of the one-story Spanish Colonial Revival style house, which was found eligible for the California Register in 2020 and is listed on the City of Santa Clara's Historic Preservation and Resource Inventory. Because this makes 834 Main Street a historical resource under CEQA, impacts of the proposed design on the historic resource must be avoided. Additionally, the property is associated with a Mills Act contract, and so the proposed project needs to comply with the Standards. This Standards review is required as part of a Major Significant Property Alteration Permit for the project, which also needs to be reviewed by the City of Santa Clara's Historical & Landmarks Commission (HLC).

This memorandum includes a statement on historic significance and character-defining features of the resource, as well as the assessment of the proposed project design for compliance with the Standards. The Client provided a proposed project scope, current photographs of the property, and a previous Page & Turnbull Standards Review memo dated March 14, 2025, to GA for review. The Page & Turnbull memo was written in connection with a separate Major Significant Property Alteration Permit (PLN25-00116) to construct an addition to the house, which has already been reviewed and approved. The appendices to the Page & Turnbull memo

included copies of the Historic Property Preservation Agreement (Mills Act contract) and DPR forms prepared for the property in 2020 by Lorie Garcia.

PROJECT INFORMATION

Site and Building Description

The subject 5,662 square-foot site is rectangular in shape and consists of one parcel: APN 269-28-062. According to the 2025 Page & Turnbull Standards Review:

The residential property is located downtown Santa Clara, on the west side of Main Street between Lexington Street and Homestead Road and opposite City Park Plaza (Figure 1 and Figure 2). The roughly square-shaped parcel includes a one-story single-family residence, built ca. 1932 with a accessory dwelling unit (now a vehicular garage), as well as contemporary non-permanent shed and chicken coop structures. The property was originally owned and occupied by the Harold Slavens family and is referred to in existing documentation as the 'Slavens House.'



Figure 1. Aerial view of subject property outlined in yellow, with the building outlined in red (Google Earth, amended by author)

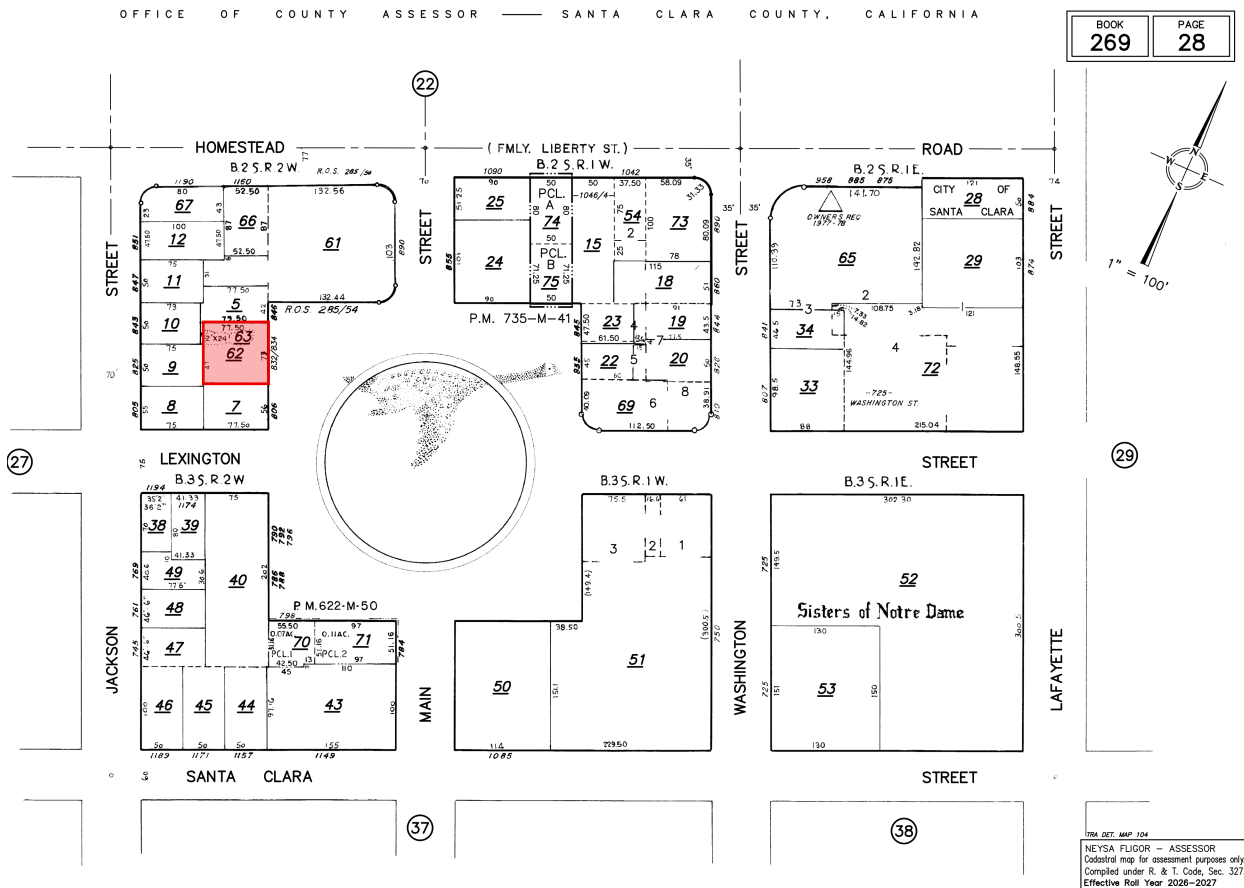


Figure 2. Assessor's Parcel Map for subject property, with property highlighted in red (Santa Clara County Assessor, amended by author, July 2026)

The main building is a one-story Spanish Colonial Revival style house that was constructed in 1932. The main roof is a low-pitch, cross-gabled form with red barrel-tile roofing. There is a rear addition with a flat tar and gravel roof. The exterior walls are stucco, with tiled weep holes in each gable end. There are three original double-hung, wood frame windows—two one-over-one windows on the north elevation, and one on the south side elevation. The rest of the windows are contemporary aluminum windows. The front facade (Figure 3) is asymmetrical, with a round tower situated between the front and side-facing gables. The tower has an arched entryway that leads to the front door. A red brick walkway and steps lead up to the front entry. Additionally, there is an arcaded wing wall that connects the main house to the garage, which is set towards the rear of the property. The front facade of the garage has a shed roof with red barrel-tile roofing, while the rear side has a flat tar and gravel roof. The walls of the garage and attached wing wall are stucco. There is a contemporary roll-up garage door on the front facade that faces the driveway and street.



Figure 3. East (front) facade of 834 Main Street (Andrew Fung, July 2026)

Historic Significance

The 2025 Page & Turnbull Standards Review laid out the historic status of 834 Main Street as follows:

- The property may be potentially eligible for the National Register of Historic Places under Criterion C for architecture for embodying the distinctive characteristics of the Spanish Revival style.
- The property is eligible for listing in the California Register of Historic Resources under Criterion 3 as an example of the Spanish Revival style architecture.
- The property does meet City of Santa Clara Historically or Cultural Significance Criteria 1 and 5 for its association with family members who contributed to the heritage of the historical development of the City and because it reflects the development of Santa Clara from a mission site to a residential neighborhood in the first third of the 20th Century.
- The property does meet City of Santa Clara Architectural Significance Criteria 1 and 5 as a rare example of the Spanish Revival architectural style found in Santa Clara and because of its visual appeal for the community due to its unusual style and prominent location.
- The property meets the City of Santa Clara Geographic Significance Criterion 2 as representative of the development of the Old Quad during the first decade of the 20th century.

Character-Defining Features:

The 2025 Page & Turnbull Standards Review lists the character-defining features of 834 Main Street as the following:

- Low pitched, cross-gable roof form with red tile covering and no eave overhang; and a
- Flat roof portion covered with tar and gravel;
- Asymmetrical façade;
- Stucco walls extending into the gable without a break;
- Tile weep holes;
- Tower;
- Arcaded wing wall;
- Prominent arch above front entry door;
- Two chimneys with elaborated chimney tops [which are] “common to Spanish Revival architecture”; and
- “...rectangular 1-over-1 double-hung windows on the north side-elevation and one medium-size square double-hung window on the south side-elevation, all of which are original wood framed windows”

PROPOSED PROJECT SUMMARY

The project under review proposes re-roofing of the historic building at 834 Main Street, due to ongoing roof leaks at the portion of the roof with barrel tile roofing. Generally, barrel roof tiles like those on the roof of 834 Main do not degrade much over time; however, the waterproof membrane underneath the tiles has a shelf life and must be replaced. Replacing the membrane requires removal of the tiles to provide access. Because the tiles have been secured in place with concrete, many of the tiles may be broken in the removal process, and therefore, will need to be replaced in-kind. The project scope includes:

- Removal of existing barrel tile roofing system on main house and front facade of the garage, including underlaying waterproof membrane.
- Replacement of barrel tile roofing system in-kind, utilizing US Tile Clay Roofing Products 2-Piece Mission tile in the color “El Camino Blend”.

APPLYING THE STANDARDS FOR REHABILITATION TO 539 MAIN STREET

Compliance

The Secretary of the Interior’s Standards (SOIS) for Rehabilitation lists 10 key elements to consider when new uses or architectural modifications are undertaken within historic resources. The following presents these 10 standards and briefly discusses the level of compliance of the proposed project at 834 Main Street in Santa Clara. For each Standard, a level of compliance is given: Compliant, Marginally Compliant, or Not Compliant. A *compliant* rating indicates that the alteration has little or no impact on the resource. A *marginally compliant* rating indicates that the overall historical significance of the resources is not impacted enough to warrant re-evaluation, but modifications to the proposed design are strongly recommended. *Not compliant* indicates that the proposed design would severely negatively impact the resource and its eligibility for formal listing on a local, state, or national inventory.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

No change of use is proposed as part of the project under review.

The proposed project is compliant with Standard 1.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The building at 834 Main Street is significant, in part, as an example of the Spanish Revival style architecture. Due to its association with this architectural style, the barrel tile roofing is one of the main character-defining features of the building. The removal of the existing tiles is required, in order to replace the waterproof membrane below. However, the tiles are proposed for replacement in-kind, so the historic character of the property will be retained. See further discussion under Standard 6.

The proposed project is compliant with Standard 2.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

As proposed, the project does not include the addition of any conjectural features or architectural elements from other buildings that create a false sense of historic development.

The proposed project is compliant with Standard 3.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

As proposed, the project does not include the alteration of any historic changes that have happened over time.

The proposed project is compliant with Standard 4.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

As previously stated, the barrel tile roofing at 834 Main Street is one of the building's main character-defining features. The removal of the existing tiles is required, in order to replace the waterproof membrane below. However, the tiles are proposed for replacement in-kind, so this distinctive feature and example of craftsmanship will subsist. See further discussion under Standard 6.

The proposed project is compliant with Standard 5.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The project under review proposes re-roofing of the building at 834 Main Street due to ongoing roof leaks at the portion of the roof with barrel tile roofing. While the durable historic barrel roof tiles remain intact, the underlying waterproof membrane has failed and requires replacement to prevent further water intrusion.

To access and replace the membrane, workers must remove the barrel tiles. Because the tiles are set in concrete, some breakage is unavoidable during removal. In accordance with Standard 6, replacement will only occur where severe deterioration or damage makes reuse impossible; where tiles are salvageable after removal, they may be reused. Any required replacement tiles will be matched in-kind—replicating the original tiles in material, design, color, texture, and overall visual quality to maintain the roof's historic integrity. In-kind replacement will utilize US Tile Clay Roofing Products 2-Piece Mission tile in the color "El Camino Blend". See below photos, comparing the existing tiles (Figure 4) to the proposed replacements (Figure 5).



Figure 4. Roofing at main building of 834 Main Street (Andrew Fung, July 2026)

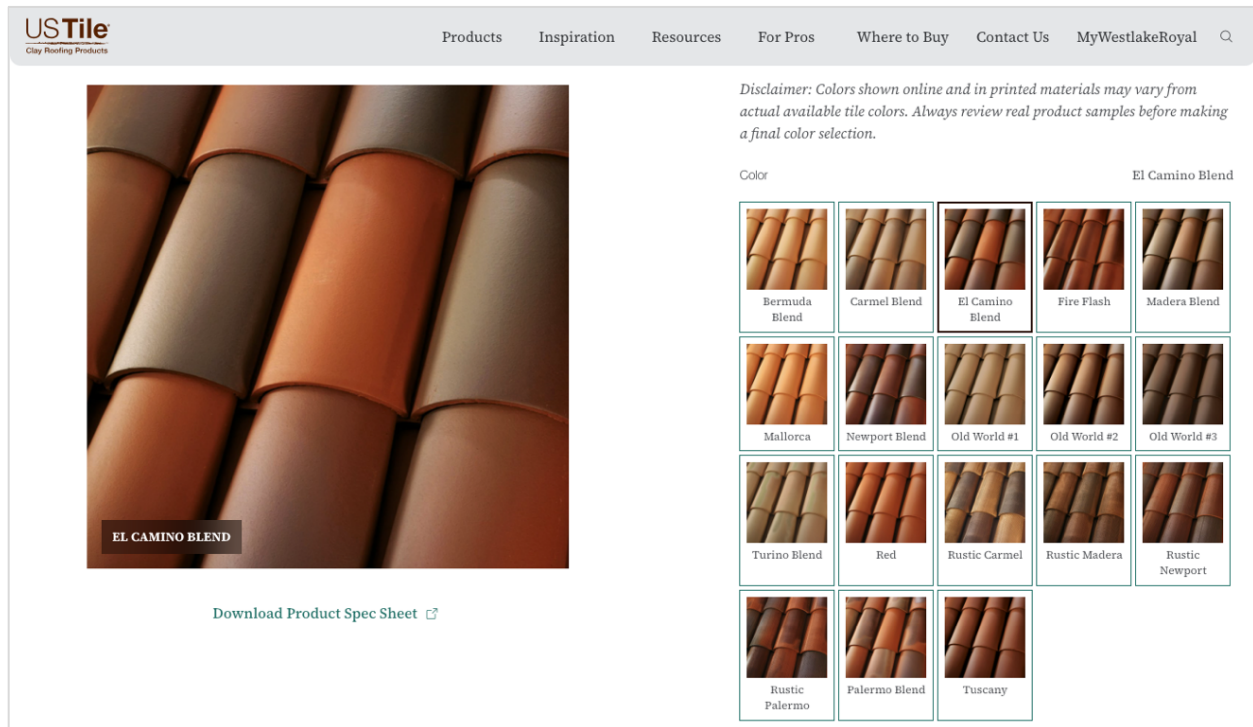


Figure 5. US Tile Clay Roofing Products in the color “El Camino Blend”
(westlakeroylbuildingproducts.com, July 2026)

Out of the available colors/blends, the proposed color “El Camino Blend” appears to be the best match for the roofing at 834 Main Street.

The proposed project is compliant with Standard 6.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Chemical or mechanical cleaning treatments are currently not proposed under this project.

As proposed, the project is compliant with Standard 7.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

No known archeological finds have been made in the area. However, should materials be found during construction, a qualified archeologist should be consulted for assessment and mitigation recommendations.

Based on available information, the proposed project is compliant with Standard 8.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

No additions or new construction are proposed as part of the project under review. The new addition being constructed was evaluated under the Standards by Page & Turnbull in a separate report in 2025.

The proposed project is compliant with Standard 9.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

No additions or adjacent new construction are proposed as part of the re-roofing project under review.

The proposed project is compliant with Standard 10.

Project Compliance Summary

The proposed re-roofing project at 834 Main Street is compliant with Standards 1 through 10. Overall compliance is not necessarily a direct sum of the level of compliance with each individual standard, however that information is weighed with the overall impact on both the design and historical significance of the resource. Depending on the reasons for significance and the level of importance of the resource, different levels of overall compliance may result. These levels may consist of *compliant*, *compliant with modifications*, *somewhat compliant*, and *not compliant*. For 834 Main Street, Garavaglia Architecture, Inc. finds the proposed project to be compliant.

CONCLUSION

Garavaglia Architecture, Inc. concludes that the proposed re-roofing project at 834 Main Street in Santa Clara complies with the Secretary of the Interior's Standards for Rehabilitation. The building at 834 Main Street is significant, in part, as an example of the Spanish Revival style architecture. Due to its association with this architectural style, the barrel tile roofing is one of the main character-defining features of the building. The removal of the existing tiles is required, in order to replace the waterproof membrane below. Because the tiles are set in concrete, some breakage is unavoidable during removal. In accordance with Standard 6, replacement will only occur where severe deterioration or damage makes reuse impossible; where tiles are salvageable after removal, they may be reused. Any required replacement tiles will be matched in-kind—replicating the original tiles in material, design, color, texture, and overall visual quality to maintain the roof's historic integrity. In-kind replacement will utilize US Tile Clay Roofing Products 2-Piece Mission tile in the color "El Camino Blend". GA recommends that the project applicant order a sample of the tile to bring to the required HLC meeting for their review and approval. The sample tile should then be compared to existing tile on site to confirm color, dimensions, and visual match, prior to placing a full order of the replacement tile.

REFERENCES

Garcia, Lorie. *DPR 523 A&B forms for the Harold Slavens House (834 Main Street)*. Beyond Buildings. October 2020.

Grimmer, Anne E. and Paul K. Williams. "Preservation Brief 30: The Preservation and Repair of Historic Clay Tile Roofs." Washington DC: National Park Service, 1992.
<https://www.nps.gov/orgs/1739/upload/preservation-brief-30-clay-tile-roofs.pdf>.

Hembree, Jen. *834 Main Street, Santa Clara – Secretary of the Interior's Standards Analysis (SOIS Analysis)*. Page & Turnbull. March, 2025.

US Tile Clay Roofing Products. "2-Piece Mission." West Lake Royal Building Products website.
<https://www.westlakeroyalbuildingproducts.com/roofing/us-tile/2-piece-mission?profile=332&color=316&title=2-Piece+Mission&sku=Tops%3A+1UADU6073%2C+Pans%3A+1UBDU7025>.

Weeks, Kay D. and Anne E. Grimmer. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*. National Park Service, Technical Preservation Services: 1995, rev. 2017 by Anne E. Grimmer.

PROFESSIONAL QUALIFICATIONS

Kathleen McDonald

Preservation Services Manager / Architectural Historian

Ms. McDonald exceeds the Secretary of the Interior's Professional Qualifications Standards for Architectural History (36 CFR Part 61) and is a qualified Architectural Historian with the California Historical Resources Information System (CHRIS). She has 7 years of experience in the field of historic preservation, and she has completed a wide variety of projects ranging from large-scale surveys and community outreach down to standards compliance review for individual buildings.

Ms. McDonald's specific project expertise includes major involvement and direction in the projects listed, contributing expertise in historic and archival research, identification and documentation of historic resources, existing condition analysis and treatment recommendations, and compliance with the Secretary of the Interior's Standards.

Recent projects in which she has managed or had major research or technical involvement with include:

- 160 West Portola Avenue Standards Compliance Review, Los Altos, CA
- 604 Milverton Road Standards Compliance Review, Los Altos, CA
- 125 Los Altos Avenue Standards Compliance Review, Los Altos, CA
- Vintage Tower Standards Compliance Review, San Jose, CA
- Mountain View Adobe Standards Compliance Review, Mountain View, CA
- 727 Miramontes Street Historic Resource Evaluation and Standards Compliance Review, Half Moon Bay, CA
- 539 Main Street Standards Compliance Review, Half Moon Bay, CA
- Dominican Sisters of Mission San Jose Karcher Library Standards Compliance Review, Fremont, CA
- Geneva Office Building Standards Compliance Review, San Francisco, CA
- 201 Baden Avenue Standards Compliance Review, South San Francisco, CA
- 455 Magnolia Avenue Standards Compliance Review, Larkspur, CA
- 47 Madrone Avenue Standards Compliance Review, Larkspur, CA
- Mare Island Facilities Major Maintenance Standards Compliance Review, Vallejo, CA
- 923-925 4th Street Standards Compliance Review, San Rafael, CA

Ms. McDonald received her Master of Historic Preservation and Bachelor of Design in Architecture from the University of Florida. Ms. McDonald then interned with the Preservation Foundation of Palm Beach, Florida, before working for the City of Key West, Florida, as a historic preservation planner. She began working for Garavaglia Architecture in September 2022.