



City of Santa Clara

Meeting Agenda

Development Review Hearing

Wednesday, May 13, 2026

4:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

- o Via Zoom:
- o <https://santaclaraca.zoom.us/j/92950218717>
Meeting ID: 929 5021 8717
- o Phone: 1 (669) 900-6833

How to Submit Written Public Comment Before Development Review Hearing Meeting:
By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

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CALL TO ORDER AND ROLL CALL

26-529 [Declaration of Procedures](#)

CONSENT CALENDAR

1. 26-496 [Development Review Hearing Meeting Minutes of April 8, 2026](#)

Recommendation: Approve the Development Review Hearing Meeting Minutes of the April 8, 2026, meeting.

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

GENERAL BUSINESS

2. **26-468** [Public Hearing: Action on the Architectural Review \(PLN26-00121\) for the Demolition of an Existing One-Story Residence and the Construction of a new 4,829 Square-Foot Two-Story Residence located at 108 Brookside Avenue. CEQA Status: Exempt from CEQA per Section 15303 \(Class 3 -- New Construction\).](#)

Recommendation:

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for the demolition of an existing one-story residence and the construction of a new 4,829 square-foot two-story residence with four bedrooms and three and a half bathrooms, located at 108 Brookside Avenue.

3. **26-336** [Public Hearing: Action on the Architectural Review \(PLN26-00008\) for the Demolition of an Existing One-Story Residence and the Construction of a New 2,050 Square-Foot One-Story Residence Located at 717 Flannery Street. CEQA Status: Exempt from CEQA per Section 15303 \(Class 3 - New Construction\).](#)

Recommendation:

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction"), and **Approve** the Architectural Review for the demolition of an existing one-story residence and the construction of a new three bedroom two and a half bathroom 2,050 square-foot one-story residence

4. **26-458** [Public Hearing: Action on the Architectural Review \(PLN26-00107\) for a 104 Square-Foot First-Story Addition and 875 Square-Foot Second Story Addition to the Existing 1,305 Square-Foot One-Story Single-Family Home Resulting in a 2,284 Square Foot Two-Story Residence with a 420 Square-Foot Detached Garage located at 758 Frederick Avenue. CEQA Status: Exempt from CEQA per Section 15301\(e\)\(1\) \(Class 1 -- Existing Facilities\).](#)

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a 104 Square-Foot First-Story Addition and new 875 Square-Foot Second Story Addition to the Existing 1,305 Square-Foot One-Story Single-Family Home Resulting in a 2,284 Square Foot Two-Story Residence with a 420 Square-Foot Detached Garage, located at 758 Frederick Avenue, subject to the findings and conditions of approval.

5. **26-459** [Public Hearing: Action on the Architectural Review \(PLN25-00512\) for the addition of 533 square feet to the existing one-story 1,487 Square-Foot One-Story Single-Family Home Resulting in a 2,020 Square Foot One-Story Residence located at 2179 Monterey Avenue. CEQA Status: Exempt from CEQA per Section 15301\(e\)\(1\) \(Class 1 -- Existing Facilities\).](#)

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for an Architectural Review for converting 400 square feet of existing converted garage space back to a garage and for the addition of 533 square feet to the existing 1,487 square foot one story residence, resulting in a 2,020 square foot one story residence, located at 2179 Monterey Avenue, subject to the findings and conditions of approval.

ADJOURNMENT

The next regular scheduled meeting is on June 17, 2026 in the City Hall Council Chambers and via Zoom.

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
@SantaClaraCity

Agenda Report

26-529

Agenda Date: 5/13/2026



**City of
Santa Clara**
The Center of What's Possible

DEVELOPMENT REVIEW HEARING DECLARATION OF PROCEDURES

The Hearing Officer for this agenda will be Sheldon Ah Sing on behalf of and delegated by the Director of Community Development Afshan Hamid.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.

The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
@SantaClaraCity

Agenda Report

26-496

Agenda Date: 5/13/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Development Review Hearing Meeting Minutes of April 8, 2026

RECOMMENDATION

Approve the Development Review Hearing Meeting Minutes of the April 8, 2026, meeting.



City of Santa Clara

Meeting Minutes

Development Review Hearing

04/08/2026

4:00 PM

Hybrid Meeting
 City Hall Council
 Chambers/Virtual
 1500 Warburton Avenue
 Santa Clara, CA 95050

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CALL TO ORDER AND ROLL CALL

Development Review Officer Sheldon Ah Sing called the meeting to order at 4:00 p.m.

[26-389](#)

Declaration of Procedures

Development Review Officer Sheldon Ah Sing read the Declaration of Procedures.

CONSENT CALENDAR

1. [26-386](#) Development Review Hearing Meeting Minutes of March 11, 2026

Recommendation: Approve the Development Review Hearing Meeting Minutes of the March 11, 2026, meeting.

Action: Development Review Officer Sheldon Ah Sing approved the consent calendar.

PUBLIC PRESENTATIONS

None.

GENERAL BUSINESS

2. [25-1731](#) Public Hearing: Adoption of an Addendum to a Previously Adopted Mitigated Negative Declaration and Mitigation Monitoring Program (MMRP) and Action on the Architectural Review (PLN25-00093) for the Construction of an Approximately 145,000 Square Foot Industrial Building with Associated Site Improvements including a Surface Parking Lot and Landscaping Located at 3000 Bowers Avenue.

Recommendation: Consider the Addendum to the previously adopted Mitigated Negative Declaration and Approve the Architectural Review for the construction of an approximately 145,000 square foot industrial building with associated site improvements including a surface parking lot and landscaping located at 3000 Bowers Avenue, subject to the findings and conditions of approval.

Associate Planner Tracy Tam provided the staff presentation.

The applicant, Sobrato Organization Project Manager Caroline Layden and HPA Architecture Architect Tyneise Beyer provided a presentation.

Development Review Officer Sheldon Ah Sing inquired about the project materials.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

3. [26-116](#) Public Hearing: Action on the Significant Property Alteration / Architectural Review (PLN25-00524) for an Approximately 481 Square Foot First Floor Addition and an Approximately 233 Square Foot Second Floor Addition to an Existing Two-Story Single-Family Residence Resulting in a 3,006 Square Foot Single-Family Residence on the Historic Resource Inventory Located at 1184 Washington Street.

Recommendation: Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Sections 15332 - Infill and 15331 - Historical Resource Restoration / Rehabilitation, and Approve the Significant Property Alteration / Architectural Review for an approximately 481 square foot first floor addition and an approximately 233 square foot second floor addition to an existing two-story single-family residence resulting in a 3,006 square foot single-family residence on the Historic Resource Inventory located at 1184 Washington Street, subject to the findings and conditions of approval.

Associate Planner Tracy Tam provided the staff presentation.

Architect Rob Mayer spoke about the project.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

4. [25-1742](#) Public Hearing: Action on the Architectural Review (PLN25-00194) for a 1,000 Square Foot Two-Story Attached Accessory Dwelling Unit Addition and a 557 Square Foot First Floor Addition to an Existing One-Story Single-Family Residence Located at 1995 Stafford Street. CEQA Status: Exempt from CEQA per Section 15332 - Infill.

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 - Infill; and **Approve** the Architectural Review for the 1,000 square-foot second story attached accessory dwelling unit and a 557 square-foot first floor addition, located at 1995 Stafford Street, subject to the findings and conditions of approval.

Associate Planner Meha Patel provided the staff presentation.

Architect Jeff Guinta spoke about the project.

Development Review Officer Sheldon Ah Sing inquired about the design intent.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

5. [26-65](#) Public Hearing: Action on an Architectural Review (PLN25-00538) for a 228 Square Foot First Floor Addition and a 331 Square Foot Second Story Addition to an Existing One-Story Residence with a 456 Square Foot Attached Garage on a 6,720 Square Foot Lot at 3734 Pruneridge Avenue. CEQA Status: Exempt from CEQA per Section 15332.

Recommendation: **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and **Approve** the Architectural Review for the construction of a 264 square foot first floor addition and a 331 square foot second story addition in an existing one-story residence resulting in a 2,151 square foot two-story residence

Assistant Planner Alex Tellez provided the staff presentation.

Designer Harvey Tripp spoke about the project.

Development Review Hearing Officer Sheldon Ah Sing inquired about the building materials.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

6. [26-284](#) Public Hearing: Action on the Architectural Review (PLN26-00018) for the Complete Demolition of the Existing 1,627 Square-Foot One-Story Single-Family Residence and the Construction of a New 3,002 Square-Foot Two-Story Residence Located at 3523 Golden State Drive. CEQA Status: Exempt from CEQA per Section 15303 (Class 3 - New Construction or Conversion of Small Structures).

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for the complete demolition of the existing 1,627 Square-Foot One-Story Single-Family Residence and the Construction of a New 3,002 Square-Foot Two-Story Residence Located at 3523 Golden State Drive, subject to the findings and conditions of approval.

Assistant Planner Summer Foss provided the staff presentation.

Architect Han Li spoke about the project.

Development Review Hearing Officer Sheldon Ah Sing inquired about the building materials, and requested the applicant work in good faith with neighboring property owners.

Public Speaker:
Jennifer Stuckey

Action: Development Review Hearing Officer Sheldon Ah Sing approved staff recommendation with the added condition to plant a tree in the front yard per zoning code requirements.

7. [26-328](#) Public Hearing: Action on Architectural Review (PLN25-00515) for a 416 Square Foot First Floor Addition and a 1,199 Square Foot Addition for an Accessory Dwelling Unit to an Existing One-Story Residence with a 492 Square Foot Detached Garage on a 6,250 Square Foot at 4383 Cheeney Street. CEQA Status: Exempt from CEQA per Section 15332.

Recommendation: **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and **Approve** the Architectural Review for a 416 square foot first floor addition and a 1,199 square foot addition for an accessory dwelling unit to an existing one-story residence with a 492 square foot detached residence, subject to conditions of approval.

Assistant Planner Alex Tellez provided the staff presentation.

Homeowner Madhava Reddy spoke about the project.

Public Comments: **None.**

Action: Development Review Hearing Officer Sheldon Ah Sing approved staff recommendation.

ADJOURNMENT

The meeting adjourned at 5:18 p.m.

The next regular scheduled meeting is on May 13, 2026, at 4 p.m. in the City Hall Council Chambers and via Zoom.

The meeting recording is available on the City's website:
<https://santaclara.legistar.com/calendar.aspx>

MEETING DISCLOSURES

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Agenda Report

26-468

Agenda Date: 5/13/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN26-00121) for the Demolition of an Existing One-Story Residence and the Construction of a new 4,829 Square-Foot Two-Story Residence located at 108 Brookside Avenue. CEQA Status: Exempt from CEQA per Section 15303 (Class 3 -- New Construction).

File No.: PLN26-00121

Location: 108 Brookside Avenue, a 13,700 square foot lot, located mid-block on the eastern side of Brookside Avenue between Forest Avenue and Stevens Creek Boulevard, APN: 303-22-022, Zoned R1-8L (Single-Family Residential)

Applicant: Bess Wiersema

Owner(s): Sreenath Kurupati and Rashmi Bhandari

Request: **Architectural Review** for the Demolition of an Existing One-Story Residence and the Construction of a new 4,829 Square-Foot Two-Story Residence with Four Bedrooms and Three and a Half Bathrooms, located at 108 Brookside Avenue.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The surrounding neighborhood mostly features original one-story single-family residences. See Vicinity Map in Attachment 1.
- The existing parcel contains the original 1940s one-story single-family residence of approximately 1,600 square-feet.
- Per the Santa Clara City Code 18.120(D)(1) 'New or Expanded Single Family Homes', and SCCC 18.120(D)(7) 'Demolition of an existing structure, other than a non-habitable accessory structure', the request requires Architectural Review approval through a Development Review Hearing.
- The project proposes to demolish the existing one-story residence and construct a new 4,829 square-foot two-story residence with four bedrooms and three and a half bathrooms. The project proposes a unique design with curved gable roof forms, arched windows, shutters, and a porte-cochere. The project proposes to be clad in smooth warm white colored stucco, with cedar shake shingle roofing material, standing seam metal roofing material atop the porches, clad exterior wood interior windows, and a stone veneer wrap and accents around the prominent front porch.
- The project is consistent with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:
 - The architectural features of the proposed design should be true to the architectural form and appropriate for the neighborhood. The neighborhood is mostly larger uniquely styled homes; this project proposes a unique architectural style while complementing the size and scale of other homes in the neighborhood.
 - Architectural features should be adequate and appropriate for the size of the building and should not be overstated. The curved gables reduce some of the visual impact and lessen the bulk while introducing a unique design element. The size and scale of the home due to the larger R1-8L zoned parcel is complimentary to the size of the parcel and the accents of the

carriage styled garage doors, arched windows, and porte-cochere are all relative to the size of the residence itself.

- The use of high-quality construction materials for long-term durability, the project proposes cedar shake shingle roofing material, standing seam metal roofing material atop the porches, clad exterior wood interior windows, and a stone veneer wrap and accents.
- Building Materials and finishes should harmonize and blend in those found in the neighborhood, the project proposes smooth stucco, which is found on many surrounding residences, while the stone veneer highlights maintain a uniqueness to the project.
- Roof forms should avoid excessive roof ridgelines, heights, hips, and valleys.
- A prominent front porch or entry should be provided, the project proposes a standing seam metal roof atop of front porch that is boarded by two large, stained wood post and brackets and a prominent double front door.
- The applicant will plant a 15-gallon tree in the front yard in accordance with the City Code.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMENDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*

- The subject project proposes a two-car garage and front landscaping that are in keeping with the intent of this title and the general plan of the City.

2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*

- The proposed project is a two-story residence, like the larger surrounding residences zoned R1-8L, proposes high-quality construction materials, and meets all design guidelines which will not impair the desirability of the neighborhood nor unreasonably interfere with the use and enjoyment of neighboring developments.

3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*

- The project proposes the redevelopment of a parcel by removing the current aging original residence with a newer residence that meets all zoning code and design guidelines. The resulting project will not be detrimental to the harmonious development contemplated by this title and the General Plan.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*

- This project is subject to all California Building Codes and City of Santa Clara Codes and Regulations which requires the project to not materially affect adversely the health, comfort, or general welfare of persons residing or working in the neighborhood, nor the general public.

5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:

- The project meets all zoning code and all Design Guidelines including:
 - The architectural features of the proposed design should be true to the architectural form and appropriate for the neighborhood
 - Architectural features should be adequate and appropriate for the size of the building and should not be overstated.
 - The use of high-quality construction materials for long-term durability
 - Building Materials and finishes should harmonize and blend in those found in the neighborhood
 - Roof forms should avoid excessive roof ridgelines, heights, hips, and valleys
 - A prominent front porch or entry should be provided.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction), in that the project single family residence being constructed on a single-family zoned property.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to 60 property owners within a 300-foot radius of the project site on April 30th, 2026. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for the demolition of an existing one-story residence and the construction of a new 4,829 square-foot two-story residence with four bedrooms and three and a half bathrooms, located at 108 Brookside Avenue.

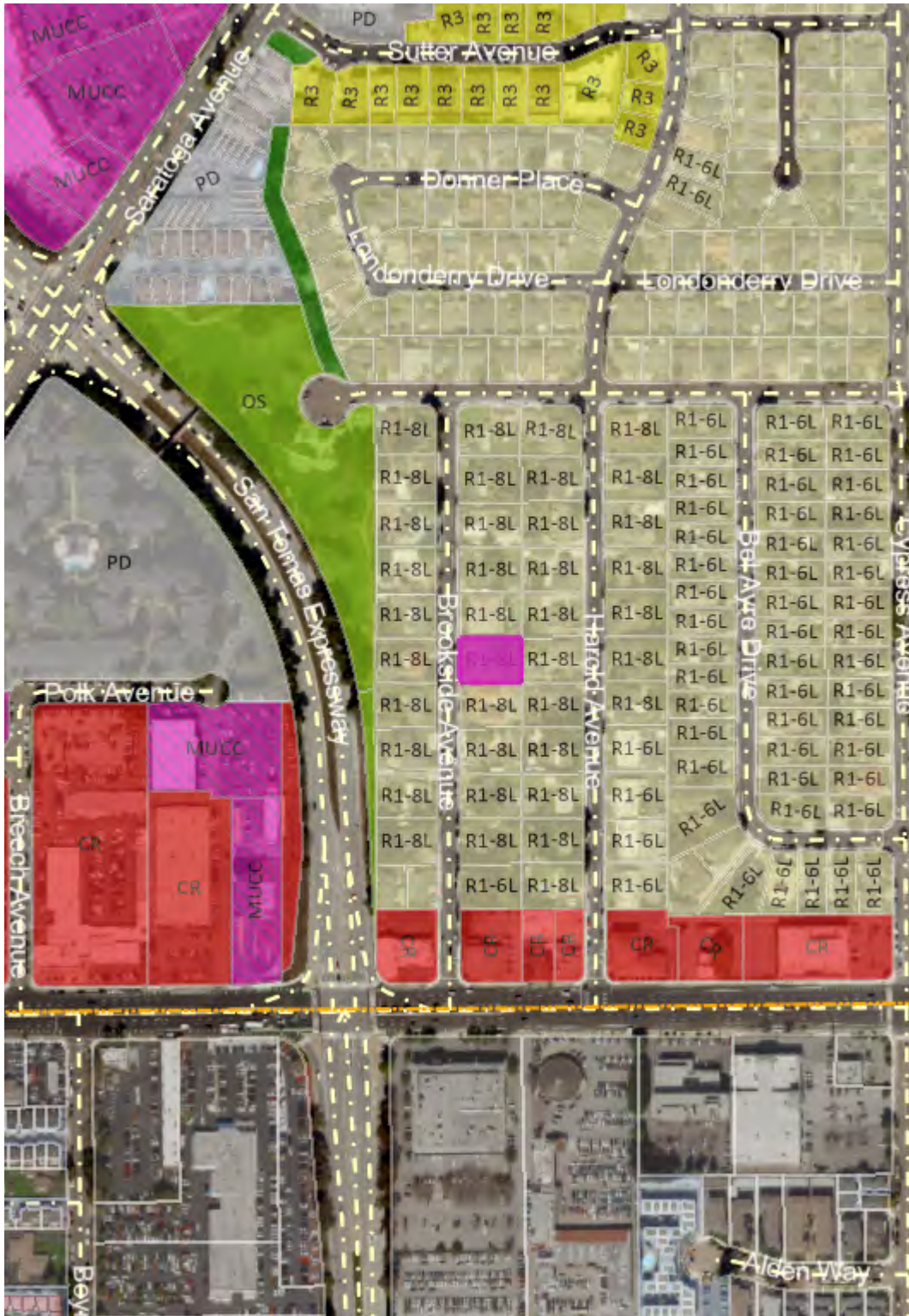
Prepared by: Daniel Sobczak, Associate Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department.

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans
5. Public Comment

Vicinity Map (Zoning) – 108 Brookside Avenue



Zoning

Land Parcels

- CR - Commercial Regional
- MUCC - Mixed Use Community Commercial
- OS - Parks/Open Space
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R1 - Single-Family Residential
- R3 - Medium Density Residential

Base Layers

Air Parcels



Land Parcels



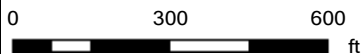
Streets



Notes:

PLN26-00121

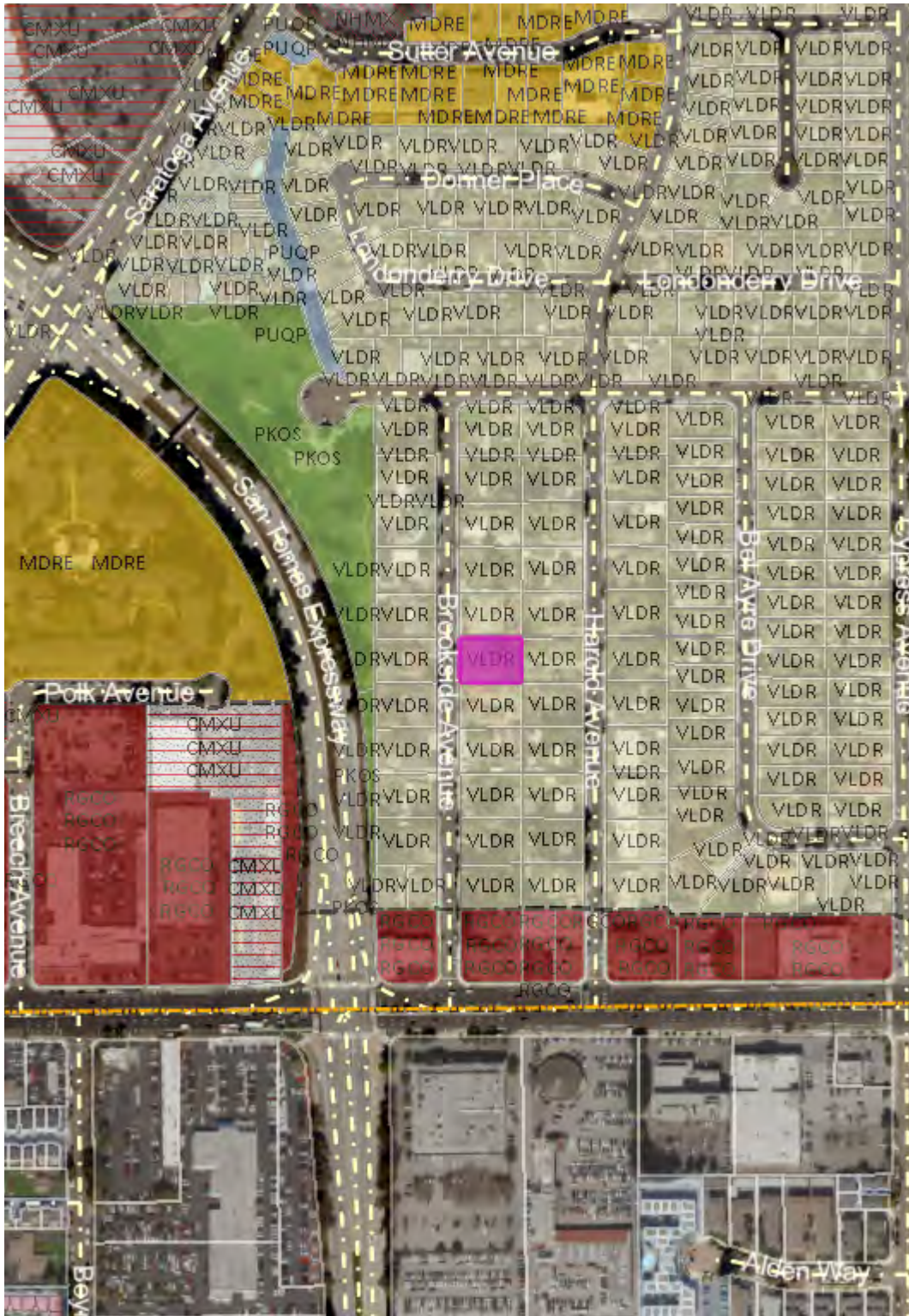
4/21/2026 2:27:19 PM



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

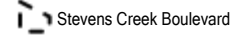


Vicinity Map (General Plan) – 108 Brookside Avenue

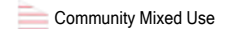
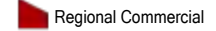


General And Specific Plans

Specific Plan Boundaries



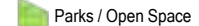
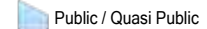
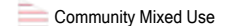
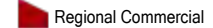
General and Specific Plans



Specific Plan Parcels



General Plan Phase II: 2015-2023



Base Layers

Air Parcels



Land Parcels



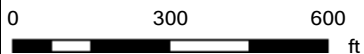
Streets



Notes:

PLN26-00121

4/21/2026 2:24:54 PM



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance (SFR/Duplex)

Project Address: 108 Brookside Avenue
Zoning: R1-8L

Project Number: PLN26-00121

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	13,700	--	8,000	Y
Building Square Footage (SF)				
1st Floor:	1,438	3,143	--	--
2nd Floor:	--	834	--	--
Porch/Patio:	--	560	--	--
Porte Cochere	--	497	--	--
Garage	--	629	--	--
Total (enclosed):	--	4,829	--	--
% of 2nd floor to 1st floor:	--	26%	66% max	Y
Building Coverage (%)				
Building Coverage (All):	11%	36%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor):	22	20	20	Y
(2nd floor):	--	25	25	
Left Side (1st floor):	10	6	5	Y
(2nd floor):	--	11	10	
Right Side (1st floor):	16	9	5	Y
(2nd floor):	--	14	10	
Rear (1st floor):	70	20	20	Y
(2nd floor):	--	25	20	
Height (FT)				
Main building:	n/a	25'	Max 25'	Y
# of Bedrooms/Bathrooms:	3/1	4/3.5	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				N
Off-street	2	2	2	Y
Common Living Area (SFR)	>25%	>25%	Min 25%	Y
Open Landscaped Area (Front):	>35%	>35%	Min 35%	Y

Conditions of Architectural Review Approval

PLN26-00121 / 108 Brookside Avenue

Architectural Review for the Demolition of an Existing One-Story Residence and the Construction of a new 4,829 Square-Foot Two-Story Residence with Four Bedrooms and Three and a Half Bathrooms, located at 108 Brookside Avenue.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is May 20, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DURING CONSTRUCTION

- P1. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P2. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P3. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P4. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P5. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P6. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

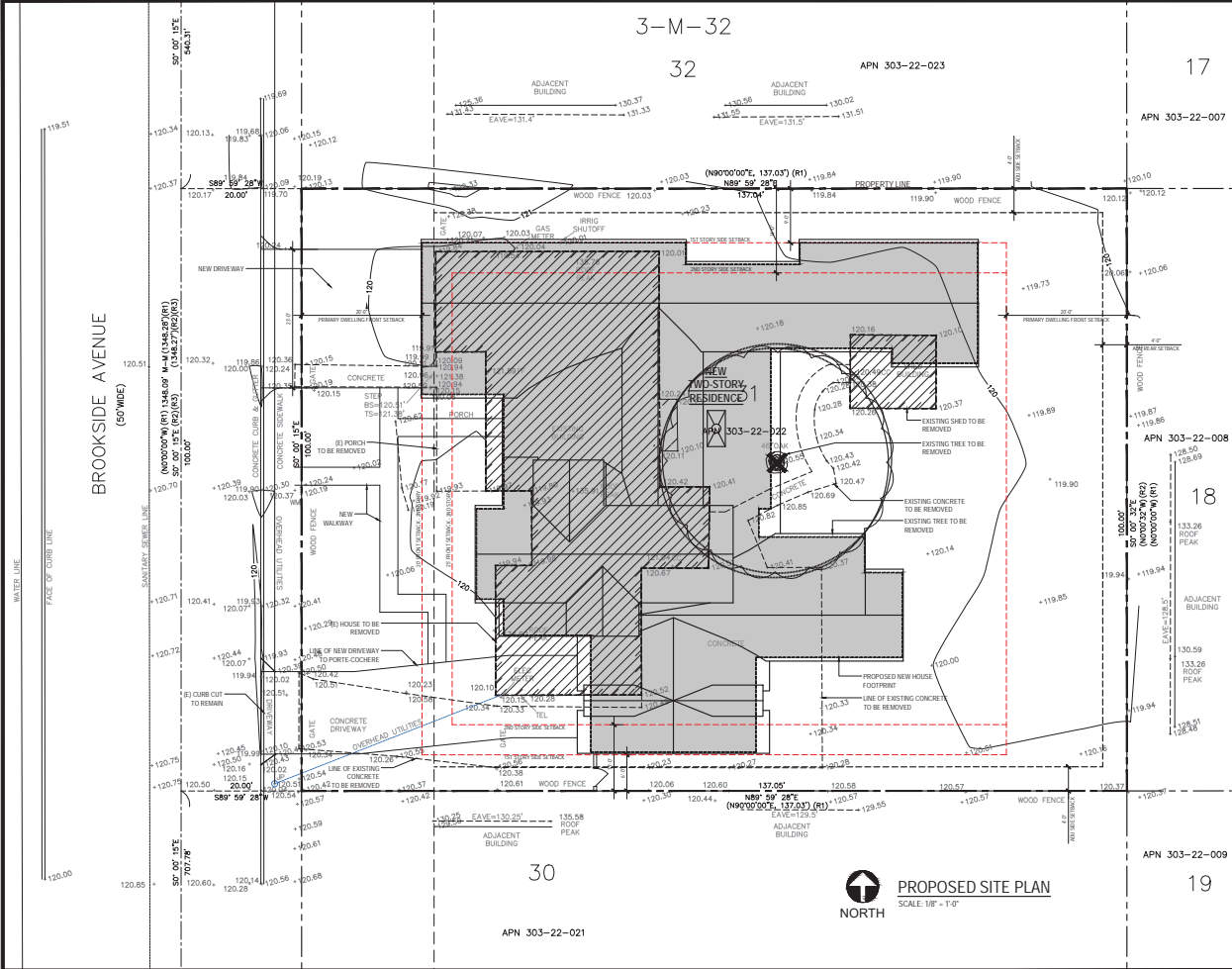
Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

PROPOSED SITE PLAN



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT DATA

PROJECT ADDRESS: 108 BROOKSIDE AV SANTA CLARA CA 95050
AP.N.: 303-22-022
LOT AREA: 13,700 sq. ft. (0.31 acres)
ZONING: R1-8L (SINGLE FAMILY, LARGER LOT AREA)
COUNCIL DISTRICT: DISTRICT 6
YEAR BUILT: 1940
OCCUPANCY: R-S
CONSTRUCTION TYPE: V-B
HISTORIC: NO
FLOOD HAZARD: NO
FLOOD ZONE: NO
GEHAZARD: NO

MAIN HOUSE SETBACKS:
 FRONT: 20'-0"
 FRONT, SECOND STORY: 25'-0"
 SIDE, SECOND STORY: 6'-0" AND 9'-0"
 REAR: 11'-0" AND 14'-0"
 20'-0"

MAIN HOUSE HEIGHT:
 NUMBER OF STORIES:
 ALLOWED: 25'-0", 2"
 EXISTING: 17'-10", 1
 PROPOSED: 25'-0", 2

STRUCTURAL COVERAGE:
 MAIN HOUSE: 10% (1,438 SF) / 23% (3,143 SF)
 SHED: 1% (173 SF) / 0 SF
 PORCHES: 0 SF / 4% (560 SF)
 PORTE-COCHERE: 0 SF / 4% (497 SF)
 GARAGE: 0 SF / 5% (629 SF)

TOTAL STRUCTURAL COVERAGE: 40% (5,480 SF) / 11% (1,611 SF) / 36% (4,829 SF)

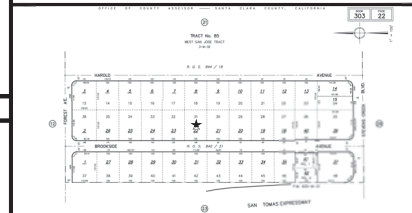
NOTE: DAYLIGHT PLANE LOCAL CODE ORDINANCE IS IN EFFECT
 *R1-8L SINGLE FAMILY ZONING DOES NOT SET FAR CAP. INSTEAD, MAXIMUM BUILDING COVERAGE IS 40%, PLUS HEIGHT, SETBACKS, AND OTHER STANDARDS. ALL COVERED STRUCTURES ARE INCLUDED IN THE TOTAL STRUCTURAL COVERAGE CALCULATION. NON-COVERED STRUCTURES DO NOT APPLY TO THE TOTAL STRUCTURAL COVERAGE CALCULATION.

	EXISTING	PROPOSED
MAIN HOUSE BEDROOMS	3	4
MAIN HOUSE BATHROOMS	1	3.5

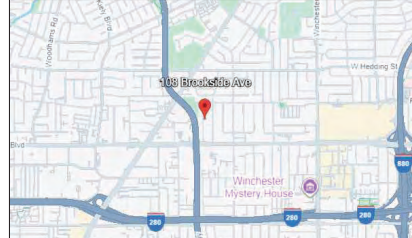
PROJECT DESCRIPTION

THE SCOPE OF WORK INCLUDES DEMOLISHING AN EXISTING 1611 SF ONE-STORY SINGLE FAMILY RESIDENCE WITH 3 BEDROOMS AND 1 BATH, AND REPLACING WITH NEW 4829 SF TWO-STORY SINGLE FAMILY RESIDENCE WITH 4 BEDROOMS, 3.5 BATHS, AND AN ATTACHED GARAGE.

PARCEL MAP



VICINITY MAP



PROJECT INFO.

OWNER: RASHMI BHANDARI + SREENATH KURUPATI
 108 BROOKSIDE AVE
 SANTA CLARA, CA 95050

DESIGNER: STUDIO THREE DESIGN
 CONTACT: BESS WIERSEMA
 bess@studiothree.com
 638 UNIVERSITY AVE.
 LOS GATOS, CA 95032
 PH: (408) 292-3252



INTERIORS
 REMODELS +
 ADDITIONS
 NEW CONSTRUCTION
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 253.399.1125

INDEX

- A1.1 COVER SHEET & PROPOSED SITE PLAN
- C1 TOPOGRAPHIC SURVEY
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.2 PROPOSED SECOND FLOOR PLAN
- A2.3 PROPOSED ROOF PLAN
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS

07 JANUARY 2026
 03 MARCH 2026
 SITE + ARCHITECTURAL
 PLANNING SUBMITTAL

PROPOSED EXTERIOR MATERIALS BOARD

CLASS 'N' SHINGLE ROOF CEDAR SHAKE - ASPEN - BRAVA	CLASS 'X' STANDING SEAM METAL ROOF MEDIUM BRONZE	PAINTED TRIM SHUTTERS, GUTTERS AND EAVES TAN COLOR	SMOOTH STUCCO WARM WHITE	CLAD EXTERIOR / WOOD INTERIOR WINDOWS - BRONZE COLOR	STONE VENEER

CODES USED

- 2025 California Building Code
- 2025 California Residential Code
- 2025 California Electrical Code
- 2025 California Mechanical Code
- 2025 California Plumbing Code
- 2025 California Energy Code
- 2025 California Fire Code
- 2025 California Existing Building Code
- 2024 International Existing Building Code
- 2025 California Green Building Standards Code

SCALE:
 COVER SHEET &
 PROPOSED SITE PLAN

A1.1



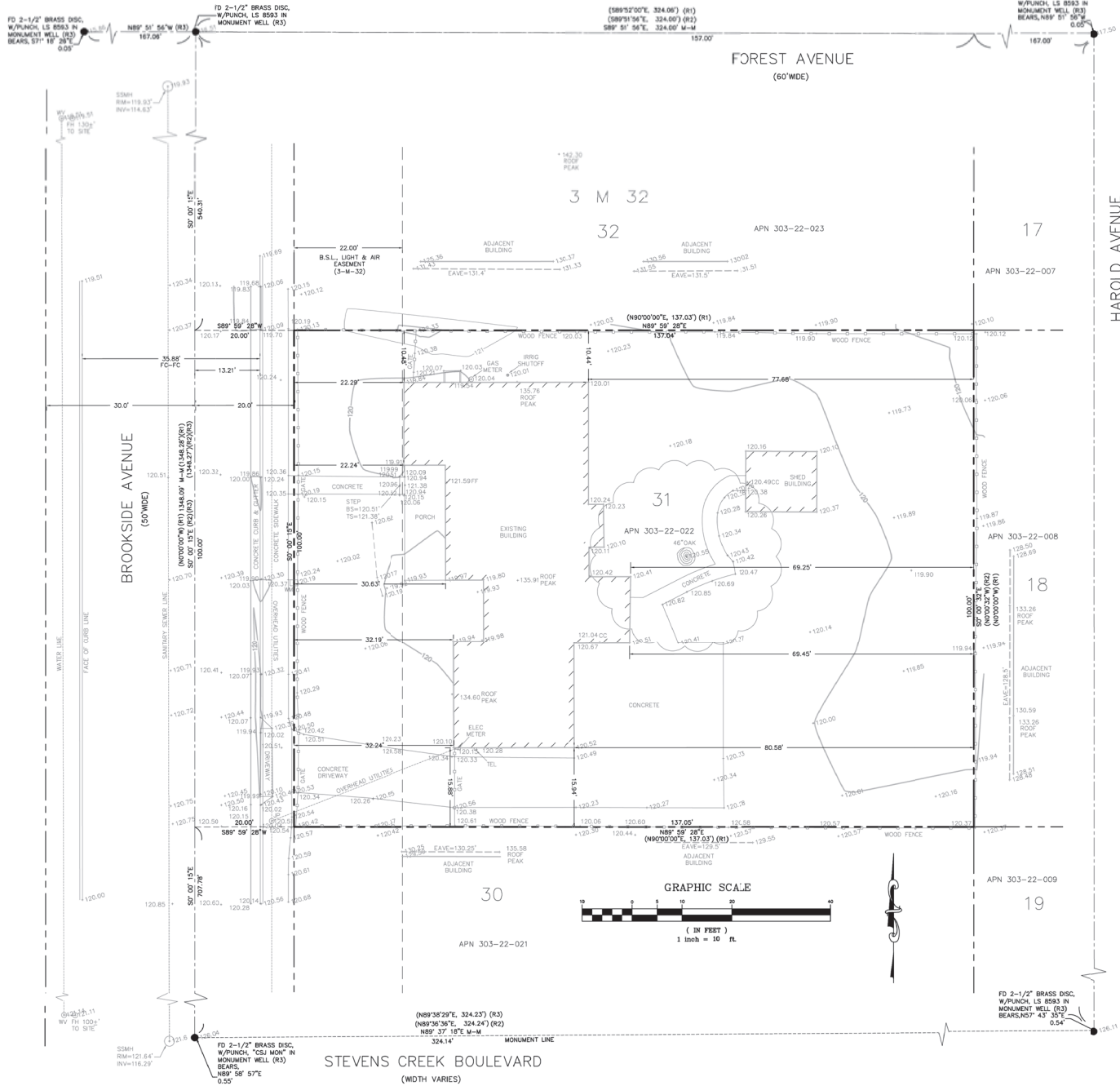
1009125
DATE: *Kevin M. Smith*
KEVIN M. SMITH, P.L.S. 8237

KEVIN SMITH
LAND SURVEYING
111 DELAVUE AVENUE
SANTA CRUZ, CA 95062
(831) 588-0154



TOPOGRAPHIC SURVEY
108 BROOKSIDE AVENUE, SANTA CLARA, CA 95050
APN 303-22-022

SHEET
C1
OF 1
DATE: OCTOBER 2025
JOB NO. K25032



BENCH MARK:
USGS BRASS DISC (#J879): ALONG STEVENS CREEK BOULEVARD; 0.1 MILES EAST OF THE INTERSECTION WITH SAN TOMAS EXPRESSWAY, WEST OF HAROLD AVENUE; 163 FEET EAST OF THE CENTERLINE OF BROOKSIDE AVENUE; 15 FEET NORTH OF THE NORTH CURB OF STEVENS CREEK BOULEVARD; ON TOP OF A LOW, 8 INCH WIDE CONCRETE RETAINING WALL; 5 FEET NORTH OF THE SOUTH END OF THE RETAINING WALL; PROJECTING 0.9 FEET ON THE WEST SIDE AND 0.5 FEET ON THE EAST SIDE OF THE WALL, AND ABOUT LEVEL WITH THE BOULEVARD. CITY OF SANTA CLARA.
ELEVATION = 125.77 (NAVD88)

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS AND THE BEARING OF THE MONUMENT LINE OF BROOKSIDE AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, RECORDED APRIL 19, 2011 IN BOOK 844 OF MAPS, PAGES 19-22, SANTA CLARA COUNTY RECORDS.
BEARING-NORTH 00°15'00" WEST

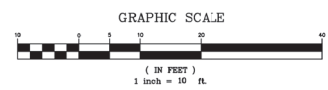
- LEGEND**
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT/RIGHT OF WAY LINE
 - MONUMENT LINE
 - ▨ BUILDING FOOTPRINT
 - JP JOINT UTILITY POLE
 - SSMH SANITARY SEWER MANHOLE
 - CO CLEANOUT
 - FF FINISH FLOOR
 - GFS GARAGE FINISH SLAB
 - AD AREA DRAIN
 - WM WATER METER
 - WM WATER METER
 - M-M MONUMENT TO MONUMENT
 - FOUND MONUMENT AS NOTED

REFERENCES:
(1) TRACT NO. 85, BOOK 3 OF MAPS AT PAGE 32
(2) RECORD OF SURVEY, BOOK 970 OF MAPS AT PAGE 5
(3) RECORD OF SURVEY, BOOK 844 OF MAPS AT PAGES 19-20

NOTE:
MEASURED DISTANCES FROM SIDE OF THE BUILDING TO THE PROPERTY LINES ARE TO THE FACE OF STUCCO.

NOTE:
THIS TOPOGRAPHIC MAP REPRESENTS THE CONDITIONS OF THE SITE AT THE TIME THE SURVEY WORK WAS COMPLETED AND SHOWS SURFACE OBJECTS ONLY. SUBSURFACE STRUCTURES, IF ANY, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, PILING, UNDERGROUND TANKS AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN.

ATTENTION:
THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.





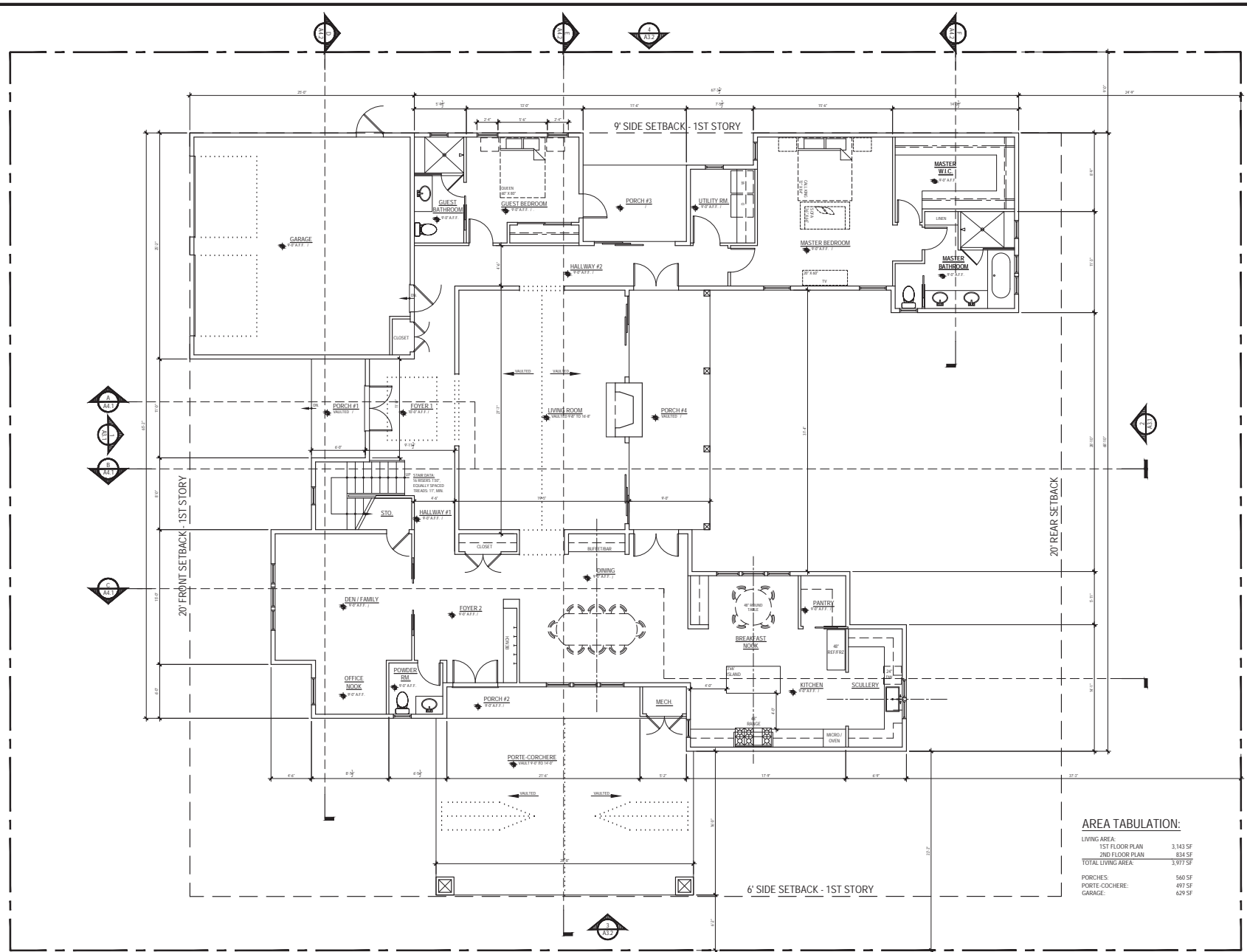
STUDIO THREE DESIGN
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 ADDITIONS
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 CALIFORNIA
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 F 253.399.1125



RASHM SREENATH
 108 BROOKSIDE AVE
 SANTA CLARA, CA 95050


APN: 303-22-022

07 JANUARY 2026
 03 MARCH 2026
 SITE + ARCHITECTURAL
 PLANNING SUBMITTAL



AREA TABULATION:

LIVING AREA:	
1ST FLOOR PLAN	3,143 SF
2ND FLOOR PLAN	834 SF
TOTAL LIVING AREA:	3,977 SF
PORCHES:	560 SF
PORTE-COCHERE:	497 SF
GARAGE:	629 SF

 **PROPOSED FIRST FLOOR PLAN**
 NORTH

SCALE: 1/4" = 1'-0"

PROPOSED
 FIRST FLOOR PLAN



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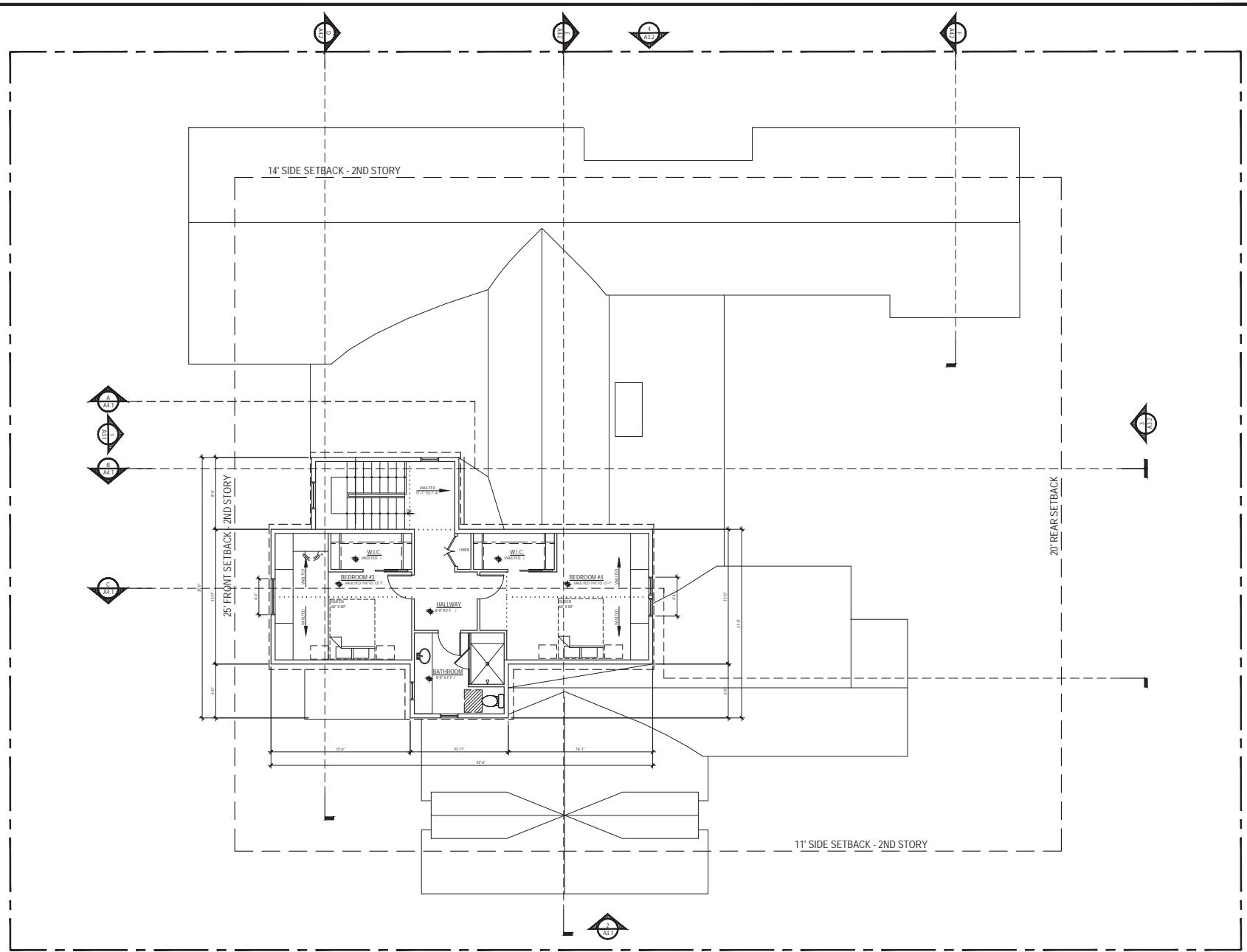
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SCALE: 1/4" = 1'-0"

PROPOSED
 SECOND FLOOR PLAN

A2.2



 **PROPOSED SECOND FLOOR PLAN**
 NORTH



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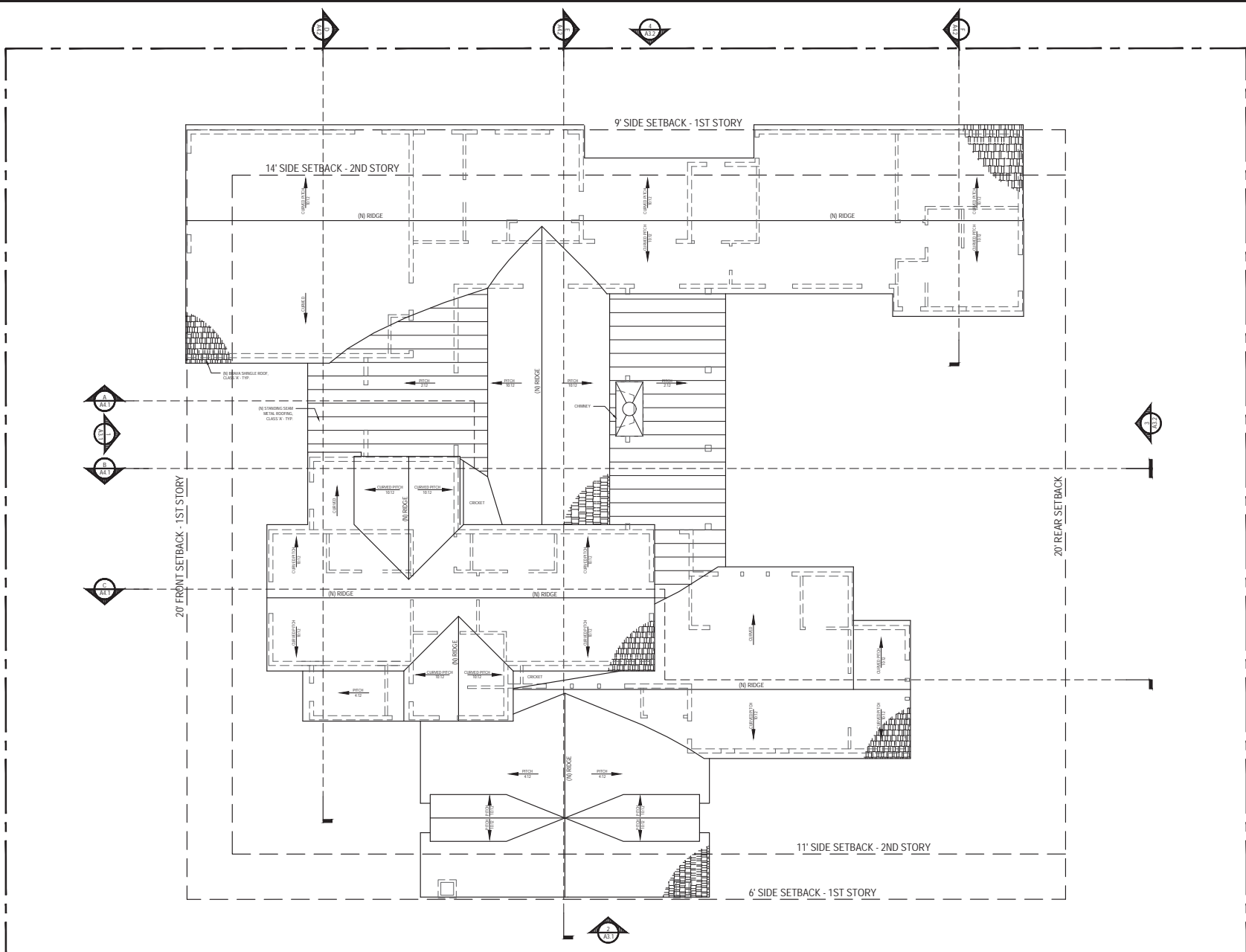
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 SITE - ARCHITECTURAL
 PLANNING SUBMITTAL

SCALE: 1/4" = 1'-0"

PROPOSED ROOF PLAN

A2.3



PROPOSED ROOF PLAN



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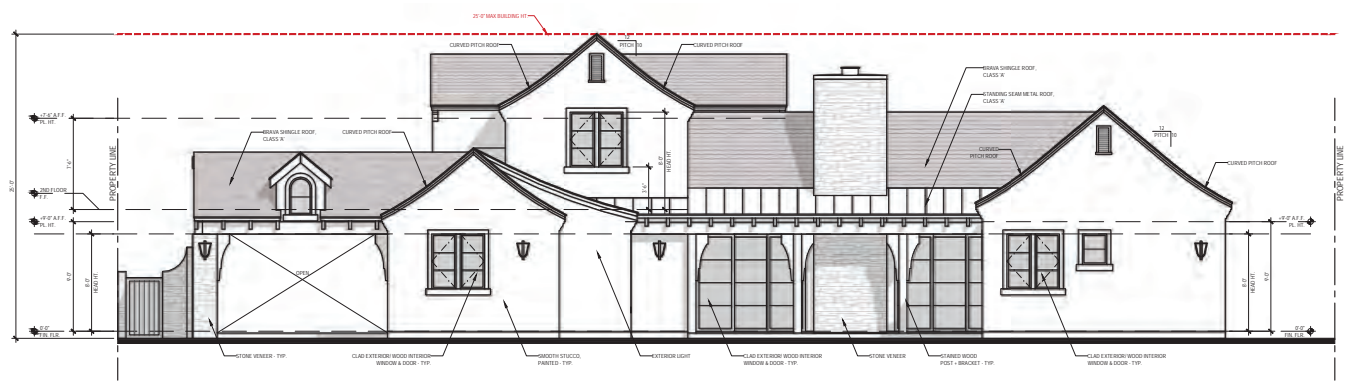
SCALE: 1/4" = 1'-0"

PROPOSED ELEVATIONS

A3.1



PROPOSED WEST ELEVATION - 1



PROPOSED EAST ELEVATION - 2



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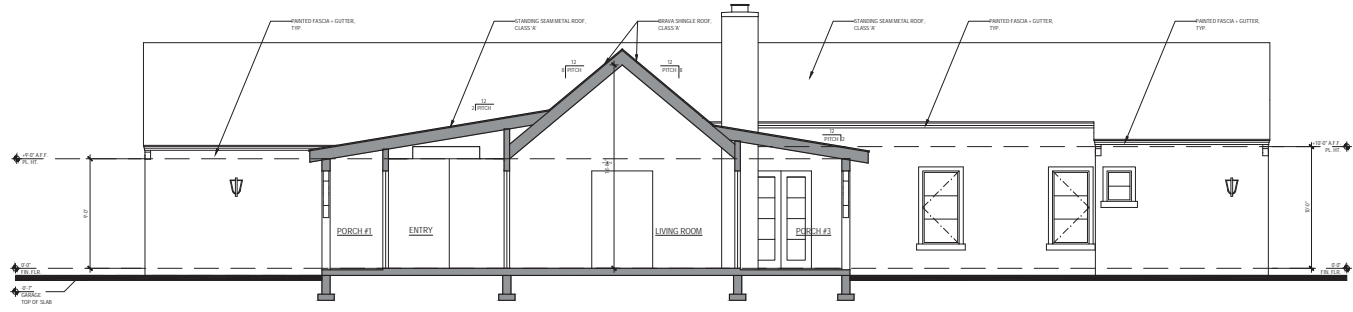
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03 MARCH 2026
SITE - ARCHITECTURAL
PLANNING SUBMITTAL

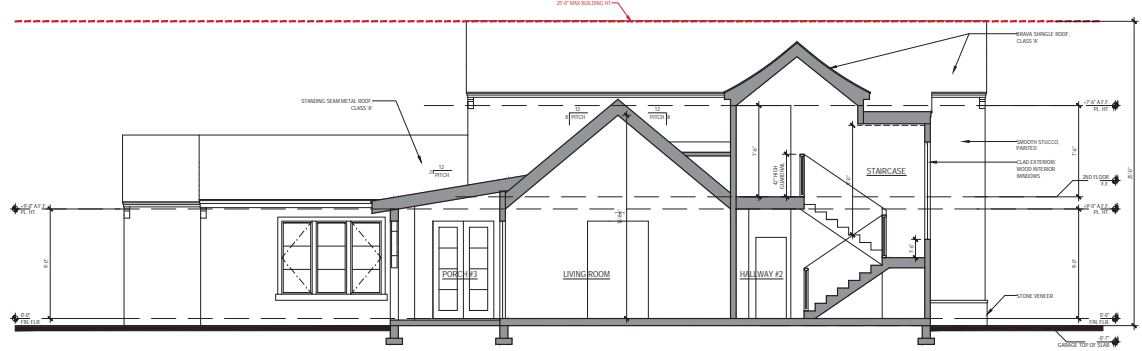
SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.1



BUILDING SECTION A
SEE STRUCTURAL DRAWINGS FOR ALL FRAMING & FOUNDATION REQUIREMENTS



BUILDING SECTION B
SEE STRUCTURAL DRAWINGS FOR ALL FRAMING & FOUNDATION REQUIREMENTS



BUILDING SECTION C
SEE STRUCTURAL DRAWINGS FOR ALL FRAMING & FOUNDATION REQUIREMENTS



STUDIO THREE DESIGN

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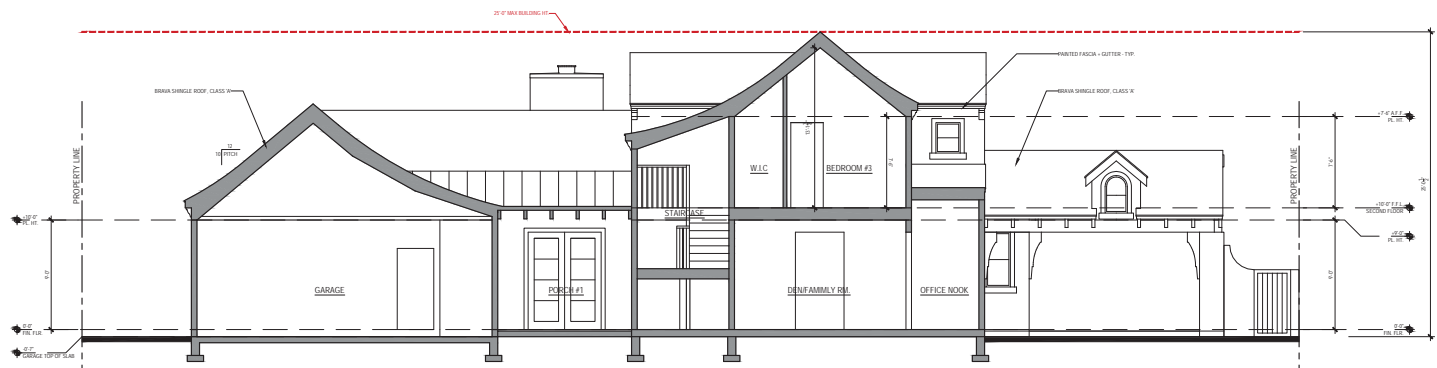
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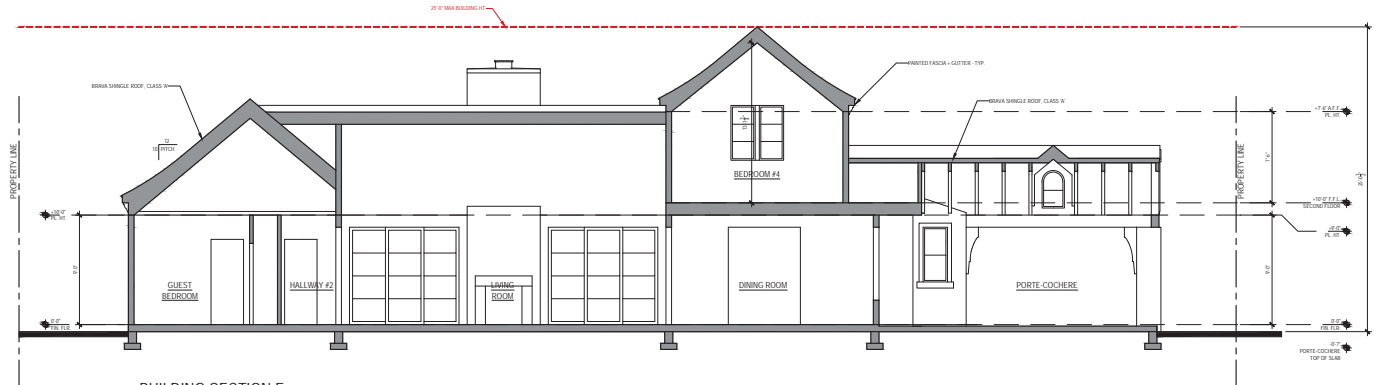
BUILDING SECTIONS

A4.2



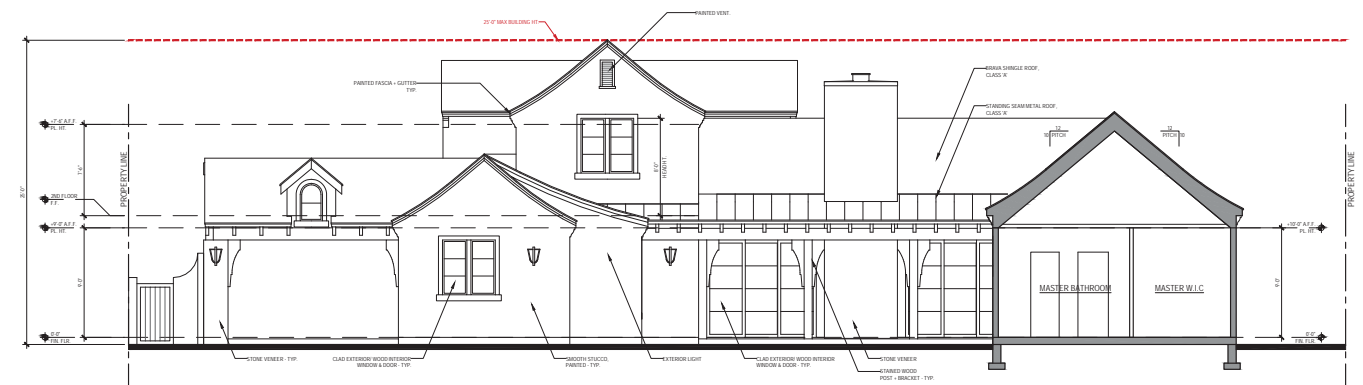
BUILDING SECTION D

SEE STRUCTURAL DRAWINGS FOR ALL FRAMING & FOUNDATION REQUIREMENTS



BUILDING SECTION E

SEE STRUCTURAL DRAWINGS FOR ALL FRAMING & FOUNDATION REQUIREMENTS



BUILDING SECTION F

SEE STRUCTURAL DRAWINGS FOR ALL FRAMING & FOUNDATION REQUIREMENTS

From: [Senthil Subramanian](#)
To: [Planning Public Comment: Daniel Sobczak](#)
Cc: [cakilandeswari](#); [Senthil Subramanian](#)
Subject: Comments on PLN26-00121 – 108 Brookside Ave
Date: Saturday, May 2, 2026 8:51:20 PM

You don't often get email from senthils1@yahoo.com. [Learn why this is important](#)

Hi Planning Division/Mr. Sobczak,

I am a neighboring resident to the project at 108 Brookside Avenue (File No. PLN26-00121). I am not opposed to the construction of a new home, but I would like to raise a few concerns given the proximity to my property which is to the immediate left.

First, I am concerned about potential privacy impacts from second-floor windows along the side elevation facing my home. I respectfully request consideration of privacy measures such as window relocation, increased sill heights, frosted glass, or landscaping buffers to minimize direct views into my yard and living spaces.

Second, I would appreciate confirmation that standard construction mitigation measures will be strictly enforced during demolition and construction, including dust control (e.g., water spraying and covered debris hauling), adherence to permitted construction hours, and general site cleanliness.

Additionally, could you please provide or direct me to the detailed architectural plans for this project, specifically showing window placement and elevations? Reviewing these details will help me better understand the potential impacts.

Thank you for your time and consideration.

Sincerely,

Senthil Subramanian & Akila Chandrasekharan
92, Brookside Ave, Santa Clara, CA 95050
Phone: (408) 807-3546



Agenda Report

26-336

Agenda Date: 5/13/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN26-00008) for the Demolition of an Existing One-Story Residence and the Construction of a New 2,050 Square-Foot One-Story Residence Located at 717 Flannery Street. CEQA Status: Exempt from CEQA per Section 15303 (Class 3 - New Construction).

File No.: PLN26-00008

Location: 717 Flannery, a 5,384 square foot lot, located about 200 feet from the corner of Stevenson Street and Flannery Street, APN: 293-17-045, Zoned R1-6L (Single-Family Residential)

Applicant: Moe Jalili

Owner(s): Guizhen Zhang

Request: **Architectural Review** for the demolition of an existing one-story residence and the construction of a new three bedroom two and only half bathroom 2,070 square-foot one-story residence

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The surrounding neighborhood mostly features original one-story single-family residences. See Vicinity Map in Attachment 1.
- The existing parcel contains the original 1950s one-story single-family residence of approximately 1,108 square-feet.
- Per the Santa Clara City Code 18.120(D)(1) 'New or Expanded Single Family Homes', and SCCC 18.120(D)(7) 'Demolition of an existing structure, other than a non-habitable accessory structure', the request requires Architectural Review approval through a Development Review Hearing.
- The project proposes to demolish the existing one-story residence and construct a new 2,050 square-foot residence with three bedrooms and two and a half bathrooms, with an attached Accessory Dwelling Unit (ADU) at the rear of the structure. Consistent with the City Code, the ADU can be considered ministerially through the building permit process.
- The proposed design is an updated single-family structure using composition shingle roofing, stucco with wood siding wainscoting at the base of the building along the front and wrapping partially around the side elevations. An entry includes double-doors and shallow porch in front of the entry.
- The project is consistent with the City's Single Family and Duplex Residential Design Guidelines (2014), including:

- The architectural features of the proposed design should be true to the architectural form and appropriate for the neighborhood. The neighborhood mostly features single story updated mid-century or single-story newer residences.
- Architectural features should be adequate and appropriate for the size of the building and should not be overstated. The design of the structure is simple and symmetrical.
- The use of high-quality construction materials for long-term durability. The applicant will clad the residence in soft white colored stucco with a wood siding accent wrapped around the base of the home and surrounding the front door.
- Building Materials and finishes should harmonize and blend in those found in the neighborhood. Stucco, composition shingle roofing and wood siding are found throughout the neighborhood.
- Roof forms should avoid excessive roof ridgelines, heights, hips, and valleys. The project proposes single story hip roof forms which are found throughout the neighborhood.
- A prominent front porch or entry should be provided. The project proposes a porch bound by two columns on either side.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:
 - The subject project proposes a two-car garage and front landscaping that are in keeping with the intent of this title and the general plan of the City.
- 2) That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:
 - The proposed project is a one-story residence, like the surrounding residences; proposes high-quality construction materials; and meets the design guidelines, which will not impair the desirability of the neighborhood nor unreasonably interfere with the use and enjoyment of neighboring developments.
- 3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:
 - The project proposes the redevelopment of a parcel by removing the current aging original residence with a newer residence that meets all zoning code and design guidelines. The resulting project will not be detrimental to the harmonious development contemplated by this title and the General Plan.

- 4) That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:
- This project is subject to all California Building Codes and City of Santa Clara Codes and Regulations which requires the project to not materially affect adversely the health, comfort, or general welfare of persons residing or working in the neighborhood, nor the general public.
- 5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:
- The project meets all zoning code and all Single Family and Duplex Design Guidelines including:
 - The architectural features of the proposed design should be true to the architectural form and appropriate for the neighborhood.
 - Architectural features should be adequate and appropriate for the size of the building and should not be overstated.
 - The use of high-quality construction materials for long-term durability
 - Building Materials and finishes should harmonize and blend in those found in the neighborhood.
 - Roof forms should avoid excessive roof ridgelines, heights, hips, and valleys.
 - A prominent front porch or entry should be provided.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 -- New Construction), in that the project involves a new single-family structure.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to 75 property owners and tenants within a 300-foot radius of the project site on April 30, 2026. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act

(CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction"), and **Approve** the Architectural Review for the demolition of an existing one-story residence and the construction of a new three bedroom two and a half bathroom 2,050 square-foot one-story residence

Prepared by: Daniel Sobczak, Associate Planner, Community Development Department

Approved by: Sheldon Ah Sing, Development Review Officer, Community Development Department.

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning) – 717 Flannery Street



Zoning

Land Parcels

- OS - Parks/Open Space
- PD - Planned Development
- R1 - Single-Family Residential

Base Layers

Site Addresses

- Single

Land Parcels

- Land Parcels
- Flood Control Easement
- Common Areas

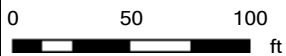
Streets

-

Notes:

PLN26-00008

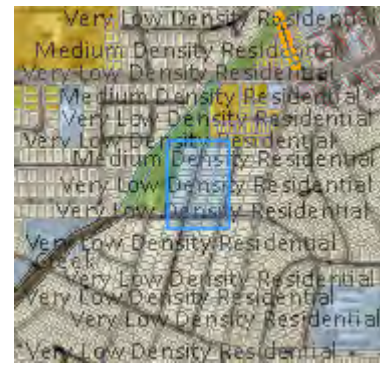
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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Vicinity Map (General Plan) – 717 Flannery Street



Base Layers

Site Addresses

- Single

Land Parcels

- Land Parcels
- Flood Control Easement
- Common Areas

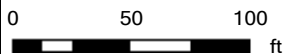
Streets

- Streets

Notes:

PLN26-00008

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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance

Project Address: 717 Flannery Street
Zoning: R1-6L

Project Number: PLN26-00008

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	5,384	5,384	6,000	N*
Building Square Footage (SF)				
1st Floor:	1,108	1,650	--	--
Porch/Patio:	--	25	--	
Garage:	--	400	--	--
Total:	1,108	2,050	--	--
Building Coverage (%)				
Building Coverage (All):	21%	39%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor):	--	20'-4"	20'	Y
Left Side (1st floor):	--	5'-5"	5'	Y
Right Side (1st floor):	--	5'-5"	5'	Y
Rear (1st floor):	--	23'	20'	Y
Attached Accessory Dwelling Unit Setbacks (FT)				
Side (left): (right):	--	5'-5" 5'-5"	4'	Y
Rear:	--	5'-1"	4'	Y
Height (FT)				
Main building:	--	18'-4"	25'	Y
# of Bedrooms/Bathrooms:	--	3/2.5	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				N
Off-street	2	2	2	Y
Common Living Area (SFR)	--	>25%	Min 25%	Y
Open Landscaped Area (Front):	--	>35%	Min 35%	Y

*Legal Non-Conforming

Conditions of Architectural Review Approval

PLN26-00008 / 717 Flannery Street

Architectural Review (PLN26-00008) for the Demolition of an Existing One-Story Residence and the Construction of a new 2,0575Square-Foot One-Story Residence located at 717 Flannery Street

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is April 15, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

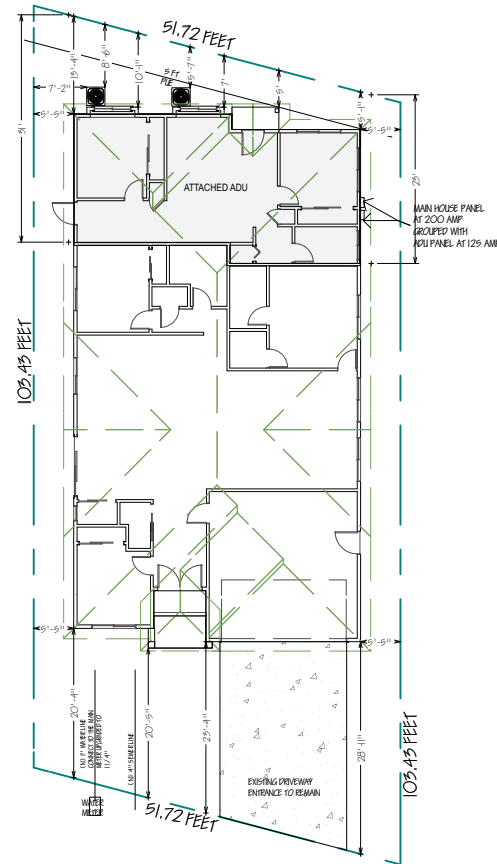
Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

GRADING and DEMO NOTES:

1. CONTACT PUBLIC WORKS. FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. N/A
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL WITH EXCEPTION:
 - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
11. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

TREE PROTECTION NOTES:

1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.



1 PROPOSE SITE PLAN
SC: 1/8" = 1'-0"



New House & Attached ADU
**717 Flannery St,
Santa Clara, CA 95051**

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE	DATE
1		

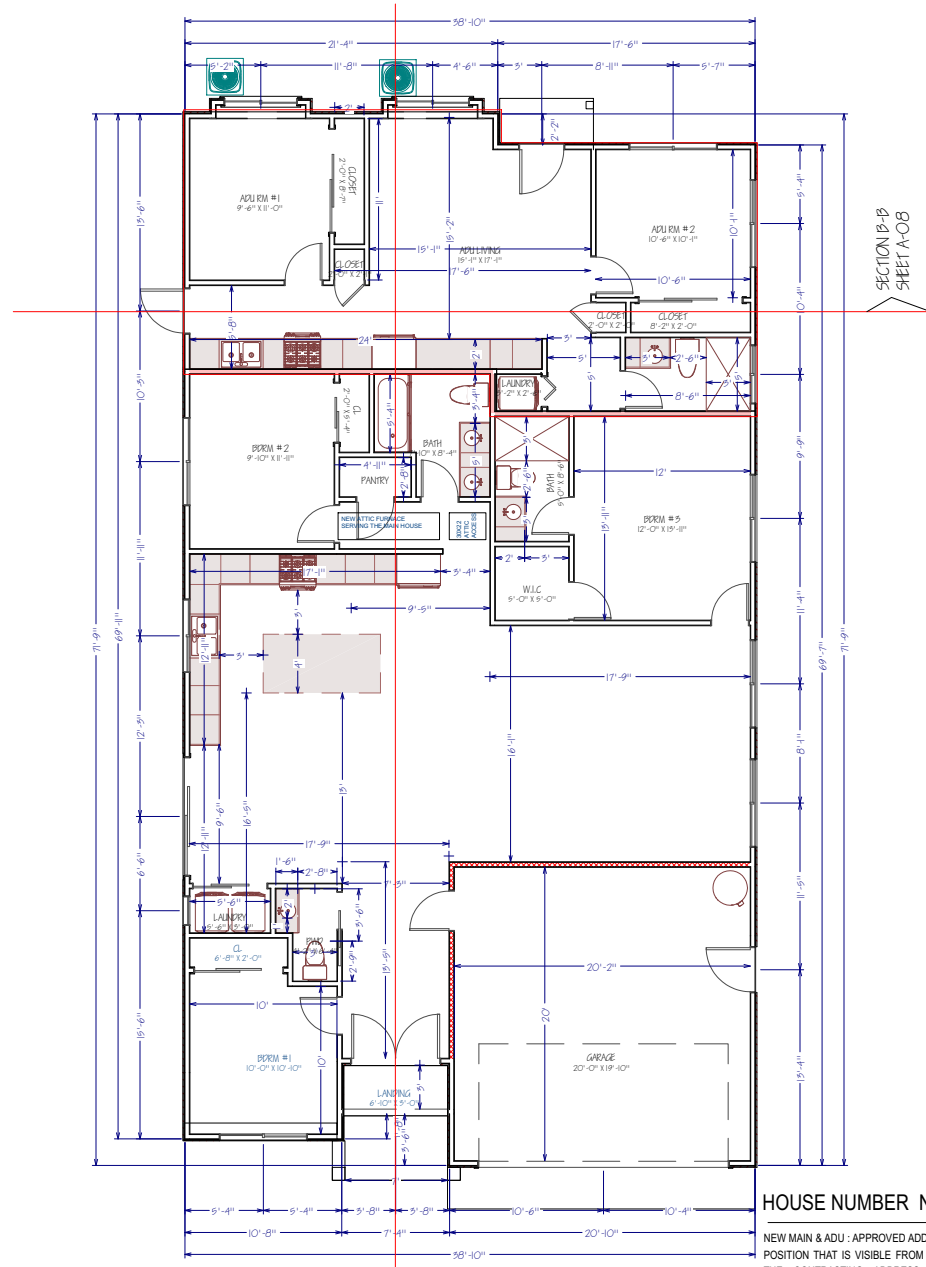
DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-8371
ZOHOCR.RAMING@GMAIL.COM

**SITE PLAN
CONDITIONS**

PROJECT ID: _____
DATE: _____ 2028
SCALE: _____
DRAWN BY: RAMIN ZOHOCR
NILSENE BUILDER INC.

SHEET NUMBER:
A-S1

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMING@GMAIL.COM



LEGEND:

- NEW CONSTRUCTION WALL
2x4 @ 16" O.C. WALL STUDS
OR PER STRUCTURAL DRAWINGS
- GARAGE WALL SEPARATION
HOUSE
- ADU & HOUSE FIRE WALL
- ATTACHED ADU
BOUNDARIES



New House & Attached ADU
**717 Flannery St,
 Santa Clara, CA 95051**
 717 Flannery St,
 Santa Clara, CA 95051

REVISION TABLE:	
NO.	DESCRIPTION
1	PLANNING RESPONSE SCHEMATIC

DESIGNER:
 NILSENE BUILDER INC.
 21080 HOMESTEAD ROAD,
 #216
 CUPERTINO, CA 95014
 TEL: 408-487-8071
 ZOHOCR.RAMING@GMAIL.COM

**PROPOSED
 FLOOR PLAN**

PROJECT ID: _____
 DATE: _____ 2020
 SCALE: _____
 DRAWN BY: RAMIN ZOHOCR
 NILSENE BUILDER INC.

SHEET NUMBER:
A-01

OWNER/DRP:
 DESIGNER:
 NILSENE BUILDER INC.
 RAMIN ZOHOCR
 ZOHOCR.RAMING@GMAIL.COM

HOUSE NUMBER NOTES:

NEW MAIN & ADU: APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)

1 PROPOSE FLOOR PLAN
 SC: 1/8" = 1'-0"

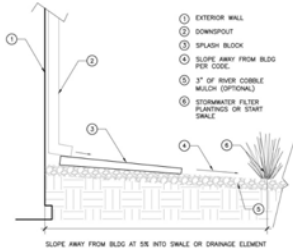
SECTION A-A
 SHEET A-0B

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

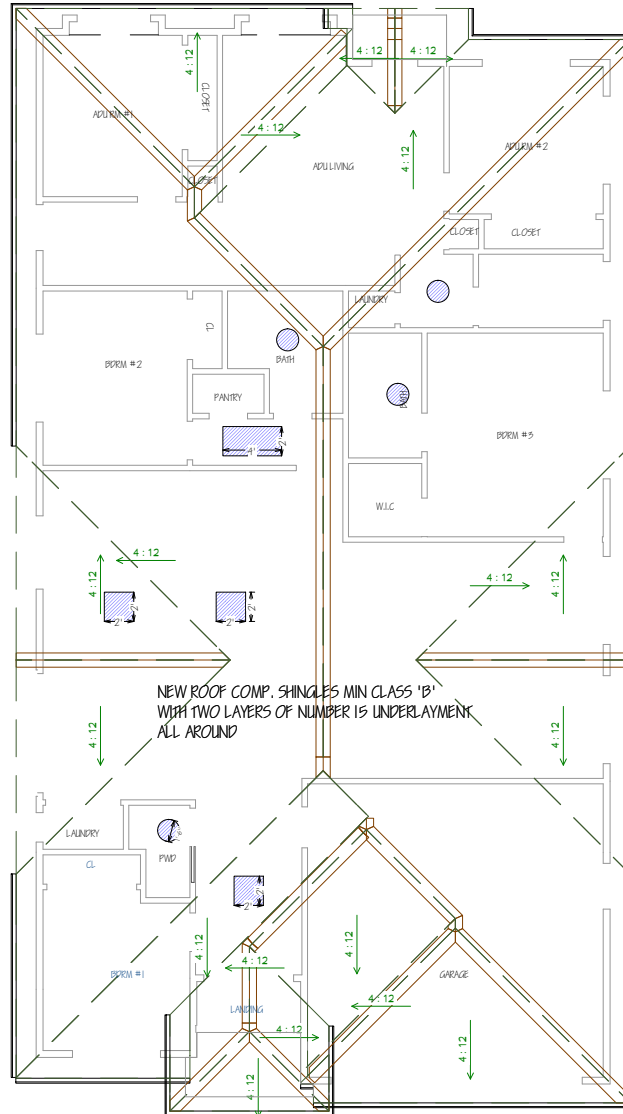
Fireblocking shall be provided in wood-framed construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.



CITY NOTE

RAIN RUNOFF WILL NOT DRAIN INTO NEIGHBORING LOT(S).
WATERS TO BE DRAINED INTO APPROVED DOWNSPOUTS WITH APPROVED SPLASH BLOCK AND SLOPED TO THE FRONT OF THE PROPERTY & STREET



ROOF PLAN PITCH AT 4:12
ALL AROUND

1 PROPOSE FLOOR PLAN
SC: 1/8" = 1'-0"

LEGEND:

NEW CONSTRUCTION WALL PER STRUCTURAL PLAN

PROPOSED SKYLIGHT & SUN TUBES
FIXED MODELS VELUX OR SIMILAR
ICC-ES REPORTER 4108



New House & Attached ADU

717 Flannery St,
Santa Clara, CA 95051

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:
PLANNING RESPONSE
SC0001



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-8071
ZOHOOOR.RAMING@GMAIL.COM

SHEET TITLE:

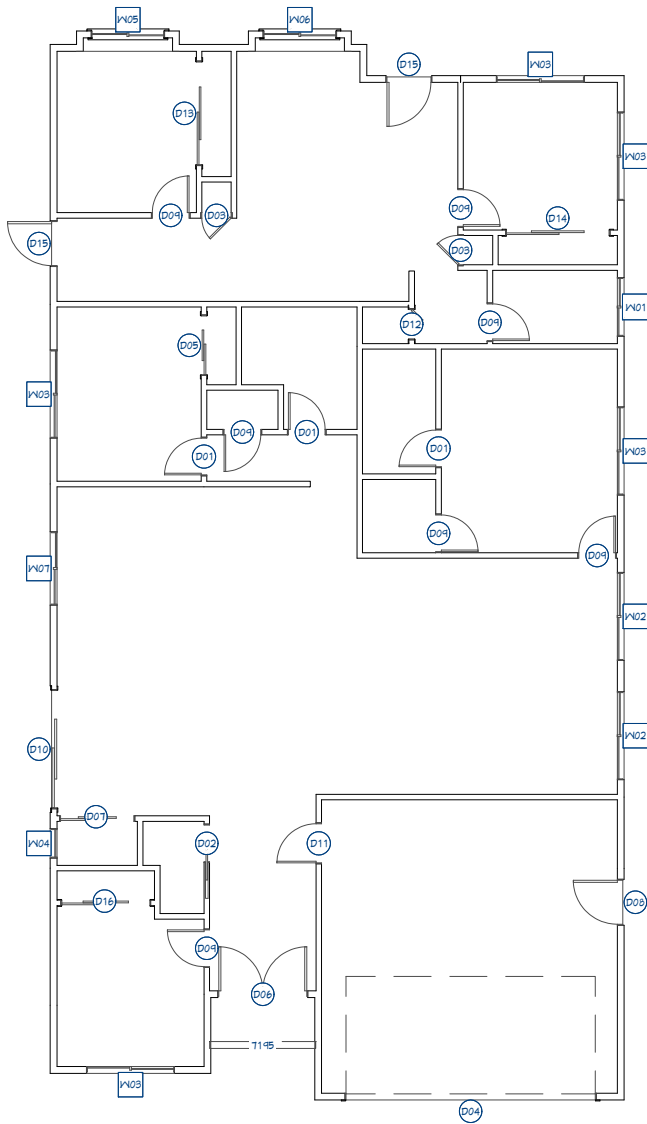
**ROOF PLAN
CONDITIONS**

PROJECT ID: _____
DATE: _____ 2028
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR
NILSENE BUILDER INC.

SHEET NUMBER:

A-02

OWNER:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMING@GMAIL.COM



WINDOW SCHEDULE									
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	BOTTOM	TEMPERED	DESCRIPTION	COMMENTS
W01	4030LS	1	4030LS	48"	36"	60"		LEFT SLIDING	
W02	6060LS	2	6060LS	72"	72"	24"		LEFT SLIDING	
W03	6054LS	2	6054LS	72"	64"	32"		LEFT SLIDING	
W04	2040SC	1	2040SC	24"	48"	48"		SINGLE CASEMENT-HL	
W05	5054LS	1	5054LS	60"	64"	0"		LEFT SLIDING	
W06	5054LS	1	5054LS	60"	64"	2"		LEFT SLIDING	
W07	5046LS	1	5046LS	60"	54"	42"		LEFT SLIDING	
W08	0030LS	4	0030LS	0"	36"	14"		LEFT SLIDING	

DOOR SCHEDULE							
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	2680	3	2680 L IN	36"	96"	HINGED-DOOR P04	
D02	2680	1	2680 L	36"	96"	POCKET-DOOR P04	
D03	2080	2	2080 L IN	24"	96"	HINGED-DOOR P04	
DD4	17080	1	17080	204"	96"	GARAGE-GARAGE DOOR P06	
D05	4080	1	4080 R IN	48"	96"	SLIDER-DOOR P04	
D06	6080	1	6080 L R EX	72"	96"	EXT. DOUBLE HINGED-GLASS PANEL	
D07	5080	1	5080 R IN	60"	96"	SLIDER-DOOR P04	
D08	3080	1	3080 R EX	36"	96"	EXT. HINGED-PANEL	
D09	2680	7	2680 R IN	36"	96"	HINGED-DOOR P04	
D10	8080	1	8080 L EX	96"	96"	EXT. SLIDER-GLASS PANEL	
D11	2880	1	2880 L IN	32"	96"	HINGED-DOOR P04	
D12	2080	1	2080 L	24"	96"	2 DR. BIFOLD-LOUVERED	
D13	7080	1	7080 L IN	84"	96"	SLIDER-DOOR P04	
D14	7080	1	7080 R IN	84"	96"	SLIDER-DOOR P04	
D15	3080	2	3080 R EX	36"	96"	EXT. HINGED-GLASS PANEL	
D16	6080	1	6080 R IN	72"	96"	SLIDER-DOOR P04	

WINDOW NOTES:

Every sleeping room shall have at least one operable emergency escape and rescue opening. Emergency escape and rescue opening shall open directly into a public way, or to a yard or court that opens to a public way. (R310.2).

The opening shall comply with the following minimums:

- a) Minimum net clear operable dimension of 24 inches in height (R310.2.1).
- b) Minimum net clear operable dimension 20 inches in width (R310.2.1).
- c) Minimum net clear operable dimension of 5.7 square feet in area. Grade floor or below grade openings shall have a minimum net clear opening of 5 sq ft (R310.2.1).
- d) The bottom of the clear opening shall not be greater than 44 inches measure from the floor. (R310.2.2).

**** NEWLY INSTALLED WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30 AND A MAXIMUM SHGC OF 0.23.**

1 PROPOSED OPENING PLAN
SC: 1/8" = 1'-0"

New House & Attached ADU

717 Flannery St,
Santa Clara, CA 95051

717 Flannery St,
Santa Clara, CA 95051



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#2 16
CUPERTINO, CA 95014
TEL: 408-487-8371
ZOHOCR.RAMIN@GMAIL.COM

SHEET TITLE:

OPENING SCHEDULES

PROJECT ID: _____
DATE: _____ 2026
SCALE: _____
DRAWN BY: _____ RAMIN ZOHOCR
NILSENE BUILDER INC.

SHEET NUMBER:

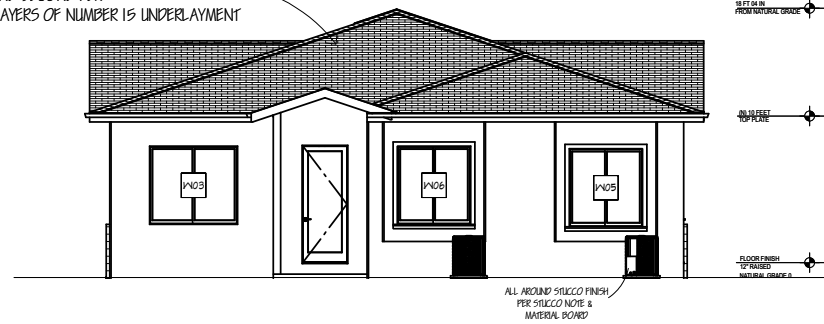
A-03

OWNER/DRP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMIN@GMAIL.COM

NEW ROOF COMP. SHINGLES MIN CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



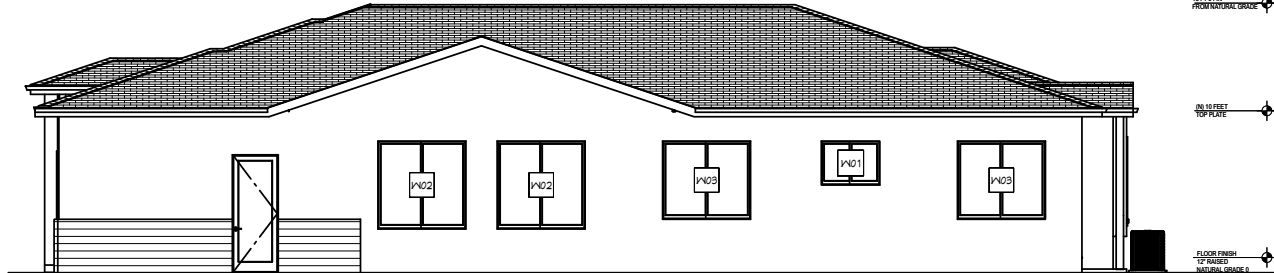
PROPOSED FRONT ELEVATION
SC: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SC: 1/4" = 1'-0"

ELEVATIONS NOTES:

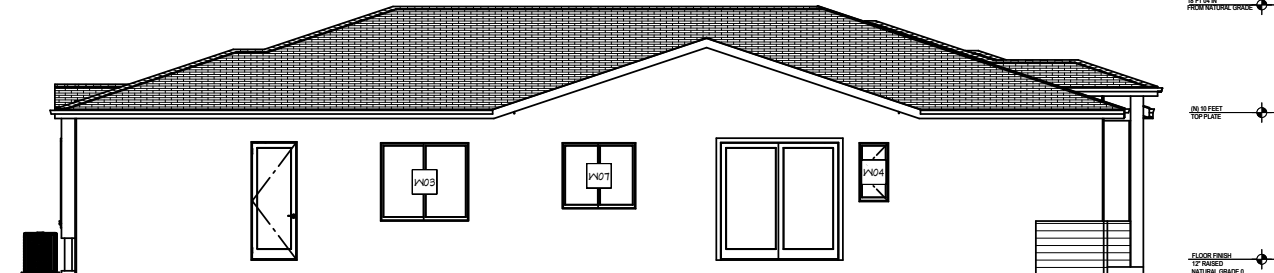
1. STUCCO 7/8" THICK IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER CORROSION RESISTANT METAL LATH OR WIRE LATH PER CRC R703.7.1
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.7.2.1
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.7.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.
7. R703.7.3 Water-resistive barriers. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall comply with Section R703.7.3.1 or R703.7.3.2.



PROPOSED RIGHT ELEVATION
SC: 1/4" = 1'-0"

VERTICAL GLASS, WALL COVERINGS, ROOF COVERINGS, AND FENESTRATION NOTES:

- a. Glassloped 15 degrees (0.26 rad) or less from vertical in windows, curtain and window walls, doors and other exterior applications shall be designed to resist the wind loads due to ultimate design wind speed, Vult, in Section 1609 for components and cladding per CBC §2404.1.
- b. Wall coverings, backing materials and their attachments shall be capable of resisting wind loads in accordance with Tables R301.2.1(1) and R301.2.1(2) per Wind Resistance CRC §R703.1.2.
- c. Roof coverings installed on roofs in accordance with Section 1507 that are mechanically attached or adhered to the roof deck shall be designed to resist the design wind load pressures for components and cladding in accordance with Section 1609.5.2 per CBC §1504.4.
- d. Exterior windows and sliding doors shall be tested and labeled per CBC §1709.5.1 and CBC §1709.5.2.
- e. Fenestration Products and Exterior Doors shall meet CEEnC Section 110.6 Mandatory Requirements listed in the Residential Certificate of Compliance (CFIR) form.
- f. Labeling per CEEnC §110.6(a)5A. Fenestration products and exterior doors shall: Have a temporary label for manufactured fenestration products and exterior doors. The temporary label shall not be removed before inspection by the enforcement agency.



PROPOSED LEFT ELEVATION
SC: 1/4" = 1'-0"

New House & Attached ADU

717 Flannery St,
Santa Clara, CA 95051

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
1	COMPLETED



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216 CUPERTINO, CA 95014
TEL: 408-487-8371
ZOHOCOR.RAMING@GMAIL.COM

SHEET TITLE:

PROPOSED ELEVATIONS

PROJECT ID: _____

DATE: _____ 2026

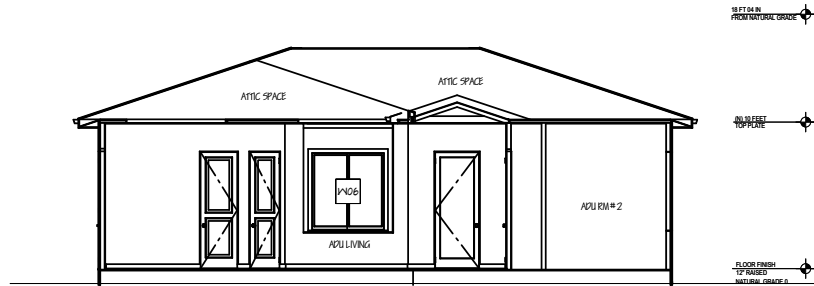
SCALE: _____

DRAWN BY: RAMIN ZOHOOOR NILSENE BUILDER INC.

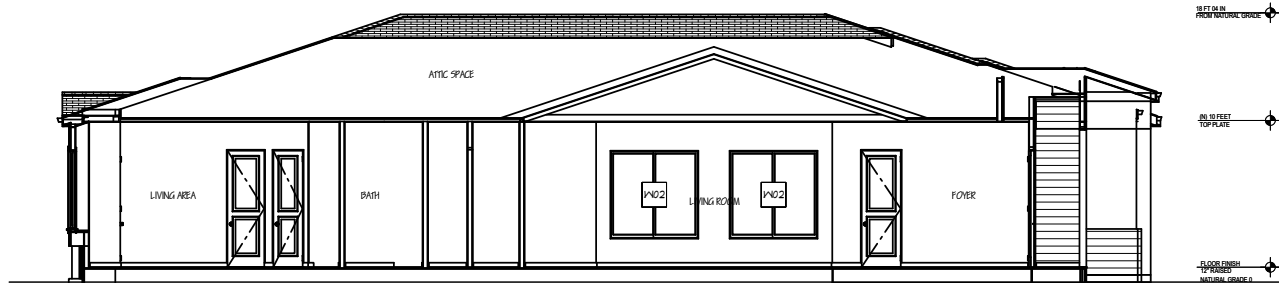
SHEET NUMBER:

A-04

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOCOR.RAMING@GMAIL.COM



PROPOSED CROSS SECTION A-A
SC: 1/4" = 1'-0"



PROPOSED CROSS SECTION B-B
SC: 1/4" = 1'-0"

New House & Attached ADU
717 Flannery St,
Santa Clara, CA 95051
717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:

NO.	REVISION	DATE
1	PLANNING RESPONSE	
2	COMPT	
3		
4		
5		
6		
7		
8		
9		
10		

NBI
NILSENE BUILDER INC.
DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-8071
ZOHOR.RAMIN@GMAIL.COM

PROPOSED SECTIONS

PROJECT ID: _____
DATE: _____ 2020
SCALE: _____
DRAWN BY: _____ RAMIN ZHOOR
NILSENE BUILDER INC.

SHEET NUMBER:
A-05

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZHOOR
ZOHOR.RAMIN@GMAIL.COM



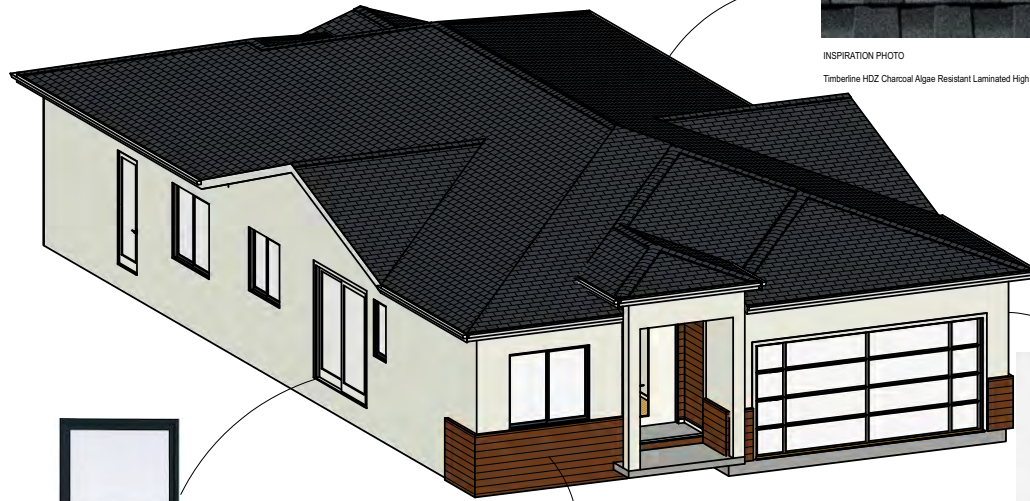
INSPIRATION PHOTO
EAVES
FASCIA BOARDS AND GUTTER BLACK COLOR



James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish
ZK10 FASCIA
JAMES HARDY - WITH ROYAL MOLDING



INSPIRATION PHOTO
Timberline HDZ Charcoal Algae Resistant Laminated High Definition Shingles



Milgard C650 Ultra™
Series Bergamo windows - "black bean color"
*ALL EXTERIOR WINDOWS TO BE FIBER GLASS
**NO WINDOW TRIM PROPOSED
*ALL EXTERIOR DOORS TO BE FIBER GLASS



FRONT PORCH WOOD SIDING MATERIALS



EXTERIOR STUCCO
BENJAMIN MOORE
ICICLE
2142-70
SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES



New House & Attached ADU

**717 Flannery St,
Santa Clara, CA 95051**

717 Flannery St,
Santa Clara, CA 95051

REVISION TABLE:

PLANNING RESPONSE	COMMENTS
▲	
▲	
▲	

NBI
NILSENE BUILDER INC.

DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-8371
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**MATERIAL
BOARDS**

PROJECT ID: _____
DATE: _____ 2026
SCALE: _____
DRAWN BY: _____ RAMIN ZOHOOOR
SHEET NUMBER: _____ NILSENE BUILDER INC.

A-06

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMIN@GMAIL.COM



Agenda Report

26-458

Agenda Date: 5/13/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN26-00107) for a 104 Square-Foot First-Story Addition and 875 Square-Foot Second Story Addition to the Existing 1,305 Square-Foot One-Story Single-Family Home Resulting in a 2,284 Square Foot Two-Story Residence with a 420 Square-Foot Detached Garage located at 758 Frederick Avenue. CEQA Status: Exempt from CEQA per Section 15301(e)(1) (Class 1 -- Existing Facilities).

File No.: PLN26-00107

Location: 758 Frederick Avenue: southwest of the intersection of Homestead Road and Winchester Boulevard: Zoned R1-6L Single Family Residential: APN 269-25-012

Applicant: Bob Bryant

Owner(s): Lisa Ross

Request: **Architectural Review** for a 104 Square-Foot First-Story Addition and new 875 Square-Foot Second Story Addition to the Existing 1,305 Square-Foot One-Story Single-Family Home Resulting in a 2,284 Square Foot Two-Story Residence with a 420 Square-Foot Detached Garage.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site is currently developed with a 1,305 square-foot one-story single-family residence constructed in 1951.
- Per the Santa Clara City Code 18.120(D)(1d), the request requires Architectural Review approval through a Development Review Hearing due to the addition of a second story.
- The project proposes a 104 square foot first floor addition to the first story and a 875 square foot second story addition to the existing 1,305 square foot single story residence. The design of the proposed addition includes cement plaster cladding and a shingle roof that match the existing home.
- The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:
 - The second-story front wall is set 33 feet one inch behind the front property line.
 - Second-story right and left side window glass is frosted.
 - The second floor is proposed to be 62% of the first floor, which is consistent with the guideline that second floor areas should not exceed 66% of the first-floor area.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.

- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposal provides the required two covered parking spaces at the front of the residence with a two-car garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed residence would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
 - Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood. Surrounding properties are one to two story homes with mixed architectural. The design includes cement plaster cladding and a shingle roof that match the existing home. No changes will be made to the first story front façade.
 - The proposed project is consistent with the scale found in the existing surrounding neighborhoods.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The second-story front wall is set 33 feet one inch behind the front property line.
- Second-story right and left side window glass is frosted.
- The second floor is proposed to be 62% of the first floor, which is consistent with the guideline that second floor areas should not exceed 66% of the first-floor area.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 -- Existing Facilities), in that the project is a small addition to the existing single-family residence.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

An early notification notice was sent to 62 property owners and tenants within a 300-foot radius within 30 days of the filing of the application. Staff received no comments from neighbors.

A public hearing notice was mailed to 62 property owners and tenants within a 300-foot radius of the project site on April 30, 2026. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a 104 Square-Foot First-Story Addition and new 875 Square-Foot Second Story Addition to the Existing 1,305 Square-Foot One-Story Single-Family Home Resulting in a 2,284 Square Foot Two-Story Residence with a 420 Square-Foot Detached Garage, located at 758 Frederick Avenue, subject to the findings and conditions of approval.

Prepared by: Summer Foss, Assistant Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning) - 758 Frederick Avenue



Zoning

Land Parcels

- CN - Neighborhood Commercial
- MUCC - Mixed Use Community Commercial
- MUNC - Mixed Use Neighborhood Commercial
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R2 - Low-Density Residential
- R3 - Medium Density Residential

Base Layers

- Air Parcels
- Land Parcels
- Common Areas

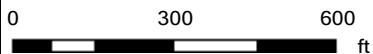
Streets

-

Notes:

PLN26-00107

4/16/2026 8:39:37 AM



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance

**Project Address: 758 Fredrick Avenue
Zoning: R1-6L**

Project Number: PLN26-00107

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	6,669	6,669	--	--
Building Square Footage (SF)				
1st Floor:	1,305	1,409	--	--
2nd Floor:	--	875	--	--
Garage:	420	420	400 SF	Y
Porch/Patio:	89	89	--	
Total:	1,725	2,704	--	--
% of 2nd floor to 1st floor:	--	62%	66% max	Y
Building Coverage (%)				
Building Coverage (All):	27.2%	28.8%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor): (2nd floor):	20'	31' 33'-1"	20' 25'	Y
Left Side (1st floor): (2nd floor):	3'-2"	3'-2" 26'-1"	5' 10'	N*
Right Side (1st floor): (2nd floor):	5'-1"	5' 10'	5' 10'	Y
Rear (1st floor): (2nd floor):	34'	30' 34'	20'	Y
Height (FT)				
Main building:	15'-4"	23'-5"	25'	Y
# of Bedrooms/Bathrooms:	2/ 	3/ 	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				N
Off-street	2	2	2	Y
Common Living Area (SFR)	14.3%	22.1%	Min 25%	Y

*Existing, non-conforming condition.

Conditions of Architectural Review Approval

PLN26-00107 / 758 Frederick Avenue

Architectural Review for a 104 Square-Foot First-Story Addition and new 875 Square-Foot Second Story Addition to the Existing 1,305 Square-Foot One-Story Single-Family Home Resulting in a 2,284 Square Foot Two-Story Residence with a 420 Square-Foot Detached Garage.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is May 20, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Tree Replacement (Alternative Means).** Trees permitted by the City for removal shall be replaced at a ratio of 1:1 with a minimum 15-gallon tree size pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)

DURING CONSTRUCTION

- P3. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.

- P4. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P5. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P6. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P7. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P8. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

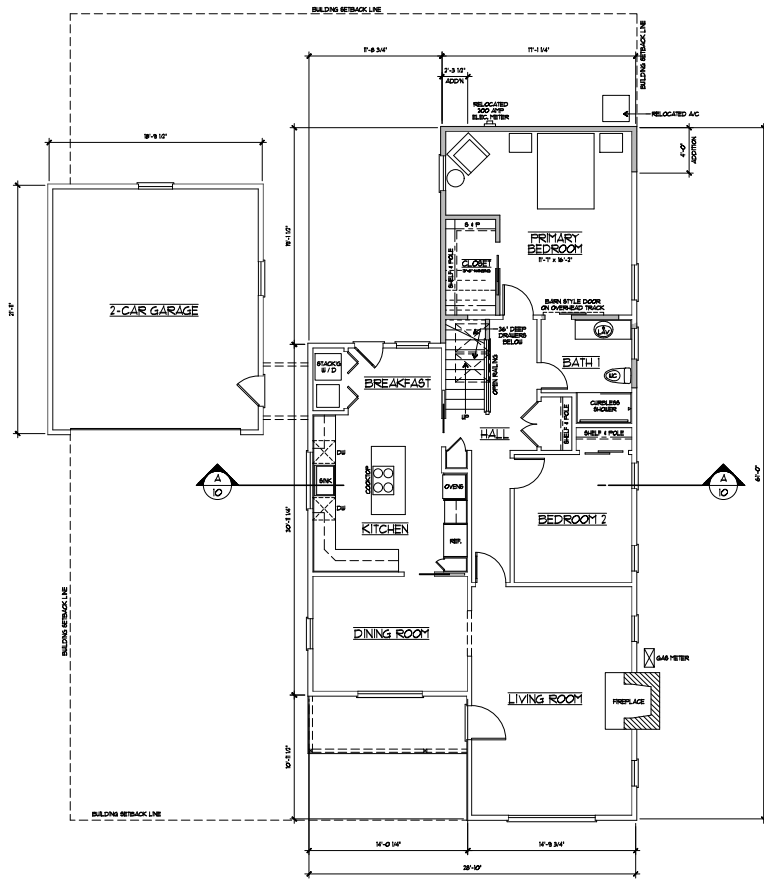
Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

FLOOR PLAN LEGEND

- ▬ INDICATES EXISTING WFD WALL
- ▬ INDICATES NEW WFD WALL



PROPOSED MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

REVISIONS	BY

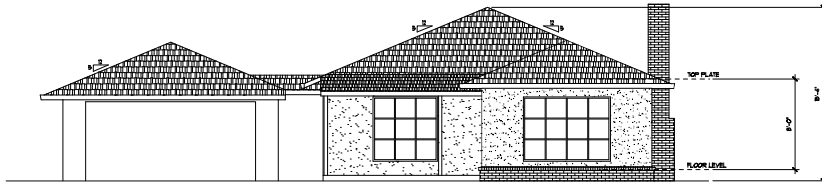
Slary Bryant Design Group, Inc.
 ARCHITECTS
 1000 AVENUE 100, SUITE 100
 SANTA CLARA, CALIFORNIA 95050
 TEL: 408.253.8888

PROPOSED MAIN LEVEL FLOOR PLAN

PROPOSED RENOVEL TO
THE ROSS RESIDENCE
 178 FREDERICK AVENUE
 SANTA CLARA, CALIFORNIA

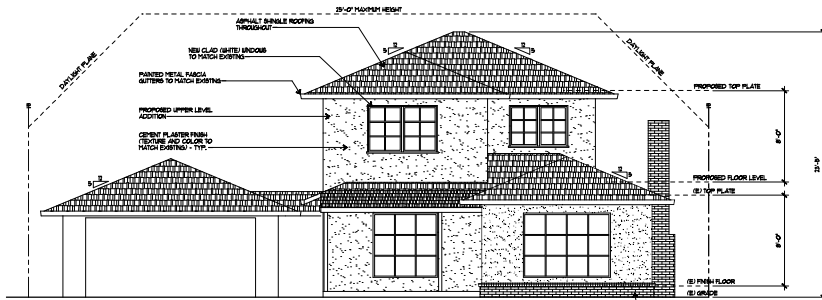
REV	DATE	DESCRIPTION
1	FEBRUARY 25, 2016	AS NOTED
2	25-07T	
3		

3



EXISTING FRONT ELEVATION

1/4" = 1'-0"



PROPOSED FRONT ELEVATION

1/4" = 1'-0"

MATERIAL COLORS

- MAIN BODY: SHERWIN WILLIAMS EMERALD RAIN REFRESH
- GUTTERS / TRIM: SHERWIN WILLIAMS BAMB COPPER
- WINDOWS: ANDERSEN (OR EQUAL) VINYL CLAD WHITE
- ROOFING: GAF (OR EQUAL) HEATSEAL 3000 ASPHALT SHINGLES

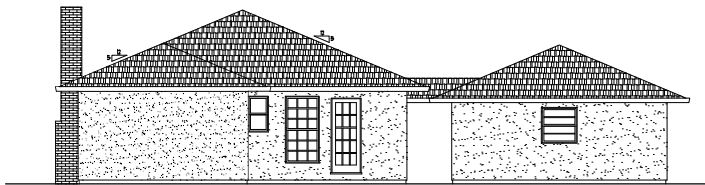
REVISIONS	BY
1. REVISED PER COMMENTS	REB

Slary Bryant Design Group, Inc.
ARCHITECTS
 1100 S. UNIVERSITY AVENUE, SUITE 100
 SANTA CLARA, CALIFORNIA 95050
 TEL: 408.253.4444

EXTERIOR ELEVATIONS

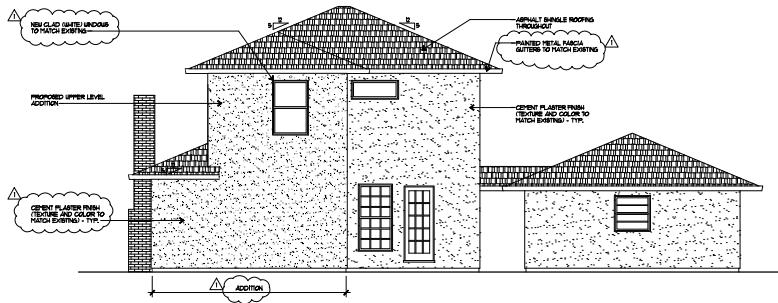
PROPOSED RENOVEL TO:
THE ROSS RESIDENCE
 1718 FREEDOCK AVENUE
 SANTA CLARA, CALIFORNIA

REB
 FEBRUARY 25, 2016
 AS NOTED
 25-CVT
 0



EXISTING REAR ELEVATION

1/4" = 1'-0"



PROPOSED REAR ELEVATION

1/4" = 1'-0"

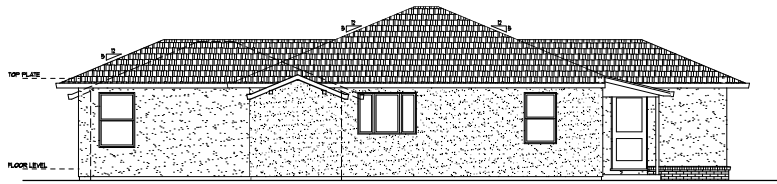
REVISIONS	BY
1. REVISED	REB

Slary Bryant Design Group, Inc.
 ARCHITECTS
 1000 AVENUE 100, SUITE 100
 SANTA CLARA, CALIFORNIA 95050
 TEL: 408.253.8888

EXTERIOR ELEVATIONS

PROPOSED RENOVEL TO:
THE ROSS RESIDENCE
 178 FREDERICK AVENUE
 SANTA CLARA, CALIFORNIA

REVISION:	REB
DATE:	FEBRUARY 25, 2016
AS NOTED	25-FRT
SHEET:	7



EXISTING LEFT SIDE ELEVATION

1st - 1st FLOOR



MATERIAL COLORS

MAIN BODY:	SHERMAN HILLERS EMERALD HUN REFRESH
GUTTERS + TRYS:	SHERMAN HILLERS BUBB COPPER
WINDOWS:	ANDERSEN (OR EQUAL) VINYL CLAD WHITE
ROOFING:	GIP (OR EQUAL) LEATHERED WOOD ASPHALT SHINGLES

PROPOSED LEFT SIDE ELEVATION

1st - 1st FLOOR

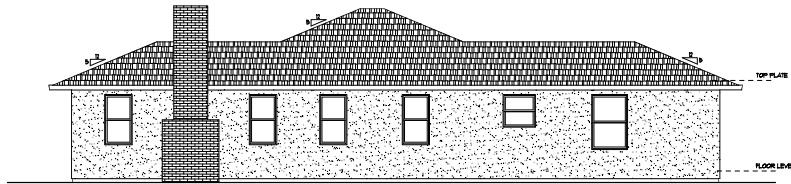
REVISIONS	BY
1. REVISED PER PLAN	REB

Slary Bryant Design Group, Inc.
 ARCHITECTS
 1001 EAST 10TH AVENUE, SUITE 100
 DENVER, COLORADO 80218

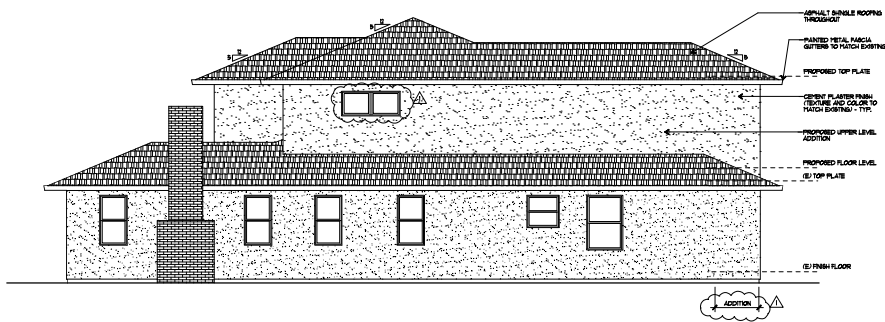
EXTERIOR ELEVATIONS

PROPOSED RENOVEL TO:
THE ROSS RESIDENCE
 178 FREEDOCK AVENUE
 SANTA CLARA, CALIFORNIA

REVISION:	REB
DATE:	FEBRUARY 25, 2016
AS NOTED	
25'-0" FT	
DATE:	



EXISTING RIGHT SIDE ELEVATION 1/4" = 1'-0"




PROPOSED RIGHT SIDE ELEVATION 1/4" = 1'-0"

REVISIONS	BY
1. REVISE PER COMMENTS	REB


Slary Bryant Design Group, Inc.
 ARCHITECTS
 1000 S. GARDEN AVENUE, SUITE 100
 SANTA CLARA, CALIFORNIA 95050
 TEL: 408.297.4444

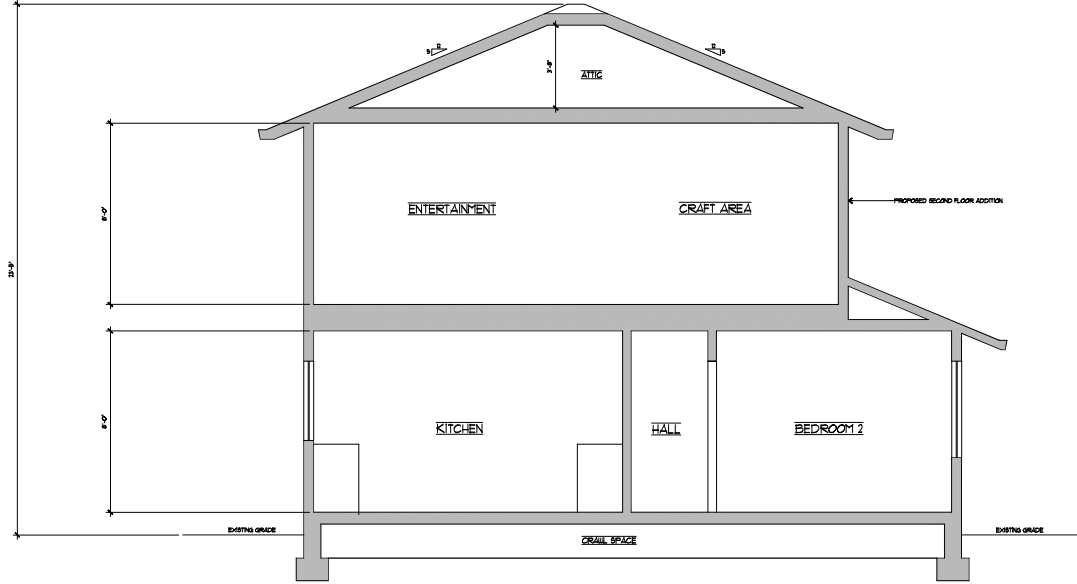
EXTERIOR ELEVATIONS

PROPOSED RENOVEL TO:
THE ROSS RESIDENCE
 1718 FREDERICK AVENUE
 SANTA CLARA, CALIFORNIA

REVISION:
 REB
 DATE:
 FEBRUARY 25, 2016
 SCALE:
 AS NOTED
 SHEET:
 25 OF 27
 DRAWN:


FLOOR PLAN LEGEND

▬ INDICATES NEW BUILD WALL



SCHEMATIC BUILDING SECTION A

1/2" = 1'-0"

REVISIONS	BY

Stacy Bryant Design Group, Inc.
 ARCHITECTS
 1000 S. UNIVERSITY AVENUE, SUITE 100
 SANTA CLARA, CALIFORNIA 95051
 TEL: 408.297.4000

SCHEMATIC BUILDING SECTION A

PROPOSED RENOVEL TO
THE ROSS RESIDENCE
 178 FREDERICK AVENUE
 SANTA CLARA, CALIFORNIA

REVISION	DATE
1	FEBRUARY 25, 2016
AS NOTED	25-FRT
10	



Agenda Report

26-459

Agenda Date: 5/13/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN25-00512) for the addition of 533 square feet to the existing one-story 1,487 Square-Foot One-Story Single-Family Home Resulting in a 2,020 Square Foot One-Story Residence located at 2179 Monterey Avenue. CEQA Status: Exempt from CEQA per Section 15301(e)(1) (Class 1 -- Existing Facilities).

File No.: PLN25-00512

Location: 2179 Monterey Avenue: southeast from the intersection of Calabazas Boulevard and Santa Maria Avenue, on the west side of Monterey Avenue: R1-6L Single Family Residential: APN 220-23-094

Applicant: Ramin Zohoor

Owner(s): Vladimir Katardjiev

Request: **Architectural Review** for converting 400 square feet of existing living area back to garage space and for the addition of 533 square feet to the existing 1,487-square-foot one-story residence, resulting in a 2,020-square-foot one-story residence.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site is currently developed with a 1,487 square-foot, one-story single-family residence constructed in 1955.
- Per the Santa Clara City Code 18.120(D)(7), the request requires Architectural Review approval through a Development Review Hearing due to the demolition of fifty percent of the existing residence.
- The project proposes converting 400 square feet of existing living area of former garage space back to a garage and for the addition of 533 square feet to the existing 1,487-square-foot one-story residence. The design of the proposed addition includes brick wainscotting, stucco cladding, a shingle roof, and new garage door oriented towards the street.
- To comply with the City's Single-Family and Duplex Residential Design Guidelines (2014) a condition was added for the addition of a front entry feature located above the front door without the use of posts or columns. The approved front entry feature shall be installed and maintained as shown on the revised plans.
- The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:
 - The front of the house is oriented toward the primary street frontage with an emphasis

on the front porch or entry element toward the street by architectural design and landscaping treatment.

- Brick wainscotting is proposed at the base.
- The first-story front wall is set 20 feet 8 inches behind the front property line.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposal provides the required two covered parking spaces at the front of the residence with a two-car garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed residence would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
 - Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood. Surrounding properties are one to two story homes with mixed architectural. The design of the proposed addition includes brick wainscotting, stucco cladding, a shingle roof, and new garage door oriented towards the street.
 - The proposed project is consistent with the scale found in the existing surrounding neighborhoods.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
- Brick wainscotting is proposed at the base.
- The first-story front wall is set 20 feet 8 inches behind the front property line

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 -- Existing Facilities), in that the project is a small addition to the existing single-family residence.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to 98 property owners within a 300-foot radius of the project site on April 30, 2026, here. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for an Architectural Review for converting 400 square feet of existing converted garage space back to a garage and for the addition of 533 square feet to the existing 1,487 square foot one story residence, resulting in a 2,020 square foot one story residence, located at 2179 Monterey Avenue, subject to the findings and conditions of approval.

Prepared by: Summer Foss, Assistant Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning) - 2179 Monterey Avenue



Zoning

Land Parcels

- OS - Parks/Open Space
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R3 - Medium Density Residential

Base Layers

Land Parcels

- Land Parcels
- Right of Ways
- Common Areas

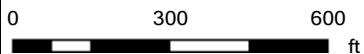
Streets

-

Notes:

PLN25-00512

4/16/2026 8:34:14 AM



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance

**Project Address: 2179 Monterey Avenue
Zoning: R1-6L**

Project Number: PLN25-00512

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	5,050	5,050	6,000	N
Building Square Footage (SF)				
1st Floor:	1,487	1,620	--	--
Garage:	--	400	400	Y
Porch/Patio:	--	--	--	--
Total:	1,487	2,020	--	--
Building Coverage (%)				
Building Coverage (All):	29.4%	40%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor):	20'-8"	20'-8"	20'	Y
Left Side (1st floor):	5'	5'	5'	Y
Right Side (1st floor):	9'	9'	5'	Y
Rear (1st floor):	17'	17'	20'	N
Height (FT)				
Main building:	14'	14'-8"	25'	Y
# of Bedrooms/Bathrooms:	3/2	3/3	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				N
Off-street	--	2	2	Y
Common Living Area (SFR)	--	72%	Min 25%	Y

Conditions of Architectural Review Approval

PLN25-00512 / 2179 Monterey Avenue

Architectural review for converting 400 square feet of existing converted garage space back to a garage and for the addition of 533 square feet to the existing 1,487 square foot one story residence, resulting in a 2,020 square foot one story residence located at 2179 Monterey Avenue.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is May 20, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Tree Replacement (Alternative Means).** Trees permitted by the City for removal shall be replaced at a ratio of 1:1 with a minimum 15-gallon tree size pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)
- P3. **Front Entry Feature.** The owner or designee shall revise the project plans to include a front entry feature located above the front door without the use of posts or columns. The approved front entry feature shall be installed and maintained as shown on the revised plans.

DURING CONSTRUCTION

- P4. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P5. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P6. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P7. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P8. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P9. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

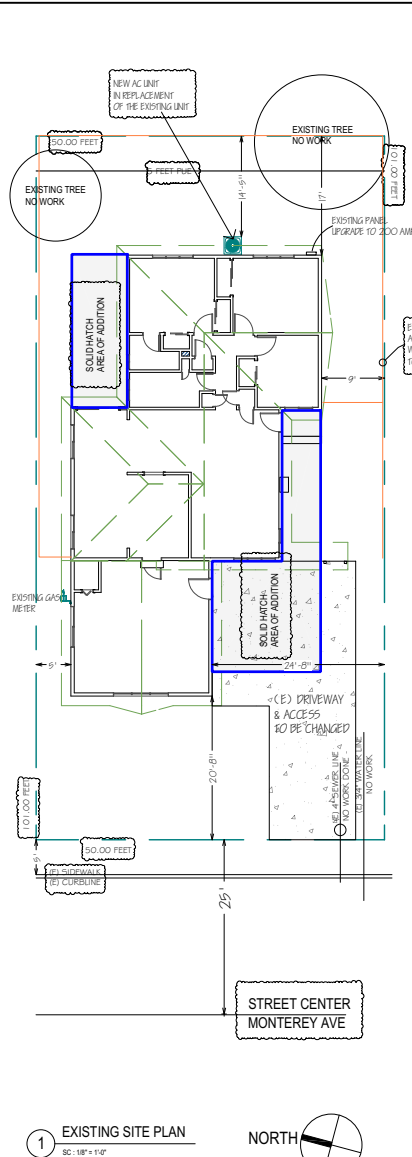
Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

GRADING and DEMO NOTES:

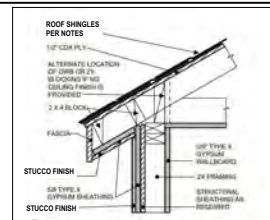
- CONTACT PUBLIC WORKS FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
- ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- THE CONTRACTOR SHALL REVIEW STD. DETAIL 64 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- NA
- TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
- ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
- PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
- PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL, WITH EXCEPTION:
- IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
- (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

TREE PROTECTION NOTES:

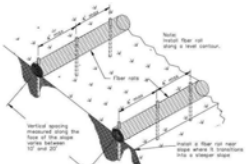
- A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
- ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
- NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
- IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
- TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
- THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
- FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
- THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
- ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
- NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
- TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.



1 EXISTING SITE PLAN
SC: 1/8" = 1'-0"



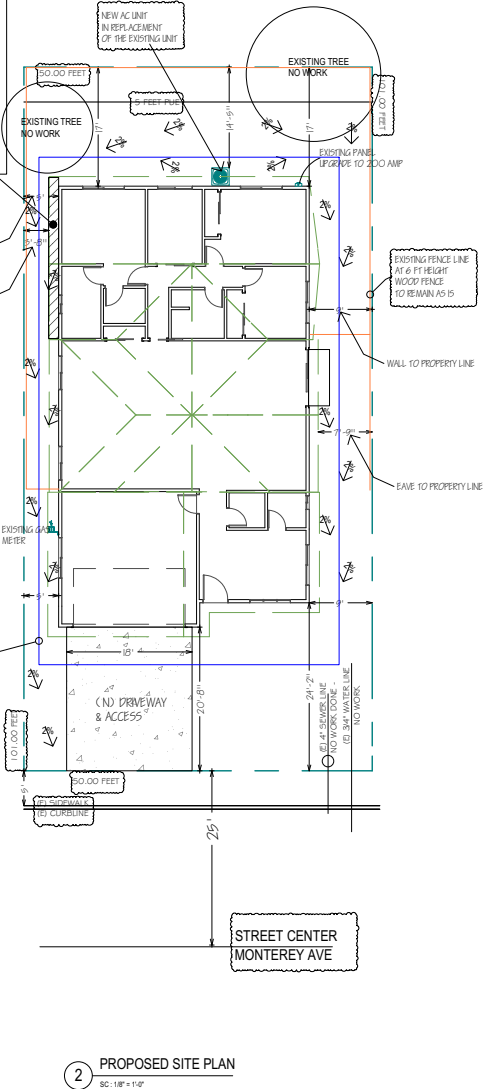
D1 TYPICAL - FIRE RATED EAVE & WALL
NO OPENING UNDER EAVE ON THIS SIDE
SOLID HATCH
FULL EAVE AND WALL FIRE RATED
PER DETAIL PROVIDED



D2 FIBER ROLL AT ADDITION AREA - FOR DRAINAGE

DRAIN PATTERN AT ADDITION INTO REAR LANDSCAPE AREA FIBER ROLL PER DETAIL D2 DURING CONSTRUCTION

THIS DESIGN HAS ACCOUNTED FOR ANY DEDICATED EASEMENTS THAT MAY BE ON THE PROPERTY. EASEMENTS HAVE BEEN VERIFIED ON TITLE REPORT, & TRACT MAPS.



2 PROPOSED SITE PLAN
SC: 1/8" = 1'-0"

REMODELING FOR
2179 Monterey Ave RESIDENCE

2179 Monterey Ave
Santa Clara, CA 95051

REVISION TABLE

1	PLANNING RESPONSE I

DESIGNER:
RAMIN ZOHOOOR
DONE RIGHT HOME REMODELING
1825 DELA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408.497.5071
EMAIL: ZHOOR.RAMIN@GMAIL.COM

SHEET TITLE
SITE PLAN CONDITIONS

PROJECT ID:
DATE: 2025
SCALE:
DRAWN BY: DONE RIGHT HOME REMODEL (RZ)

SHEET NUMBER:
A-S1

OWNERSHIP:

***** SHOWER AND BATH GLASS DOORS SHALL BE TEMPERED OF ALL BATHROOMS.**

CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEADS DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING TO THE SPRAY. 408.9 (2022 CPC)

PLUMBING NOTE:

1. MAXIMUM WATER TEMPERATURE DISCHARGING FROM AN INDIVIDUAL SHOWERHEAD SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT, THIS TO BE ACHIEVED BY

- 1 The valve is field-adjusted to the required maximum temperature, or
- 2 The handle position, stop, or temperature limiting control is set in accordance with the manufacturer's instructions to the required maximum temperature.

- SHOWERS TO HAVE CURB - NO CURBLESS BEING PROPOSED
Gypsum board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity. CRC R702.3.1.

NON-SLIP-JOINT TRAP TO BE USED

ALL BATHROOMS TYP. NOTES:

- SHOWERS TO HAVE CURB - NO CURBLESS BEING PROPOSED

1. PROPOSED SHOWER HEAD AND CONTROL VALVE LOCATION
2. SHOWER DOOR MUST BE SIZED AND OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING. GLASS DOORS MUST BE TEMPERED.
3. SAFETY GLAZING (I.E. TEMPERED) IN DOORS AND PANELS OF ALL SHOWER AND BATHTUB ENCLOSURES. CRC R308.4
4. SHOWERS AND TUBSHOWERS ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS.
5. SHOWER AND TUBSHOWERS WALLS HAVE A SMOOTH, HARD, NON ABSORBENT SURFACE (E.G. CERAMIC TILE) OVER AN APPROVED MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET.
6. A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ.FT INCHES.
7. CAPABLE OF ENCOMPASSING 30-INCH CIRCLE.
8. THE FINISHED FLOOR OF THE RECEPTOR MUST SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4" PER FOOT AND NOT MORE THAN 1/2" PER FOOT.

SHOWER TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE, OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING VALVE TYPE. CPC 408.3

MECHANICAL NOTES:

KITCHEN RANGE HOOD MUST BE HVI RATED, LIMITED TO 3 SONE, AND WITH A MINIMUM AIRFLOW AS SPECIFIED IN ASHRAE 62.2 PER RCM 4.6.4.7, VENTED RANGE HOODS INCLUDING PER TABLE 150.0-G DWELLING UNIT WITH FLOOR AREA OF GREATER THAN 1500 AND HOOD OVER ELECTRIC RANGE WITH 110 CFM OR 50% CE REQUIRED.

MAIN HOUSE KITCHEN HOOD:
PER TABLE 150.0-G DWELLING UNIT WITH FLOOR AREA OF GREATER THAN 1500 AND HOOD OVER ELECTRIC RANGE WITH 110 CFM OR 50% CE REQUIRED.

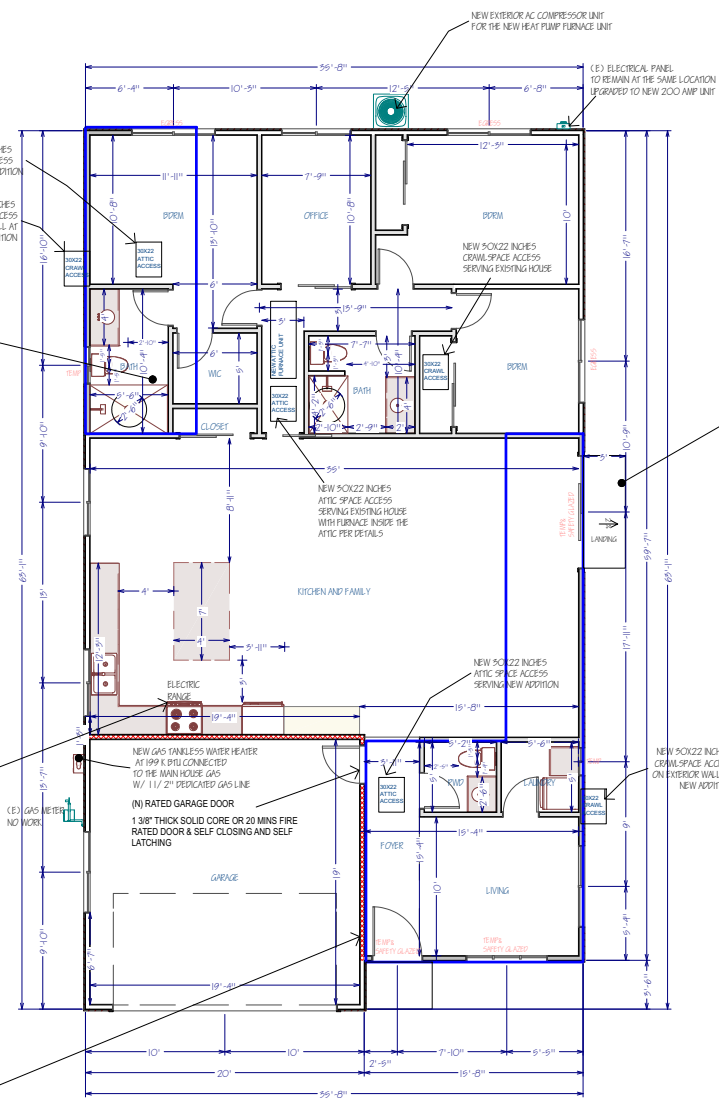
VENT 3 FT AWAY FROM ANY OPENINGS

(M) FIRE RATED WALL / CEILING PER CRC TABLE R302.6

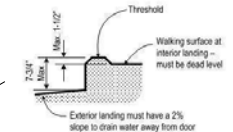
Garage and/or carport shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. Attachment of gypsum board shall comply with Table R702.3.5. The wall separation provisions of Table R302.6 shall not apply to garage walls that are perpendicular to the adjacent dwelling unit wall. A separation is not required between the dwelling unit and a carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.

1. N/A
2. Garages located less than 3 feet from a dwelling unit PROVIDE Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area
3. From the residence and attic PROVIDE Not less than 1/2-inch gypsum board or equivalent applied to the garage side

1 PROPOSED FLOOR PLAN
SC. 1/4" = 1'-0"



TYPICAL AT ALL LANDINGS:
AT EACH LANDING FOR EXTERIOR DOOR: MINIMUM 36 INCH DEEP LANDING AND NOTE MORE THAN 7-3/4 INCHES LOWER THAN THRESHOLD FOR IN-SWINGING DOOR AND NOT MORE THAN 1 1/2" LOWER FOR OUT-SWINGING DOOR. W/ 2% SLOPE PER DETAIL "D1"
THE NEW STEP SHALL HAVE A RISE DEPTH OF 10 INCHES MINIMUM PLUS TREAD NOSING AND A RISER HEIGHT OF 7.75 INCHES MAXIMUM PER CRC R311.6.5.1.



TYP. ATTIC FURNACE DETAIL

LEGEND:

- EXISTING WALL TO STAY
- NEW CONSTRUCTION WALL 2x4 @ 16" O.C. WALL 5/8" DIA. ANCHOR BOLTS SPACE PER STRUCTURAL PLAN WITH 3/8" CDX (OSB) SHEATHING PER STRUCTURAL PLAN
- GARAGE WALL SEPARATION HOUSE 1/2" MIN GYP. BOARD AT GARAGE SIDE FOR GARAGE-DWELLING SEPARATION



REMODELING FOR:	2179 Monterey Ave RESIDENCE
2179 Monterey Ave Santa Clara, CA 95051	
REVISION TABLE:	
PLANNING RESPONSE I	

DESIGNER:
RAMIN ZOHOOOR
DONE RIGHT HOME REMODELING
1625 DELA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408.497.5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

PROPOSED FLOOR CONDITIONS

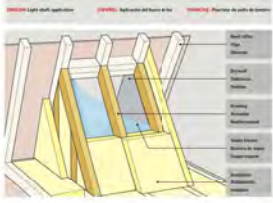
PROJECT ID: 2025
DATE: 2025
SCALE:
DRAWN BY: DONE RIGHT HOME REMODEL (RZ)

SHEET NUMBER:
A-03

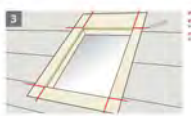
OWNERSHIP:

MAIN HOUSE NUMBER NOTES:

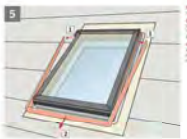
NEW HOUSE & ADU NUMBER : Building shall have address numbers placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and be a minimum of 4 in high with minimum stroke of 1/2 in, per CRC R319.1.



Model	Dimensions (W x H)
AD6	12\"/>
CS1	12\"/>
CS4	12\"/>
CS6	12\"/>
CS8	12\"/>
CS12	12\"/>
DS6	12\"/>
DS6	12\"/>
MS2	12\"/>
MS4	12\"/>
MS6	12\"/>
MS8	12\"/>
MS1	12\"/>
MS6	12\"/>



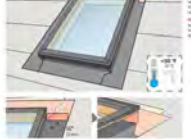
NOTES:
 1. Always use proper safety procedures when working on a roof.
 2. Make sure the roof deck is clean and dry before installing the skylight.
 3. Use the correct sealant for the skylight model.
 4. Follow the manufacturer's instructions for installation and maintenance.



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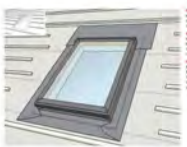
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REMODELING FOR:
2179 Monterey Ave
RESIDENCE

2179 Monterey Ave
 Santa Clara, CA 95051

REVISION TABLE

NO.	DATE	DESCRIPTION

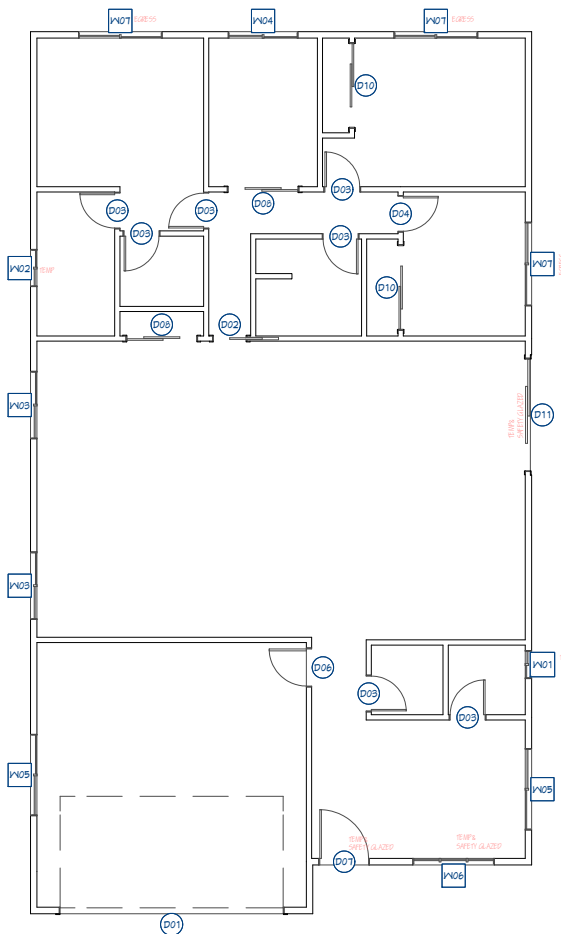
DESIGNER:
 RAMIN ZHOOR
 DONE RIGHT HOME REMODELING
 1825 DELA CRUZ BLVD, #206
 SANTA CLARA, CA 95050
 TEL: 408.497.5071
 EMAIL: ZHOOR.RAMIN@GMAIL.COM

SHEET TITLE:
 SKYLIGHT
 INFO.

PROJECT ID: _____
 DATE: _____ 2025
 SCALE: _____
 DRAWN BY: DONE RIGHT HOME REMODEL (RZ)

SHEET NUMBER:
A-04A

OWNERSHIP:



1 OPENING SCHEDULES
SC: 1/4" = 1'-0"

DOOR SCHEDULE					
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	1	82"	86"	GRADE-GARAGE DOOR CHECK	NEW
D02	1	28"	80"	POCKET-DOOR PCH	NEW
D03	2	50"	80"	HINGED-DOOR PCH	NEW
D04	1	50"	80"	HINGED-SLAB	NEW
D05	1	52"	80"	EXT. HINGED-PANEL	NEW
D07	1	42"	80"	HINGED-DOOR PCH	NEW
D08	2	60"	80"	SLIPER-DOOR PCH	NEW
D09	2	72"	80"	SLIPER-DOOR W/ MIRROR DOOR	NEW
D10	1	66"	80"	EXT. SLIPER-GLASS PANEL	NEW

WINDOW SCHEDULE							
NUMBER	QTY	WIDTH	HEIGHT	GLASS	TYPE/OPN	DESCRIPTION	COMMENTS
N01	1	42"	20"	YES	60"	LEFT SLIDING	NEW
N02	2	48"	24"		46"	LEFT SLIDING	NEW
N03	1	60"	20"		55"	LEFT SLIDING	NEW
N04	2	70"	20"		60"	LEFT SLIDING	NEW
N05	1	70"	60"	YES	20"	DOUBLE CASEMENT-LH / RH	NEW
N06	3	72"	48"	YES	72"	LEFT SLIDING	NEW

FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

** NEWLY INSTALLED WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30 AND A MAXIMUM SHGC OF 0.23.

WINDOW NOTES:

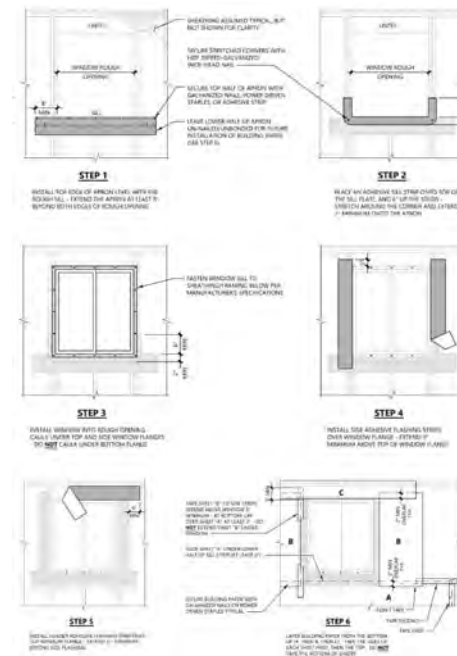
Every sleeping room shall have at least one operable emergency escape and rescue opening. Emergency escape and rescue opening shall open directly into a public way, or to a yard or court that opens to a public way. (R310.2).

The opening shall comply with the following minimums:

- a) Minimum net clear operable dimension of 24 inches in height (R310.2.1).
- b) Minimum net clear operable dimension 20 inches in width (R310.2.1).
- c) Minimum net clear operable dimension of 5.7 square feet in area. Grade floor or below grade openings shall have a minimum net clear opening of 5 sq ft (R310.2.1).
- d) The bottom of the clear opening shall not be greater than 44 inches measure from the floor. (R310.2.2).

** NEWLY INSTALLED WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30 AND A MAXIMUM SHGC OF 0.23.

R311.2 Egress door. Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged, and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily operable from inside the dwelling without the use of a key or special knowledge or effort. 2. Glazing in all fixed and operable panels of swinging, sliding and bifold doors are considered hazardous location and should be provided with safety glazing. Please provide safety glazing for exterior door. CRC R308.4



D1 EXTERIOR OPENING FLASHING DETAIL PER CRC
SC: 1/4" = 1'-0"

REMODELING FOR:

2179 Monterey Ave RESIDENCE

2179 Monterey Ave
Santa Clara, CA 95051

DESIGNER:
RAMIN ZOHOOOR
DONE RIGHT HOME REMODELING
1825 DELA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408.697.5071
EMAIL: ZHOOR.RAMIN@GMAIL.COM

REVISION TABLE:

NO.	DESCRIPTION
1	PLANNING RESPONSE 1

SHEET TITLE:

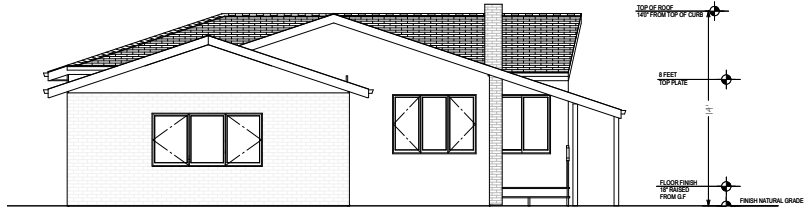
WINDOW & DOOR SCHEDULE

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: DONE RIGHT HOME REMODEL (RZ)

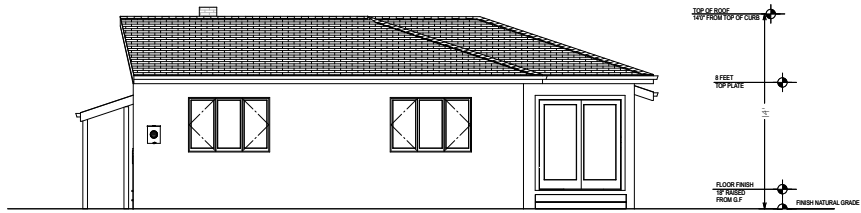
SHEET NUMBER:

A-05

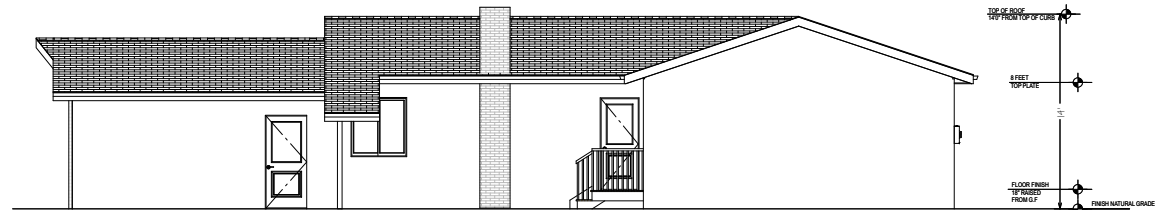
OWNERSHIP:



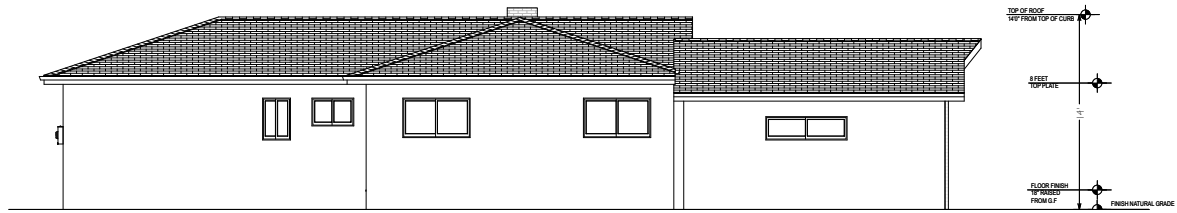
EXISTING FRONT ELEVATIONS
SC: 1/4" = 1'-0"



EXISTING REAR ELEVATIONS
SC: 1/4" = 1'-0"



EXISTING RIGHT ELEVATIONS
SC: 1/4" = 1'-0"



EXISTING LEFT ELEVATIONS
SC: 1/4" = 1'-0"

REMODELING FOR
**2179 Monterey Ave
RESIDENCE**

2179 Monterey Ave
Santa Clara, CA 95051

REVISION TABLE

NO.	DATE	DESCRIPTION

DESIGNER:
RAMIN ZOHOOOR
DONE RIGHT HOME REMODELING
1823 DE LA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408.497.5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE
**EXISTING
ELEVATION**

PROJECT ID :
DATE : 2025
SCALE :
DRAWN BY : DONE RIGHT HOME REMODEL (RZ)

SHEET NUMBER:
A-06

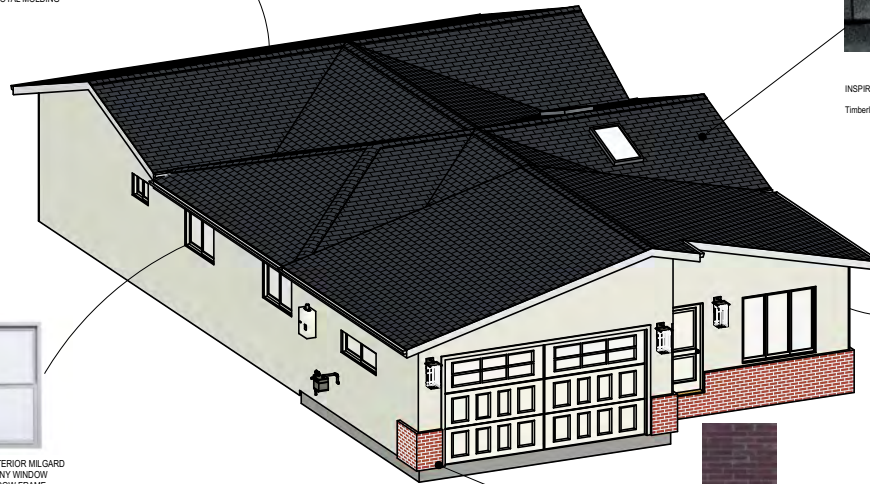
OWNERSHIP:



James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish
 2X10 FASCIA
 JAMES HARDY - WITH ROYAL MOLDING



INSPIRATION PHOTO
 Timberline HDZ Charcoal Algae Resistant Laminated High Definition Shingles



TYP. EXTERIOR MILDARD
 TUSCANY WINDOW
 NO WINDOW FRAME,
 SAME AS EXISTING



EXTERIOR STUCCO
 BENJAMIN MOORE
 ICICLE
 2142-70
 SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES



EXTERIOR RED BRICK MATERIAL
 SAME AS EXISTING TO CREATE
 HALF WALL

REMODELING FOR:
**2179 Monterey Ave
 RESIDENCE**

2179 Monterey Ave
 Santa Clara, CA 95051

REVISION TABLE

△ PLANNING RESPONSE I

DESIGNER:
 RAMIN ZOHOOOR
 DONE RIGHT HOME REMODELING
 1823 DELA CRUZ BLVD, #206
 SANTA CLARA, CA 95050
 TEL: 408.497.5011
 EMAIL: ZHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

MATERIAL BOARD

PROJECT ID :
 DATE : 2025
 SCALE :
 DRAWN BY : DONE RIGHT HOME REMODEL (RZ)

SHEET NUMBER:

A-08

OWNERSHIP: