

REMODELING OF HOUSE

3245, MCKINLEY DR, SANTA CLARA, CA - 95051
APN - 296-13-053

OWNER :-

SHARIQ M.

DESIGNER :-

UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com

REVISIONS
NUMBER
DESCRIPTION
DATE

PROJECT :
REMODELING OF
HOUSE
3245 MCKINLEY DR,
SANTA CLARA
CA - 95051

SHEET
TITLE:-
COVER
SHEET

DATE

02/26/2025

SCALE

AS SHOWN ON PLANS

SHEET

A0

SCOPE OF WORK

1. ADDITIONS AT F.F TO HAVE 2 CAR GARAGES FOR BOTH UNITS.
2. ADDITION AT F.F & S.F FOR BOTH UNITS.
3. REMODELING OF BOTH UNITS TO INTEGRATE THE ADDITIONAL AREA WITH THE EXISTING HOUSE.

DRAWING INDEX

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PROJECT DATA

LOT AREA = 7841 SQFT (0.81 ACRES)
TOTAL LOT COVERAGE ALLOWED = 40% OF 7841 =3136

| EXISTING: FLOOR PLAN: | UNIT A | UNIT B | TOTAL |
|--------------------------|-----------|-----------|-----------|
| FIRST FLOOR AREA | 795 SQFT | 782 SQFT | 1577 SQFT |
| SECOND FLOOR AREA | 795 SQFT | 782 SQFT | 1577 SQFT |
| TOTAL | | | |
| GARAGE AREA | 564 SQFT | 302 SQFT | 866 SQFT |
| FRONT PORCH | 105 SQFT | 90 SQFT | 195 SQFT |
| TOTAL COVERED AREA | 1464 SQFT | 1174 SQFT | 2638 SQFT |

| PROPOSED | UNIT A | UNIT B | TOTAL |
|--------------------|-----------|-----------|-----------|
| FIRST FLOOR AREA | 986 SQFT | 986 SQFT | 1972 SQFT |
| SECOND FLOOR AREA | 926 SQ FT | 1852 SQFT | |
| TOTAL | 1912 SQFT | 3824 SQFT | |
| GARAGE AREA | 402 SQFT | 402 SQFT | 804 SQFT |
| FRONT PORCH | 17 SQFT | 17 SQFT | 34 SQFT |
| TOTAL COVERED AREA | 2331 SQFT | 2331 SQFT | 4662 SQFT |

TOTAL COVERED AREA AT F.F 2810 SQFT
TOTAL COVERED AREA AT S.F 1852 SQFT
RATIO OF S.F TO F.F AREA 65.9% < 66%

COMMON LIVING AREA- UNIT A 1667 SQFT >25% OF TOTAL AREA
COMMON LIVING AREA- UNIT B 1667 SQFT >25% OF TOTAL AREA

OPEN LANDSCAPE FRONT (MCKINLEY & CROMIN DR) AREA 2842 SQFT
OPEN LANDSCAPE REAR AREA 1055 SQFT
TOTAL LANDSCAPE AREA 3897 SQFT

PROJECT INFORMATION

APN : 296-13-053
ZONING : R2-72-DUPLEX
EXISTING : 4
PROPOSED : 8
BEDROOMS : 2
BATH : 3.5+3.5 (6 FULL +2 HALF)
STORIES : 2 (EXISTING HOUSE) : 1 (ADU)
CONSTRUCTION TYPE : V-B(NON-SPRINKLERED)
PARKING : 2 CAR
OCCUPANCY : R3-U- TWO FAMILY RESIDENTIAL WITH ATTACHED GARAGE

FLOOD ZONE : X

SETBACK TABLE

| | 1st STOREY | 2nd STOREY |
|---------------|------------|------------|
| FRONT | 15'-0" | N/A |
| SIDE INTERIOR | 5'-0" | N/A |
| SIDE CORNER | 10'-0" | N/A |
| REAR | 10'-0" | 15'-0" |
| MAX. HEIGHT | 25'-0" | |

APPLICABLE CODES

2022 California Building Code
2022 California Residential Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Green Building Standards Code
2022 California Fire Code
2022 California Energy Code
All applicable local, county & Federal codes, Laws and regulations

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS OF THE FOLLOWING 2022 CALIFORNIA RESIDENTIAL AND BUILDING CODE (CBC, CBC), CALIFORNIA ELECTRICAL CODE 2022, CALIFORNIA ENERGY CODE 2022, AND 2022 CALIFORNIA GREEN BUILDING CODE.
2. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL THE REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOUR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.

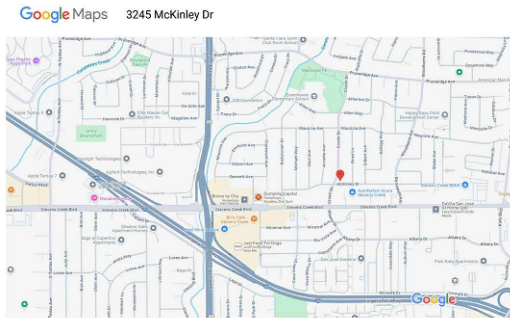
CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:

1. CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY ROOF STRUCTURE.
 2. INTERIOR DOOR AND ZERO CLEARANCE FIREPLACE RELOCATION SHOWN ON THE APPROVE PLANS
 3. A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM AND
 4. INTERIOR NON - STRUCTURAL WALL FINISHES.
- SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR THE NEW PLAN CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.

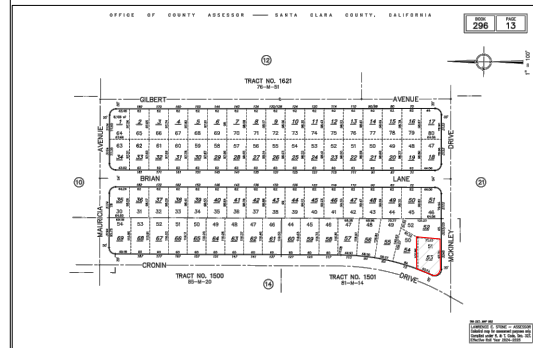
CAL GREEN NOTES:

1. PER CALIFORNIA CIVIL CODE ARTICLE 11014.4 AND CAL GREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY. EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLAINT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6gpm WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.2gpm. SHOWER HEADS WITH A FLOW GREATER THAN 2.5gpm WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 gpm (80) psi SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 gpm WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 gpm (80 psi) (OR 1.8 gpm (80 psi) FOR KITCHEN FAUCETS
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR EV CHARGING PURPOSES IN ACCORDANCE WITH THE CEC (MVC 8.20.33)

VICINITY MAP



APN MAP



APPROVAL STAMP

CROMIN DR

MCKINLEY DR

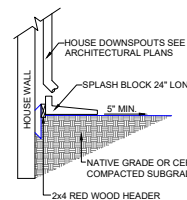
EXISTING SITE PLAN

SCALE 1/16" = 1'

NOTES:-
PROPERTY LINE DIMENSIONS ARE TAKEN FROM THE APN MAP

LEGEND

- PROPERTY LINE
- SET BACK
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL
- NEW ADDITION
- CONCRETE (IMPERVIOUS)
- GRASS
- WOODCHIPS
- PERMEABLE PAVER BLOCKS
- 6'-0" HIGH FENCE
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN



SPLASH BLOCK DETAIL
N.T.S.

RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6

R311.3 FLOORS AND LANDING AT EXTERIOR DOORS:

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY EACH WIDTH OF LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDING SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED $\frac{1}{4}$ UNIT VERTICAL IN 12 UNITS HORIZONTAL (2PERCENT)

R311.3.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS:

LANDING OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 $\frac{1}{2}$ INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 $\frac{1}{2}$ INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

SITE DRAINAGE & GRADING NOTES

- SPLASH BLOCK TO BE PLACED BELOW EACH DOWN SPOUT.
- THE SITE SHOULD BE FINE GRADED TO PROVIDE MIN. 5% SLOPE AWAY FROM BUILDING PERIMETER & ADJACENT PROPERTY LINES. IN NO CASE SHALL THE FINISH GRADING RESULT IN AN INCREASE IN SHEET FLOW ONTO ADJACENT PROPERTIES.
- DRAINED WATER TO BE DIRECTED TO THE LANDSCAPED AREA AT A SLOPE OF 2%.

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EXISTING
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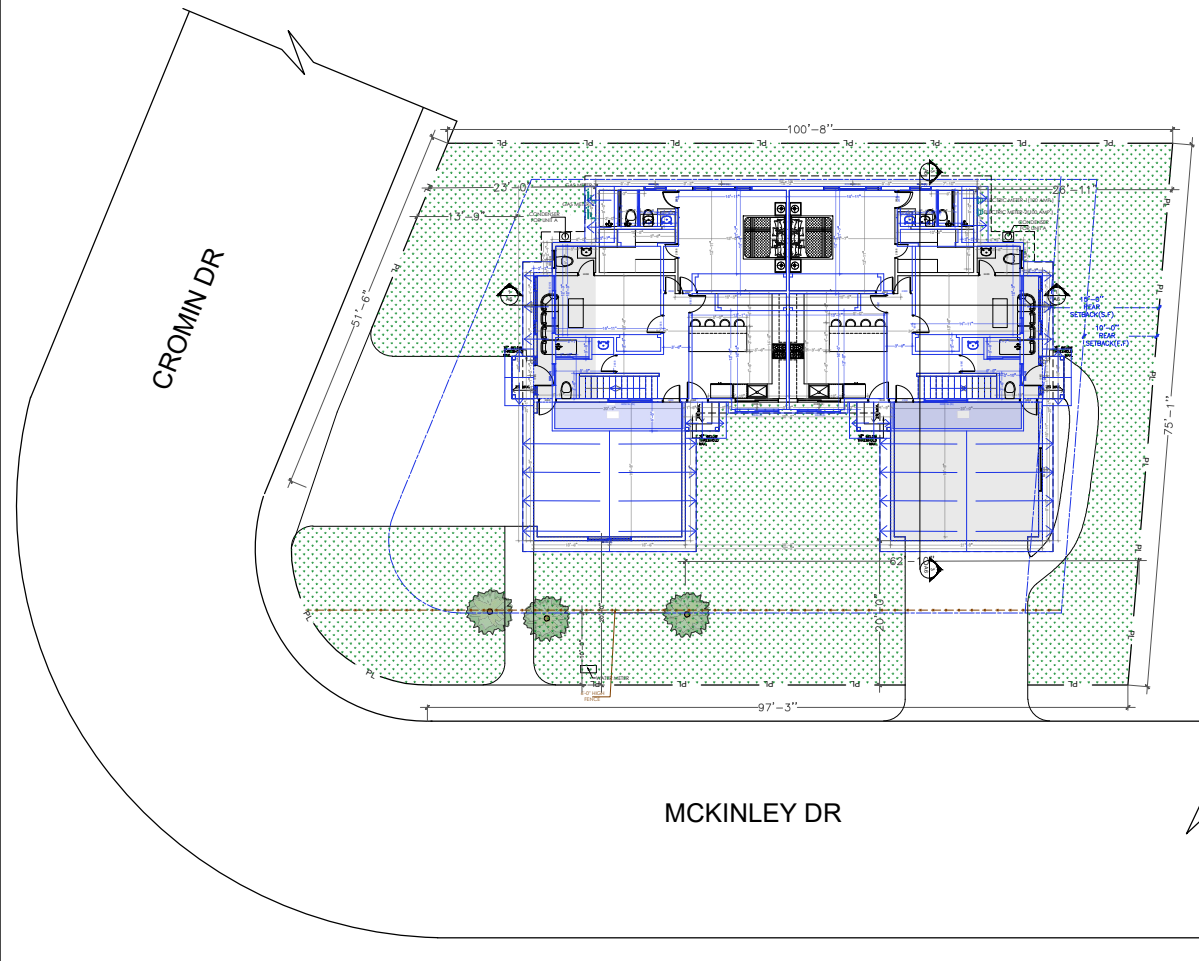
02/26/2025

SCALE

AS SHOWN ON PLANS

SHEET

A1.1

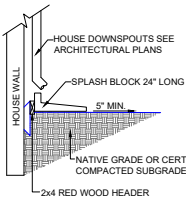


PROPOSED SITE PLAN
SCALE 1/16" = 1'

NOTES:-
PROPERTY LINE DIMENSIONS ARE TAKEN FROM THE APN MAP

LEGEND

- PROPERTY LINE
- SET BACK
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL
- NEW ADDITION
- CONCRETE (IMPERVIOUS)
- GRASS
- WOODCHIPS
- PERMEABLE PAVER BLOCKS
- 6'-0" HIGH FENCE
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN



SPLASH BLOCK DETAIL
NTS

NOTE: SPLASH BLOCKS TO BE INSTALLED AT ALL DOWNSPOUTS. TO ENSURE ROOF WATER IS DIRECTED AWAY FROM THE FOUNDATION. ANY EXISTING DOWNSPOUTS THAT CONNECT DIRECTLY TO THE STORM DRAIN SYSTEM SHALL BE DISCONNECTED AND DIRECTED TOWARDS LANDSCAPED AREAS.

RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6

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PROPOSED
SITE PLAN

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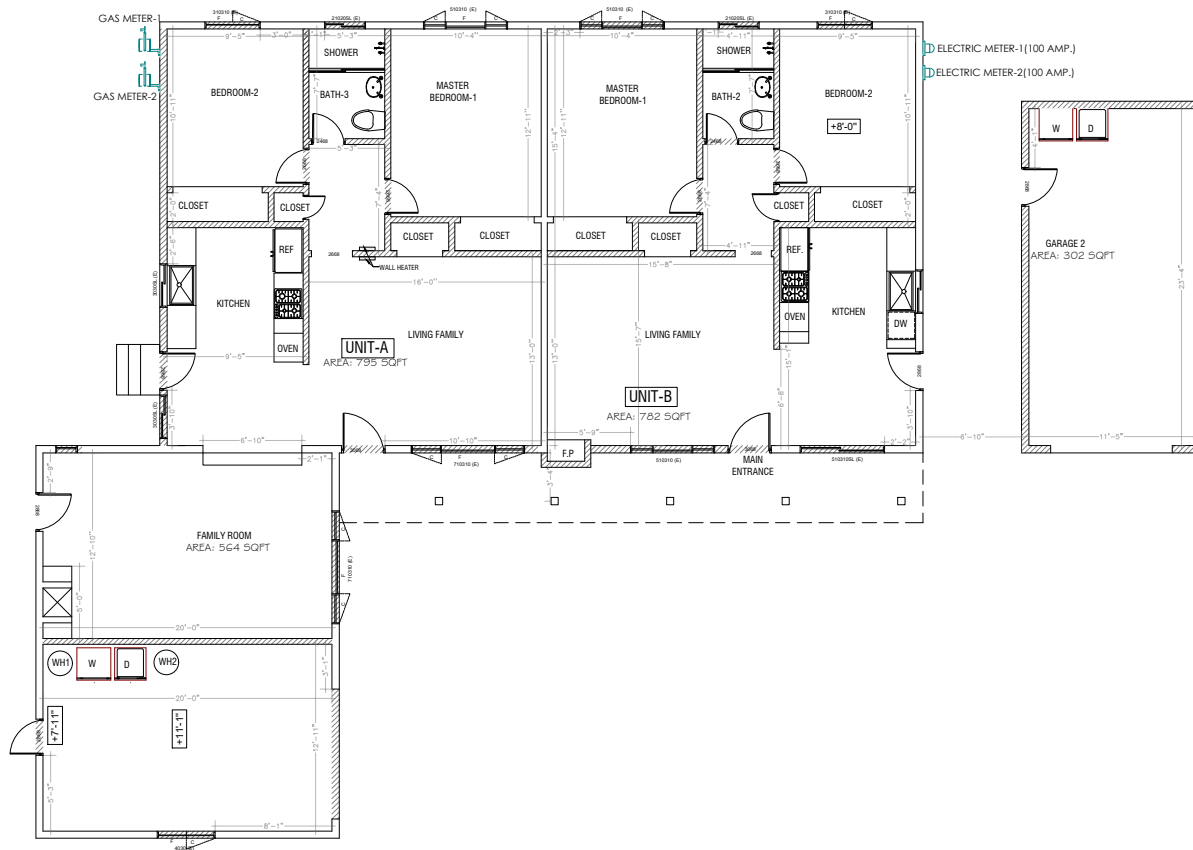
02/26/2025

SCALE

AS SHOWN ON PLANS

SHEET

A1.2



**EXISTING/DEMOLITION
FIRST FLOOR PLAN**
SCALE 1/4" = 1'

SYMBOLS

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL
- NEW ADDITION

LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING DOOR/WINDOW TO BE REMOVED
- EXISTING LIGHT FIXTURES TO BE REMOVED
- EXISTING PLUMBING FIXTURES TO BE REMOVED
- EXISTING APPLIANCES TO BE REMOVED
- EXISTING CABINETRY TO BE REMOVED
- EXISTING FLOORING TO BE REMOVED
- NEW LIGHT FIXTURES
- NEW PLUMBING FIXTURES
- TILE ON WALLS TO EXTEND TO THE CEILING AT SHOWER
- NEW TILE FLOORING
- NEW VANITY
- SHOWER
- NEW FAUCET, AERATOR, SOAP DISPENSER
- NEW DOUBLE BOWL SINK W/ GARBAGE DISPOSAL
- NEW REFRIGERATOR, PLUMB FOR ICE-MAKER
- NEW ELECTRIC RANGE WITH HOOD
- NEW DISHWASHER
- NEW CABINETRY AND COUNTERTOP
- BACKSPLASH FROM COUNTERTOP TO CABINET (IN HOOD AREA UP TO CEILING)
- NEW RECEPTACLES
- NEW BATHTUB
- NEW WOOD FLOORING
- PLUMB FOR WASHER



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SHEET TITLE:-

EXISTING/
DEMOLITION
FIRST FLOOR
PLAN

DATE

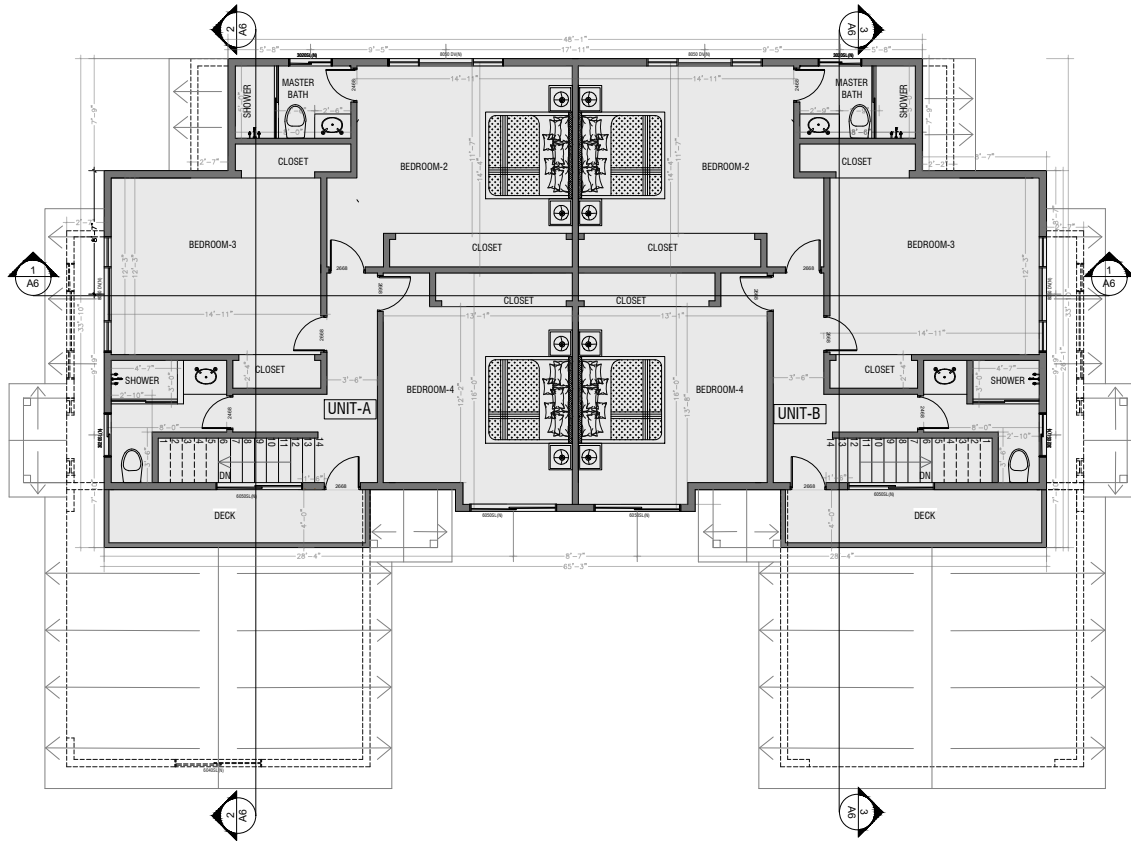
02/26/2025

SCALE

AS SHOWN ON PLANS

SHEET

A2



PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'

- SYMBOLS**
- EXISTING WALL
 - EXISTING WALL TO BE REMOVED
 - NEW WALL
 - NEW ADDITION
- LEGEND**
- EXISTING WALL TO BE REMOVED
 - EXISTING DOOR/WINDOW TO BE REMOVED
 - EXISTING LIGHT FIXTURES TO BE REMOVED
 - EXISTING PLUMBING FIXTURES TO BE REMOVED
 - EXISTING APPLIANCES TO BE REMOVED
 - EXISTING CABINETS TO BE REMOVED
 - EXISTING FLOORING TO BE REMOVED
 - NEW LIGHT FIXTURES
 - NEW PLUMBING FIXTURES
 - TILE ON WALLS TO EXTEND TO THE CEILING AT SHOWER
 - NEW TILE FLOORING
 - NEW VANITY
 - SHOWER
 - NEW FAUCET, AERATOR, SOAP DISPENSER
 - NEW DOUBLE BOWL SINK W/ GARBAGE DISPOSAL
 - NEW REFRIGERATOR, PLUMB FOR ICE-MAKER
 - NEW ELECTRIC RANGE WITH HOOD
 - NEW DISHWASHER
 - NEW CABINETS AND COUNTERTOP
 - BACKSPLASH FROM COUNTERTOP TO CABINET (IN HOOD AREA UP TO CEILING)
 - NEW RECEPTACLES
 - NEW BATHTUB
 - NEW WOOD FLOORING
 - PLUMB FOR WASHER

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SHEET TITLE:-
PROPOSED
SECOND
FLOOR PLAN

DATE

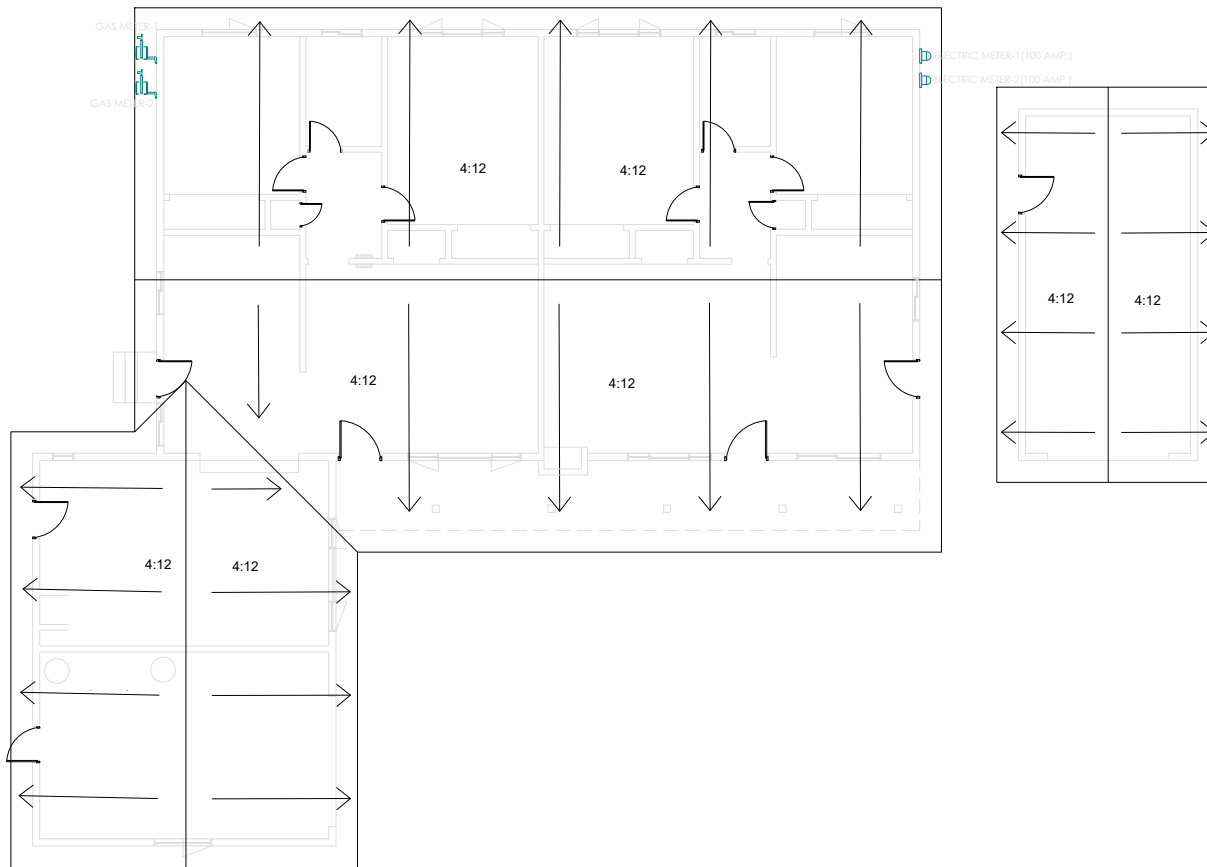
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SCALE

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SHEET

A3.2



EXISTING ROOFING PLAN

SCALE = $\frac{1}{4}"=1'$

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REMODELING OF
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SHEET TITLE:-

EXISTING
 ROOFING
 PLAN

DATE

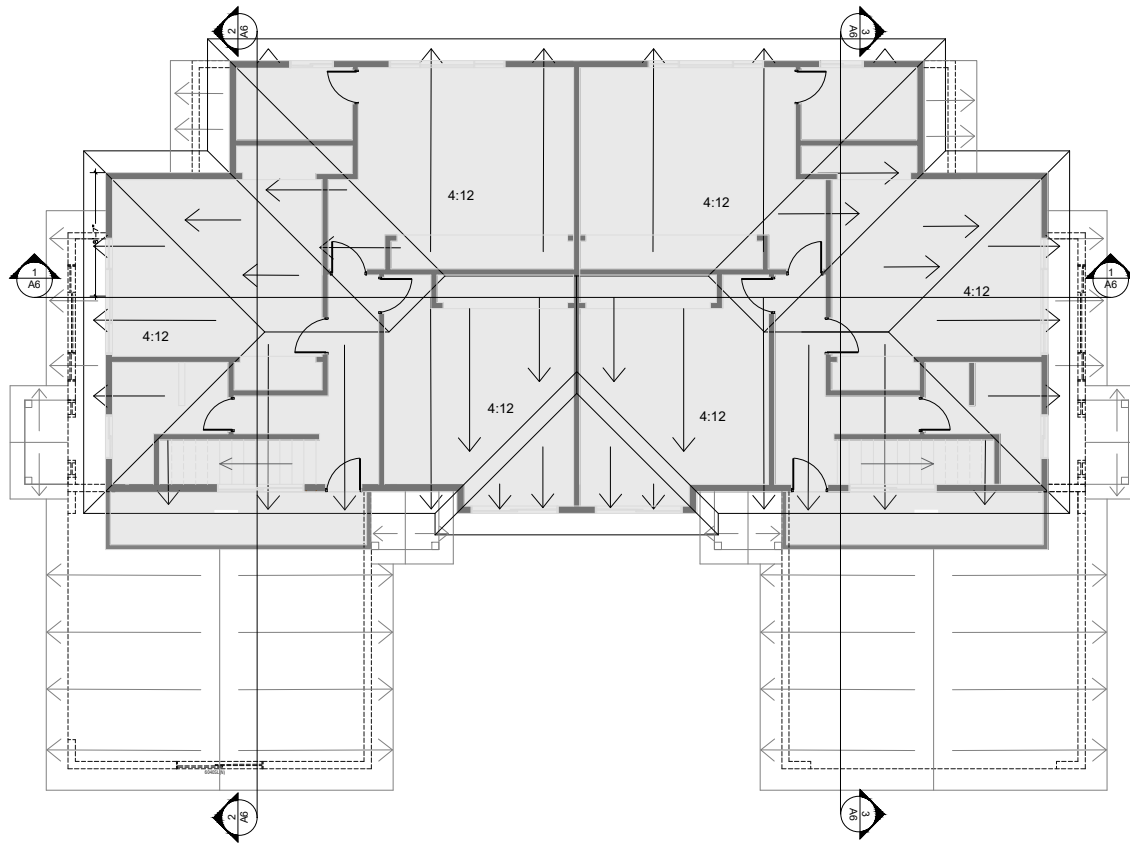
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SCALE

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SHEET

A4.1



PRPOSED ROOFING PLAN

SCALE = $\frac{1}{4}"=1'$

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**PROPOSED
 ROOFING
 PLAN**

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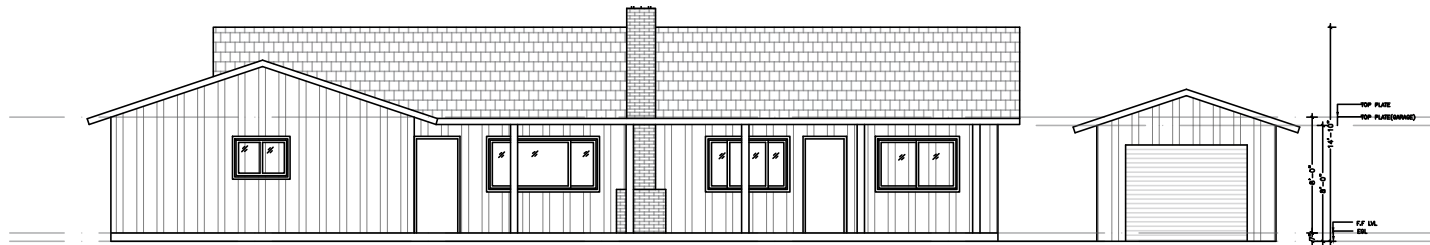
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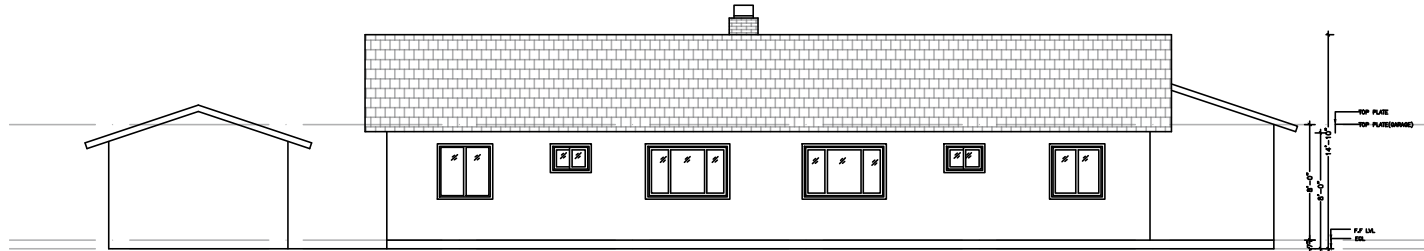
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A4.2



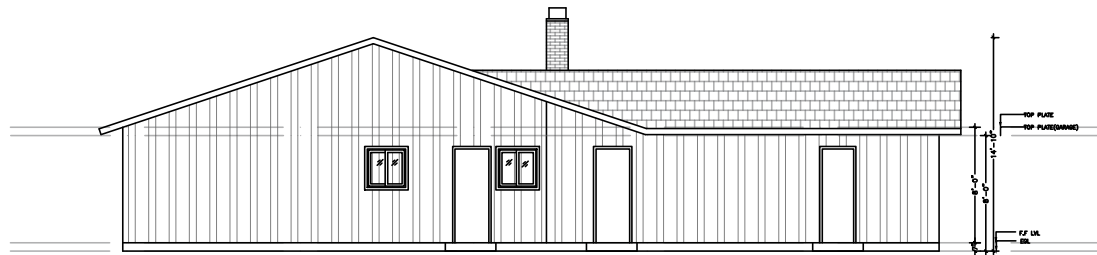
EXISTING FRONT ELEVATION

SCALE = $\frac{1}{4}"=1'$



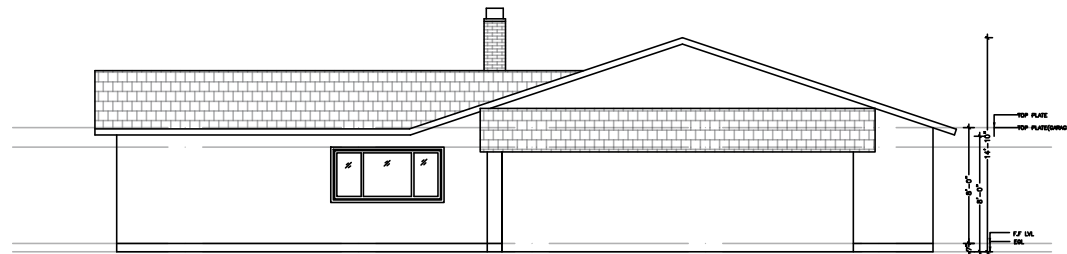
EXISTING REAR ELEVATION

SCALE = $\frac{1}{4}"=1'$



EXISTING LEFT ELEVATION

SCALE = $\frac{1}{4}"=1'$



EXISTING RIGHT ELEVATION

SCALE = $\frac{1}{4}"=1'$

ELEVATIONS NOTES:

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.

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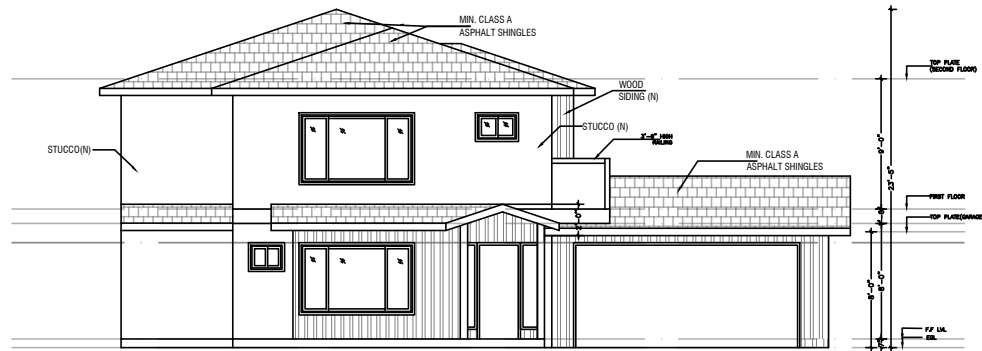
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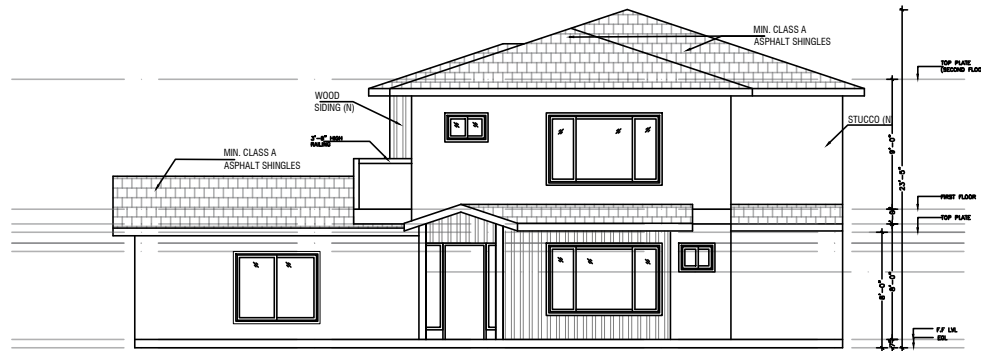
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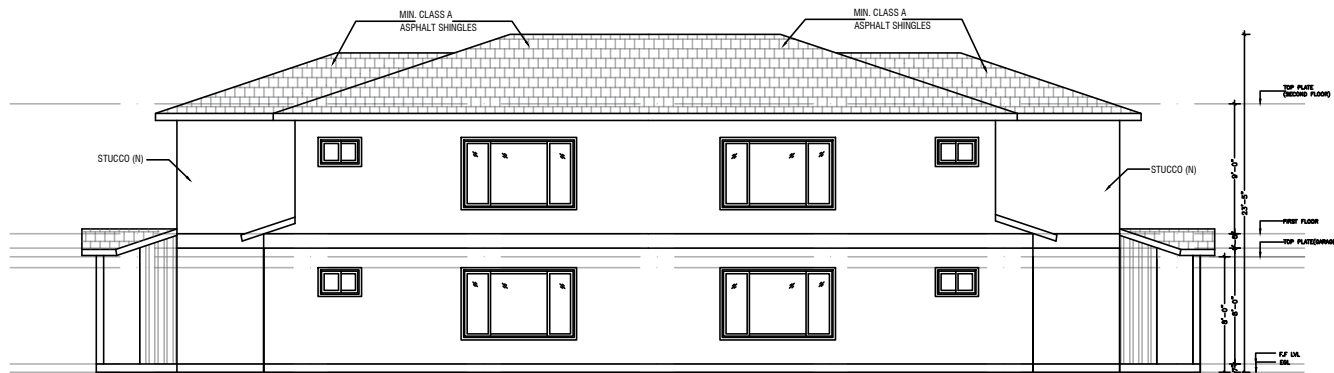
PROPOSED FRONT ELEVATION (WEST)

SCALE = 1/4"=1'



PROPOSED REAR ELEVATION (EAST)

SCALE = 1/4"=1'



PROPOSED LEFT ELEVATION (NORTH)

SCALE = 1/4"=1'

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**PROPOSED
ELEVATIONS-1**

DATE

02/26/2025

SCALE

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SHEET

A5.2



PROPOSED RIGHT ELEVATION (SOUTH)
SCALE = 1/4"=1'-0"

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| | NUMBER | DATE |
| | | |

PROJECT :

REMODELING OF
HOUSE
3245 MCKINLEY DR,
SANTA CLARA
CA - 95051

SHEET TITLE:-

**PROPOSED
ELEVATIONS-2**

DATE

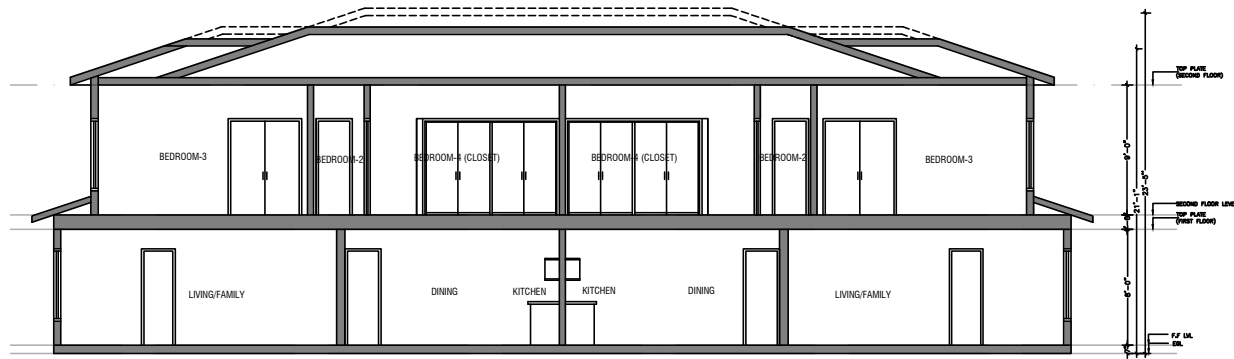
02/26/2025

SCALE

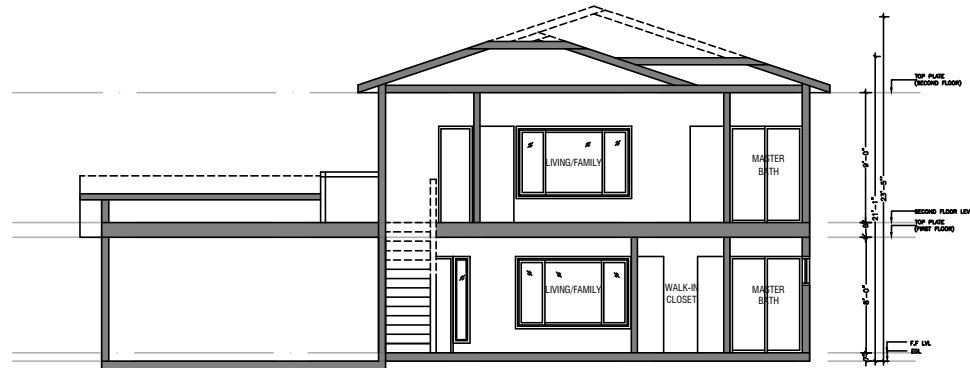
AS SHOWN ON PLANS

SHEET

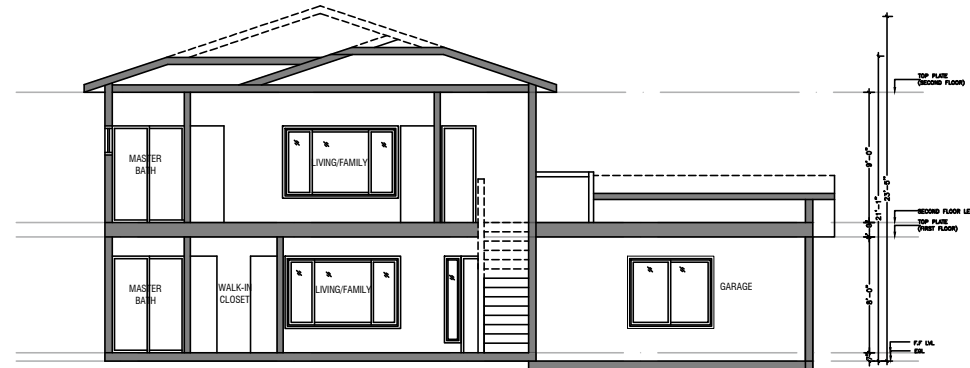
A5.3



PROPOSED SECTION 1/A6
SCALE = 1/4"=1'



PROPOSED SECTION 2/A6
SCALE = 1/4"=1'



PROPOSED SECTION 3/A6
SCALE = 1/4"=1'

OWNER :-

SHARIQ M.

DESIGNER :-

UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL: dsdeshwal@gmail.com

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| | DATE |
| NUMBER | |

PROJECT :

REMODELING OF
HOUSE
3245 MCKINLEY DR,
SANTA CLARA
CA - 95051

SHEET TITLE:-

**PROPOSED
SECTIONS**

DATE

02/26/2025

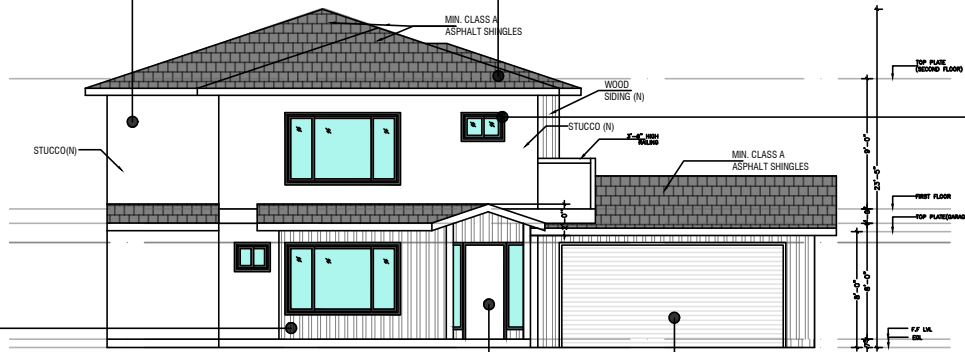
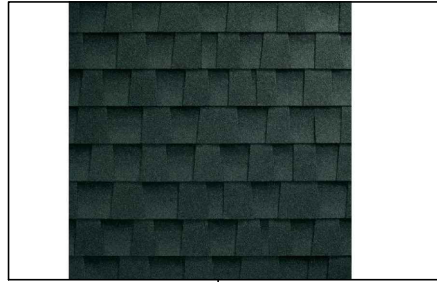
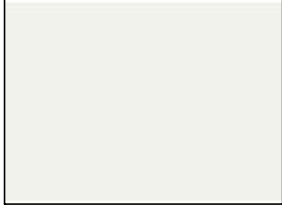
SCALE

AS SHOWN ON PLANS

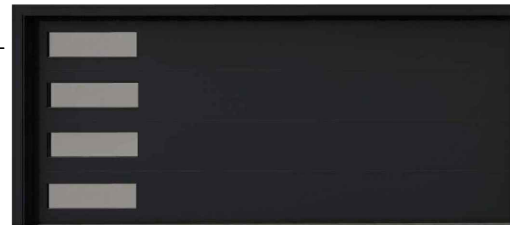
SHEET

A6

Pearly White
KMW44



PROPOSED FRONT ELEVATION
SCALE = 1/4\"/>



OWNER :-

SHARIQ M.

DESIGNER :-

UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL: dsdeshwal@gmail.com

REVISIONS

| NUMBER | DATE | DESCRIPTION |
|--------|------|-------------|
|--------|------|-------------|

PROJECT :

REMODELING OF
HOUSE
3245 MCKINLEY DR,
SANTA CLARA
CA - 95051

SHEET TITLE:-

PROPOSED
MATERIAL
DETAILS

DATE

08/10/2024

SCALE

AS SHOWN ON PLANS

SHEET

A7