

749 CLARA VISTA

SANT CLARA, CA 95050

SECOND FLOOR ADU



NOTES

- GENERAL NOTES**
1. ALL VERTICAL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND ASSOCIATE PRIOR TO COMMENCEMENT OF ANY AND ALL WORK.
 2. THE GENERAL CONTRACTOR IN CONJUNCTION W/ OWNER AND SUB-CONTRACTORS IS TO VERIFY LOCATION OF ALL UTILITIES AND EXISTING CONDITIONS AT THE SITE PRIOR TO BEGINS AND COMMENCEMENT OF CONSTRUCTION.
 3. ALL WORK IS TO BE IN CONFORMANCE WITH THE 2022 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE AND THE CALIFORNIA ELECTRICAL CODE (CEC).
 4. THE DESIGNER SHALL PROVIDE THE BUILDING OWNER, MANAGER AND THE ORIGINAL CONTRACTOR A SET OF THE PROJECT-RELATED CONSTRUCTION PERMITS, ORDINANCES, AND CODES THAT APPLY TO THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SET. NO EXTRA EXPENSE WILL BE INCURRED BY THE CONTRACTOR FOR RESEARCH OR FOR THE SUBJECT TO EXAMINE, OR FAILURE TO DISCOVER, CONDITIONS WHICH AFFECT THE WORK.
 5. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, SET BACKS AND FLOOR AND ROOF GRADES BEFORE BEGINNING ANY WORK. LINES OR OTHER MEMBER OR MATERIAL. REPORT ALL DISCREPANCIES TO THE DESIGNER.
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GENERAL ELECTRICAL NOTES

1. ALL WORK IS TO BE IN CONFORMANCE WITH THE 2022 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE AND THE CALIFORNIA ELECTRICAL CODE (CEC).
2. ALL ELECTRICAL SYSTEMS, INCLUDING INCLUDING RACE AND INSTRUCTIONS OR OTHERWISE, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND ASSOCIATE PRIOR TO COMMENCEMENT OF ANY AND ALL WORK.
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NOTES

- EXAMINATION OF SITE:**
1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL NOTIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA EXPENSE WILL BE INCURRED BY THE CONTRACTOR FOR RESEARCH OR FOR THE SUBJECT TO EXAMINE, OR FAILURE TO DISCOVER, CONDITIONS WHICH AFFECT THE WORK.
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WINDOW NOTES

1. ALL NEW AND REPLACEMENT WINDOWS SHALL BE DOUBLE-PANE WITH A MAXIMUM U-VALUE OF 0.35, AND MAXIMUM SHGC OF 0.25.
2. ANY WALLS OPENED FOR REMODELING SHALL BE INSULATED R-15 PRIOR TO CLOSURE.
3. ALL NEW AND REPLACEMENT INSULATION SHALL MEET MINIMUM ENERGY CODE STANDARDS.
4. ALL BEDROOM WINDOWS ARE TO HAVE "MEANS OF EGRESS" SEE EGRESS WINDOW DETAILS IN ARCHITECTURAL DETAILS SHEET.
5. ALL NEW AND REPLACEMENT INSULATION SHALL MEET MINIMUM ENERGY CODE STANDARDS.
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GENERAL PLUMBING NOTES

- Per 2022 California Plumbing Code
1. PLUMBING CONTRACTOR IS TO MEET W/ THE OWNER PRIOR TO THE SELECTION AND INSTALLATION OF ALL INDIVIDUAL CONTROL VALVES.
 2. PROVIDE TYPE "1" COPPER TUBING FOR ALL WATER PIPING. TYPE "M" COPPER TUBING MAY BE USED ONLY WHEN WATER PIPING IS ABOVE GROUND IN OR ON A BUILDING OR UNDERGROUND OUTSIDE OF STRUCTURES. CFC 604.2
 3. WATER HEATER IS TO BE ANCHORED OR STRAPPED TO RESIST EARTHQUAKE PER CFC 604.2
 4. IN SHOWERS & TUB-SHOWER COMBINATIONS, INDIVIDUAL CONTROL VALVE MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CFC 400
 5. NO UNDESIRABLE CLEANOUT SHALL BE LOCATED MORE THAN 50 FEET FROM AN ACCESS DOOR, TRAP DOOR, OR CLEAN OUT PER CFC 707.0
 6. PLUMBING DRAIN WATER AND VENT AND/OR MECHANICAL DUCTING WITH ELEVATED FLOOR/CEILING FINISHING SHALL BE REQUIRED TO BE PROVIDED BY THE FIELD INSPECTOR REQUESTS THESE ITEMS
 7. SHOWERS/TUBS TO HAVE A MAXIMUM FLOW OF 1.8 GPM LAVATORY AND SINK FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GPM PER CFC 408.2.2
 8. WATER CLOSURES AND ASSOCIATED FLOOR/WALL VALVES IF ANY SHALL USE NO MORE THAN 1.5 GALLONS PER MIN PER CFC 408.2.2 AND SHALL MEET PERFORMANCE STANDARDS BY A.N.S.I. A112.18.2 2008 CODE, SECTION 716.10.10
 9. ALL VENT TERMINATIONS MUST BE 10' AWAY OR 5' ABOVE ANY OPENING TYPICAL
 10. ALL ROOF DRAIN SHALL HAVE NON-REMOVABLE TYPE RACK-FLOW PREVENTION DEVICE PER CFC 604.2.7
 11. IF HOUSE IS TO HAVE PROPANE GAS-PROVIDE FOR DRAINAGE OF LP GAS TO OUTSIDE (TYPICAL CFC 604.2.7)
 12. WATER HEATER ARE TO BE C.E.C. CERTIFIED AND HAVE PRESSURE & TEMPERATURE RELIEF DEVICES WHICH DISCHARGE TO OUTSIDE PER CFC 608
 13. PROVIDE CLEARANCE AROUND WATER HEATER PER CFC 608 AND 611
 14. FUEL-BURNING WATER HEATER SHALL BE ANCHORED A SUFFICIENT SUPPLY OF AIR FOR PROPER FUEL COMBUSTION AND VENTILATION CFC 607
 15. MECHANICAL CONTRACTOR SHALL DETERMINE LOCATIONS OF THERMOSTATS & COLD AIR RETURNS.
 16. ALL 1ST FLOOR HEAT REGISTERS ARE TO BE FLOOR MOUNT AND ALL 2ND FLOOR HEAT REGISTERS BEING CEILING MOUNT ONLY.
 17. PROVIDE COMBUSTION AIR FOR FUEL-BURNING EQUIPMENT PER CMC CHAPTER 7 AND TABLE 7-2A
 18. ALL AIR DUCTS PENETRATION SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE A MINIMUM OF 20 GAUGE PER CMC 302.4 EXCEPTION 3

GENERAL MECHANICAL NOTES

- Per 2022 California Mechanical Code
1. FURNACE UNIT IS TO BE ANCHORED OR STRAPPED TO RESIST EARTHQUAKE PER CMC SECTION 304.4 AND 309
 2. MECHANICAL CONTRACTOR SHALL DETERMINE LOCATIONS OF THERMOSTATS & COLD AIR RETURNS.
 3. ALL 1ST FLOOR HEAT REGISTERS ARE TO BE FLOOR MOUNT AND ALL 2ND FLOOR HEAT REGISTERS BEING CEILING MOUNT ONLY.
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 5. ALL AIR DUCTS PENETRATION SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE A MINIMUM OF 20 GAUGE PER CMC 302.4 EXCEPTION 3

CALIFORNIA PLUMBING CODE FIXTURES TABLE

Per 2022 California Mechanical Code

SINGLE FAMILY RESIDENTIAL		
FIXTURE TYPE	NON-COMPLIANT PLUMBING FIXTURE	COMPLIANT PLUMBING FIXTURE
WATER CLOSET	EXCEED 1.6 GALLONS / MINUTE	SINGLE FLUSH TOILET: 1.6 GALLONS / MINUTE
SHOWER HEAD	EXCEED 2.5 GALLONS / MINUTE	1.8 GALLONS / MINUTE @ 80 PSI Per CFC 408.2.1
FAUCETS, LAVATORY	EXCEED 2.2 GALLONS / MINUTE	0.8 GALLONS / MINUTE @ 20 PSI MIN. 1.8 GALLONS / MINUTE @ 60 PSI MAX.
KITCHEN	EXCEED 2.2 GALLONS / MINUTE	1.8 GALLONS / MINUTE @ 60 PSI MAX. 1.5 GALLONS / MINUTE @ 80 PSI MAX. TEMPORARILY INCREASED UP TO 1.2 GALLONS / MINUTE @ 80 PSI AND MUST DEFAULT TO MAX FLOW RATE OF 1.5 GPM.

PROJECT DATA

SITE ANALYSIS:

OWNERS: Homeys & Mohamed Sami (408)266-6683

ADDRESS: 749 Clara Vista Santa Clara CA 95050-5152

A.P.N. #: 294-16-040

ZONE: RI-6L

LOT SIZE: 6724.0 sq/ft

CONSTRUCTION TYPE: VB

OCCUPANCY CLASSIFICATION: R-SU

FIRE SPRINKLER: NO

YEAR BUILT: 1964

EXISTING LIVING AREA: 1785.0 sq/ft

1st FLOOR (EXISTING): 1785.0 sq/ft

2nd FLOOR (NEW): 1068.0 sq/ft

TOTAL LIVING AREA: 2853.0 sq/ft

(E) GARAGE AREA: 500.0 sq/ft

(N) GARAGE AREA: 391.0 sq/ft

AFTER NEW STAIRS IS CONSTRUCTED

NEW DECK: 319.0 sq/ft

FLOOR AREA RATIO: 2853.0 - 0.49

PERCENTAGE OF SECOND FLOOR TO 1ST FLOOR AREA: 1068.0 - 59.6%

BUILDING COVERAGE: 1785.0+500.0-2285.0 sq/ft

COMMON AREA (N) SECOND FLOOR LIVING ROOM-387.5 sq/ft -KITCHEN

NO COMMON AREA BETWEEN THE FIRST AND SECOND FLOOR

OPEN LANDSCAPE SEE SHEET A1.1

-1521.0 sq/ft

DRAWING INDEX

- ARCHITECTURAL**
- A1. TITLE / COVER SHEET, SITE PLAN
 - A1.a MATERIAL SHEET
 - A1.1 SITE PLAN
 - A1.2 ROOF PLANS
 - A2. EXISTING & PROPOSED FIRST FLOOR PLANS
 - A2.1 PROPOSED FLOOR PLANS
 - A3. ELEVATIONS
 - A3.1 ELEVATIONS
 - A3.2 SECTION
 - A3.3 COLORED FRONT ELEVATION

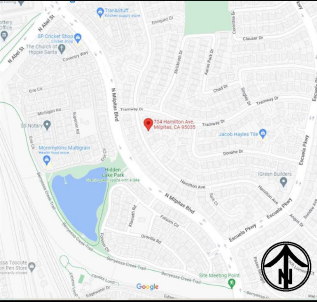
CODES

APPLICABLE BUILDING CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CFC STRUCTURAL AMENDMENTS
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 STATE OF CALIFORNIA TITLE 24 AMENDMENTS
- 2022 CALIFORNIA FIRE CODE

2023 SANTA CLARA MUNICIPAL CODE

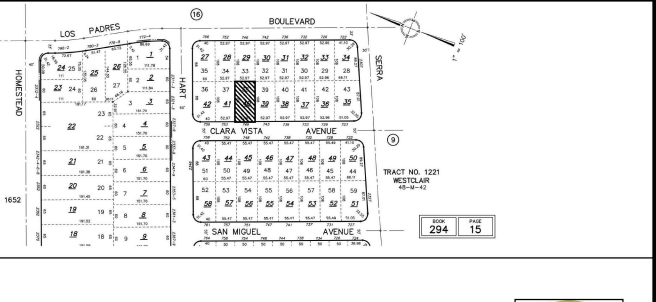
VICINITY MAP (NOT TO SCALE)



PROJECT SCOPE

- NEW SECOND FLOOR ADU, AREA=1068.0 sq/ft.
- NEW DECK OVER THE GARAGE=163.0 sq/ft

PROPERTY MAP



DECK NOTE

WHERE THE SCOPE OF WORK INVOLVES BALCONIES OR OTHER ELEVATED WALKING SURFACES EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER. ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL BE INSPECTED BY A CITY APPROVED SPECIAL INSPECTOR.



DATES

- PLANS FINISHED: 5-13-2025
- PLANNING COMMENTS: 7-15-2025
- PLANNING COMMENTS: 8-28-2025

DESIGNER

SIGMA RESIDENTIAL DESIGN
BAHMAN A-AVAL

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ROSEVILLE
CA 95747

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STRUCTURAL ENGINEER

KH ENGINEERS
STRUCTURAL DESIGN CONSULTANT

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A1



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- ① BEHR- 210A MALIBU PEACH FOR ALL WALL STUCCO
- ② BEHR- 790B-7 DARK CHOCOLATE FOR ALL FACIA AND WINDOW TRIMS
- ③ BEHR- 240F-6 BROWN FLAT FOR ALL OTHER ACCENT MATERIAL



②



③



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Designer:
B. A. A.

MATERIAL SHEET

REVISIONS

749 CLARA VISTA
SANTA CLARA, CA

Date: 4-17-2025
Drawn By: B.A.
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Basham A. Aval
B.A.A.

SITE PLAN

REVISIONS
8-28-2025

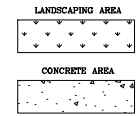
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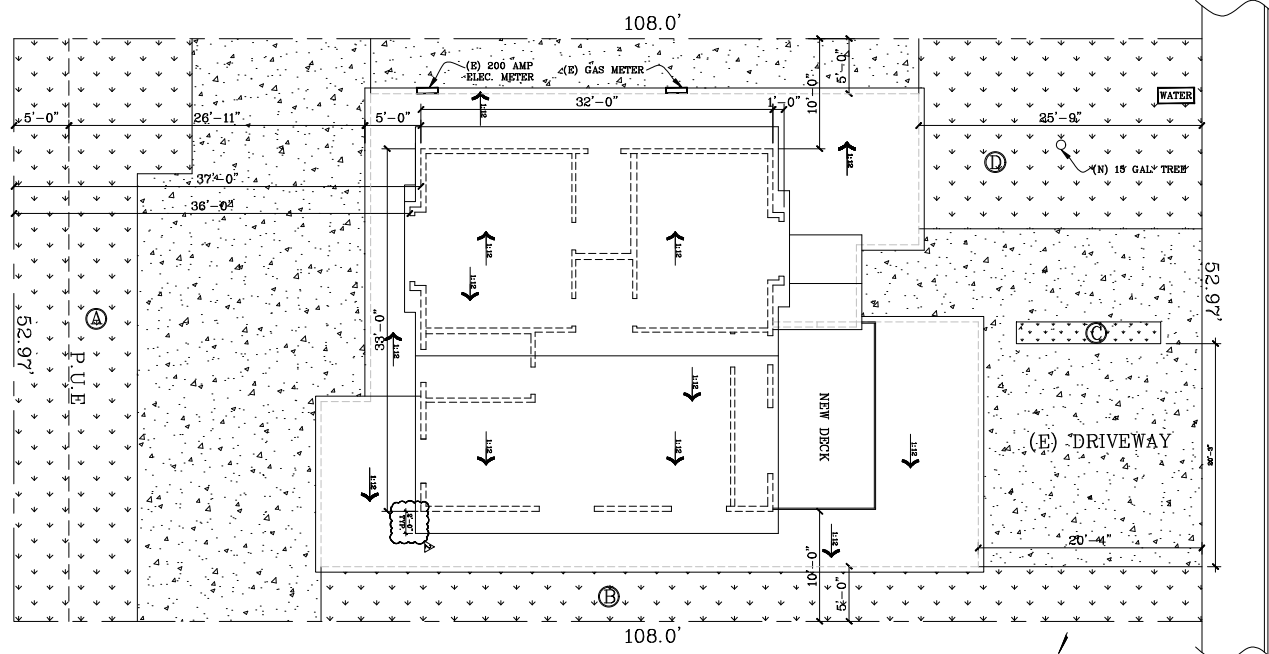
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LANDSCAPING AREAS
A AREA = 655.2 sq/ft
B AREA = 365.0 sq/ft
C AREA = 25.6 sq/ft
D AREA = 445.0 sq/ft
TOTAL AREA = 1521.0 sq/ft

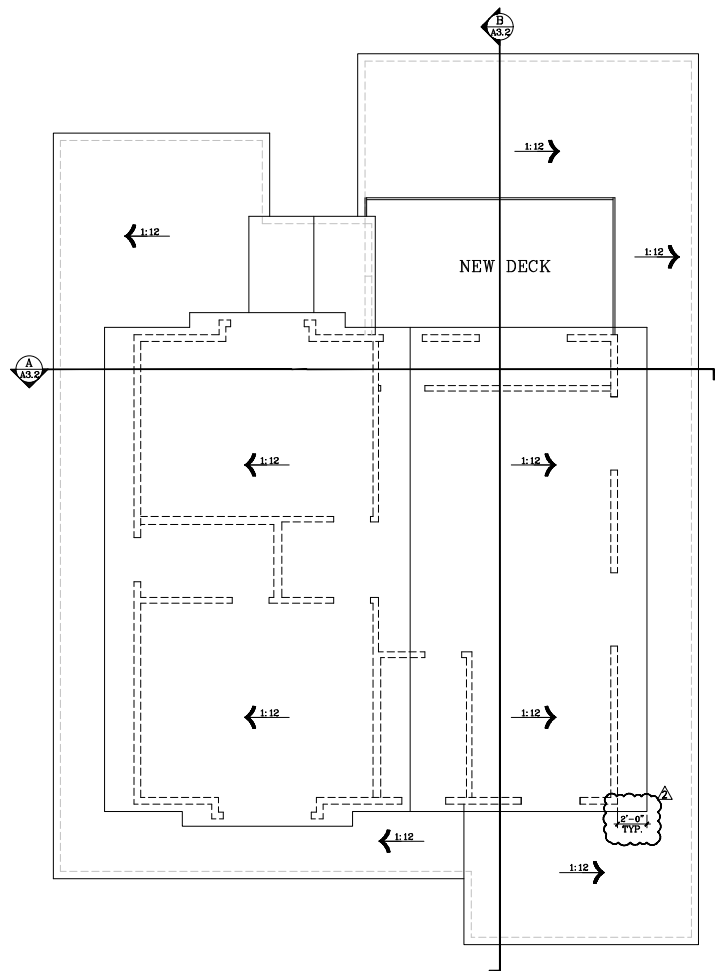


SITE DRAINAGE NOTES
1. DISCHARGE ROOF DRAINAGE TO 5'-0" MIN. AWAY FROM THE FOUNDATION, AND TO AN APPROPRIATE DRAINAGE SYSTEM.
2. THE FINISH GRADE AROUND THE STRUCTURE SHALL BE 6" MIN. HIGHER THAN THE FINISH GRADE OF THE STREET OR GRADE OF THE TOP OF ANY EXISTING FOUNDATION SHALL BE 6" MIN. HIGHER THAN THE FINISH GRADE OF THE STREET CUTTER AS A POINT OF DISCHARGE. ON THE BASIS OF AN APPROPRIATE DRAINAGE DETAIL, A MINIMUM OF 12 INCHES FLOOD CE.

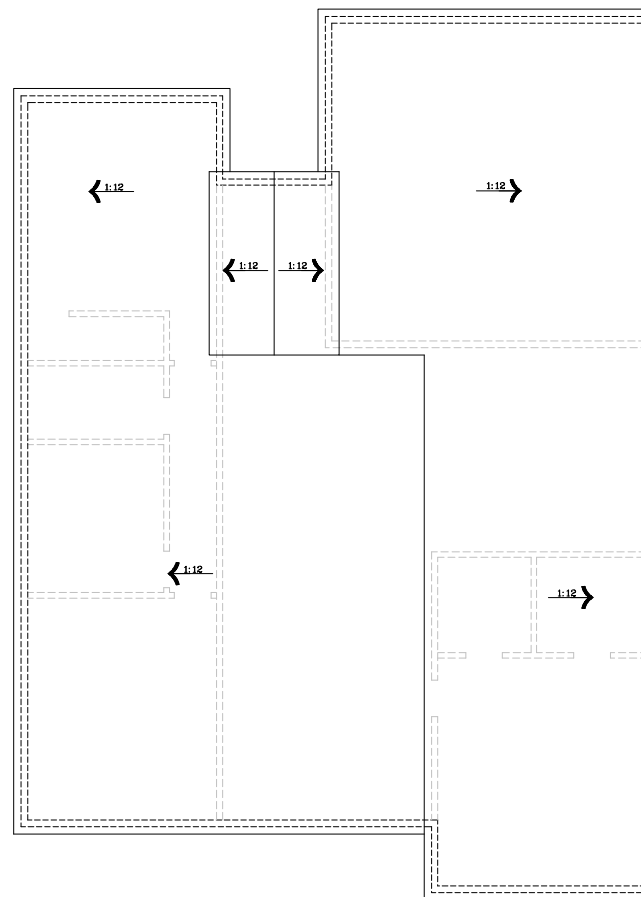


SITE PLAN
SCALE: 3/16" = 1'-0"

CLARA VISTA



PROPOSED ROOF PLAN
SCALE : $\frac{1}{4}"=1'-0"$



EXISTING ROOF PLAN
SCALE : $\frac{1}{4}"=1'-0"$



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ROOF PLANS

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8-28-2025

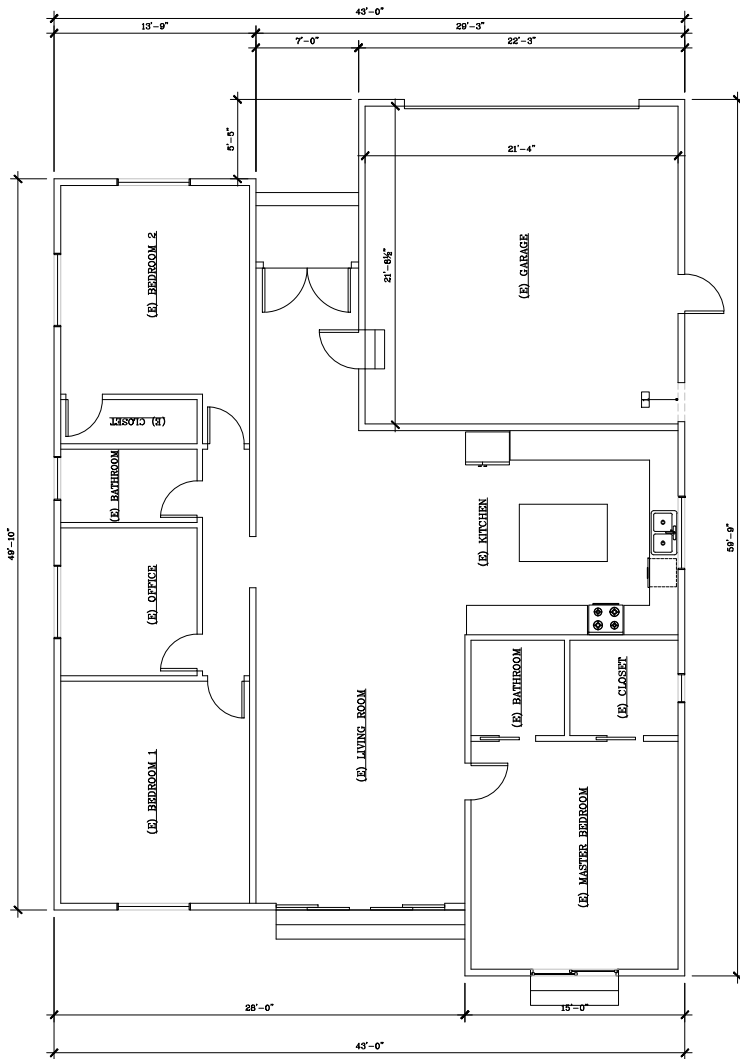
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FLOOR PLANS

REVISIONS

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FLOOR PLANS

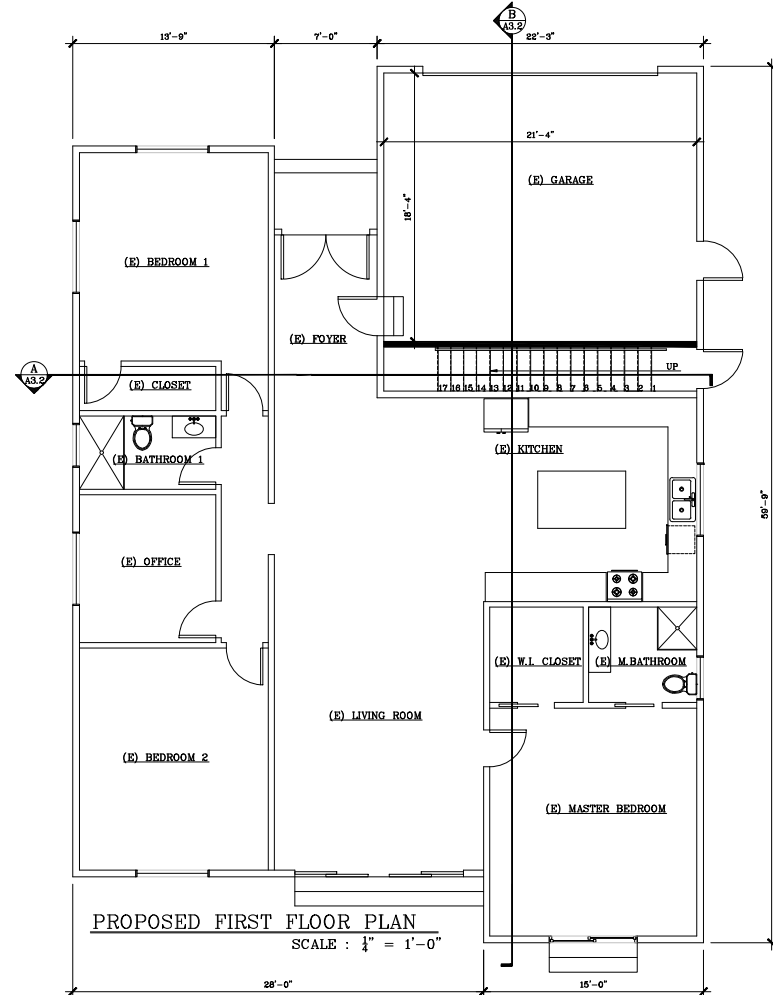
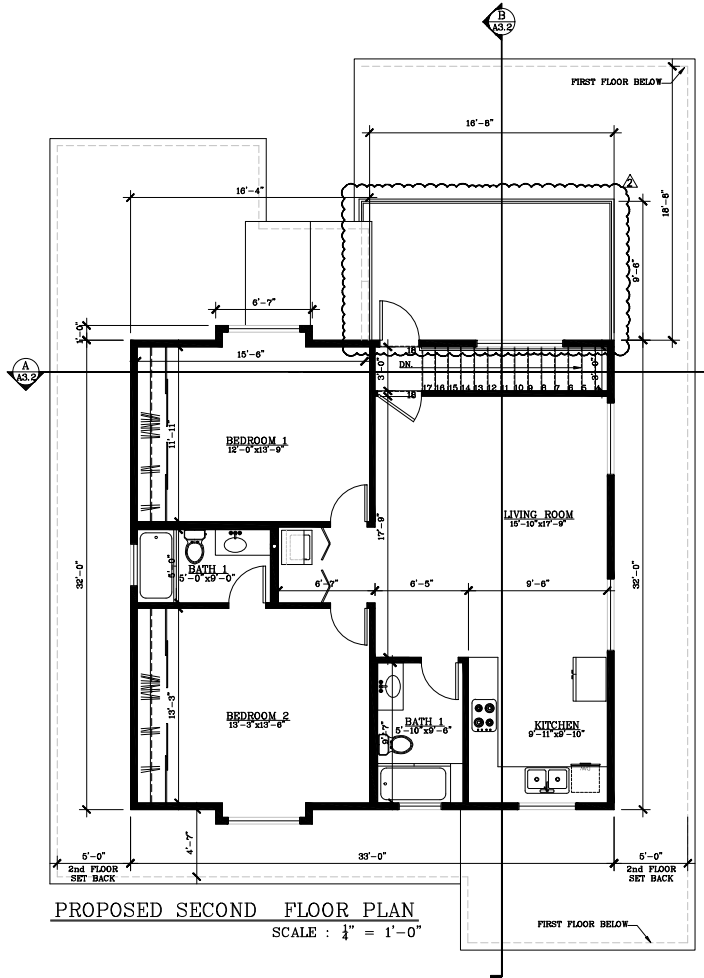
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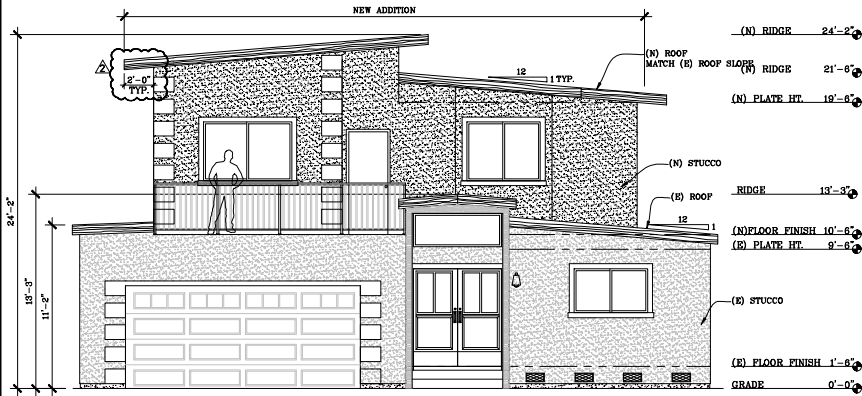
749 CLARA VISTA
SANTA CLARA, CA

Date: 4-17-2025
Drawn By: B.A.
111-22-749 Clara Vista

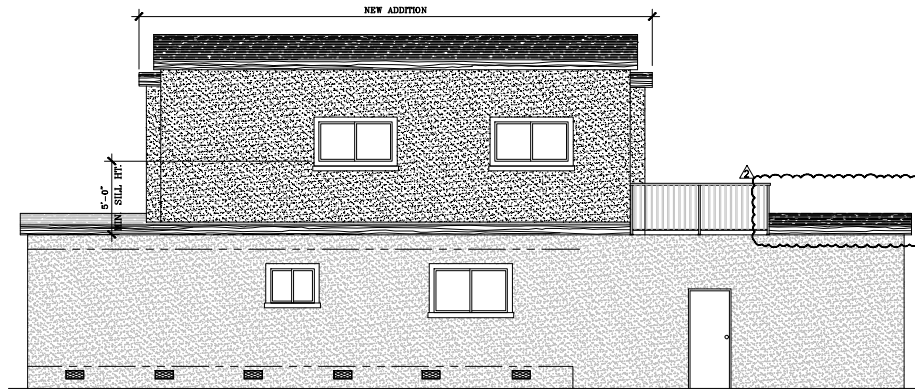
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PROPOSED FRONT ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$



PROPOSED LEFT ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$



EXISTING FRONT ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$



EXISTING LEFT ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$

ELEVATION NOTES:

ALL THE NEW EXTERIOR WALL MATERIAL WILL BE MATCHED WITH THE EXISTING (3 COAT STUCCO WITH 7/8 INCH THICKNESS TWO LAYERS GRADE D PAPER OVER THE PLYWOOD)

EXTERIOR STUCCO LATH SHALL CONSIST OF 3- COATS, $\frac{1}{4}"$ MIN. THICK 0/ 2 LAYERS OF GRADE "D" PAPER, 0/ $\frac{1}{4}"$ PLYWD. 0/ 2x 10 STUDS @ 16" O.C. W/ 8-15 BATT INSUL. IN CAVITY AS REQ'D. PROVIDE WEEP SCREED AT THE BOTTOM OF ALL FRAMED EXTERIOR WALLS AND ROOFED WEEP SCREED SHALL HAVE A MINIMUM CLEARANCE OF 2" TO A PAVED SURFACE OR 4" TO EARTH.

50% OF THE VENTILATION TO OCCUR AT A LEVEL 3- FEET ABOVE THE EAVE/ CORNICE LINE.



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Designer:
Basham A. Aval
B.A.A.

ELEVATIONS

REVISIONS
8-28-2025

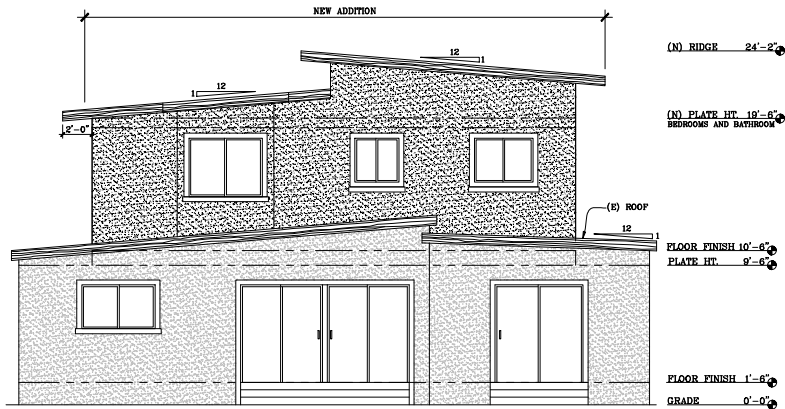
749 CLARA VISTA
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Date: 4-17-2025
Drawn By: B.A.
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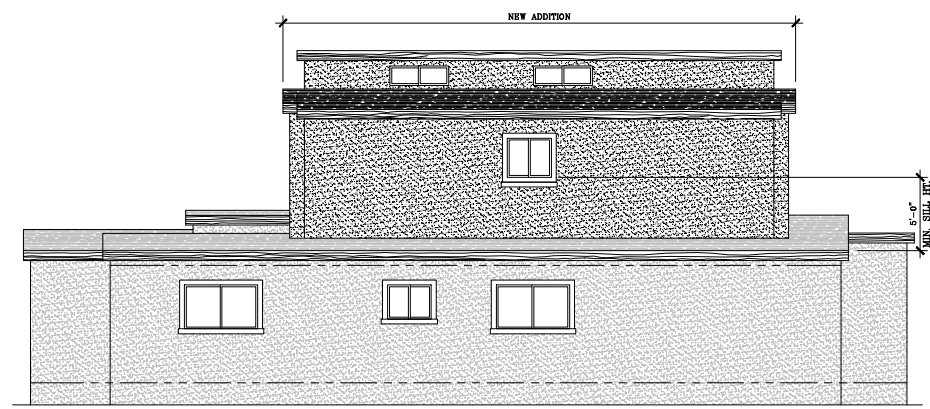
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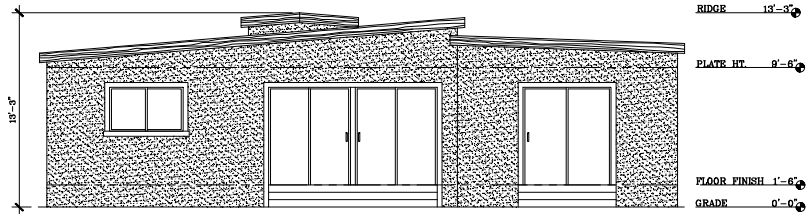
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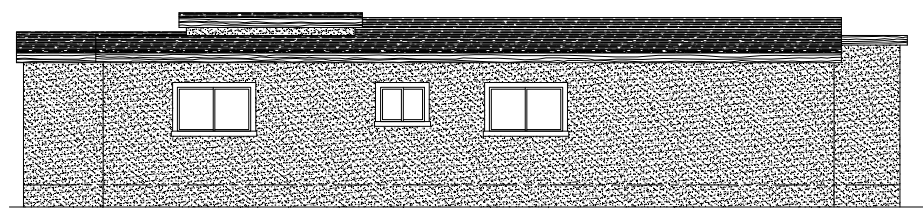
PROPOSED REAR ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$



PROPOSED RIGHT ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$



EXISTING REAR ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$



EXISTING RIGHT ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$

ELEVATION NOTES:

ALL THE NEW EXTERIOR WALL MATERIAL WILL BE MATCHED WITH THE EXISTING (3 COAT STUCCO WITH 7/8 INCH THICKNESS TWO LAYERS GRADE D PAPER OVER THE PLYWOOD)

EXTERIOR STUCCO LATH SHALL CONSIST OF 3- COATS, $\frac{1}{4}"$ MIN. THICK 0/ 2 LAYERS OF GRADE "D" PAPER 0/ $\frac{1}{4}"$ PLATED 0/ 25 NO STUDS @ 16" O.C. W/ R-15 BATT. INSUL. IN CAVITY AS REQ'D. PROVIDE WEEP SCREED AT THE BOTTOM OF ALL FRAMED EXTERIOR WALLS AND SOFFITS. WEEP SCREED SHALL HAVE A MINIMUM CLEARANCE OF 2" TO A PAVED SURFACE OR 4" TO EARTH.

50% OF THE VENTILATION TO OCCUR AT A LEVEL 3- FEET ABOVE THE EAVE/ CORNER LINE.



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ELEVATIONS

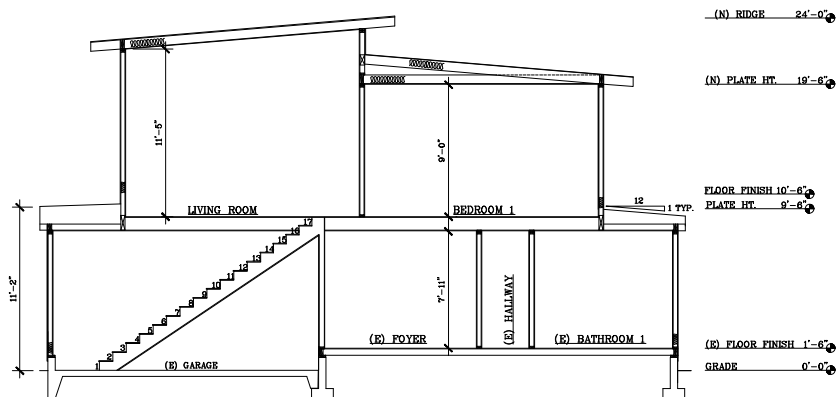
REVISIONS

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SANTA CLARA, CA

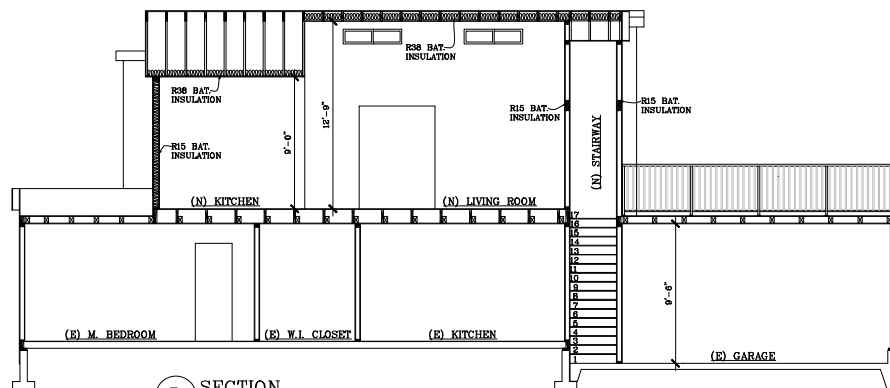
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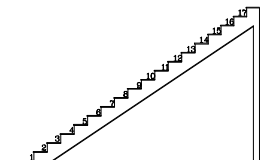
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A SECTION
SCALE : 1/4" = 1'-0"

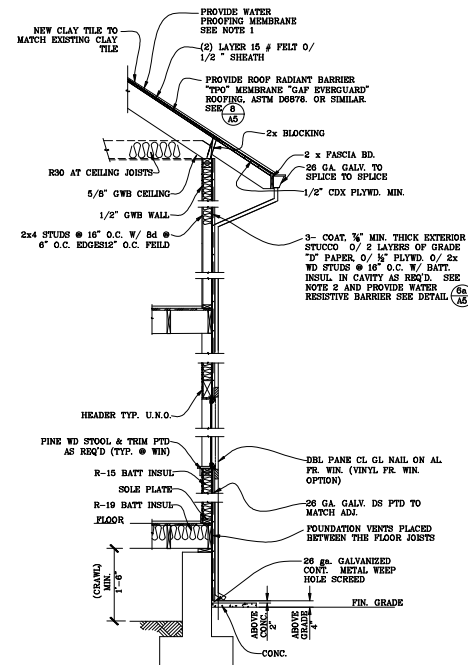


B SECTION
SCALE : 1/4" = 1'-0"



PROVIDE MIN. 1/2" GYPSUM BOARD TO UNDER-STAIR SURFACES, STAIR WALLS AND ANY SOFFITS ON THE ENCLOSED SIDE OF THE STAIRS.

D SECTION
SCALE : 1/4" = 1'-0"



1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOF WATER PROOFING MEMBRANE
2. PROVIDE 2 LAYERS OF GRADE "D" BUILDING PAPER FOR ALL WEATHER-EXPOSED SURFACES WHERE STUCCO IS TO BE APPLIED. STUCCO WALLS SHALL BE IN COMPLIANCE WITH ASTM C 926 AND ASTM 1063 AND THE PROVISIONS OF THIS CODE.

C TYPICAL WALL SECTION
SCALE : N.T.S.



SECTIONS

REVISIONS

749 CLARA VISTA SANTA CLARA, CA

Date: 4-17-2025
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COLORED FRONT ELEVATION
SCALE : $\frac{1}{4}" = 1'-0"$

- ① BEHR- 210A MALIBU PEACH FOR ALL WALL STUCCO
- ② BEHR- 790B-7 DARK CHOCOLATE FOR ALL FACIA AND WINDOW TRIMS
- ③ BEHR- 240F-6 BROWN FLAT FOR ALL OTHER ACCENT MATERIAL



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COLORED FRONT
ELEVATION

REVISIONS

749 CLARA VISTA
SANTA CLARA, CA

Date: 4-17-2025
Drawn By: B.A.
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PAGE NO:
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