

GENERAL NOTES

- The work included under this contract consists of all labor, materials, transportation, tools and equipment necessary for the construction of the project/leaving all work ready for use.
- All construction shall conform to the 2016 California Building Code, 2016 Uniform Mechanical, Electrical, and Plumbing Codes, Title 24, Fire and Safety standards and any other local governing codes and ordinances. In the event of conflict, the most stringent requirements shall apply.
- The plans indicate the general extent of new construction necessary for the work, but are not intended to be definitive. All demolition and all new work necessary to allow for a finished job in accordance with the intention of this drawing is included regardless of whether shown on the drawings or mentioned in the notes. All work is new, U.O.D.
- Any errors, omissions or conflicts found in the various parts of the construction documents shall be brought to the attention of the Architect and the Owner for clarification before proceeding with the work.
- The General Contractor shall maintain a current and complete set of the construction documents on the job site during all phases of construction for use of all the trades and shall provide all the subcontractors with current construction documents as required.
- The General Contractor shall verify and assume responsibility for all dimensions and site conditions. The General Contractor shall inspect the existing premises and take note of existing conditions prior to submitting prices. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such examination.
- Written dimensions take precedence. DO NOT scale drawings.
- All dimensions to and from new construction when shown in plan are to face of stud, face of masonry, centerline unless otherwise noted.
- All dimensions on reflected ceiling or electrical plans are from face of brick or center line of column to center line of feature or group of features.
- All vertical dimensions are to face of finish, finish floor unless otherwise noted.
- All dimensions noted "Verify" and "V.P.F." are to be checked by contractor prior to construction. Immediately report any variances to the Architect for resolution.
- Interior walls are 2x4 or 2x6 wood studs @ 16" o.c., unless otherwise noted and all exterior walls are 2x6 wood studs @ 16" o.c., unless otherwise noted.
- Contractor shall provide all seismic bracing and hold-down clips as required by code for all suspended ceiling and soffit framing conditions.
- Contractor shall coordinate all work with existing conditions, including but not limited to: irrigation pipes, electrical conduit, water lines, gas lines, drainage lines, etc.
- Contractor shall provide adequate temporary support as necessary to assure the structural value or integrity of the building.
- Contractor shall protect all existing building and site conditions to remain including but not limited to: walls, cabinets, finishes, trees, shrubs, paving, etc.
- Details shown are typical. Similar details apply in similar conditions.
- Verify all architectural details with structural and design/build drawings before ordering or installation of any work.
- Where locations of windows and doors are not dimensioned they shall be centered in the wall or placed two stud widths from adjacent wall as indicated on the drawings.
- All required walls shall be operable from inside, without the use of key or special knowledge.
- All changes in floor materials occur at centerline of framed opening or centered under the door in the closed position, unless otherwise indicated on the drawings.
- Install all fixtures, equipment and materials per manufacturer's recommendations.
- Verify clearances for lights, vents, chases, soffits, fixtures, etc. before any construction, ordering of, or installation of any items of work.
- Sedent, caulking and flashing, etc. locations shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendations and standard industry and building practices.
- All roof deck penetrations and exterior wall openings shall be guaranteed by the contractor to be water tight for a minimum period of one year after substantial completion of all work under this contract.
- The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise a strict control over job cleaning to prevent any direct debris or dust from affecting in any way, finished areas in or outside the job site.
- Contractor shall leave the premises and all affected areas clean and orderly, ready for occupancy. This includes cleaning of all glass (inside and outside) and frames, both new and existing.
- Contractor shall install smoke detectors in accordance with the specifications and in conformance with local fire Marshal requirements.
- All exterior doors and windows are to be weather stripped per Title 24 requirements, unless otherwise noted in door/window details.
- Glass subject to human impact shall be of safety glazing material to meet State and Federal requirements.
- Any survey monuments within the area of construction shall be preserved or reset by a registered civil engineer or a licensed land surveyor.
- Provide shop drawings for all mill work, metal work, doors, windows and custom items.
- Contractor is responsible for reviewing and complying with requirements of Soil Report as prepared by a Geotechnical Engineer.
- Access for the physically disabled is required by the Americans with Disabilities Act and Americans with Disabilities Act Accessibility Guidelines. All required features shall be included in the construction whenever specifically detailed or not.

HEALTH DEPARTMENT NOTES:

The following notes refer to all food preparation and storage areas, dishwasher, garbage, refrigeration, dressing and toilet rooms:

- Floors shall be of a smooth impervious surface with minimum 6" cover base with continuous 3/8" mesh underlayment.
- Wall shall be smooth, washable, of light color and sealed or painted.
- Ceilings shall be smooth and non absorbent with light color.
- Light fixtures shall have protective shields or shielded bulbs and shall provide a minimum of 10 foot-candles of light.
- All rooms shall be mechanically ventilated.
- Mechanical exhaust ventilation shall be provided at all cooking equipment. Make up air shall be provided. All equipment, construction and installation shall be in accordance with local building and safety requirements and the Uniform Mechanical Code.
- Operable windows shall be screened with no greater than 1/4" mesh wire.
- All exterior doors shall be self closing.
- Openings at base and sides of exterior doors shall be no greater than 1/4". All areas around exterior wall pipes or other openings shall be tightly sealed. All exterior wall vents shall be properly screened with 1/4" wire mesh screening.
- All sinks to be provided with hot and cold running water.
- All equipment and fixtures shall comply with National Sanitation Foundation (NSF) standards or it's equivalent for material, construction, fabrication and design.
- Refrigeration and ice machines shall drain to properly located and approved floor sinks.
- Floor sinks shall be installed flush with the floor surface. All condensate and similar liquid waste shall be drained by means of indirect waste lines into an open floor sink. Horizontal runs of drain lines shall be 6" off the floor, slope 1/4" per foot and shall terminate at least 7" above the overflow rim of the floor sink.

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MECHANICAL

(E) MECHANICAL TO REMAIN

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GC TO CONTACT BAAQMD FOR AN ASBESTOS SURVEY PRIOR TO ANY DEMO & TO UPDATE THE CONSTRUCTION / DEMOLITION SCHEDULE. BAAQMD # - ASB104378

SYMBOLS

	INTERIOR ELEVATION NUMBERS SHEET NUMBER
	BUILDING SECTION NUMBER SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	ENLARGED DETAIL NUMBER SHEET NUMBER
	DOOR MARK
	WINDOW SYMBOL
	PARTITION TYPE
	GRID LINE
	ROOM NUMBER
	REVISION
	FLOOR ELEVATION OR DIMENSION POINT

PRUNERIDGE GOLF CLUBHOUSE

400 SARATOGA AVE - SANTA CLARA

PERMIT SET

PROJECT DIRECTORY

OWNER:
BRANSON FAMILY PARTNERSHIP
702 MARSHALL STREET, SUITE 306
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Fax: (408) 999-6637
Contact: Peter Christensen

PROJECT INFORMATION

PROJECT ADDRESS:
PRUNERIDGE GOLF COURSE
400 SARATOGA AVE
SANTA CLARA CA 95050

A.P.N.
294-45055

ZONING:

P2 PLANNED DEVELOPMENT

OCCUPANCY:

RESTROOMS

CONSTRUCTION TYPE:

1-6

AREA OF WORK:	
BAR DINING	1,447 SF
CLUB REPAIR	88 SF
RESTROOMS	234 SF
TOTAL	1,769 SF

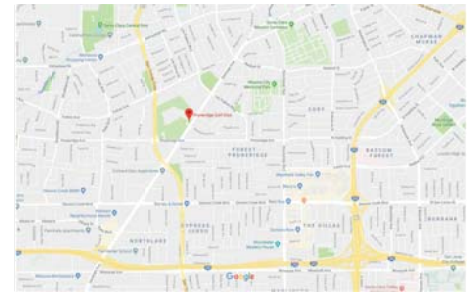
APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA FIRE CODE

PROJECT DESCRIPTION:

TENANT IMPROVEMENT INCLUDING ADDING A BAR AND NEW EXTERIOR DOORS TO AN EXISTING STORAGE SPACE AND IMPROVEMENTS TO EXISTING RESTROOMS TO MEET CURRENT ACCESSIBILITY STANDARDS.

VEINITY MAP



ABBREVIATIONS

&	And	CONC.	Concrete	P.B.	Ref Bar	HDW.	Hardware	MBC.	Miscellaneous	REG.	Register	T.	Thread
<	Angle	COND.	Condition	F.D.	Rof Drain	HOWD.	Hardwood	WTD.	Welded	REINF.	Reinforced	T.B.	Towel Bar
@	At	CONN.	Connection	F.E.C.	Fire Extinguisher	HGR.	Hanger	MUL.	Mulch	REQ.	Required	T.C.	Top of Curb
0	Diameter or Round	CONSTR.	Construction	F.H.C.	Flat Head Machine	HGT.	Height	(N)	New	REIL.	Reinforced	TEMP.	Tempered
#	Pound or Number	CONT.	Contractor	F.H.W.S.	Flat Head Wood Screw	HOT.	Hot	N.	North	REV.	Revised/Revised	Y&O.	Yard
A.C.	Air Conditioning or Asbestos	CLOS.	Closet	R.N.	Ref Head Wood Screw	H.R.	Hard	N.C.	Not in Contract	RM.	Room	TER.	Terzo
A.D.	Area Drain	C.T.	Ceramic Tile	R.T.	Ref Head Wood Screw	H.W.H.	Hot Water Heater	NO.	Not	REMOV.	Remove	THK.	Thick
ACCU.	Accumulator	C.W.	Cold Water	RUR.	Ref Head Wood Screw	R.W.H.	Ref Head Wood Heater	NOA.	Not	R.O.	Rough Opening	T.M.E.	To Match Existing
A.D.	Area Drain	DBL	Double	FLASH.	Flashing	IND.	Inside Diameter	N.T.S.	Not to Scale	RWD.	Redwood	T.O.P.	Top of Concrete
ADJAC.	Adjacent	DET.	Detail	FLUOR.	Fluorescent	IN.	Inch	O.A.	Overall	S.	South	T.O.PLY	Top of Ply
AGGR.	Aggregate	D.F.	Dining Fountain	F.O.C.	Face of Concrete	INSUL.	Insulation	O.C.	On Center	S.C.	Soft Core	T.O.W.	Top of Wall
ALT.	Alternate	DIA.	Diameter	F.O.F.	Face of Finish	INT.	Interior	O.D.	Outside Diameter (Dim.)	S.C.D.	See CH Drawings	TRP.	Typical
ALUM.	Aluminum	D.M.	Diameter	F.O.P.	Face of Plywood	INTER.	Intermediate	OPNG.	Opening	S.D.	Storm Drain	U&C	Uniform Building Code
APPROX.	Approximate	DISP.	Dispenser	F.F.R.F.	Face of Stud	JAN.	Janitor	OPP.	Opposite	SCHD.	Schedule	UNBEC.	Unexcavated
ARCH.	Architectural	DN.	Down	FR.	Frame	JST.	Joint	PEBM.	Perimeter	SECT.	Section	UNF.	Unfinished
ASPH.	Asphalt	DR.	Door	FT.	Foot or Feet	JT.	Joint	PL.	Plate	S.E.D.	See Electrical Drawings	UNL.	Unless Otherwise Noted
BD.	Board	D.W.	Dishwasher	FTG.	Footing	KIE.	Kitchen	PLAK.	Plastic Laminate	SEP.	Separation	VAR.	Variety
BTUM.	Bituminous	DWR.	Drawing	FUR.	Furring	LAM.	Laminate	PLAS.	Plastic	SHR.	Shrink	V.C.T.	Vinyl Composition Tile
BUILDG.	Building	EA.	Each	G.	Gas	LAU.	Lavatory	PLYWD.	Plywood	SHR.	Shrink	VEN.	Vent
BK.	Block	EA.	Each	G.	Gas	LAU.	Lavatory	PNT.	Paint	SHG.	Shingling	VERT.	Vertical
BKG.	Blocking	(E)	Each	G.	Gas	LAU.	Lavatory	PNT.	Paint	SHG.	Shingling	VERT.	Vertical
BM.	Beam	EXT.	Exterior Insulation & Finish System	GALV.	Galvanized	LB.	Load Bearing	P.S.I.	Per Square Inch	SHR.	Shrink	VENT.	Vent
B.O.	Bottom of	EJ.	Elevation	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
BOT.	Bottom	EJ.	Elevation	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
B.P.	Building Paper	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
BTWN.	Between	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
C.B.	Catch Basin	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
CEM.	Cement	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
CER.	Ceramic	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
C.J.	Control Joint	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
CLG.	Ceiling	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
CLKG.	Caulking	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
CLR.	Clear	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
CMU.	Concrete Masonry	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
CNT.	Counter	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
C.O.	Colum	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field
COL.	Colum	BL.	Between	G.D.	Ground Fault	LB.	Load Bearing	P.T.	Pressure Treated	S.D.	See Structural Drawings	V.F.	Vent in Field

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PRUNERIDGE GOLF CLUBHOUSE
400 SARATOGA AVE
SANTA CLARA, CA



PLOT DATE: 10.26.18

REVISIONS:

NO. DATE ISSUE

01/18/18 PRUNERIDGE GOLF CLUBHOUSE

02/18/18 PRUNERIDGE GOLF CLUBHOUSE

03/18/18 PRUNERIDGE GOLF CLUBHOUSE

04/18/18 PRUNERIDGE GOLF CLUBHOUSE

05/18/18 PRUNERIDGE GOLF CLUBHOUSE

06/18/18 PRUNERIDGE GOLF CLUBHOUSE

07/18/18 PRUNERIDGE GOLF CLUBHOUSE

08/18/18 PRUNERIDGE GOLF CLUBHOUSE

09/18/18 PRUNERIDGE GOLF CLUBHOUSE

10/18/18 PRUNERIDGE GOLF CLUBHOUSE

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12/18/18 PRUNERIDGE GOLF CLUBHOUSE

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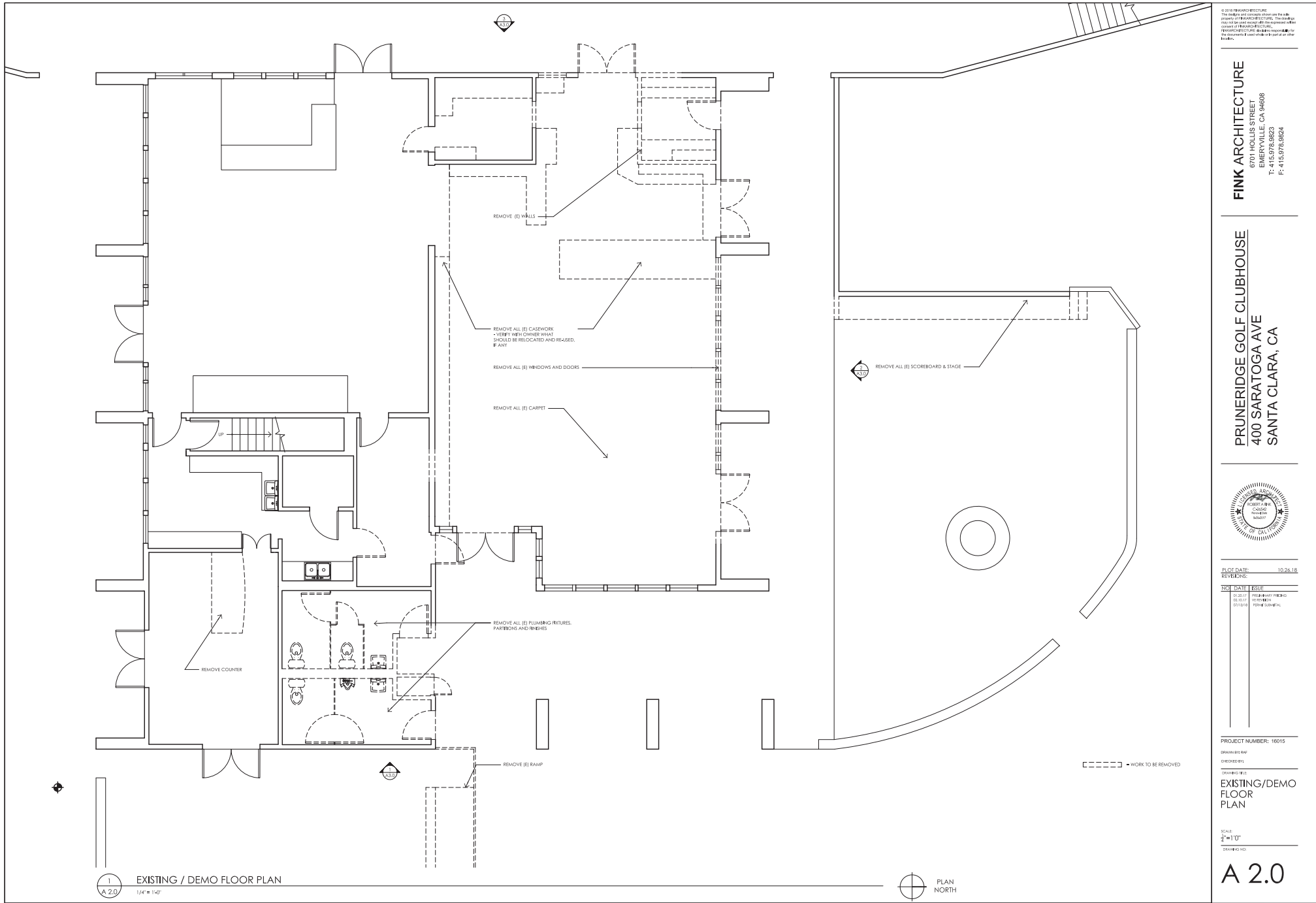
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PRUNERIDGE GOLF CLUBHOUSE
400 SARATOGA AVE
SANTA CLARA, CA



PLOT DATE: 10.26.18
REVISIONS:

NO.	DATE	ISSUE
01	10.17.18	PROBABILITY FLOORING
02	10.17.18	PROBABILITY FLOORING
03	10.17.18	PROBABILITY FLOORING

PROJECT NUMBER: 18015

DRAWN BY: BDF

CHECKED BY:

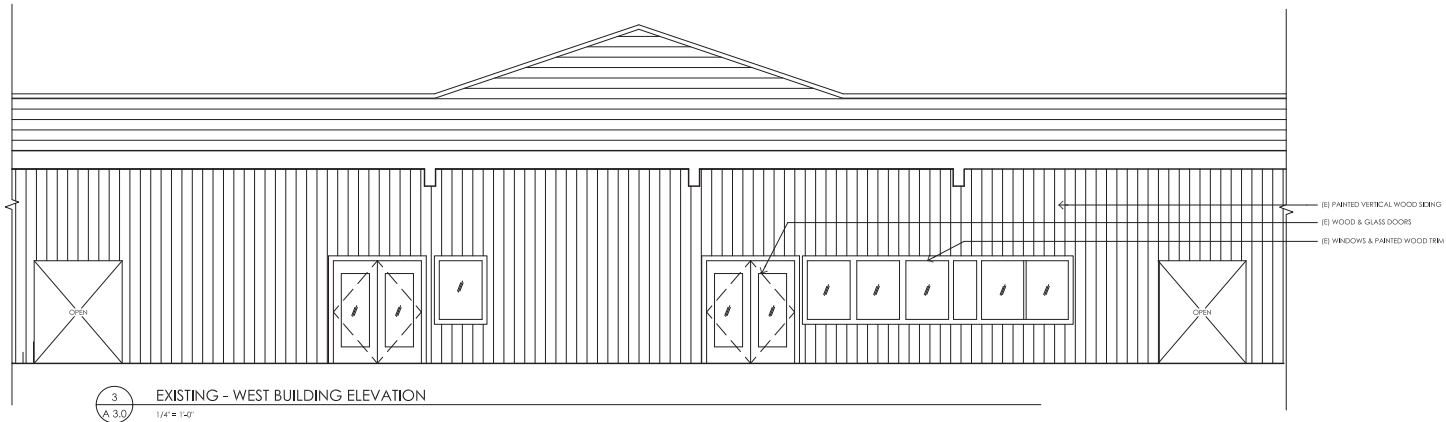
DESIGNED BY:

**EXISTING/DEMO
FLOOR
PLAN**

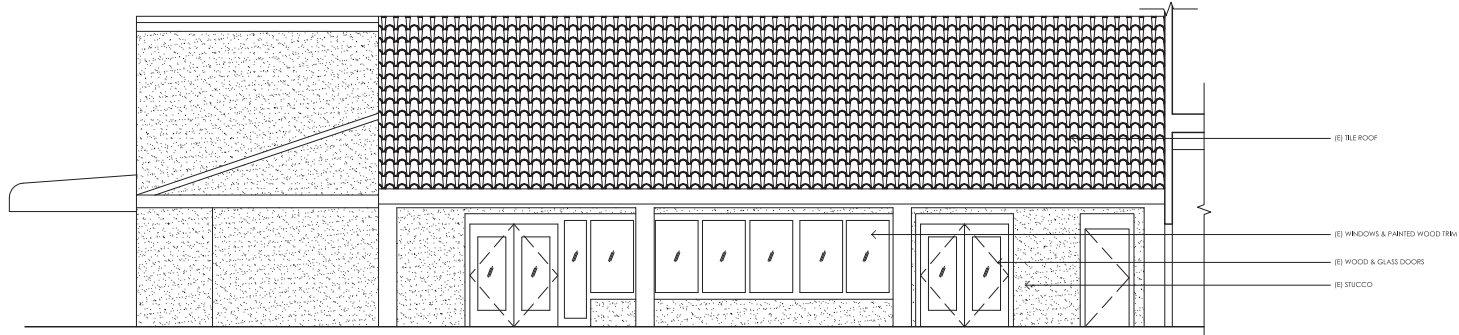
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1/4" = 1'-0"

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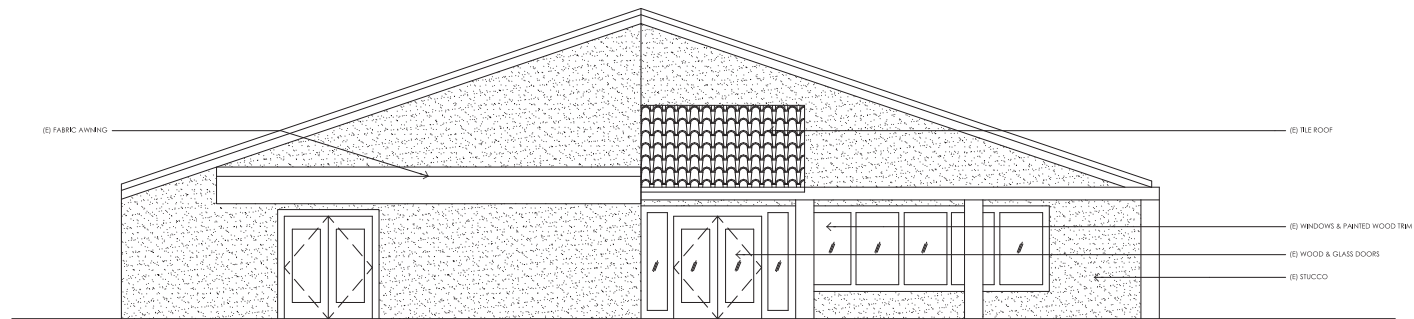
A 2.0



3
A 3.0
EXISTING - WEST BUILDING ELEVATION
1/4" = 1'-0"



2
A 3.0
EXISTING - NORTH BUILDING ELEVATION
1/4" = 1'-0"



1
A 3.0
EXISTING - EAST BUILDING ELEVATION
1/4" = 1'-0"

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PRUNERIDGE GOLF CLUBHOUSE
400 SARATOGA AVE
SANTA CLARA, CA



PLOT DATE: 10.26.18
REVISIONS:

NO.	DATE	ISSUE
01	01.27.18	100% DESIGN
02	07.10.18	PERMIT SUBMITTAL

PROJECT NUMBER: 18015

DRAWN BY: BAF

CHECKED BY: WJS

DATE: 10.26.18

SCALE: 1/4" = 1'-0"

DATE: 10.26.18

PROJECT: PRUNERIDGE GOLF CLUBHOUSE

DATE: 10.26.18

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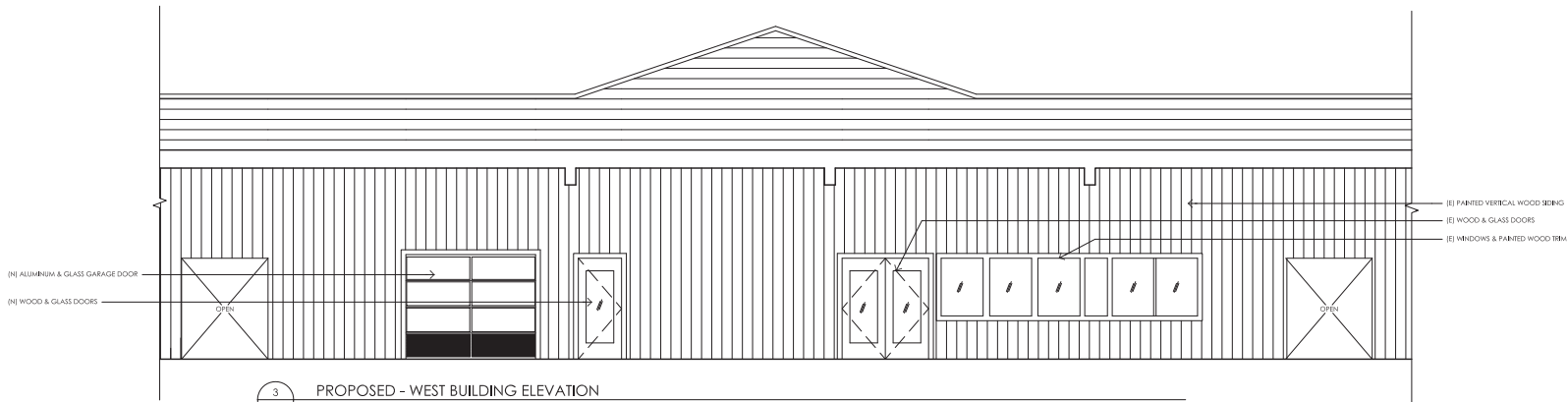
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PROJECT: PRUNERIDGE GOLF CLUBHOUSE

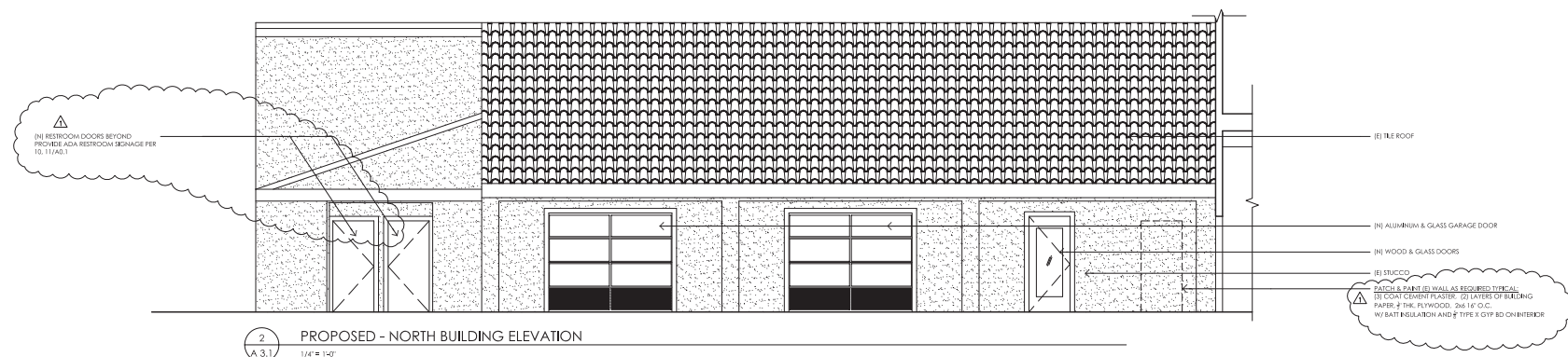
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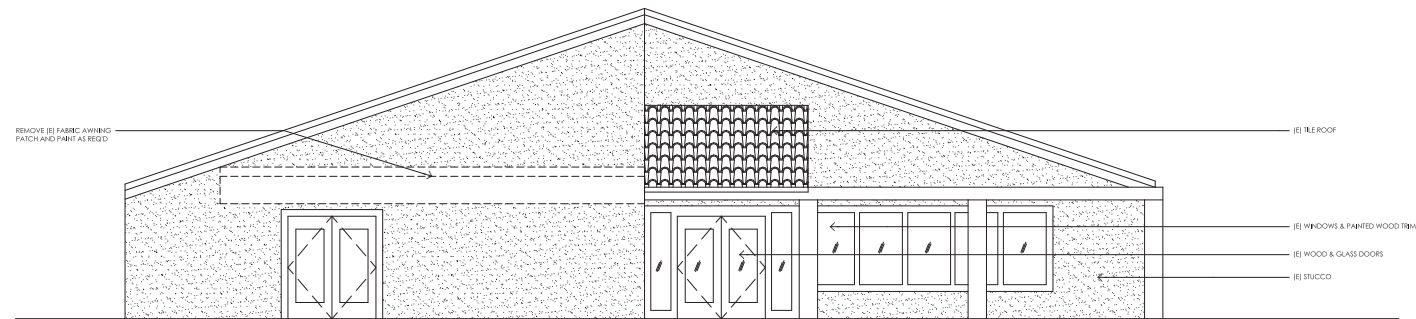
DATE: 10.26.18



3
A 3.1
PROPOSED - WEST BUILDING ELEVATION
1/4" = 1'-0"



2
A 3.1
PROPOSED - NORTH BUILDING ELEVATION
1/4" = 1'-0"



1
A 3.1
PROPOSED - EAST BUILDING ELEVATION
1/4" = 1'-0"

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SANTA CLARA, CA



PLOT DATE: 10/26/18
REVISIONS:

NO.	DATE	ISSUE
01	03/27/18	DD: 100% Bldg
02	07/10/18	RFPM: 100% Bldg
03	10/01/18	PLAN CHECK RESPONSE

PROJECT NUMBER: 18015
DRAWN BY: BAW
CHECKED BY: JAF
DATE: 10/26/18

**PROPOSED
BUILDING
ELEVATIONS**

SCALE:
1/4" = 1'-0"
DRAWING NO:

A 3.1