

NGUYEN RESIDENCE ADDITION

ARCHITECT

STORY BUILD DESIGN

ALBANY, CA 94706

STAMP



CITY USE ONLY

PROJECT

NGUYEN RESIDENCE ADDITION
2355 LAUREL DRIVE
SANTA CLARA, CA 95050

REVISIONS

SHEET DATA

DATE: 03/20/24

JOB NO.: SD

PHASE: -

ISSUED FOR: PLANNING REVIEW

SCALE: AS SHOWN

SHEET TITLE

COVER

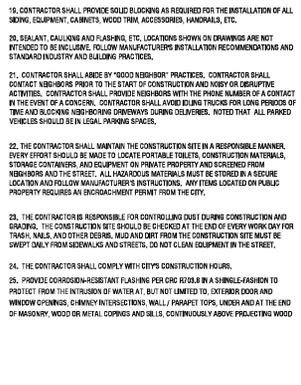
SHEET NUMBER

A 0.1

GENERAL NOTES

1. ALL WORK SHALL BE IN CONFORMANCE OF 2022 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND SHALL INCLUDE ALL THE REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
2. EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPILE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND NOTIFY ARCHITECT AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATION OF EXISTING STRUCTURES.
3. THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS, NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERRABLE FROM THEM.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES, ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
5. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE. CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
6. ALL DIMENSIONS ARE FROM FINISH TO FINISH TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CHALKMARK UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "TOP OF CURB" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL. UNLESS NOTED AS "AS VIEWED" DIMENSIONS MARKED "L.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
7. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR CONVERSE VIEWS UNLESS OTHERWISE NOTED.
8. "ALWAYS" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
9. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DIMENSIONS AT A LARGER SCALE SHALL TAKE PRECEDENCE OVER DIMENSIONS OF A SMALLER SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
10. GENERAL CONTRACTOR SHALL VERIFY AVAILABILITY OF PARTITIONS, DOORS, ELECTRICAL, OUTLETS, TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER SYSTEM (TO INCLUDE, BUT NOT LIMITED TO, ALL PERMIT, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
11. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRABLE AND RESTORED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE GENERAL CONTRACTOR.
12. ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
13. ALL WORK NOTED "BY OTHERS" OR "N.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT, SUBJECT TO THE ARCHITECT AND OWNER'S SEVERAL REQUIREMENTS FOR THE "OTHERS" WORK IN THE CONTRACT. PROGRESS SCHEDULE AND CONDITIONS AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
14. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, INSTALLED, CLEANED AND MAINTAINED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.

15. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANUP TO PREVENT ANY DEBRIS, OR DIRT FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
16. GENERAL CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER. FAILURE TO OBTAIN AUTHORIZATION SHALL INVAUATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
17. PROVIDE FIREBLOCKING AT ALL CEILING, FLOORS, FURRED-DOWN CEILINGS, SOFFITS, AND COMPALED DRAFT OPENINGS PER CBC SECTION R402.11, "FIREBLOCKING". FIREBLOCKING SHALL BE PROVIDED VERTICALLY AT CEILING AND FLOOR LEVELS. SHALL NOT EXCEED HORIZONTAL INTERVALS OF 10 FEET. SHALL BE PROVIDED AT ALL INTERSECTIONS BETWEEN COMPALED VERTICAL AND HORIZONTAL SPACES. IS CONCEALED SPACES BETWEEN FLOOR SPRINGERS AT THE TOP AND BOTTOM OF RAIL, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL.
18. PROVIDE DRAFT STOPPING PER CBC R402.12 "DRAFT STOPPING" WHERE THERE IS A LIABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOORING ASSEMBLY. METAL DRAFT STOPPS THAT THE CONCEALED SPACE AREA DOES NOT EXCEED 1,800 SF AND THE SPACES ARE DIVIDED INTO APPROXIMATELY EQUAL AREAS.
19. CONTRACTOR SHALL PROVIDE SOLID BLOORING AS REQUIRED FOR THE INSTALLATION OF ALL SINKS, EQUIPMENT, CABINETS, WOOD TRIM, ACCESSORIES, HANDRAILS, ETC.
20. EXISTANT CALLINGS AND FINISHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
21. CONTRACTOR SHALL ABIDE BY "GOOD NEIGHBOR" PRACTICES. CONTRACTOR SHALL PROTECT NEIGHBORS FROM THE START OF CONSTRUCTION AND THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE NEIGHBORS WITH THE PHONE NUMBER OF A CONTACT IN THE EVENT OF A COMPLAINT. CONTRACTOR SHALL PROVIDE TRUCKS FOR LONG PERIODS OF TIME AND ALLOWING NEIGHBORING DRIVEWAYS DURING DELIVERIES. NOTED THAT ALL PARKED VEHICLES SHOULD BE IN LEGAL PARKING SPACES.
22. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A RESPONSIBLE MANNER. EVERY EFFORT SHOULD BE MADE TO LOCATE PORTABLE TOILETS, CONSTRUCTION MATERIALS, STORAGE CONTAINERS AND EQUIPMENT ON PRIVATE PROPERTY AND AWAY FROM NEIGHBORS AND THE STREET. ALL HAZARDOUS MATERIALS MUST BE STORED IN A SECURE LOCATION AND FOLLOW MANUFACTURER'S INSTRUCTIONS. ANY ITEMS LOCATED ON PUBLIC PROPERTY REQUIRES AN ENCLOSURE PRINT FROM THE CITY.
23. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING CONSTRUCTION AND GRADING. THE CONSTRUCTION SITE SHOULD BE CHECKED AT THE END OF EVERY WORK DAY FOR TRASH, NAILS, AND OTHER DEBRIS, MUD AND DIRT FROM THE CONSTRUCTION SITE MUST BE SWEEPED ONLY FROM SIDEWALKS AND STREETS, DO NOT CLEAN EQUIPMENT IN THE STREET.
24. THE CONTRACTOR SHALL COMPLY WITH CITY'S CONSTRUCTION MOUND.
25. PROVIDE CORROSION-RESISTANT FLASHING PER CBC R702.8 IN A SINGLE-FASHION TO PROTECT FROM THE INTRUSION OF WATER. BUT NOT LIMITED TO: EXTERIOR DOORS AND WINDOW OPENINGS, CHIMNEY INTERSECTIONS, WALL / PARAPET TOPS, UNDER AND AT THE END OF MASONRY, WOOD OR METAL CORNICES AND SILLS, CONTINUOUSLY ABOVE PROJECTING WOOD



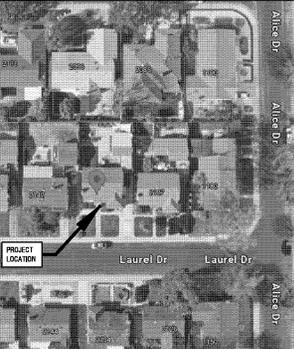
PROJECT DATA

1. TRIM, WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY, AT WALL AND ROOF INTERSECTIONS AND AT SILL-IN GUTTERS.
2. ALL WALL CORNICES SHALL BE SECURELY FASTENED WITH APPROVED CORROSION-RESISTIVE FASTENERS PER CBC R702.4 "ATTACHMENT."
3. AS APPLICABLE TO THE PROJECT, PROVIDE FOUNDATION WATERPROOFING AND DAMPROOFING AT ALL FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE PER CBC SECTION R406.
4. EXTERIOR WALLS ABOVE GRADE SHALL HAVE A WEATHER-RESISTANT WALL ENVELOPE INCLUDING FLASHING PER THE REQUIREMENTS OF CBC SECTION R703.
5. PROVIDE BATT INSULATION "R" MINIMUM R VALUES AS NOTED BELOW:
 - R-15 AT 2X4 WEST WALL, R-21 AT 2X6 NORTH WALL WITHIN FLD BAYS
 - R-38 AT ROOF / CEILING CONSTRUCTION BETWEEN RAFTERS / JOISTS
 - R-19 AT RANGED WOOD FLOORS BETWEEN JOISTS
6. MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED PER 2019 EDITION OF THE CALIFORNIA GREEN BUILDING CODE SECTION 4.06.1
7. THE PROJECT SHALL COMPLY WITH THE WASTER MANAGEMENT PLAN REQUIRED BY THE CITY

PROJECT DIRECTORY

OWNER:	ARCHITECT:
SHARON NGUYEN, BAO NGUYEN 2155 LAUREL DRIVE SANTA CLARA, CA 95050 BAOSHARON@GMAIL.COM	STORY BUILD DESIGN, INC. 849 WILSON STREET, #104 ALBANY, CA 94704 T: (916) 282-9551 P: (916) 282-9551 P: (916) 282-9551 P: (916) 282-9551
INTERIOR DESIGNER:	STRUCTURAL ENGINEER:
CATHERINE HONG 168 LAUREL STREET LOS GATOS, CA 95030 T: (952) 858-3858 C: (952) 858-3858 C: (952) 858-3858	JONATHAN WOOD 1802 EL CAMINO REAL, UNIT C SAN CARLOS, CA 94070 T: (650) 484-1102 C: (650) 484-1102 C: (650) 484-1102

VICINITY MAP



PROJECT DATA

PROJECT DESCRIPTION:
2ND FLOOR & 1ST FLOOR ADDITION TO THE EXISTING 1-STORY SINGLE FAMILY RESIDENCE

GENERAL:
(N) HEAT PUMP HVAC SYSTEM, (N) RADIANT HEATING
(N) HEAT PUMP WATER HEATER
(N) ELECTRICAL & PLUMBING LINES, ELEC. PANEL UPGRADE (400 AMP)

ADDRESS:
2355 LAUREL DRIVE
SANTA CLARA, CA 95050

PARCEL NUMBER:
259-11-047 (SPR19) - 5,918 SF

APPLICABLE MODEL CODES:
SANTA CLARA INTERNATIONAL CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA FIRE CODE

OCCUPANCY TYPE:
RESIDENTIAL GROUP R-3 / U

YEAR BUILT:
1981

CONSTRUCTION TYPE:
W

USE CATEGORIES:
EXISTING: RES
PROPOSED: RES

ZONING DISTRICT:
R-14L, SINGLE-FAMILY RESIDENTIAL

SETBACKS:
FRONT: 20' SIDE: 5' REAR: 20'

EXISTING MAIN RESIDENCE AREA (GROSS): 3 BEDROOMS
137 FLOOR 2.53 S.F., INCLUDING 400 S.F. OF GARAGE

PROPOSED AREA (GROSS): 3 BEDROOMS
137 FLOOR 2.53 S.F., INCLUDING 400 S.F. OF GARAGE, 2 CAR PARKING
2ND FLOOR 1,289 S.F.
TOTAL: 2,828 S.F.

COMMON LIVING AREA (GROSS):
LIVING, DINING, KITCHEN, LIBRARY: 1,147 S.F. (83% > 25%)

FLOOR FINISH:
SEE A1.0 FOR CALCULATION

LOADS:
2018 IBC, SEE A1.0 FOR CALCULATION

ROOF TYPE:
2018 IBC

BUILDING HEIGHT:
PROPOSED BUILDING HEIGHT IS 24'-0 1/2" (MAX. 29')

SYMBOLS

- SECTION:
 - 3 - DRAWING NUMBER
 - A3.4 - SHEET NUMBER
- EXTERIOR / INTERIOR ELEVATION:
 - 3 - DRAWING NUMBER
 - A3.4 - SHEET NUMBER
- DETAIL:
 - 3 - DRAWING NUMBER
 - A3.4 - SHEET NUMBER
- KEY NOTE:
 - 01
- FLOOR:
 - B - ELEVATION
 - OR 4
- DATUM POINT:
 - 01
- CENTER LINE:
 - 01
- DOOR TYPE:
 - 01
- WINDOW TYPE:
 - 01
- PLUMBING TYPE:
 - 01
- APPLIANCE TYPE:
 - 01
- REVISION:
 - 01

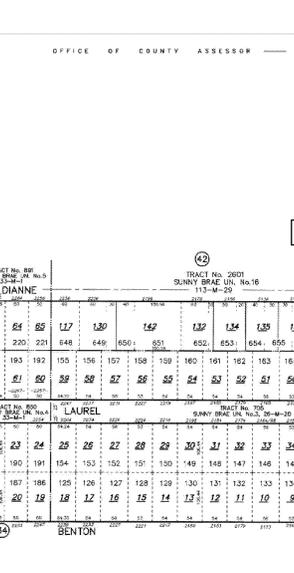
PARCEL MAP



DRAWING INDEX

- ARCHITECTURAL:**
- A.0 COVER
 - A.1.0 SITE PLANS - EXISTING, PROPOSED / LOT COVERAGE
 - A.1.1 DEMOLITION FLOOR PLAN
 - A.1.3A PROPOSED FLOOR PLAN - LEVEL 1
 - A.1.3B PROPOSED FLOOR PLAN - LEVEL 2
 - A.1.4 EXISTING AND PROPOSED PLANS OVERLAY - LEVEL 1
 - A.1.5 ROOF PLAN
 - A.2.0 EXISTING ELEVATIONS
 - A.2.1 PROPOSED ELEVATIONS / MATERIALS
 - A.2.2 PROPOSED ELEVATIONS / MATERIALS
 - A.2.3 BUILDING SECTIONS
 - A.2.4 BUILDING SECTIONS
 - A.2.5 BUILDING SECTIONS
 - A.4 DETAILS - EXTERIOR WINDOW

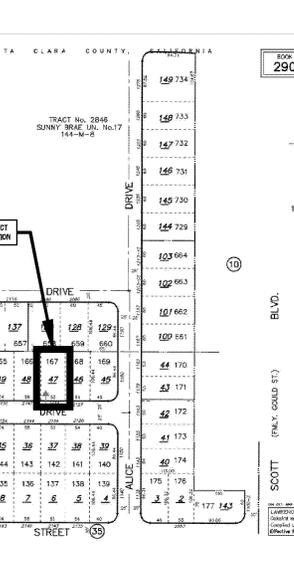
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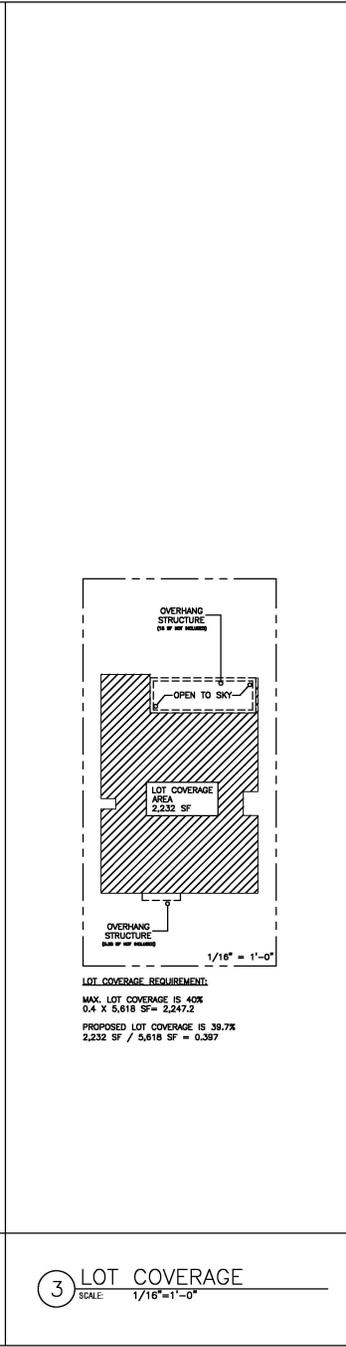
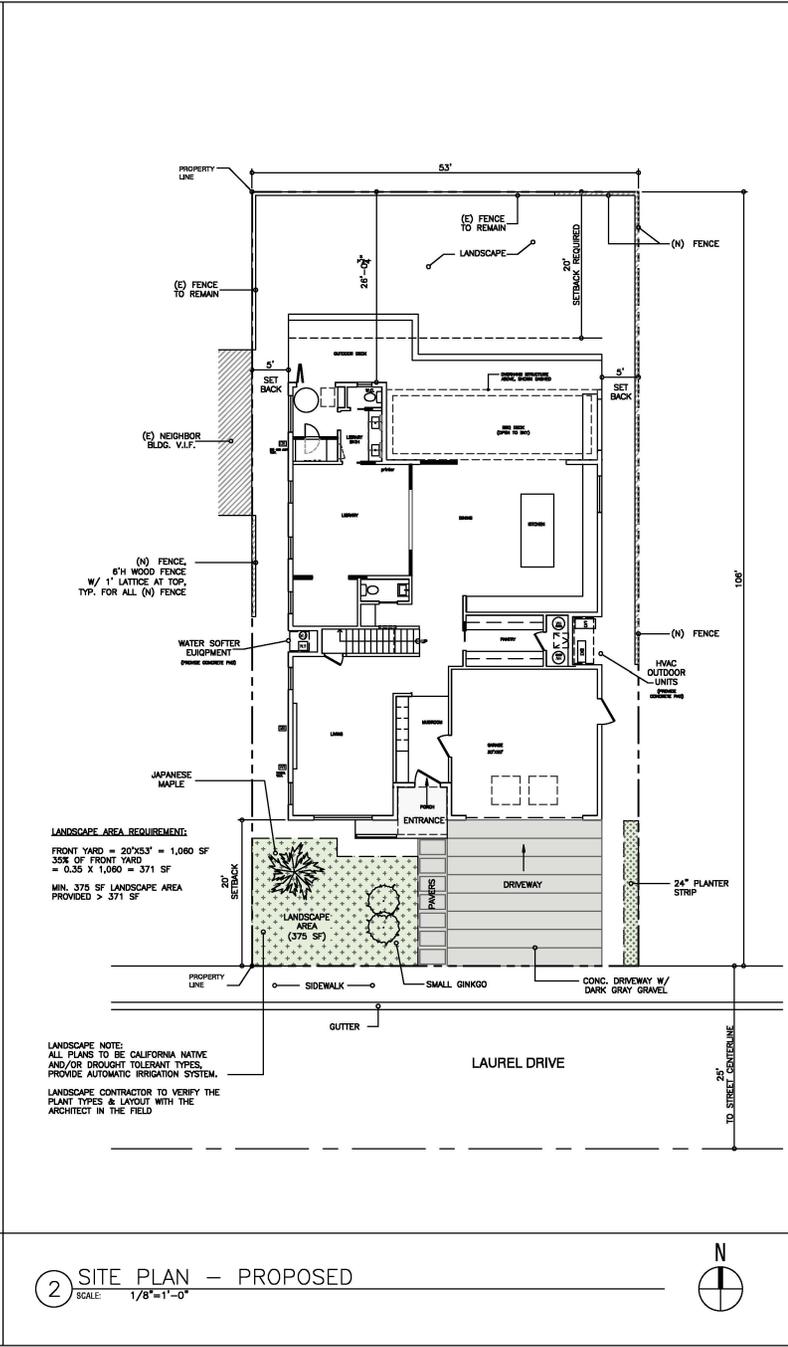
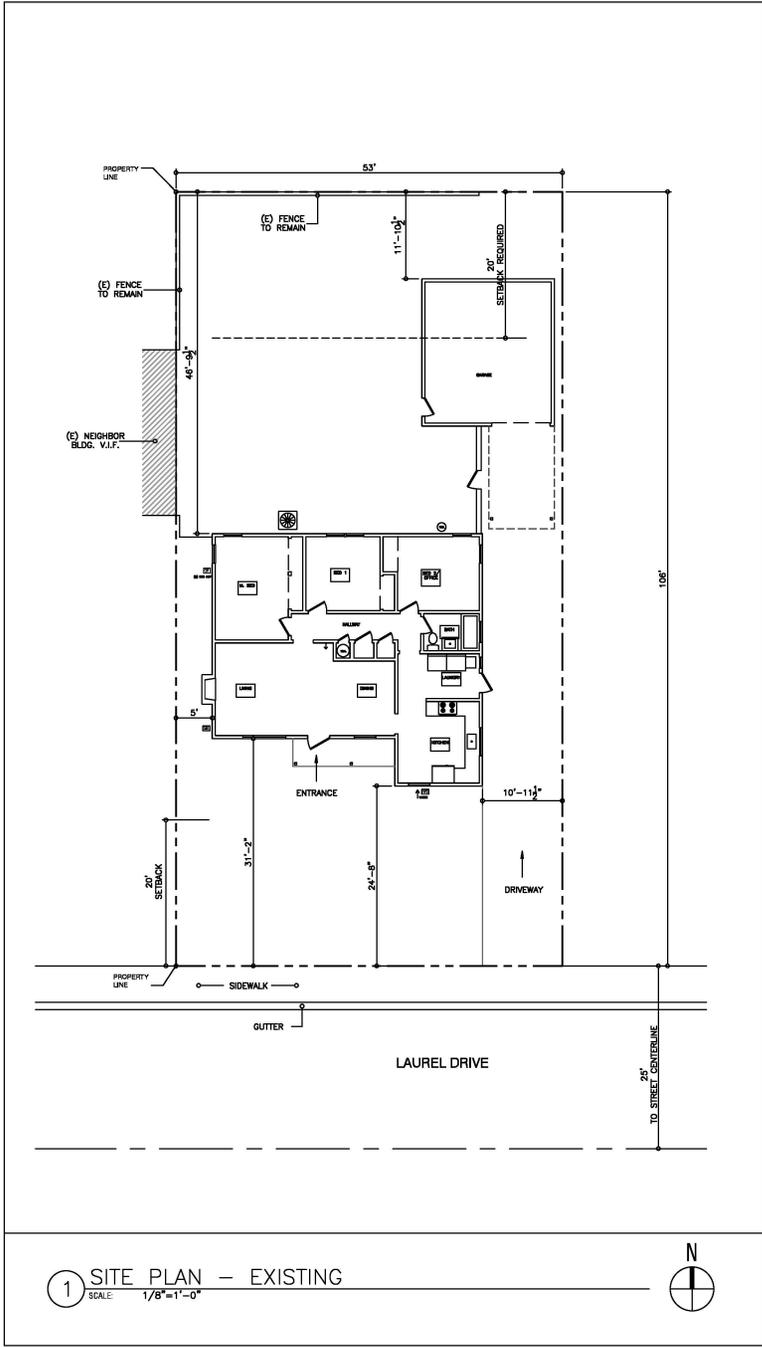


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 - A.2.2 PROPOSED ELEVATIONS / MATERIALS
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 - A.2.4 BUILDING SECTIONS
 - A.2.5 BUILDING SECTIONS
 - A.4 DETAILS - EXTERIOR WINDOW

PARCEL MAP





ARCHITECT

STORY BUILD DESIGN

ALBANY, CA 94706

STAMP

LICENSED ARCHITECT
STUNGKI
NO. 054964
RENEW 12/2025
STATE OF CALIFORNIA

CITY USE ONLY

PROJECT

NGUYEN RESIDENCE ADDITION
2138 LAUREL DRIVE
SANTA CLARA, CA 95050

REVISIONS

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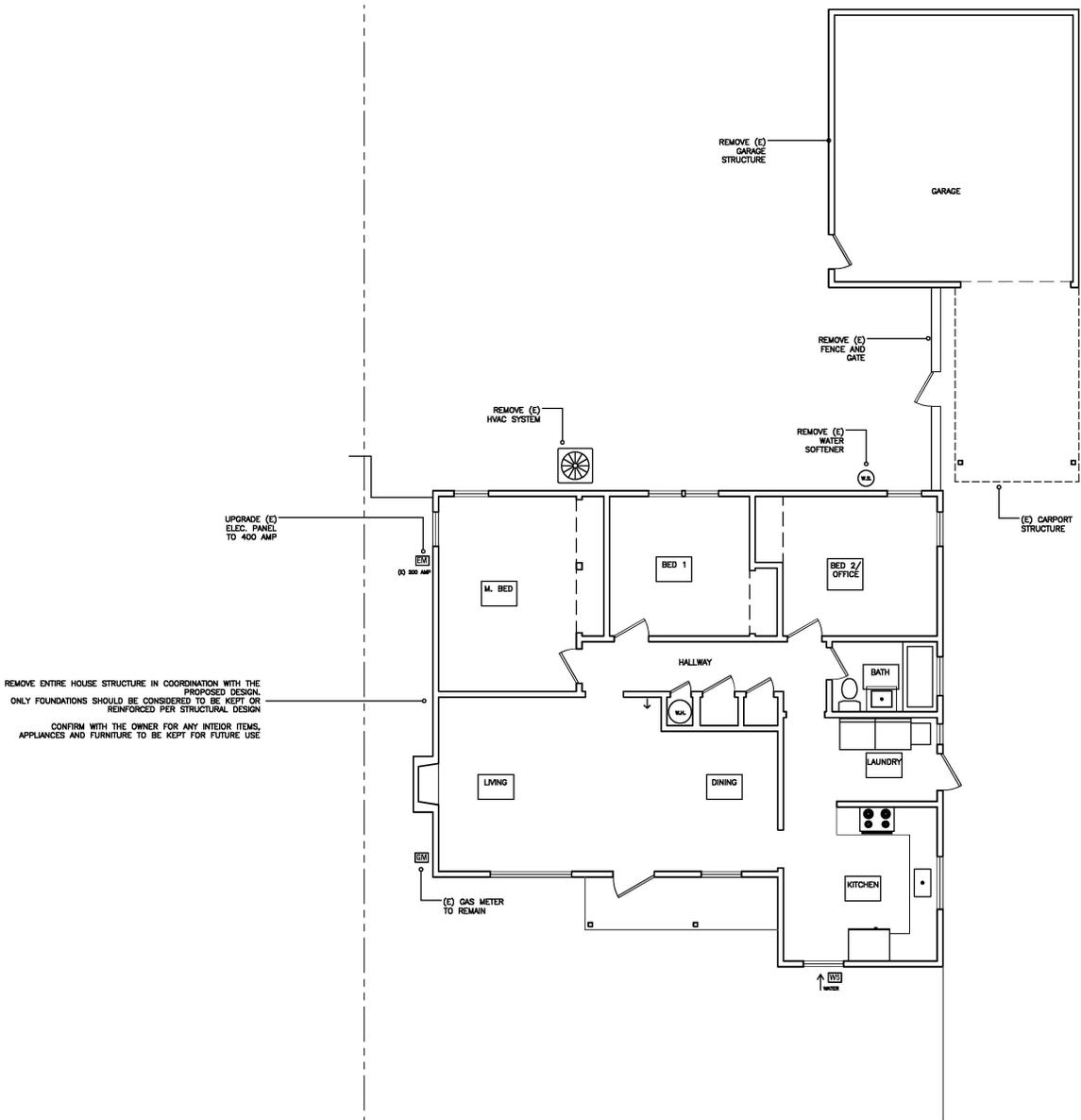
SCALE: AS SHOWN

SHEET TITLE

SITE PLAN - EXISTING, PROPOSED / LOT COVERAGE

SHEET NUMBER

A 1.0



1 DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"



KEY NOTES

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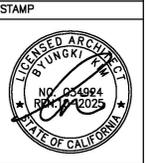
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PROJECT

NGUYEN RESIDENCE ADDITION
2335 LAUREL DRIVE
SANTA CLARA, CA 95050

DEMOLITION GENERAL NOTES

1. REMOVE ALL FINISHES IN REMODEL SCOPE OF WORK IN COORDINATION WITH IN CONTRACTOR. CONFIRM WITH ARCHITECT AND OWNER IF ANY AREA IS IN QUESTION.
2. BALANCE ANY MECHANICAL, ELECTRICAL AND PLUMBING ELEMENTS FOR REUSE AND RELOCATION, CONFIRM WITH THE OWNER IF ANY ITEM IS IN QUESTION.
3. CONTRACTOR TO VERIFY THE EXISTING PLUMBING, ELECTRICAL AND HVAC LINES TO COORDINATE WITH NEW PLUMBING, ELECTRICAL AND HVAC LINES SHOWN IN CONSTRUCTION PLANS.
4. CONTRACTOR TO VERIFY AND TEST HAZARDOUS MATERIALS ON SITE INCLUDING ASBESTOS AND INCLUDE ABATEMENT SCOPE OF WORK BEFORE START OF WORK.

REVISIONS

NO.	DESCRIPTION

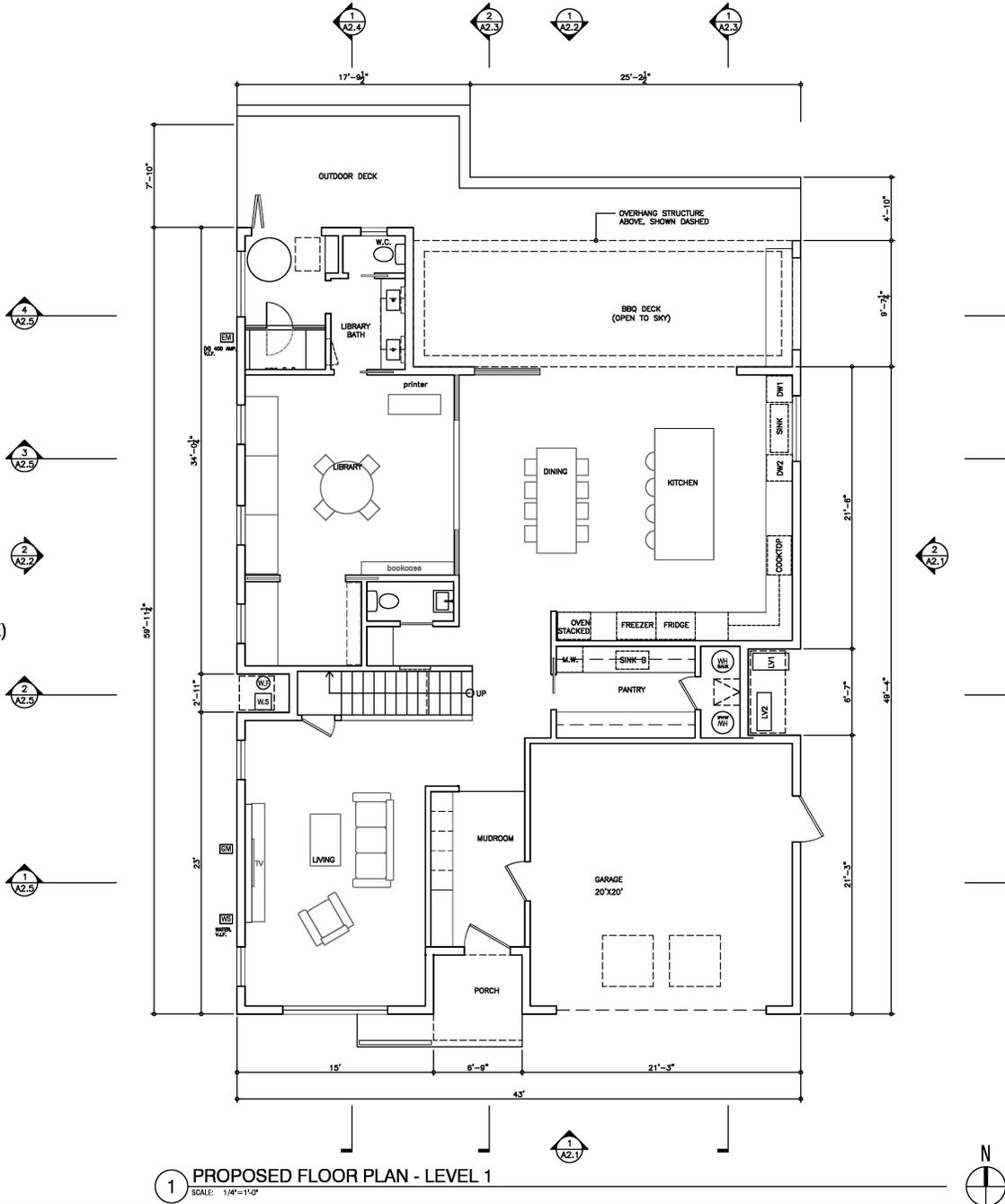
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DEMOLITION FLOOR PLAN

SHEET NUMBER
A1.1

LV 1
2,053 SF
(INCLUDING 400 SF GARAGE)



1 PROPOSED FLOOR PLAN - LEVEL 1
SCALE: 1/4"=1'-0"



KEY NOTES

GENERAL NOTES

PLAN LEGEND

(IN WALL)

ARCHITECT

STORY
BUILD
DESIGN

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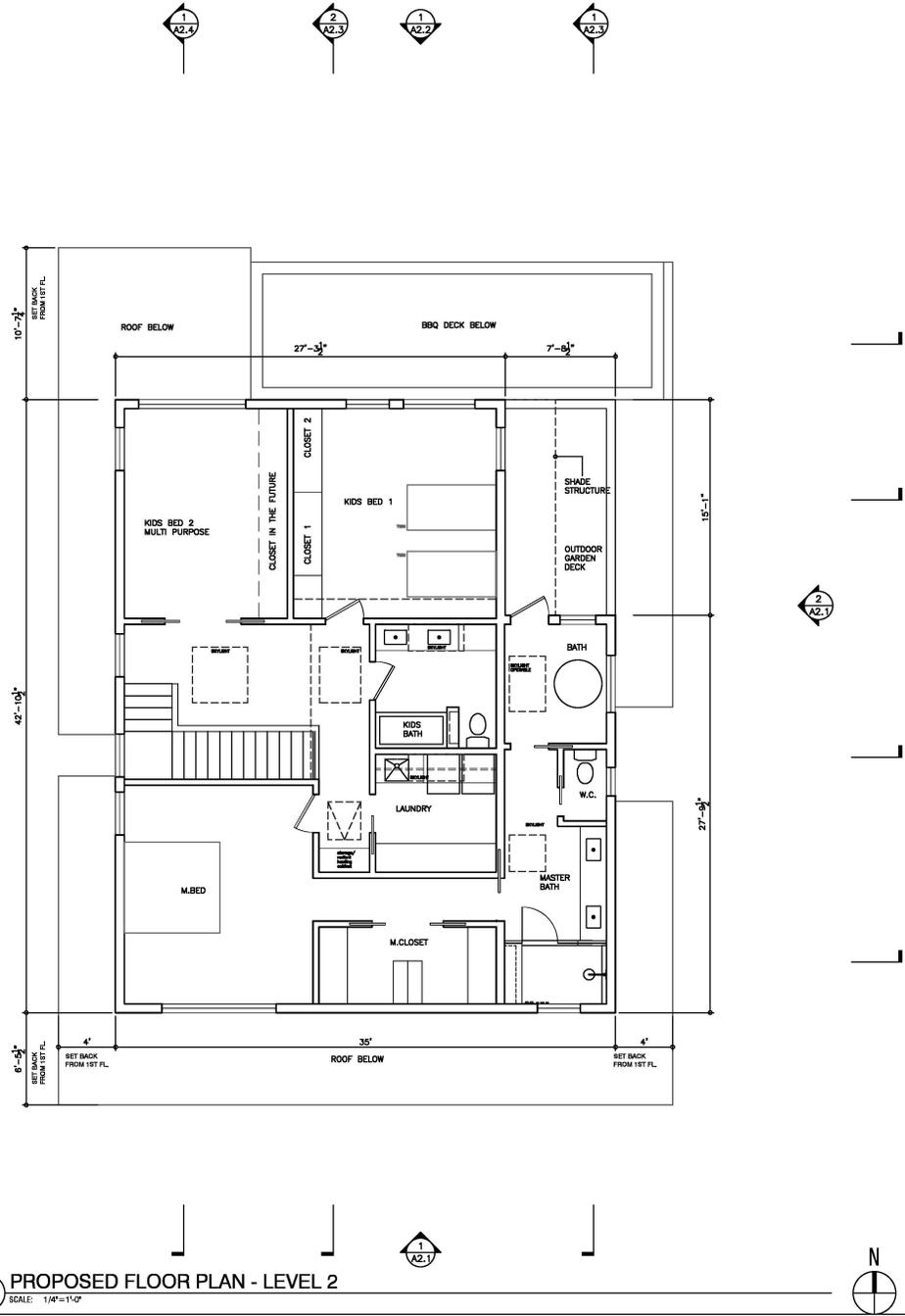
PROPOSED
FLOOR PLAN

LEVEL 1

SHEET NUMBER

A1.3A

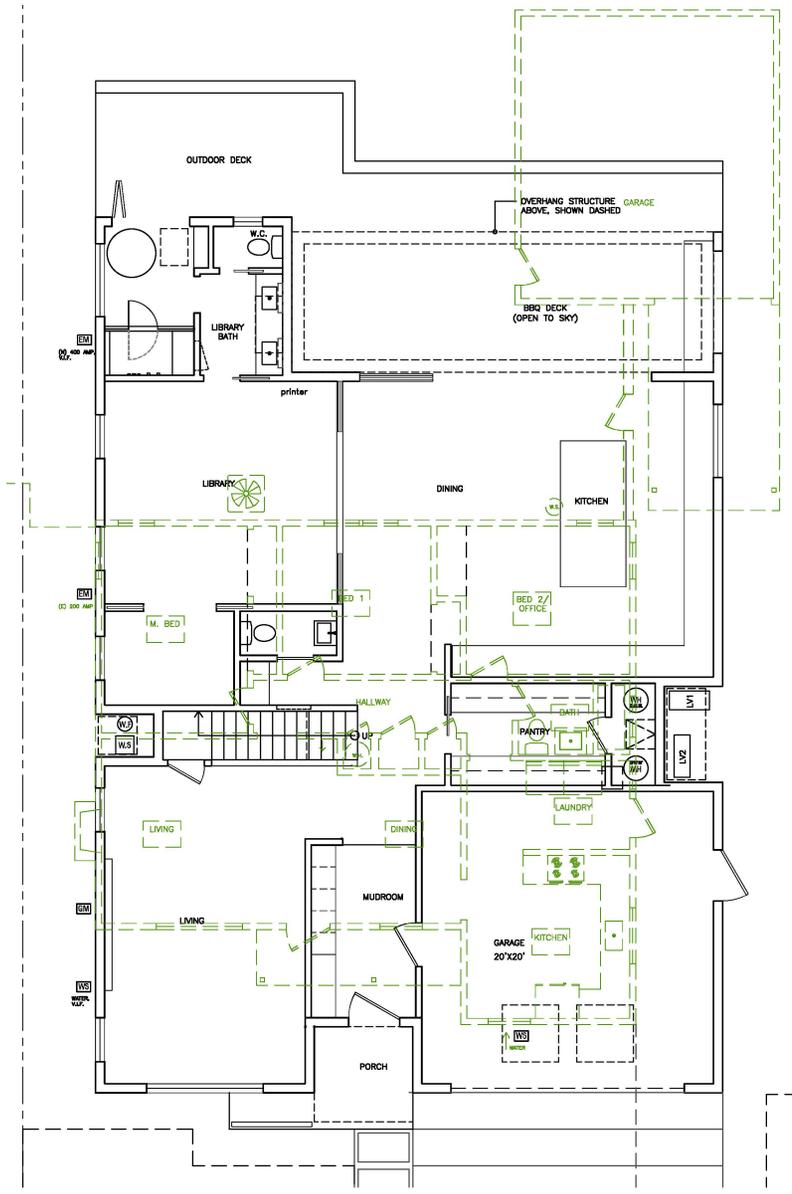
LV 2
1,289 SF



1 PROPOSED FLOOR PLAN - LEVEL 2
SCALE: 1/4"=1'-0"



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	<p>PLAN LEGEND</p> <p>▬ (IN WALL)</p>



1 EXISTING AND PROPOSED PLAN OVERLAYED LV 1
SCALE: 1/4"=1'-0"



KEY NOTES

GENERAL NOTES

REVISIONS

PLAN LEGEND

	(S) WALL
	(S) WALL TO BE REMOVED
	(P) WALL
	(P) POST

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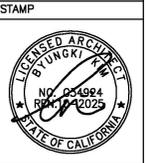
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EXISTING AND PROPOSED PLANS OVERLAY- LEVEL 1

SHEET NUMBER
A1.4

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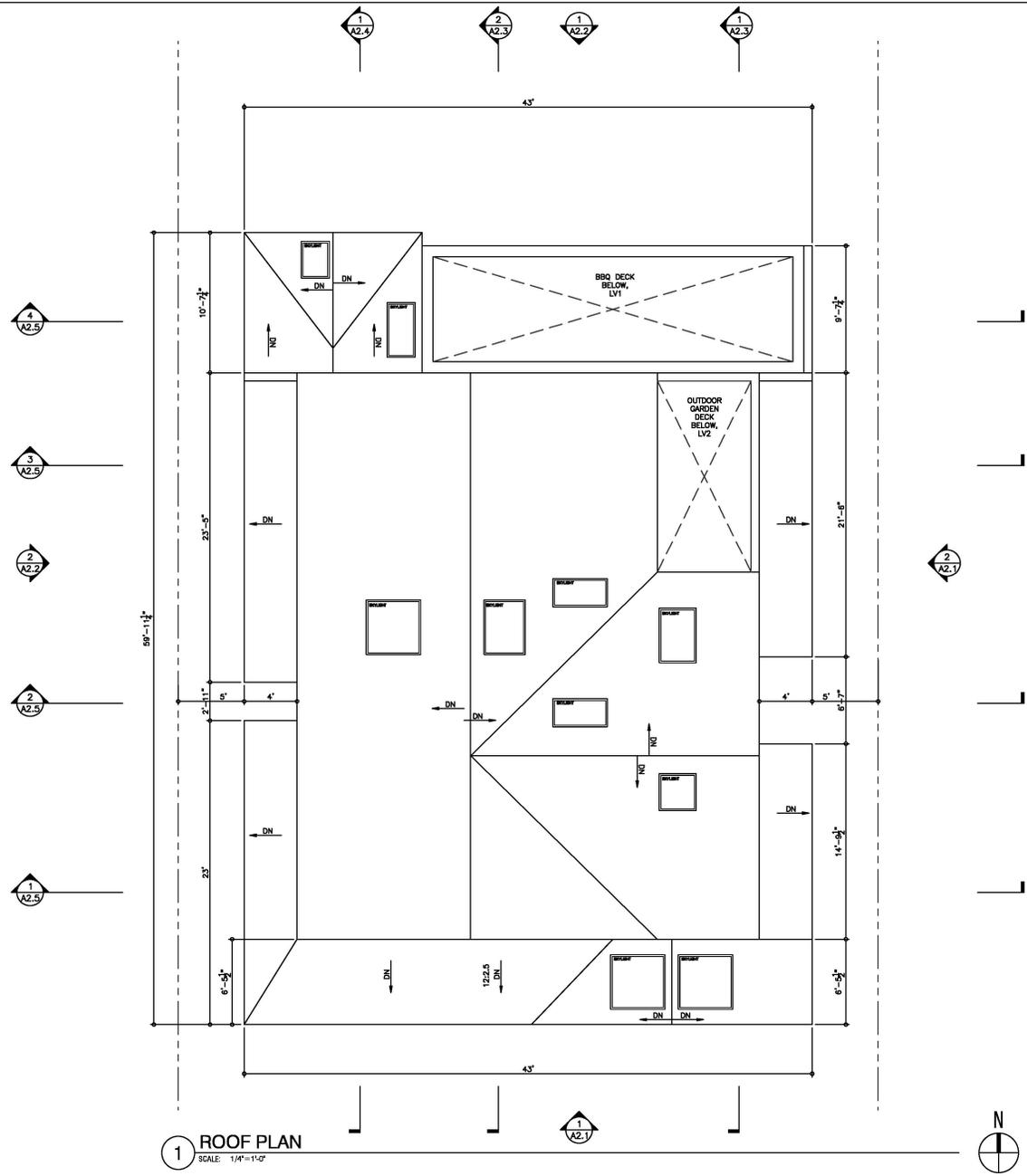
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EXISTING AND PROPOSED PLANS OVERLAY- LEVEL 1

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A1.4

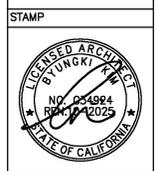


1 ROOF PLAN
SCALE: 1/4"=1'-0"

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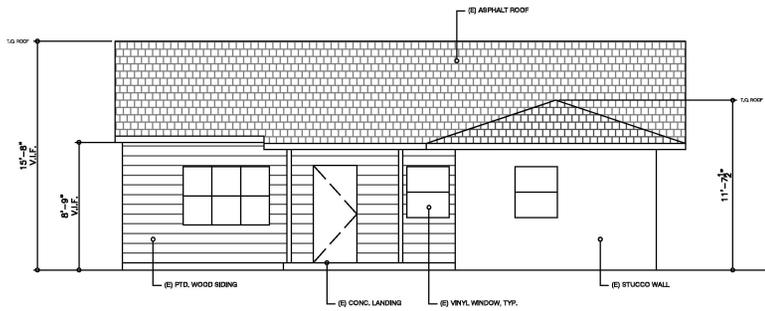
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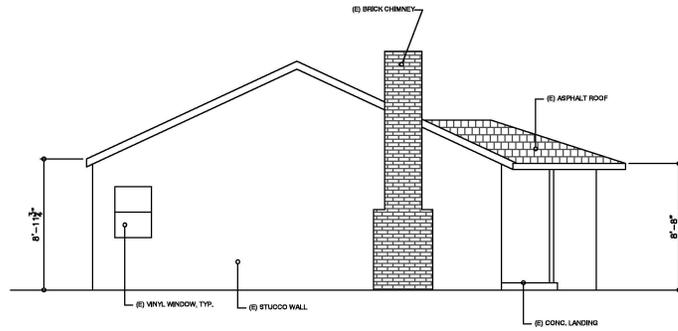
ROOF PLAN

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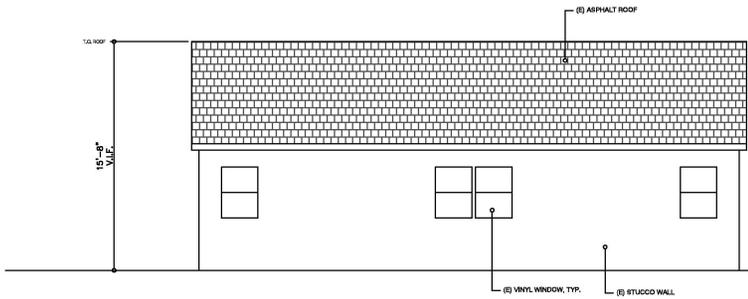
A1.5



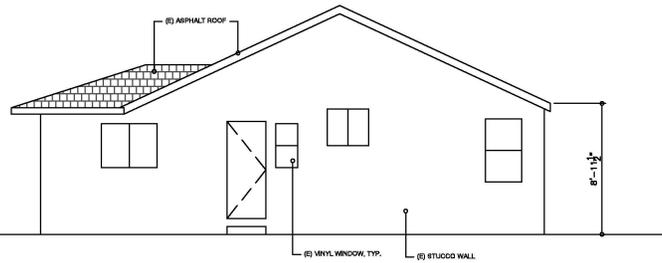
1 EXISTING ELEVATION: SOUTH
SCALE: 1/4"=1'-0"



2 EXISTING ELEVATION: WEST
SCALE: 1/4"=1'-0"



3 EXISTING ELEVATION: NORTH
SCALE: 1/4"=1'-0"



4 EXISTING ELEVATION: EAST
SCALE: 1/4"=1'-0"

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EXISTING
ELEVATIONS

SHEET NUMBER

A2.0

MATERIALS



CLEAR CEDAR TAG WOOD SIDING



DRIVEWAY CONCRETE SMOOTH W/ DARK GRAY GRAVEL



LIGHT COLOR CEDAR TAG WOOD SIDING



RECESSED WINDOW



ASPHALT SHINGLE ROOF GRAY

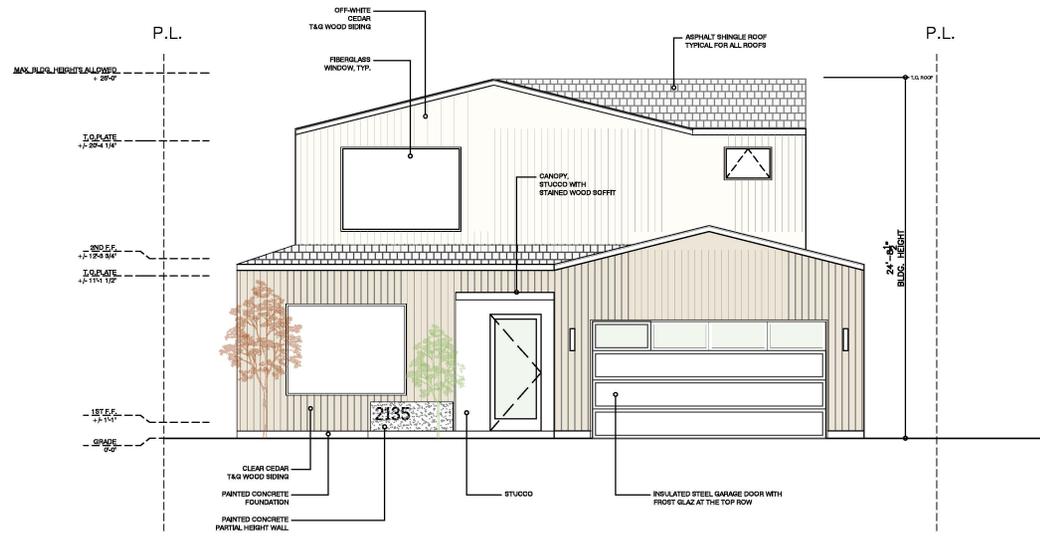
FIBERGLASS WINDOW



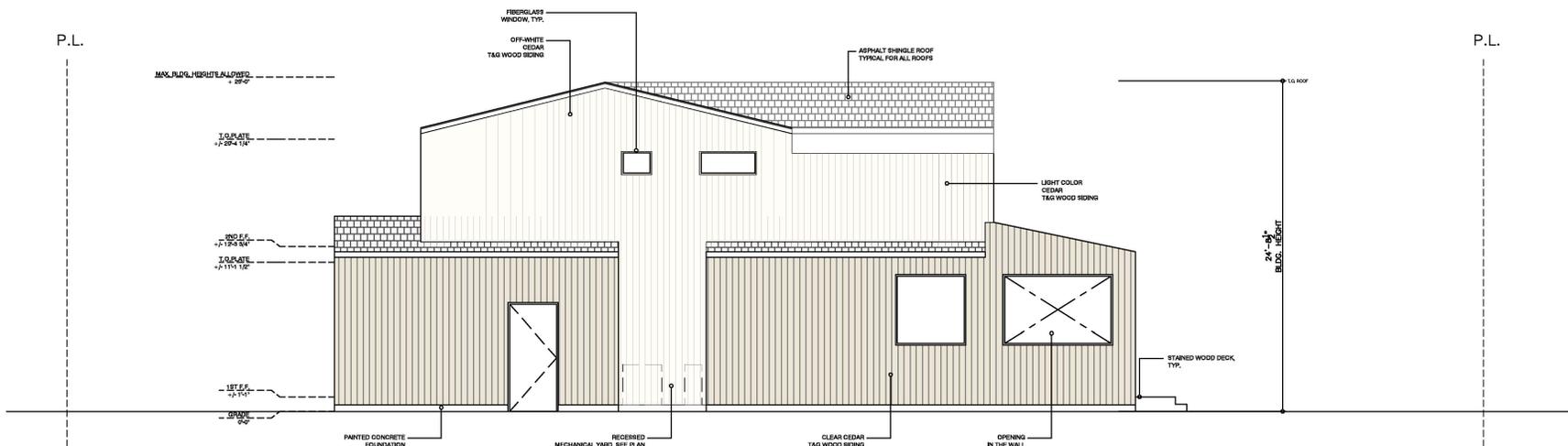
JAPANESE MAPLE TREE



LIGHT COLOR CEDAR WOOD DECK



1 PROPOSED ELEVATION: SOUTH
SCALE: 1/4"=1'-0"



2 PROPOSED ELEVATION: EAST
SCALE: 1/4"=1'-0"

ARCHITECT

STORY BUILD DESIGN

ALBANY, CA 94706

STAMP



CITY USE ONLY

PROJECT

NGUYEN RESIDENCE ADDITION
2335 LAUREL DRIVE
SANTA CLARA, CA 95050

REVISIONS

SHEET DATA

DATE: 03/20/24
JOB NO.: -
PHASE: SD
ISSUED FOR: PLANNING REVIEW

SCALE: AS SHOWN

SHEET TITLE

PROPOSED ELEVATIONS / MATERIALS

SHEET NUMBER

A2.1

MATERIALS



CLEAR CEDAR
T&G WOOD SIDING



DRIVEWAY
CONCRETE, SMOOTH
W/ DARK GRAY GRAVEL



LIGHT COLOR
CEDAR
T&G WOOD SIDING



RECESSED
WINDOW



ASPHALT SHINGLE ROOF
GRAY

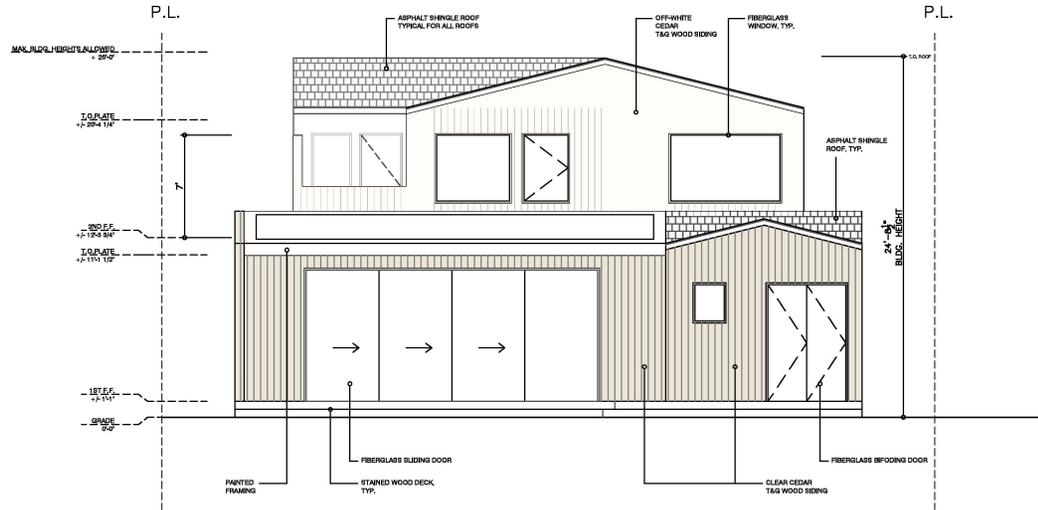
FIBERGLASS WINDOW



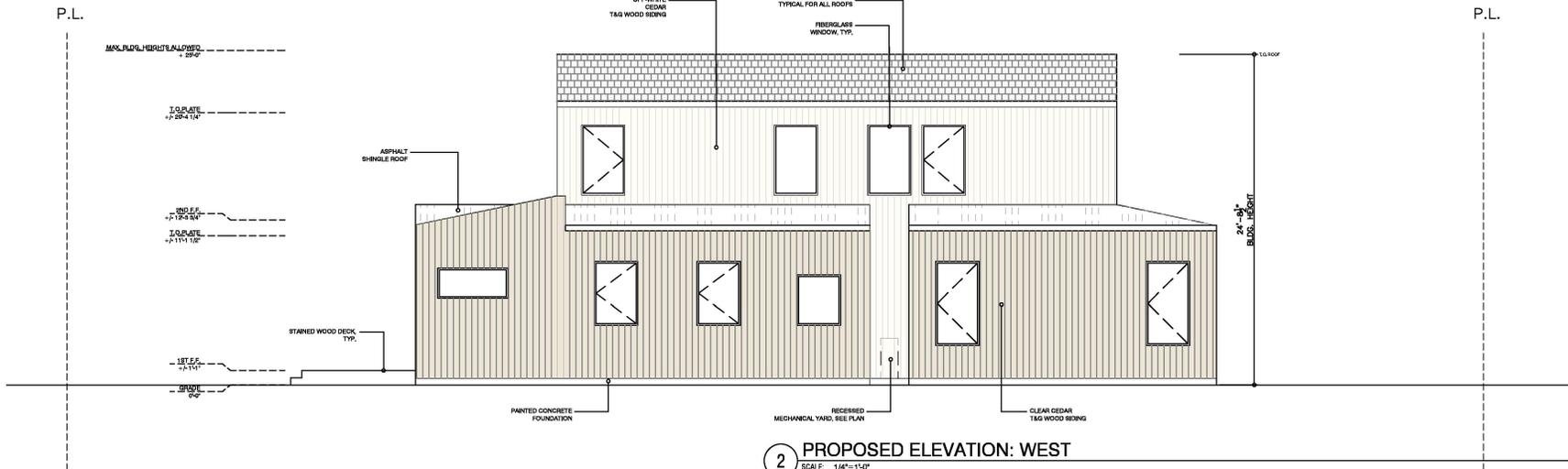
JAPANESE
MAPLE TREE



LIGHT COLOR
CEDAR
WOOD DECK



1 PROPOSED ELEVATION: NORTH
SCALE: 1/4"=1'-0"



2 PROPOSED ELEVATION: WEST
SCALE: 1/4"=1'-0"

ARCHITECT



**STORY
BUILD
DESIGN**

ALBANY, CA 94706

STAMP



CITY USE ONLY

PROJECT

**NGUYEN RESIDENCE
ADDITION**
2335 LAUREL DRIVE
SANTA CLARA, CA 95050

REVISIONS

SHEET DATA

DATE: 03/20/24

JOB NO.: -

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ISSUED FOR: PLANNING REVIEW

SCALE: AS SHOWN

SHEET TITLE

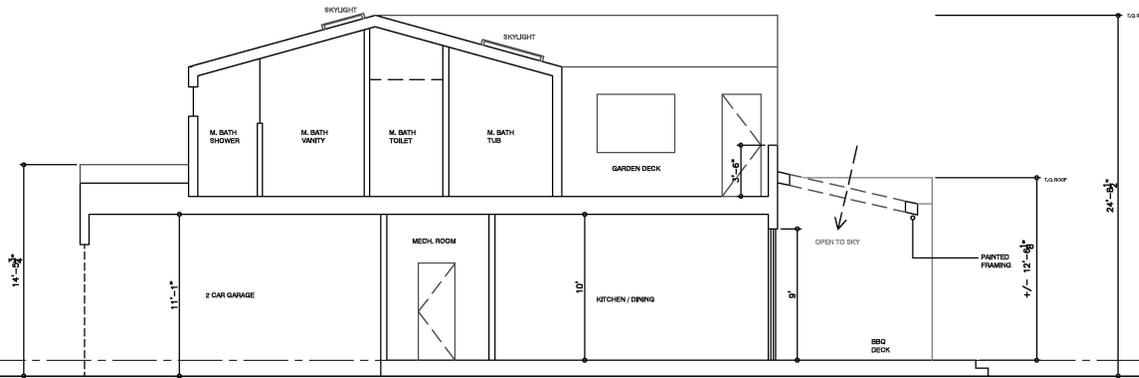
PROPOSED
ELEVATIONS /
MATERIALS

SHEET NUMBER

A2.2

P.L.

P.L.

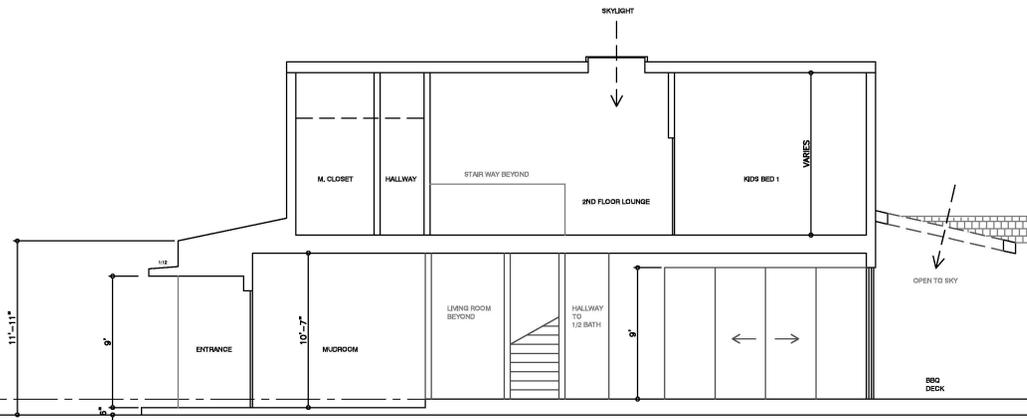


1 BLDG. SECTION AA

SCALE: 1/4"=1'-0"

P.L.

P.L.



2 BLDG. SECTION BB

SCALE: 1/4"=1'-0"

KEY NOTES

GENERAL NOTES

PLAN LEGEND

ARCHITECT

STORY
BUILD
DESIGN

ALBANY, CA 94706

STAMP



CITY USE ONLY

PROJECT

NGUYEN RESIDENCE
ADDITION
2335 LAUREL DRIVE
SANTA CLARA, CA 95050

REVISIONS

SHEET DATA

DATE: 03/20/24

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PHASE: SD

ISSUED FOR: PLANNING REVIEW

SCALE: AS SHOWN

SHEET TITLE

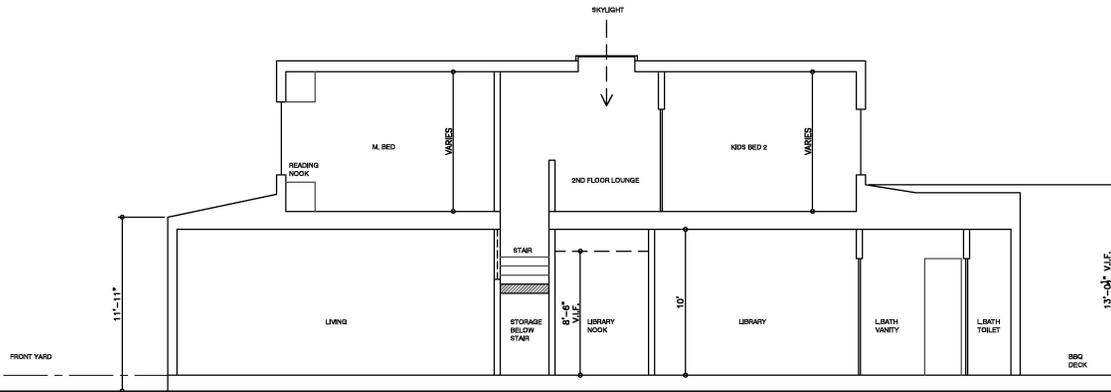
BLDG.
SECTIONS

SHEET NUMBER

A2.3

P.L.

P.L.



1 BLDG. SECTION CC
SCALE: 1/4"=1'-0"

KEY NOTES

GENERAL NOTES

PLAN LEGEND

ARCHITECT



**STORY
BUILD
DESIGN**

ALBANY, CA 94706

STAMP



CITY USE ONLY

PROJECT

**NGUYEN RESIDENCE
ADDITION**
2135 LAUREL DRIVE
SANTA CLARA, CA 95050

REVISIONS

SHEET DATA

DATE: 03/20/24

JOB NO.: -

PHASE: SD

ISSUED FOR: PLANNING REVIEW

SCALE: AS SHOWN

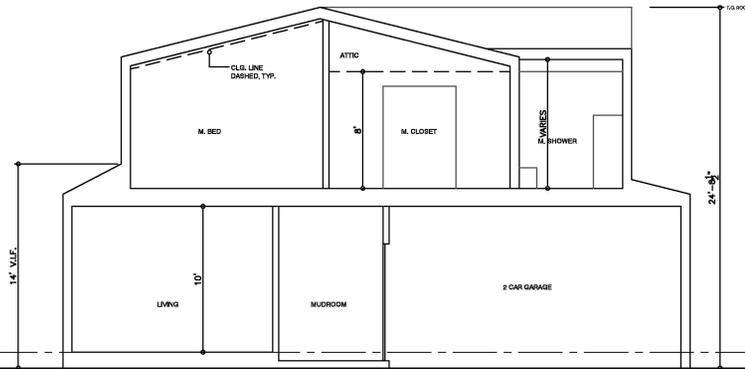
SHEET TITLE

**BLDG.
SECTIONS**

SHEET NUMBER

A2.4

P.L.

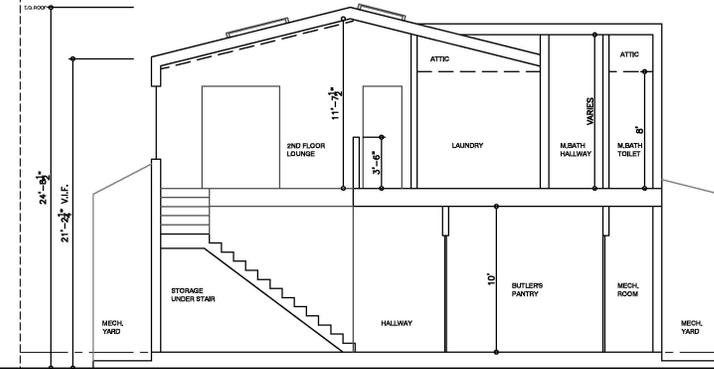


1 BLDG. SECTION DD

SCALE: 1/4"=1'-0"

P.L.

P.L.

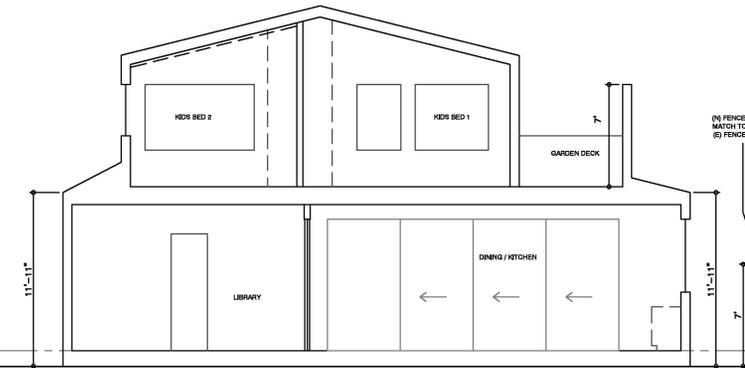


2 BLDG. SECTION EE

SCALE: 1/4"=1'-0"

P.L.

P.L.

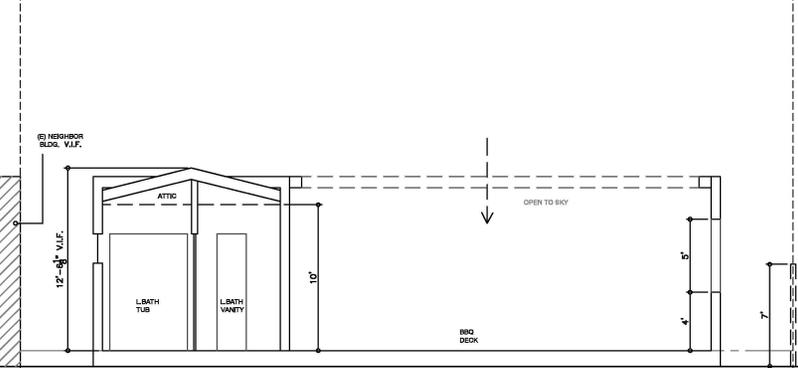


3 BLDG. SECTION FF

SCALE: 1/4"=1'-0"

P.L.

P.L.



4 BLDG. SECTION GG

SCALE: 1/4"=1'-0"

KEY NOTES

GENERAL NOTES

PLAN LEGEND

ARCHITECT

STORY BUILD DESIGN

ALBANY, CA 94706

STAMP



CITY USE ONLY

PROJECT

NGUYEN RESIDENCE ADDITION
 2135 LAUREL DRIVE
 SANTA CLARA, CA 95050

REVISIONS

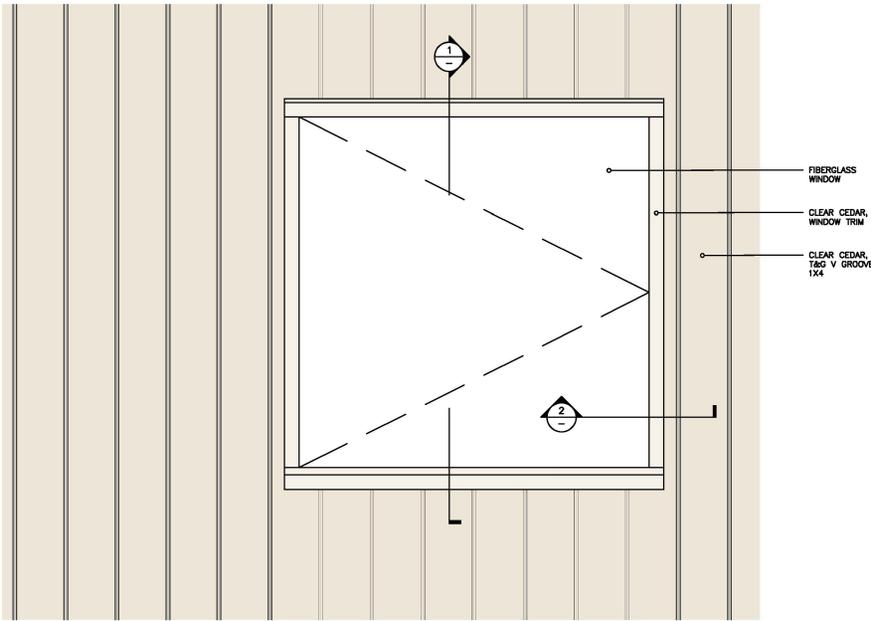
SHEET DATA

DATE: 03/20/24
 JOB NO.: -
 PHASE: SD
 ISSUED FOR: PLANNING REVIEW

SCALE: AS SHOWN
 SHEET TITLE

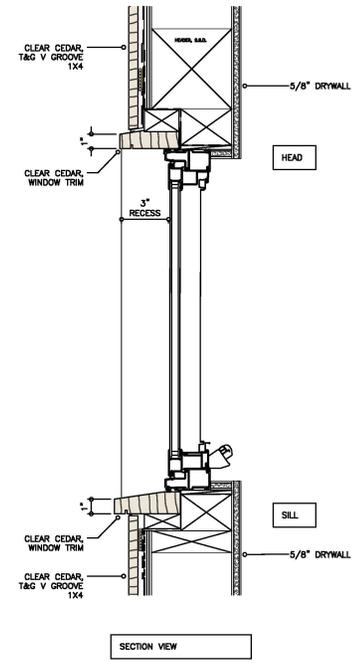
BLDG. SECTIONS

SHEET NUMBER
 A2.5



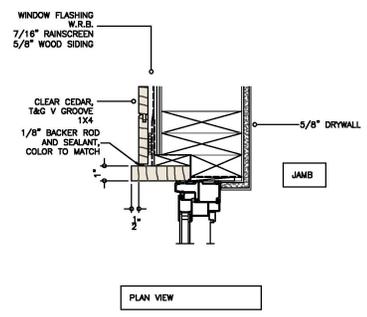
3 TYPICAL WINDOW DETAIL ELEVATION

3"=1'-0"



1 TYPICAL WINDOW DETAIL HEAD, SILL

3"=1'-0"



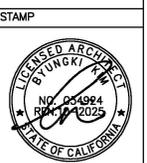
2 TYPICAL WINDOW DETAIL JAMB

3"=1'-0"

ARCHITECT

STORY BUILD DESIGN

ALBANY, CA 94708



CITY USE ONLY

PROJECT

NGUYEN RESIDENCE ADDITION
 2385 LAUREL DRIVE
 SANTA CLARA, CA 95050

REVISIONS

SHEET DATA

DATE: 03/20/24
 JOB NO.: -
 PHASE: SD
 ISSUED FOR: PLANNING REVIEW

SCALE: AS SHOWN

SHEET TITLE

DETAILS- EXT.

WINDOW

SHEET NUMBER

A6.4