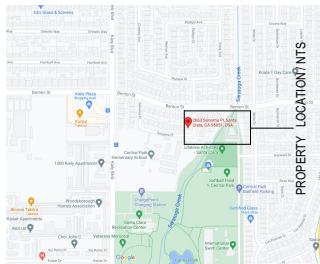


# SONOMA PL. RESIDENCE

SANTA CLARA, CA

## VICINITY MAP:



PROPERTY LOCATIONS

## PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 290-28-014  
 PROJECT TYPE: ADDITION & REMODEL  
 PROJECT LOCATION: 2653 SONOMA PL., SANTA CLARA, CA 95051  
 ZONING: R1-6L  
 OCCUPANCY GROUP: VERY LOW DENSITY RESIDENTIAL  
 CONSTRUCTION TYPE: R-3 (U)  
 NUMBER OF FLOORS: V - B  
 FIRE PROTECTION: NON SPRINKLERED  
 BEDROOM NUMBER: 4  
 BATHROOM NUMBER: 3  
 LOT AREA: 6222 SQ.FT

## CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL 2019 EDITION  
 B. CALIFORNIA BUILDING 2019 EDITION  
 C. CALIFORNIA GREEN BUILDING 2019 EDITION  
 D. CALIFORNIA MECHANICAL 2019 EDITION  
 E. CALIFORNIA PLUMBING 2019 EDITION  
 F. CALIFORNIA ELECTRICAL 2019 EDITION  
 G. CALIFORNIA ENERGY 2019 EDITION  
 H. CALIFORNIA FIRE 2019 EDITION  
 ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS 2019 EDITION

## SCOPE OF WORK:

- ADDITION OF 589 SQ.FT ON THE SECOND LEVEL -
- ADDITION TO BE NEW BEDROOM, WALK IN CLOSET, SINK AREA, SHOWER AND TUB SPACE
- CREATE NEW STAIRS AREA FOR ACCESS TO THE SECOND LEVEL.
- NEW EXTERIOR DECK SPACE AT THE FRONT.
- NO CHANGE TO GAS METER.
- NO CHANGE TO EXISTING ELECTRICAL PANEL.
- NO CHANGE TO EXISTING WATER HEATER
- NO CHANGE TO EXISTING FURNACE

## PROJECT CONTACT:

OWNER: KEVIN  
 2653 SONOMA PL.,  
 SANTA CLARA, CA  
 EMAIL: stubuculerstan@gmail.com  
 TELL: ---  
 DESIGNER: RAMIN ZOHOR  
 BARON CONSTRUCTION  
 14510 BIG BASIN WAY S. SARATOGA, CA  
 RAMIN@BARONCNR.COM  
 408-497-5071  
 LIC. 591075  
 WWW.BARONCNR.COM  
 STRUCTURAL: N/A  
 BUILDER: BARON CONSTRUCTION  
 14510 BIG BASIN WAY S. SARATOGA, CA  
 BARON.CNR@GMAIL.COM  
 1-800-955-2028  
 LIC. 591075  
 WWW.BARONCNR.COM  
 ENERGY: CARSTAR'S ENERGY INC.  
 2238 BAYVIEW HEIGHTS DRIVE, SUITE E  
 LOS OSOS, CA 93402  
 TELL: 805-904-9048

## DRAWING INDEX:

A-00.01: COVER SHEET  
 A-01: SITE PLAN  
 A-01: MAIN LEVEL  
 A-02: SECOND LEVEL  
 A-03: EXISTING EXTERIOR ELEVATIONS  
 A-04: PROPOSED EXTERIOR ELEVATIONS

## AREA CALCULATION:

EXISTING CONDITION: 1148 SQF  
 \*E\* LIVING SPACE: 333 SQF  
 \*E\* GARAGE: 333 SQF  
 \*N\* ADDITION: 589 SQF HABITABLE SPACE  
 \*N\* UN-COVERED DECK: 239 SQF  
 PROPOSED CONDITION:  
 \*N\* LIVING SPACE: 1737 SQF  
 \*E\* GARAGE: 333 SQF  
 \*N\* UN-COVERED DECK: 239 SQF  
 LOT AREA: 6222 SQF

FLOOR AREA : ( LIVING AREA + GARAGE )  
 \*N\* FLOOR BLDG AREA (1737+333) SQF  
 \*N\* TOTAL % 2070/6222 = 0.332= 33.2 %

## GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

## ABBREVIATIONS:

ABV. Above	FDN. Foundation	PLT. Plate
A/C Air Conditioner	FLR. Floor	P.L. Property line
A.D. Access Door	FURN. Furnace	PLYWD. Plywood
ADD. Addition	G.C. General Contractor	PWR. Power
A.F.F. Above Finished Floor	G.F.C.I. Ground Fault Circuit Interrupt	R.O. Rough Opening
A.F.G. Above Finished Grade	GYP. Gypsum	R.O.W. Right of way
B.L. Building Line	H.S. Hose bib	REFG. Refrigerator
BLDG. Building	HGT. Height	REF. Reference
B.O. Bottom of	HR. Hour	REV. Revision
BTM. Bottom	H.R. Handrail	RMV. Remove
CABT. Cabinet	HTR. Heater	S.C. Self-Closing
C.D. Construction document	H.V.A.C. Heating, Venting and Air Conditioning	SCHED. Schedule
C.L. Center Line	INSUL. Insulation	S.D. Smoke detector
CL. Closet	INT. Interior	SECT. Section
CL.G. Ceiling	LAM. Laminate	SHT. Sheet
C.O. Clean Out	LAV. Lavatory	T.O.C. Top of curb
CONC. Concrete	MAX. Maximum	T.O.F. Top of footing
D.S. Down spout	MED. Medium	TH. Threshold
D.W. Dishwasher	MIN. Minimum	TYP. Typical
DBL. Double	MTL. Metal (steel)	UNF. Unfinished
DEM. Demolition	MUL. Mulch	W.C. Toilet (water closet)
DIA. Diameter	N.T.S. Not to scale	W.C.T. Water closet
DR. Door	N.F.C. Not for construction	W.H. Water Heater
ELEV. Elevation	O.C. On center	W.I. Wrought Iron
EXST. Existing	O.H. Overhead	W.I.C. Walk in Closet
EXT. Exterior	OPNG. Opening	YD. Yard

## SONOMA PL. RESIDENCE

2653 SONOMA PL.,  
 SANTA CLARA, CA 95051

### REVISION TABLE


### SHEET TITLE:

**COVER SHEET**

PROJECT ID: \_\_\_\_\_  
 DATE: \_\_\_\_\_ JAN 2022  
 SCALE: \_\_\_\_\_  
 DRAWN BY: RZ (BARON CONSTRUCTION)

### SHEET NUMBER:

**A-00.01**

### OWNERSHIP:

**GRADING and DEMO NOTES:**

1. CONTACT PUBLIC WORKS. FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAIN/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. ALL NEW ELECTRICAL SERVICE (POWER, PHONE, AND OR CABLE) SHALL BE UNDER GROUND.
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL, WITH EXCEPTION:
  - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
  - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
11. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

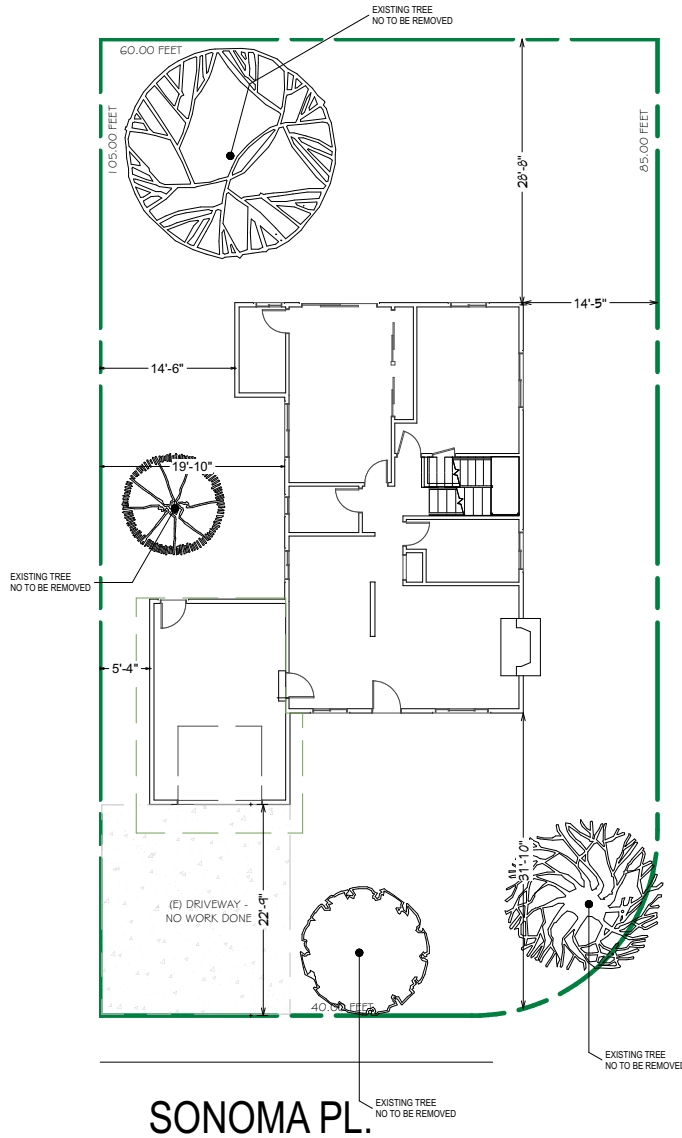
**TREE PROTECTION NOTES:**

1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN, NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

**LEGEND:**

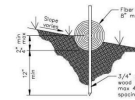
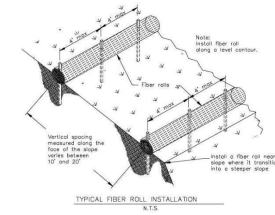
- PROPERTY LINE
- BLDG FOOT PRINT

GRAPHIC SCALE: 1" = 10'-0" (1:120)



**SONOMA PL.**

1 EXISTING MAIN LEVEL - (SETBACK) SITE PLAN (NO CHANGE)  
SC: 1/8" = 1'-0"



FIBER ROLL AT ADDITION AREA - FOR DRAINAGE

D1

SONOMA PL.

ADDITION and REMODELING FOR:  
**SONOMA PL,  
RESIDENCE**

2953 SONOMA PL.,  
SANTA CLARA, CA 95051

REVISION TABLE

NO.	DESCRIPTION

SHEET TITLE:

**SITE PLAN**

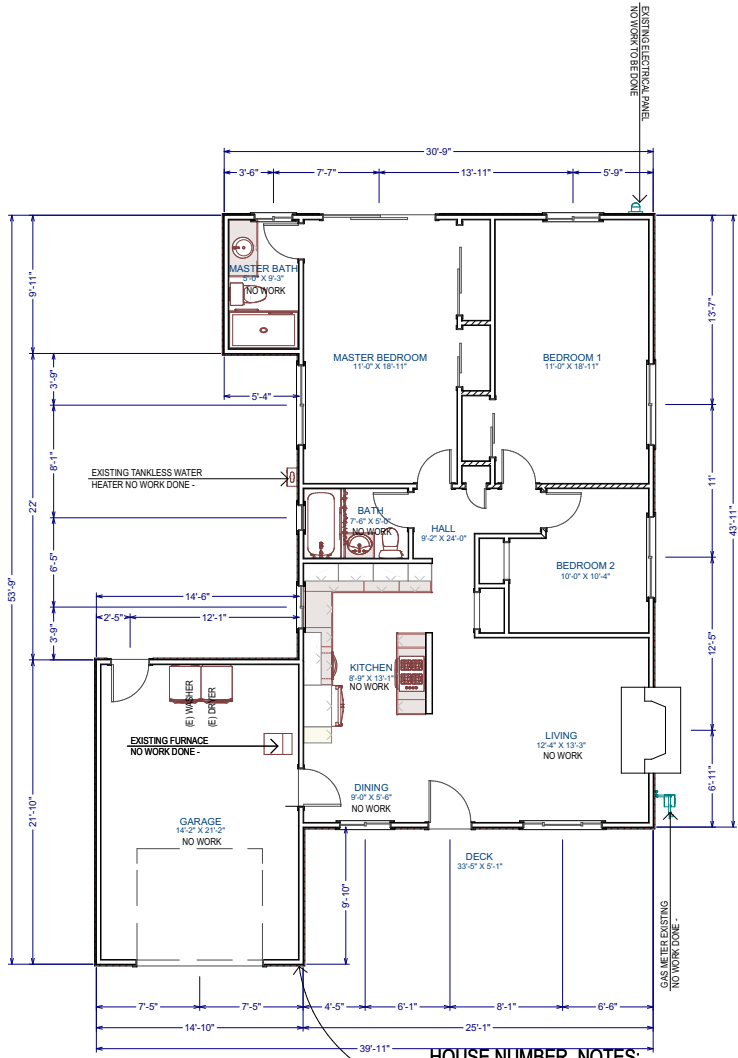
PROJECT ID :  
DATE : JAN 2022  
SCALE :  
DRAWN BY : RZ (BARON CONSTRUCTION)

SHEET NUMBER:

**A-S1**

OWNERSHIP:





**HOUSE NUMBER NOTES:**

- EXISTING HOUSE NUMBER : APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTERS SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)

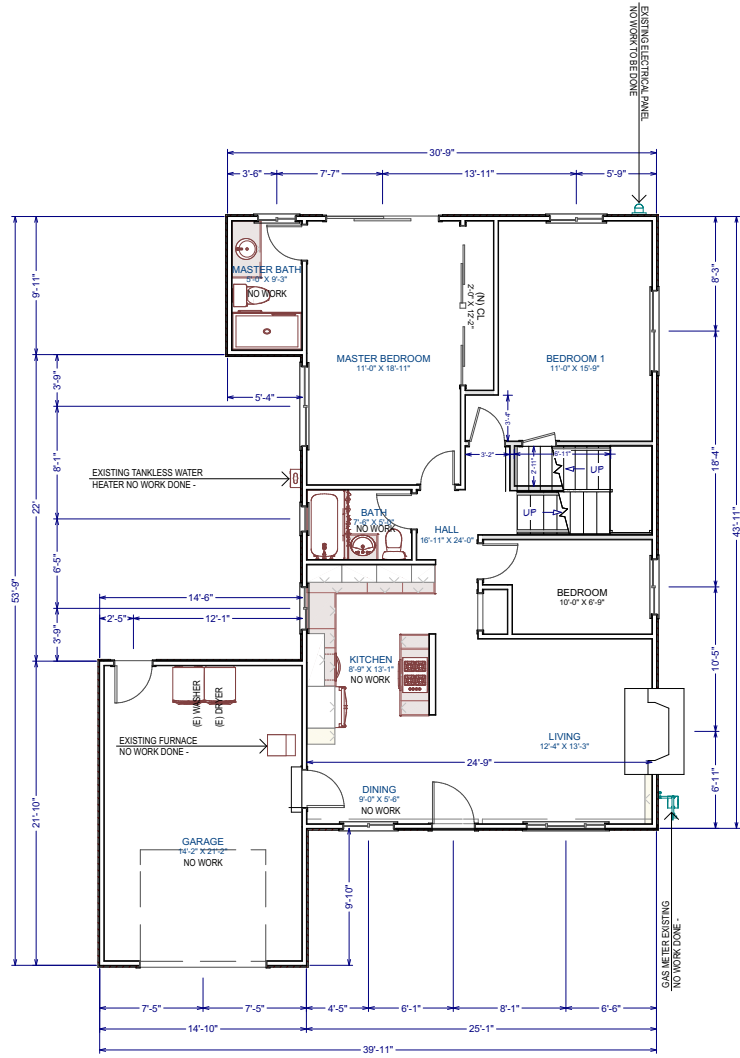
1 EXISTING FLOOR PLAN (MAIN LEVEL)

SC: 1/4" = 1'-0"



**LEGEND:**

- EXISTING WALL TO STAY
- NEW CONSTRUCTION WALL
- EXISTING WALL REMOVED

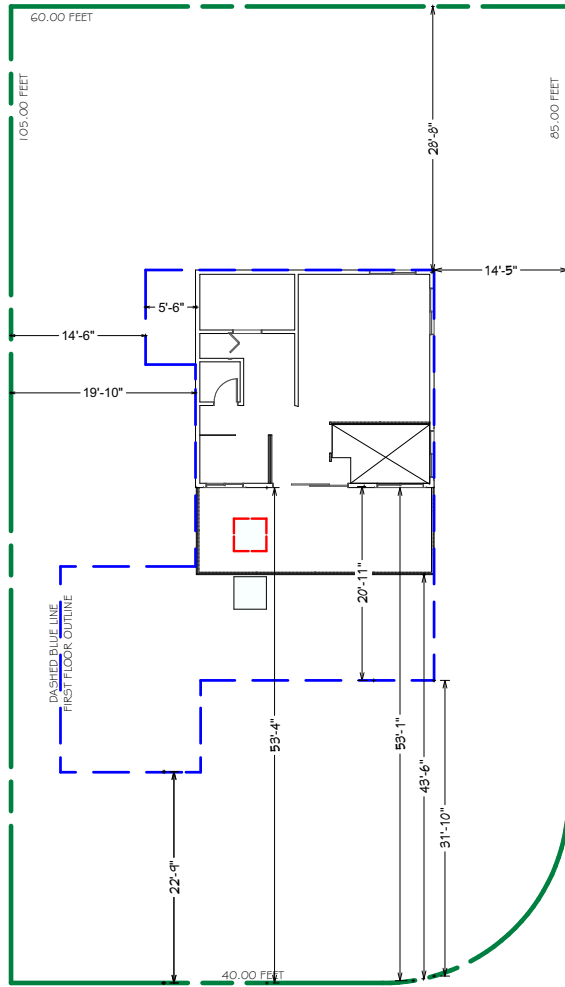


2 PROPOSED FLOOR PLAN - FIRST LEVEL

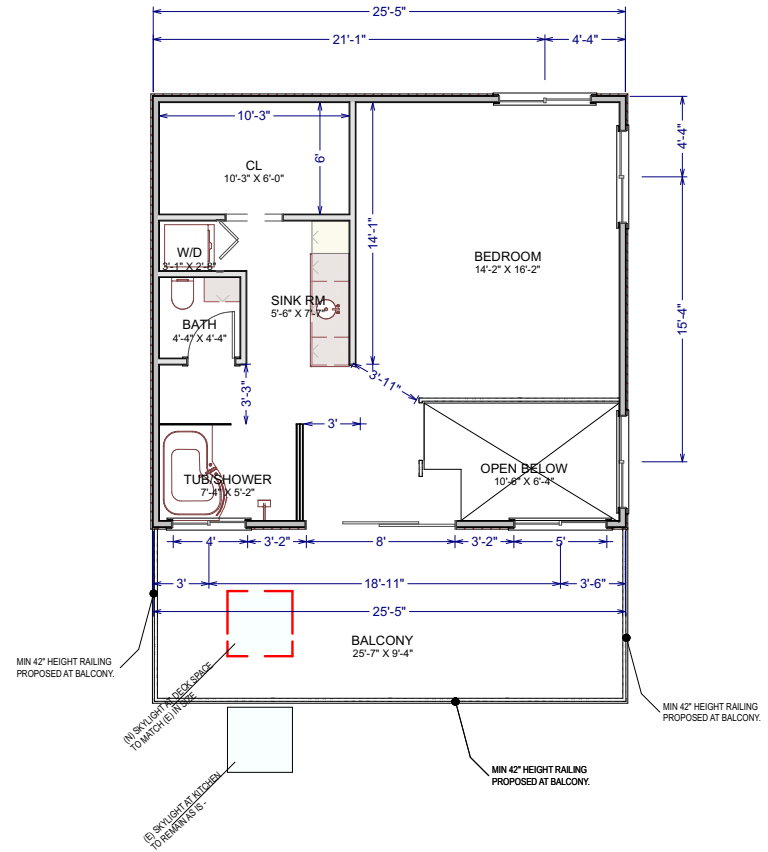
SC: 1/4" = 1'-0"

ADDITION and REMODELING FOR:	
<b>SONOMA PL, RESIDENCE</b>	
2653 SONOMA PL., SANTA CLARA, CA 95051	
REVISION TABLE	
SHEET TITLE:	
<b>FLOOR PLAN MAIN LEVEL</b>	
PROJECT ID:	JAN 2022
DATE:	
SCALE:	
DRAWN BY:	RZ (BARON CONSTRUCTION)
SHEET NUMBER:	
<b>A-01</b>	
OWNERSHIP:	





① SECOND LEVEL / SETBACK LINE  
SC: 1/8" = 1'-0"



LEGEND:

- PROPERTY LINE
- - - - FIRST FLOOR FOOTPRINT
- NEW WALL PER STRUCTURAL

② PROPOSED FLOOR PLAN - SECOND LEVEL  
SC: 1/4" = 1'-0"

ADDITION and REMODELING FOR:  
**SONOMA PL,  
RESIDENCE**  
2653 SONOMA PL.,  
SANTA CLARA, CA 95051

REVISION TABLE

NO.	DATE	DESCRIPTION

SHEET TITLE:  
**FLOOR PLAN  
SECOND LEVEL**

PROJECT ID:  
DATE: JAN 2022  
SCALE:  
DRAWN BY: RZ (BARON CONSTRUCTION)

SHEET NUMBER:  
**A-02**

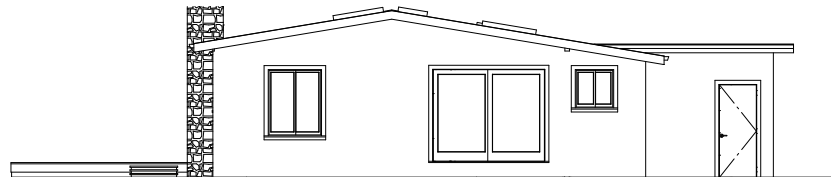
OWNERSHIP:





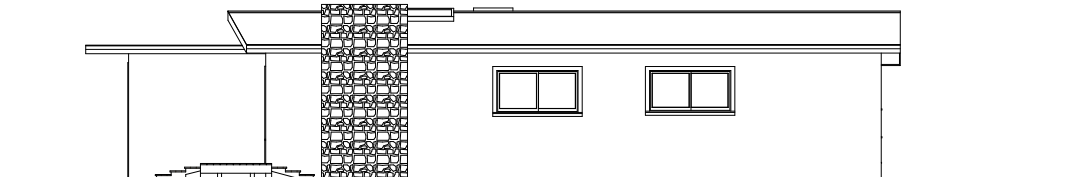
EXISTING FRONT ELEVATION

SC: 1/4" = 1'-0"



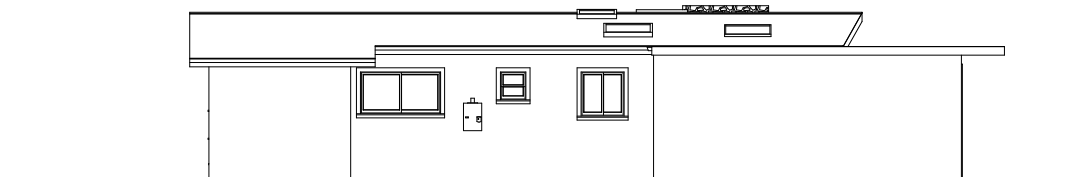
EXISTING REAR ELEVATION

SC: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION

SC: 1/4" = 1'-0"



EXISTING LEFT ELEVATION

SC: 1/4" = 1'-0"

ADDITION and REMODELING FOR:

**SONOMA PL,  
RESIDENCE**

2953 SONOMA PL.,  
SANTA CLARA, CA 95051

REVISION TABLE


SHEET TITLE:

**EXISTING  
ELEVATIONS**

PROJECT ID: \_\_\_\_\_  
DATE: \_\_\_\_\_ JAN 2022  
SCALE: \_\_\_\_\_  
DRAWN BY: RZ (BARON CONSTRUCTION)

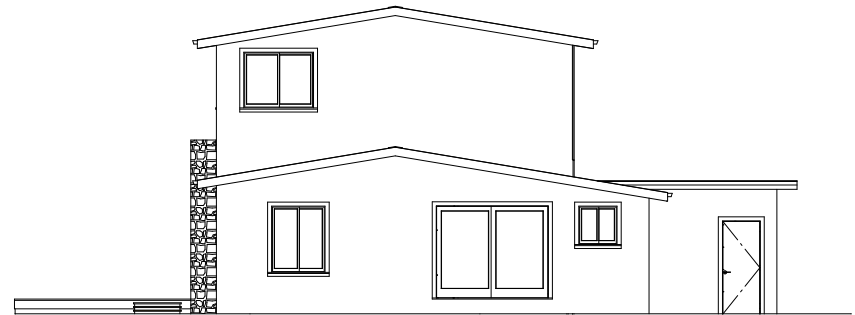
SHEET NUMBER:

**A-03**

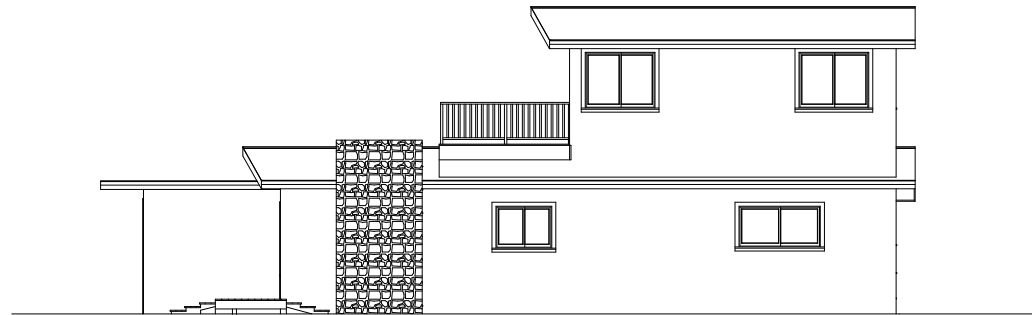
OWNERSHIP:



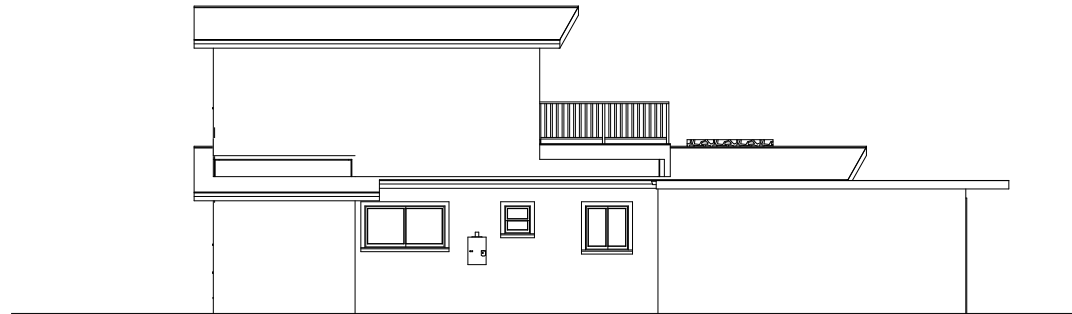
PROPOSED FRONT ELEVATION  
SC: 1/8" = 1'-0"



PROPOSED REAR ELEVATION  
SC: 1/8" = 1'-0"



PROPOSED RIGHT ELEVATION  
SC: 1/8" = 1'-0"



PROPOSED LEFT ELEVATION  
SC: 1/8" = 1'-0"

ADDITION and REMODELING FOR:  
**SONOMA PL,  
RESIDENCE**  
2953 SONOMA PL.,  
SANTA CLARA, CA 95051

REVISION TABLE

▲	
▲	
▲	

SHEET TITLE:  
**PROPOSED  
ELEVATIONS**

PROJECT ID :  
DATE : JAN 2022  
SCALE : 1/8" = 1'  
DRAWN BY : RZ (BARON CONSTRUCTION)

SHEET NUMBER:  
**A-04**

OWNERSHIP: