



# City of Santa Clara

## Meeting Agenda

### Planning Commission

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**Wednesday, September 10, 2025**

**6:00 PM**

**Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050**

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The City of Santa Clara is conducting the Planning Commission Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

Via Zoom:

- <https://santaclaraca.zoom.us/j/91729202898>

- Webinar ID: 917 2920 2898 or

Phone: 1(669) 900-6833

How to Submit Written Public Comment Before Planning Commission Meeting:

1. By email to [planningpubliccomment@santaclaraca.gov](mailto:planningpubliccomment@santaclaraca.gov) by 12 p.m. the day of the meeting.

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#### **6:00 PM REGULAR MEETING**

#### **Call to Order**

**Pledge of Allegiance and Statement of Values****Roll Call****DECLARATION OF COMMISSION PROCEDURES****CONTINUANCES/EXCEPTIONS****CONSENT CALENDAR**

*Consent Calendar items may be enacted, approved or adopted, based upon the findings prepared and provided in the written staff report, by one motion unless requested to be removed by anyone for discussion or explanation. If any member of the Planning Commission, staff, the applicant or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Planning Commission meeting when the Chair calls for these requests during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.*

**1.A     25-987     [Planning Commission Meeting Minutes of August 13, 2025](#)**

**Recommendation:** Approve the Planning Commission Meeting Minutes of the August 13, 2025 Meeting.

**PUBLIC PRESENTATIONS**

*Members of the public may briefly address the Commission on any item not on the agenda.*

**PUBLIC HEARING**

*Items listed above under Items for Council Action will be scheduled for Council review following the conclusion of hearings and recommendations by the Planning Commission. Due to timing of notices for Council hearings and the preparation of Council agenda reports, these items will not necessarily be heard on the date the minutes from this meeting are forwarded to the Council. Please contact the Planning Division office for information on the schedule of hearings for these items.*

**2.        25-867     [Public Hearing: Action on Conditional Use Permit \(PLN25-00131\) for a New Unmanned AT&T Telecommunication Facility with the Installation of Rooftop Mounted Antennas and Ground Equipment Located at 2600 Great America Way](#)**

**Recommendation:**     **Determine** that the project is categorically exempt from formal environmental review per Section 15303(d), New Construction of Utility Extensions, of the CEQA Guidelines; and  
**Adopt** a Resolution to approve the Conditional Use Permit for a new unmanned AT&T telecommunication facility with the installation of rooftop mounted antennas and ground equipment, subject to findings and conditions of approval.

3.      25-986      [STUDY SESSION: Due Process and Meeting Procedures.](#)

**Recommendation:** There is no Staff Recommendation

**REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:**

1.    Announcements/Other Items
2.    Commissioner Travel and Training Reports, Requests to attend Trainings

**DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:**

1.    Planning Commission Budget Update
2.    Upcoming Agenda Items
3.    City Council Actions

**ADJOURNMENT:**

*The next regular scheduled meeting is on Wednesday, October 8, 2025 at 6:00 PM in the City Hall Council Chambers and virtually via Zoom.*

The time limit within which to commence any lawsuit or legal challenge to any quasi-judicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-judicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

**STREAMING SERVICES:** As always, the public may view the meetings on SantaClaraCA.gov, Santa Clara City Television (Comcast cable channel 15), or the livestream on the City's YouTube channel or Facebook page.

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# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
[santaclaraca.gov](http://santaclaraca.gov)  
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## Agenda Report

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**25-987**

**Agenda Date: 9/10/2025**

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### **REPORT TO PLANNING COMMISSION**

#### **SUBJECT**

Planning Commission Meeting Minutes of August 13, 2025

#### **RECOMMENDATION**

Approve the Planning Commission Meeting Minutes of the August 13, 2025 Meeting.



# City of Santa Clara

## Meeting Minutes

### Planning Commission

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08/13/2025

6:00 PM

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#### **6:00 PM REGULAR MEETING**

**Call to Order**

**Chair Crutchlow** called the meeting to order at 6:04 p.m.

**Pledge of Allegiance and Statement of Values**

**Secretary Cherukuru** read the Statement of Values.

**Roll Call**

- Present** 6 - Commissioner Nancy A. Biagini, Commissioner Priya Cherukuru, Commissioner Qian Huang, Vice Chair Mario Bouza, Commissioner Lance Saleme, and Chair Eric Crutchlow
- Absent** 1 - Commissioner Yashraj Bhatnagar

**A motion was made by Commissioner Cherukuru, seconded by Commissioner Bouza to excuse Commissioner Bhatnagar.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**DECLARATION OF COMMISSION PROCEDURES**

**Secretary Cherukuru** read the Declaration of Commission Procedures..

**CONTINUANCES/EXCEPTIONS****CONSENT CALENDAR**

**A motion was made by Commissioner Biagini, seconded by Commissioner Cherukuru to approve items 1A and 1B.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**1.A**     [25-655](#)     Planning Commission Meeting Minutes of May 21, 2025

**Recommendation:** Approve the Planning Commission Meeting Minutes of the May 21, 2025 Meeting.

1.B [25-839](#) Planning Commission Meeting Minutes of June 11, 2025

**Recommendation:** Approve the Planning Commission Meeting Minutes of the June 11, 2025 Meeting.

1.C [25-717](#) Action to Adopt a Resolution to Deny the Modification to an Existing Conditional Use Permit (PLN24-00392) that Would Have Changed Existing Conditions of Approval (Conditions P6, P8, P19, P20) Concerning Solid Waste and Recycling Collection at the Existing Subaru Dealership Located at 3225 Stevens Creek Boulevard.

**Recommendation:** 1. **Adopt** a Resolution Denying the Modification of an Existing Conditional Use Permit that would have allowed solid waste and recycling to be collected from Cecil Avenue for the existing Subaru dealership.

**Commissioner Huang** asked to discuss this item and stated he felt denying the application was not right.

**A motion was made by Commissioner Biagini, seconded by Commission Bouza to approve Item 1C.**

**Aye:** 5 - Commissioner Biagini, Commissioner Cherukuru, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Nay:** 1 - Commissioner Huang

**Excused:** 1 - Commissioner Bhatnagar

#### **PUBLIC PRESENTATIONS**

None.

#### **PUBLIC HEARING**

2. [25-690](#) Public Hearing: Action on a Vesting Tentative Subdivision Map (PLN25-00225) for 11 Townhouses Located at 1530 and 1540 Pomeroy.

**Recommendation:**

1. Recommend that the City Council find that the proposed subdivision falls within the scope of the adopted CEQA Addendum prepared for the project and no further analysis is required.
2. Adopt a resolution recommending the City Council approve the Vesting Tentative Subdivision Map to merge the two parcels and create a one-lot subdivision for condominium purposes for 11 townhouses and common area at 1530/1540 Pomeroy Avenue, subject to findings and conditions of approval.

**Senior Planner Nimisha Agrawal** provided the staff presentation.

**Commissioners** inquired upon many aspects fo the project including tandem parking, input from neighbors, if there was an affordable housing component, state mandate for housing.

**Applicant Omid Shakeri, Ridgecrest Group** provided a presentation and outlined the history of the project.

Public Speakers

**Manuel Vierra**

**A motion was made by Commissioner Cherukuru, seconded by Commissioner Biagini to close public hearing.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to approve staff recommendation 1.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Cherukuru, seconded by Commissioner Biagini to approve staff recommendation 2.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

3. [25-763](#) Public Hearing: Action on the Initial Study and Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, General Plan Amendment, Rezone, and Vesting Tentative Subdivision Map (PLN24-00267 and PLN24-00332) for the Property Located at 1400 Coleman Avenue to Allow the Development of 142 Townhouse Units and Associated On- and Off-Site Improvements

**Recommendation:** Alternatives: 1, 2, 3 and 4

1. Adopt a resolution recommending the City Council adopt the adopt the Mitigated Negative Declaration and the Mitigation Monitoring or Reporting Program for the proposed residential townhome project at 1400 Coleman Avenue.
2. Adopt a resolution recommending the City Council approve the General Plan amendment to change the land use designation from Regional Commercial to High Density Residential.
3. Adopt a resolution recommending the City Council approve a rezoning of the project site from Commercial Regional (CR) to High Density Residential (R4) subject to conditions of approval.
4. Adopt a resolution recommending City Council approve a Vesting Tentative Subdivision Map for condominium purposes, subject to conditions of approval.

**Senior Planner Nimisha Agrawal** provided the staff presentation.

**Tyler Rogers, David J. Powers** answered questions from Commissioners. **Commissioners** inquired upon air quality at the site of the project, tribal consultations, if the project had been presented at a Station Area Task Force meeting, proximity to mass transit, aging in place features, etc.

**Applicant Pamela Nieting, City Ventures** provided a presentation and spoke regarding the project.

Public Speaker  
**Dylan Plane**

**A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to close public hearing.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Absent:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to approve staff recommendation 1.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Biagini, seconded by Commissioner Cruthclow to approve staff recommendation 2.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Cherukuru, seconded by Commissioner Biagini to approve staff recommendation 3.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Cherukuru, seconded by Commissioner Biagini to approve staff recommendation 4.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

4. [25-784](#) Public Hearing: Action on a Variance (PLN24-00514) to Locate a Six-Foot Wrought Iron Fence Within the 10-Foot Street Side Setback and Within the 20-Foot Front Setback Proposed at 572 Woodhams Road (Continued from the May 21, 2025, Planning Commission Meeting)

**Recommendation:** Adopt a resolution denying the variance to locate a six-foot wrought iron fence within the required 10-foot street side setback and 20-foot front setback proposed at 572 Woodhams Road, subject to findings.

Meeting went into Recess at 8:04 p.m. and reconvened at 8:13 p.m.

**Associate Planner Meha Patel** provided the staff presentation.

**Commissioners Huang and Crutchlow** disclosed they had met with the property owners. **Commissioners** had questions regarding the old zoning code, and new zoning code and how it related to this item.

**Applicants Thuyloan Nguyen and Aniraban Sengupta** spoke.

**A motion was made by Commissioner Cherukuru, seconded by Commissioner Biagini to close public comment.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Biagini, seconded by Commissioner Cherukuru to approve staff recommendation.**

**Aye:** 5 - Commissioner Biagini, Commissioner Cherukuru, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Nay:** 1 - Commissioner Huang

**Excused:** 1 - Commissioner Bhatnagar



5. [25-826](#) PUBLIC HEARING: Action on a Conditional Use Permit (PLN24-00424) to Construct a Single-Sided Digital LED Billboard as Part of a Billboard Relocation Agreement and a Minor Modification to Reduce the Required 1,500 Linear Feet Distance from Another Electronic Digital Display Message Sign, and Recommendation to the City Council to Approve Adoption of the Billboard Relocation Agreement, Located at 1700 Duane Avenue (Continued from June 11, 2025, Planning Commission Meeting).

**Recommendation:**

- 1) Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction or Conversion of Small Structures").
- 2) Adopt a resolution approving a Conditional Use Permit to allow for construction a single-sided digital LED billboard as part of a Billboard Relocation Agreement, located at 1700 Duane Avenue, subject to findings and conditions of approval.
- 3) Adopt a resolution approving a minor modification to reduce the required 1,500 linear feet distance from another electronic digital display message sign, located at 1700 Duane Avenue, subject to findings and conditions of approval.
- 4) Recommend to the City Council approval of the Billboard Relocation Agreement.

**Associate Planner Meha Patel** provided the staff presentation.

**Applicant Steve Abrams Associates and Cameron Hall, Outfront Media** spoke.

**Commissioners** inquired on various aspects of the traffic accident data study reports provided.

**Chair Crutchlow** requested that his comments, below, be provided in the minutes: The safety case is reasonably strong but not definitive. The available research does not support claims that properly regulated digital billboards significantly increase crash risk. The studies most often cited by opponents have acknowledged limitation and inconclusive results. However, the absence of proof of harm is not the same as proof of safety.

**A motion was made by Commissioner Biagini, seconded by Commissioner Crutchlow to close public hearing.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Bouza, seconded by Commissioner Biagini to approve staff recommendation 1.**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

**A motion was made by Commissioner Bouza, seconded by Commissioner Biagini to approve staff recommendation 2.**

**Aye:** 5 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, and Commissioner Saleme

**Excused:** 1 - Commissioner Bhatnagar

**Abstained:** 1 - Chair Crutchlow

**A motion was made by Commissioner Bouza, seconded by Commissioner Biagini to approve staff recommendation 3.**

**Aye:** 5 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, and Commissioner Saleme

**Excused:** 1 - Commissioner Bhatnagar

**Abstained:** 1 - Chair Crutchlow

**A motion was made by Commissioner Bouza, seconded by Commissioner Biagini to approve staff recommendation 4.**

**Aye:** 5 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, and Commissioner Saleme

**Excused:** 1 - Commissioner Bhatnagar

**Abstained:** 1 - Chair Crutchlow

#### **REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:**

##### 1. Announcements/Other Items

**Planning Manager Lesley Xavier** provided updates.

**Commissioner Cherukuru** requested that the Planning Commission purchase a table at the 2026 Joint Venture Silicon Valley State of the Valley Event when ticket sales are available in early 2026..

2. Commissioner Travel and Training Reports, Requests to attend Trainings

**Staff Aide II Elizabeth Elliott** provided updates on the upcoming California APA Conference taking place in Monterey September.29 to October 1, 2025. **Commissioners Huang and Crutchlow** have been registered to attend.

**DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:**

1. Planning Commission Budget Update

**Staff Aide II Elizabeth Elliott** provided budget updates.

2. Upcoming Agenda Items

**Planning Manager Lesley Xavier** provided updates.

3. City Council Actions

**Planning Manager Lesley Xavier** provided updates.

**ADJOURNMENT:**

**The meeting adjourned at 10:20 p.m. The next regular meeting is September 10, 2025/**

**Aye:** 6 - Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

**Excused:** 1 - Commissioner Bhatnagar

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## Agenda Report

25-867

Agenda Date: 9/10/2025

### REPORT TO PLANNING COMMISSION

#### **SUBJECT**

Public Hearing: Action on Conditional Use Permit (PLN25-00131) for a New Unmanned AT&T Telecommunication Facility with the Installation of Rooftop Mounted Antennas and Ground Equipment Located at 2600 Great America Way

#### **REPORT IN BRIEF**

File No.: PLN25-00131

Project: Conditional Use Permit for a new unmanned AT&T telecommunication facility with the installation of rooftop mounted antennas and ground equipment

Applicant: Ashley Smith, Epic Wireless

Owner: Santa Clara Gateway 2 LLC

General Plan: High-Intensity Office/Research and Development (R&D)

Zoning: Planned Development (PD)

Site Area: 14.03 acres

Existing Site Conditions: The project site is built with a six-story existing multi-story office building and a surface parking.

#### Surrounding Land Uses:

North: Undeveloped Land (Zoned: Planned Development)

East: Outdoor Recreational Field (Zoned: Urban Center)

South: Outdoor Recreational Field (Zoned: Urban Center)

West: Office Park (Zoned: Planned Development)

Issues: Consistency with the City's General Plan and Zoning Ordinance

Staff Recommendation: Adopt a resolution approving the Conditional Use Permit for a new unmanned AT&T telecommunication facility with the installation of rooftop mounted antennas and ground equipment, subject to findings and conditions of approval.

#### **BACKGROUND**

On June 27, 2025, Epic Wireless, applicant, filed an application requesting a Conditional Use Permit (File No. PLN25-00131) for a new unmanned telecommunication facility for AT&T at 2600 Great America Way.

The subject property has a General Plan Land Use Designation of High-Intensity Office/Research and Development (R&D) and is zoned Planned Development (PD). The approved Development Agreement for the existing office park (PLN1999-01084) permits office and research & development activities for this PD. The project site is located to the southeast of Great America Way and just south of California State Route 237. The property is approximately 14.03 acres and is currently developed

as an office park with surface parking. According to Santa Clara City Code (SCCC) Section 18.66.040.A, all new wireless telecommunication facilities require a Use Permit. Conditional Use Permits are evaluated by the Planning Commission for a decision through a public hearing.

### **DISCUSSION**

AT&T wireless identified a gap in coverage for their network. In anticipation of the upcoming large events at Levi's Stadium in 2026, the proposed new unmanned telecommunication facility will include the installation of nine new wireless antennas on the rooftop of the existing six-story (100-foot) office building and associated ground equipment within an enclosure to support the facility.

These new antennas will be located behind screening that is 15-feet in height and will not be visible to the public at street level. There is an existing metal equipment screen where a portion will be replaced with fiberglass reinforced plastic screening material that would allow radio frequencies to transmit from the antennas. New screening would mimic the color and pattern of the existing metal equipment screening. Given the height of the building and the offset of the location of the screening from the edge of the building (22 to 27 feet), it would be difficult for anyone to discern the difference between the proposed antenna screening and the existing equipment screening.

The proposed ground equipment will be in the southern portion of the property where the existing trash enclosure is located. The equipment will be inside a new 10'-8" tall concrete enclosure that will match the existing trash enclosure in color and will be landscaped with climbing vines. Completion of the proposed facility will improve network coverage for AT&T.

Pertaining to health concerns, local governments, including the City of Santa Clara, are preempted from regulating wireless telecommunication facilities based on concerns regarding the health effects of radio frequency emissions. The Telecommunications Act of 1996 ("TCA"; 47 U.S.C §332(c)(7)(B) (iv)) limits local zoning authority over wireless telecommunication antennas for personal wireless service:

"No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the [Federal Communication] Commission's regulations concerning such emissions."

Although the City has no authority to regulate a telecommunications facility based on health concerns, the proposed installation will still be required to comply with RF emissions limits set by the FCC, and ensure that the RF emissions do not exceed maximum permissible exposure limits for human exposure to RF energy.

### **Consistency with the General Plan**

On balance, the project is consistent with the City's General Plan. The proposal is consistent with the following Santa Clara General Plan Land Use & Energy Policies:

- 5.3.1-P17 Promote economic vitality by maintaining the City's level of service for public facilities and infrastructure, including affordable utilities and high-quality telecommunications.
- 5.10.3-P10 Maintain the City's level of service for high quality utilities and telecommunications infrastructure.

The proposal is consistent with these policies as a new wireless telecommunication facility will be installed in the City to provide increased telecommunications coverage to AT&T customers. The new telecommunication equipment will expand the existing AT&T network and improve call quality, signal strength and wireless connection services in the City and allow improved accessibility for public safety.

### Zoning Conformance

Pursuant to Section 18.66.040, Use Permit approval is required for all new wireless telecommunication facilities. Pursuant to SCCC Section 18.114.050, the Planning Commission may approve or conditionally approve a Conditional Use Permit only after first making all the following findings:

- A. The proposed use is consistent with the General Plan and any applicable specific plan;
- B. The proposed use is allowed within the subject zone and complies with all other applicable provisions of this Zoning Code and the City Code;
- C. The design, location, size, and operating characteristics of the proposed use are compatible with the allowed uses in the vicinity;
- D. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare; and
- E. The subject site is:
  - 1. Physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities; and;
  - 2. Served by highways and streets adequate in width and improvement to carry the type and quantity of traffic the proposed use would likely generate.

All the above findings can be made as detailed in Attachment 3 - Resolution to Approve the Conditional Use Permit.

### Conclusion:

The proposal is consistent with the applicable policies in the General Plan and meets the height and screening requirements of the Zoning Ordinance. The proposed project is desirable to the public convenience and will improve telecommunications service/coverage for the general area. The proposed project will not be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the vicinity of such proposed ancillary use as the proposed wireless facility is located on the rooftop of an existing commercial building and is fully screened to match the existing building.

### **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per section 15303(d) of the CEQA Guidelines (New Construction of Utility Extensions).

### **FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff

time and expense typically covered by processing fees paid by the applicant.

### **COORDINATION**

This report has been coordinated with the City Attorney's Office.

### **PUBLIC CONTACT**

Public contact was made by posting the Planning Commission agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library.

On August 28, 2025, a notice of public hearing on this item was mailed to 53 property owners and affected tenants within 500 feet of the project site. At the time of writing this report, Staff has not received any public comments on the proposed project.

### **RECOMMENDATION**

1. **Determine** that the project is categorically exempt from formal environmental review per Section 15303(d), New Construction of Utility Extensions, of the CEQA Guidelines; and
2. **Adopt** a Resolution to approve the Conditional Use Permit for a new unmanned AT&T telecommunication facility with the installation of rooftop mounted antennas and ground equipment, subject to findings and conditions of approval.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Afshan Hamid, Director, Community Development Department

### **ATTACHMENTS**

1. Development Plans
2. Vicinity Map
3. Letter of Justification
4. Resolution to Approve the Conditional Use Permit
5. Conditions of Approval
6. Coverage Map
7. Alternative Site Analysis
8. Radio Frequency Study





# at&t

## AT&T SITE NUMBER: CBL00269 AT&T SITE NAME: IRVINE

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054  
JURISDICTION: CITY OF SANTA CLARA  
APN: 104-01-099

INITIATIVE / PROJECT: NSB  
USID: 500523  
FA CODE: 16397623  
RFDS ID: RFDS-3185  
RFDS DATE: 11/18/2024  
JOB ID: WSSFR0048451  
PTN: 3701A19PRH

## SITE TYPE: OUTDOOR CABINETS / ROOFTOP

Issued For:	CBL00269 IRVINE
2600 GREAT AMERICA WAY SANTA CLARA, CA 95054	
PREPARED FOR	
5005 Executive Parkway San Ramon, California 94583	
Vendor:	
WIRELESS GROUP LLC Connecting a Wireless World	
AT&T SITE NO: CBL00269	
PROJECT NO: -	
DRAWN BY: SEAD	
CHECKED BY: J. GRAY	
APPROVED BY: -	
ISSUE STATUS	
5 05/07/25 CLIENT REV T.T.	
4 04/17/25 CLIENT REV T.T.	
3 03/06/25 CLIENT REV T.T.	
2 12/26/24 CLIENT REV D.H.	
1 12/13/24 2D 100% D.H.	
0 10/24/24 2D 90% -	
REV DATE DESCRIPTION CAD	
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SHEET TITLE:	
TITLE SHEET	
SHEET NUMBER:	
T-1.1	

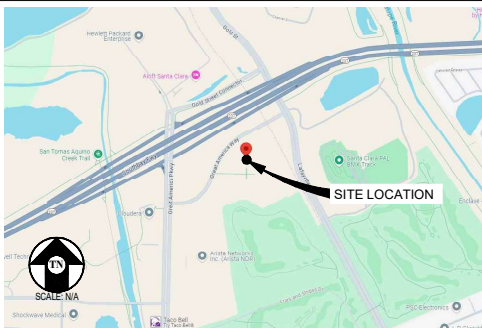
### PROJECT DESCRIPTION

- A (N) AT&T UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:
- (N) EQUIPMENT LICENSE AREA ON ROOF
  - (3) (N) ANTENNA LICENSE AREAS ON ROOF
  - (3) (N) FRP SCREENS
  - (9) (N) ANTENNAS ON (N) MOUNTS
  - (9) (N) RADIOS @ ANTENNAS
  - (1) (N) DC9 SURGE SUPPRESSOR & (2) (N) FC18 CABLE MANAGEMENT BOXES @ ANTENNAS
  - (1) (N) RAYCAP DC50 SURGE SUPPRESSION BOX @ EQUIPMENT
  - (3) (N) FIBER TRUNK CABLES & (9) (N) DC POWER TRUNK CABLES
  - (1) (N) POWER/BATTERY CABINET, (1) (N) BATTERY CABINET, & (1) (N) PURCELL EQUIPMENT CABINET
  - (N) GPS ANTENNA
  - (N) GENERATOR LICENSE AREA ON GROUND
  - (1) (N) 30KW STANDBY GENERATOR ON (N) 150 GALLON UL 142 CERTIFIED FUEL TANK
  - (N) UTILITIES TO (N) SITE LOCATION

### PROJECT INFORMATION

SITE NAME:	IRVINE	PROPERTY OWNER:	PC SANTA CLARA GATEWAY 2 LLC/ IRVINE CO. LLC. P.O. BOX 2450 NEWPORT BEACH, CA 92658
SITE #:	CBL00269	APPLICANT:	AT&T MOBILITY 5005 EXECUTIVE PARKWAY SAN RAMON, CA 94583
COUNTY:	SANTA CLARA	SITE ACQUISITION COMPANY:	EPIC WIRELESS GROUP 605 COOLIDGE DRIVE, SUITE 100 FOLSOM, CA 95630
JURISDICTION:	CITY OF SANTA CLARA	LEASING CONTACT:	ATTN: ASHLEY SMITH (916) 247-1749 ASHLEY.SMITH@EPICWIRELESS.NET
APN:	104-01-099	ZONING CONTACT:	ATTN: ASHLEY SMITH (916) 247-1749 ASHLEY.SMITH@EPICWIRELESS.NET
SITE ADDRESS:	2600 GREAT AMERICA WAY SANTA CLARA, CA 95054	CONSTRUCTION CONTACT:	ATTN: ANDREW MEDINA (530) 574-4773 ANDREW.MEDINA@EPICWIRELESS.NET
CURRENT ZONING:	PD (PLANNED DEVELOPMENT)	CIVIL VENDOR:	AMENTUM ATTN: ROBERT FLYNT (916) 207-7946 ROBERT.FLYNT@US.AMENTUM.COM
CONSTRUCTION TYPE:	V-B		
OCCUPANCY TYPE:	U, (UNMANNED COMMUNICATIONS FACILITY)		
POWER:	BUILDING		
SECTOR A LATITUDE:	N 37° 24' 55.32" NAD 83 N 37.415367° NAD 83		
SECTOR A LONGITUDE:	W 121° 58' 26.48" NAD 83 W 121.974022° NAD 83		
SECTOR B LATITUDE:	N 37° 24' 54.75" NAD 83 N 37.415208° NAD 83		
SECTOR B LONGITUDE:	W 121° 58' 28.54" NAD 83 W 121.974594° NAD 83		
SECTOR C LATITUDE:	N 37° 24' 55.36" NAD 83 N 37.415378° NAD 83		
SECTOR C LONGITUDE:	W 121° 58' 28.65" NAD 83 W 121.974625° NAD 83		
GROUND ELEVATION:	13.5' AMSL		

### VICINITY MAP



### DRIVING DIRECTIONS

FROM: 5005 EXECUTIVE PARKWAY, SAN RAMON, CA 94583  
TO: 2600 GREAT AMERICA WAY, SANTA CLARA, CA 95054

1. HEAD SOUTHWEST 33 FT
2. TURN RIGHT 12 FT
3. TURN LEFT TOWARD EXECUTIVE PKWY 164 FT
4. TURN RIGHT TOWARD EXECUTIVE PKWY 295 FT
5. TURN RIGHT ONTO EXECUTIVE PKWY 0.2 MI
6. TURN RIGHT ONTO CAMINO RAMON 0.6 MI
7. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO BOLLINGER CANYON RD 0.5 MI
8. USE THE RIGHT LANE TO MERGE ONTO I-680 S VIA THE RAMP TO SAN JOSE 0.3 MI
9. MERGE ONTO I-680 S 21.6 MI
10. TAKE EXIT 12 TO MERGE ONTO CA-262 S 0.5 MI
11. MERGE ONTO CA-262 S 0.6 MI
12. MERGE ONTO I-680 S 3.9 MI
13. TAKE EXIT 8C FOR CA-237 W 0.9 MI
14. CONTINUE ONTO CA-237 W 2.6 MI
15. TAKE EXIT 6 FOR GREAT AMERICA PKWY 0.4 MI
16. TURN LEFT ONTO GREAT AMERICA PKWY 0.2 MI
17. TURN LEFT ONTO YERBA BUENA WAY 387 FT
18. TURN RIGHT 0.1 MI

END AT: 2600 GREAT AMERICA WAY, SANTA CLARA, CA 95054

ESTIMATED TIME: 41 MINUTES ESTIMATED DISTANCE: 32.6 MILES

### CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

2022 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.  
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, VOLUME 1&2, TITLE 24 C.C.R.  
(2021 INTERNATIONAL BUILDING CODE AND 2022 CALIFORNIA AMENDMENTS)  
2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.  
(2020 NATIONAL ELECTRICAL CODE AND 2022 CALIFORNIA AMENDMENTS)  
2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.  
(2021 UNIFORM MECHANICAL CODE AND 2022 CALIFORNIA AMENDMENTS)  
2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24 C.C.R.  
(2021 UNIFORM PLUMBING CODE AND 2022 CALIFORNIA AMENDMENTS)  
2022 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.  
2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.  
(2021 INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS)  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.  
2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.  
ANSI/BIA-TIA-222-H  
ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

### DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B-203.5

### SHEET INDEX

SHEET	DESCRIPTION	REV
1.	T-1.1 TITLE SHEET	-
2.	T-1.2 (E) MECHANICAL SCREEN WALL	-
3.	C-1 TOPOGRAPHIC SURVEY	-
4.	C-2 TOPOGRAPHIC SURVEY	-
5.	A-1.0 EME MITIGATION PLAN	-
6.	A-1.1 OVERALL SITE PLAN	-
7.	A-1.2 ENLARGED SITE PLAN	-
8.	A-1.3 EQUIPMENT PLAN	-
9.	A-1.4 GENERATOR AREA DEMO PLAN	-
10.	A-1.5 GENERATOR PLAN	-
11.	A-2.1 ANTENNA PLANS & DETAIL	-
12.	A-2.2 ANTENNA PLAN	-
13.	A-3.1 ELEVATION	-
14.	A-3.2 ELEVATION	-
15.	A-3.3 ELEVATION	-
16.	A-3.4 ENLARGED ELEVATIONS	-
17.	A-3.5 ENLARGED ELEVATION	-
18.	A-3.6 GENERATOR AREA ELEVATIONS	-
19.	A-4.1 ANTENNA DETAILS	-
20.	A-4.2 EQUIPMENT DETAILS	-
21.	S-1.1 STRUCTURAL DETAILS	-
22.	E-1.1 ELECTRICAL PLAN	-
23.	L-1.1 LANDSCAPE PLAN	-
24.	L-1.2 IRRIGATION PLAN	-



SECTOR A SCREEN WALL



SECTOR A SCREEN WALL



SECTOR B SCREEN WALL



SECTOR B SCREEN WALL



SECTOR C SCREEN WALL



SECTOR C SCREEN WALL

Issued For:

**CBL00269**  
**IRVINE**

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR

**at&t**

5005 Executive Parkway  
San Ramon, California 94583

Vendor:

**EPIC**  
**WIRELESS GROUP LLC**  
Connecting a Wireless World

AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

ISSUE STATUS

REV	DATE	DESCRIPTION	CAD
5	05/07/25	CLIENT REV	T.T.
4	04/17/25	CLIENT REV	T.T.
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2	12/26/24	CLIENT REV	D.H.
1	12/13/24	ZD 100%	D.H.
0	10/24/24	ZD 90%	-

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and Construction

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E-Mail: kevin@streamlineeng.com Fax: 949-460-1841

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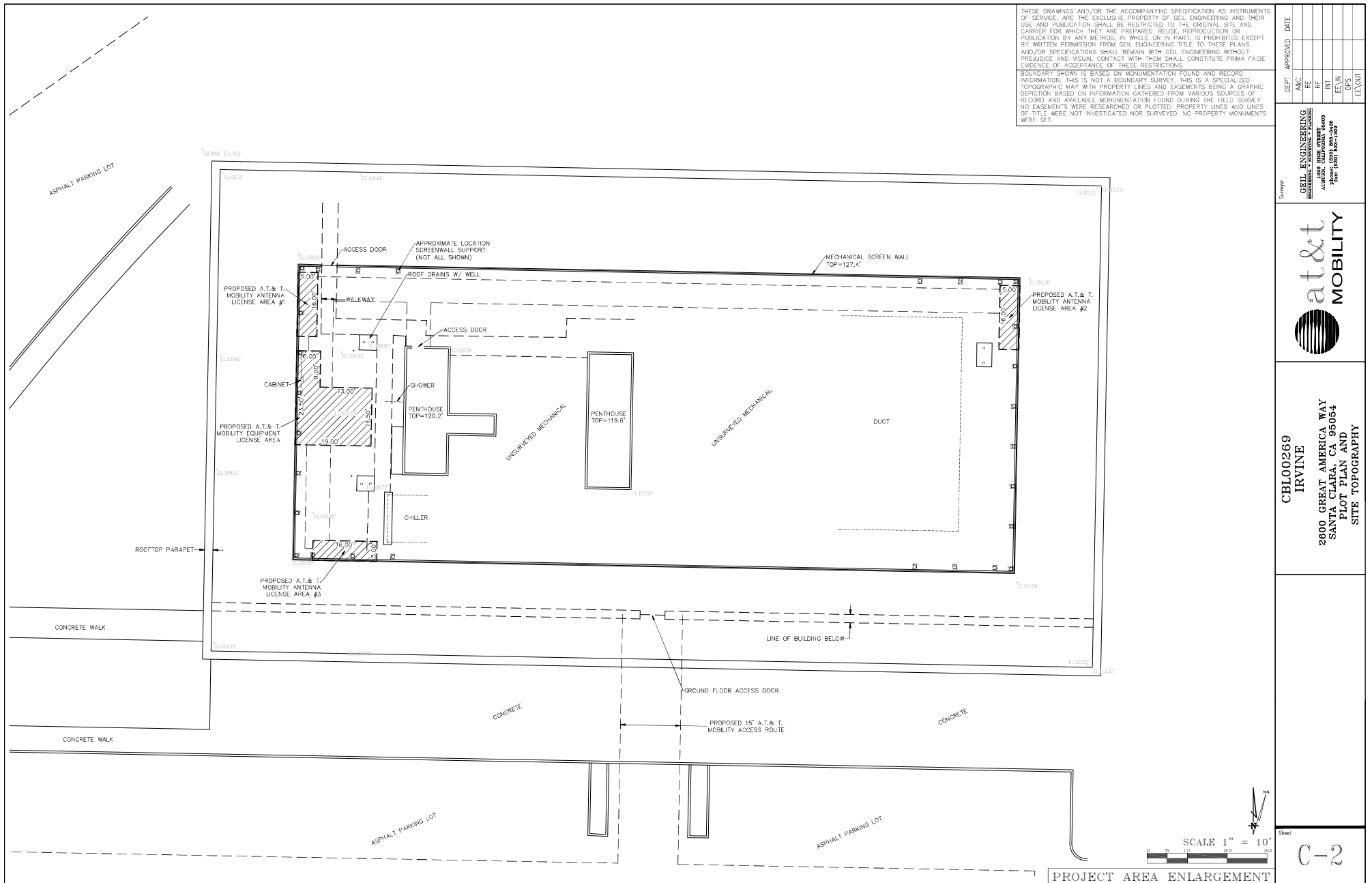
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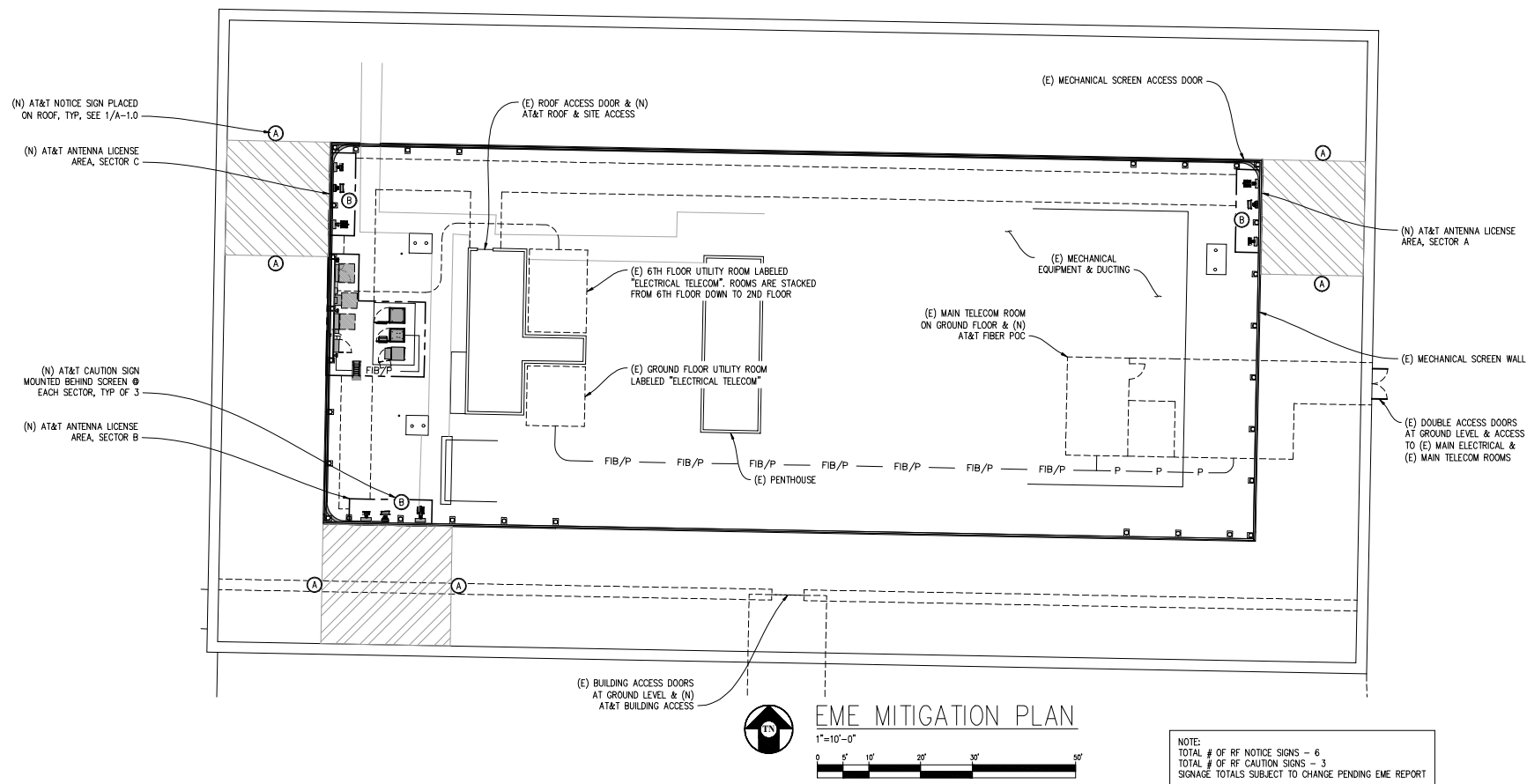
**(E) MECHANICAL**  
**SCREEN WALL**

SHEET NUMBER:

**T-1.2**



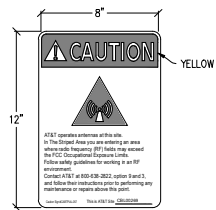




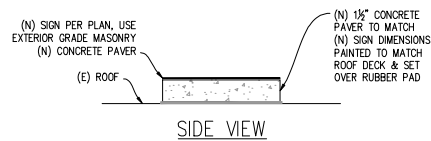
NOTE:  
 TOTAL # OF RF NOTICE SIGNS - 6  
 TOTAL # OF RF CAUTION SIGNS - 3  
 SIGNAGE TOTALS SUBJECT TO CHANGE PENDING EME REPORT



1 RF NOTICE SIGN DETAIL  
 3"=1'-0"



2 RF CAUTION SIGN DETAIL  
 3"=1'-0"



3 SIGN ON ROOF DETAIL  
 3"=1'-0"

**LEGEND:**

YELLOW CAUTION STRIPING

**EME SIGNAGE:**

(A) NOTICE SIGN 1/A-1.0  
 (B) CAUTION SIGN 2/A-1.0

Issued For:

**CBL00269  
 IRVINE**

2600 GREAT AMERICA WAY  
 SANTA CLARA, CA 95054

PREPARED FOR

**at&t**

5005 Executive Parkway  
 San Ramon, California 94583

Vendor:

**EPIC**  
 WIRELESS GROUP LLC  
 Connecting a Wireless World

AT&T SITE NO: CBL00269  
 PROJECT NO: -  
 DRAWN BY: SEAD  
 CHECKED BY: J. GRAY  
 APPROVED BY: -

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1	12/13/24	ZD 100%	D.H.
0	10/24/24	ZD 90%	-

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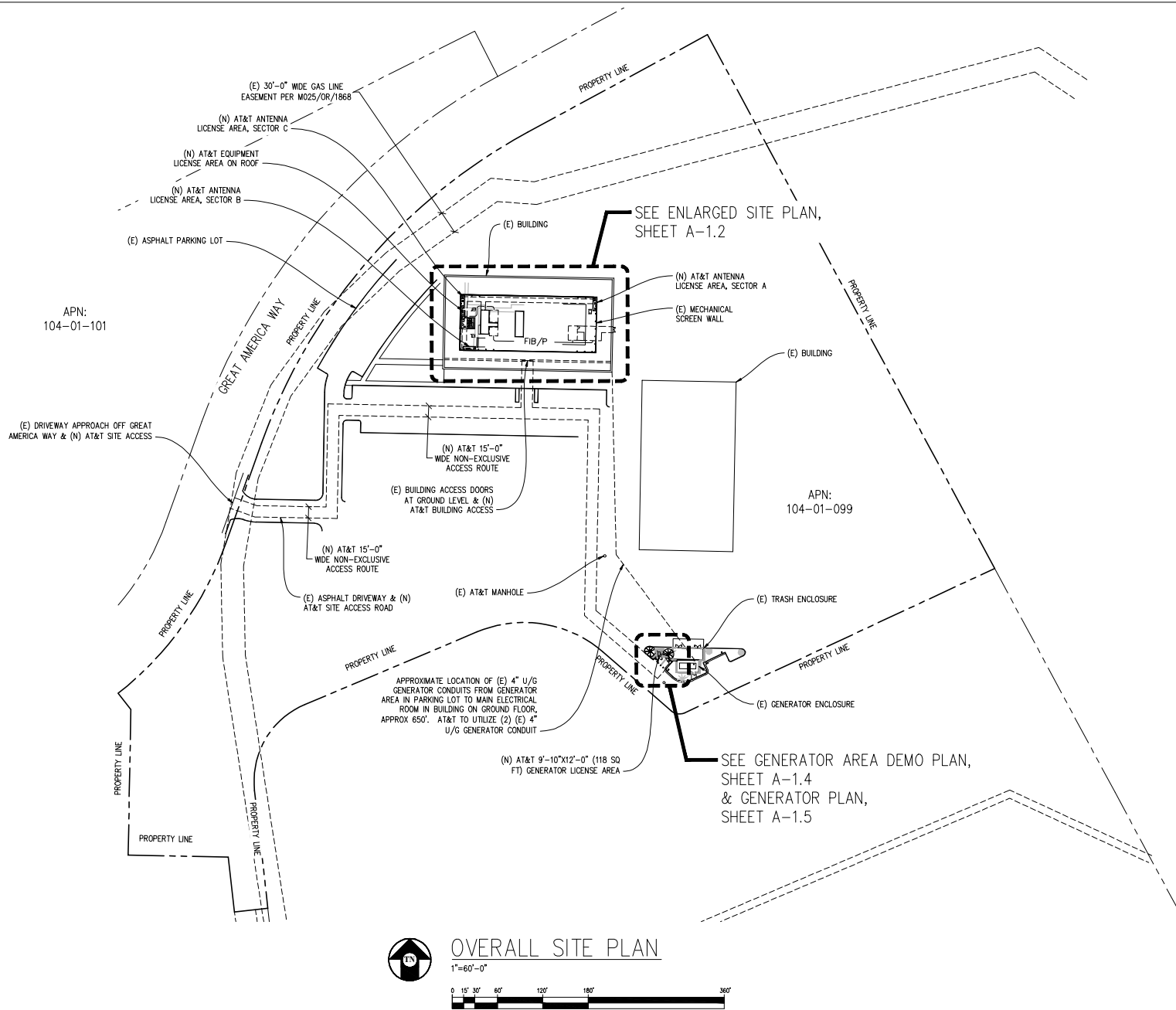
**Streamline Engineering**  
 3943 Taylor Road, Suite A, Irvine, CA 92606  
 Contact: Kevin Sørensen Phone: 949-460-1800  
 E-Mail: kevin@streamlineeng.com Fax: 949-460-1841

SHEET TITLE:

**EME MITIGATION  
 PLAN**

SHEET NUMBER:

**A-1.0**



# OVERALL SITE PLAN

1"=60'-0"



Issued For:

**CBL00269  
IRVINE**

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR

**at&t**

5005 Executive Parkway  
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AT&T SITE NO: CBL00269

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0	10/24/24	ZD 90%	-

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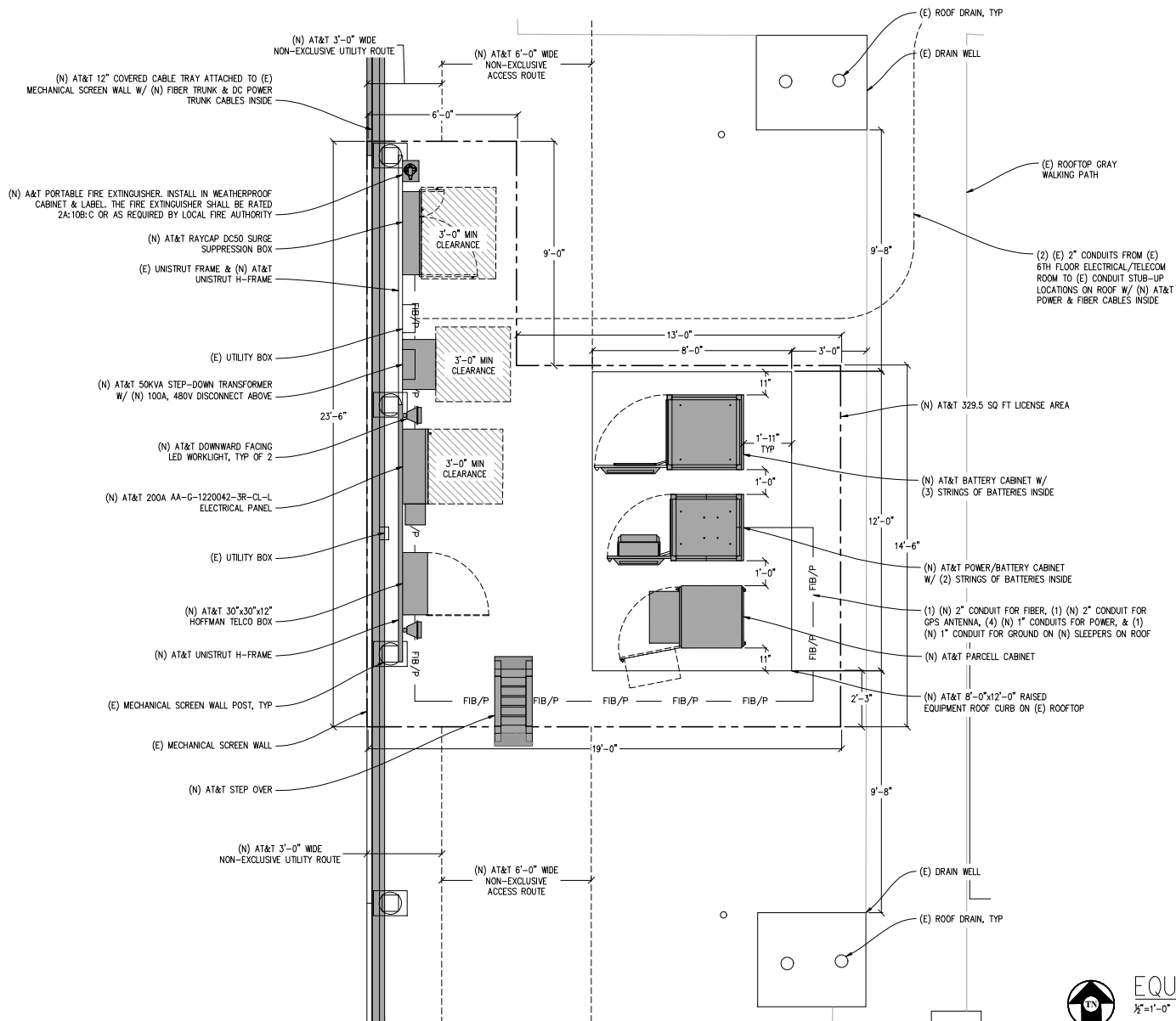
**OVERALL  
SITE PLAN**

SHEET NUMBER:

**A-1.1**







## EQUIPMENT PLAN

1/8"=1'-0"



Issued For:

CBL00269  
IRVINE

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR



5005 Executive Parkway  
San Ramon, California 94583

Vendor:



AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

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APPROVED BY: -

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1	12/13/24	ZD 100%	D.H.
0	10/24/24	ZD 90%	-

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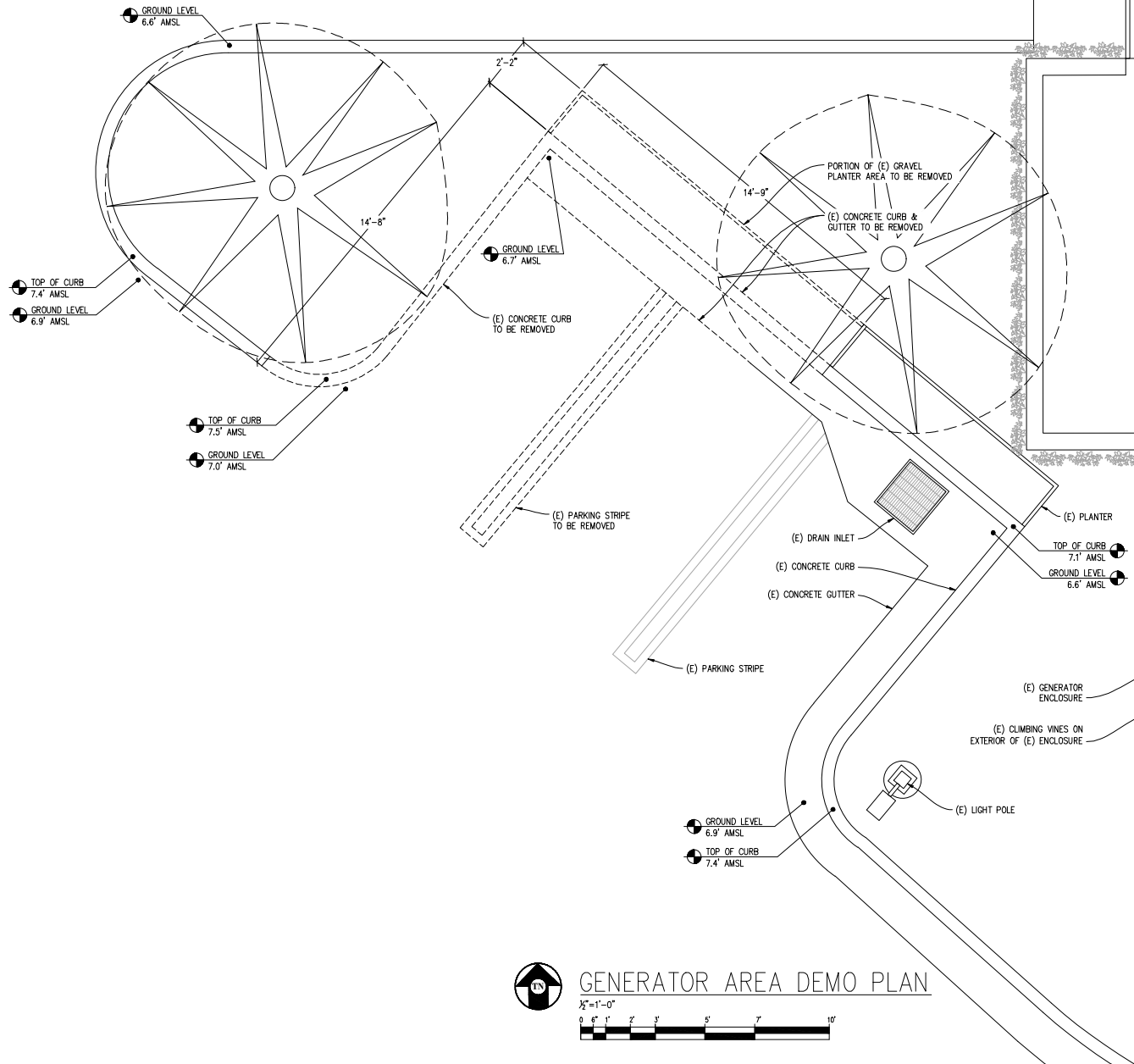
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EQUIPMENT  
PLAN

SHEET NUMBER:

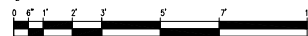
A-1.3





## GENERATOR AREA DEMO PLAN

1/8"=1'-0"



Issued For:

CBL00269  
IRVINE

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR



5005 Executive Parkway  
San Ramon, California 94583

Vendor:



AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

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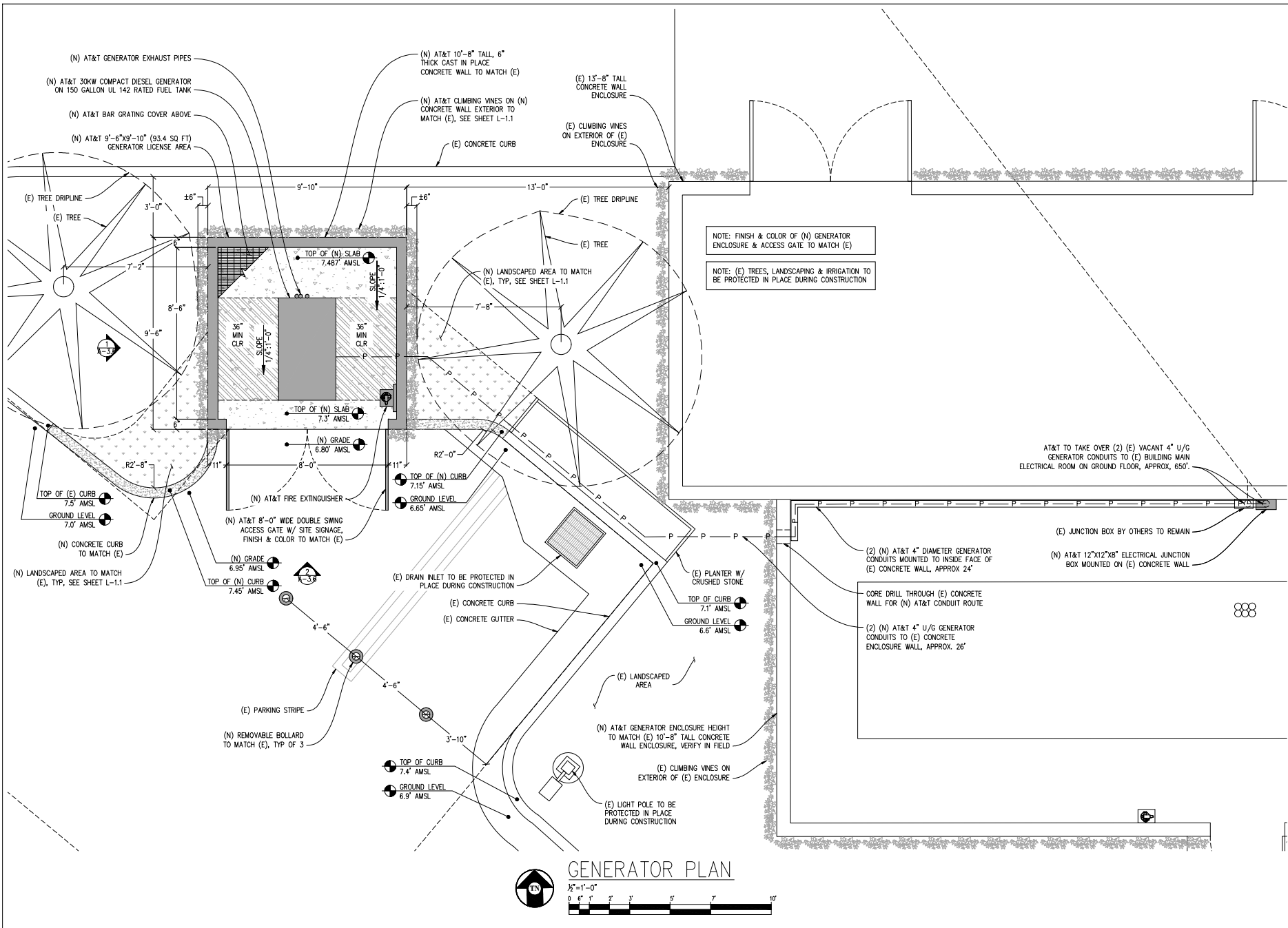


SHEET TITLE:

GENERATOR AREA  
DEMO PLAN

SHEET NUMBER:

A-1.4



Issued For:

**CBL00269**  
**IRVINE**

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR

**at&t**

5005 Executive Parkway  
San Ramon, California 94583

Vendor:

**EPIC**  
**WIRELESS GROUP LLC**  
Connecting a Wireless World

AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

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0	10/24/24	ZD 90%	-

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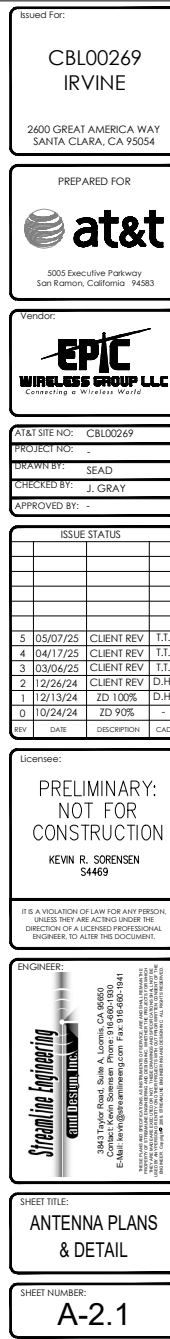
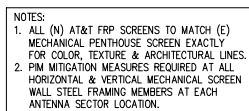
3883 Taylor Road, Suite A, Livermore, CA 94550  
Contact: Kevin Sorenson Phone: 925-400-1800  
E-Mail: kevin@streamlineeng.com Fax: 925-400-1841

SHEET TITLE:

**GENERATOR PLAN**

SHEET NUMBER:

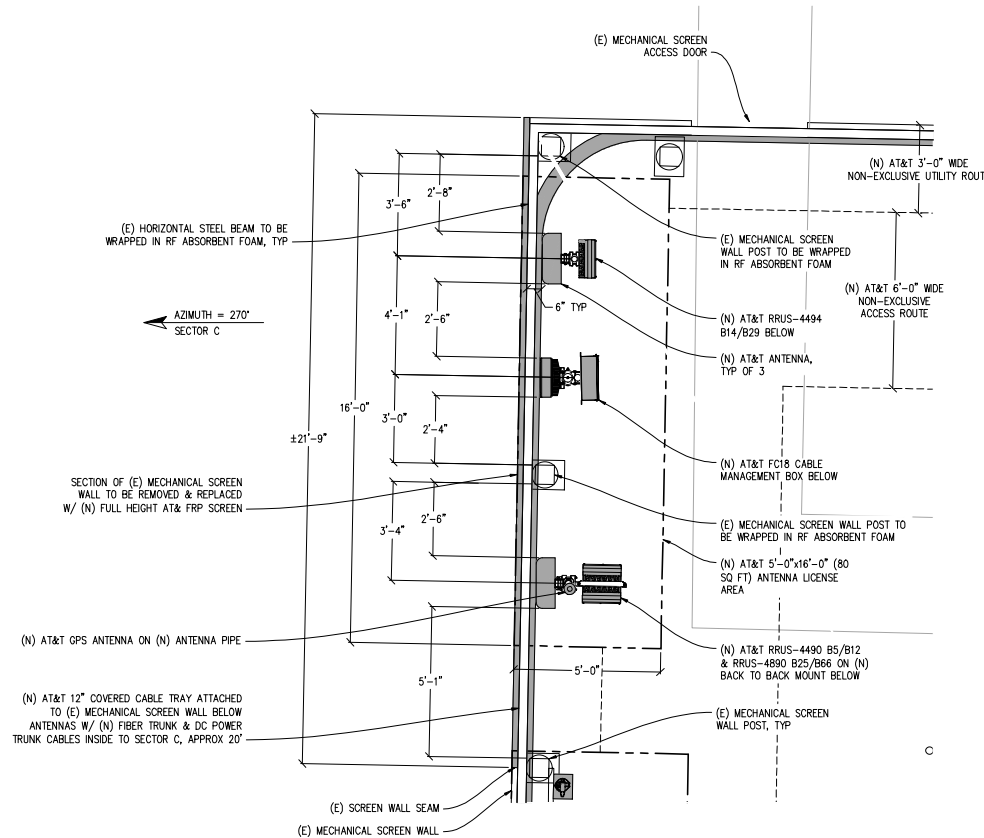
**A-1.5**



(N) ANTENNA & CABLE SCHEDULE (PRELIMINARY & SUBJECT TO CHANGE)											
SECTOR	ANTENNA MODEL NO.	AZIMUTH	CENTERLINE	RRU NO'S & MODEL #	# OF DC POWER CABLES	# OF FIBER CABLES	LENGTH OF CABLES	SURGE SUPPRESSOR	RECTIFIER COUNT (-48)	CONVERTER COUNT (-58)	
A P H A	A1	OPAE5R-BU4D	90°	±109°-11°	(1) 4490 B5/B12, (1) 4890 B25/B66	3	1	±220'	(1) DC9	10	0
	A2	AIR 6472 B77G B77M	90°	±110°-8°	INTEGRATED	SHARED	SHARED	-	SHARED	-	-
	A3	OPAE5R-BU4D	90°	±109°-11°	(1) 4494 B14/B29	SHARED	SHARED	-	SHARED	-	-
B E A	B1	TPA45R-BU5B	180°	±109°-11°	(1) 4490 B5/B12, (1) 4890 B25/B66	3	1	±65'	(1) DC9	-	-
	B2	AIR 6472 B77G B77M	180°	±110°-8°	INTEGRATED	SHARED	SHARED	-	SHARED	-	-
	B3	TPA45R-BU5B	180°	±109°-11°	(1) 4494 B14/B29	SHARED	SHARED	-	SHARED	-	-
C A M M A	C1	OPAE5R-BU4D	270°	±109°-11°	(1) 4490 B5/B12, (1) 4890 B25/B66	3	1	±20'	(1) FC18	-	-
	C2	AIR 6472 B77G B77M	270°	±110°-8°	INTEGRATED	SHARED	SHARED	-	SHARED	-	-
	C3	OPAE5R-BU4D	270°	±109°-11°	(1) 4494 B14/B29	SHARED	SHARED	-	SHARED	-	-
RFDS DATE		11/18/2024		NOTE: 1. ANTENNA POSITIONS ARE LEFT TO RIGHT FROM							

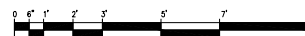
RFDS DATE 11/18/2024

NOTE:  
1. ANTENNA POSITIONS ARE LEFT TO RIGHT FROM BACK OF SECTOR.  
2. EQUIPMENT IS PRELIMINARY & SUBJECT TO CHANGE.



ANTENNA PLAN @ SECTOR C

1/8"=1'-0"



NOTES:  
1. ALL (N) AT&T FRP SCREENS TO MATCH (E) MECHANICAL PENTHOUSE SCREEN EXACTLY FOR COLOR, TEXTURE & ARCHITECTURAL LINES.  
2. PIM MITIGATION MEASURES REQUIRED AT ALL HORIZONTAL & VERTICAL MECHANICAL SCREEN WALL STEEL FRAMING MEMBERS AT EACH ANTENNA SECTOR LOCATION.

Issued For:

CBL00269  
IRVINE

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR



5005 Executive Parkway  
San Ramon, California 94583

Vendor:



AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

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4	04/17/25	CLIENT REV	T.T.	
3	03/06/25	CLIENT REV	T.T.	
2	12/26/24	CLIENT REV	D.H.	
1	12/13/24	ZD 100%	D.H.	
0	10/24/24	ZD 90%	-	

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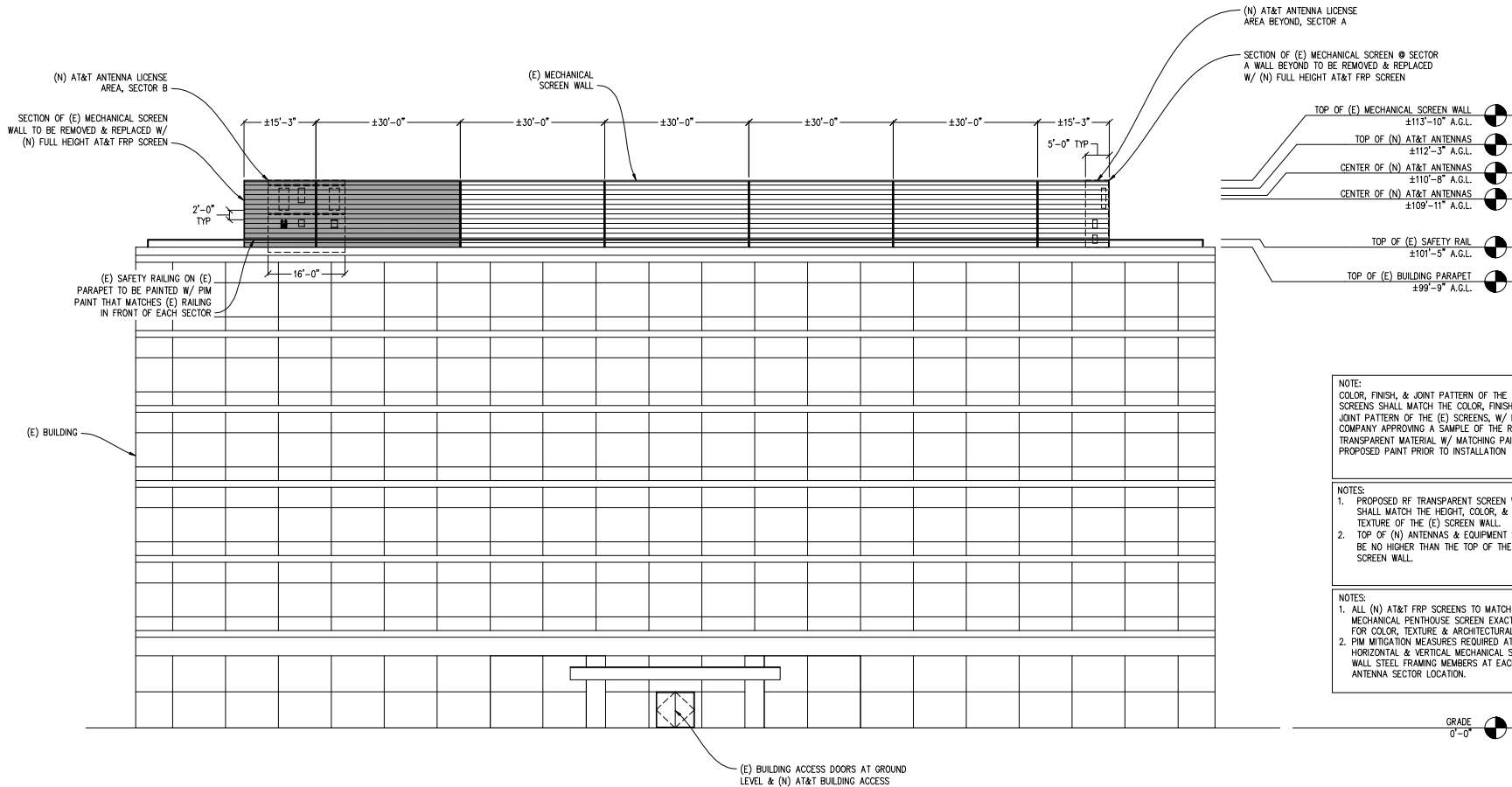


SHEET TITLE:

ANTENNA PLAN

SHEET NUMBER:

A-2.2



SOUTH ELEVATION

3/32"=1'-0"



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1	12/13/24	ZD 100%	D.H.
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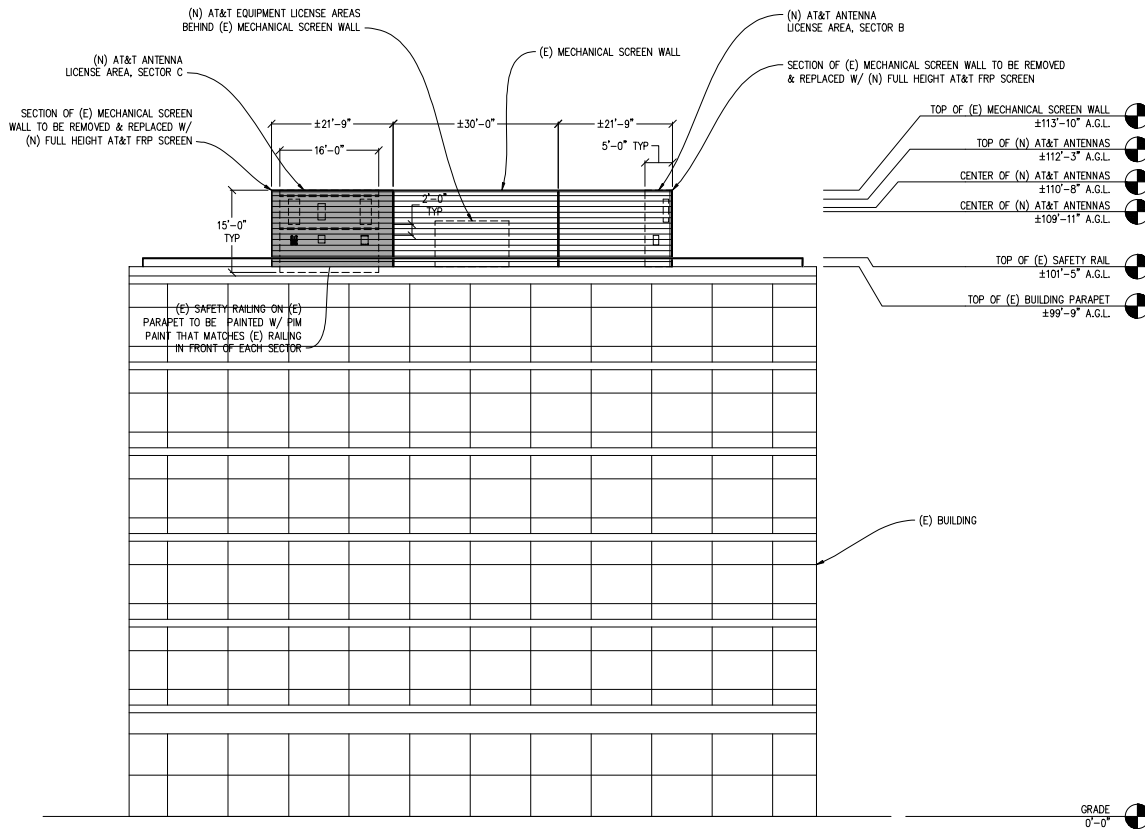


SHEET TITLE:

ELEVATION

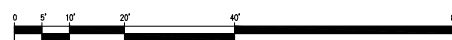
SHEET NUMBER:

A-3.1



# WEST ELEVATION

3/32"=1'-0"



NOTE:  
COLOR, FINISH, & JOINT PATTERN OF THE (N) FRP  
SCREENS SHALL MATCH THE COLOR, FINISH, &  
JOINT PATTERN OF THE (E) SCREENS, W/ IRVINE  
COMPANY APPROVING A SAMPLE OF THE RF  
TRANSPARENT MATERIAL W/ MATCHING PAINT OR  
PROPOSED PAINT PRIOR TO INSTALLATION

- NOTES:
1. PROPOSED RF TRANSPARENT SCREEN WALL  
SHALL MATCH THE HEIGHT, COLOR, &  
TEXTURE OF THE (E) SCREEN WALL.
  2. TOP OF (N) ANTENNAS & EQUIPMENT SHALL  
BE NO HIGHER THAN THE TOP OF THE (E)  
SCREEN WALL.

- NOTES:
1. ALL (N) AT&T FRP SCREENS TO MATCH (E)  
MECHANICAL PENTHOUSE SCREEN EXACTLY  
FOR COLOR, TEXTURE & ARCHITECTURAL LINES.
  2. PIM MITIGATION MEASURES REQUIRED AT ALL  
HORIZONTAL & VERTICAL MECHANICAL SCREEN  
WALL STEEL FRAMING MEMBERS AT EACH  
ANTENNA SECTOR LOCATION.

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San Ramon, California 94583

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AT&T SITE NO: CBL00269

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1	12/13/24	ZD 100%	D.H.	
0	10/24/24	ZD 90%	-	

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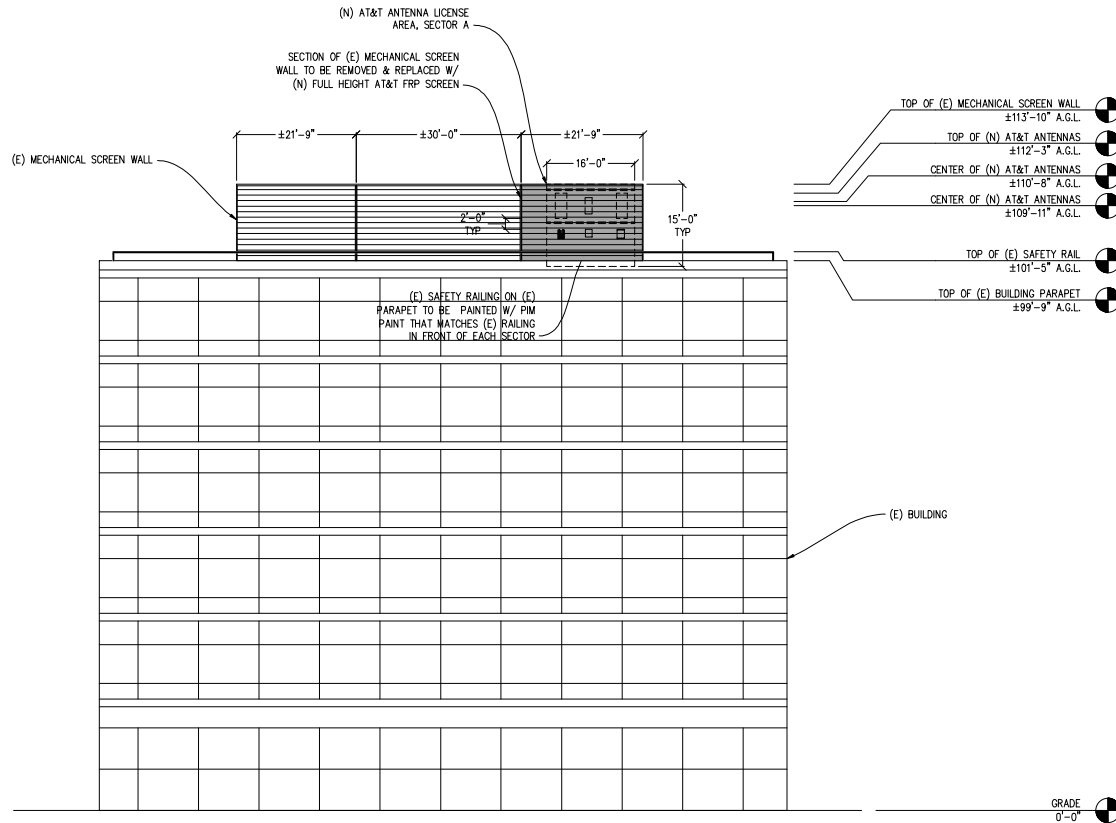


SHEET TITLE:

ELEVATION

SHEET NUMBER:

A-3.2



EAST ELEVATION  
3/32"=1'-0"



NOTE:  
COLOR, FINISH, & JOINT PATTERN OF THE (N) FRP SCREENS SHALL MATCH THE COLOR, FINISH, & JOINT PATTERN OF THE (E) SCREENS, W/ IRVINE COMPANY APPROVING A SAMPLE OF THE RF TRANSPARENT MATERIAL W/ MATCHING PAINT OR PROPOSED PAINT PRIOR TO INSTALLATION

- NOTES:
1. PROPOSED RF TRANSPARENT SCREEN WALL SHALL MATCH THE HEIGHT, COLOR, & TEXTURE OF THE (E) SCREEN WALL.
  2. TOP OF (N) ANTENNAS & EQUIPMENT SHALL BE NO HIGHER THAN THE TOP OF THE (E) SCREEN WALL.

- NOTES:
1. ALL (N) AT&T FRP SCREENS TO MATCH (E) MECHANICAL PENTHOUSE SCREEN EXACTLY FOR COLOR, TEXTURE & ARCHITECTURAL LINES.
  2. PIM MITIGATION MEASURES REQUIRED AT ALL HORIZONTAL & VERTICAL MECHANICAL SCREEN WALL STEEL FRAMING MEMBERS AT EACH ANTENNA SECTOR LOCATION.

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2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR



5005 Executive Parkway  
San Ramon, California 94583

Vendor:



AT&T SITE NO: CBL00269

PROJECT NO: -

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CHECKED BY: J. GRAY

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3	03/06/25	CLIENT REV	T.T.	
2	12/26/24	CLIENT REV	D.H.	
1	12/13/24	ZD 100%	D.H.	
0	10/24/24	ZD 90%	-	

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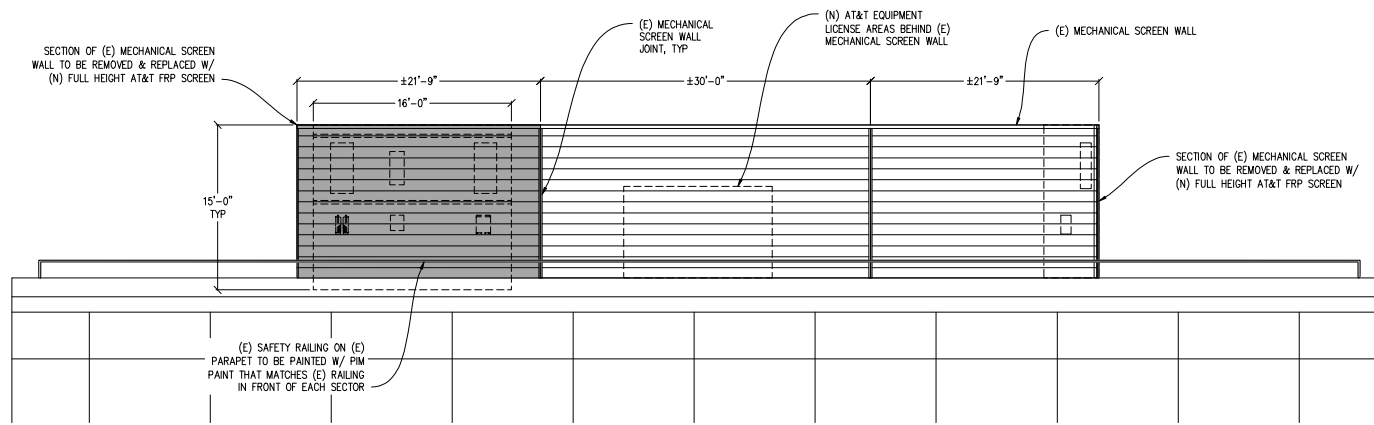


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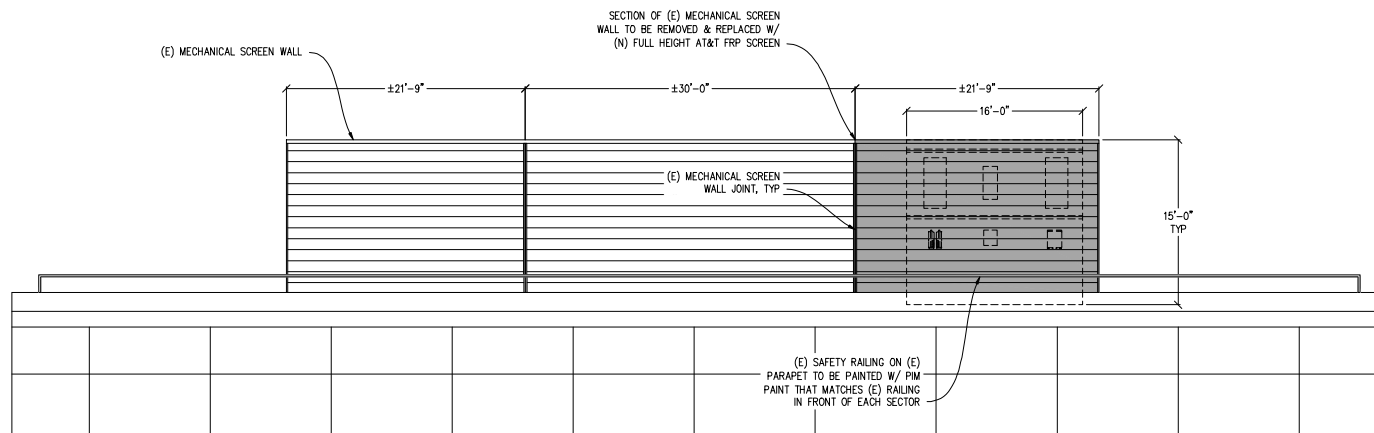
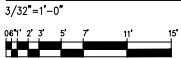
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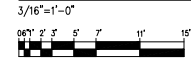
A-3.3



ENLARGED WEST ELEVATION



ENLARGED EAST ELEVATION



NOTE:  
COLOR, FINISH, & JOINT PATTERN OF THE (N) FRP SCREENS SHALL MATCH THE COLOR, FINISH, & JOINT PATTERN OF THE (E) SCREENS, W/ IRVINE COMPANY APPROVING A SAMPLE OF THE RF TRANSPARENT MATERIAL W/ MATCHING PAINT OR PROPOSED PAINT PRIOR TO INSTALLATION

NOTES:  
1. PROPOSED RF TRANSPARENT SCREEN WALL SHALL MATCH THE HEIGHT, COLOR, & TEXTURE OF THE (E) SCREEN WALL.  
2. TOP OF (N) ANTENNAS & EQUIPMENT SHALL BE NO HIGHER THAN THE TOP OF THE (E) SCREEN WALL.

NOTES:  
1. ALL (N) AT&T FRP SCREENS TO MATCH (E) MECHANICAL PENTHOUSE SCREEN EXACTLY FOR COLOR, TEXTURE & ARCHITECTURAL LINES.  
2. PIM MITIGATION MEASURES REQUIRED AT ALL HORIZONTAL & VERTICAL MECHANICAL SCREEN WALL STEEL FRAMING MEMBERS AT EACH ANTENNA SECTOR LOCATION.

Issued For:

**CBL00269**  
**IRVINE**

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR

**at&t**

5005 Executive Parkway  
San Ramon, California 94583

Vendor:

**EPIC**  
**WIRELESS GROUP LLC**  
Connecting a Wireless World

AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

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ENGINEER:

**Streamline Engineering**  
and Architecture

3883 Taylor Road, Suite A, Irvine, CA 92606  
Contact: Kevin Sorenson Phone: 949-460-1800  
E-Mail: kevin@streamlineeng.com Fax: 949-460-1841

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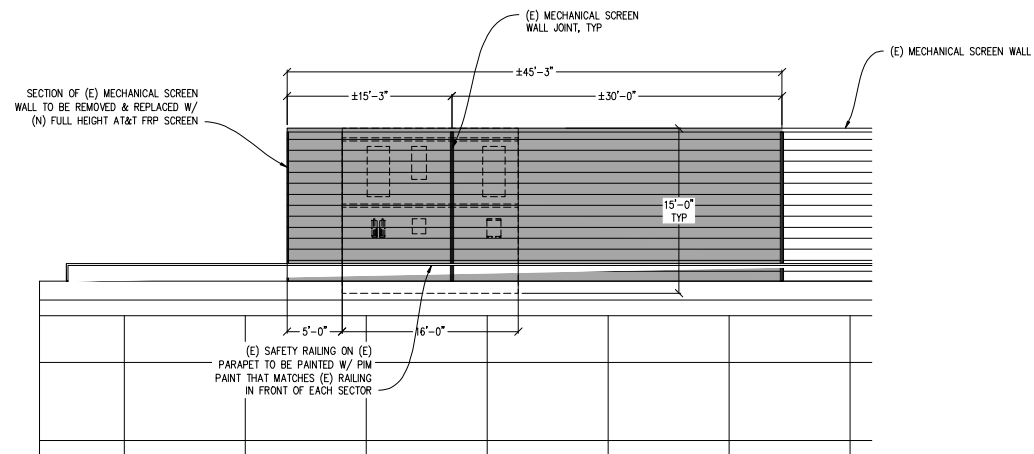
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**ENLARGED  
ELEVATIONS**

SHEET NUMBER:

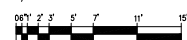
**A-3.4**





ENLARGED SOUTH ELEVATION

3/32"=1'-0"



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2	12/26/24	CLIENT REV	D.H.
1	12/13/24	ZD 100%	D.H.
0	10/24/24	ZD 90%	-

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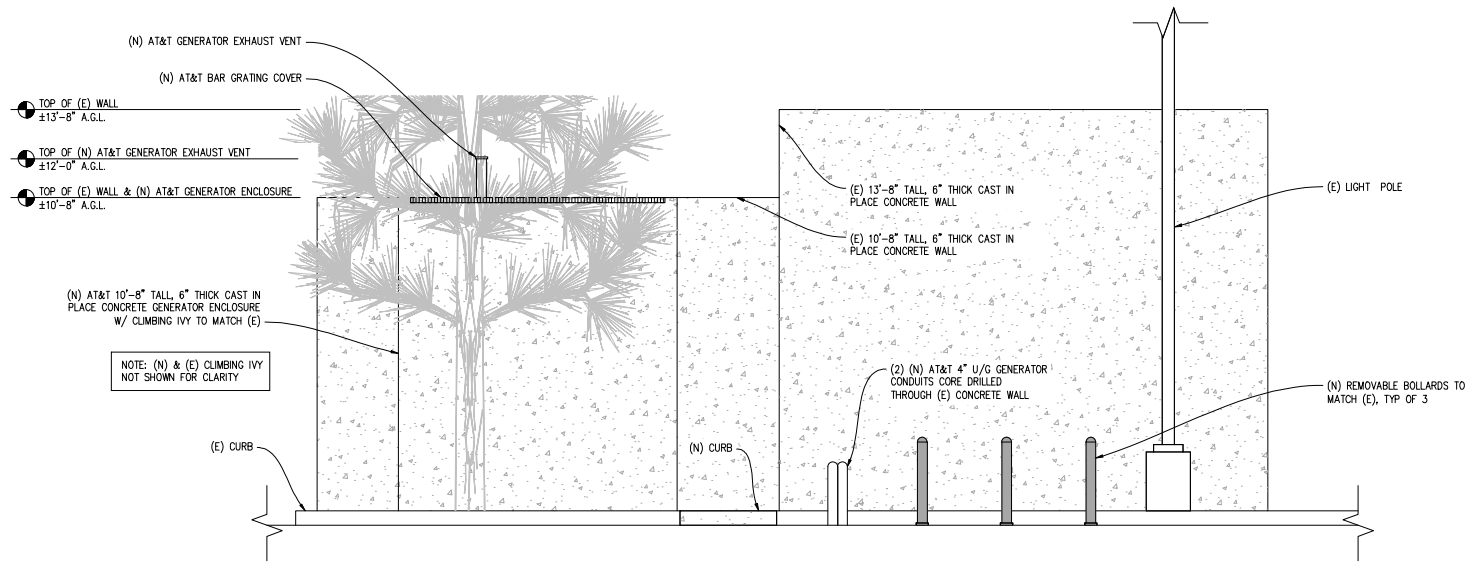


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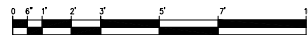
ENLARGED  
ELEVATION

SHEET NUMBER:

A-3.5

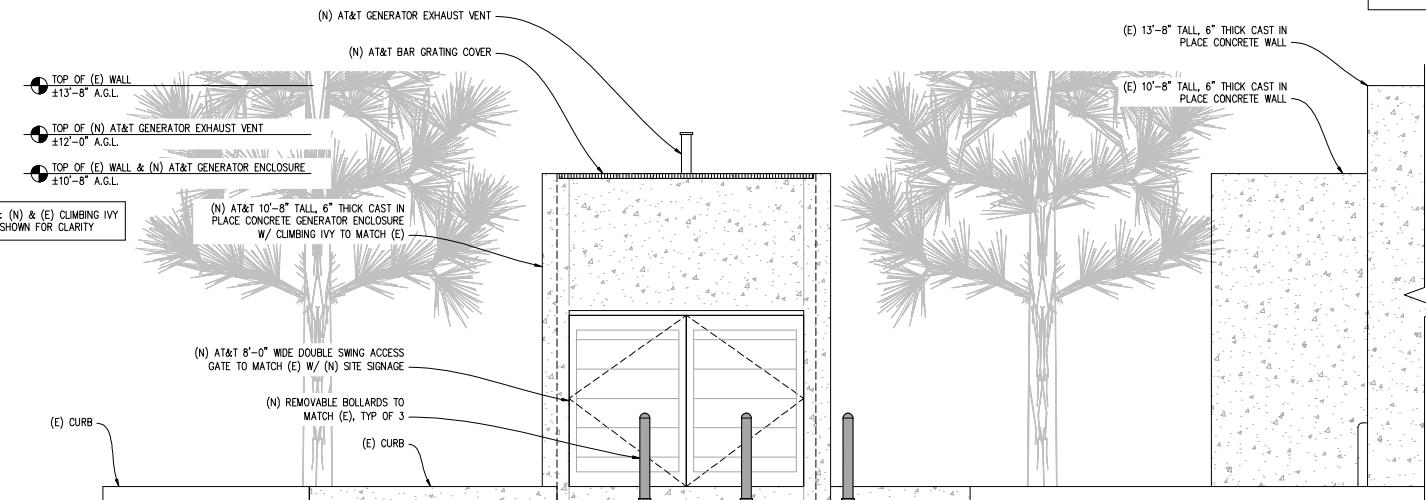


1 GENERATOR AREA WEST ELEVATION  
1/2"=1'

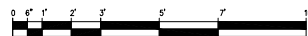


NOTE: FINISH & COLOR OF (N) GENERATOR ENCLOSURE & ACCESS GATE TO MATCH (E)

NOTE: (E) TREES, LANDSCAPING & IRRIGATION TO BE PROTECTED IN PLACE DURING CONSTRUCTION



2 GENERATOR AREA SOUTH ELEVATION  
1/2"=1'



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PREPARED FOR



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1	12/13/24	ZD 100%	D.H.
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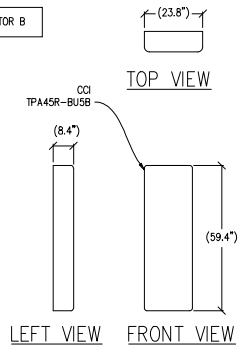
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GENERATOR AREA  
ELEVATIONS

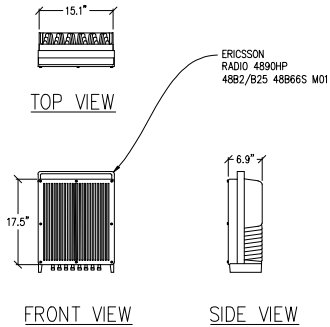
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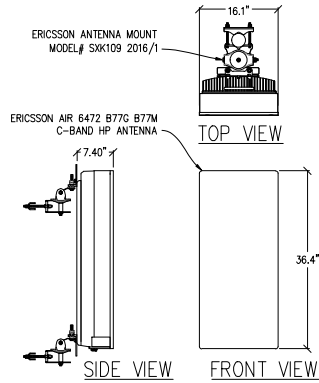
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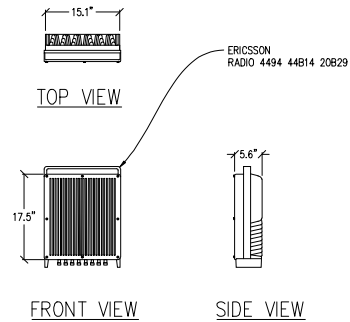
1 ANTENNA DETAIL  
1/2"=1' MAX WEIGHT: 69.2 LBS



5 RADIO 4890HP DETAIL  
1"=1'-0" MAX WEIGHT: 68.0 LBS

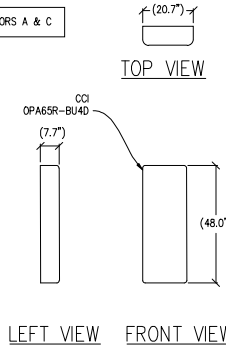


2 ANTENNA DETAIL  
1"=1'-0" MAX WEIGHT: 92.6 LBS

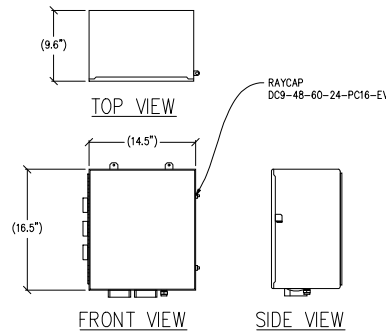


6 RADIO 4494 DETAIL  
1"=1'-0" MAX WEIGHT: 57.3 LBS

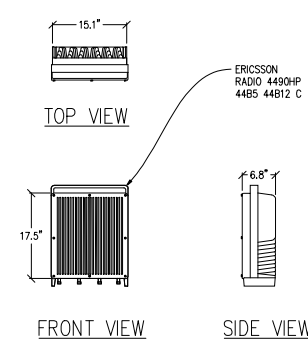
NOTE: SECTORS A & C



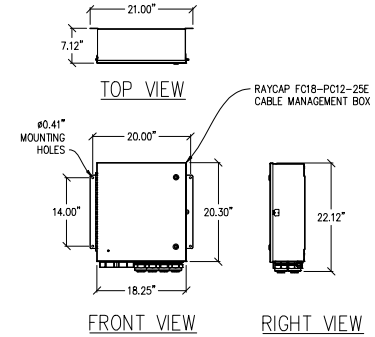
3 ANTENNA DETAIL  
1/2"=1' MAX WEIGHT: 46.3 LBS



7 DC9 BOX DETAIL  
1/2"=1'-0" MAX WEIGHT: 34.9 LBS



4 RADIO 4490HP DETAIL  
1"=1'-0" MAX WEIGHT: 68.0 LBS



8 FC18 DETAIL  
1"=1'-0" WEIGHT: 29.7 LBS

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2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR



5005 Executive Parkway  
San Ramon, California 94583

Vendor:



AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

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0	10/24/24	ZD 90%	-

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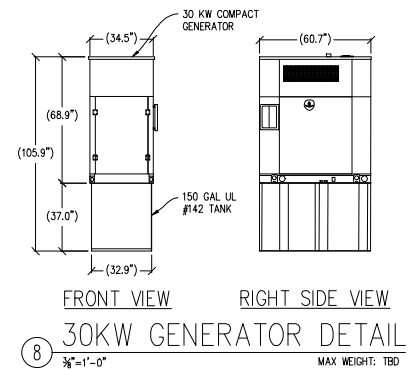
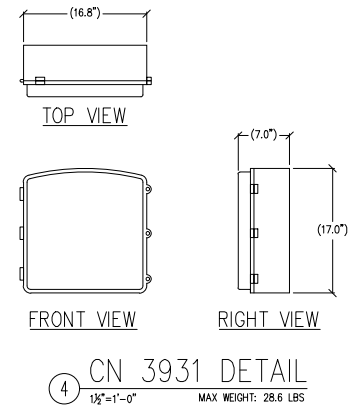
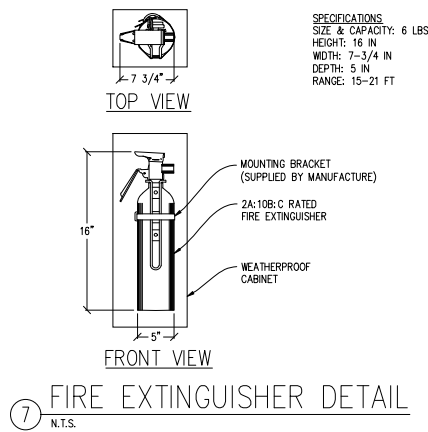
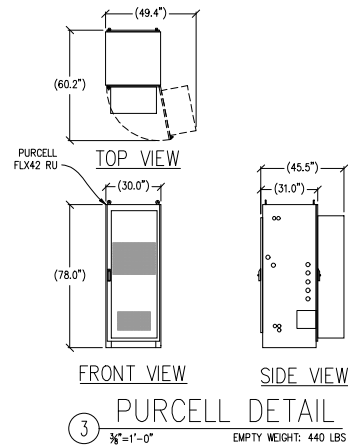
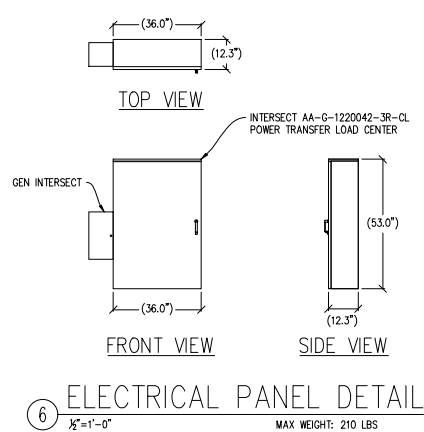
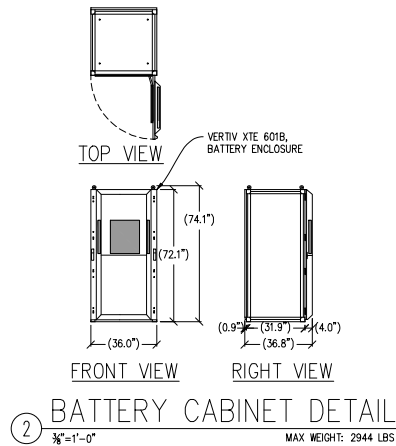
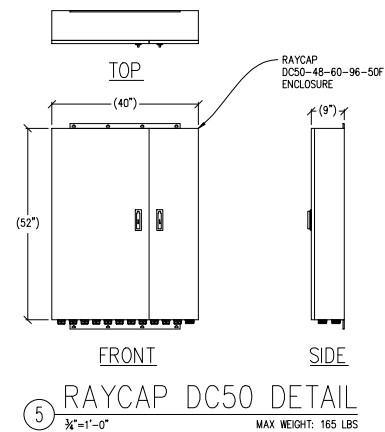
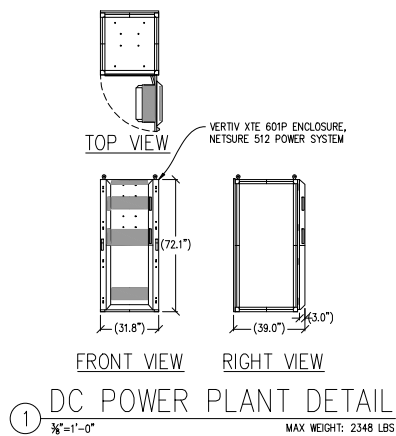


SHEET TITLE:

ANTENNA  
DETAILS

SHEET NUMBER:

A-4.1



Issued For:

CBL00269  
IRVINE

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR

at&t

5005 Executive Parkway  
San Ramon, California 94583

Vendor:

EPIC  
WIRELESS GROUP LLC  
Connecting a Wireless World

AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

ISSUE STATUS				
REV	DATE	DESCRIPTION	CAD	
5	05/07/25	CLIENT REV	T.T.	
4	04/17/25	CLIENT REV	T.T.	
3	03/06/25	CLIENT REV	T.T.	
2	12/26/24	CLIENT REV	D.H.	
1	12/13/24	ZD 100%	D.H.	
0	10/24/24	ZD 90%	-	

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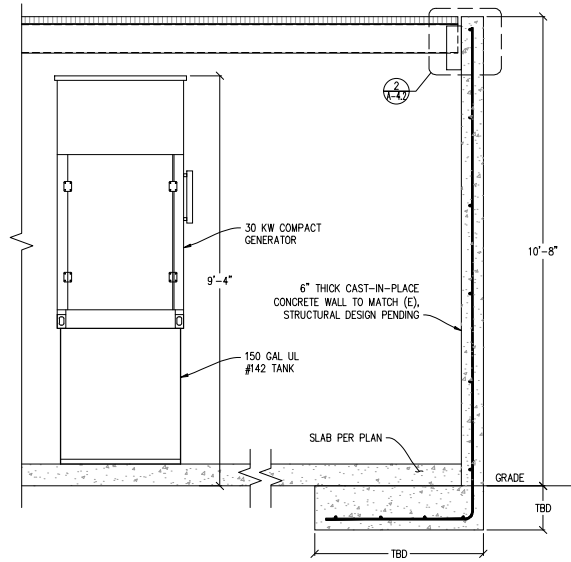
3883 Taylor Road, Suite A, Livermore, CA 94550  
Contact: Kevin Sorenson Phone: 916-660-1800  
E-Mail: kevin@streamlineeng.com Fax: 916-660-1841

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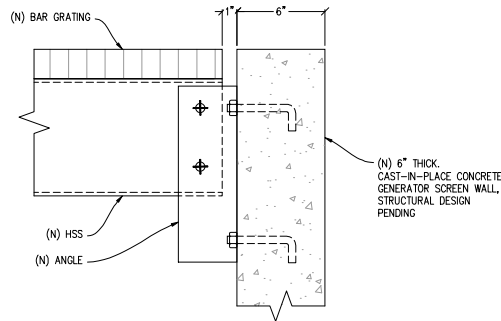
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DETAILS

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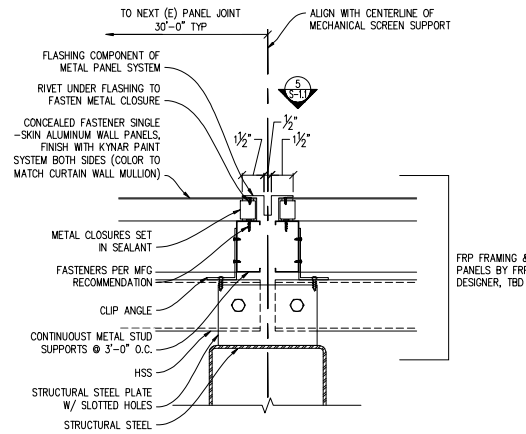
A-4.2



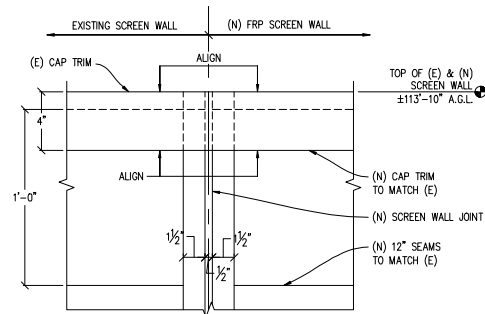
1 PRELIMINARY CONCRETE WALL DETAIL  
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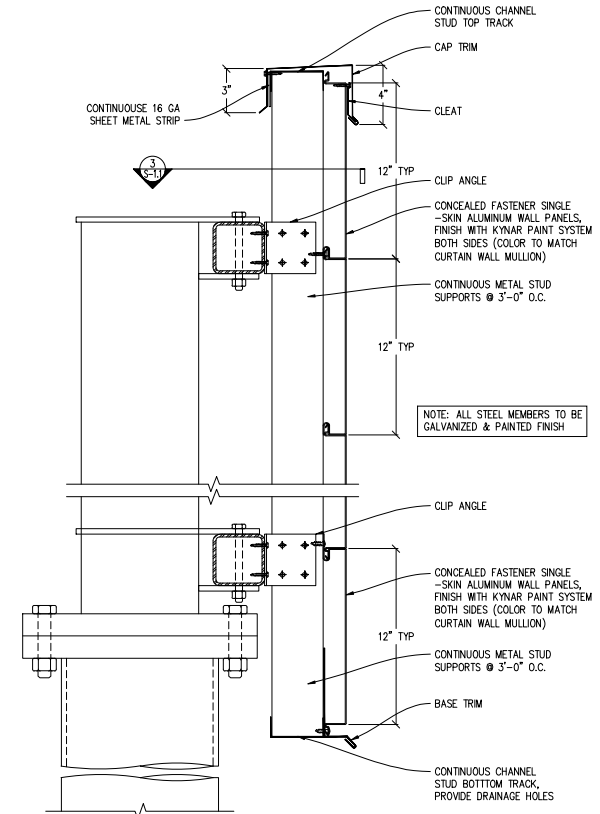
2 TOP OF CONCRETE WALL DETAIL  
3'-0"=1'-0"



3 TYP VERTICAL JOINT @ SCREEN WALL  
3'-0"=1'-0"



5 TOP OF SCREEN WALL DETAIL  
3'-0"=1'-0"



4 MECHANICAL SCREEN WALL SECTION  
3'-0"=1'-0"

Issued For:

CBL00269  
IRVINE

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR

at&t

5005 Executive Parkway  
San Ramon, California 94583

Vendor:

EPIC  
WIRELESS GROUP LLC  
Connecting a Wireless World

AT&T SITE NO.: CBL00269

PROJECT NO.: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

ISSUE STATUS

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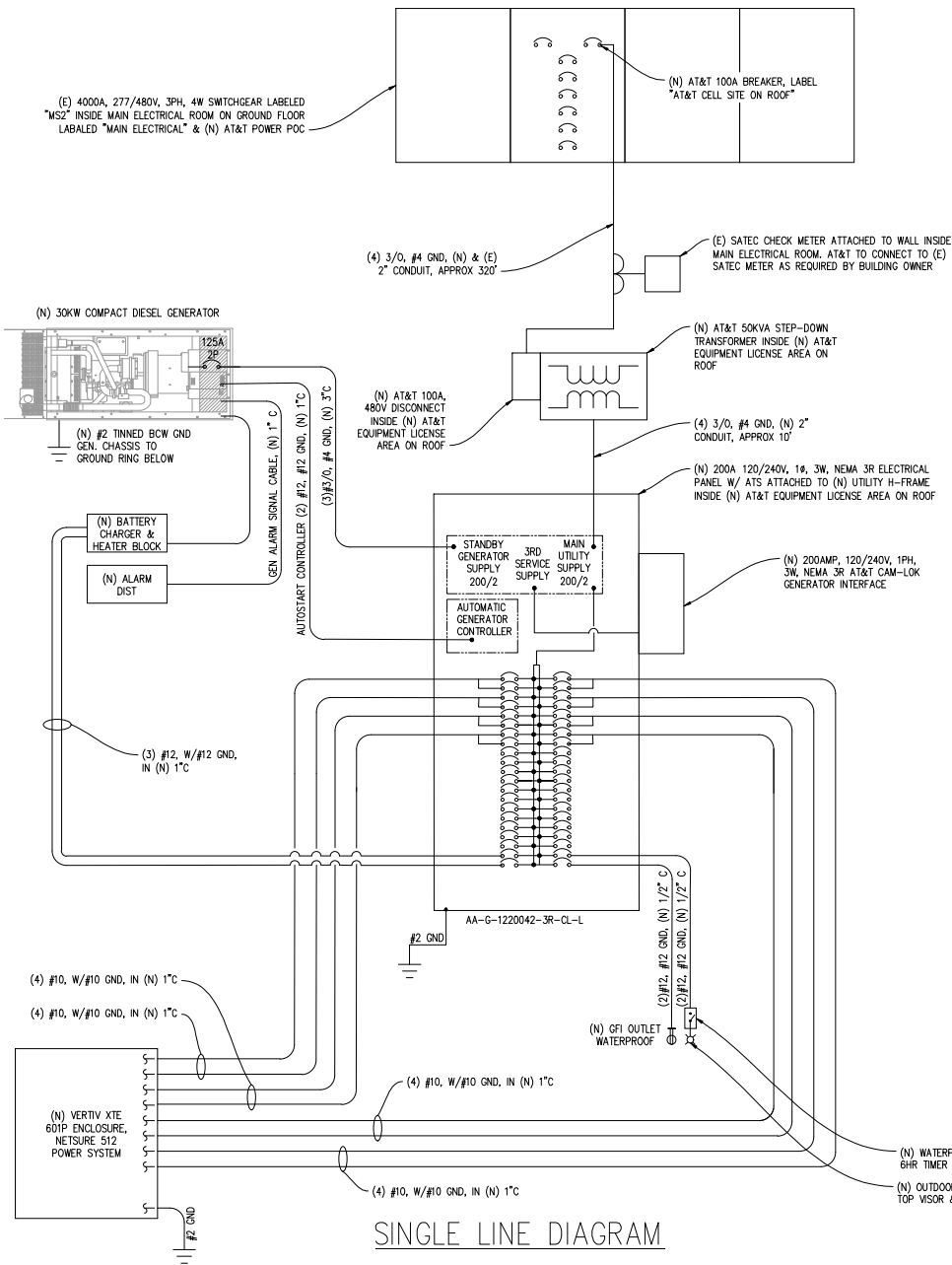
Streamline Engineering  
3883 Taylor Road, Suite A, Irvine, CA 92606  
Contact: Kevin Sorenson Phone: 949-460-1800  
E-Mail: kevin@streamlineeng.com Fax: 949-460-1841

SHEET TITLE:

STRUCTURAL  
DETAILS

SHEET NUMBER:

S-1.1



SINGLE LINE DIAGRAM

ELECTRICAL LEGEND

- (MI) MECHANICAL INTERLOCK
- (M) METER
- (CB) CIRCUIT BREAKER
- (SG) SERVICE GROUND
- (WC) WIRED CONNECTION
- (TS) TIMER SWITCH, WATERPROOF
- (OL) OUTDOOR LIGHT
- (GFI) GFI OUTLET, WATERPROOF

(N) PANEL SCHEDULE

NAMEPLATE : PANEL A				SC LEVEL : 22,000		VOLTS: 120V/240V, 1Ø			
LOCATION : OUTSIDE				BUS AMPS: 200A		BUS AMPS: 200A			
MOUNTING : UTILITY H-FRAME				MAIN CB: 200A		MAIN CB: 200A			
BA	BB	LOAD DESCRIPTION	BKR AMP / POLE	CIRCUIT NO	BKR AMP / POLE	LOAD DESCRIPTION	BA	BB	
LOAD VA	LOAD VA						LOAD VA	LOAD VA	
2150	2150	RECTIFIERS 1 & 2	30/2	1 2	30/2	RECTIFIERS 3 & 4	2150	2150	
		" "	" "	3 4	" "	" "			
2150	2150	RECTIFIERS 5 & 6	30/2	5 6	30/2	RECTIFIERS 7 & 8	2150	2150	
		" "	" "	7 8	" "	" "			
2150	2150	RECTIFIERS 9 & 10	30/2	9 10	30/2	RECTIFIERS 11 & 12	2150	2150	
		" "	" "	11 12	" "	" "			
2150	2150	RECTIFIERS 13 & 14	30/2	13 14	30/2	RECTIFIERS 15 & 16	2150	2150	
		" "	" "	15 16	" "	" "			
		BLANK	" "	17 18	" "	BLANK			
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		" "	" "	35 36	" "	" "			
		" "	" "	37 38	" "	" "			
	1000	BATTERY CHARGER BLOCK	20/1	39 40	20/1	TECH LIGHTS		1000	
250		BATTERY HEATER BLOCK	20/1	41 42	20/1	GFI RECEPTACLE	250		
8850	9600	PHASE TOTALS				PHASE TOTALS	8850	8600	
TOTAL VA =	35900	TOTAL AMPS =	150						
TOTAL KVA =	35.90								

Issued For:

**CBL00269**  
**IRVINE**

2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR

**at&t**

5005 Executive Parkway  
San Ramon, California 94583

Vendor:

**EPIC**  
**WIRELESS GROUP LLC**  
Connecting a Wireless World

AT&T SITE NO: CBL00269

PROJECT NO: -

DRAWN BY: SEAD

CHECKED BY: J. GRAY

APPROVED BY: -

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0	10/24/24	2D 90%	-						
REV	DATE	DESCRIPTION	CAD						

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Contact: Kevin Sorenson Phone: (916) 460-1900  
E-Mail: kevin@streamlineeng.com Fax: (916) 460-1941

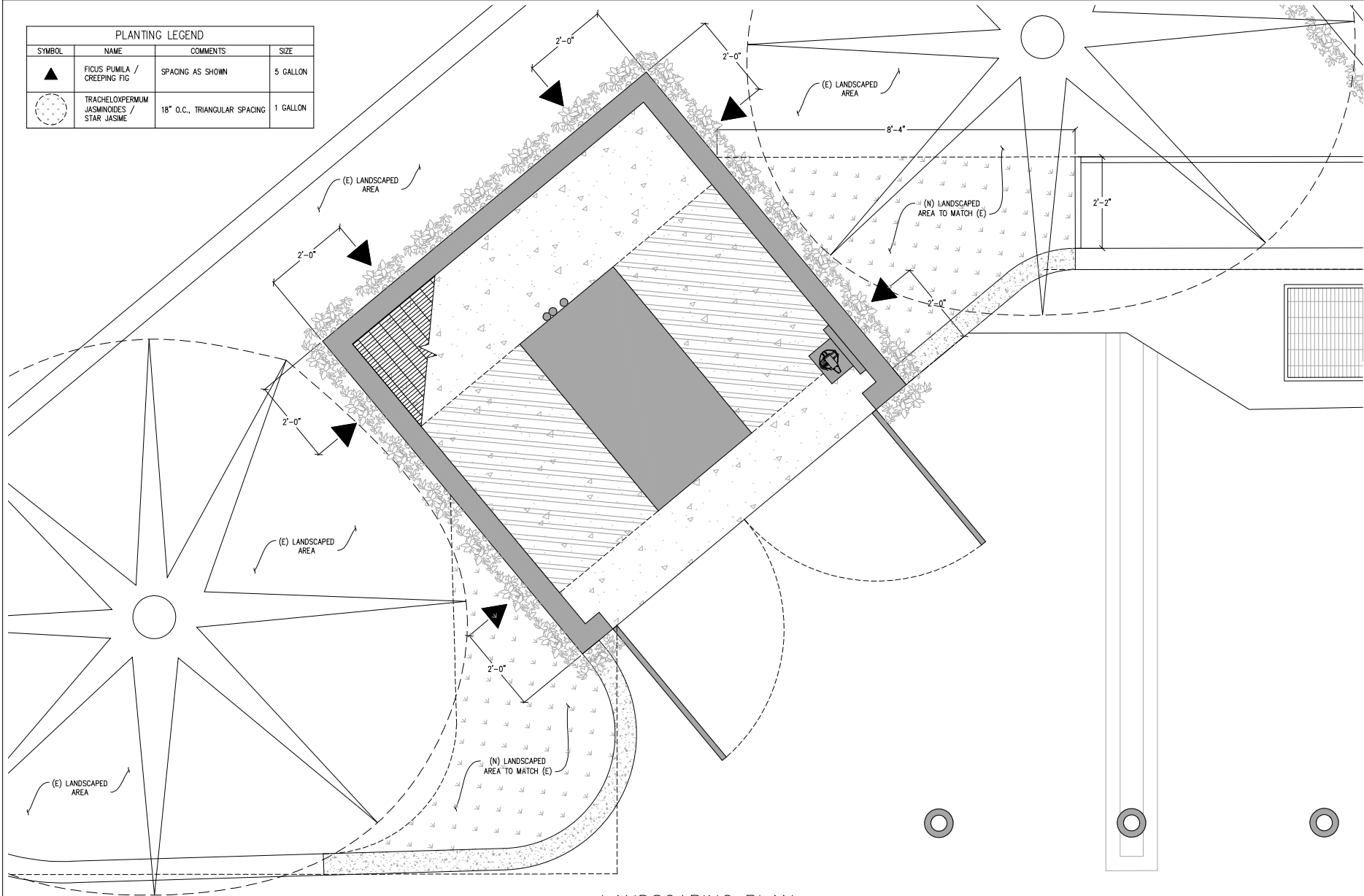
SHEET TITLE:

**ELECTRICAL**  
**PLAN**

SHEET NUMBER:

**E-1.1**

PLANTING LEGEND			
SYMBOL	NAME	COMMENTS	SIZE
▲	FICUS PUMILA / CREEPING FIG	SPACING AS SHOWN	5 GALLON
●	TRACHELOXPERMUM JASMINOIDES / STAR JASMINE	18" O.C., TRIANGULAR SPACING	1 GALLON



# LANDSCAPING PLAN



Issued For:  
**CBL00269  
IRVINE**  
2600 GREAT AMERICA WAY  
SANTA CLARA, CA 95054

PREPARED FOR  
**at&t**  
5005 Executive Parkway  
San Ramon, California 94583

Vendor:  
**EPIC**  
WIRELESS GROUP LLC  
Connecting a Wireless World

AT&T SITE NO.: CBL00269  
PROJECT NO.: -  
DRAWN BY: SEAD  
CHECKED BY: J. GRAY  
APPROVED BY: -

ISSUE STATUS			
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2	12/26/24	CLIENT REV	D.H.
1	12/13/24	ZD 100%	D.H.
0	10/24/24	ZD 90%	-

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**Streamline Engineering**  
3883 Taylor Road, Suite A, Livermore, CA 94550  
Contact: Kevin Sorenson Phone: 916-460-1800  
E-Mail: kevin@streamlineeng.com Fax: 916-460-1841

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-1.1**







### Legend

#### Base Layers

##### Site Addresses

- Multiple
- Single
- Utility

##### Streets

##### Land Parcels

- Land Parcels
- Right of Ways



Notes **PLN25-00131**

created on 08/20/2025 14:06:53

0 200 400  
ft

NAD\_1983\_2011\_StatePanel\_California\_III\_FIPS\_0403\_Ft\_US  
©City of Santa Clara

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**PROJECT NARRATIVE  
WIRELESS TELECOMMUNICATIONS FACILITY  
CONDITIONAL USE PERMIT  
CBL00269/IRVINE**

Submitted to City of Santa Clara, CA  
Planning Department

---

**Applicant:** New Cingular Wireless PCS, LLC ("AT&T")  
5001 Executive Parkway  
San Ramon, CA 94583

**Representative:** EPIC Wireless Group, LLC  
605 Coolidge Drive, Suite 100  
Folsom, CA 95630  
**Contact:** Ashley Smith  
916-247-1749  
[ashley.smith@epicwireless.net](mailto:ashley.smith@epicwireless.net)

**Property-Owner:** PC Santa Clara Gateway 2 LLC/Irvine Company LLC  
Contact: Laura Whitten  
PO Box 2450  
Newport Beach, CA 92658

**Project Address:** 2600 Great America Way,  
Santa Clara, CA 95054

**Description & Tax Lot:** GPS Coordinates: 37.415367, -121.974022  
Parcel No. 104-01-099

**Zoning Classification:** PD (Planned Development)

EPIC Wireless Group, LLC is submitting this application on behalf of New Cingular Wireless PCS, LLC ("AT&T") and the underlying property owner.

## **1. PROJECT OVERVIEW**

AT&T is proposing to build a new wireless telecommunications facility CBL00269/Irvine at the above noted project address. This Facility is intended to fill a significant gap in AT&T's high band 4G and 5G LTE coverage experienced by its customers in a targeted coverage area in Santa Clara, CA.

In addition to AT&T LTE commercial facilities, this proposed wireless facility will also provide an important public benefit by including facilities to support the FirstNet Nationwide Safety Public Broadband Network<sup>1</sup> ("FirstNet"). As a FirstNet site, this proposed wireless facility is part of a more significant initiative by AT&T to upgrade existing wireless sites and to build new sites to support FirstNet and deploy the new frequency band for first responders ("Band 14").

AT&T intends for its application for the proposed WCF to include the following documents (collectively, "AT&T's Application"):

- Attachment 1—Project Narrative (this document)
- Attachment 2 – Letter of Authorization
- Attachment 3—Title Report
- Attachment 4—Alternative Site Analysis
- Attachment 5— Zoning Propagation Map
- Attachment 6—JX EME Report
- Attachment 7—FINAL Zoning Drawings

As shown in AT&T's Application, this proposed project meets all City of Santa Clara's criteria for siting new wireless communications facilities and complies with all other applicable state and federal laws and regulations. AT&T's proposal is also the least intrusive means of meeting its coverage objectives for this site. Accordingly, AT&T respectfully requests the City of Santa Clara to approve this project as proposed, subject only to the City of Santa Clara's standard conditions of approval.

## **2. PROPOSED PROJECT DETAILS**

### **2.1. Location**

Detailed information regarding the subject property and proposed lease area is included in

---

<sup>1</sup> The First Responder Network Authority ("FirstNet Authority") is an independent authority within the U.S. Department of Commerce. Chartered in 2012, its mission is to ensure the building, deployment, and operation of the FirstNet Nationwide Safety Public Broadband Network—the nationwide, broadband network that equips first responders to save lives and protect U.S. communities. FirstNet grew out of and addresses a 9/11 Commission recommendation calling for improved communications for all U.S. first responders. Learn more at [FirstNet.gov/mediakit](http://FirstNet.gov/mediakit).

Attachment 7, Final Zoning Drawings, to AT&T's application.

**2.1.1. Subject property.** The subject property of this proposal is located at 2600 Great America Way in the City/County of Santa Clara (the "Property"). The Property is owned by PC Santa Clara Gateway 2 LLC/Irvine Company LLC. The Property is zoned as Planned Development (PD) and is currently used primarily as an office building.

**2.1.2. Lease area.**

- The proposed lease area for the wireless facility will be located on the west end of the rooftop.
- The lease area will be surrounded by the Mechanical Screen on the rooftop. The antennas will not be visible on the ground.

**2.1.3. Access and parking.** Access will off Great America Way into the existing parking lot. Parking will be within the parking lot.

**2.2. Wireless Facilities and Equipment**

Specifications of the facilities outlined below, including a site plan, can be found in Attachment 7, Final Zoning Drawings, to AT&T's Application.

**2.2.1. Support structure design.** AT&T is proposing to collocate their antennas/radios/cabinets/h-frames on the rooftop of the existing office structure on the Property. The proposed generator will be enclosed within a new proposed generator enclosure in the parking lot near an existing generator enclosure. This will be an unmanned wireless facility.

**2.2.2. Antennas and accessory equipment.**

- The facility will contain AT&T 4G/5G LTE and FirstNet equipment and 9 panel antennas, 9 RRUs, and 3 new surge protectors, with all associated equipment.

**2.2.3. Ground equipment.**

- The cabinets/h-frames/etc. will be located on the existing rooftop concealed by the Mechanical screening.
- The proposed 30KW diesel compact generator will be enclosed within a new proposed thick cast wall to mirror the existing generator enclosure on site.

**3. AT&T NETWORK COVERAGE AND SERVICES**

**3.1. Overview—AT&T 4G LTE & 5G Coverage**

AT&T is upgrading and expanding its wireless communications network to support the latest 4G LTE and 5G technology. 4G and 5G stand for "4th Generation" and "5th Generation" and LTE stands for "Long Term Evolution." These acronyms refer to the ongoing process of improving wireless technology standards, now in its 5<sup>th</sup> generation. With each generation comes

improvement in speed and functionality – 4G LTE offers speed up to ten times faster than 3G, and 5G offers speeds up to 1-gigabit per second.

This technology is the next step in increasing broadband speeds to meet the demands of users and provide the variety of content accessed over mobile networks, and it is necessary to facilitate capabilities that are being incorporated into the latest devices (i.e., Samsung Galaxy S20, iPhone 12). 5G, specifically, is the next generation of wireless technology expected to deliver latency and capacity enhancements that will enable revolutionary new capabilities for consumers and businesses.

There are several components of 5G wireless technology and separate bands of wavelength spectrum used to build a 5G network – low-band (<2GHz), mid-band (3-10GHz), and high-band millimeter wave (“mmWave”) (20-100GHz):

- **Low-Band 5G.** Low-band 5G frequencies (generally below 2GHz) are the oldest cellular (and TV) frequencies and are being used by AT&T to provide widely available 5G service in residential, suburban, and rural areas. This is the same spectrum used for 3G and 4G cellular service today. Low-band 5G frequencies are a tradeoff of download speed versus distance and service area – they are slower than the high-band mmWave and mid-band frequencies (as described below), but they travel further and can pass through more obstacles to provide a better, more reliable indoor and outdoor signal for a larger service area (i.e., miles, not feet).
- **Mid-Band 5G+.** Mid-band 5G frequencies provide a great combination of ultra-fast speeds and wide geographic coverage. This frequency fills the gap between the two current bands by traveling farther than high-band and providing faster speeds than low-band.
- **High-Band 5G+ mmWave.** High-band mmWave frequencies (generally 20-100GHz) offer an enhanced wireless experience on 5G+ with mmWave service but with more limited service. High-band mmWave frequencies transmit a large amount of data more efficiently than 4G LTE but can only travel short distances (~1000ft). Accordingly, high-band mmWave sites need to be in close proximity to one another and are typically used in dense, high trafficked areas such as urban areas, stadiums/arenas, airports, manufacturing and healthcare centers, etc.

Using these frequencies together can help AT&T's 5G network deliver the increased connectivity, reliability, speeds, and security the public demands. AT&T is proposing to deploy low-band 850MHz at this Facility for its 5G service in the area. Upon completion, the Facility will become part of AT&T's statewide and nationwide communications network.

### **3.2 Coverage Objectives for Proposed Facility**

This proposed Facility meets AT&T's coverage objectives (providing outdoor, in-vehicle, and in-building wireless coverage) within a geographic area not presently served by AT&T's network. Specifically, this facility is intended to fill a gap in AT&T's high-band 4G LTE network coverage experienced by its customers in this area of Santa Clara.

AT&T has established a need for service in this geographic area, as determined by market demand, coverage requirements for a specific geographic area, and the need to provide continuous coverage from one site to another in a particular geographic region. The specific coverage objective was determined through a combined analysis of customer complaints, service requests, and radio frequency engineering design. This proposed Facility will allow for uninterrupted wireless service in the targeted coverage area with fewer dropped calls, improved call quality, and improved access to additional wireless services that the public now demands. This includes emergency 911 calls throughout the area. (See Attachment 10 – Zoning Propagation Map).

Additionally, this proposed Facility will also allow AT&T to provide wireless communications and service for FirstNet users in the targeted service area (as further detailed in the next section).

#### **4. FIRSTNET**

In addition to providing customers with reliable coverage, fast speeds, and excellent quality, the proposed project will include facilities to support the Nationwide Public Safety Broadband Network (“**FirstNet**”). In its partnership with the First Responder Network Authority, AT&T is responsible for building, maintaining, and upgrading the FirstNet network for the next 25 years. In order to support FirstNet, AT&T is upgrading its existing wireless sites and building new wireless facilities throughout the United States, including City of Santa Clara. AT&T's upgrades include deployment of the new frequency band (“**Band 14**”) supporting the FirstNet network. In 2012, the U.S. Congress set aside Band 14 for use by first responders. FirstNet Built with AT&T is designed to be reliable, functional, safe, and secure, and it will provide optimal levels of operational capacity at all times.

FirstNet's benefits include:

- Always on, 24x7 **priority and preemption** for First Responders across data and voice communications;
- A physically separate and highly secure network core that is fully dedicated to FirstNet – utilizing end to end encryption and keeping public safety and emergency management traffic separate from commercial traffic; and
- A dedicated fleet of portable network deployable assets to support first responder and emergency manager connectivity for planned events, emergencies, in extremis, and other mission requirements.

#### **5. SITING ANALYSIS**

##### **5.1. Alternate Site Analysis**

The Alternate Site Analysis for this proposal is provided in Attachment 4.

## 6. APPLICABLE LAW

### 6.1. Local Codes

Pursuant to the City of Santa Clara Ordinance, new wireless telecommunication facilities in the Planned Development Zones are subject to a Conditional Use Permit and must comply with the criteria in **Chapter 18.66**.

### 6.2. Federal Law

Federal law, primarily found in the Telecommunications Act of 1996 ("Telecom Act"), acknowledges a local jurisdiction's zoning authority over proposed wireless facilities but limits the exercise of that authority in several important ways.

**6.2.1. Local jurisdictions may not materially limit or inhibit.** The Telecom Act prohibits a local jurisdiction from taking any action on a wireless siting permit that "prohibit[s] or [has] the effect of prohibiting the provision of personal wireless services." 47 U.S.C. § 332(c)(7)(B)(i)(II). According to the Federal Communications Commission ("FCC") Order adopted in September 2018,<sup>2</sup> a local jurisdiction's action has the effect of prohibiting the provision of wireless services when it "materially limits or inhibits the ability of any competitor or potential competitor to compete in a fair and balanced legal and regulatory environment."<sup>3</sup> Under the FCC Order, an applicant need not prove it has a significant gap in coverage; it may demonstrate the need for a new wireless facility in terms of adding capacity, updating to new technologies, and/or maintaining high quality service.<sup>4</sup>

While an applicant is no longer required to show a significant gap in service coverage, in the Ninth Circuit, a local jurisdiction clearly violates section 332(c)(7)(B)(i)(II) when it prevents a wireless carrier from using the least intrusive means to fill a significant gap in service coverage. *T-Mobile U.S.A., Inc. v. City of Anacortes*, 572 F.3d 987, 988 (9th Cir. 2009).

- **Significant Gap.** Reliable in-building coverage is now a necessity and every community's expectation. Consistent with the abandonment of land line telephones and reliance on only wireless communications, federal courts now recognize that a "significant gap" can exist based on inadequate in-building coverage. See, e.g., *T-Mobile Central, LLC v. Unified Government of Wyandotte County/Kansas City*, 528 F. Supp. 2d 1128, 1168-69 (D.Kan. 2007), *affirmed in*

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<sup>2</sup> *Accelerating Wireless and Wireline Broadband Deployment by Removing Barriers to Infrastructure Investment*, Declaratory Ruling and Third Report and Order, WT Docket No. 17-79, WC Docket No. 17-84, FCC 18-133 (rel. Sept. 27, 2018); 83 Fed. Reg. 51867 (Oct. 15, 2018), *affirmed in part and vacated in part*, *City of Portland v. United States*, 969 F.3d 1020 (9th Cir. 2020), *cert. denied*, 594 U.S. \_\_\_, 141 S.Ct. 2855 (June 28, 2021)(No. 20-1354) ("FCC Order").

<sup>3</sup> *Id.* at ¶ 35.

<sup>4</sup> *Id.* at ¶¶ 34-42.

*part*, 546 F.3d 1299 (10<sup>th</sup> Cir. 2008); *MetroPCS, Inc. v. City and County of San Francisco*, 2006 WL 1699580, \*10-11 (N.D. Cal. 2006).

- **Least Intrusive Means.** The least intrusive means standard “requires that the provider ‘show that the manner in which it proposes to fill the significant gap in service is the least intrusive on the values that the denial sought to serve.’” 572 F.3d at 995, *quoting MetroPCS, Inc. v. City of San Francisco*, 400 F.3d 715, 734 (9<sup>th</sup> Cir. 2005). These values are reflected by the local code’s preferences and siting requirements.

**6.2.2. Environmental and health effects prohibited from consideration.** Also under the Telecom Act, a jurisdiction is prohibited from considering the environmental effects of RF emissions (including health effects) of the proposed site if the site will operate in compliance with federal regulations. 47 U.S.C. § 332(c)(7)(B)(iv). AT&T has included with this application a statement prepared by a licensed engineer in the submitted EME Report demonstrating that the proposed facility will operate in accordance with the Federal Communications Commission’s RF emissions regulations. See Attachment 12—EME Report. Accordingly, this issue is preempted under federal law and any testimony or documents introduced relating to the environmental or health effects of the proposed facility should be disregarded in this proceeding.

**6.2.3. No discrimination amongst providers.** Local jurisdiction also may not discriminate amongst providers of functionally equivalent services. 47 U.S.C. § 332(c)(7)(B)(i)(I). A jurisdiction must be able to provide plausible reasons for disparate treatment of different providers’ applications for similarly situated facilities.

**6.2.4. Shot Clock.** Finally, the Telecom Act requires local jurisdictions to act upon applications for wireless communications sites within a “reasonable” period of time. 47 U.S.C. § 332(c)(7)(B)(ii). The FCC has issued a “Shot Clock” rule to establish a deadline for the issuance of land use permits for wireless facilities. 47 C.F.R. § 1.6001, *et seq.* According to the Shot Clock rule for “macro” wireless facilities, a reasonable period of time for local government to act on all relevant applications is 90 days for a collocation, with “collocation”<sup>5</sup> defined to include an attachment to any existing structure regardless of whether it already supports wireless, and 150 days for a new structure.

***The Shot Clock applies to all authorizations required for siting a wireless facility, including the building permit, and all application notice and administrative appeal periods.***

---

<sup>5</sup> 47 C.F.R. § 1.6002(g).



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT FOR A NEW UNMANNED AT&T TELECOMMUNICATION FACILITY WITH THE INSTALLATION OF ROOFTOP MOUNTED ANTENNAS AND GROUND EQUIPMENT AT 2600 GREAT AMERICA WAY, SANTA CLARA, CALIFORNIA**

PLN25-00131 (Conditional Use Permit)

**WHEREAS**, on June 27, 2025, Epic Wireless (“Applicant”) submitted an application for a Conditional Use Permit for new unmanned AT&T telecommunication facility with the installation of rooftop mounted antennas and ground equipment at 2600 Great America Way (“Project Site”);

**WHEREAS**, at the time the application was deemed complete, the Project Site was zoned PD – Planned Development. The Project Site also has a General Plan land use designation of High Intensity Office / R&D;

**WHEREAS**, the proposal includes the proposed telecommunication facility which would include the rooftop mounted AT&T wireless antennas, the use of an 83-square foot lease area which is enclosed by a concrete wall with climbing vines for a 30 KW diesel generator, and a 329 square foot lease area in the rooftop for equipment;

**WHEREAS**, the California Environmental Quality Act (“CEQA”), Public Resources Code § 21000 *et seq.*, requires a public agency to evaluate the environmental impacts of a proposed project,

**WHEREAS**, pursuant to the California Environmental Quality Act (CEQA) the action being considered is categorically exempt from formal environmental review pursuant to CEQA Guidelines Section 15303(d) (New Construction of Utility Extensions).

**WHEREAS**, the Conditional Use Permit process enables a municipality to exercise control over the extent of certain uses, which, although desirable in limited numbers and specific locations, could have a detrimental effect on the community in specific instances;

**WHEREAS**, the PD – Planned Development Zoning District for the Project Site allows for wireless telecommunication facilities;

**WHEREAS**, pursuant to SCCC Section 18.66.040, a Use Permit approval is required for all new wireless telecommunication facilities, such as the proposed rooftop mounted antennas as shown on the Development Plans, attached by reference herein as Exhibit “Development Plans”;

**WHEREAS**, pursuant to SCCC Chapter 18.114, the Planning Commission cannot grant a Conditional Use Permit without first making specific findings related to the effect of the project on health, safety, peace, comfort, and general welfare, based upon substantial evidence in the record;

**WHEREAS**, on August 28, 2025, a notice of public hearing on this item was mailed to property owners within 500 feet of the project site; and

**WHEREAS**, on September 10, 2025, the Planning Commission held a duly noticed public hearing, at which time all interested persons were given an opportunity to present evidence and give testimony, both in support of and in opposition to the proposed Conditional Use Permit.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:**

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby finds that approving a Conditional Use Permit to allow for a new unmanned AT&T telecommunication facility with the installation of rooftop mounted antennas is consistent with SCCC Chapter 18.66 Wireless Communication Facilities and the PD zoning district with approval of a Conditional Use Permit.
3. That the Planning Commission hereby finds as follows:
  - A. The proposed use is consistent with the General Plan, in that the addition of the antennas in the proposed location would address a gap in network coverage and facilitate better service during large scale events at Levi’s Stadium in 2026, which would promote the general land use policy to “promote economic vitality by maintaining the City’s level of

service for public facilities and infrastructure, including affordable utilities and high quality telecommunications” (5.3.1-P17).

- B. The proposed use is allowed within the subject zone and complies with all other applicable provisions of this Zoning Code and the City Code; in that wireless communication facilities at the proposed location are allowed with conditional use permit approval, the proposed facility would not be located within 300 feet of any residential or mixed-use structure, and the proposed project meets all other applicable codes.
- C. The design, location, size, and operating characteristics of the proposed use are compatible with the allowed uses in the vicinity; in that the rooftop mounted antennas will be screened by a fiberglass panel that mimics the height, color and design of the existing mechanical screen located on the roof, the operation of the rooftop mounted antennas is not anticipated to produce any additional trips, noise, vibrations, or harmful side effects to the parcel or surrounding parcels, and the ground equipment will be located in the rear of the project site about 65 feet away from the future City Park on the Related Santa Clara Development and is screen by a concrete enclosure that matches the existing trash enclosure in height, color, and design.
- D. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare; in that the proposed rooftop mounted equipment and the ground equipment is placed such that it does not adversely impact the surrounding areas, because the antennas will not be seen. The location of the antennas will increase wireless coverage for residents in the area and meet the needs of residents and customers from the greater region.
- E. The subject site is:
  - 1. Physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle (e.g., fire and

medical) access and public services and utilities; in that the site meets the City Code for minimum lot size, has adequate parking, and the proposed rooftop mounted antennas is located on the roof of the existing office building away from the normal operations of the land use on-site.

2. Served by highways and streets adequate in width and improvement to carry the type and quantity of traffic the proposed use would likely generate, in that the proposed project would not generate any additional trips to the subject parcel.

4. That the Planning Commission hereby approves Conditional Use Permit PLN25-00131 to allow a Conditional Use Permit for a new unmanned AT&T telecommunication facility with the installation of rooftop mounted antennas and ground equipment at 2600 Great America Way, subject to the Conditions of Approval, attached hereto and incorporated herein by this reference.

5. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 10<sup>TH</sup> DAY OF SEPTEMBER, 2025, BY THE FOLLOWING VOTE:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:
ABSTAINED:	COMMISSIONERS:

ATTEST: \_\_\_\_\_  
AFSHAN HAMID  
DIRECTOR OF COMMUNITY DEVELOPMENT  
CITY OF SANTA CLARA

Attachments Incorporated by Reference:  
1. Development Plans  
2. Conditions of Approval  
S:\Attorney\RESOLUTIONS\Form Resolution-Planning Commission.doc

**Conditions of Approval for Conditional Use Permit  
PLN25-00311 / 2600 Great America Way**

**Conditional Use Permit for a New Unmanned AT&T Telecommunication Facility with the  
Installation of Rooftop Mounted Antennas and Ground Equipment.**

**CONDITIONS OF APPROVAL**

**GENERAL**

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extension thereof. The date of granting this Permit is the date this Permit is approved by the Decision-making body and the appeal period has been exhausted. The expiration date is **September 19, 2027.**
- G2. **Conformance with Plans.** Prior to the commencement of the use, the use of the site shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division, and written approval by the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. **Code Compliance.** The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.
- a. During construction retaining a single company to install all fire related penetrations is highly recommended.
  - b. The grade level lobbies shall be minimum 1-hour rated all sides and above.
  - c. All stair shafts shall be minimum 1-hour rated.
  - d. All elevator shafts shall be minimum 1-hour rated.
  - e. All trash chute shafts shall be minimum 1-hour rated.
  - f. Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
  - g. Any trash rooms shall be minimum 1-hour rated all sides and above.
- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.

- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
- a. Chapter 15.36 – Energy Code for “all electric” provisions for new construction.
  - b. Chapter 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.

## **COMMUNITY DEVELOPMENT – PLANNING DIVISION**

### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the Director of Community Development or designee for approval prior to issuance of demolition and building permits.
- P3. **Antenna/Cell Site Installation.** Applicant to fill out and sign conditions of approval form related to antenna and cell site installations.

### **DURING CONSTRUCTION -- PRIOR TO OCCUPANCY**

- P4. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P5. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P6. **Construction Parking.** Off street parking is required to be available from the time of issuance of building permits until the issuance of certificate of occupancy. Five parking spaces shall be made available. Off-street construction parking lots are required to be maintained mud-free and dustless. If the off-street construction parking lot is located on an unpaved surface, daily street sweeping of surrounding streets is required. (SCC 18.38.030)
- P7. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

### **OPERATIONAL CONDITIONS**

- P8. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.

## **COMMUNITY DEVELOPMENT - BUILDING DIVISION**

### **DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE**

- BD1. **Addressing.** Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- a. Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. **Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. **Water Pollution Control.** The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml). All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:
- <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD4. **Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the

attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

#### **DURING CONSTRUCTION – PRIOR TO OCCUPANCY**

**BD5. Temporary Certificates of Occupancy.** Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

#### **FIRE DEPARTMENT**

##### **DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE**

- F1. A hazardous materials permit (“generator permit”) submitted to the fire permit is required before installation of generator. Please submit hazmat permit concurrently with building plan submittals.
- F2. Fire Department approval of this application is conditional upon the proposed communication system not interfering with, or otherwise adversely impacting, the Silicon Valley Regional Interoperability Authority (SVRIA) public safety communications system—either at the time of installation or in the future. If any interference is identified, the system shall be immediately shut down and remain inactive until all necessary corrective measures are completed and the system has been inspected and cleared by Santa Clara County Communications staff.
- F3. **Hazmat Clearance.** Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer’s due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
- F4. **Fire Hydrants.** Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required
- F5. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:



- F6. **Batteries:** CFC 1207.5.3 does not allow energy storage systems such as batteries that exceed thresholds in Table 1207.1.1 (70 kwh or 50 gallons of battery electrolyte for lead acid batteries) to be located above 75 feet.

## **PUBLIC WORKS DEPARTMENT - ENGINEERING**

### **DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE**

- E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.

### **STREETS DIVISION**

#### **Right of Way Landscape**

### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

- L1. **Tree Preservations Specifications.** Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.
- L2. **Mature Trees.** Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L3. **Tree Replacement.** 2:1 tree replacement ratio required for all trees removed from the right-of-way.

### **DURING CONSTRUCTION OR OPERATION**

- L4. **No Public Root Cutting.** No cutting of any part of **public trees**, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

### **PRIOR TO FINAL OF BUILDING PERMIT**

- L5. **In Lieu Fee.** If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final.

#### **Solid Waste**

### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

- SW1. **Post-Construction Solid Waste Generation Estimation and Collection Form.** The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at [Environment@SantaClaraCA.gov](mailto:Environment@SantaClaraCA.gov) or (408) 615-3080 for more information.
- SW2. **Construction Waste Diversion.** For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall

create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.

- SW3. **Authorized Service Haulers.** This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW4. **Exclusive Franchise Hauling Area.** This property falls within the City's exclusive franchise hauling area. The applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

#### **DURING CONSTRUCTION OR OPERATION**

- SW5. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- SW6. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

#### Stormwater

##### **DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT**

- ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3<sup>rd</sup> Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.

- ST7. **Small Projects.** For single-family homes and other small projects that create and/or replace 2,500 – 10,000 square feet of impervious surface area, the applicant shall implement at least one of the following site design measures:
- a. Direction of roof runoff into cisterns or rain barrels
  - b. Direction of roof, sidewalk, walkway, patio, driveway, or parking lot runoff onto vegetated areas
  - c. Construction of sidewalks, walkways, patios, bike lanes, driveways, and parking lots with permeable surfaces
- Plans shall specify which site design measures are selected for the project and show the direction of flow from impervious surfaces to the selected site design measures. All measures shall meet the design criteria in the 2016 C.3. Stormwater Handbook, Appendix K: Standard Specifications for Lot-Scale Measures for Small Projects.
- ST8. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST9. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST10. **Architectural Copper.** The use of architectural copper is prohibited.

#### **DURING CONSTRUCTION OR OPERATION**

- ST11. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST12. **Stormwater Control Measure Inspection.** At critical construction phases, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants.
- ST13. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3<sup>rd</sup> party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST14. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVURPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST15. **Amendments to Operation & Maintenance Agreement.** Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST16. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST17. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- ST18. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.

- ST19. **3<sup>rd</sup> Party Concurrence Letter.** 3<sup>rd</sup> Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a 3<sup>rd</sup> party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the 3<sup>rd</sup> party inspection report on the C.3 stormwater facility installation.
- ST20. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.
- ST21. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or [Street@SantaClaraCA.gov](mailto:Street@SantaClaraCA.gov) for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

### **SILICON VALLEY POWER**

- SVP1. **Applicant Design Process:** available to Applicants to expedite distribution electric substructure design.
- SVP2. **SVP Rules and Regulations:** Applicant shall comply with all applicable SVP rules, regulations, standards, guidelines, and requirements, as may be amended from time to time.
- SVP3. **Existing Facilities:**
- a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Applicants responsibility to maintain all clearances from equipment and easements. The Applicant may contact SVP outside of the PCC process for clear definitions of these clearance requirements. Applicant should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.
- SVP4. **Generators:** Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

### **OPERATIONAL CONDITIONS – AFTER OCCUPANCY**

- SVP5. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment which includes: manholes, transformers, vaults, switches, meters, indoor electrical rooms with SVP owned equipment etc.

### **WATER & SEWER DEPARTMENT**

#### **DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT**

- W1. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W2. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W3. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W4. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W5. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W6. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W7. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.

- W8. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W9. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W10. **Water Features.** Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W11. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W12. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

## **DURING CONSTRUCTION**

- W13. **City Standard Meters and Backflow Installation.** No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.
- W14. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W15. **Water Shortage Response Actions.** Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at [www.santaclaraca.gov/waterconservation](http://www.santaclaraca.gov/waterconservation).

#### **PRIOR TO FINAL OF BUILDING PERMIT**

- W16. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W17. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

## **ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

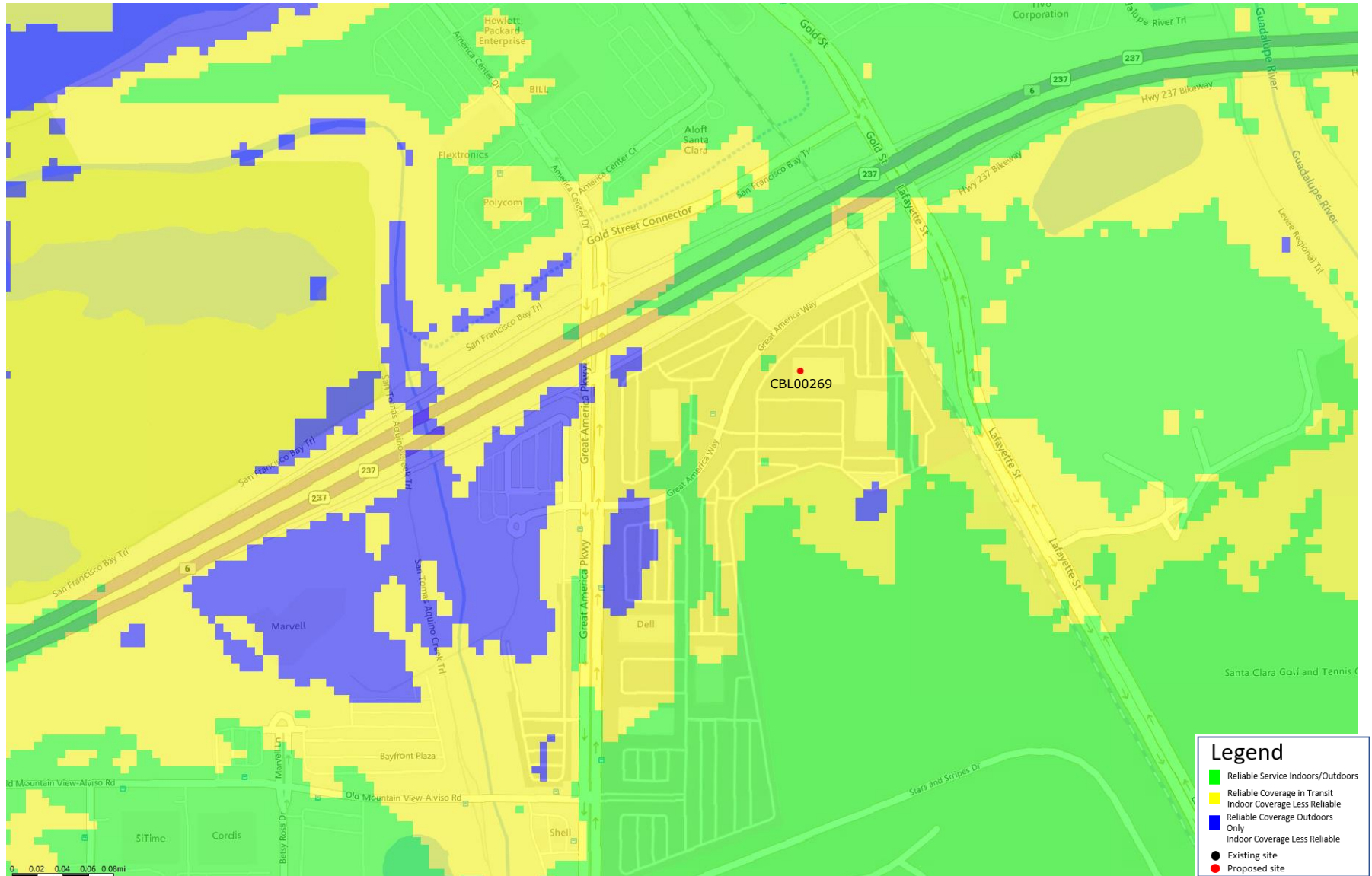
Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.



# **CBL00269 Propagation Map**

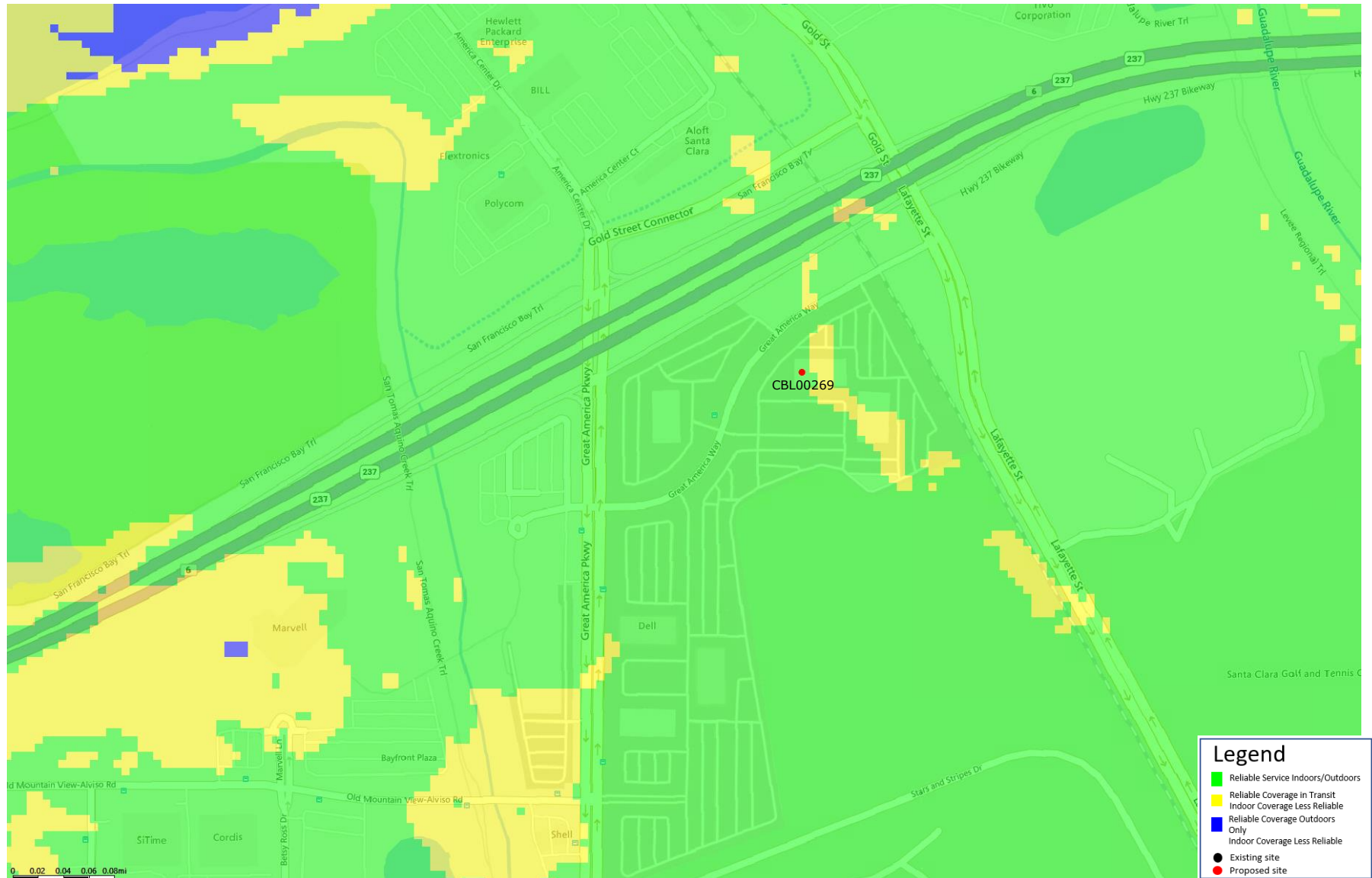
January 29, 2025

# Existing Sites LTE PCS Coverage



"AT&T PROPRIETARY -- This information constitutes confidential trade secrets and commercial or financial information owned by AT&T and is shared for Critical Infrastructure Protection purposes only. It is exempt from disclosure under the Freedom of Information Act (5 U.S.C. 552), Exemptions (b)(3)&(4), and its disclosure is prohibited under the Trade Secrets Act (18 U.S.C. 1905), the Critical Infrastructure Information Act of 2002, 5 U.S.C. § 133, and any state or local law requiring disclosure of information or records. This information must not be copied (whether mechanically or electronically through screen shots or other recording) or distributed to others not agreed upon by AT&T, but in all events do not copy or distribute to such others without notification pursuant to Executive Order 12600."

# Existing Sites + Proposed CBL00269 LTE PCS Coverage



"AT&T PROPRIETARY -- This information constitutes confidential trade secrets and commercial or financial information owned by AT&T and is shared for Critical Infrastructure Protection purposes only. It is exempt from disclosure under the Freedom of Information Act (5 U.S.C. 552), Exemptions (b)(3)&(4), and its disclosure is prohibited under the Trade Secrets Act (18 U.S.C. 1905), the Critical Infrastructure Information Act of 2002, 6 U.S.C. § 153, and any state or local law requiring disclosure of information or records. This information must not be copied (whether mechanically or electronically through screen shots or other recording) or distributed to others not agreed upon by AT&T, but in all events do not copy or distribute to such others without notification pursuant to Executive Order 12600."

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**PROJECT SUPPORT STATEMENT  
ALTERNATIVE SITE ANALYSIS**

Summary of Site Evaluations and Technical Evidence  
Conducted by Epic Wireless Group, LLC

**AT&T TELECOMMUNICATIONS FACILITY  
“IRVINE”**

**AT&T SITE NUMBER: CBL00269**

**AUTHORIZED AGENT:**  
EPIC WIRELESS GROUP, LLC

**ZONING MANAGER:**  
Ashley Smith; (916) 247-1749; Ashley.Smith@epicwireless.net

**PROPERTY OWNER:**  
PC SANTA CLARA GATEWAY 2 LL/IRVINE CO. LLC

**APN:**  
104-01-099

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- I. Introduction
- II. Objective
- III. Methodology and Zoning Criteria
- IV. Analysis
- V. Location of Candidate Sites
- VI. Operational Statement
- VII. Conclusion



## **I. Introduction**

New Cingular Wireless PCS, LLC d/b/a AT&T Mobility (“AT&T”) has a significant gap in its service coverage in the City of Santa Clara. AT&T proposes to install new AT&T equipment on an existing building located at 2600 Great America Way, Santa Clara CA (“Proposed Facility”) as a means to fill AT&T’s gap in coverage in this portion of the city. This property is located in the (PD) Planned Development zoning district within the jurisdiction of the City of Santa Clara. The Proposed Facility includes the removal and replacement of the existing mechanical screen with new FRP Screening. Nine (9) panel antennas and nine (9) Remote Radio Units (RRUS) will be proposed to be mounted on the new FRP Screening, with the related equipment to be proposed within an 8'x12' footprint on the west end of the rooftop. The Proposed Facility is designed to minimize visual impacts by having all equipment on the roof concealed by the FRP Mechanical Screen. The Proposed Facility is the least intrusive means to fill the significant gap of the alternatives investigated by AT&T as explained below.

## **II. Objective**

AT&T Mobility has identified a significant gap in its service coverage in the City of Santa Clara, Santa Clara County in an area bordered by Great America Way. This portion of Santa Clara includes multiple commercial properties, and is close in vicinity to the Levi's Stadium. The main objective for this project is to provide coverage to this commercial area and the Superbowl and FIFA World Cup that will be occurring in 2026. The service coverage in this portion of the city is described in the accompanying Zoning propagation map completed by an AT&T Radio Frequency Engineer.

## **III. Methodology and Zoning Criteria**

The location of a WCF to fill a significant gap in coverage is dependent upon topography, zoning, existing structures, collocation opportunities, available utilities, access and a willing landlord. Wireless communication is line-of-sight technology that requires WCFs to be in relatively close proximity to the wireless handsets to be served. AT&T seeks to fill a significant gap in service coverage using the least intrusive means under the values expressed in the City of Santa Clara Code 18.66 Wireless Telecommunications Facilities.

AT&T seeks to meet the Code requirements and provide the best available design by concealing this proposed facility behind FRP Screening in a (PD) Planned Development zone district to address the significant service coverage gap.

#### **IV. Analysis**

AT&T investigated potential alternative sites for facilities to fill the identified coverage gap in this portion of the City. AT&T searched for, but did not find, feasible collocation opportunities on existing cell towers in and around the coverage objective. Due to the need for antennas with a centerline height of (60') feet above ground level, AT&T proposed for the collocation of it's equipment on an existing 6 story building. The following map shows the locations of the Proposed Facility and the alternative site that AT&T investigated. The alternative is discussed in the analysis which follows.

#### **V. Location of Candidate Sites**



**Proposed Facility - 2600 Great America Way, Santa Clara CA 95054**



***Analysis:** Based upon location, a willing landlord, and the superior coverage as shown in the AT&T Radio Frequency coverage service maps, the Proposed Facility is the least intrusive means for AT&T to meet its service coverage objective.*

The Proposed site location is located off of Great America Way in Santa Clara, CA. The Proposed Facility is the best available design to minimize visual impacts in the area, and the new site will have very little negative effect on the aesthetic quality of its surroundings as AT&T proposes for all equipment on the rooftop to be concealed behind the FRP Screening. The Proposed Facility is the least intrusive means to fill the significant gap of the alternatives investigated by AT&T.



**Alternative Site #1 - 5455 Great America Parkway, Santa Clara CA 95054**



***Analysis: Not Feasible.***

This property is located approximately .23 miles south east of the proposed facility. This originally was the selected candidate. However due to arising real estate issues, the landlord was unable to approve AT&T's proposal on site. Thus, our office worked with the landlord to find another location that was more suitable for AT&T's proposal.



## **VI. Operational Statement**

This project is an AT&T Mobility unmanned Telecommunications Wireless Facility. It will consist of the following:

A (N) AT&T UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:

- (N) 4'-6"x10'-6" (47.25 SQ FT) EQUIPMENT LEASE AREA #1 ON ROOF
- (N) 2'-0"x13'-6" (27 SQ FT) EQUIPMENT LEASE AREA #2 ON ROOF
- (3) (N) 5'-0"x10'-0" (50 SQ FT) ANTENNA LEASE AREAS ON ROOF
- (3) (N) FRP SCREENS
- (9) (N) ANTENNAS ON (N) MOUNTS
- (9) (N) RADIOS @ ANTENNAS
- (3) (N) DC9 SURGE SUPPRESSORS @ ANTENNAS
- (1) (N) RAYCAP DC50 SURGE SUPPRESSION BOX @ EQUIPMENT
- (3) (N) FIBER TRUNK CABLES & (9) (N) DC POWER TRUNK CABLES
- (1) (N) POWER/BATTERY CABINET, (1) (N) BATTERY CABINET, & (1) (N) PURCELL EQUIPMENT CABINET
- (N) GPS ANTENNA
- (N) UTILITIES TO (N) SITE LOCATION

The facility will operate 24 hours a day 7 days a week. Maintenance workers will visit the site approximately once a month or once a quarter. There will be minimal noise from the standby generator, turning on once a month for 10 minutes for maintenance purposes limited to Monday through Friday between 8am and 5pm and during emergency power outages.

## **VIII. Conclusion**

The identified site location and design of the proposed facility represents a thorough and responsible investigation of alternative site locations. AT&T, with the help of Epic Wireless and AT&T Wireless RF Engineers, has determined the proposed site to be the least intrusive means to service the maximum number of living units. This facility is believed to have the least impacts to the community.

This area of Santa Clara will benefit immensely from this proposed facility in this specified location. From the FirstNet Program all of which is greatly needed in this area, to the coverage and capacity for AT&T Customers. For this reason, Epic Wireless is requesting review and approval on this proposal.



## Radio Frequency Emissions Compliance Report For AT&T Mobility

Site Name:	IRVINE	Site Structure Type:	Rooftop
Address:	2600 GREAT AMERICA WAY	Latitude:	37.415345
	SANTA CLARA, CA 95054	Longitude:	-121.974299
Report Date:	December 04, 2024	Project:	NSB

### Compliance Statement

Based on information provided by AT&T Mobility and predictive modeling, the IRVINE installation proposed by AT&T Mobility will be compliant with Radiofrequency Radiation Exposure Limits of 47 C.F.R. §§ 1.1307(b)(3) and 1.1310. RF alerting signage and restricting access to the antenna to authorized personnel that have completed RF safety training is required for Occupational environment compliance. The proposed operation will not expose members of the General Public to hazardous levels of RF energy at ground level or in adjacent buildings.

### Certification

I, Tim Alexander, am the reviewer and approver of this report and am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation, specifically in accordance with FCC's OET Bulletin 65. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.



SIGNED, 4 DEC 2024

### General Summary

The compliance framework is derived from the Federal Communications Commission (FCC) Rules and Regulations for preventing human exposure in excess of the applicable Maximum Permissible Exposure ("MPE") limits. At any location at this site, the power density resulting from each transmitter may be expressed as a percentage of the frequency-specific limits and added to determine if 100% of the exposure limit has been exceeded. The FCC Rules define two tiers of permissible exposure differentiated by the situation in which the exposure takes place and/or the status of the individuals who are subject to exposure. General Population / Uncontrolled exposure limits apply to those situations in which persons may not be aware of the presence of electromagnetic energy, where exposure is not employment-related, or where persons cannot exercise control over their exposure. Occupational / Controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment, have been made fully aware of the potential for exposure, and can exercise control over their exposure. Based on the criteria for these classifications, the FCC General Population limit is considered to be a level that is safe for continuous exposure time. The FCC General Population limit is 5 times more restrictive than the Occupational limits.

Table 1: FCC Limits

Frequency (MHz)	<i>Limits for General Population/ Uncontrolled Exposure</i>		<i>Limits for Occupational/ Controlled Exposure</i>	
	Power Density (mW/cm <sup>2</sup> )	Averaging Time (minutes)	Power Density (mW/cm <sup>2</sup> )	Averaging Time (minutes)
30-300	0.2	30	1	6
300-1500	f/1500	30	f/300	6
1500-100,000	1.0	30	5.0	6

f=Frequency (MHz)

In situations where the predicted MPE exceeds the General Population threshold in an accessible area as a result of emissions from multiple transmitters, FCC licensees that contribute greater than 5% of the aggregate MPE share responsibility for mitigation.

Based on the computational guidelines set forth in FCC OET Bulletin 65, Waterford Consultants, LLC has developed software to predict the overall Maximum Permissible Exposure possible at any location given the spatial orientation and operating parameters of multiple RF sources. The power density in the Far Field of an RF source is specified by OET-65 Equation 5 as follows:

$$S = \frac{EIRP}{4 \cdot \pi \cdot R^2} \text{ (mW/cm}^2\text{)}$$

Where EIRP is the Effective Radiated Power relative to an isotropic antenna and R is the distance between the antenna and point of study. Additionally, consideration is given to the manufacturers' horizontal and vertical antenna patterns as well as radiation reflection. At any location, the predicted power density in the Far Field is the spatial average of points within a 0 to 6-foot vertical profile that a person would occupy. Near field power density is based on OET-65 Equation 20 stated as

$$S = \left( \frac{180}{\theta_{BW}} \right) \cdot \frac{100 \cdot P_{in}}{\pi \cdot R \cdot h} \text{ (mW/cm}^2\text{)}$$

Where  $P_{in}$  is the power input to the antenna,  $\theta_{BW}$  is the horizontal pattern beamwidth and h is the aperture length.

Some antennas employ beamforming technology where RF energy allocated to each customer device is dynamically directed toward their location. In the analysis presented herein, predicted exposure levels are based on all beams at full utilization (i.e. full power) simultaneously focused in any direction. As this condition is unlikely to occur, the actual power density levels at ground and at adjacent structures are expected to be less than the levels reported below. These theoretical results represent maximum-case predictions as all RF emitters are assumed to be operating at 100% duty cycle.

For any area in excess of 100% General Population MPE, access controls with appropriate RF alerting signage must be put in place and maintained to restrict access to authorized personnel. Signage must be posted to be visible upon approach from any direction to provide notification of potential conditions within these areas. Subject to other site security requirements, occupational personnel should be trained in RF safety and equipped with personal protective equipment (e.g. RF personal monitor) designed for safe work in the vicinity of RF emitters. Controls such as physical barriers to entry imposed by locked doors, hatches and ladders or other access control mechanisms may be supplemented by alarms that alert the individual and notify site management of a breach in access control. Waterford Consultants, LLC recommends that any work activity in these designated areas or in front of any transmitting antennas be coordinated with all wireless tenants.

## Analysis

AT&T Mobility proposes the following installation at this location:

- (3) ANTENNA LEASE AREAS ON ROOF
- (9) ANTENNAS ON MOUNTS
- (9) RADIOS @ ANTENNAS

The antennas rad center (109'-0"), C-Band antennas (110'-0") for all sectors, Proposed antenna operating parameters are listed in Appendix A. Other appurtenances such as GPS antennas, RRUs and hybrid cable below the antennas are not sources of RF emissions. Operating parameters for the antennas considered in this analysis are also listed in Appendix A. Based on these results, no hazardous exposure conditions exist at elevated areas near this installation, such as an adjacent building balcony or interior space.

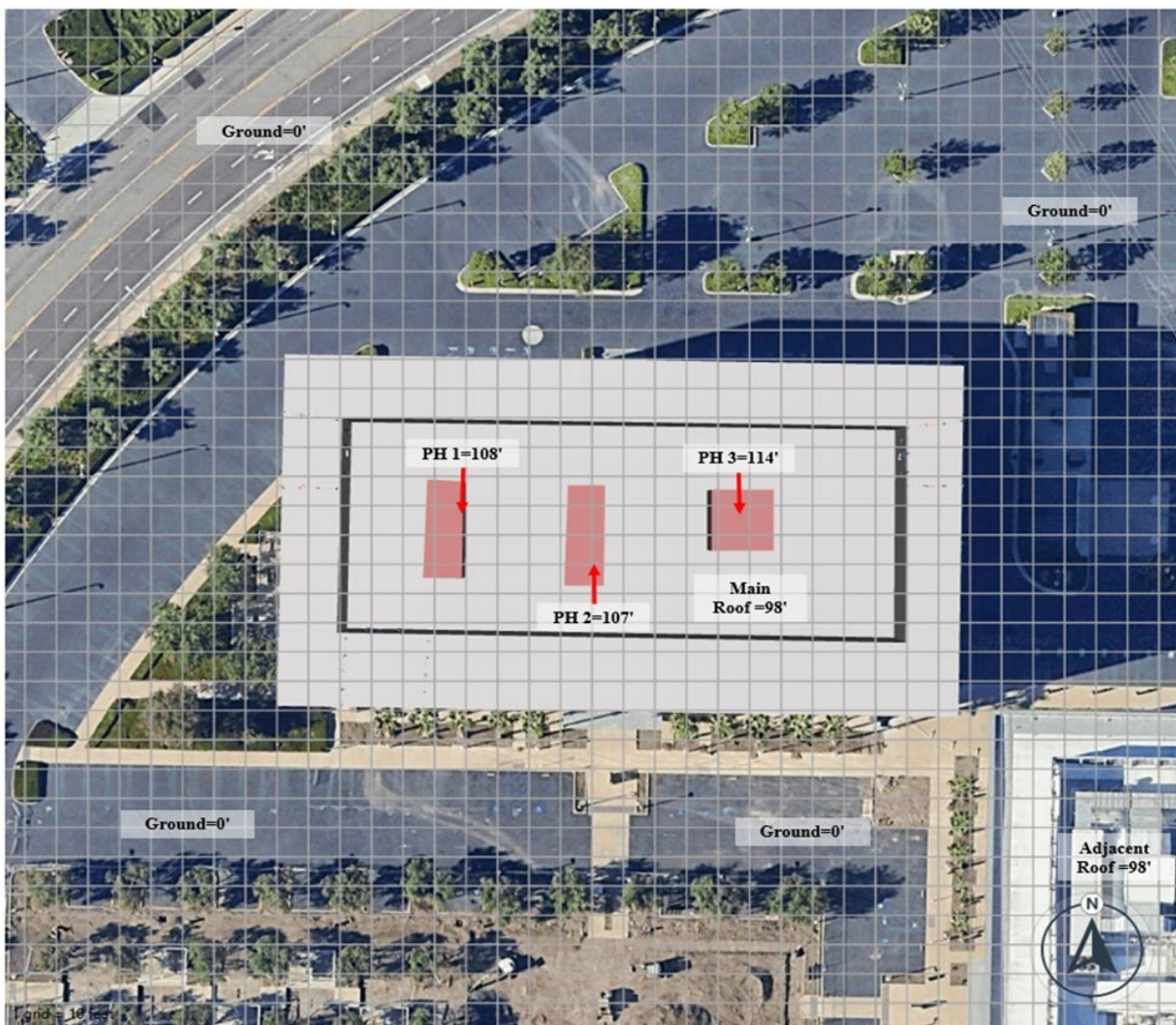


Figure 1.1: Antenna Locations

Power density decreases significantly with distance from any antenna. The panel-type antennas to be employed at this site are highly directional by design and the orientation in azimuth and mounting elevation, as documented, serves to reduce the potential to exceed MPE limits at any location other than directly in front

of the antennas. For accessible areas at ground level, the maximum predicted power density level resulting from all AT&T Mobility operations is 0.43% of the FCC General Population limits. Incident at adjacent Structure depicted in Figures, the maximum predicted power density level resulting from all AT&T Mobility operations is 8.61% of the FCC General Population limits (Figure 1.2). The proposed operation will not expose members of the General Public to hazardous levels of RF energy at ground level or in adjacent buildings

The maximum predicted power density level resulting from all AT&T operations directly in front of the antennas is 15844.20% of the FCC General Population limits (3168.84% of the FCC Occupational limits). Waterford Consultants, LLC recommends posting RF alerting signage with contact information (Caution 2) at the back antennas at the proposed Rooftop and barrier with Notice sign in the walkway in front of the antennas. This recommendation is depicted in (Figures 3). Any work activity in front of transmitting antennas should be coordinated with AT&T Mobility. Please note that 100% of the General Public Limits corresponds to 20% of the Occupational Limits.



## Compliance Requirement Diagram (Alpha)

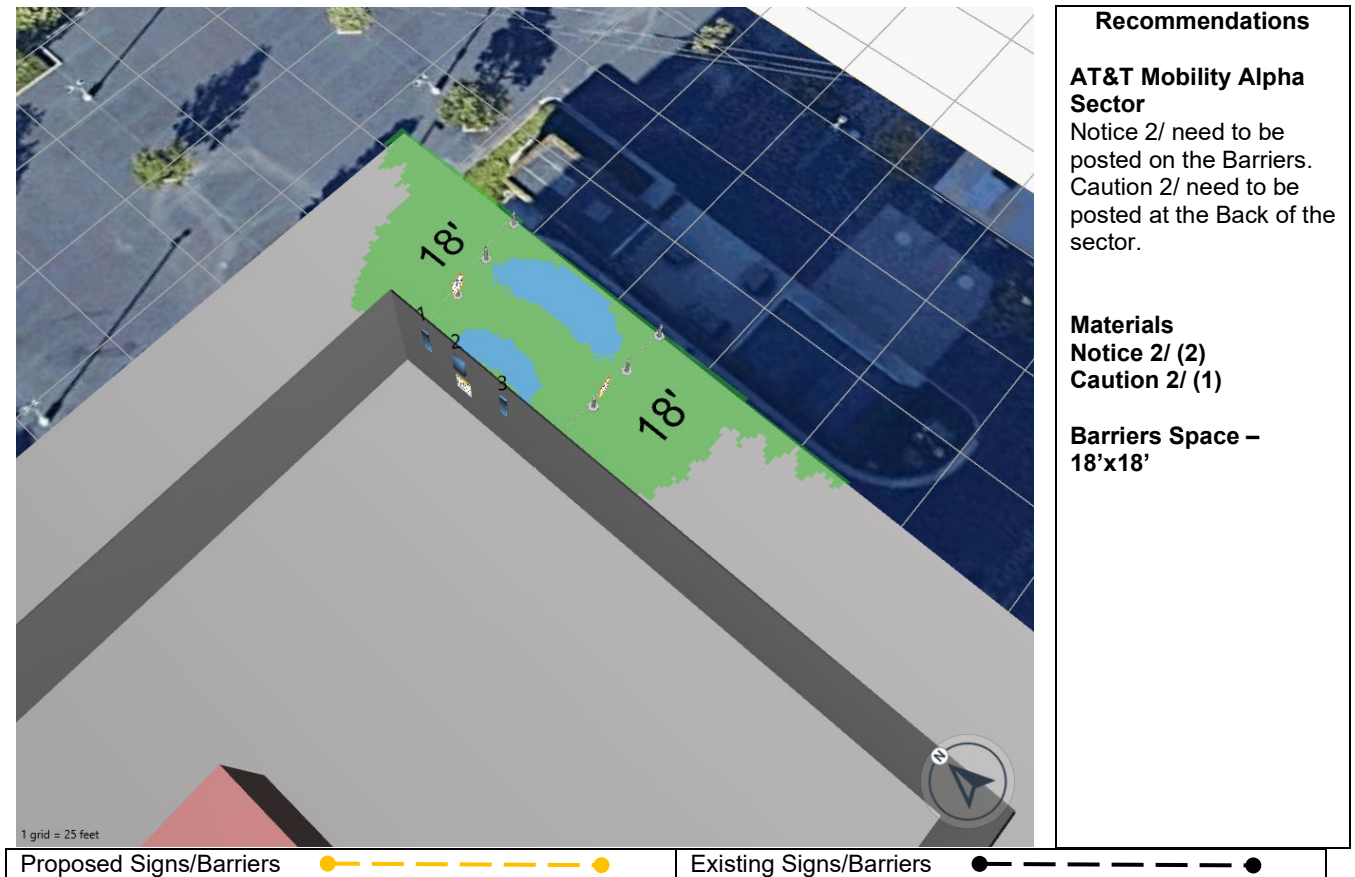


Figure 2: Mitigation Recommendations

## Compliance Requirement Diagram (Beta)

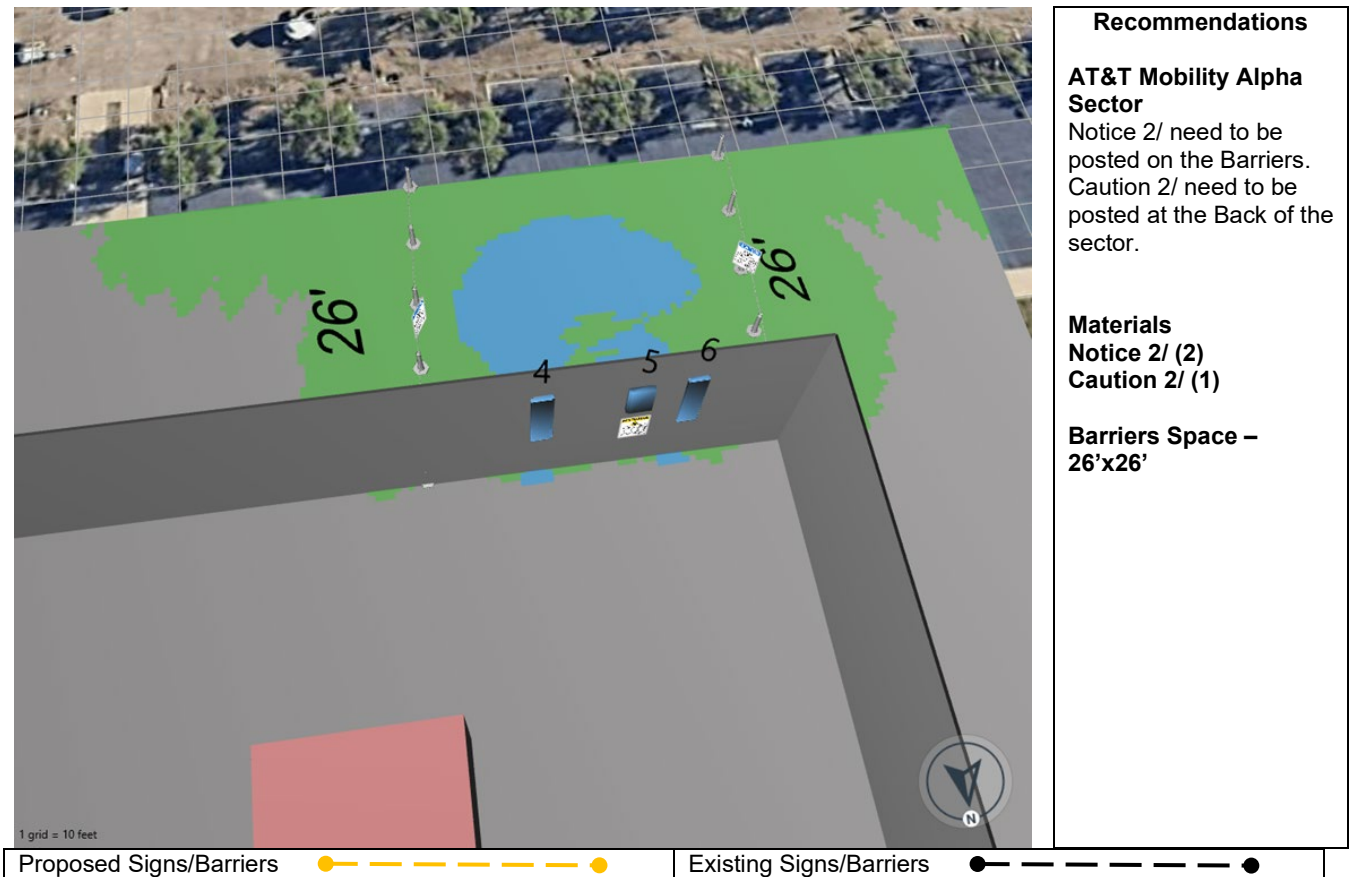


Figure 2: Mitigation Recommendations

## Compliance Requirement Diagram (Gamma)

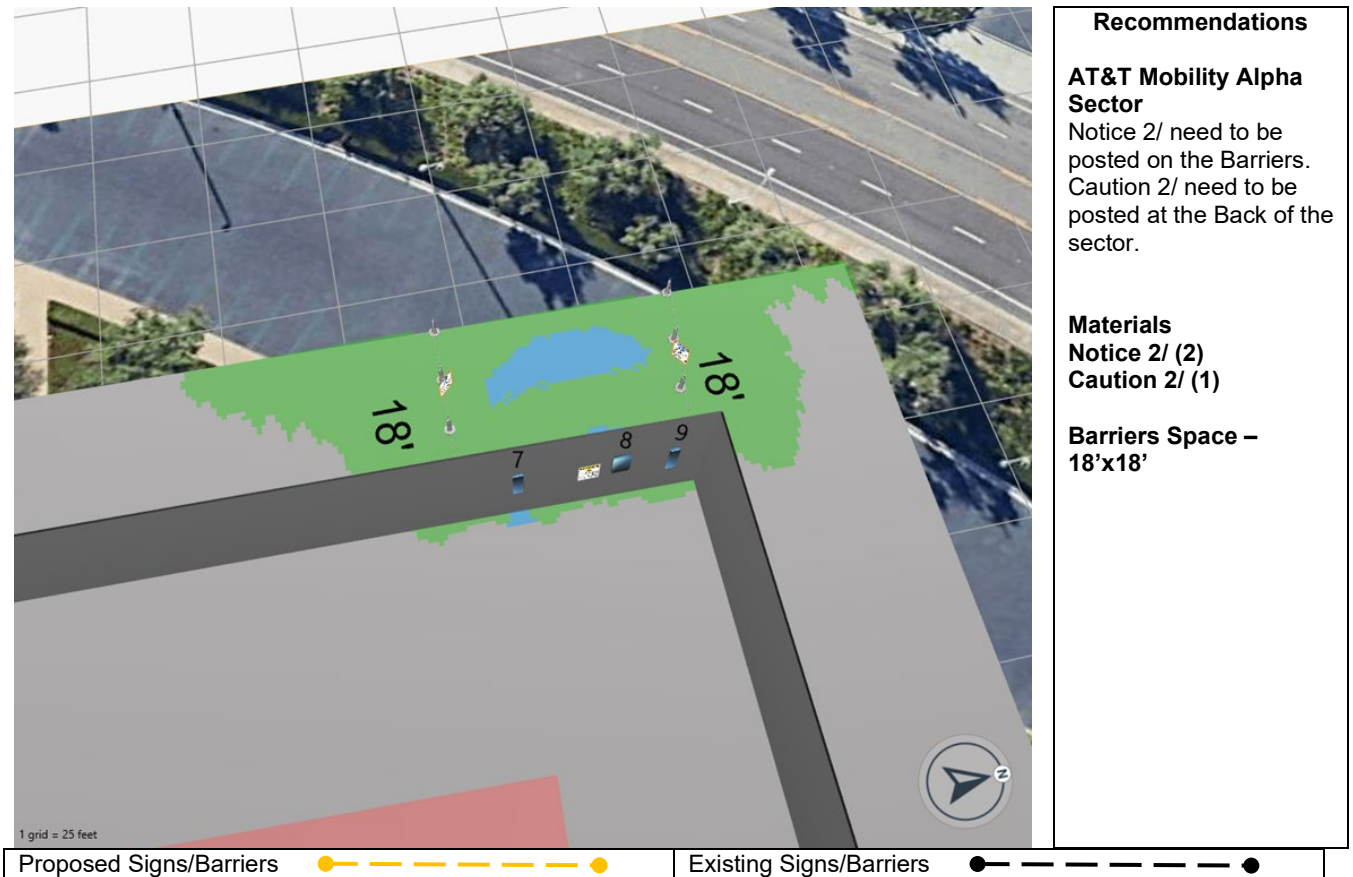


Figure 2: Mitigation Recommendations



## Appendix A: Operating Parameters Considered in this Analysis

Ant #	Operator	Antenna Make	Pattern:	Type	Freq (MHz)	Block	Mech/Elec Az (deg)	Mech downtilt (deg)	Horizontal Beam Width (deg)	Antenna Length/Aperture (ft)	Antenna Gain (dBd)	Loss (dB)	TPO (Watts)	ERP (Watts)	EIRP (Watts)	Antenna Centerline Ground Level (0ft)	Bottom of Antenna Ground Level (0ft)
1	AT&T	CCI	OPA65R-BU4D	Panel	700	B12	90	0	61	4	10.45	0	240	2662.01	4367.27	109	107
1	AT&T	CCI	OPA65R-BU4D	Panel	850	B5	90	0	67	4	11.05	0	240	3056.40	5014.30	109	107
1	AT&T	CCI	OPA65R-BU4D	Panel	1900	B25	90	0	68	4	13.65	0	240	5561.73	9124.53	109	107
1	AT&T	CCI	OPA65R-BU4D	Panel	2100	AWS	90	0	70	4	14.05	0	240	6098.32	10004.85	109	107
2	AT&T	ERICSSON	AIR6472	Panel	3700	B77D	90	0	66	3	25.15	0	81.33	26622.59	43676.76	110	108.5
3	AT&T	CCI	OPA65R-BU4D	Panel	700	FNET	90	0	61	4	10.45	0	160	1774.68	2911.52	109	107
3	AT&T	CCI	OPA65R-BU4D	Panel	700	B29	90	0	61	4	10.45	0	80	887.34	1455.76	109	107
4	AT&T	CCI	TPA45R-BU4B	Panel	700	B12	180	0	36	4	13.15	0	240	4956.90	8132.24	109	107
4	AT&T	CCI	TPA45R-BU4B	Panel	850	B5	180	0	34	4	13.65	0	240	5561.73	9124.53	109	107
4	AT&T	CCI	TPA45R-BU4B	Panel	1900	B25	180	0	40	4	16.75	0	240	11355.60	18629.89	109	107
4	AT&T	CCI	TPA45R-BU4B	Panel	2100	AWS	180	0	44	4	17.35	0	240	13037.97	21389.97	109	107
5	AT&T	ERICSSON	AIR6472	Panel	3700	B77D	180	0	66	3	25.15	0	81.33	26622.59	43676.76	110	108.5
6	AT&T	CCI	TPA45R-BU4B	Panel	700	FNET	180	0	36	4	13.15	0	160	3304.61	5421.51	109	107
6	AT&T	CCI	TPA45R-BU4B	Panel	700	B29	180	0	36	4	13.15	0	80	1652.30	2710.75	109	107
7	AT&T	CCI	OPA65R-BU4D	Panel	700	B12	270	0	61	4	10.45	0	240	2662.01	4367.27	109	107
7	AT&T	CCI	OPA65R-BU4D	Panel	850	B5	270	0	67	4	11.05	0	240	3056.40	5014.30	109	107
7	AT&T	CCI	OPA65R-BU4D	Panel	1900	B25	270	0	68	4	13.65	0	240	5561.73	9124.53	109	107
7	AT&T	CCI	OPA65R-BU4D	Panel	2100	AWS	270	0	70	4	14.05	0	240	6098.32	10004.85	109	107
8	AT&T	ERICSSON	AIR6472	Panel	3700	B77D	270	0	66	3	25.15	0	81.33	26622.59	43676.76	110	108.5
9	AT&T	CCI	OPA65R-BU4D	Panel	700	FNET	270	0	61	4	10.45	0	160	1774.68	2911.52	109	107
9	AT&T	CCI	OPA65R-BU4D	Panel	700	B29	270	0	61	4	10.45	0	80	887.34	1455.76	109	107



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
[santaclaraca.gov](http://santaclaraca.gov)  
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

## Agenda Report

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**25-986**

**Agenda Date: 9/10/2025**

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### **REPORT TO PLANNING COMMISSION**

#### **SUBJECT**

STUDY SESSION: Due Process and Meeting Procedures.

Assistant City Attorney Alexander Abbe will provide a presentation on Due Process and Meeting Procedure.

#### **RECOMMENDATION**

There is no Staff Recommendation