



A REMODEL FOR Hania & Przemyslaw Krzysztof Tredak

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION IS REQUIRED TO BE FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MM HOME DESIGNS, AND ACQUIRE ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLANS OR ANY OTHER DOCUMENTS, MM HOME DESIGNS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS, DIMENSIONS AND DIMENSIONS WHICH THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR. PRIOR TO CONSTRUCTION AND/OR PUBLICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MM HOME DESIGNS. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MM HOME DESIGNS.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND OTHER REQUIREMENTS WHICH HAVE BEEN ADOPTED BY THE LOCAL JURISDICTION OR ARE OTHERWISE APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, COLORS, AND OTHER CONDITIONS, AND SHALL CORRECT AT HIS/HER OWN RISK. THE CONTRACTOR SHALL NOTIFY ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL PERMITS AND OBTAINING ALL NECESSARY PERMITS AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOW OR INTEREST) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF WORK.
- FIELD DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, UNLESS SHOWN OR IMPLIED OTHERWISE, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITIONS. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- PROVIDE ALL NECESSARY FIRE BLOCKING IN ACCORDANCE WITH SECTION 718 OF THE CURRENT ADOPTED EDITION OF C.C.C.
- EXISTING NOTE: THE BUILDING OR SPACE SHALL PROVIDE A READILY RESEMBLABLE BRAND OF BUSINESS CONSULTING WITH CHANGES TO AND CAPTURE A OFFICE APPLICABLE FOR ACCESSIBILITY PURPOSES OF THE CURRENT SECTION OF THE CALIFORNIA BUILDING CODE. THE BEST PRACTICE SHALL MAINTAIN A CONTINUOUS, UNINTERRUPTED AND UNOBSTRUCTED PATH OF FOOT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.
- JOB COPIES OF THE APPROVED BUILDING PLANS, REVISIONS, AND DEPARTED SUBMITTALS SHALL BE DISPLAYED DURING INSPECTIONS. CONSTRUCTION SITE SHALL BE ENCLOSED BY 6" PVC FENCE AT ALL TIMES DURING CONSTRUCTION.
- NO OBSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR OTHER SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.
- TRASH CONTAINERS SHALL BE MAINTAINED AND FILLED AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OBSTRUCTER BELOW DRIVE SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINERS.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BE RE-USED) SHALL BE REMOVED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- THE PROJECT SHALL HAVE A SIGNAL VISIBILITY FROM THE PUBLIC RIGHT OF WAY INDICATING THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6:30 PM, SATURDAY FROM 8AM TO 2PM.

SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 24 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE ITEMS YOU ARE NOT EXPECTING.

APPLICABLE CODE

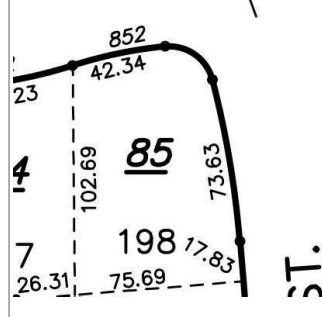
ALL CONSTRUCTION SHALL COMPLY WITH:

- 2022 CALIF. FIRE CODE
- 2022 CALIF. ELEC. CODE
- 2022 CALIF. RESIDENTIAL CODE
- 2022 CALIF. MECH. CODE
- 2022 CALIF. PLUMBING CODE
- 2022 CALIF. ELEC. CODE
- 2022 CALIF. ENERGY CODES
- 2022 CALIF. GREEN BUILDING CODES
- ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

VICINITY MAP



PARCEL MAP



ANALYSIS

ASSESSOR'S PARCEL #	10107085
LOT AREA:	8,319 S.F.
ZONING:	R1-6L
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY RATING:	R-3, U
EXISTING USE:	SINGLE FAMILY RES.
SLOPE OF LOT	FLAT LOT
HISTORIC	NO
FIRE SPRINKLERS	NO
WUI	NO
STORIES	2
EXISTING	
EXISTING LOWER LIVING:	1,307 S.F.
EXISTING UPPER LIVING:	595 S.F.
EXISTING GARAGE:	440 S.F.
TOTAL EXISTING:	2,342 S.F.
PROPOSED	
NEW LOWER LIVING	310 S.F.
NEW UPPER LIVING	440 S.F.
EXISTING GARAGE:	3,082 S.F.
TOTAL PROPOSED LIVING	2,622 S.F.

PROPOSED PORCH	45 S.F.
LOWER FLOOR AREA (LIVING + GARAGE)	2,057 S.F.
SECOND FLOOR AREA	1,005 S.F.

48% UPPER FLOOR TO LOWER FLOOR

LOT COVERAGE: 2,337 / LOT AREA: 8,319 S.F. = 28%

LIVING + GARAGE: 2,057 SF PORCH: 45 SF DECK: 175 SF STAIRS: 60 SF TOTAL LOT COVERAGE: 2,337 SF 2,337 / 8,319 = 28%

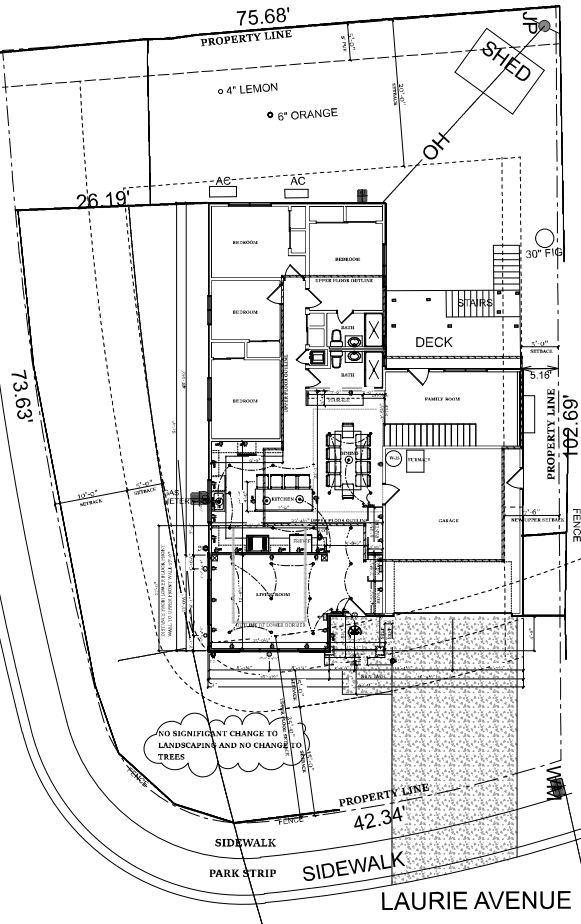
SCOPE OF WORK

REMODEL KITCHEN AREA
 NEW LOWER CONDITIONED LIVING: 310 SQ.FT.
 NEW UPPER CONDITIONED LIVING: 440 SQ.FT.
 NEW LOWER COVERED PORCH/PROJECT TOTALS
 TOTAL FLOOR AREA: 3,062 SQ.FT. (GARAGE + ALL CONDITIONED LIVING AREAS)
 ADDED FLOOR AREA: 750 SQ.FT.

PERSONAE

OWNER	DESIGNER
Hania & Przemyslaw Krzysztof Tredak 852 Laurie Ave, Santa Clara, 95054 ptredak@gmail.com 4086148399	MM HOME DESIGNS MEGAN MINER 18488 PROSPECT RD. #15 SARATOGA, CA 95070 SHELMINER@MMH.COM 408-396-0951

CITY STAMP AREA



SITE PLAN
SCALE: 1/8" = 1'-0"

REVISIONS BY
Tuesday, May 8, 2024

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Megan Miner

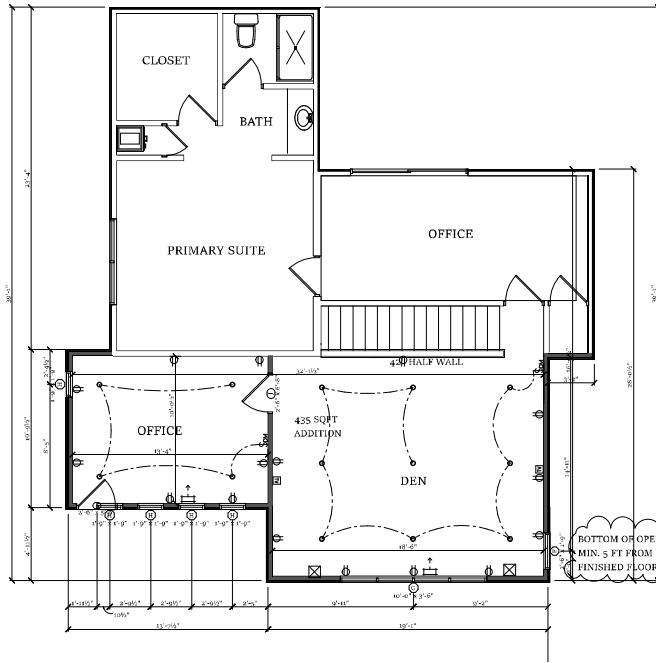


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CONTRACT:



UPPER FLOORPLAN
SCALE: 1/4" = 1'-0"

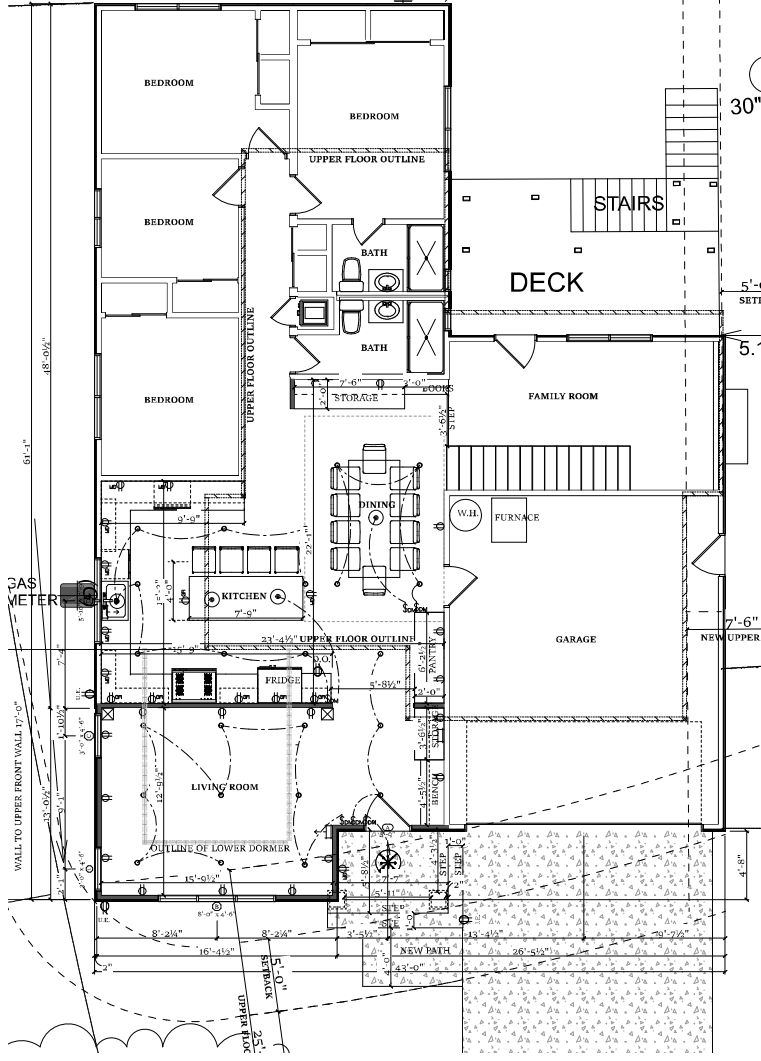
SYMBOL	DESCRIPTION
(Symbol)	WALL
(Symbol)	DOOR
(Symbol)	WINDOW
(Symbol)	STAIR
(Symbol)	BATH
(Symbol)	CLOSET

SYMBOL	DESCRIPTION
(Symbol)	WALL
(Symbol)	DOOR
(Symbol)	WINDOW
(Symbol)	STAIR
(Symbol)	BATH
(Symbol)	CLOSET

SYMBOL	DESCRIPTION
(Symbol)	WALL
(Symbol)	DOOR
(Symbol)	WINDOW
(Symbol)	STAIR
(Symbol)	BATH
(Symbol)	CLOSET

SYMBOL	DESCRIPTION
(Symbol)	WALL
(Symbol)	DOOR
(Symbol)	WINDOW
(Symbol)	STAIR
(Symbol)	BATH
(Symbol)	CLOSET

NO CROWN MOULDING
BASE & TRIM TO MATCH EXISTING
LVP HARDWOOD IN NEW AND REMODEL AREA



LOWER FLOORPLAN
SCALE: 1/4" = 1'-0"

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Megan Miano



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FLOORPLANS



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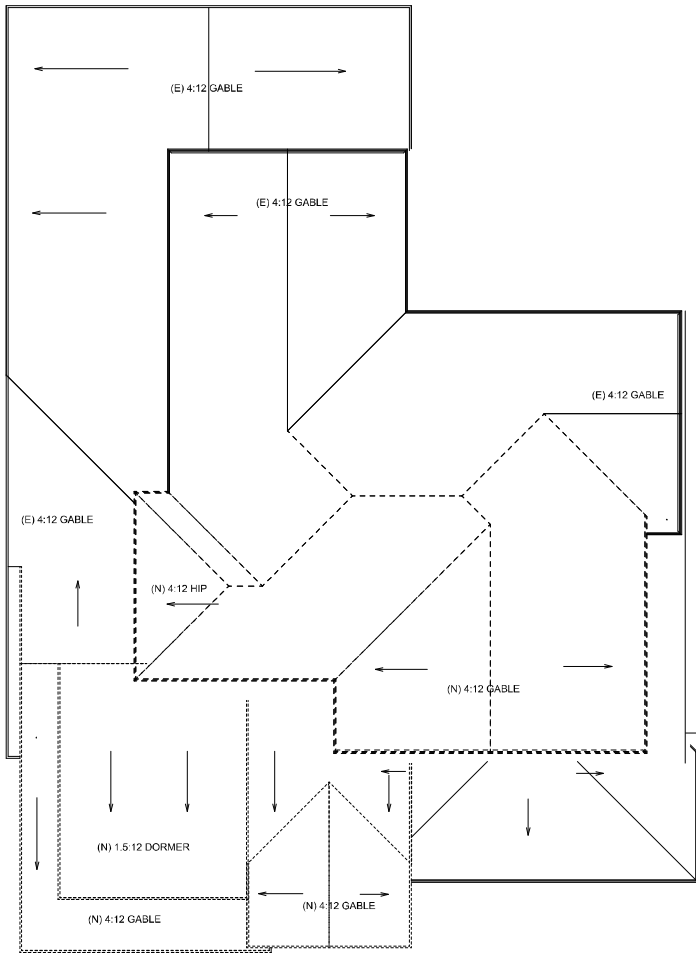
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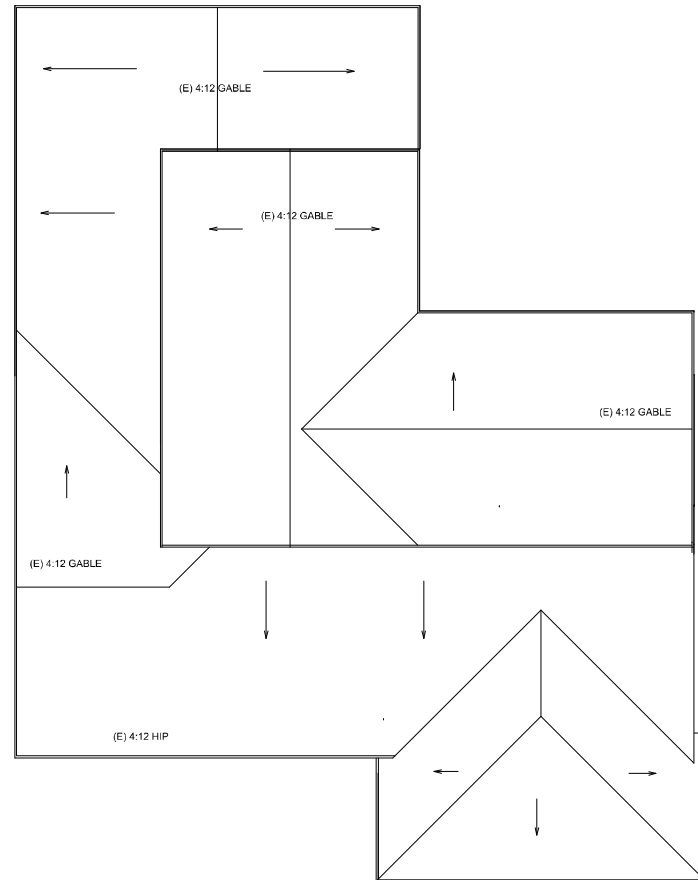
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PROPOSED ROOF PLAN



EXISTING ROOF PLAN

TOP ELEVATION
SCALE: 1/4" = 1'-0"

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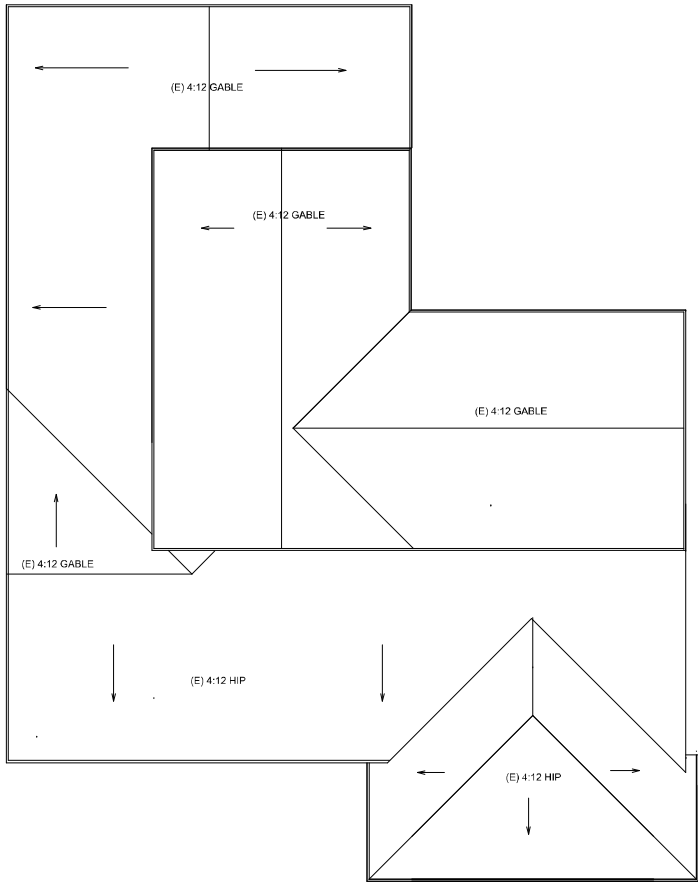


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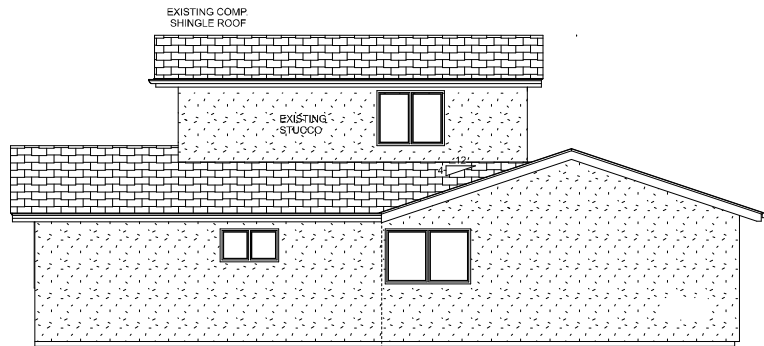
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ROOF PLAN



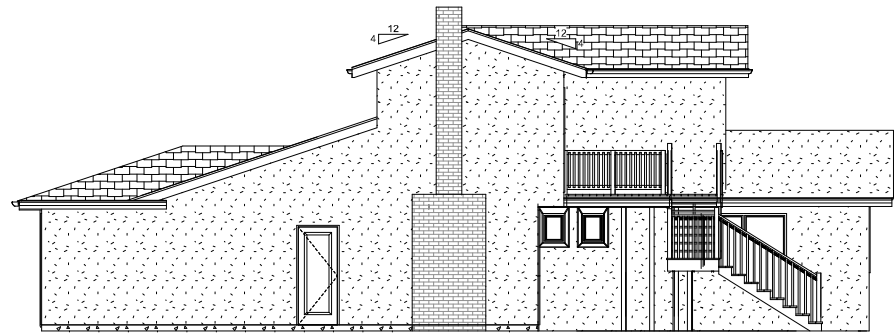
EXISTING TOP ELEVATION
SCALE: 1/4" = 1'-0"



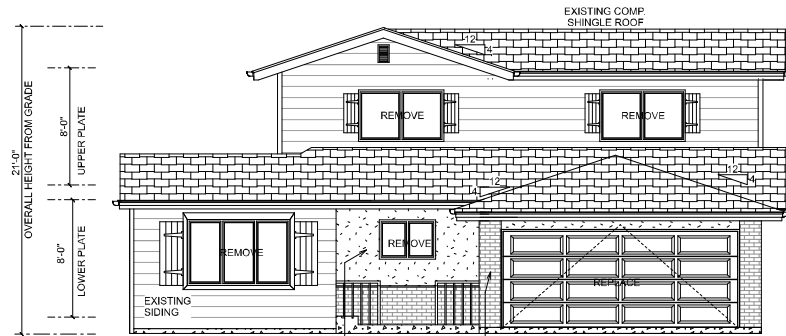
EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



NO CHANGES TO EXISTING REAR ELEVATION.
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY

THE PLANS, SPECIFICATIONS, SCHEDULES, AND NOTES SHALL BE READ AND UNDERSTOOD IN THEIR ENTIRETY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

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DATE	BY

EXISTING ELEVATIONS

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

SECTION	REVISION	REVISION DATE	REVISION PARTY
1.0	1		
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1.0	98		
1.0	99		
1.0	100		

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "base formula" (See Table 4.504.1-1) "MIR" measure per weight of compound added, expressed to hundredths of a gram (g) by (g) (G/G).

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94703 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT WEIGHTED MIR (PWIR). The sum of all weights-MIR for all ingredients in a product subject to this table. The PWIR is the final product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWIR is calculated according to equations found in CCR, Title 17, Section 95217 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeter of mercury at room temperature. These compounds typically contain hydrogen atoms may contain oxygen, nitrogen and other elements. See CCR, Title 17, Section 95599(a).

4.503 FIREPLACES.

4.503.1 GENERAL. Any installed gas fireplace shall be a direct vent sealed combustion type. Any installed wood-burning fireplace shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL.

4.504.1 CONTROLS OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of duct installation, cover, storage in the constant clean air unit line starts of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with floor, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulk used on the project shall meet the requirements of the following standards unless more stringent local or regional codes or an authority having jurisdiction requires otherwise.

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional pollution control air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1-1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain leaded solvents (toluene, xylene, ethylbenzene, styrene, ethyl acetate, acetone, methyl ethyl ketone, and methoxyacetone), except for exempt products, as specified in Subsection 2.

2. Adhesive adhesives, and smaller unit size adhesives, and sealant or caulk compounds in unit-of-product, less packaging, which do not weigh more than 1 pound and do not consist of more than 10 milliliters, shall comply with substrate VOC standards and other requirements, including prohibition on use of certain size compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Quality Control District Control Measure, as shown in Table 4.504.1-1, unless more stringent local rules apply. The VOC content limit for coatings that do not meet the definition for the volatile organic compound listed in Table 4.504.1-1 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat/High Gloss coating, based on its gloss, as defined in subsections 4.1, 4.2, and 4.3 of the 2007 California Air Resources Board Significant Control Measure and the corresponding Flat, Nonflat or Nonflat High Gloss VOC limit in Table 4.504.1-1 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR limits for VOC in Section 94502(a)(2) and other requirements, including prohibition on use of certain toxic chemicals and vapors, as specified in subsections 4.1, 4.2, and 4.3 of the 2007 California Air Resources Board Significant Control Measure, and shall also comply with the jurisdiction of the Bay Area Air Quality Management District, which shall comply with the general VOC by weight-of-product rule of Regulation 8, Rule 45.

4.504.2.4 Verification. The verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but not be limited to the following:

1. Manufacturer's product specification.
2. Field verification of onsite product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT (g)
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	50
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VICT & ASPHALT TILE ADHESIVES	50
CRYSTALL & PANEL ADHESIVES	50
COVER SHEET ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	75
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	200
DI-HEM ADHESIVES NOT LISTED	50
STONE CONSOLIDANTS	250
PVC WELDINGS	210
CPVC WELDINGS	400
WAX WELDING	320
PLASTIC CEMENT WELDINGS	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	440
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 168.

TABLE 4.504.2 - SEALANT VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	230
MARINE DECK	700
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420

SEALANT PRIMERS

ARCHITECTURAL	VOC LIMIT
NON-POROUS	230
POROUS	775
MODIFIED BITUMINOUS	600
MARINE DECK	700
OTHER	700

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (g)
(GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS)

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	130
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF PRIMERS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	40
BITUMINOUS ROOF PRIMERS	30
BOND BRIDGES	300
CONCRETE CURING COMPOUNDS	30
CONCRETE TEMPERATURE SEALERS	100
WOODWAX SEALERS	50
DRY GYPSUM COATINGS	150
PAINT FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	300
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	600
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	130
MAGNETITE CEMENT COATINGS	400
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	220
PRETREATMENT WASH PRIMERS	420
PRIMER SEALERS & UNDERCOATERS	100
REACTIVE PRETREATMENT SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
BI-ULCALS	730
CLEAR	730
ORNGUJ	600
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	150
STAINS	250
STONE CONSOLIDANTS	420
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	200
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIC VOC LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMN IN THIS TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SIGNIFICANT CONTROL MEASURE, FEB. 1, 2005. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS
(MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION)

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.30
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN-MEDIUM DENSITY FIBERBOARD	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA RESOURCES BOARD, SIGNIFICANT CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1330. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93150.

2. THIN-MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health's "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using an Environmental Chamber," Version 1.2, January 2017 (Emission testing method for California Specification 01350).

See California Department of Public Health's website for certification programs and testing labs.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health's "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using an Environmental Chamber," Version 1.2, January 2017 (Emission testing method for California Specification 01350).

See California Department of Public Health's website for certification programs and testing labs.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESIDENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area meeting resident flooring shall meet the requirements of the California Department of Public Health's "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using an Environmental Chamber," Version 1.2, January 2017 (Emission testing method for California Specification 01350).

See California Department of Public Health's website for certification programs and testing labs.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used for the interior or exterior of buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 81310.10) by or before the dates specified in these sections, as shown in Table 4.504.5.

4.504.5.1 Documentation. Documentation of compliance with this section shall be provided as required by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody documentation.
3. Product labels and invoices as required by the Composite Wood Products regulation (see CCR, Title 17, Section 89130.10).
4. Letter or grade products, such as meeting the P2-1 or P2-2 standards of the Engineered Wood Association, ANSI/APA-PRG 3205, European E-99 35 standards, and Canadian CDA 0121, CSA 0191, CSA 0193 and CSA 026 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 GENERAL. Buildings shall meet or exceed the provisions of the California Building Standards Code, and all concrete slab foundations.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by the California Residential Code, Chapter 8, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-mil (0.016 mm) non-soak of 1/2 inch (12.7 mm) or larger sheet polyethylene shall be provided with a vapor barrier in direct contact with concrete and a concrete cure design, which will address bleeding, shrinkage, and curing, that is used. For additional information, see American Concrete Institute, ACI 308.2R-08.
2. Other approved methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall be replaced. Wall and floor framing shall not be replaced when the framing members exceed 18 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture content shall be approved by the enforcing agency and shall satisfy requirements found in Section 101.01 of this code.

2. Moisture content shall be taken at a point 2 inches (51 mm) to 4 inches (102 mm) from the grade, at least one end of each joist or rafter.

3. At least three random moisture readings shall be performed on wall and floor framing, with documentation acceptable to the enforcing agency provided at the time of approval to include the wall and floor framing.

Insulation products when are applied and have a high moisture content shall be replaced or allowed to dry prior to enclosure as well as for the slab. The applied insulation products shall follow the manufacturer's drying/reconditioning prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Exhaust fan shall be a component of a whole house ventilation system. Exhaust shall be controlled by a humidity control.

3. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 60%. A humidity control may utilize manual or automatic means of control.

4. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

Note:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or shower pan.
2. Lighting fixture to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.1 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be code designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE Handbook or other approved design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE Handbook or other approved design software or methods.
3. Sizing heating and cooling equipment according to ANSI/ACCA Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design techniques necessary to achieve the system functions are acceptable.

SECTION	REVISION	REVISION DATE	REVISION PARTY
1.0	1		
1.0	2		
1.0	3		
1.0	4		

REVISIONS	BY

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