



STARBUCKS COFFEE

SANTA CLARA, CA

PROJECT INFORMATION

PROJECT LOCATION

3575 STEVENS CREEK
SANTA CLARA, CA 95050

PROJECT DESCRIPTION

DEMOLITION OF THE EXISTING ±7,266 S.F. BUILDING AND SITE RELATED ITEMS AND THE CONSTRUCTION OF THE NEW ± 2,300 S.F. STARBUCKS BUILDING WITH DRIVE-THRU AND REQUIRED PARKING AND ADA REQUIREMENTS .

PROJECT INFORMATION

OCCUPANCY GROUP (A-2)
CONSTRUCTION TYPE : V-B

ASSESSOR'S PARCEL NUMBER

APN 303-21-068

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SANTA CLARA, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

ALL OF PARCEL 1 OF THAT CERTAIN MAP RECORDED ON FEBRUARY 4, 1974 IN BOOK 335 OF MAPS, PAGE 46, SANTA CLARA COUNTY RECORDS.

ZONING

JURISDICTION: CITY OF SANTA CLARA , CA

ZONING: THOROUGHFARE COMMERCIAL

CONTACTS

APPLICANT

GREENBERGFARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
t: 949.296.0450 f: 949.296.0437
CONTACT: FRANK CODA, fcoda@greenbergfarrow.com

ARCHITECT

GREENBERGFARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
t: 949.296.0450 f: 949.296.0437
CONTACT: FRANK CODA, fcoda@greenbergfarrow.com

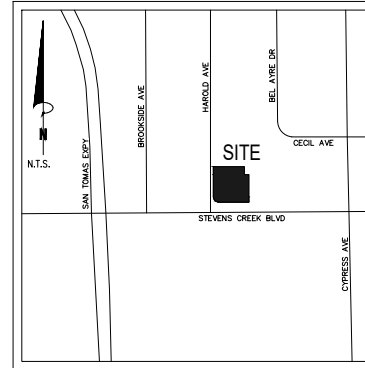
LANDSCAPE ARCHITECT

WOOD ARCHITECTURE
CONTACT: KURT KOETHER, kurt@woodarchitecture.com

CIVIL

GREENBERGFARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
t: 949.296.0450 f: 949.296.0437
CONTACT: BAHAREH SHATZADEH, bshatzadeh@greenbergfarrow.com

SITE VICINITY MAP



VICINITY MAP
NOT TO SCALE

DRAWING INDEX

- COVER SHEET
- ALTA SURVEY - SHEET NO. 1 AND 2
- SITE PLAN SP-18
- PROPOSED FLOOR PLAN
- EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS - COLOR
- LANDSCAPE CONCEPT PLAN
- LANDSCAPE CONCEPT PLAN - COLOR
- LANDSCAPE CONCEPT PLAN - ARBORIST NOTES
- CONCEPTUAL GRADING AND DRAINAGE PLAN CG-1
- STORMWATER CONTROL PLAN SW-1
- COMPOSITE UTILITY PLAN CU-1
- CONSTRUCTION CONCEPTUAL BEST MANAGEMENT PRACTICES PLAN EC-1
- TRAFFIC MANAGEMENT PLAN
- PHOTOMETRIC PLAN
- TRASH ENCLOSURE DETAILS



LEGAL DESCRIPTION:

The Land referred to herein below is situated in the City of Santa Clara, County of Santa Clara, State of California, and is described as follows:

ALL OF PARCEL 1 OF THAT CERTAIN MAP RECORDED ON FEBRUARY 4, 1974 IN BOOK 335 OF MAPS, PAGE 46, SANTA CLARA COUNTY RECORDS.

SCHEDULE B2 EXCEPTIONS:

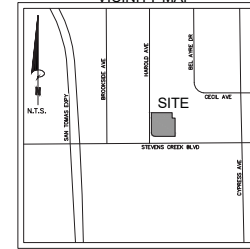
Item No.

△ Covenants, conditions, restrictions and easements in the document recorded March 14, 1939 as Book 926, Page 4 of Official Records, which provide that a violation thereof shall not defeat or render invalid the lien of any first mortgage or deed of trust made in good faith and for value, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(G), of the United States Codes or Section 12955 of the California Government Code. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. Document(s) declaring modifications thereof recorded June 8, 1939 as Book 931, Page 464 of Official Records. -IS LOCATED ON THE SUBJECT PARCEL, BLANKET IN NATURE.

△ An easement for installing, maintaining, repairing and replacing overhead and/or underground electrical systems, and any other necessary structures and appurtenances thereto and incidental purposes, recorded March 07, 1973 as Instrument No. 4466698 in Book 0268, Page 697 of Official Records. In Favor of: City of Santa Clara, a municipal corporation. Affects: as described therein. -IS LOCATED ON THE SUBJECT PARCEL, AS SHOWN HEREON.

Items not listed above are determined non-survey related items and are not plotted hereon.

VICINITY MAP



NOTES:

- Any underground utilities shown have been located from field survey information, as-built drawings and/or utility markings, as provided by the client. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This site was located by standard RF methods and with GPR locating.
- Basal of bearings is the centerline of Stevens Creek Boulevard, monumented at the East end with a found granite monument in a box, and at the West end with a found brass rod in a monument well, as shown hereon, measured to bear N89°38'35"W, a distance of 197.03 feet.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMetrie published 04/21/2022, referencing Flood Insurance Rate Map, Map Number 008850229H, with an effective date of 05/18/2009, indicates this parcel of land is located in Zone X (0.2% chance of annual flood hazard).
- This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Commitment for Title Insurance, prepared by First American Title Insurance Company, Commitment No. NCS-1073705-H01, with an effective date of June 15, 2021 at 7:30 AM.
- The linear units used in this drawing are U.S. Survey Feet.
- Elevations are based on NAVD 88 datum.
- BENCHMARK: Nail in asphalt, as shown. Elevation: 124.49' (NAVD 88).
- The Improvements shown hereon are as of the date of field work, April 14, 2022.
- Client did not provide zoning information.

Parking Required: (PER ZONING REGULATIONS)
Parking Provided: 19 regular spaces, 2 handicap spaces.

- This property contains a calculated area of 24,295 square feet (0.558 acres) more or less.
- There are improvements along portions of the boundary as shown hereon. Ownership and/or maintenance responsibilities of said improvements was not determined by this survey.
- Access is obtained directly from Stevens Creek Boulevard, and Harold Avenue. The right of way lines of said street and the boundary lines of subject property are coterminous and contain no gaps, gores or overlaps.
- Easements and other record documents shown or noted on this survey were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
- This ALTA/NSPS Land Title Survey was prepared for the exclusive use of persons/parties listed in certification. Said statement does not extend to any unnamed persons/parties without an express statement by the surveyor naming said person/parties.
- The subject property is commonly known as 3575 Stevens Creek - Posted Address: 3575 Stevens Creek.
- There is no observable evidence of earth moving work, building construction or building additions within recent months.
- There are no changes in street right of way lines either completed or proposed, per documents provided by title company.
- There is no observable evidence of recent street or sidewalk construction or repairs.
- There is no evidence of potential wetlands observed on the subject property at the time the survey was conducted, nor have we received any documentation of any wetlands being located on the subject property. No markers were observed at the time of the survey.
- Encroachment Statement:
No apparent encroachments at the time of survey.

SURVEYOR'S CERTIFICATION:

To Starbucks Corporation, a Washington Company, and its affiliates, and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6b, 7a, 7b, 7c, 8, 9, 11a, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on April 14, 2022. Date of Plat or Map: April 21, 2022.

Brian L. Sousa
Brian L. Sousa
California Professional Land Surveyor No. 7917
Fid and on behalf of Clark Land Surveying, Inc.
Email: ALTA@clarkis.com



TOTAL AREA: 24,295 S.F.± OR 0.558 ACRES±

ALTA/NSPS LAND TITLE SURVEY

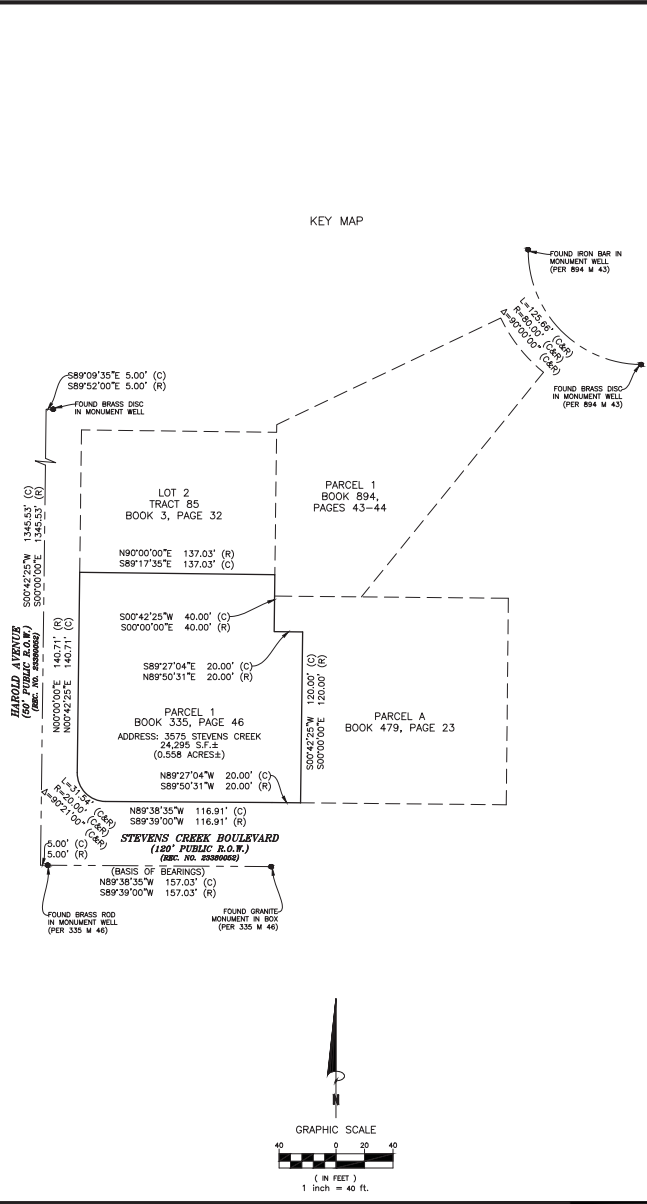
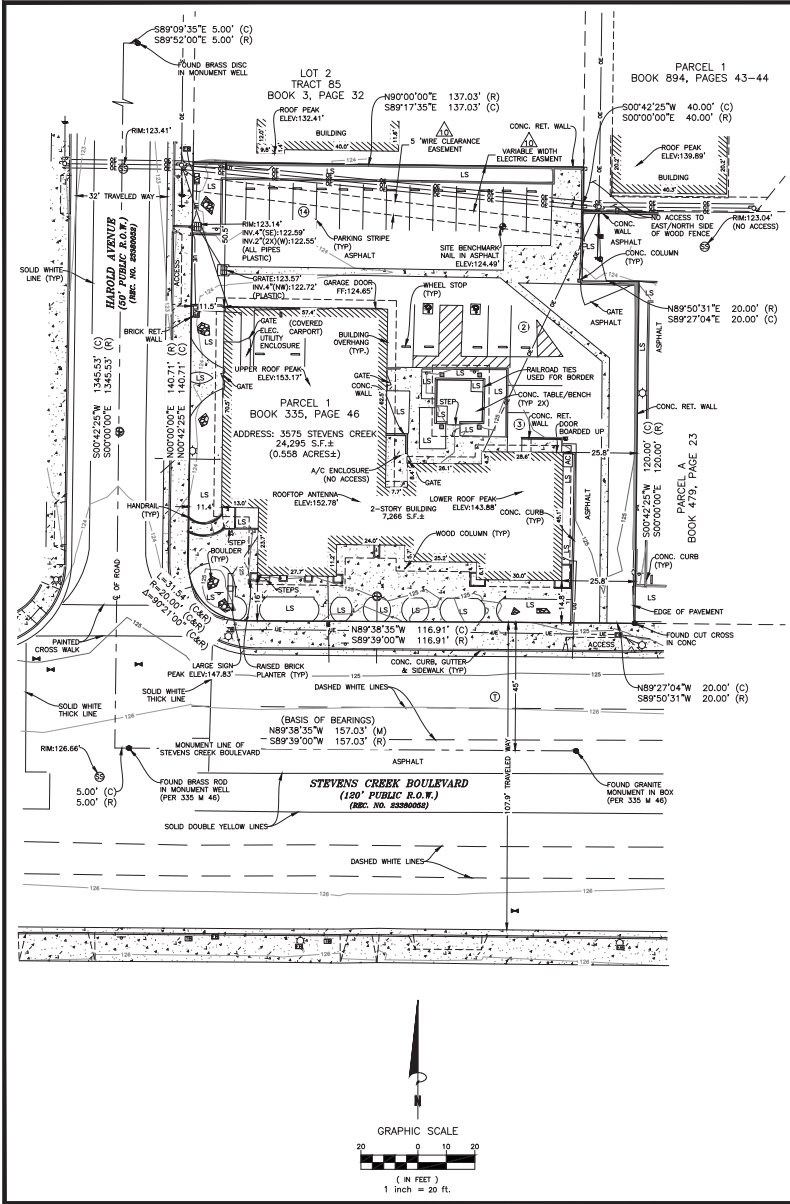


PREPARED FOR:



LOCATED AT:
3575 Stevens Creek
A PORTION OF THE W1/2 OF SECTION 15,
TOWNSHIP 7 SOUTH, RANGE 1 WEST, MOUNT DABLO MERIDIAN,
CITY AND COUNTY OF SANTA CLARA, CALIFORNIA
PROJECT NUMBER:

STARBUCKS		
CLS PROJECT NUMBER:	220621	
SCALE: 1"=20'	DRAWN BY: LJV	SHEET NO. 1
DATE: 04/25/2022	CHECKED BY: BLS	



- LEGEND**
- SITE BENCHMARK
 - FOUND MONUMENT (AS NOTED)
 - CALCULATED BEARING AND/OR DISTANCE.
 - (M) MEASURED BEARING AND/OR DISTANCE.
 - (R) RECORD BEARING AND/OR DISTANCE.
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - ▭ STORM INLET (RECTANGLE)
 - FIRE HYDRANT
 - LIGHT POLE
 - ELECTRIC BOX
 - GUYWIRE
 - UTILITY POLE
 - ELECTRIC VAULT
 - TELEPHONE MANHOLE
 - PAY PHONE
 - TELEPHONE BOX
 - A/C UNIT
 - HANDICAP PARKING
 - REGULAR PARKING SPACES
 - LS LANDSCAPED AREA
 - BOLLARD
 - SIGN
 - ST STORM LINE (UNDERGROUND)
 - SANITARY LINE (UNDERGROUND)
 - WATER LINE (UNDERGROUND)
 - GAS LINE (UNDERGROUND)
 - ELECTRIC LINE (UNDERGROUND)
 - ELECTRIC LINE (OVERHEAD)
 - TELEPHONE LINE (UNDERGROUND)
 - TELEPHONE LINE (OVERHEAD)
 - CHAIN LINK FENCE
 - WOOD FENCE
 - IRON FENCE
 - CONCRETE AREA
 - EXCEPTION NUMBER

TOTAL AREA: 24,295 S.F.± OR 0.558 ACRES±

ALTA/NSPS LAND TITLE SURVEY

Clark
Land Surveys, Inc.

177 S. Tiffany Dr. • Pueblo West, Co. 81007 • 719.633.8533
www.clarksls.com

PREPARED FOR:

STARBUCKS COFFEE

LOCATED AT:
3575 STEVENS CREEK

A PORTION OF THE W1/2 OF SECTION 15,
TOWNSHIP 7 SOUTH, RANGE 1 WEST, M.D.M.,
CITY AND COUNTY OF SANTA CLARA, CALIFORNIA

PROJECT NUMBER:
STARBUCKS

CLSI PROJECT NUMBER:	220621
SCALE:	DRAWN BY:
1"=20'	LJV
DATE:	CHECKED BY:
04/25/2022	BLS
SHEET NO.	2

(E) POWER POLE TO BE REPLACED - SEE CIVIL DRAWINGS

(E) "WATCH FOR TRAFFIC SIGN"

(E) "WATCH FOR PEDESTRIAN SIGN"

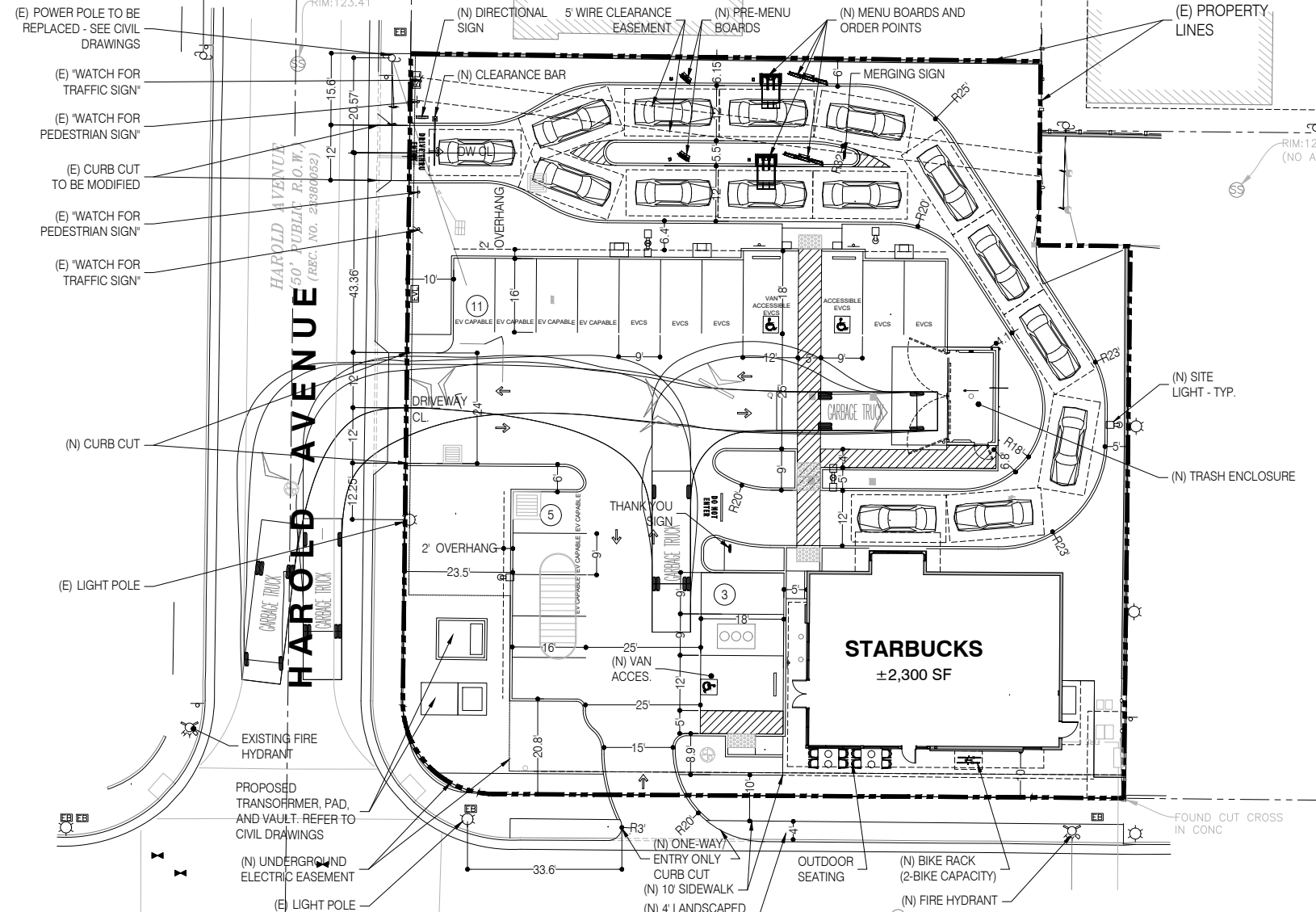
(E) CURB CUT TO BE MODIFIED

(E) "WATCH FOR PEDESTRIAN SIGN"

(E) "WATCH FOR TRAFFIC SIGN"

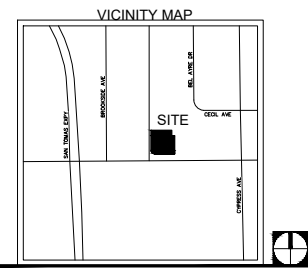
(N) CURB CUT

(E) LIGHT POLE



NOTE: THE PROPERTY TO BE FENCED OFF DURING DEMOLITION AND CONSTRUCTION AS A SAFETY BARRIER TO THE PUBLIC AND DETERRENT TO THEFT AND OTHER CRIME. NO SCREENING MATERIAL ON THE FENCE SO PASSING POLICE PATROL CHECKS WILL BE ABLE TO SEE INTO THE SITE.

STEVENS CREEK BOULEVARD



PROJECT INFORMATION

ASSESSORS PARCEL NUMBER (APN) 303-21-068

ZONING CLASSIFICATION

JURISDICTION CITY OF SANTA CLARA, CA
 EXISTING ZONE THOROUGHFARE COMMERCIAL
 REQUIRED ZONE THOROUGHFARE COMMERCIAL

PROJECT DATA MATRIX

LOT SQUARE FOOTAGE ±0.558 AC (±24,295 SF)
 PROPOSED SITE COVERAGE: 8.6%
 EXISTING USE: 2-STORY OF RETAIL/PERSONAL SERVICE
 EXISTING SQUARE FOOTAGE: ±7,266 SF
 PROPOSED USE: RESTAURANT
 PROPOSED SQUARE FOOTAGE: ±2,300 S.F.
 REQUIRED AND PROPOSED PARKING SUMMARY: SEE - PARKING SUMMARY BELOW

PARKING SUMMARY

USER SPACES PROVIDED

- PROPOSED

STRABUCKS STANDARD ACCESSIBLE 1VAN +1 VAN EVCS +1 STANDARD EVCS TOTAL PARKING 16 19

-PER SANTA CLARA CITY CODE AMENDED SECTION 5.106.5.3.1 (EV CAPABLE SPACES) = 35 PERCENT OF PARKING SPACES = 7 SPACES
 -PER SANTA CLARA CITY CODE AMENDED SECTION 5.106.5.3.2 (EVCS ELECTRICAL VEHICLE CHARGING STATIONS) = 35 PERCENT OF PARKING SPACES = 7 SPACES
 - 1 VAN ACCESSIBLE AND 1 STANDARD ACCESSIBLE CHARGING STATION IS REQUIRED PER CBC TABLE 11B-228.3.2.1

TOTAL STACKING PROVIDED: 15 VEHICLES

SHORT TERM BICYCLE PARKING:
 ONE TWO-BIKE CAPACITY RACK IS REQUIRED PER CGC 5.106.4.1.1
 ONE TWO-BIKE CAPACITY RACK IS PROVIDED

PROJECT NOTES

- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING SUBMITTAL PURPOSES ONLY.
- THIS SITE PLAN IS BASED ON ALTA SURVEY BY CLARK LAND SURVEYING, INC. DATED 04/25/2022

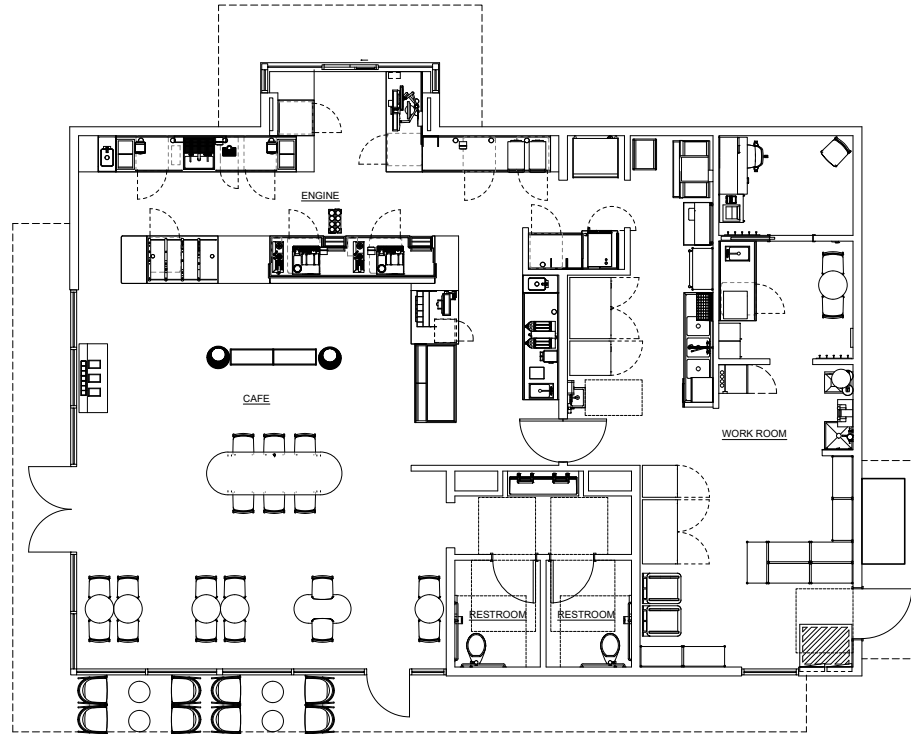
DRAWING ISSUE/REVISION RECORD

DATE	NARRATIVE	INITIALS
04/28/2022	PREP SP-7	BP
03/22/2023	PREP SP-P	BP
04/19/2023	PREP SP-10	BP
04/24/2023	PREP SP-11	BP
05/15/2023	PREP SP-11a	BP
07/03/2023	PREP SP-12	BP
09/29/2023	PREP SP-13	BP
01/18/2024	PREP SP-14	BP
01/25/2024	PREP SP-15	BP
04/02/2024	PREP SP-16	BP
07/16/2024	PREP SP-17	GD
07/31/2024	REV SP-17	CD
10/23/2024	PREP SP-18	AA

GREENBERG FARROW CONTACTS

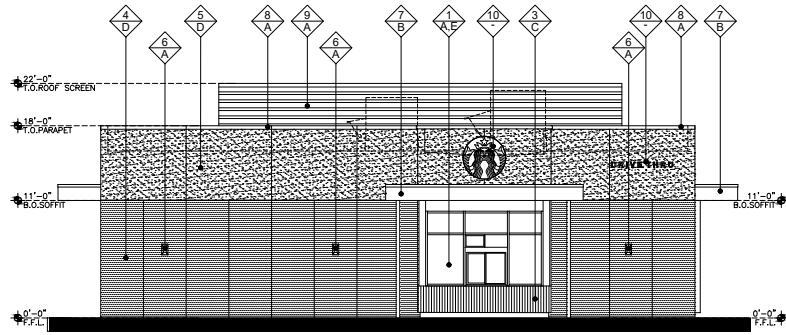
PROJECT MANAGER I. IBRAHIMBEGOVIC
 SITE DEV. COORDINATOR FRANK CODA



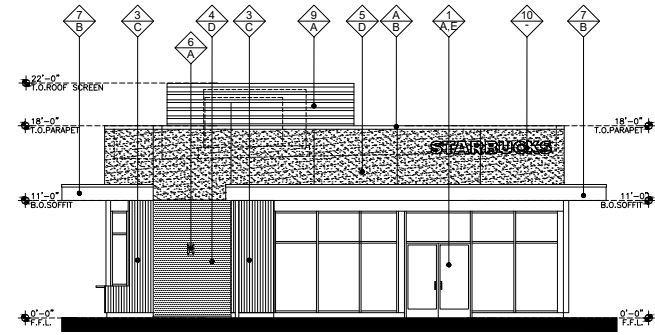


PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

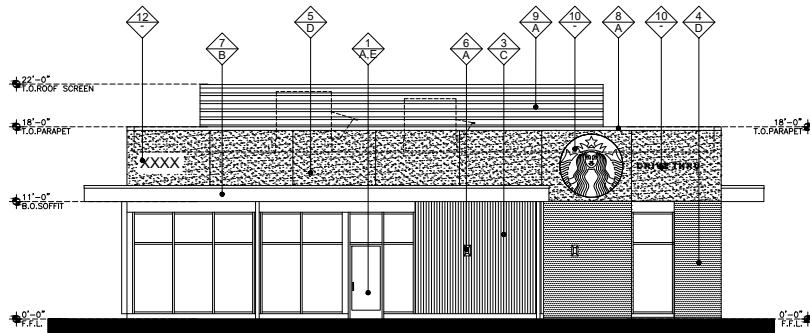




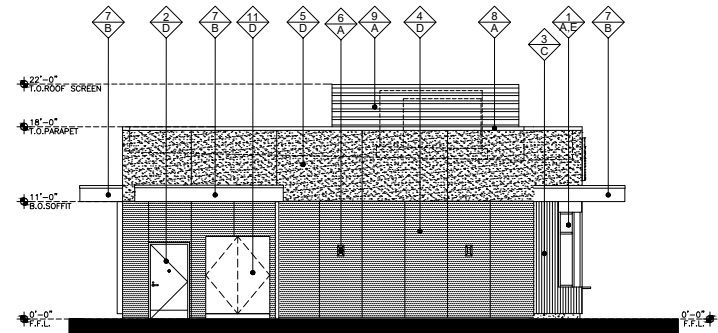
1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 EAST ELEVATION
SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

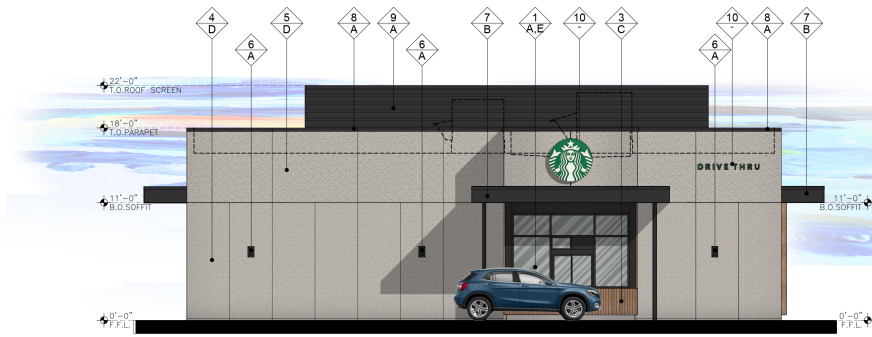
FINISH SCHEDULE

FINISH MATERIAL	FINISH COLOR
1 ALUMINUM STOREFRONT DOORS / WINDOWS SYSTEM	A PRE-FINISHED - BLACK
2 HOLLOW METAL DOOR AND FRAME	B POWDER COATED TO MATCH STOREFRONT COLOR
3 WOOD APPEARANCE VERTICAL SIDING	C NICHHA VINTAGEWOOD SPRUCE
4 STUCCO FINISH WITH INTEGRAL COLOR & TEXTURE - COARSE	D OMEGA 69 TRILE GRAY
5 STUCCO FINISH WITH INTEGRAL COLOR & TEXTURE - SMOOTH	E DOUBLE PANE CLEAR GLASS
6 WALL SCIENCE	
7 METAL CANOPY BEAMS AND POSTS	
8 METAL COPING	
9 CORRUGATED METAL ROOF SCREEN	
10 SIGNAGE (UNDER SEPARATE PERMIT)	
11 ELECTRICAL CABINET	
12 12" HIGH ADDRESS NUMBERS	

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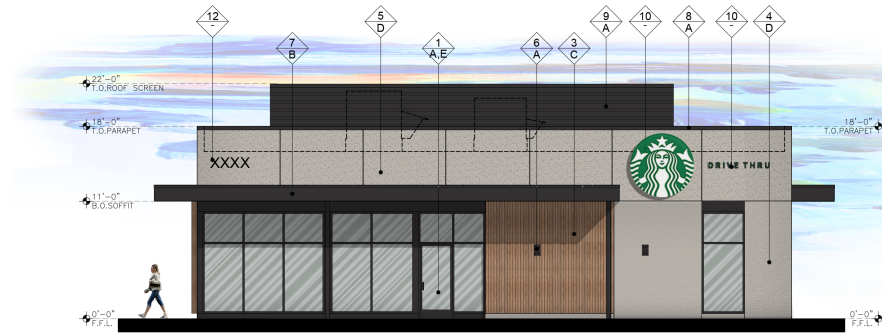




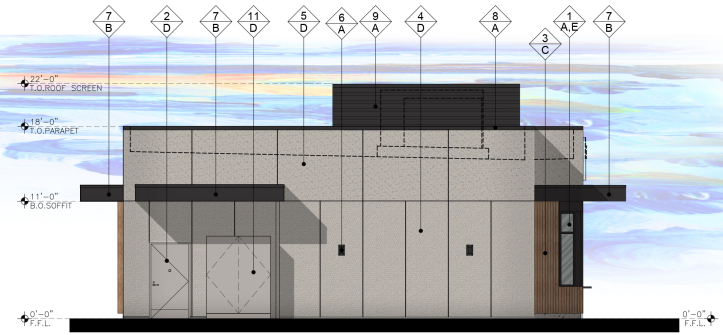
1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 EAST ELEVATION
SCALE: 3/16" = 1'-0"



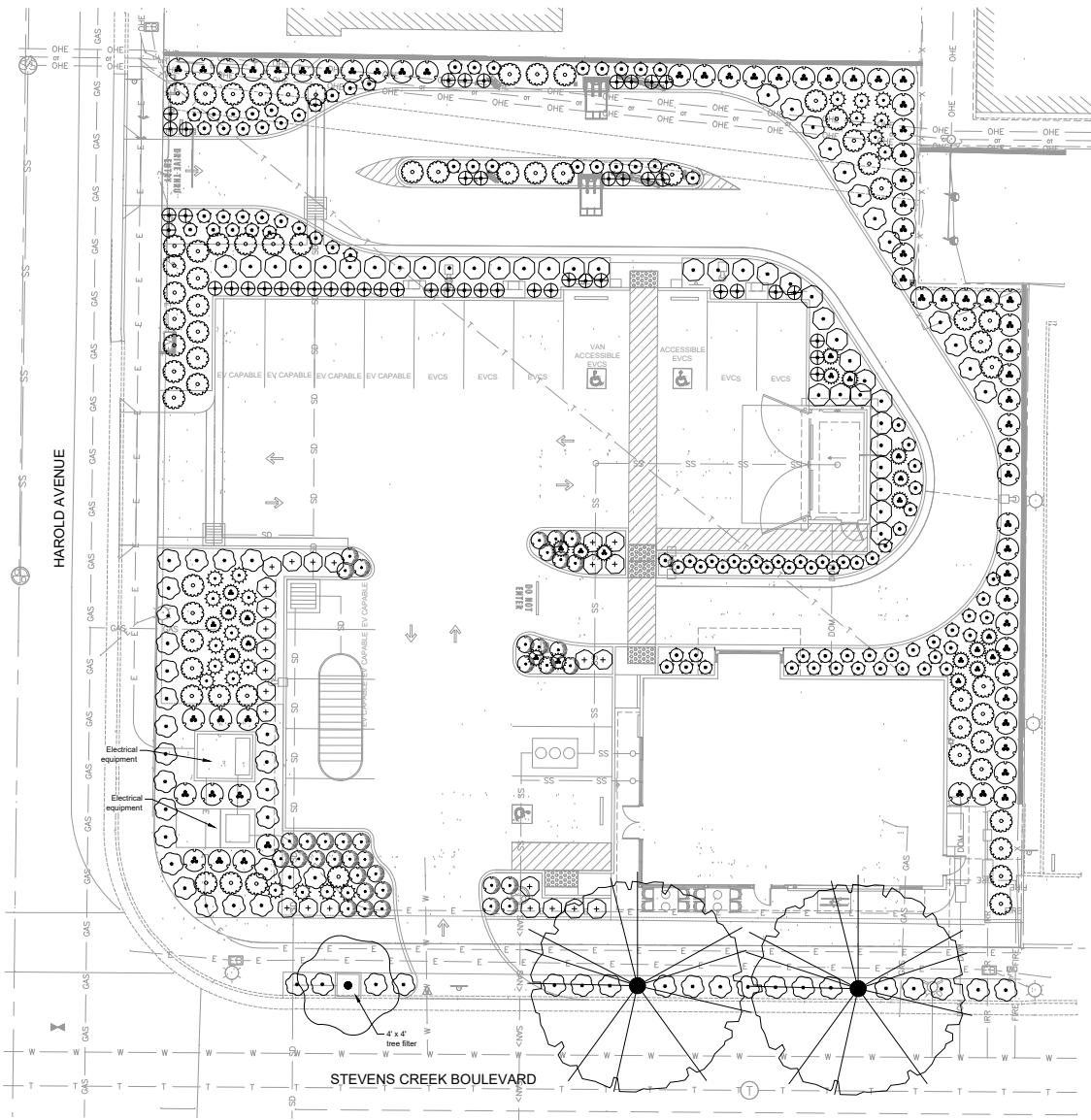
4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE

FINISH MATERIAL	FINISH COLOR
1 ALUMINUM STOREFRONT DOORS / WINDOWS SYSTEM	A FIRE FINISHED - BLACK
2 HOLLOW METAL DOOR AND FRAME	B POWDER COATED TO MATCH STOREFRONT COLOR
3 WOOD APPEARANCE VERTICAL SIDING	C MICHA VINTAGEWOOD SPRUCE
4 STUCCO FINISH WITH INTEGRAL COLOR & TEXTURE - COARSE	D OMEGA 60 TRUE GRAY
5 STUCCO FINISH WITH INTEGRAL COLOR & TEXTURE - SMOOTH	E DOUBLE PANE CLEAR GLASS
6 WALL SCIENCE	
7 METAL CANOPY BEAMS AND POSTS	
8 METAL COPING	
9 CORRUGATED METAL ROOF SCREEN	
10 SIGNAGE (UNDER SEPARATE PERMIT)	
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Plant Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	USE	WUCOLS	STYLE	CA NATIVE
TREES								
	<i>Lagerstroemia indica x fauriei</i> 'Natchez'	Natchez Crape Myrtle	24"box	Deciduous	Accent Tree	Low	Standard	No
	<i>Platanus x acerifolia</i>	London Plane Tree	24"box	Deciduous	Street Tree	Medium	Standard	Yes
SHRUBS								
	<i>Anigozanthos x 'Big Red'</i>	Big Red Kangaroo Paw	5 gal	Evergreen	Low	No		
	<i>Ceanothus maritimus</i> 'Valley Violet'	Valley Violet Manlime Ceanothus	5 gal	Evergreen	Low	Yes		
	<i>Cistus x purpureus</i>	Orchid Rockrose	5 gal	Evergreen	Low	No		
	<i>Myrtus communis</i> 'Compacta'	Dwarf Common Myrtle	5 gal	Evergreen	Low	No		
	<i>Olea europaea</i> 'Montra'	Little Olive/Olive	5 gal	Evergreen	Very Low	No		
	<i>Rhampholepis indica</i> 'Ballerina'	Ballerina Indian Hawthorn	5 gal	Evergreen	Low	No		
	<i>Rhampholepis indica</i> 'Clara'	Clara Indian Hawthorn	5 gal	Evergreen	Low	No		
	<i>Salvia leucantha</i> 'Santa Barbara'	Santa Barbara Mexican Bush Sage	5 gal	Evergreen	Low	Yes		
	<i>Teucrium cossonii majoricum</i>	Germander	1 gal	Evergreen	Very Low	No		
	<i>Xylosma congestum</i> 'Compacta'	Compad Xylosma	5 gal	Evergreen	Low	No		

All landscape areas to receive a minimum 4" thick layer of 1/2" - 1-1/2" organic composted mulch.

- Notes:**
- All landscape plans and installations shall comply with the City of Santa Clara design guidelines, standards, codes and regulations.
 - All landscape areas shall receive permanent irrigation.
 - Irrigation system shall be point source with gallon per minute emitters for trees and gallon per hour emitters for shrubs.
 - Irrigation system shall have a flow sensor and master valve.
 - Irrigation controller shall be a smart controller operating off of weather data and soil moisture sensors.
 - Irrigation controller management software shall be cloud based with remote/online access.
 - All landscape installations shall be permanently maintained.
 - All landscape plans shall comply with the Model Water Efficient Landscape Ordinance (MWELCO) or the local jurisdictions water ordinance, whichever is more stringent.
 - All plants shall be of quality as prescribed in the details and specifications of the landscape construction plans.
 - All utilities, perimeter walls and trash enclosures shall be screened with hedges, vines, or other approved treatments.

Preliminary MWELCO Calculations
 Santa Clara (San Jose) Eto: 45.3

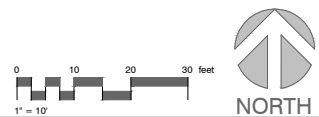
Landscape Area: 7,102 SF
 Average Plant Factor: 0.03 Low water use plants
 Irrigation Efficiency: 0.81 Drip Irrigation

Landscape Area: 75 SF
 Average Plant Factor: 0.05 Medium water use plants
 Irrigation Efficiency: 0.78 Bubbler

Estimated Annual Water use: **75,227 gallons**

Maximum allowed water Allowance: 90,708 gallons

NOTE:
THERE ARE NO EXISTING TREES ON THIS PROPERTY





Plant Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	USE	WUCOLS	STYLE	CA NATIVE
TREES								
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SHRUBS								
	<i>Anigozanthos x 'Big Red'</i>	Big Red Kangaroo Paw	5 gal	Evergreen	Low	No		
	<i>Ceanothus maritimus 'Valley Videl'</i>	Valley Violet Maritime Ceanothus	5 gal	Evergreen	Low	Yes		
	<i>Cistus x purpureus</i>	Orchid Rockrose	5 gal	Evergreen	Low	No		
	<i>Myrtus communis 'Compacta'</i>	Dwarf Common Myrtle	5 gal	Evergreen	Low	No		
	<i>Olea europaea 'Montra'</i>	Little Olive® Olive	5 gal	Evergreen	Very Low	No		
	<i>Rhampholepis indica 'Balerina'</i>	Balerina Indian Hawthorn	5 gal	Evergreen	Low	No		
	<i>Rhampholepis indica 'Clara'</i>	Clara Indian Hawthorn	5 gal	Evergreen	Low	No		
	<i>Salvia leucantha 'Santa Barbara'</i>	Santa Barbara Mexican Bush Sage	5 gal	Evergreen	Low	Yes		
	<i>Teucrium cossonii majoricum</i>	Germander	1 gal	Evergreen	Very Low	No		
	<i>Xylosma congestum 'Compacta'</i>	Compact Xylosma	5 gal	Evergreen	Low	No		

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Preliminary MWELO Calculations
Santa Clara (San Jose) Eto: 45.3

Landscape Area: 7,102 SF
Average Plant Factor: 0.03 Low water use plants
Irrigation Efficiency: 0.81 Drip Irrigation

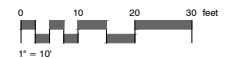
Landscape Area: 75 SF
Average Plant Factor: 0.05 Medium water use plants
Irrigation Efficiency: 0.78 Bubbler

Estimated Annual Water use: **75,227 gallons**

Maximum allowed water Allowance: 90,708 gallons

NOTE:

THERE ARE NO EXISTING TREES ON THIS PROPERTY





**CITY OF SANTA CLARA
ARBORIST NOTES**

I. GENERAL

- No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-615-3080).
- No cutting of any part of private trees, including roots, shall be done without direct supervision of an international society of arboriculture (ISA) certified arborist.
- When construction occurs within the drip line of existing trees, contractor shall pile the soil on the side away from the tree. When this is not possible, place soil on plywood, tarp, or 4"-5" thick bed of mulch. This is to help prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
- Refill open trenches quickly within hours of excavation when they occur within the drip line of existing trees. If this is not possible and the weather is hot, dry, or windy, contractor must keep root ends moist by covering them with wet burlap. If the temperature is 80°F or greater, the burlap must be inspected every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°F, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can dry out and die in 10-15 minutes. Larger roots can succumb in an hour or less under unfavorable weather conditions.
- When roots 2" or larger are required to be cut, shovel by hand near the roots and prune the roots with an industry-approved pruning tool. Boxes that are accidentally broken should be pruned two inches from the damaged end. Crushed or torn roots are more likely to slow decay to begin. Sharply cut roots produce a flush of new roots helping the tree to recover from its injury.
- Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
- A clear system of flagging must be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such system from the city arborist or arborist employed by city.
- Materials, equipment, temporary buildings, fuels, paints and other construction items shall not be placed within the drip line of existing trees.



**CITY OF SANTA CLARA
ARBORIST NOTES**

- Fence all trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fencing shall be placed at the drip line of existing trees or, if possible, 1.5 times the radius of the drip line out from the trunk of the tree. A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 6.5" x11" and clearly state "warning - tree protection zone this fence shall not be removed without approval from the city arborist/project arborist". Fences shall be 6-foot tall chain link or equivalent, as approved by the city arborist or arborist employed by city. Fences shall remain until all grading and construction work is completed. In addition, wrap all trees with straw waddle up to the first main branch, and then wrap snow fencing around the waddle on all trees in the construction zone to protect them from bark damage caused by the work.
- No trenching shall be done within the drip line of existing trees without the approval of the city arborist or arborist employed by city. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside the drip line of the tree involved. Exceptions may be allowed if, in the opinion of the city arborist or arborist employed by city, the impact of trenching on the tree will be negligible.
- Any cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
- Grading should not create drainage problems for trees by channeling water into them, or creating sunken areas.
- All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade at the base of existing trees shall not be modified. If a grade increase is necessary, dry wells should be used.
- When trenching is allowed, the contractor must first cut roots with a vermeer root cutter prior to any trenching to avoid tagging or pulling of roots.
- Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the



**CITY OF SANTA CLARA
ARBORIST NOTES**

- contractor. The city arborist or arborist employed by city shall determine the replacement species, size, quantity, and spacing.
- Place 4"-5" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
 - Bore pits are not allowed within the drip line of any tree.

II. BORING

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 5" DBH, the installation must be made by boring. The beginning and ending distance of the bore from the face of the tree in any direction is determined by the diameter of the tree as specified by the accompanying table:

When the tree diameter at 4 1/2 feet is:	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:
0-2 inches	1 foot
3-4 inches	2 feet
6-9 inches	5 feet
10-14 inches	10 feet
15-19 inches	12 feet
over 19 inches	15 feet

Tree diameter	(minimum) depth of bore
9 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

III. TREE PROTECTION

- Contractor shall tag and identify existing trees which are to remain within the project limits and on the public right-of-way prior to start of work. Protect all tagged trees at all times from damage by the work. Treatment of all minor damage to tagged trees shall be performed by an ISA certified arborist or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently

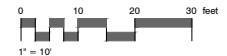


**CITY OF SANTA CLARA
ARBORIST NOTES**

- disfigured or killed as a result of the work, contractor shall remove the tree, including its roots, from the site and replace each removed tree with an equal-sized tree. If such replacement is not possible, the contractor shall reimburse to the tree owner the amount listed in the table below. The city arborist or arborist employed by city shall be the sole judge of the condition of any tree. Contractor shall provide regular watering of existing landscaping within the construction area through the construction period.
- Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protection and maintenance. The payment amount shall be in accordance with the following schedule of values, using "tree caliper" method established in the most recent issue of the "guide for establishing values of trees and other plants", prepared by the council of tree and landscape architects.

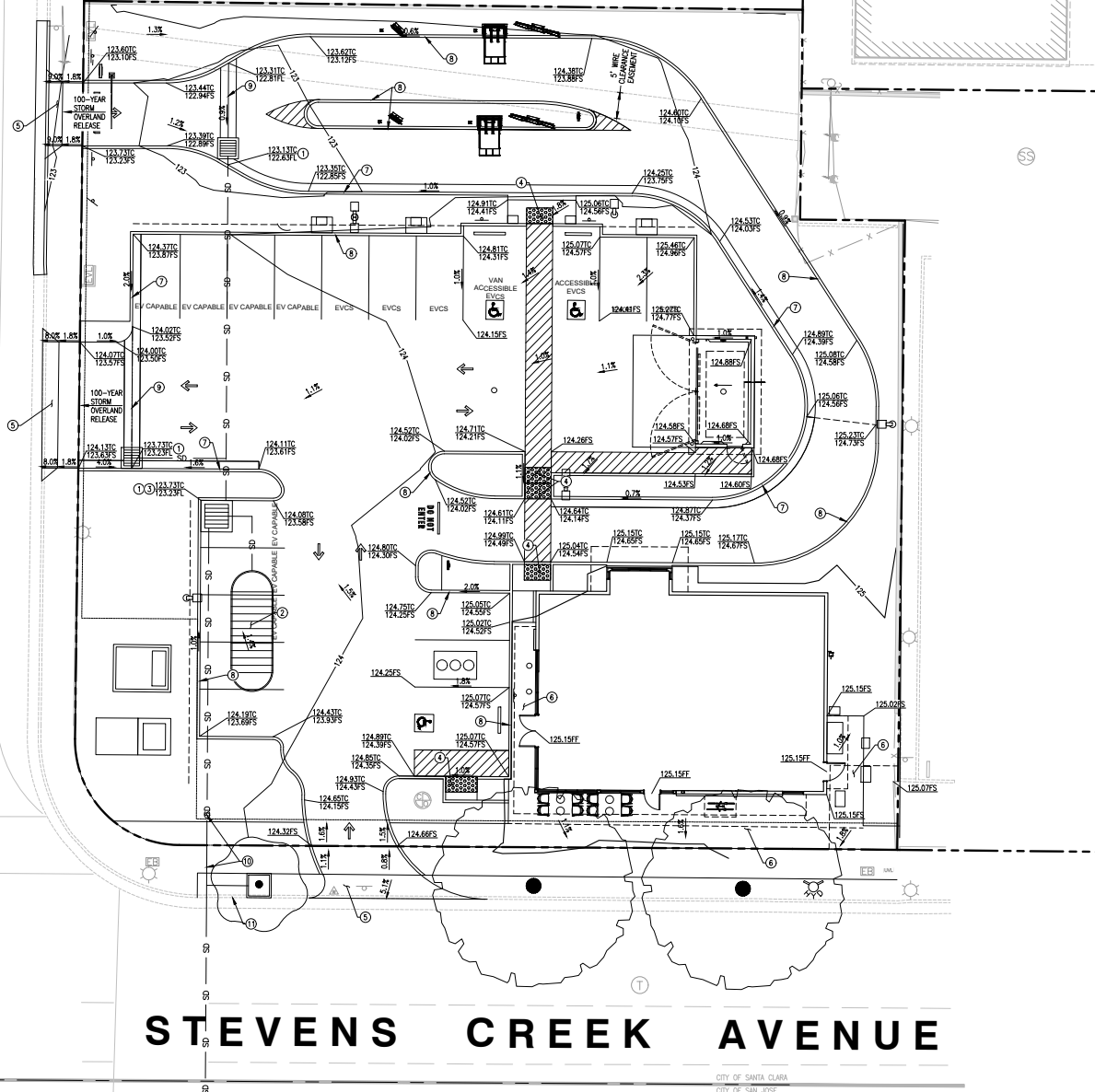
7 inches	\$ 2,400
8 inches	\$ 2,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$ 10,000
16 inches	\$ 11,000
17 inches	\$ 12,000
18 inches and over: Add for each caliper inch	\$ 1,200

NOTE:
THERE ARE NO EXISTING TREES ON THIS PROPERTY



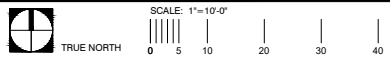
HAROLD AVENUE

STEVENS CREEK AVENUE



- GRADING KEY NOTES**
- ① PROPOSED DROP INLET WITH GRATES. INSTALL FLOUGARD CATCHBASIN TRASH SCREEN INSET
 - ② PROPOSED UNDERGROUND STORAGE TANK, 2,000 GALLONS
 - ③ PROPOSED JUNCTION STRUCTURE & SUMP PUMP FOR OVERFLOW
 - ④ PROPOSED TRUNCATED DOMES
 - ⑤ PROPOSED DRIVEWAY PER CITY OF SANTA CLARA STD. DMC. ST-8
 - ⑥ PROPOSED SIDEWALK
 - ⑦ PROPOSED 6" CURB & GUTTER
 - ⑧ PROPOSED 6" CURB ONLY
 - ⑨ PROPOSED 3" VALLEY GUTTER
 - ⑩ PROPOSED 12" ROP PIPE AND CLEANOUT TO CONNECT TO EXISTING STORMDRAIN MAIN
 - ⑪ PROPOSED 4'x4' FILTERRA

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STARBUCKS CONCEPTUAL GRADING & DRAINAGE PLAN
STEVENS CREEK & HAROLD
SANTA CLARA, CA **CG-1**
20210896.0 08.27.2024

HAROLD AVENUE

CITY OF SANTA CLARA
C.3 TREATMENT FACILITIES CONSTRUCTION NOTES

LEGEND

- DRAINAGE MANAGEMENT AREA (DMA)
- - - STREET CENTERLINE
- - - PROPERTY LINE
- XX SF SUBAREA
- XX SF SUBAREA SIZE
- LANDSCAPE AREA
- XXX FLOW DIRECTION AND SLOPE

SOURCE CONTROL MEASURES:

- SD-10 SITE DESIGN AND LANDSCAPE PLANNING
- SD-12 EFFICIENT IRRIGATION
- SD-13 STORM DRAIN SYSTEM SIGNS
- SC-60 HOUSEKEEPING PRACTICES
- SC-73 LANDSCAPE MAINTENANCE

SITE DESIGN MEASURES:

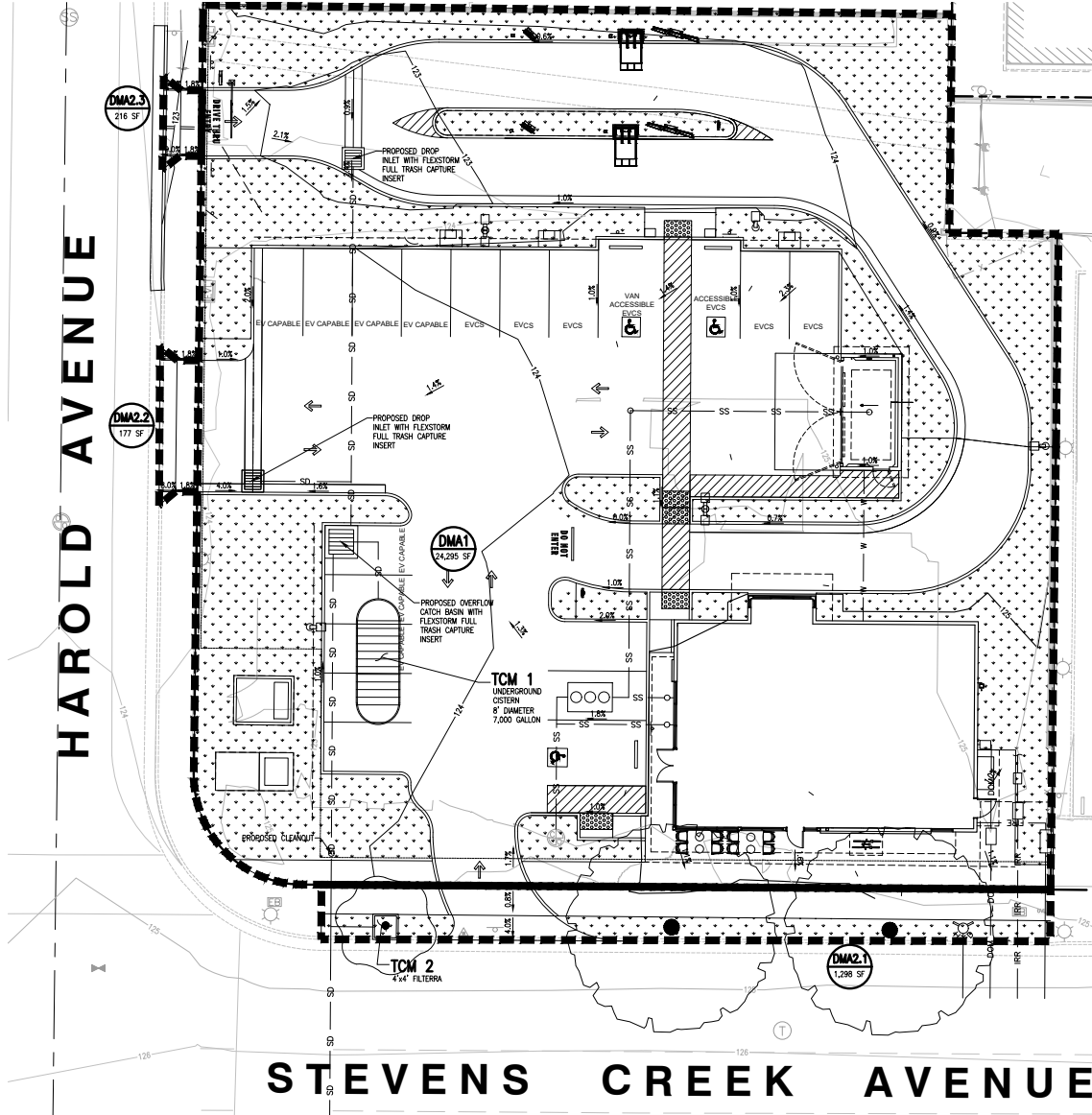
- 1. MINIMIZE IMPERVIOUS SURFACES
- 2. MINIMUM-IMPACT STREET OR PARKING LOT DESIGN
- 3. DISCONNECTED DOWNSPOUTS (DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS)

- DURING THE BEGINNING OF THE CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A THIRD-PARTY REVIEWER ACCEPTABLE TO THE CITY OF SANTA CLARA THAT THE INSTALLED STORMWATER TREATMENT MEASURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. THE THIRD-PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION. THE THIRD-PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY REVIEWERS CAN BE FOUND ON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) WEBSITE AT WWW.SCVURPPP-WQZ.COM/CONSULTANTS_LIST.SHTML.
- SOILS IN THE BIORETENTION FACILITIES SHOULD MEET THE BIOTREATMENT SOIL MIX (BSM) SPECIFICATIONS PER SCVURPPP C.3 STORMWATER HANDBOOK, APPENDIX C. A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM PERCOLATION RATE OF 10 INCHES/HOUR ARE REQUIRED (INITIAL INFILTRATION RATE MAY EXCEED THIS TO ALLOW FOR TENDENCY OF INFILTRATION RATE TO REDUCE OVER TIME). PLANTING SOIL LAYER SHOULD BE AT LEAST 18 INCHES DEEP. CONTRACTOR TO SUBMIT MATERIAL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CERTIFYING THAT SOIL COMPLES WITH, OR EXCEEDS, SPECIFIED REQUIREMENTS WITHIN 6 MONTHS.
- PERMEABLE DRAIN ROCK SHALL BE CLASS 2 PERM ROCK PER CALTRANS STANDARD SECTION 68-1.025. THE MATERIAL SHALL BE WASHED AND FREE FROM CLAY OR ORGANIC MATERIAL.
- PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATIONS FACED DOWN. LOCATION OF THE PIPE VARIES, SEE PLAN.
- INSTALLATION OF POROUS PAVEMENT AND/OR VAULTS SHALL BE DONE PER STANDARD DETAILS AND SPECIFICATIONS. THIRD PARTY REVIEWER OR VENDOR SHALL INSPECT THE POROUS PAVEMENT AND/OR VAULTS INSTALLATION (INCLUDING IF NECESSARY, PERFORMING PERCOLATION TEST) AND SUBMIT THEIR CONCURRENCE LETTER TO THE CITY OF SANTA CLARA.
- INSTALLATION OF INTERCEPTOR TREES AS A TREATMENT CONTROL MEASURE SHALL BE INSPECTED TO VERIFY THE ACCURACY OF LOCATION, SPECIES AND NUMBER OF THE INTERCEPTOR TREES.
- FOR ANY LINER PENETRATIONS, RADIAL CUT THE LINER FOR PIPE. MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL.
- SEE LANDSCAPE PLANS AND SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION FACILITIES.

a. Total Site Area: 26,109 (ft ²)		b. Total Land Area Disturbed During Construction: 26,109 (ft ²) (including clearing, grading, stockpiling, or excavation)			
Project Totals	Total Existing (Pre-project) Area (ft ²)	Total Retained ¹ (ft ²)	Replaced ² (ft ²)	New Area Created ³ (ft ²)	Total Post-Project Area (ft ²)
Impervious Area (IA)					
c. Total on-site IA	21,563	0	16,595	1,092	17,687
d. Total off-site IA ⁴	1,814		1,373	0	1,373
e. Total project IA	23,377	0	17,968	1,092	19,060
f. Total new and replaced IA				19,060	
PerVIOUS Area (PA)⁵					
g. Total on-site PA	2,732				6,608
h. Total off-site PA ³	0				441
i. Total project PA	2,732				7,049
j. Total Project Area (2.e.+2.i.)	26,109				26,109

k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced ÷ Existing Total on-site IA) x 100% = 058422%

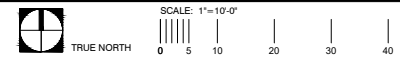
TREATMENT CONTROL MEASURE SUMMARY TABLE										Cistern Volume		Filterra Flow		
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Slang Method	Drainage Area (a.f.t)	Impervious Area (a.f.t)	PerVIOUS Area (Permeable Pavement) (a.f.t)	PerVIOUS Area (Other) (a.f.t)	% of Area Treated by LID or Non-LID TCM	Cistern Volume Required	Cistern Volume Provided	Filterra Volume Required	Filterra Flow Provided
1	1	Onsite	Rainwater harvesture system	LID	16' Volume	24,295	18,244	0	6,051	106.61%	879 c.f. (6,566 gallon)	936 c.f. (7000 gallon)	-	-
2	2	Offsite	Proprietary Tree Filter	Non-LID	20' Flow: 1 = 0.2	1,691	1,249	0	442	933.87%	-	-	62 c.f.	579 c.f.
						Totals:	25,986	19,493	0	6,493				



STEVENS CREEK AVENUE



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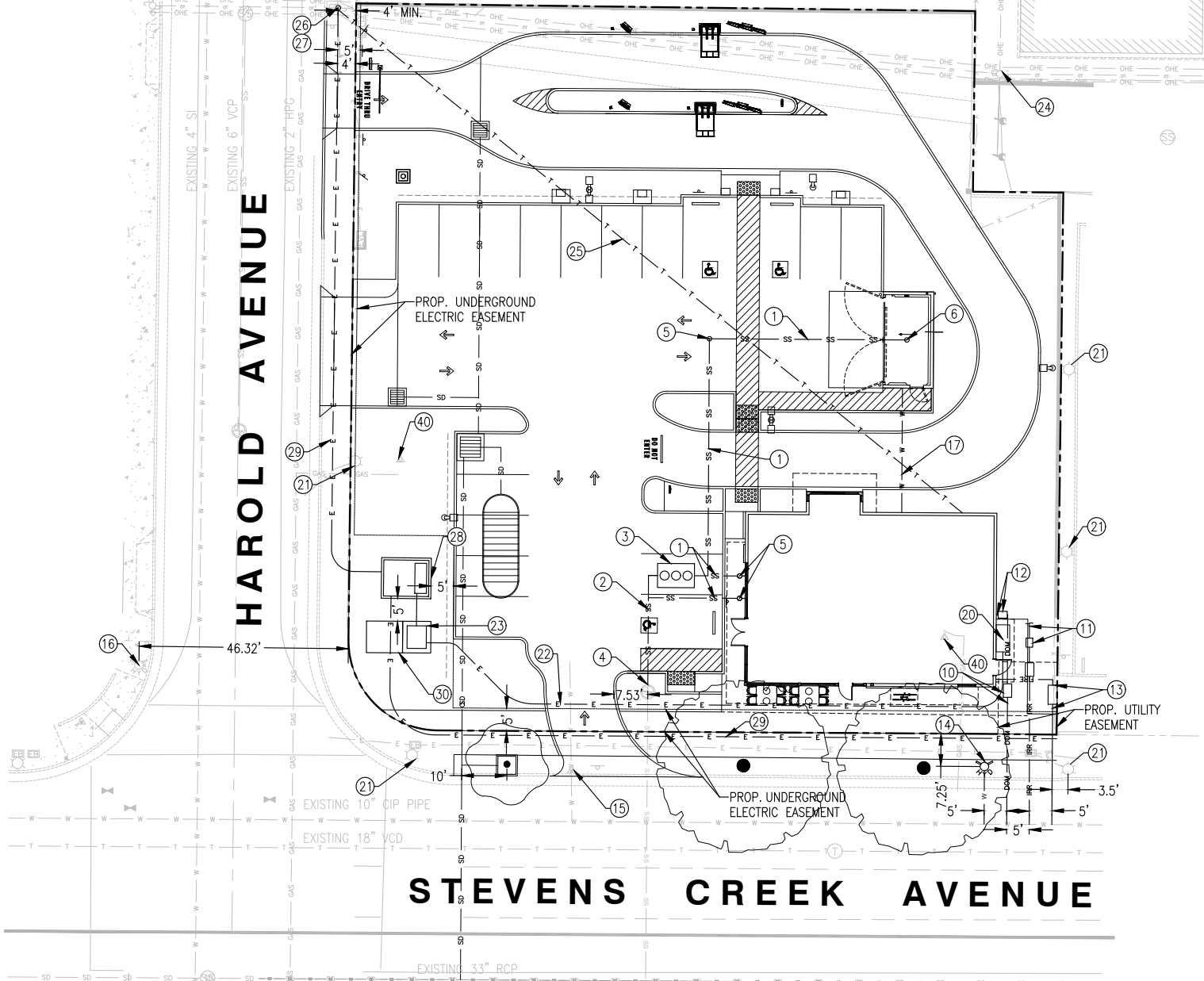


STARBUCKS
STEVENS CREEK & HAROLD
SANTA CLARA, CA
20210896.0

STORMWATER CONTROL PLAN
SW-1
08.27.2024

HAROLD AVENUE

STEVENS CREEK AVENUE



UTILITY KEY NOTES

- SANITARY SEWER**
- ① PROPOSED 4" SANITARY SEWER LATERAL
 - ② PROPOSED 6" SANITARY SEWER LATERAL
 - ③ PROPOSED GREASE INTERCEPTOR
 - ④ CONNECT TO EXISTING SEWER CLEANOUT. CONTRACTOR TO VERIFY EXISTING SANITARY SEWER TO BE USED ARE IN GOOD CONDITION. REMOVE AND REPLACE AS REQUIRED.
 - ⑤ PROPOSED 4" SEER CLEANOUT
 - ⑥ PROPOSED DRAIN
- WATER**
- ⑩ PROPOSED 2" WATER METER AND SERVICE LINE. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND CONDITION OF EXISTING WATER LINE FOR CONNECTION.
 - ⑪ PROPOSED IRRIGATION REDUCED PRESSURE DETECTOR ASSEMBLY AND SERVICE
 - ⑫ PROPOSED 2" DOMESTIC REDUCED PRESSURE DETECTOR ASSEMBLY AND LINE TO BUILDING
 - ⑬ PROPOSED 4" FIRE SERVICE WITH REDUCED PRESSURE DETECTOR ASSEMBLY. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND CONDITION OF EXISTING WATER LINE FOR CONNECTION.
 - ⑭ PROPOSED PUBLIC FIRE HYDRANT
 - ⑮ EXISTING WATER SERVICE & METER TO BE REMOVED
 - ⑯ EXISTING FIRE HYDRANT
 - ⑰ PROPOSED WATER LINE FROM BUILDING TO TRASH ENCLOSURE
- ELECTRICAL**
- ⑳ PROPOSED ELECTRICAL SWITCHGEAR
 - ㉑ EXISTING LIGHT POLE TO REMAIN. PROTECT IN PLACE
 - ㉒ PROPOSED ELECTRICAL SERVICE
 - ㉓ PROPOSED TRANSFORMER
 - ㉔ EXISTING UTILITY POLE TO REMAIN. PROTECT IN PLACE
 - ㉕ PROPOSED TELEPHONE SERVICE
 - ㉖ PROPOSED POWER POLE
 - ㉗ EXISTING POWER POLE TO BE REMOVED/REPLACED
 - ㉘ PROPOSED HUNT PER SVP UG1000 PG 28
 - ㉙ PROPOSED SVP TRENCH & CONDUITS PER UG1000 PG 34
 - ㉚ PROPOSED TRANSFORMER PAD PER UG1000 PG 15
- GAS**
- ㉛ EXISTING GAS METER TO BE REMOVED
- NOTE:**
- EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATION BASED ON AVAILABLE AS-BUILT PLANS. CONTRACTOR SHALL VERIFY LOCATION, DEPTH, AND CONDITION IN FIELD PRIOR TO CONSTRUCTION
 - ALL HORIZONTAL AND VERTICAL UTILITY CLEARANCES SHALL COMPLY WITH STATE AND LOCAL REGULATIONS. THE APPLICANT SHALL MAINTAIN A MINIMUM 12" OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES FROM WATER SERVICES: 10' FROM SANITARY SEWER UTILITIES; 10' FROM RECYCLED WATER UTILITIES; 5' FROM STORM DRAIN UTILITIES; 5' FROM FIRE AND OTHER WATER UTILITIES; 3' FROM ABANDONED WATER SERVICES; 5' FROM GAS AND ELECTRIC UTILITIES; AND 5' FROM THE EDGE OF THE PROPOSED OR EXISTING DRIVEWAY. FOR SANITARY SEWER, WATER, AND RECYCLED WATER UTILITIES, THE APPLICANT SHALL MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TREES. IF APPLICANT INSTALLS TREE ROOT BARRIERS, CLEARANCE FROM TREE REDUCES TO 5' (CLEARANCE MUST BE FROM THE EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES). NO STRUCTURES (FENCING, FOUNDATION, BIOFILTRATION SWALES, ETC.) ALLOWED OVER SANITARY SEWER, POTABLE WATER AND/OR RECYCLED WATER UTILITIES AND EASEMENTS.

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TRUE NORTH

SCALE: 1"=10'-0"

0 5 10 20 30 40

STARBUCKS
STEVENS CREEK & HAROLD
SANTA CLARA, CA

COMPOSITE UTILITY PLAN

CU-1

20210896.0 08.27.2024

HAROLD AVENUE

STEVENS CREEK AVENUE

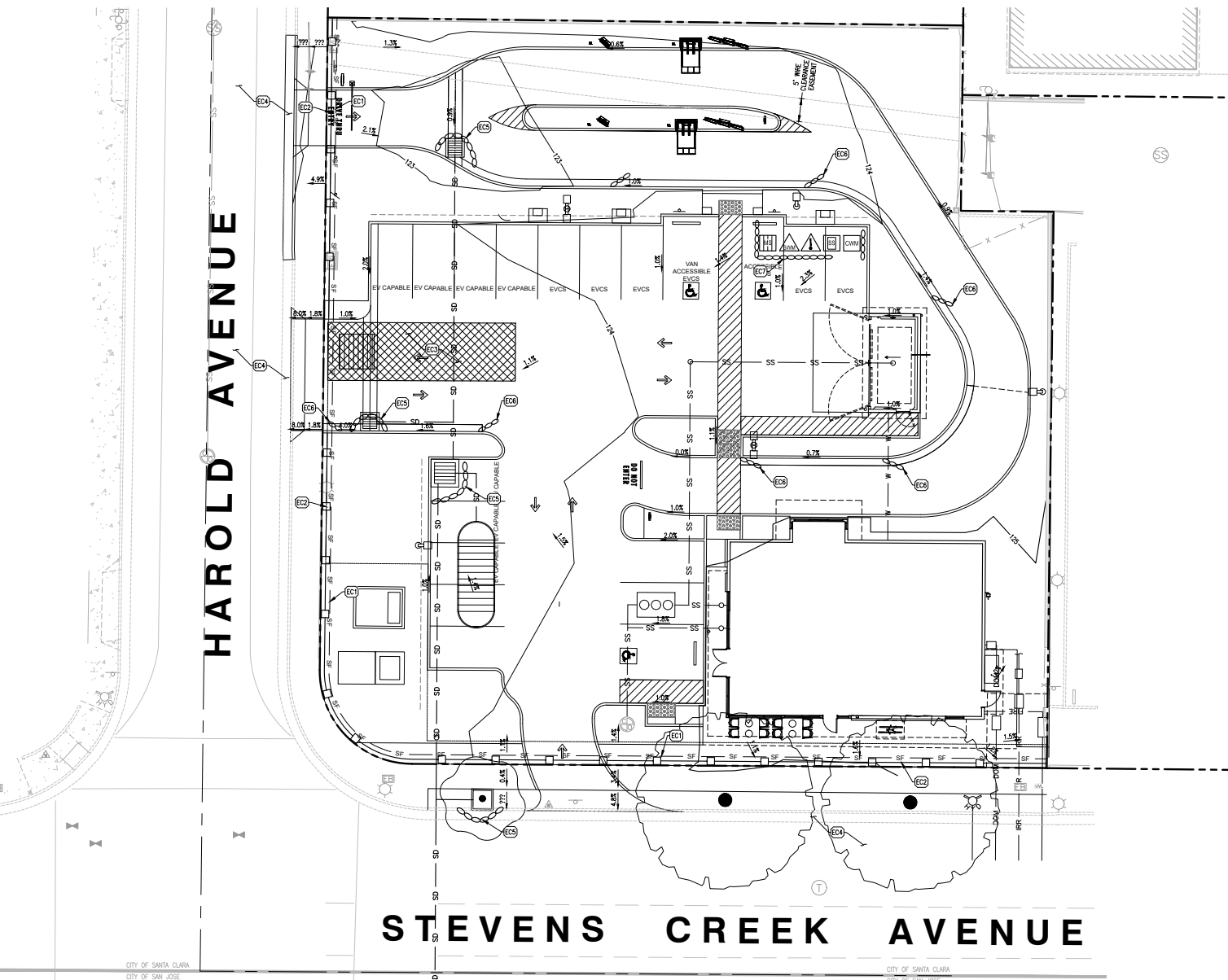
EROSION CONTROL NOTES:

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA). ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS AND THE CASQA BMP HANDBOOK, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- CONTRACTOR SHALL MAINTAIN CLEARING TO THE MAXIMUM EXTENT PRACTICAL.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL EROSION CONTROL MEASURES PRESENTED ON THIS PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINAGE SYSTEMS IN CONJUNCTION WITH THE CONSTRUCTION OF THE SITE.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- CONTRACTOR SHALL ADEQUATELY CONTROL OFF-SITE TRACKING. CONTRACTOR TO IMPLEMENT HOUSEKEEPING PRACTICES IN ACCORDANCE WITH CASQA TO CONTROL OFF-SITE TRACKING.

EROSION CONTROL NOTES

LEGEND	DESCRIPTION
(EC1) — SF — SF	SILT FENCE (SE1)
(EC2) — CF — CF	CONSTRUCTION FENCE
(EC3) — [Symbol]	STABILIZED CONSTRUCTION ENTRANCE W/ SHAKER PLATES (TC1)
(EC4) — [Symbol]	N/A STREET MEETING AND VACUUMING (SE-7)
(EC5) — [Symbol]	INLET PROTECTION (SE-10)
(EC6) — [Symbol]	CHECK DAM (SE-4)
(EC7) — [Symbol]	SANDBAG BARRIER (SE8)
[Symbol]	MATERIAL DELIVERY STORAGE (NM1)
[Symbol]	SOLID WASTE MANAGEMENT (MWS)
[Symbol]	HAZARD WASTE MANAGEMENT (MWS)
[Symbol]	CONCRETE WASTE MANAGEMENT (MWS)
[Symbol]	SANITARY/SEPTIC WASTE MANAGEMENT (MWS)

NOTE: BMP DRAWING NUMBERS IN () REFER TO THE CALIFORNIA STORMWATER QUALITY ASSOCIATION'S BEST MANAGEMENT PRACTICES HANDBOOK, CONSTRUCTION.



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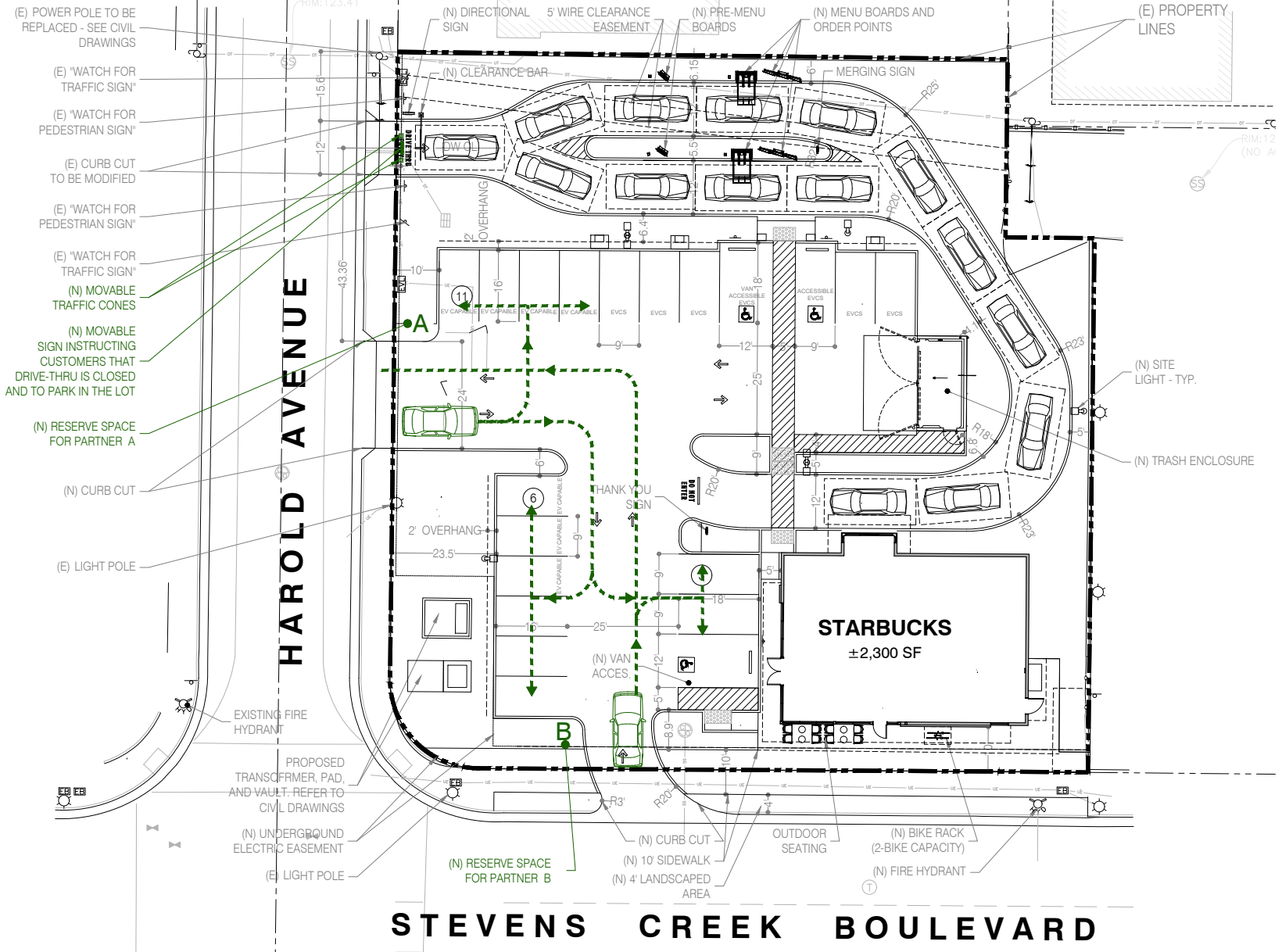


TRUE NORTH
SCALE: 1"=10'-0"
0 5 10 20 30 40

STARBUCKS
STEVENS CREEK & HAROLD
SANTA CLARA, CA

**CONCEPTUAL CONSTRUCTION BEST
MANAGEMENT PRACTICES PLAN
EC-1**

20210896.0 08.27.2024



- (E) POWER POLE TO BE REPLACED - SEE CIVIL DRAWINGS
- (E) "WATCH FOR TRAFFIC SIGN"
- (E) "WATCH FOR PEDESTRIAN SIGN"
- (E) CURB CUT TO BE MODIFIED
- (E) "WATCH FOR PEDESTRIAN SIGN"
- (E) "WATCH FOR TRAFFIC SIGN"
- (N) MOVABLE TRAFFIC CONES
- (N) MOVABLE SIGN INSTRUCTING CUSTOMERS THAT DRIVE-THRU IS CLOSED AND TO PARK IN THE LOT
- (N) RESERVE SPACE FOR PARTNER A
- (N) CURB CUT
- (E) LIGHT POLE
- EXISTING FIRE HYDRANT
- PROPOSED TRANSFORMER, PAD, AND VAULT. REFER TO CIVIL DRAWINGS
- (N) UNDERGROUND ELECTRIC EASEMENT
- (E) LIGHT POLE

STARBUCKS BUSINESS OPERATIONS AND OVERSTACK PLAN

STARBUCKS IS PROPOSING A NEW ±2,300 SF CAFE AND DRIVE-THROUGH BUILDING (WITH INTERIOR AND EXTERIOR SEATING) WITH ASSOCIATED SITE IMPROVEMENTS.

DRIVE-THROUGH PEAK HOURS FOR STARBUCKS ARE PRIMARILY ANTICIPATED BETWEEN 7AM-10:30 AM ALL DAYS OF THE WEEK.

PROPOSED PLAN PROVIDES 15 CAR DRIVE-THROUGH CAPACITY PARKING PROVIDED FOR STARBUCKS IS 20 SPACES

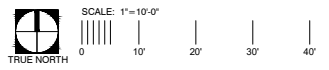
IN CASE OF THE EVENT THAT DESIGNATED DRIVE-THROUGH LANES ARE AT MAXIMUM CAPACITY, STARBUCKS MAY DEPLOY TRAFFIC CONES, AND A PARTNER AT IDENTIFIED POINTS (A) AND (B) TO FACILITATE ONSITE CIRCULATION. TRAFFIC CONES WILL BE PLACED AT THE ENTRY SIGNALING CUSTOMERS THAT DRIVE-THROUGH OPERATIONS ARE CLOSED FOR THE TIME BEING.

STARBUCKS PARTNER (A) WILL PRIMARILY ASSIST TRAFFIC FROM HAROLD AVENUE AND PARTNER (B) WILL PRIMARILY ASSIST TRAFFIC FROM STEVENS CREEK TO DIRECT CUSTOMERS TO PARK WHERE AVAILABLE (SHOWN IN GREEN ON THE DIAGRAM), ORDER VIA MOBILE ORDER AND WALK UP TO STORE TO PICK-UP THEIR ORDER.

- (N) SITE LIGHT - TYP.
- (N) TRASH ENCLOSURE

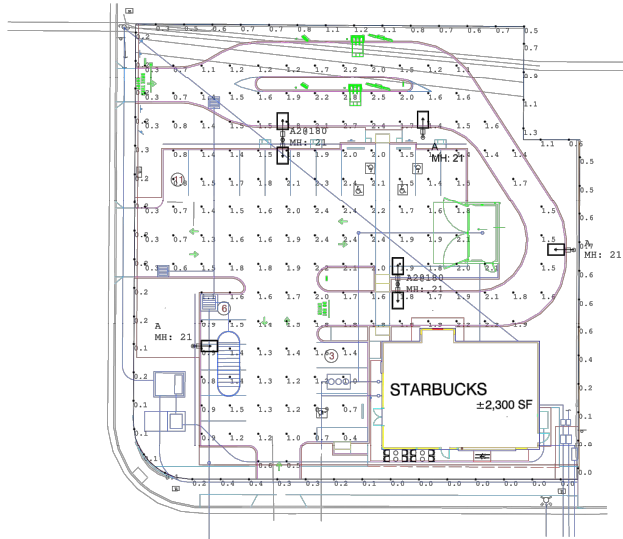
STEVENS CREEK BOULEVARD

GREENBERG FARROW CONTACTS
 PROJECT MANAGER I. IBRAHIMBEGOVIC
 SITE DEV. COORDINATOR FRANK CODA



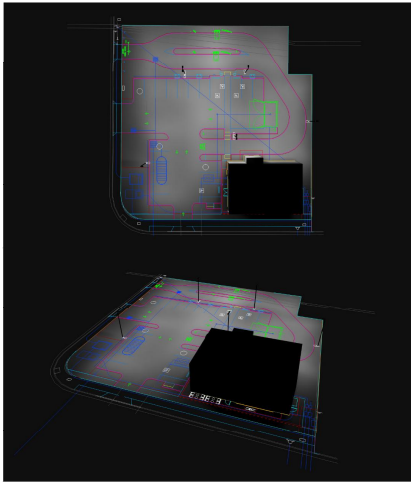
NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. DISTANCE BETWEEN READINGS _____ 10'



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	1.53	2.8	0.3	5.10	9.33
PROPERTY LINE READINGS	Illuminance	Fc	0.41	1.3	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type	Lum. Lumens
⊖	3	A	SINGLE	0.850	RAR1-80L-50-3K7-4W-SCP/40F	49.7	0.607	21	SES-18-40-1-TA-xx-xx (4")	5870
⊖	2	A2@180	BACK-BACK	0.850	RAR1-80L-50-3K7-4W-SCP/40F	49.7	1.214	21	SES-18-40-1-TA-xx-xx (4")	5870



Pole Fixtures Are Full Cutoff
Tilt=0
Calculation Grids Are At Grade
Pole Light Mounting Height=21ft
(18' Pole + 3' Base)

PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-15 WIND SPEEDS (3-SEC PEAK GUST) FOR
50 YEAR MEAN RECURRENT INTERVAL
ALLOWED SFA 15.6 @ WIND LOAD 85 MPF

SECURITY LIGHTING
1000 WEST 10TH, SUITE 100, TACOMA, WASHINGTON, WA 98401
 (252) 885-8888

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE: 1" = 18' 0"

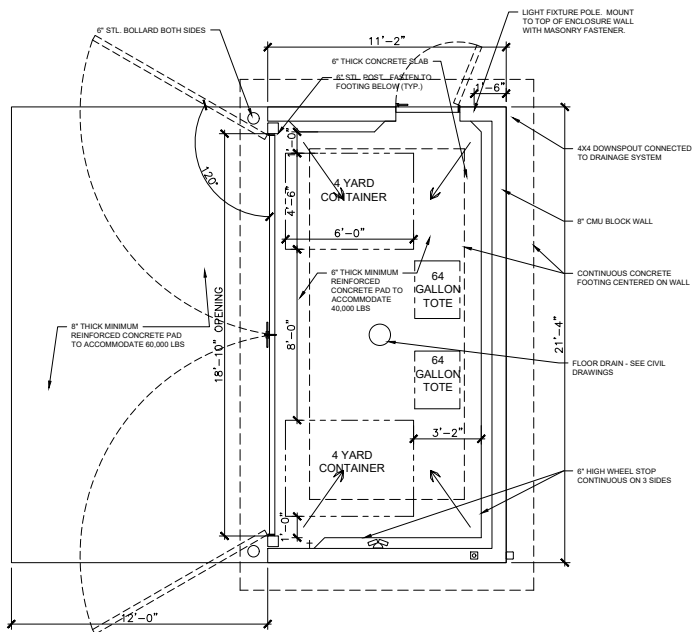
DATE: 06/14/2024

POINT-BY-POINT FOOTCANDLE PLT FOR
STARBUCKS
STEVENS CREEK & HAROLD
SANTA CLARA, CA

THIS DRAWING REFERS TO CREEK'S SUBMITTAL NUMBER _____ ILLUMINATION SPECIFICATIONS OF A-4 FOR PORTLAND, OREGON, "CALLED TO" OTHERWISE BY OTHER MEANS.

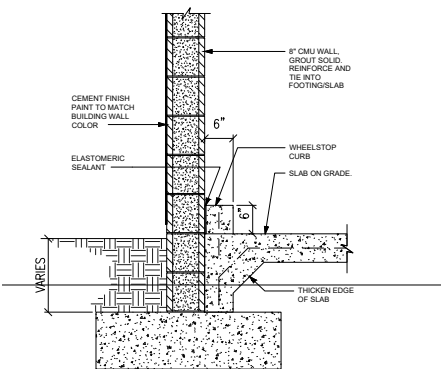
DATE: 6/29/2024
 DRAWING NUMBER: A231184C.A01





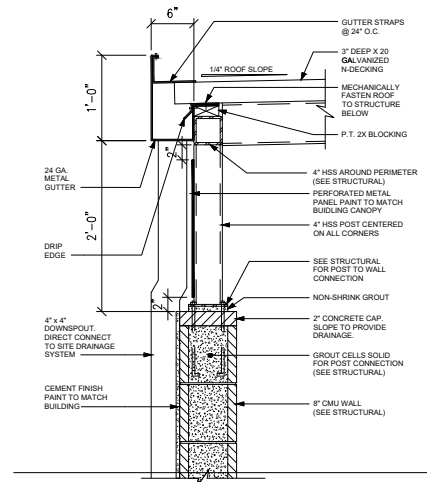
1 TRASH ENCLOSURE

Scale: 3/8" = 1'-0"



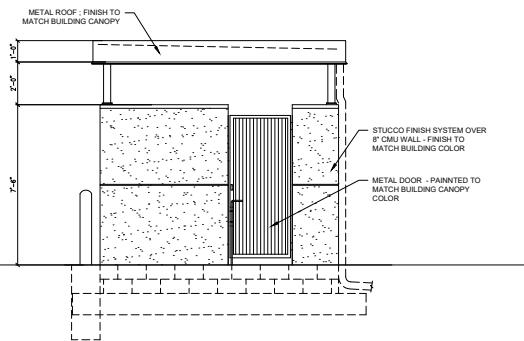
2 TYPICAL CMU WALL FOOTING

Scale: 1" = 1'-0"



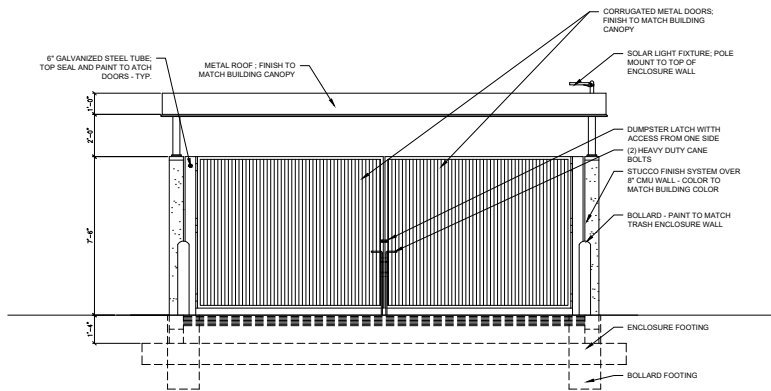
3 ROOF SECTION AT GUTTER

Scale: 1/32" = 1'-0"



4 TRASH ENCLOSURE SIDE ELEVATION

Scale: 3/8" = 1'-0"



5 TRASH ENCLOSURE FRONT ELEVATION

Scale: 3/8" = 1'-0"

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