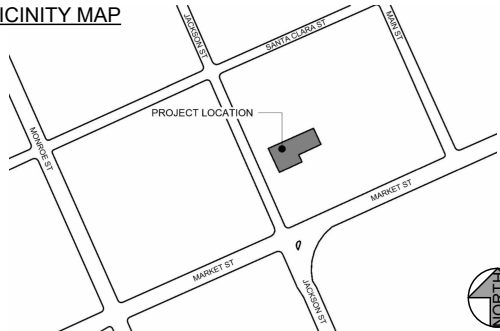


VICINITY MAP



# NEW CONSTRUCTION - SINGLE FAMILY HOME

645 Jackson St, Santa Clara, CA 95050

A.P.N. : 269-36-070



979 STORY RD  
SAN JOSE, CA 95128  
T 850.433.9454  
www.tddgus.com

**GENERAL NOTES**

- THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES ON THESE PLAN AND SPECIFICATIONS.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. AND, IN GENERAL, LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK. WHERE THE INTENT OF THE PLANS OR SPECIFICATIONS IS NOT CLEAR, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS ON PLANS ARE TO FACE OF STRUCTURE, UNLESS OTHERWISE NOTED. FINISH MATERIALS ARE TO BE ADDED TO DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED.
- VISIT TO THE SITE: THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS PROPOSAL. FOR THE WORK AND SHALL NOT START WORK UNTIL HE IS SATISFIED THAT THE ACTUAL CONDITIONS ARE SUBSTANTIALLY AS SET FORTH IN THE DRAWINGS. ONCE HAVING STARTED WORK, HE SHALL BE DEEMED TO HAVE ACCEPTED THE EXISTING CONDITIONS AS READY FOR HIS WORK, AND IT WILL BE HIS RESPONSIBILITY TO MAKE WHATEVER ADJUSTMENTS, CORRECTIONS AND REPAIRS TO THEM AS REQUIRED TO MAKE THE PROJECT COMPLETE WITHOUT COMPENSATION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION. IN ADDITION, THE GENERAL CONTRACTOR, AT THE COMPLETION OF THE JOB, SHALL HAVE ALL AREAS INVOLVED IN THE WORK THOROUGHLY CLEANED, WASH ALL WINDOWS, REMOVING ALL FOREIGN MATTER FROM THE FRAMES AND GLASS, CLEAN ALL FINISHED FLOORS AND SWEEP ALL UNFINISHED FLOORS, WASH ALL FIXTURES AND TILED SURFACES, AND REMOVE ANY SPILLS OR SPATTERS FROM FINISH SURFACES, CLEAN ALL EXTERIOR SIDEWALKS, SLABS AND DECKS.
- THE CONTRACTOR SHALL CONFINE OPERATIONS TO THE SITE AREAS PERMITTED BY LAW, ORDINANCES, PERMITS, AND THE CONTRACT DOCUMENTS AND SHALL NOT UNNECESSARILY ENCUMBER THE SITE WITH ANY MATERIALS AND EQUIPMENT. ALL WORK UNDER THIS CONTRACT SHALL BE IN STRICT ACCORDANCE WITH THE LATEST ADOPTED EDITION CALIFORNIA BUILDING CODE (2022 CBC), CALIFORNIA RESIDENTIAL CODE (2022 CRC), CALIFORNIA PLUMBING CODE (2022 CPC), CALIFORNIA MECHANICAL CODE (2022 CMC), CALIFORNIA ELECTRICAL CODE (2022 CEC), WITH LOCAL LAWS AND REGULATIONS, IN THE EVENT THAT A CONFLICT OCCURS BETWEEN THE DRAWINGS AND SPECIFICATIONS AND THESE REQUIREMENTS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- SITE DRAINAGE: PROVIDE GUTTERS AND RAIN WATER LEADERS FOR ROOF DRAINAGE. DIRECT RAIN WATER LEADERS AWAY FROM BUILDING WITH SPRINKLERS. THE SITE SHALL BE GRANDED TO PROVIDE 2% (HARDSCAPE SURFACES) OR 0% (LANDSCAPE SURFACES) MINIMUM SLOPE AWAY FROM THE PERIMETER OF THE RESIDENCE AND GARAGE FOR A DISTANCE OF 4 FEET, WHERE POSSIBLE. IN NO CASE SHALL THE FINISH GRADING RESULT IN AN INCREASE IN SHEET FLOW ONTO ADJACENT PROPERTIES.
- GENERAL CONDITIONS: THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS (AIA DOCUMENT A201) SHALL GOVERN THE EXECUTION OF THE WORK AND IS MADE A PART OF THESE SPECIFICATIONS TO THE SAME EXTENT AS IF REPEATED HEREIN IN FULL.
- SUPPLEMENTARY CONDITIONS: THE DRAWINGS AND SPECIFICATIONS SHALL SERVE AS A GUIDE TO THE SCOPE OF THE PROJECT; HOWEVER, THEY ARE NOT COMPLETE IN EVERY DETAIL. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO FULLY COMPLETE THE PROJECT.
- PERMITS AND INSPECTIONS: THE CONTRACTOR SHALL MAKE ARRANGEMENTS AND PAY FOR ALL PERMITS AND SHALL SECURE AND VERIFY WHEN REQUIRED ALL INSPECTIONS AND APPROVALS CONNECTED TO THE WORK.
- WORKMANSHIP AND WARRANTIES: ALL WORK SHALL BE DONE BY MEN SKILLED IN THEIR RESPECTIVE TRADES AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS WHERE APPLICABLE. WORKMANSHIP THAT DOES NOT COMPLY WITH THE OBVIOUS INTENT OF THE CONTRACT DOCUMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL MATERIALS SHALL BE OF THE BEST OF THE RESPECTIVE KINDS SPECIFIED, FREE OF ANY DEFECTS, AND NEW. THE CONTRACTOR SHALL GUARANTEE A WATER-TIGHT BUILDING ENCLOSURE AND THAT ALL MATERIALS AND WORKMANSHIP FURNISHED AND RENDERED UNDER THE CONTRACT SHALL BE NEW AND FREE FROM DEFECTS, AND THAT HE WILL REPLACE WITHOUT COST TO THE OWNER ANY DEFECTIVE WORK OR MATERIAL THAT MAY APPEAR WITHIN ONE YEAR AFTER COMPLETION OF THE PROJECT.
- PROTECTION FROM THE ELEMENTS: THE CONTRACTOR SHALL HAVE AT THE JOB SITE ADEQUATE VISQUELEN OR OTHER MATERIAL TO COVER AND PROTECT ANY PORTION OF THE EXISTING HOME WHICH MAY BE EXPOSED TO WATER DAMAGE OR OTHER DAMAGE RESULTING FROM NATURAL CAUSES DURING THE CONSTRUCTION PROCESS. IF THERE IS ANY EVIDENCE OF POTENTIAL RAIN DURING THE CONTRACTOR'S ABSENCE FROM THE CONSTRUCTION SITE, THE EXPOSED PORTIONS OF THE EXISTING HOME SHALL BE ADEQUATELY PROTECTED BEFORE THE CONTRACTOR LEAVES THE SITE.
- COLORS AND FINISHES: THE OWNER WILL SELECT A COLOR AND PALETTE FROM ALL MATERIALS SPECIFIED, AND AS MODIFIED BY APPROVED SUBSTITUTIONS. THE CONTRACTOR WILL PROVIDE SAMPLES OF ALL APPLIED FINISHES AND FRESH MATERIALS FOR APPROVAL PRIOR TO THEIR INCORPORATION IN THE WORK. SAMPLES OF COLORS AND STAINS SHALL BE PREPARED ON MATERIALS IDENTICAL TO THOSE ON WHICH THEY WILL BE USED, AND SHALL BE SUBMITTED FOR APPROVAL IN DUPLICATE. SUBSTITUTIONS: WHEREVER THE NAME OR BRAND OF A MANUFACTURER'S PRODUCT IS SPECIFIED, IT IS USED AS A MEASURE OF QUALITY AND UTILITY OR AS A STANDARD. IF THE CONTRACTOR DESIRES TO USE ANY OTHER BRAND OR MANUFACTURER, HE SHALL REQUEST APPROVAL FROM THE ARCHITECT, JUSTIFYING THE EQUALITY OF THE ARTICLE IN QUALITY AND UTILITY, AND SUBMIT SAMPLES IF REQUESTED.
- PROGRESS PAYMENTS: THE CONTRACTOR MAY SUBMIT PROGRESS PAYMENT REQUESTS AS STIPULATED BY THE OWNER'S FIDUCIARY AGENT, LESS A 10% RETENTION TO BE HELD 30 DAYS AFTER FILING A NOTICE OF COMPLETION WITH THE COUNTY RECORDER.
- THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND THE CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF THE WORK ON THE PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ARCHITECT.
- THE INTENT OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK, CONSISTENT WITH GOOD PRACTICE. ANY WORK OR ITEM NOT SPECIFICALLY CALLED FOR IN THE DRAWINGS BUT REQUIRED FOR A COMPLETE AND FULLY FUNCTIONING INSTALLATION, CONSISTENT WITH THE INTENT OF THE DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR AS IF SPECIFIED.
- ALL MATERIALS PRINTED OR SPECIFIED STRICTLY COMPLIED WITH FOR THE INCORPORATION OF ALL MANUFACTURED MATERIALS AND EQUIPMENT INTO THE BUILDING.
- ALL MATERIALS SHALL BE OF THE SPECIFIED GRADES OR BETTER. SECOND HAND OR USED MATERIAL SHALL NOT BE INCORPORATED IN THE BUILDING WITHOUT THE SPECIFIC APPROVAL OF THE ARCHITECT. FORM LUMBER MAY BE REUSED, IF IN SATISFACTORY CONDITION IN CONCEALED LOCATIONS.
- DEVIATIONS OR ALTERATIONS TO ANY PORTION OF THE WORK OR SPECIFIC DETAILS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ARCHITECT PRIOR TO WORK BEING DONE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL LOSS AND DAMAGE THAT MAY HAPPEN TO NEW OR EXISTING WORK OR TO ANY OF THE MATERIALS USED THEREON UNTIL THE ACCEPTANCE OF THE WORK BY THE OWNER. DAMAGE INCURRED TO EXISTING CONDITIONS TO REMAIN ARE TO BE RETURNED TO THEIR ORIGINAL CONDITION.
- GENERAL CONTRACTOR AND ANY SUBCONTRACTORS SHALL GUARANTEE ALL WORK INSTALLED BY HIM FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL COMPLETION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS DURING THE GUARANTEE PERIOD, ANY DEFECTIVE WORK, AND ANY OTHER WORK DAMAGED THEREBY. SHALL BE REPLACED PROMPTLY AND PROPERLY WITHOUT COST TO THE OWNER OR ARCHITECT.

**DEFERRED SUBMITTAL**

- PV SYSTEM, 1/2" MIN. SIZE REQUIRED
- FIRE SPRINKLER SYSTEM
- TRUSS DESIGN

**ABBREVIATIONS**

C	CENTERLINE	MAX	MAXIMUM
Ø	DIAMETER	MECH	Mechanical
∠	ANGLE	MIN	MINIMUM
AL	ALUMINUM	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL	MTD	MOUNTED
N	NEW	(N)	NEW
N.I.C.	NOT IN CONTRACT	N.T.S.	NOT TO SCALE
C.L.G.	CLEAR CLOSET	O.C.	ON CENTER
C.L.C.	CLEAR COLUMN	O.D.	OUTSIDE DIAMETER
CL	CLOSET	O.F.D.	OVER/LOW DRAIN
CONC.	CONCRETE	P.NTRY	PANTRY
DIA	DIAMETER	DN	DOWN
DN	DOWNSPOUT	PL	PLATE
DWG	DRAWING	P.T.	PRESSURE TREATED
DS	EXISTING	P	PROPOSED
EL	ELEVATION	R	RISER
EL. ELEV.	ELECTRICAL	RAD.	RADIUS
EQ	EQUIPMENT	STR.	STRUCTURAL
EX	EXTERIOR	THK	THICK
FL	FLOOR	T.P.	TOP OF PAVEMENT
FF	FINISH FLOOR	T.V.	TELEVISION
FG	FINISHED GRADE	TYP.	TYPICAL
GA.	GALVANIZED	T.O.P.	TOP OF PLATE
GL	GLASS	T.O.W.	TOP OF WALL
GYP	GYPSUM	U.O.N.	UNLESS OTHERWISE NOTED
H.B.	HOSE BIBB	V.O.S.	VACANCY SENSOR
INSUL	INSULATION	W.C.	WATER CLOSET
JT	JOINT	W/O	WOOD
KIT	KITCHEN	W/OUT	WITHOUT
LDNY	LAUNDRY	W.P.	WATERPROOF

**CONTACTS**

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7A HOLDINGS, LLC  
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TEL: (510) 344-8955  
EMAIL: ISTERLINGCONSULTANTS@GMAIL.COM

**LANDSCAPE:**  
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UNION CITY, CA 94587  
TEL: (650) 533-0107  
EMAIL: ANYI@ANYLANDSCAPE.COM

**SCOPE OF WORK**

NEW CONSTRUCTION OF A ONE-STORY SINGLE FAMILY HOME WITH AN ATTACHED ADU IN A VACANT LOT.

**PROJECT DATA**

GENERAL PLAN:	VERY LOW DENSITY RESIDENTIAL
ZONING:	R-14L-SINGLE FAMILY
CONSTRUCTION TYPE:	VB
OCCUPANCY:	R3
FLOOD ZONE:	X
LOT AREA:	4,663.00 SF
ALLOWED FAR:	MAX. 40% = 1,864.00 SF
ALLOWED LOT COVERAGE:	MAX. 40% = 1,864.00 SF

<b>PROPOSED MAIN RESIDENCE (3 BEDS, 2 BATHS):</b>	
LIVING AREA:	1,457.9 SF
2-CAR GARAGE NET FLOOR AREA:	360.00 SF
TOTAL FLOOR AREA:	1,817.9 SF
PORCH:	45.00 SF
LOT COVERAGE:	39.9% (1862.9 SF / 4660 SF)
COMMON LIVING AREA %:	39.0% (1817.9 SF / 4660 SF)

<b>PROPOSED ATTACHED ADU (1 BED, 1 BATH):</b>	
LIVING AREA:	545.5 SF
FLOOR AREA:	545.5 SF
COMMON LIVING AREA %:	50% (273 SF / 545.5 SF)

<b>TOTAL COMMON LIVING AREA %:</b>	55.4% (1309.2 SF / 2363.4 SF)
<b>TOTAL PROPOSED FLOOR AREA:</b>	2,363.4 SF

**DRAWING INDEX**

GENERAL	COVER SHEET
A01	SITE PHOTOS
A02	INFO SHEET
SURVEY	
1	BOUNDARY & TOPOGRAPHIC SURVEY
ARCHITECTURAL	
A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A2.0	PROPOSED FLOOR PLAN
A3.0	PROPOSED ELEVATIONS
A3.1	PROPOSED ELEVATIONS
A4.0	PROPOSED SECTIONS
A5.0	PROPOSED ROOF PLAN & AREA PLAN
LANDSCAPE	
L1.0	LANDSCAPE SITE PLAN
L2.0	LANDSCAPE IRRIGATION PLAN
L3.0	LANDSCAPE PLANTING PLAN

PROJECT DESIGNER:  
DE NGUYEN

*De Nguyen*

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NO.	DATE	REVISION
1	01/09/2025	ELEVATIONS UPDATES

Project Name:

**SFH**  
**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**

THE  
COVER SHEET

DATE:	01/09/2025	Sheet Number:	
JOB NO.:	24-087		
SCALE:	AS SHOWN		<b>A0.0</b>
DRAWN BY:	ACZO		

Project No.: 2024



3. APPROACH VIEW FROM SANTA CLARA ST



1. PROPERTY DIRECT FRONT VIEW



2. APPROACH VIEW FROM MARKET ST



1190 SANTA  
CLARA ST



1190 SANTA  
CLARA ST

647 JACKSON ST

645 JACKSON ST



1199 MARKET ST



1199 MARKET ST

1167 MARKET ST

PROJECT DESIGNER:  
 DE NGUYEN

*De Nguyen*

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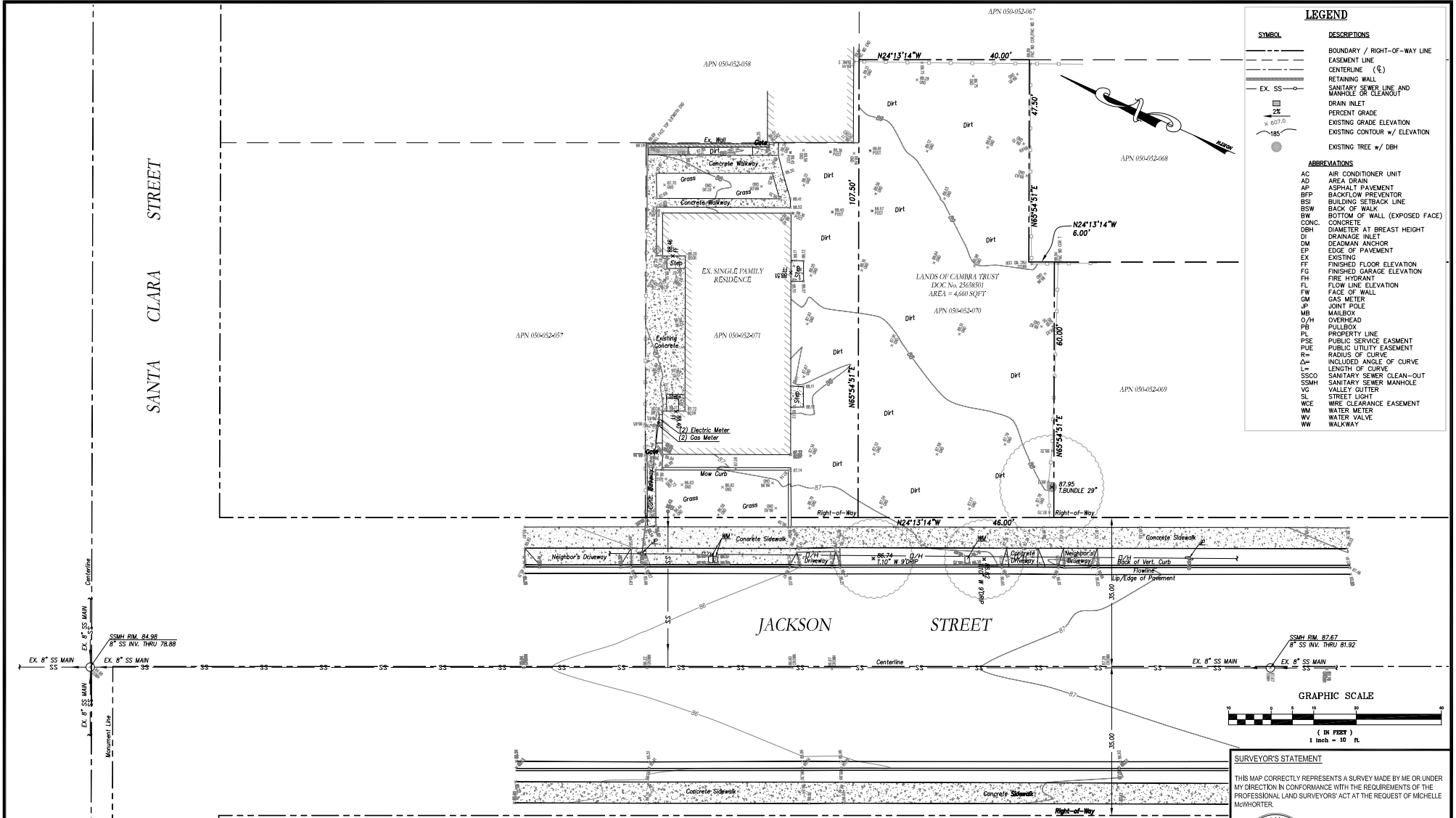
NO.	DATE	REVISION
1	01/06/2025	ELEVATIONS UPDATES

Project Name:

**SFH**  
**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**

For **SITE PHOTOS**

DATE: 01/09/2025 Sheet Number:  
 JOB NO.: 24-067  
 SCALE: AS SHOWN **A0.1**  
 DRAWN BY: ACZO Project No.: 2024



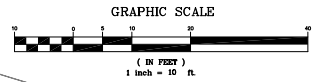
**LEGEND**

SYMBOL	DESCRIPTIONS
---	BOUNDARY / RIGHT-OF-WAY LINE
- - - -	EASEMENT LINE
⊕	CENTERLINE (⊕)
---	RETAINING WALL
---	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
EX. SS	EX. SS
⊕	DRAIN INLET
2%	PERCENT GRADE
⊕	EXISTING GRADE ELEVATION
⊕	EXISTING CONTOUR w/ ELEVATION
⊕	EXISTING TREE w/ DBH

**ABBREVIATIONS**

AC	AIR CONDITIONER UNIT
AD	AREA DRAIN
AP	ASPHALT PAVEMENT
BFP	BACKFLOW PREVENTOR
BSL	BUILDING SETBACK LINE
BSW	BACK OF WALK
BW	BOTTOM OF WALL (EXPOSED FACE)
CONC.	CONCRETE
CONC.	CONCRETE
DBH	DIAMETER AT BREAST HEIGHT
DI	DRAINAGE INLET
DM	DEADMAN ANCHOR
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GARAGE ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE ELEVATION
FW	FACE OF WALL
GM	GAS METER
JP	JOINT POLE
MB	MAILBOX
O/H	OVERHEAD
FB	FULLBOX
PL	PROPERTY LINE
PSE	PUBLIC SERVICE EASMENT
PUE	PUBLIC UTILITY EASEMENT
R=	RADIUS OF CURVE
Δ=	INCLUDED ANGLE OF CURVE
L=	LENGTH OF CURVE
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
VG	VALLEY GUTTER
SL	STREET LIGHT
WCE	WIRE CLEARANCE EASEMENT
WM	WATER METER
WV	WATER VALVE
WW	WALKWAY



**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT AT THE REQUEST OF MICHELLE McWHORTER.



DAN S. SCOTT III, PLS 7840 DATE

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VERTICAL DATUM: ALL ELEVATIONS SHOWN ARE BASED ON THE SANTA CLARA VALLEY WATER DISTRICT VERTICAL DATUM (NAVDS88). BENCH-MARK IS A FOUND BRASS DISK ON TOP OF CATCH-BASIN AT THE NORTHWEST CORNER OF BENTON STREET AND LINCOLN STREET. ELEVATION = 86.85 FEET.

BASES OF BEARINGS: THE BEARINGS SHOWN ARE BASED ON THE MONUMENT LINE OF SANTA CLARA STREET, AS SHOWN ON THE RECORD OF SURVEY, FILED IN BOOK 879 OF MAPS AT PAGE 29, SANTA CLARA COUNTY RECORDS, TAKEN AS NORTH 66°52'28" EAST.

GROSS LOT AREA = 4659.98 SQ.FT. (0.1069 ACRES)

DATE: SEPTEMBER 17, 2024					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY:  
**STERLING CONSULTANTS**  
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PREPARED FOR:  
 MICHELLE McWHORTER  
 1096 ROBIN CIRCLE  
 ARROYO GRANDE, CA 93420

APN: 269-36-070

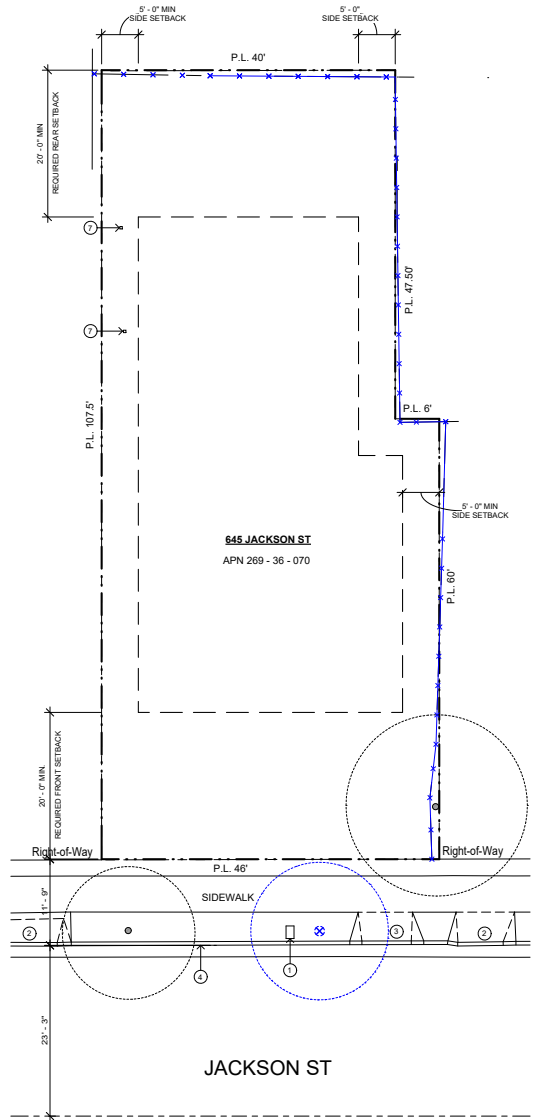
645 JACKSON STREET

SHEET NO.

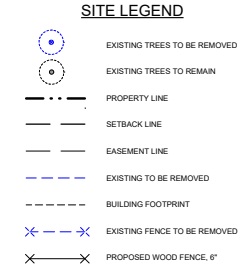
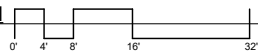
**BOUNDARY & TOPOGRAPHIC SURVEY**

CITY OF SANTA CLARA COUNTY OF SANTA CLARA CALIFORNIA

**C1**  
 1 of 1 SHEETS  
 JOB NO. 2024-257



1 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



- KEYNOTE**
- 1 EXISTING WATER METER TO RELOCATE
  - 2 NEIGHBORS CURB CUT
  - 3 EXISTING CURB CUT TO RELOCATE
  - 4 FACE OF CURB
  - 7 NEIGHBORS CARPORT POST ENCRoACHED

**TDDG**  
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DE NGUYEN  
*(Signature)*

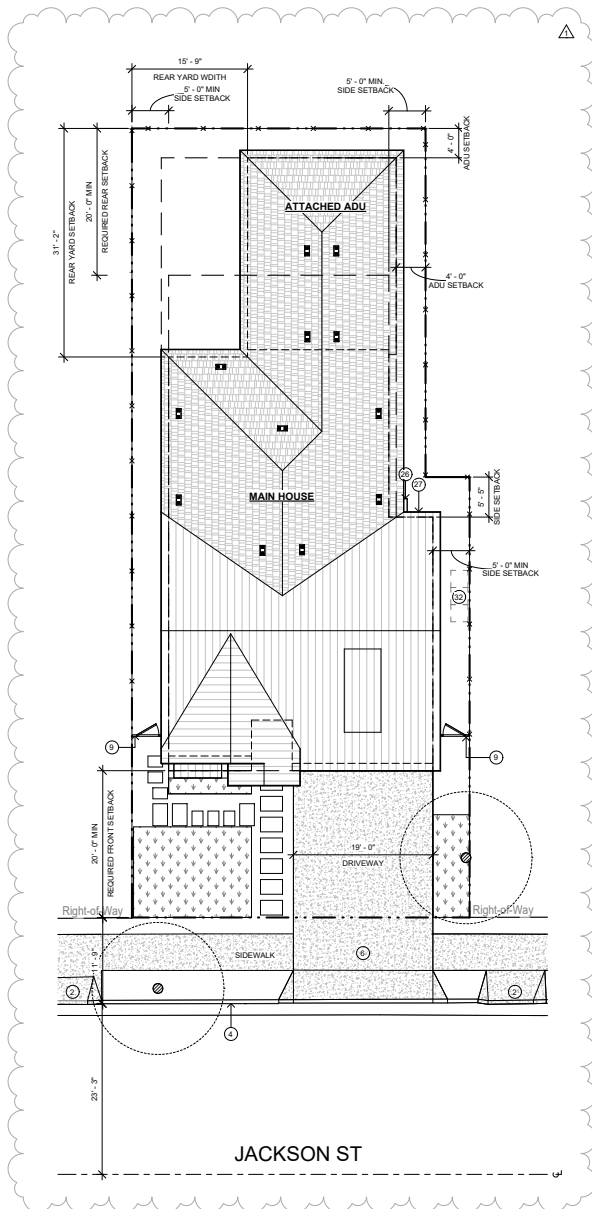
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NO.	DATE	REVISION

Project Name:  
**SFH**  
**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**  
Title:  
EXISTING SITE PLAN

DATE:	01/09/2026	Sheet Number:	<b>A1.0</b>
JOB NO.:	24-067	SCALE:	
SCALE:	AS SHOWN	DRAWN BY:	
DRAWN BY:	ACZO	Project No.:	

Project No.: 2024



① PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



**SITE LEGEND**

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- EXISTING TO BE REMOVED
- BUILDING FOOTPRINT
- EXISTING FENCE TO BE REMOVED
- PROPOSED WOOD FENCE, 6'

**ROOF PLAN LEGEND**

- COMPOSITE SHINGLE
- METAL STANDING SEAM

**KEYNOTE**

- 2 NEIGHBORS CURB CUT
- 4 FACE OF CURB
- 6 DRIVEWAY APPROACH SHALL BE INSTALLED PER SANTA CLARA CITY STANDARD
- 9 NEW WOOD FENCE, 6' OF HEIGHT
- 26 WOOD FENCE GATE
- 27 NEW WOOD FENCE LINES BEYOND
- 32 R-20 FLOOR INSULATION

**SITE PLAN GENERAL NOTES**

1. SEE SHEET A2.20 FOR OVERALL BUILDING DIMENSIONS.
2. REFER TO CIVIL DRAWINGS FOR ALL GRADING, DRAINAGE, EROSION AND UTILITY PLANS.
3. ALL ELEMENTS IN BLACK ARE PROPOSED.
4. ALL ELEMENTS IN BLUE ARE EXISTING TO BE REMOVED.



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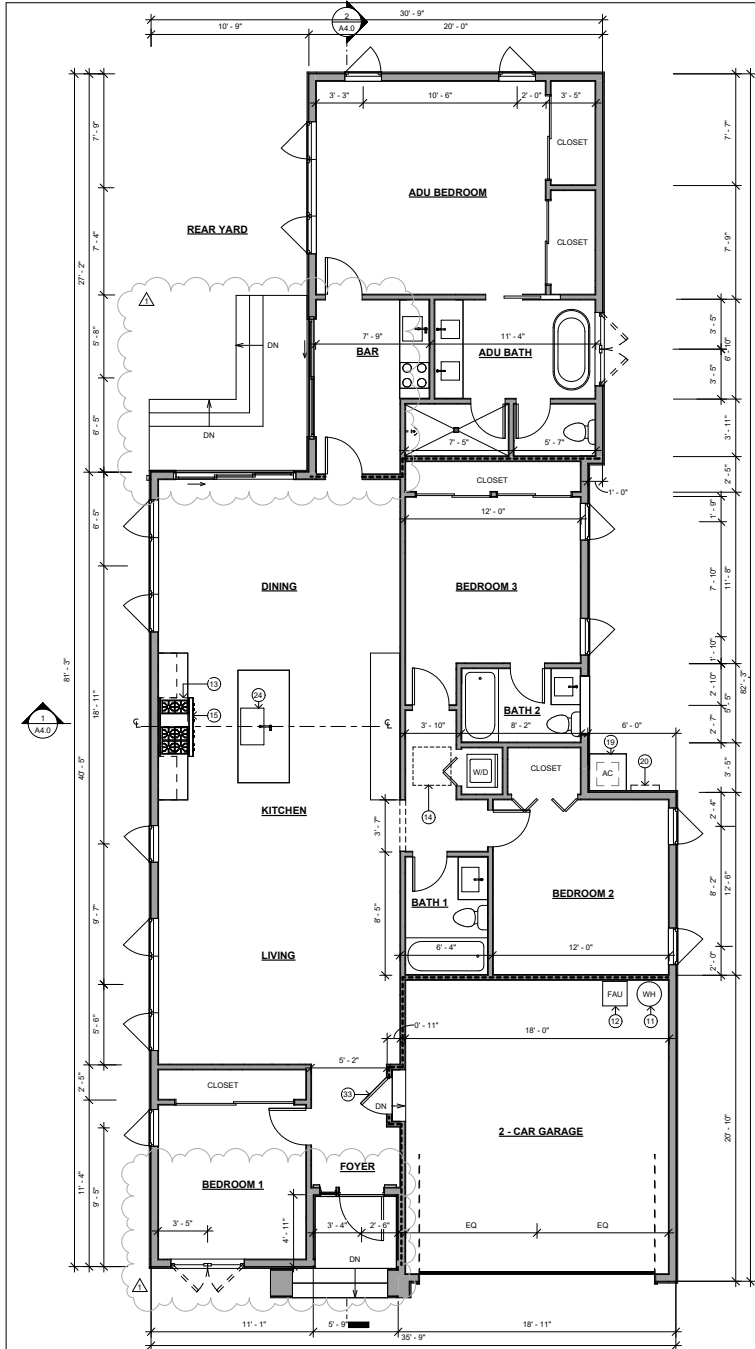
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Title:  
**PROPOSED SITE PLAN**

DATE:	01/09/2025	Sheet Number:	<b>A1.1</b>
JOB NO.:	24-067	SCALE:	
DRAWN BY:	ACZO	Project No.:	
		2024	



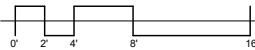
### KEYNOTE

- 11 WATER HEATER, HEAT PUMP
- 12 FURNACE, GAS
- 13 EXHAUST VENTILATION HOOD, MIN. 100CFM
- 14 EXTERIOR WALL SCONE
- 15 GAS RANGE
- 16 MECHANICAL PAD FOR AIR CONDENSER, 6" ABOVE GRADE
- 20 (N) ELECTRIC METER AND PANEL LOCATION
- 24 ISLAND VENTING
- 33 1-HR FIRE RATED DOOR

### LEGEND

- (N) 2x6 STUDS (EXTERIOR)
- (N) 2x4 STUDS (INTERIOR)
- 1-HOUR FIRE RATED, SEE WALL SCHEDULE NOTE 1

## PROPOSED FLOOR PLAN



### FLOOR PLAN NOTES

(REF: 2022 CALIFORNIA RESIDENTIAL CODE)

1. ALL DIMENSIONS ARE FACE TO FRAMING, U.O.N.
2. ALL DOOR JAMBS ON HINGE SIDE SHALL BE 4" UNLESS OTHERWISE NOTED (OR PER BUILDER/CLEANT DIRECTION)
3. NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISHWASHER MACHINE. LISTED AIR GAP'S SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FLD) MARKING AT/ ABOVE THE FLOOD LEVEL OF THE SINK OR DRAIN BOARD, WHICHEVER IS HIGHER. CPC SEC.807.3
4. DRYER: PROVIDE 4" DIA. SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE W/ BACK DRAFT DAMPER 36" MIN. AWAY FROM OPENING; MAX. VENT FLUCT LENGTH OF 4' DOOR AT LAUNDRY ROOM MUST BE LOCATED TO ALLOW DRYERS TO HAVE SUFFICIENT MAKE-UP AIR; THE DRYER MOISTURE EXHAUST DUCT TO BE METAL OR MOISTURE RATED PVC WITH A SMOOTH INTERIOR SURFACE W/O SPLICING
5. SHOWER OR TUB-SHOWER COMBINATION: MIN. SHOWER SIZE 1.024 SQ.IN. WITH NO LESS THAN 30" IN ANY DIRECTION (SHOWER OR TUB-SHOWER COMBINATION: MIN. SHOWER SIZE 1.024 SQ.IN. WITH NO LESS THAN 30" IN ANY DIRECTION MUST ENCOMPASS A 30" CIRCLE). SHOWER DOOR MIN. 22" WIDE, TEMPERED. WATER CLOSET MUST BE CENTERED IN A 37" CLEAR SPACE AND MUST HAVE A 24" CLEAR IN FRONT. FLOORS AND WALL SHALL BE FINISHED WITH A NONABSORBENT SURFACE, SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 1 FEET ABOVE THE FLOOR. (CRC R307.2) MUST ENCOMPASS A 30" CIRCLE). SHOWER DOOR MIN. 22" WIDE, TEMPERED. [CRC R307.2]
6. ALL COUNTERS, TUB DECKS & WALLS AT TUBS & SHOWERS SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACE W/ CEMENTITIOUS BACKER BOARD & A MOISTURE RESISTANT UNDERLAMENT TO A HEIGHT OF 72" (84" PREFERRED) ABOVE FLOOR PER CRC R307.2
7. PROVIDE 5/8" (1/2" MIN) TYPE X GYP. BD. @ GARAGE SIDE OF COMMON WALLS, CEILING & SUPPORTING MEMBERS (EG. BEAMS, COLLING & BEARING WALLS) FOR OCCUPANCY SEPARATION FROM FOUNDATION TO ROOF SHEATHING
8. CRC TABLE R302.6
9. DUCTS IN THE GARAGE OR PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. PER CRC R302.2
10. PROVIDE LANDINGS AT EXTERIOR DOORS WHICH SHALL NOT BE LESS THAN THE DOOR WIDTH, SHALL BE 30" MIN. IN THE DIRECTION OF TRAVEL & 7/32" MAX. BELOW THE TOP OF THE THRESHOLD (1-1/2" MAX. @ OUTSWING DOORS) PER CRC R311.3 R311.3.2
11. BATHROOM AND LAUNDRY ROOMS WITHOUT OPERABLE WINDOWS SHALL BE MECHANICALLY VENTILATED (5 AIR CHANGES PER HOUR). THE POINT OF DISCHARGE MUST BE 3" MIN. FROM ANY BUILDING OPENINGS
12. WATER CLOSETS SHALL BE LOW FLUSH TYPE (1.28 GAL. PER FLUSH OR DUAL FLUSH); WATER HEATER & FAU SHALL BE STRAPPED FOR SEISMIC LOAD AND A SWITCH OPERATED LIGHT FIXTURE PROVIDED
13. 26 GAUGE MATERIAL MINIMUM AT PENETRATIONS IN GARAGE OCCUPANCY SEPARATION
14. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN CORRIDORS GIVING ACCESS TO SUCH ROOMS AS REQUIRED BY THE CRC R314 AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE DETECTORS SHALL BE INTERCONNECTED AND HARDWIRED TO 110V WITH A BATTERY BACKUP
15. PROVIDE MINIMUM 30" X 30" ACCESS TO ATTIC TO SERVICE ATTIC FURNACE. PROVIDE MINIMUM 24" WIDE PLATFORM FROM ACCESS TO UNIT. 30" X 30" PLATFORM ON WORKING SIDE OF UNIT MINIMUM 30" HEADROOM ABOVE PLATFORM; RECEPTACLE AT UNIT FOR MAINTENANCE LIGHT AT UNIT SWITCHED AT ACCESS, GAS SUPPLY AND NECESSARY COMBUSTION AIR REQUIREMENTS SIMILAR FOR CRAWL SPACE FURNACE. INSTALL ON CONCRETE SLAB NOT LESS THAN 3" ABOVE ADJOINING GROUND LEVEL; CMC SECTION 903.3.1.1
16. TEMPERED (SAFETY) GLAZING IS REQUIRED IF THE WINDOW IN QUESTION MEETS ALL OF THE FOLLOWING CONDITIONS (PER CEC R308.4.3)
  - A. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THAN 9 SQUARE FEET (0.836 M<sup>2</sup>)
  - B. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
  - C. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
  - D. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE BOTTOM EXPOSED EDGE OF THE GLAZING MUST
  - E. THE BOTTOM EXPOSED EDGE OF THE GLAZING MUST BE 60 INCHES (1524 MM) ABOVE STANDING OR WALKING SURFACES, UNLESS THE GLAZING IS MORE THAN 60 INCHES (1524 MM) MEASURED HORIZONTALLY AND IN A STRAIGHT LINE FROM WATERS' EDGE. (PER CEC R308.4.5)
  - F. WINDOWS WITHIN 24" OF DOORS MUST BE TEMPERED, UNLESS THE GLAZING IS MORE THAN 60 INCHES (1524 MM) MEASURED VERTICALLY AND IN A STRAIGHT LINE FROM ABOVE THE FLOOR.
17. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 7 3/4". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4". THE RUN SHALL NOT BE LESS THAN 10" NOSING TO NOSING. THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4" IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE R301.5 ITEM D
18. HANDRAILS SHALL BE BETWEEN 34" TO 38" ABOVE TREAD NOSING AND BE 1-1/4" TO 2" IN CROSS SECTION & EXTEND FROM TOP TO BOTTOM RISER AND TERMINATE AT NEWEL POSTS OR RETURN TO WALL
19. GUARDRAILS SHALL BE 42" MINIMUM HIGH WITH INTERMEDIATE RAILS SPACED A MAXIMUM OF 4" AND SHALL HAVE WATER-RESISTANT AND FASTERING CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED 200 LBS. LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE R301.5 ITEM D
20. HANDRAILS SHALL BE BETWEEN 34" TO 38" ABOVE TREAD NOSING AND BE 1-1/4" TO 2" IN CROSS SECTION & EXTEND FROM TOP TO BOTTOM RISER AND TERMINATE AT NEWEL POSTS OR RETURN TO WALL
21. SLOPE OF ALL EXTERIOR LANDINGS SHALL NOT EXCEED 2% SLOPE
22. ALL DIMENSIONS AT WINDOWS & DOORS ARE THE CENTERLINE (U.O.N.)
23. BATH
  - A. 36" WIDE CLEAR SPACE (15" MIN. FROM WALL OR OBSTRUCTION TO CENTER OF W/C), 30" MIN. CENTER TO CENTER TO SIM. FIXTURE, EXTENDING AT LEAST 24" IN FRONT OF W/C. (CRC R310.2.1)
  - B. WATER CLOSET SHALL HAVE A SIDE CLEARANCE OF 15 INCHES ON EACH SIDE MEASURED FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS OR OTHER OBSTRUCTIONS. PER CRC R310.2
24. STAIRWAY:
  - A. 36" WIDE MIN. 7 7/8" MAX. RISER, 10" MIN. TREAD - CRC R311.2 PROVIDE 42" MIN. TALL GUARDRAIL PER CRC R312.1.2
  - B. 6'-8" MIN. HEADROOM @ STAIRWAY - CRC R311.2.2

### WALL SCHEDULE NOTES

1. PROVIDE 5/8" (1/2" MIN) TYPE X GYP. BD. @ GARAGE SIDE OF COMMON WALLS, CEILING & SUPPORTING MEMBERS (EG. BEAMS, COLLING & BEARING WALLS) FOR OCCUPANCY SEPARATION FROM FOUNDATION TO ROOF SHEATHING. CRC TABLE R302.6 DUCTS IN THE GARAGE OR PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. PER CRC R302.2

PROJECT DESIGNER:  
DE NGUYEN

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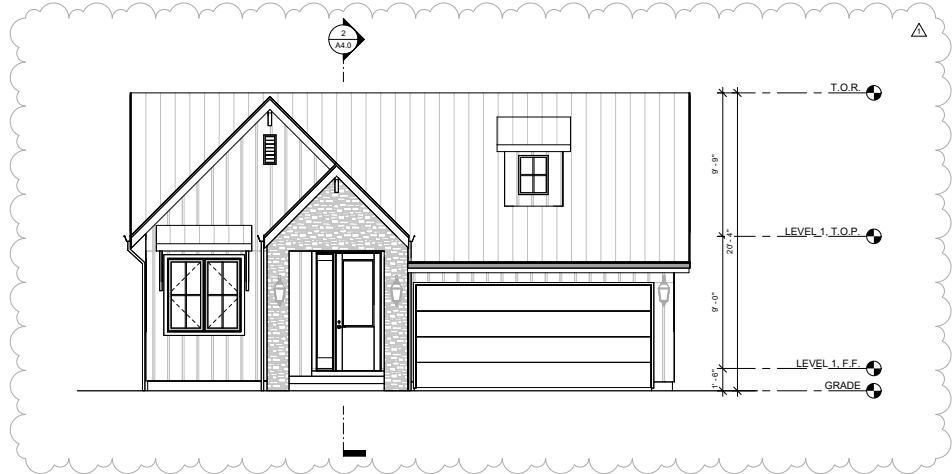
NO.	DATE	REVISION
1	01/06/2025	ELEVATIONS UPDATES

Project Name:

**SFH**  
**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**

PROPOSED FLOOR PLAN

DATE:	01/09/2025	Sheet Number:
JOB NO.:	24-087	<b>A2.0</b>
SCALE:	AS SHOWN	
DRAWN BY:	ACZO	Project No.: 2024



1 PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

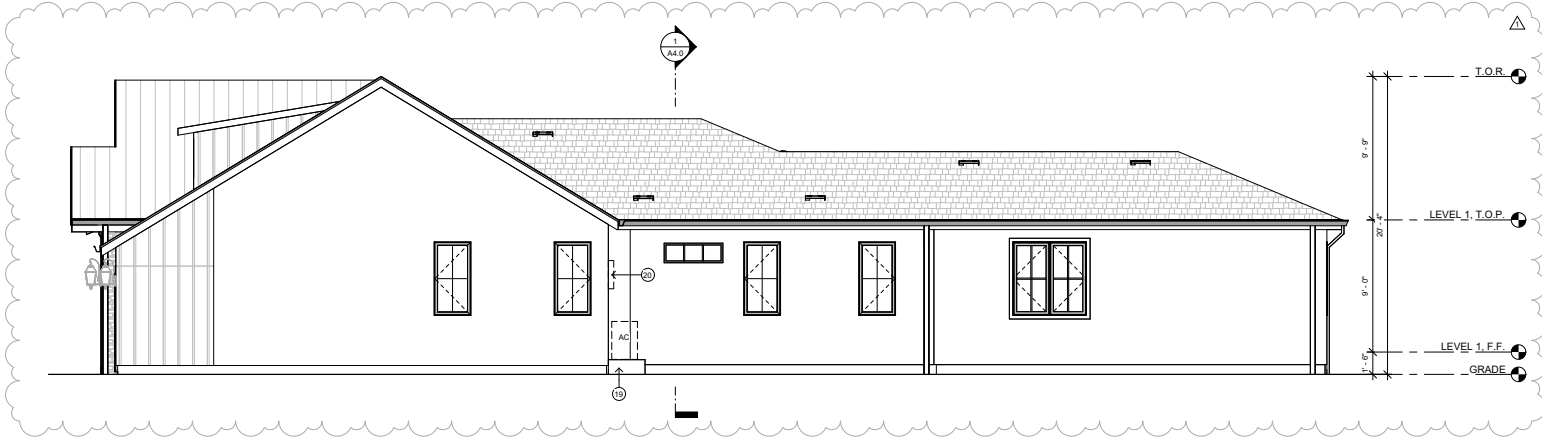
- (REF: 2022 CALIFORNIA RESIDENTIAL CODE)
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
  - ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
  - GRID LINES ARE TO FACE OF STUDS U.O.N.
  - BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH WITH THEIR A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACT SHALL SAID NUMBERS BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE OF EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL POWER OF SUCH NEW CONSTRUCTION, ALTERATIONS OR REPAIR EXISTING CONSTRUCTION. ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
  - EXTERIOR STUCCO, 3-COATS, 7/8" MINIMUM THICK IN TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).
  - EXTERIOR WOOD SIDING OVER 2 LAYERS GRADE "D" PAPER OVER PLYWOOD SHEATHING. FLASHING WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

**LEGEND**

- WOOD SIDING
- DARK PAINTED METAL
- WHITE STUCCO
- CONCRETE
- COMPOSITE SHINGLE
- STONE VENEER

**KEYNOTE**

- 19 MECHANICAL PAD FOR AIR CONDENSER, 6" ABOVE GRADE
- 20 (N) ELECTRIC METER AND PANEL LOCATION



2 PROPOSED RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT DESIGNER:  
DE NGUYEN

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1	01/06/2025	ELEVATIONS UPDATES

Project Name:  
**SFH**  
**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**  
Title:  
PROPOSED ELEVATIONS

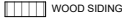
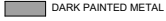

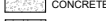


DATE: 01/06/2025 Sheet Number:  
JOB NO.: 24-067  
SCALE: AS SHOWN **A3.0**  
DRAWN BY: ACZO Project No.: 2024

**ELEVATION NOTES**

(REF: 2022 CALIFORNIA RESIDENTIAL CODE)

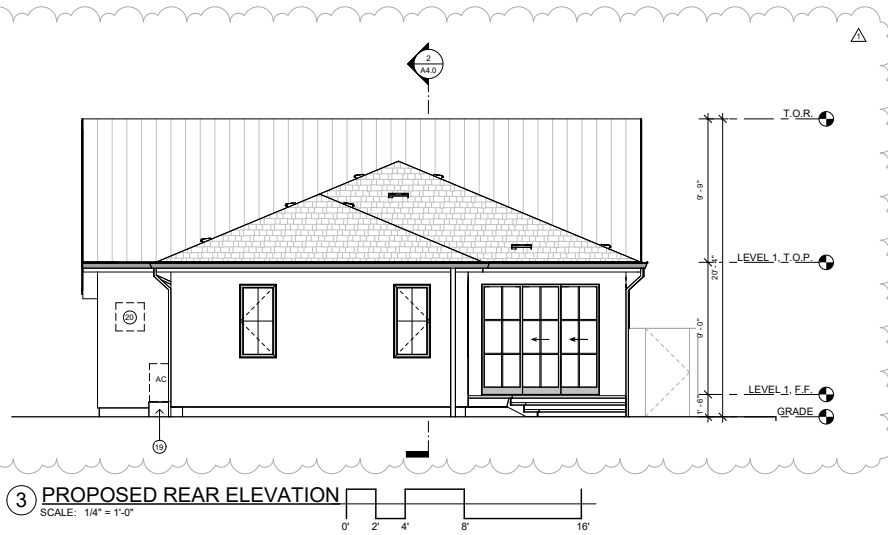
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6. EXTERIOR WOOD SIDING OVER 2 LAYERS GRADE "D" PAPER OVER PLYWOOD SHEATHING. FLASHING WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

**LEGEND**

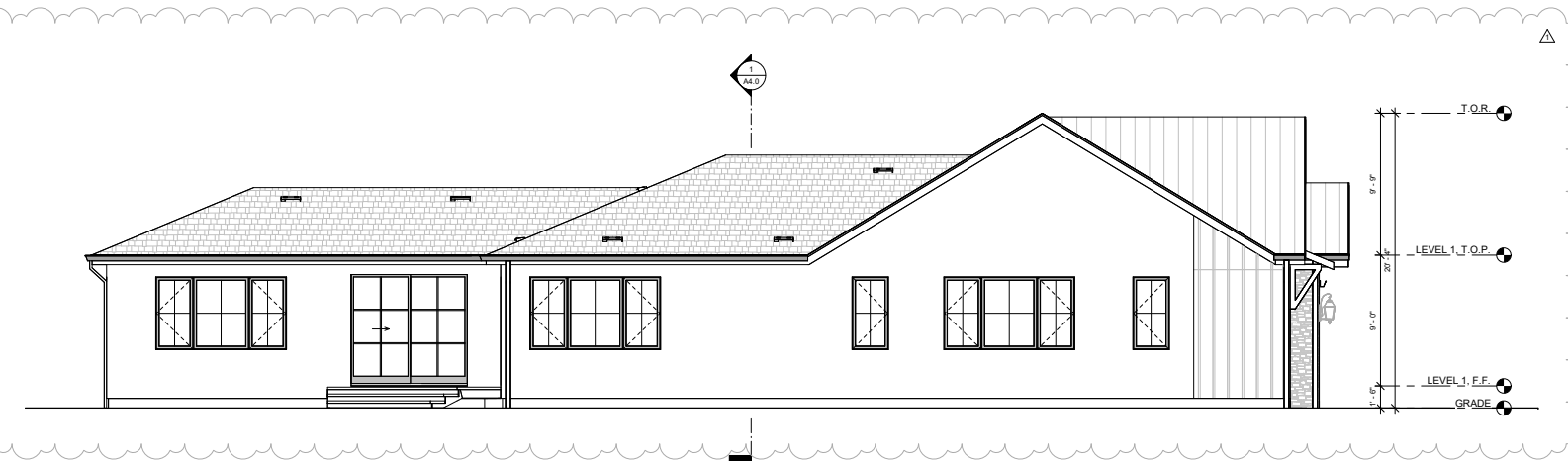
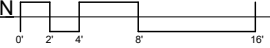
-  WOOD SIDING
-  DARK PAINTED METAL
-  WHITE STUCCO
-  CONCRETE
-  COMPOSITE SHINGLE
-  STONE VENEER

**KEYNOTE**

- 19 MECHANICAL PAD FOR AIR CONDENSER, 6" ABOVE GRADE
- 20 (N) ELECTRIC METER AND PANEL LOCATION



**3 PROPOSED REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 PROPOSED LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



PROJECT DESIGNER:  
 DE NGUYEN

*De Nguyen*

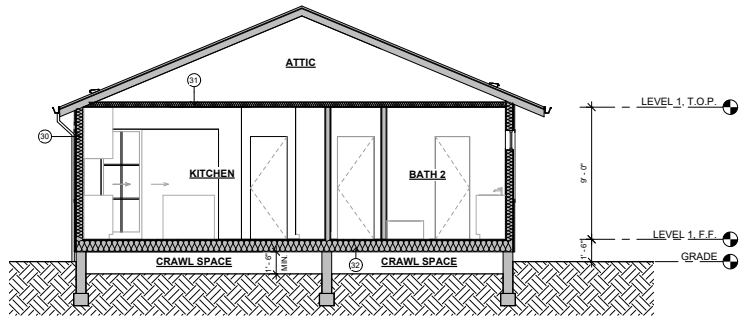
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NO.	DATE	REVISION
1	01/06/2025	ELEVATIONS UPDATES

Project Name:  
**SFH**  
**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**  
 Title:  
 PROPOSED ELEVATIONS

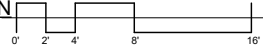
DATE: 01/09/2025 Sheet Number:  
 JOB NO.: 24-067  
 SCALE: AS SHOWN **A3.1**  
 DRAWN BY: ACZO Project No.: 2024





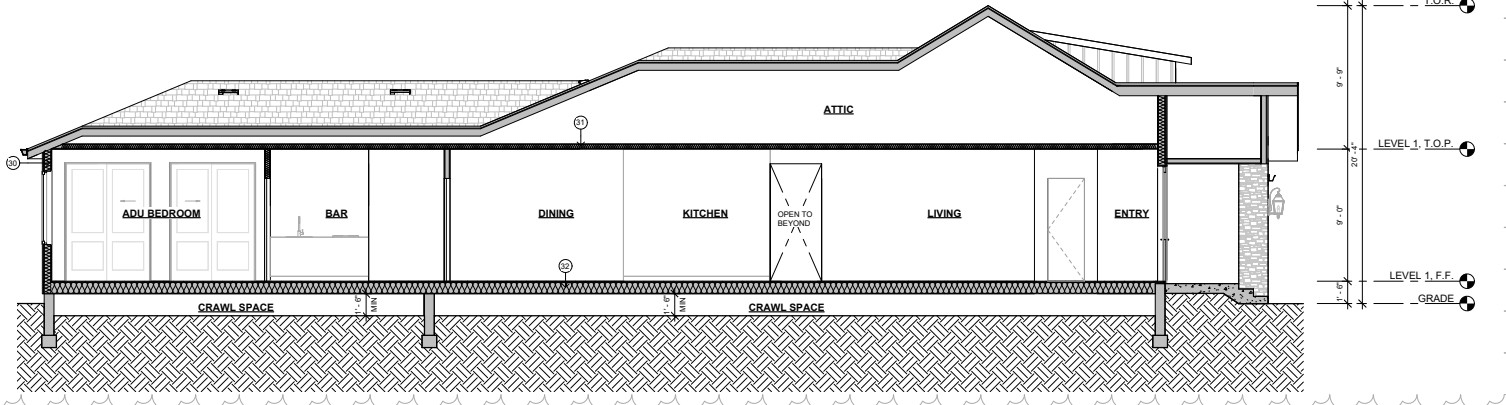
1 PROPOSED TRANSVERSE SECTION

SCALE: 1/4" = 1'-0"



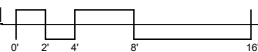
**KEYNOTE**

- 30 R-19 WALL INSULATION
- 31 R-20 ROOF INSULATION
- 32 R-20 FLOOR INSULATION



2 PROPOSED LONGITUDINAL SECTION

SCALE: 1/4" = 1'-0"



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1	01/09/2025	ELEVATIONS UPDATES

Project Name:

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**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**

TITLE:  
PROPOSED SECTIONS

DATE:	01/09/2025	Sheet Number:
JOB NO.:	24-087	<b>A4.0</b>
SCALE:	AS SHOWN	
DRAWN BY:	ACZO	Project No.: 2024

**ROOF PLAN GENERAL NOTES**

CODE REFERENCES BASED ON  
 2022 CALIFORNIA ELECTRICAL CODE

- REFER TO FLOOR PLANS FOR ROOF DRAINAGE AT LOWER LEVEL ROOFS.
- ROOFING SHALL MAINTAIN A CLASS 'A' FIRE RATING AND COMPLY WITH THE PROVISIONS OF IRC SECTION R903.1.3
- DECK SURFACES SHALL SLOPE AT 1/4" PER FOOT MINIMUM, U.O.N. VERIFY ALL SLOPES IN FIELD WITH ARCHITECT.
- PROVIDE CROCKETS AT SKYLIGHTS, CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.
- PROVIDE CLEANOUTS AS REQUIRED.
- FLASH AND SEAL ROOF PENETRATIONS SUCH AS VENTS, FANS, HOODS, ETC. AS REQUIRED FOR A WATER-TIGHT INSTALLATION.
- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

**ROOF PLAN LEGEND**

- COMPOSITE SHINGLE
- METAL STANDING SEAM

**KEYNOTE**

- 17 GUTTER
- 28 FACE OF EXTERIOR WALLS BELOW
- 34 ROOF JENT
- 35 VENTED RIDGE CAP AT STANDING SEAM ROOF

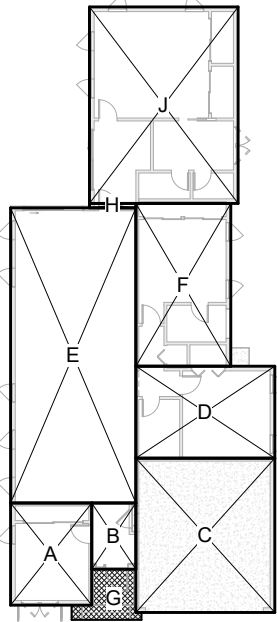
**ATTIC VENTILATION CALCULATIONS**

**PROPOSED ATTIC AREA TO BE VENTILATED:**  
 AREA H+F+E+D = 1,750.7 SF  
 1,750.7 SF / 150 = 11.67 SF REQUIRED  
 11.67 X 144 = 1,680.48 SQ IN REQUIRED

**VENTS FOR TOTAL ATTIC AREA:**  
 MODEL FLAT = 144 SQ IN PER VENT  
 1,680.48 / 144 = 12 VENTS REQUIRED

**PROVIDE TWELVE (12) 144 SQ IN VENTS**

△



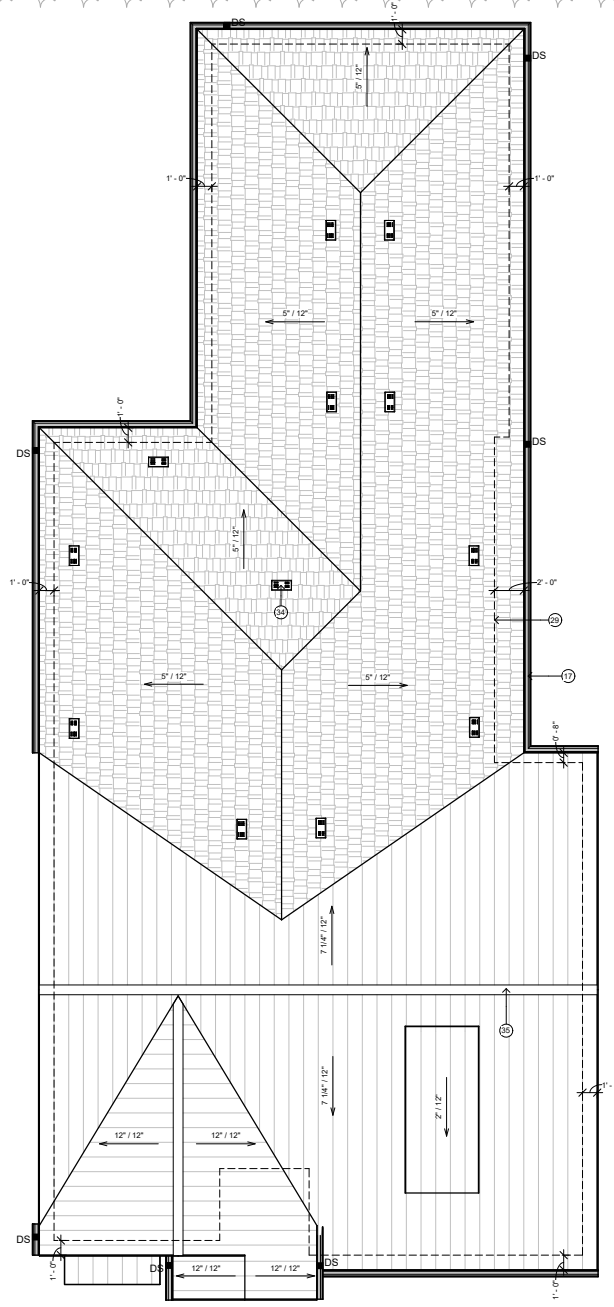
**2 AREA PLAN**  
 SCALE: 1/8" = 1'-0"

**AREA PLAN LEGEND**

- FLOOR AREA
- PORCH

**PROPOSED FLOOR AREA CALCULATIONS**

AREA MARK	DIMENSION	SQUARE FOOTAGE
A	11' 1" X 13' 11"	156.3 SF
B	6' 0" X 9' 0"	52.1 SF
C	18' 0" X 21' 1/4"	397.9 SF
D	18' 11" X 12' 6"	237.3 SF
E	17' 0" X 40' 2"	687.7 SF
F	12' 11" X 22' 2"	286.7 SF
G (PORCH)		45 SF
<b>MAIN RESIDENCE FLOOR AREA:</b>		<b>1817.9 SF</b>
H	6' 3" X 07' 1/4"	3.4 SF
	20' 3" X 28' 9"	542.1 SF
<b>ATTACHED ADU FLOOR AREA:</b>		<b>545.5 SF</b>
<b>TOTAL FLOOR AREA:</b>		<b>2363.4 SF</b>



**1 PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

PROJECT DESIGNER:

DE NGUYEN

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1	01/06/2025	ELEVATIONS UPDATES

Project Name:

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**645 JACKSON ST,**  
**SANTA CLARA, CA**  
**95050**

PROPOSED ROOF PLAN & AREA PLAN

DATE: 01/08/2025 Sheet Number:

JOB NO.: 24067

SCALE: AS SHOWN

DRAWN BY: ACZD

Project No.: 2024

**A5.0**

**CONSTRUCTION LAYOUT NOTES:**

1. THE LAYOUT PLAN IS DIAGRAMMATIC ONLY. SHOULD A DISCREPANCY EXIST BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING, PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR:
  - A. VERIFYING AND CONFORMING TO SETBACKS AND OTHER INDICATED DIMENSIONS.
  - B. LAYOUT OF ALL MAJOR COMPONENTS PRIOR TO STARTING CONSTRUCTION.
  - C. COOPERATING WITH LANDSCAPE ARCHITECT AND OWNER IN RESOLVING ANY DISCREPANCIES AND MAKING ADJUSTMENTS TO AVOID ADDITIONAL COSTS TO THE OWNER.
2. THE LANDSCAPE ARCHITECT SHALL APPROVE ALL STAKE UP AND FORM WORK PRIOR TO INSTALLATION.
3. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS AND ALL ANGLES SHALL BE 90°, UNLESS OTHERWISE NOTED.
4. WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE DRAWINGS, UNLESS OTHERWISE NOTED.
5. ALL RADIUS POINT DISCREPANCIES ARE +/- . ADJUSTMENTS IN THE FIELD MAYBE NECESSARY FOR SMOOTH, EVEN LINES AND LAYOUT POINTS.
6. ALL DIMENSIONS START AT REFERENCE LINES, FACE OF BUILDING, DESIGNATED RADIUS POINTS, UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL INSTALL EXPANSION JOINTS WITH MASTIC BETWEEN ANY BUILDING AND PAVING CONNECTIONS, AND BETWEEN EXISTING PAVING AND NEW PAVING.
8. CONTRACTOR TO COORDINATE SLEEVING (IRRIGATION, LIGHTING, DRAINAGE, ETC.) WITH OTHER CONTRACTORS

**GENERAL NOTES:**

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, THE LOCATION OF ALL TREES WITHIN THE LIMIT OF WORK, UTILITIES, AND ALL SITE ELEMENTS PRIOR TO BEGINNING THE WORK.
2. PERFORM ALL WORK IN CONFORMANCE WITH REQUIREMENTS AND OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. OBSERVE ALL SETBACKS SHOWN ON THE PLANS AND AS OTHERWISE MAY BE REQUIRED.
3. THE LANDSCAPE ARCHITECT AND THE OWNER SHALL BE ADVISED 48 HOURS IN ADVANCE FOR PERFORMANCE OF SITE OBSERVATIONS.

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CONTRACTOR TO CALL USA 2 DAYS BEFORE EXCAVATION TO LOCATE UNDERGROUND UTILITIES.

**LANDSCAPE DESIGN PLAN (TITLE 23, CHAPTER 27):**

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3/4" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOIL LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES IN TO THE SOIL.

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

**PROJECT INFORMATION**

PROJECT ADDRESS: 645 JACKSON ST. SANTA CLARA, CA 95050

TOTAL LANDSCAPE AREA: 346 SF

PROJECT TYPE: RESIDENTIAL NEW LANDSCAPE,

WATER SUPPLY TYPE: POTABLE WATER

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

DATE: \_\_\_\_\_

THE PROJECT HAS AN AGGREGATE LANDSCAPE AREA THAT IS LESS THAN 1500 SF, AND WILL COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO)

TOTAL PLANTING AREA EXCLUDING EDIBLES: 346 SF (100%)

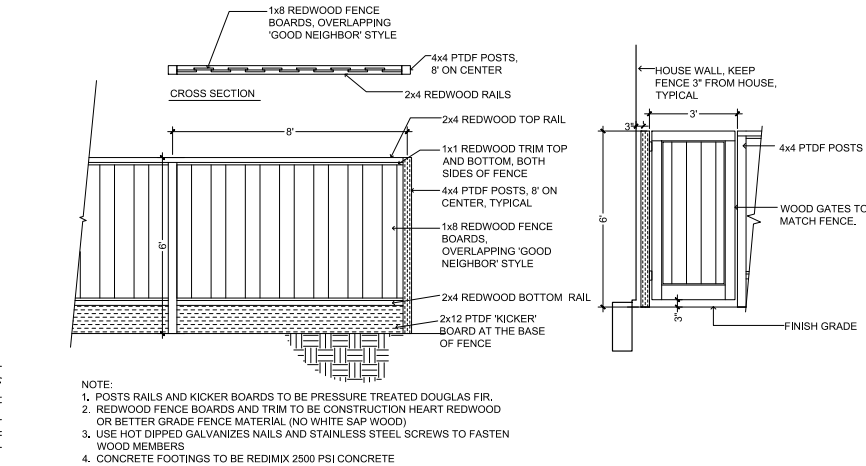
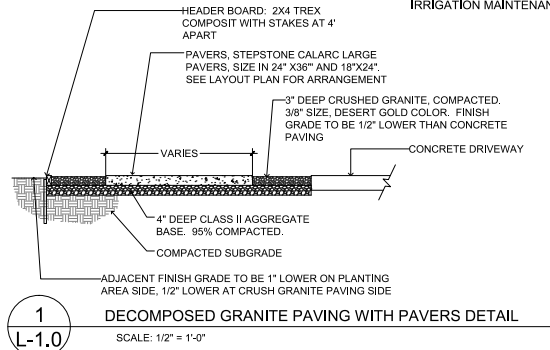
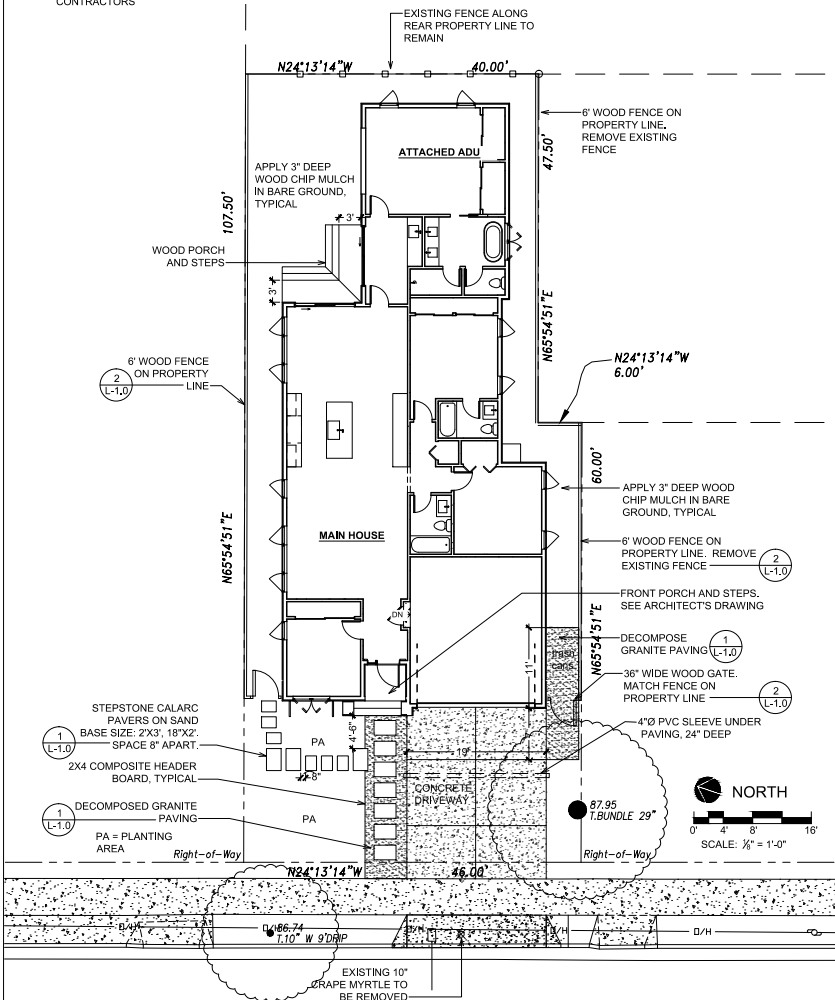
PLANTING AREA INSTALLED WITH CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER: 346 SF (100%)

TOTAL TURF AREA: 0%

MORE THAN 75% OF PLANTING USES PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER.

**SHEET INDEX**

- L-1.0 LANDSCAPE SITE PLAN
- L-2.0 LANDSCAPE IRRIGATION PLAN
- L-3.0 LANDSCAPE PLANTING PLAN



2647 ROYAL ANN DRIVE UNION CITY, CA 94587 anyhang@gmail.com 650-533-0107

REVISION DATE NO. 1/5/2025 A

LANDSCAPE SITE PLAN



PROJECT ADDRESS: 645 JACKSON ST. SANTA CLARA, CA 95050

DATE: 10/28/2024 SCALE: 1/8" = 1'-0" DRAWN BY: AH PROJECT #: 24056 SHEET L-1.0 TOTAL SHEETS: 3



**IRRIGATION LEGEND**

SYMBOL	DESCRIPTION
	1/2" POLYETHYLENE DISTRIBUTION TUBING (RAINBIRD XT-700). SECURE IN PLACE WITH GALVANIZED TIE-DOWN STAKE EVERY 4'. UNDER MULCH, USE RAINBIRD XERI-BUG EMITTERS XB-10PC (1 GPH). INSTALL 1/2" TUBING WITH STAKE AND DIFFUSER BUG CAP TO EACH PLANT. INSTALL FLUSH CAP (RAINBIRD MDCFAP) AT THE END OF XT-700 TUBING.
	3/4" DIAMETER SCHEDULE 40 PVC IRRIGATION MAIN LINE, BURY 18" DEEP.
	CLASS 200 PVC LATERAL LINE, 1/2". BURY 12" MINIMUM.
	BACKFLOW DEVICE: FEBCO 825Y BACKFLOW PREVENTER WITH DOUBLE SHUT-OFF, 1" SIZE. INSTALL ON COPPER RISER, 12" ABOVE FINISH GRADE.
	RAINBIRD XCZ-075 (LFV-075 VALVE WITH 3/4" PRESSURE-REGULATING RBY FILTER, 30 PSI). LOCATE IN VALVE BOX BELOW GRADE.
	1 INDICATES STATION NUMBER 3/4" F INDICATES VALVE SIZE (F = FILTER) 2 GPM INDICATES FLOW RATE (GALLON PERMINUTES)
	3/4" BRASS HOSE BIB ON COPPER RISER, WALL MOUNT ON WALL, FENCE, 18" OFF FINISH GRADE.
	RACHIO 3 SMART IRRIGATION CONTROLLER 4 ZONE. INSTALL INSIDE GARAGE.

**IRRIGATION NOTES:**

- CONTRACTOR TO TEST WATER SUPPLY FOR AVAILABILITY OF 35 GPM AND VERIFY MINIMUM STATIC WATER PRESSURE OF 55 PSI AT POINT OF CONNECTION.
- TEST PIPES FOR LEAKS BEFORE BACKFILL.

**IRRIGATION DESIGN PLAN (TITLE 23, CHAPTER 2.7)**

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

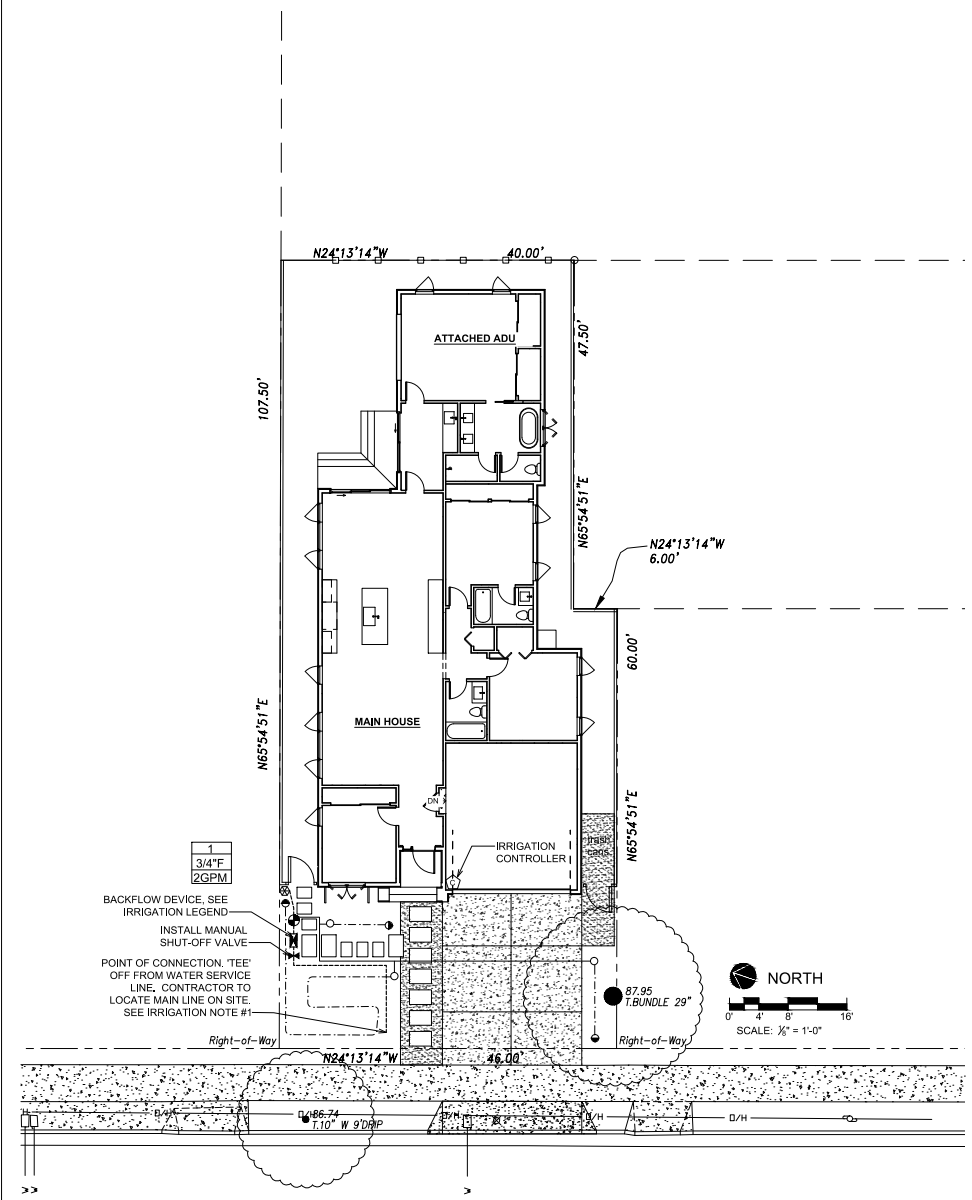
**IRRIGATION STATIONS INFORMATION**

HYDROZONE VALVE #	VALVE SIZE	FLOW RATE (GPM)	APPLICATION TYPE / RATE (IN/HR)	DESIGN OPERATION PRESSURE (PSI)	HYDROZONE / PLANT TYPES
1	3/4" F	2	DRIP/ N/A	30 PSI	Low shrubs

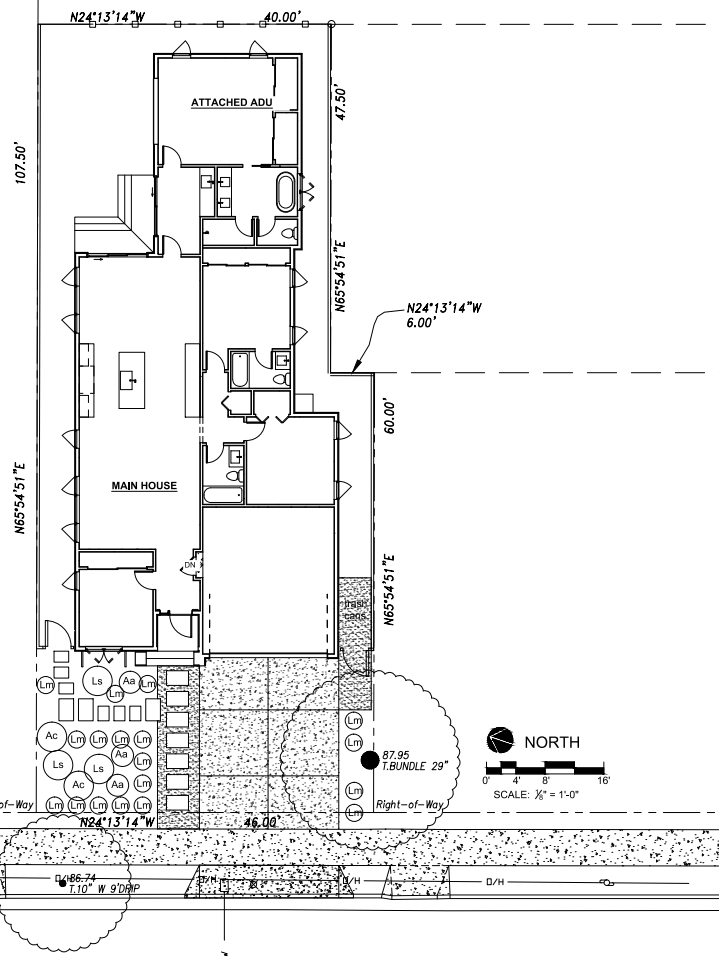
**IRRIGATION SCHEDULE NOTE:**

- ALL HYDROZONES ARE CONTROLLED BY AN ET/WEATHER BASED IRRIGATION CONTROLLER THAT MAKES REAL TIME ADJUSTMENT TO THE IRRIGATION PROGRAM RUN-TIMES AND FREQUENCY BASED ON HOURLY WEATHER INFORMATION.
- IRRIGATION SHALL BE LIMITED TO THE HOURS OF 8 PM TO 10 AM.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.



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**PLANTING LIST**

SYMBOL	BOTANICAL NAME - COMMON NAME	QTY.	SIZE	WUCOLS	NOTE
SHRUB					
Aa	Agave attenuata - Fox Tail Agave	3	5 gallon	L	4' X 5'
Ac	Acacia cognata 'Cousin Itt' - Cousin Itt River Wattle	2	5 gallon	L	2' X 4'
Ls	Leucadendron salignum 'Jester' - Conebush	3	5 gallon	L	5' X 6'
Lm	Lomandra 'Line Turf' - Dwarf Matt Rush	18	1 gallon	L	3' X 3'

WUCOLS CATEGORIES OF WATER NEEDS: L = LOW WATER USE  
SOURCE BOOK: SUNSET WESTERN GARDEN BOOK, MWEL0 2015

**NOTE:**

- Before planting till the following materials into the top 6" of soil (for each 1,000 S.F.):
  - 4 cubic yards green waste compost
  - 10 LB fertilizer (N16/P6/K8) w/ 2% iron
- Mulch all planted areas with a 3" thick layer of medium recycled wood chips, provide sample for Landscape Architect's approval.
- The Landscape Architect and the Owner reserve the right to reject any or all plant material, if such material does not meet the American Standards for Nursery Stock (ANSI). Plant materials shall be guaranteed against latent defects, injuries, pests, diseases or death of plants due to improper planting. Tree missing central leader will be rejected. The Contractor shall promptly replace plants that have died or are not in a vigorous, healthy condition with plants of the same kind and size as originally specified at no expense to the Owner.
- Landscape Architect to approve plant locations prior to planting.
- The Contractor shall be responsible for the adequate protection of the improvements during construction period and through maintenance period. Damaged areas, such as sprinkler heads or plant materials, shall be replaced or repaired at no additional expense to the Owner.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

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