



Agenda Report

21-1600

Agenda Date: 12/1/2021

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Action on the new construction of a two-story, 2,748 square-foot, four-bedroom and five- bathroom single-family home, at 1922 Main Street

File No.: PLN2020-14727

Location: 1922 Main Street, a 6,500 square-foot lot, located on the west side of Main Street approximately 150 feet north of Reed Street; APN: 224-23-011; property is zoned Single-Family Residential (R1-6L).

Applicant: Augustine Designs

Owner: Daljit Kaur

Request: **Architectural Review** of the proposed demolition of an existing 1,285 square-foot one-story, three bedroom and one bathroom single family home, and the proposed construction of a new two-story, 2,748 square-foot, four bedroom and four bathroom single family home with attached two-car garage, *(A new detached 750 square-foot, two bedroom and one bathroom accessory dwelling unit (ADU) proposed with this project is subject to administrative approval only).*

Project Data - see Attachment 2 for full-sized table

Lot Size: 6,500 sq.ft.	Existing Floor Area (sq.ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,045	1,219
Second Floor	n/a	1,052
Garage	240	441
Covered Porches	0	92
Shed	120	0
Gross Floor Area	1,285	2,712
Lot Coverage	1,405 / 6,500 = 22%	1,752 / 6,500 = 27%
ADU	n/a	750
2 nd :1 st Floor Coverage	n/a	1,052 / 1,752 = 60%
F.A.R.	1,285 / 6,500= 0.20	2,712 / 6,500 = 0.42
Bedrooms/Baths	3 / 1	4/5

Flood Zone	X	X
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Points for Consideration

1. The project site was developed with the existing house in 1948.
2. The project site is located in the historic Old Quad Area of the City and is not located within 200 feet of any HRI property.
3. 300-foot neighborhood notice was distributed for this project review. No public comments have been received as of the date of this report preparation.
4. There are no active City code enforcement cases for this property.
5. The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk flood area.
6. The project includes demolition of an existing 3 bedroom and 2 bathroom single family home and detached one car garage, and the new replacement construction of a two-story, 2,712 square-foot, 4 bedroom and 4.5 bathroom single family home including an attached 441 square foot two-car garage at front.
7. The project also proposes to construct a new detached 750 square-foot, two bedroom and one bathroom accessory dwelling unit in the rear yard but is not part of the architectural review approval process. The ADU is subject to administrative review approval only.
8. The City’s Single Family Residential Design Guidelines encourage that second floor walls be stepped back at least 5 feet from the front ground floor wall below, and at least 3 to 5 feet from side and rear ground floor walls to minimize building massing - more if the proposed second-floor area has a greater-than-35% footprint over the ground floor. The applicant is proposing to address the building massing through a combination of stepping back the second floor walls at least 5 feet from the front walls below, 4 feet from the north ground floor side wall, 5 feet from the south ground floor side wall, and further by breaking up the second floor walls through additional step-ins along both sides.
9. The project proposes 8-foot ceiling heights for the first and second floor living areas as supported by the City’s Design Guidelines.
10. The project also proposes a combination of 6:12 roof pitch for the ground floor and 5:12 roof pitch for the second floor resulting in a proposed overall building height of 24 feet, 6 inches where 25’ is the maximum height allowed by the R1-6L Zoning Code.
11. The main house is proposed to be clad in stucco siding with 2x4 wood trim around windows and doors, and asphalt composition shingle roofing, which is consistent with the materials used on other residential buildings in the neighborhood.

Findings

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The project provides two off-street parking spaces within an attached two-car garage, and additional off-street parking on a proposed two-car wide driveway.
 - The property is served by existing infrastructure adequate in size and capacity to support the proposed use.
2. *That the design and location of the proposed development and its relation to neighboring*

developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;

- Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
3. *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and will not be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- the proposed project design incorporates several measures intended to be compatible the neighborhood character, including stucco siding, wood trim around windows and doors, composition shingle roofing, elevated side wall windows on the second floor, and step-back of second floor walls from the front and side ground floor walls below.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project would be subject to the California Building Code and City Code requirements.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*
- The proposed design incorporates materials and architectural design features identified in the City's Single Family and Duplex Residential Design Guidelines to make the project consistent with these adopted Guidelines as a new two-story house.

Conditions of Approval:

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans and elevations.
- 2) Developer shall remove existing driveway and pavement from the street park- strip planter in the public right-of-way frontage for the property, and shall plant new landscape ground cover with irrigation and a new street tree in coordination with Planning and the Department of Public Works - Streets Division.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 4) Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 5) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays, and shall not be allowed on recognized State and Federal

holidays.

- 6) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.

ENVIRONMENTAL REVIEW

Categorically Exempt per CEQA Section 15303 (a) - New Construction or Conversion of Small Structures.

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

PUBLIC CONTACT

On November 18, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application.

RECOMMENDATION

Approve the new construction of a two-story, 2,748 square-foot, four-bedroom and five- bathroom single-family home, at 1922 Main Street, subject to conditions.

Reviewed by: Jeff Schwilk, Associate Planner, Community Development

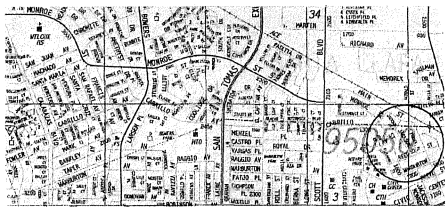
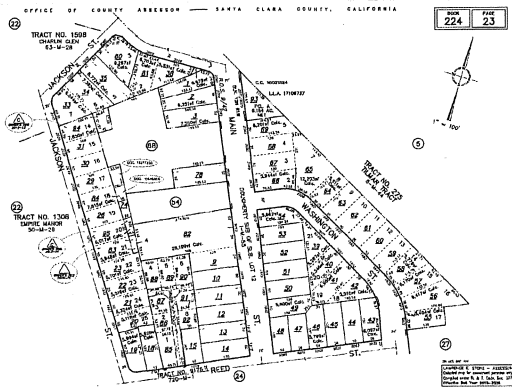
Approved by: Gloria Sciara, Development Review Officer, Community Development

ATTACHMENTS

1. Development Plans
2. Project Data

Project Data – 1922 Main Street

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ADU	n/a	
2nd:1st Floor Coverage	n/a	1,052 / 1,752 = 60%
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Bedrooms/Baths	3 / 1	4/5
Flood Zone	X	X



VICINITY MAP

SHEET INDEX		
NO.	DATE	DESCRIPTION
1.	5/22/2020	SITE PLAN
2.	5/22/2020	ELEVATIONS
3.	5/22/2020	PROPOSED 1 ST FLOOR PLAN
4.	5/22/2020	PROPOSED 2 ND FLOOR PLAN
5.	5/22/2020	ELECTRICAL 1 ST FLOOR PLAN
6.	5/22/2020	ELECTRICAL 2 ND FLOOR PLAN
7.	5/22/2020	FOUNDATION PLAN
8.	5/22/2020	ROOF PLAN
9.	5/22/2020	CROSS SECTIONS
10.	5/22/2020	DETAIL SHEET "A"
11.	5/22/2020	DETAIL SHEET "B"
ADU PLANS		
1A.	5/22/2020	ADU ELEVATIONS
2A.	5/22/2020	ADU FLOOR PLAN
3A.	5/22/2020	ADU FOUNDATION
4A.	5/22/2020	ADU ROOF PLAN
TITLE - 24 MAIN RESIDENCE		
EN-1		TITLE - 24
EN-2		TITLE - 24
GR-1		CALOREEN
TITLE - 24 ADU		
EN-1		TITLE - 24
EN-2		TITLE - 24
GR-1		CALOREEN
STRUCTURAL		
S1.		STRUCTURAL
S2.		STRUCTURAL
S3.		STRUCTURAL
S4.		STRUCTURAL
S5.		STRUCTURAL

GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:

2019 CALIFORNIA BUILDING CODE	2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA RESIDENTIAL CODE	2019 CALIFORNIA HISTORICAL BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE	2019 CALIFORNIA TESTING BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE	2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- AND ALL STATE OF CALIFORNIA CITY COUNTY AND MUNICIPAL CODES
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDS AND SPECIFICATIONS AND LETTERING ON DRAWINGS, THE SPECIFICATION SHALL TAKE PRECEDENCE. IF ANY ERROR (TYP) IS NOT EXPLORED BY THE CONTRACTOR, THE CONTRACTOR SHALL REFER THEM TO THE DRAFTSMAN FOR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR MUST TO SCALE DRAWINGS. DRAWING DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ERROES AND OMISSIONS IN THE EVENT THAT AN OMISSION OR ERROR MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER/DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SO SHALL RELIEVE DESIGNER OF RESPONSIBILITY COMMENCEMENT OF WORK. FAILURE TO DO SO SHALL RELIEVE DESIGNER OF RESPONSIBILITY.

PROJECT INFORMATION

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:

2019 CALIFORNIA BUILDING CODE	2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA RESIDENTIAL CODE	2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA ELECTRICAL CODE	2019 CA. GREEN BUILDING STANDARD CODE
2019 CALIFORNIA MECHANICAL CODE	

(AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)

PROJECT PROPOSAL

- PROPOSED NEW 2 STORY RESIDENCE WITH ATTACHED 2 CAR GARAGE
- PROPOSED REAR DETACHED ADU (2ND DWELLING UNIT) WITH 2 BEDROOMS
- (E) SINGLE FAMILY RESIDENCE TO BE DEMOLISHED

PROJ. LOG/OWNER	PROPERTY INFORMATION
DALJIT KAUR	A) PARCEL NUMBER 224 - 23 - 011
1922 MAIN STREET	B) ZONING DISTRICT R-1-G (SFR)
SANTA CLARA, CA. 95050	C) CURRENT LOT SIZE 6,500 S.F.
	D) GENERAL PLANS VERY LOW DENSITY RESIDENTIAL

PARKING

(M) 2 MINIMUM PROVIDED

CBC 2019 / CONSTRUCTION INFORMATION

A) CONSTRUCTION TYPE..... VB	D) OCCUPANCY GROUP..... R-3U
B) NUMBERS OF STORIES..... 2	E) SPRINKLERS..... REQUIRED
C) YEAR BUILT..... 1948	(R) RESIDENCE TO BE DEMOLISHED

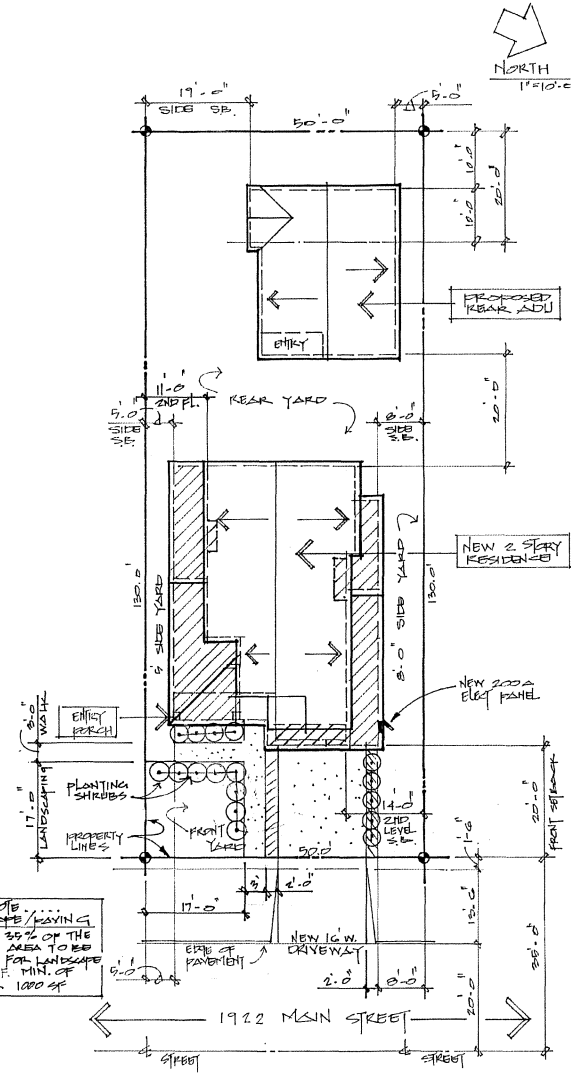
BUILDING SQ. FTG/LOT COVERAGE/FLOOR AREA RATIO (FAR)

(M) 2 STORY RESIDENCE.....	2,397 S.F.
(N) ATTACHED 2 CAR GARAGE.....	441 S.F.
(M) FRONT PORCH.....	92 S.F.
(N) NEW DETACHED ADU.....	750 S.F.

A) MAX. FAR..... N/A	A) MAX. LOT COVERAGE... 40% OR 2,600 S.F.
B) ACT. FAR..... N/A	B) ACT. LOT COVERAGE... 27% OR 1,782 S.F.

SCOPE OF WORK

- PROPOSED NEW 2 STORY RESIDENCE WITH ATTACHED 2 CAR GARAGE
- PROPOSED REAR DETACHED ADU (2ND DWELLING UNIT) WITH 2 BEDROOMS
- EXISTING SINGLE FAMILY RESIDENCE TO BE DEMOLISHED



..... NOTE / LANDSCAPE / LAYING A MIN. OF 35% OF THE MIN. FRONT AREA TO BE RESERVED FOR LANDSCAPE OR 350 S.F. MIN. OF 20'X50 OR 1000 SF

SPECIAL SITE DRAINAGE NOTE:

- THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOOTING FOR A MIN. OF 1% FOR A MIN. DISTANCE OF 5'
- DISCHARGE THE ROOF DRAINAGE SYSTEM INTO ITS DISCHARGE TO 2" MIN. FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM

REVISIONS

DATE: _____

Professional Design Consultant
 2023 Hopyway Ave., #1 San Jose, CA 95128
 (408) 294-7900

4 ARCHITECTURE & DESIGN

OWNER
 MR. DALJIT KUAR
 1922 MAIN STREET
 SANTA CLARA, CA. 95050
 (408) 210 - 9856

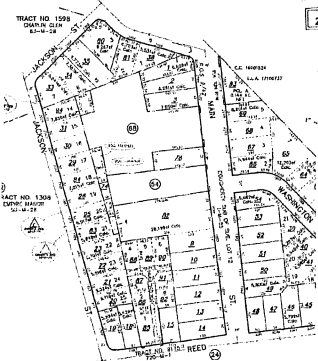
PROPOSED NEW 2 STORY RESIDENCE AND A DETACHED 2ND UNIT (ADU)

DATE: 5-13-2020
 SCALE: 1" = 10'-0"
 DRAWN: BKA
 JOB: _____

1

OF SHEETS

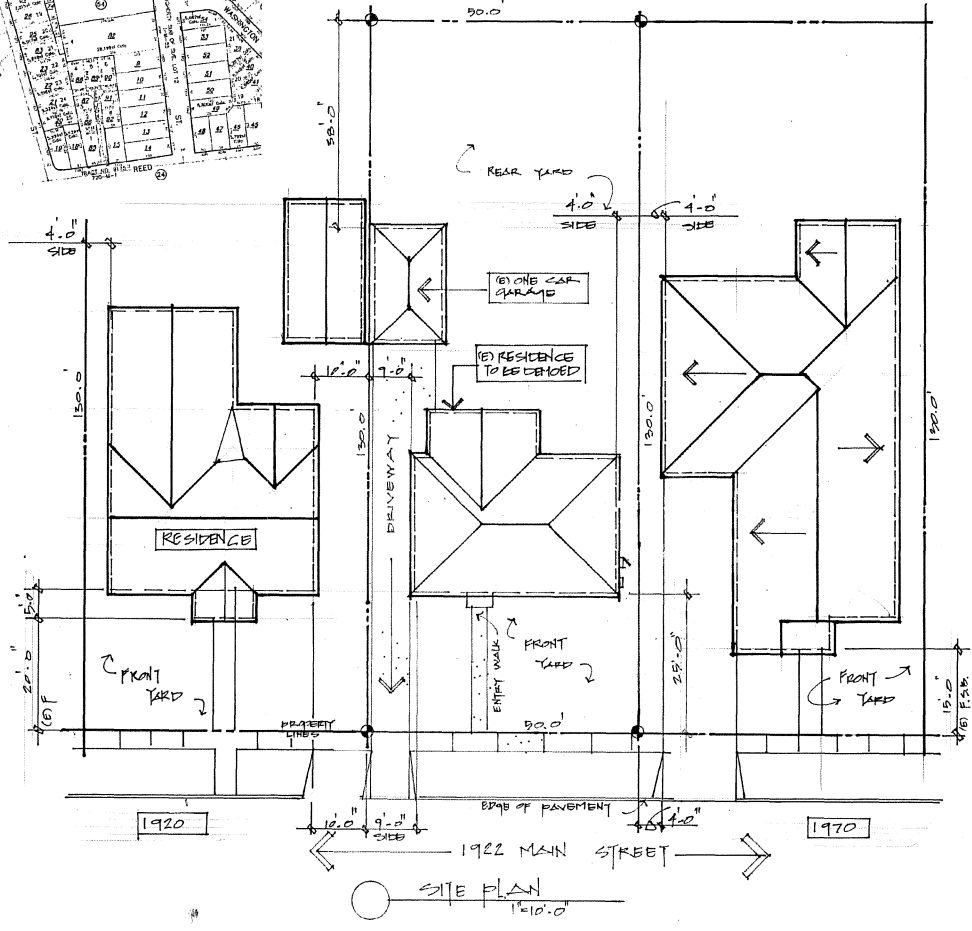
OFFICE OF COUNTY ASSESSOR - SANTA CLARA COUNTY



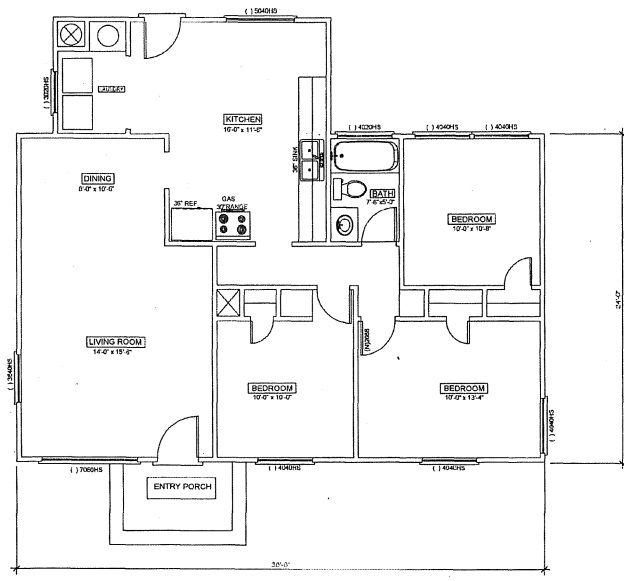
MAP 224 SHEET 23

SCOPE OF WORK

- A) PROPOSED NEW 2 STORY RESIDENCE WITH ATTACHED 2 CAR GARAGE
- B) PROPOSED REAR DETACHED ADU (2ND DWELLING UNIT) WITH 2 BEDROOMS
- C) EXISTING SINGLE FAMILY RESIDENCE TO BE DEMOLISHED



A EXISTING FRONT ELEVATION



E EXISTING / DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS
DATE:

OWNER
MR. DALJIT KUAR
1922 MAIN STREET
SANTA CLARA, CA. 95050
(408) 210 - 9856



PROPOSED NEW 2 STORY
RESIDENCE AND A DETACHED
2ND UNIT (ADU)

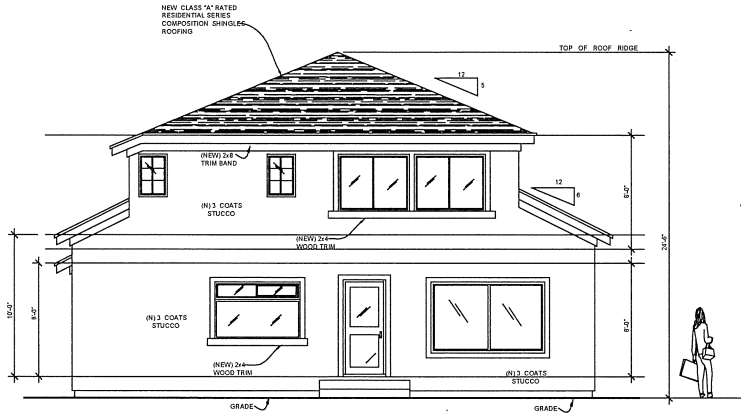
DATE: 12-26-2020
SCALE: 1/4" = 1'-0"
DRAWN: BRA
JOB:

1a

OF SHEETS

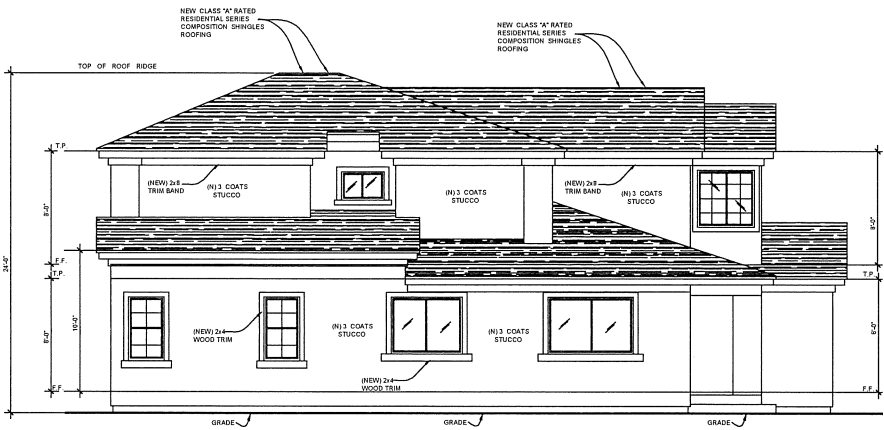
EXTERIOR BUILDING NOTES

- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHIMMING, AND BATHS ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 4" OR LESS THAN 2" MEASURED VERTICALLY FROM
- WHERE ROOF GUTTERS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPASH BLOCK AND SHALL CARRY WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE. CIRCUMSTANCE CLARIFY IF THERE ARE NEW GUTTERS AT NEW ADDITION



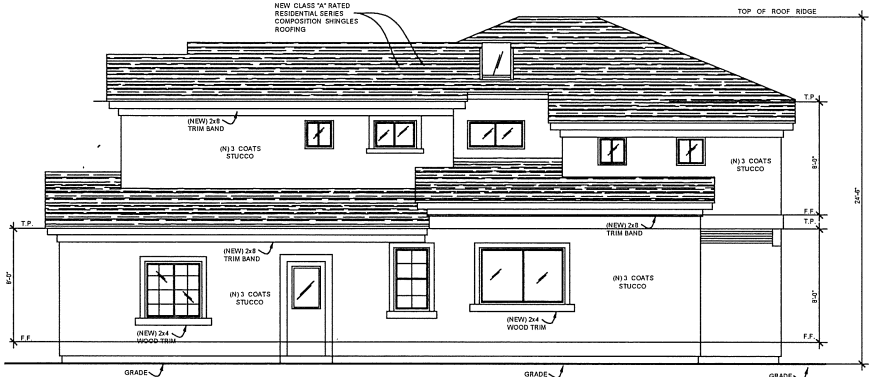
REAR ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

SITE GRADING NOTE
PROVIDE A MINIMUM 2% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1.2%)



LEFT SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

SITE GRADING NOTE
PROVIDE A MINIMUM 2% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1.2%)



RIGHT SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

GENERAL NOTES

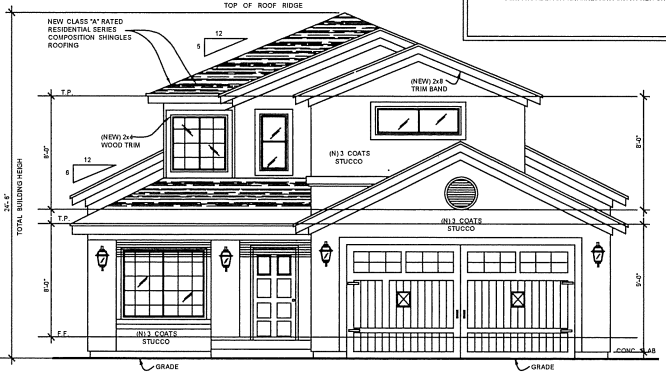
- PLANS TO CONFORM WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS ENFORCED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SETBACK DESIGN CATEGORY E)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF DIMENSIONS, GENERAL FINISH AND REQUIREMENTS, REFERENCE IS MADE TO THE DRAWINGS. SHOULD ANY DISCREPANCY APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDS OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACT OR TO THE CITY OF SAN DIEGO, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR IS NOT TO SCALE DRAWINGS.
- ERRORS AND OMISSIONS: IN THE EVENT THAT ANY ALGEBRAIC ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SO, SHALL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND ITS SETBACKS, IT SHALL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS & DRAWINGS FOR REFERENCE AND SHIELDS NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT.

GENERAL EXTERIOR NOTES

- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 1/2" POLYFIBER FELT OR ONE LAYER OF 1/2" ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE MANUFACTURED WITH 'GUMMED' LAMINATE. SHALL CONSIST OF 2 LAYERS OF 1/2" POLYFIBER FELT INSTALLED SINGLE FASHION. MAX LAYERS ON A SINGLE ROOF SHALL NOT EXCEED 3
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPERABLE WINDOWS PER UPC 906.2
- SEE ADDRESS NUMBERS. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS EASILY LEGIBLE AND VISIBLE FROM THE STREET OR ON ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS OR ALPHABETICAL LETTERS, NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH AN MINIMUM STROKE WIDTH OF 1/2" (12.7 MM). THESE ACCESSIBLE NUMBERS OR ALPHABETICAL LETTERS AND THE BELOW ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

EXTERIOR WEATHER PROTECTION NOTES

- STUCCO OR SHEATHING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH 6 MIL MINIMUM GALVANIZED METAL OR OTHER APPROVED UNDERLAYER PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 4" AT VERTICAL JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATHING THERE SHALL BE TWO LAYERS OF GRADE D BUILDING PAPER. BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING:
 - WHERE THERE IS HIGH MOISTURE OCCURRENCE
 - WHERE EXTERIOR COVERINGS IS APPROVED W.P. MATERIAL OVER WATER RESISTIVE SHEATHING
 - WHERE EXTERIOR COVERINGS IS APPROVED W.P. PANELS
- STUCCO SHALL BE 7/16" THICK AND THREE COATS APPLIED OVER APPROVED WATER AND WEATHER RESISTANT GRADE D BUILDING PAPER. PROVIDE VEEF CREED
- SING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY



FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

REVISIONS
DATE

Professional Design Consultants
3533 Imperial Ave., 3rd Floor, CA 92128
(609) 244-7069



OWNER
DALJIT KAUR
1922 MAIN STREET
SANTA CLARA, CA 95050
PHONE: (196) 756-1311

PROPOSED NEW SINGLE
FAMILY RESIDENCE

DATE: 04/22/2020
SCALE: 1/4" = 1'-0"
DRAWN: BRA
JOB:

2
SHEETS

ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES

- PLUMBING**
1. ALL SINK FACETS, SHOWERS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CODE SECTION 101.01. BATHROOM FIXTURES SHALL NOT EXCEED 1.6 MAX PER FLUSH. SINK SINKY FACETS SHALL NOT EXCEED 1.0 GALLONS PER FLUSH. SINKY FACETS SHALL NOT EXCEED 1.0 GALLONS PER FLUSH. AND URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
 2. PER CPC SECTION 402.2.2, SINGLE FLUSH WATER CLOSURES SHALL HAVE AN EFFECTIVE FLOW RATE NOT TO EXCEED 1.2 GALLONS PER FLUSH.
 3. INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 30% USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASELINE WATER PER SECTION 402.1.
 4. ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CODE SECTION 402.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION. CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT.

- ELECTRICAL**
1. ALL BRANCH CIRCUITS SHALL BE SINGLE PHASE, 15 AMP, 120 V AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, KITCHENS, BEDROOMS, LIBRARIES, STUDY, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-Fault CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. SEE ARTICLE 210.6.
 2. ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT TYPE PER SECTION 210.6(C).
 3. AT LEAST TWO 20 AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (SEE 210.5).
 4. ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED 4' OF CIRC.
 5. ALL EXHAUST FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEMS.
 6. ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR.
 7. ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILING SHALL BE IC INSULATION COVER AND 1/4" TIGHT TRAYED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE OFF WITH A GASKET OR CAULK.

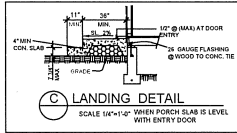
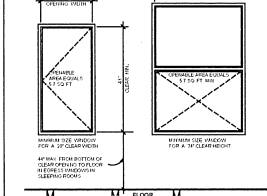
SMOKE DETECTOR NOTES

- A. SMOKE DETECTOR:**
PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
- A) POWER SOURCE:**
IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SYSTEM OR BE DERIVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL NOT BE A BATTERY OPERATED DETECTOR. THE DETECTOR SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTOR SHALL BE COULDED OR BATTERY OPERATED DETECTOR UNDER GO ALTERNATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CPC 2019.
- B) LOCATION WITHIN DWELLING UNITS:**
IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WITH MORE THAN ONE ROOM OR IN THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR 10% OF MORE. SMOKE DETECTOR SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREA OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

PLUMBING NOTES:

- ALL WORK SHALL BE PERMITTED AND INSPECTED BY THE CITY BUILDING DEPT. AND PLUMBING DEPT.
1. ALL FACETS ON ALL SINKS AND FLUSH VALVES ON ALL TOILETS SHALL HAVE A FLOW RATE IN COMPLIANCE WITH THE STATE OF CALIFORNIA C.E.C. CONSERVATION STANDARDS.
 2. ALL PLUMBING WALLS TO BE 2 x 4 @ 16" O.C. WALL CONSTRUCTION UNLESS OTHERWISE NOTED.
 3. ALL NEW HOT AND COLD WATER LINES SHALL BE COPPER PIPE FOR THIS TYPE OF WORK. USE APPROVED CONNECTORS.
 4. PLUMBING SIZE REQUIRED:
1) TOILETS 3/4" MIN. WATER
2) SHOWERS 1/2" MIN. WATER
3) SINKS 1/2" MIN. WATER
4) TUBS 1/2" MIN. WATER
5) SHOWERS/TUBS 3/4" MIN. WATER
WATER LINES... 3/4" MIN. COPPER
 5. PLUMBING VENTS AND CLEANOUTS
1) VENT PIPES TO BE MIN. 3" DIAMETER VENT THRU ROOF MAX. 1/4" FOUR FIXTURES PER VENT.
2) PROVIDE AT EACH ROOF VENT, A 24 GAUGE, GALVANIZED STEEL FLASHING WITH 4" OVERLAP.
 6. CLEANOUTS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY CODE AND AT ALL BENDS, ANGLES AND UPPER TERMINALS. TOPS OF COVER PLATES SHALL BE FLUSH WITH THE FINISHED FLOOR OR GRADE.
 7. ALL WALLS BEHIND SHOWERS AND TUBS TO HAVE APPROVED WATER PROOF GREEN BOARD OR WOODER BOARD OVER STUDS PRIOR TO INSTALLATION OF PARTIERS AND FINAL LAYER OF ENAMEL BASE PAINT OR VINYL TILE BACKING.
 8. TOILETS: PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET.
 9. WATER HEATERS: SHALL BE PROVIDED WITH PRESSURE TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE.
 10. ALL NEW & EXISTING WATER HEATERS TO BE SEISMIC STRAPPED TO WALL AT TOP AND BOTTOM WITH 24 GAUGE GAUGE METAL STRAPS PER CBC 2019.

RESIDENTIAL EGRESS WINDOWS (2016 CBC) EMERGENCY ESCAPE AND RESCUE



- SPECIAL TITLE - 24 NOTES**
1. ALL LIGHTING TO BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.6(A) AND JOINT APPROVAL JAL.
 2. ALL LUMINAIRES THAT ARE INSTALLED WITH JAG-CERTIFIED LIGHT SOURCES NEED TO BE CONTROLLED BY A DIMMER OR WACONT DIMMER. THIS IS NOT REQUIRED FOR LIGHTING IN CLOSETS LESS THAN 10 SQ FT OR IN HALLWAYS.
 3. ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS:
 - A. PHOTOCELL AND MOTION SENSOR
 - B. PHOTOCELL AND DAY SWITCH
 - C. ASTRONOMICAL TIME CLOCK
 - D. DIMMER WITH FEATURES OF ASTRONOMICAL TIME CLOCK
 4. LUMINAIRES RECESSED IN INSULATED CEILING SHALL COMPLY WITH THE FOLLOWING:
 - A. SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT.
 - B. BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL LEAKS.
 - C. SHALL NOT CONTAIN SCRIBED BASE SOCKETS

ELECTRICAL / MECHANICAL LEGEND

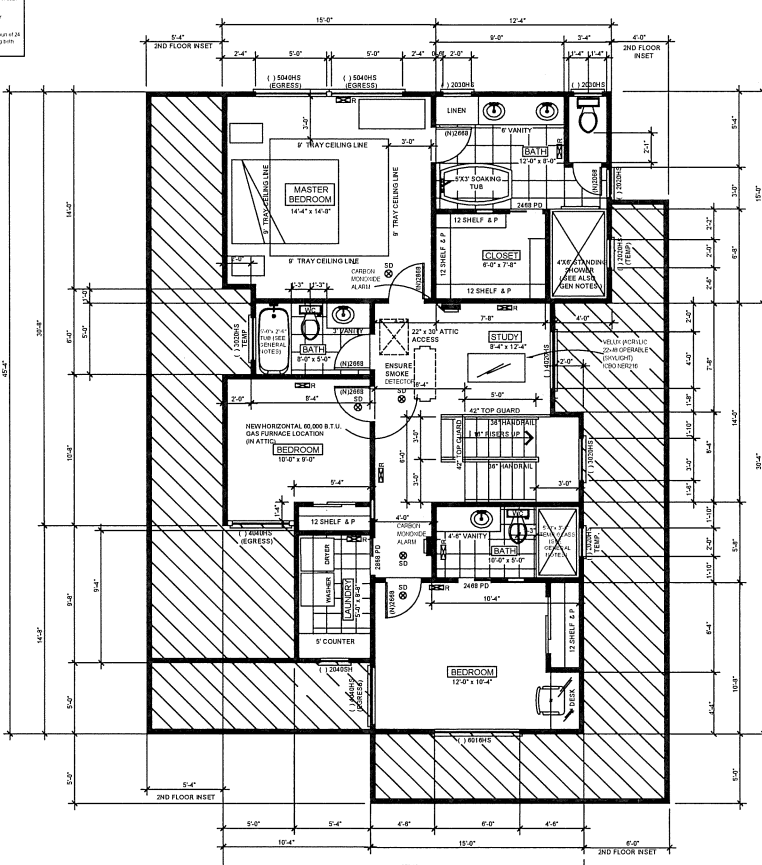
EXISTING WALLS	CHIME
NEW WALLS	DOORBELL PUSHBUTTON
WALLS TO BE REMOVED	COMB. EXHAUST & LIGHT FIXT
CLOSE WALLS	ELECT. FAN
DUPLEX RECEPTACLE OUTLET	HEAT LAMP
GROUND FAULT INTERRUPT CIRCUIT	HEATER RESIST
SUP. REC. OUTLET MOUNTING	CEILING AIR REGISTER
FOUR PLEX RECEPTACLE	WATER HEATER
220 V RECEPTACLE OUTLET	FURNACE
RECESSED CEILING LIGHT	HOSE BIBB
HIGH EFFICACY LIGHT	CARBON MONOXIDE ALARMS
WALL LIGHT	INTERCOM
WATERPROOF WALL LIGHT FIXTURE	ELECT. METER MAIN PANEL
FLUORESCENT LIGHT	ELECTRICAL SUB-PANEL
SMALL FLUORESCENT FIXTURE	RECESSED LIGHT
SPOTLIGHT	DISPOSAL
WALL SWITCH	CONCRETE
THREE-WAY SWITCH	STUCCO
FOUR-WAY SWITCH	EXISTING
SMOKE DETECTOR	H.S. HORIZONTAL SLIDER
TELEPHONE OUTLET	S.H. SINGLE HUNG
TW CABLE OUTLET	FIX
	FIXED GLASS

GENERAL INTERIOR NOTES

1. ALL PLUMBING VENTS TO BE MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPENABLE SKYLIGHTS PER CPC 2019.
2. ALL BATHROOM SHOWERS, FLOORS AND WALLS TO BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 1 FEET (72" ABOVE FINISHED FLOOR).
3. PROVIDE EXHAUST FAN IN KITCHEN AREA FOR LOCAL VENTILATION. ROOM AIR CHANGE REQUIREMENTS PER 2019 CALIFORNIA ENERGY CODE SECTION 150.6 AND MINIMUM 62.0 CFM. OTHERWISE SPROUT KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
4. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED.
5. ALL NEW & EXISTING TAMPER RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER SEC 406.11.
6. PROVIDE SEPARATE SWITCHES FOR ALL EXTERIOR LIGHTS IN BATHROOMS PER CALIFORNIA ENERGY CODE (HOURS) FANS AND SWITCHES TO BE SEPARATELY SWITCHED.
7. ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30

GENERAL NOTES

1. PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES.
 2. INTERPRETATION OF DRAWINGS FOR ASSIGNMENT OF FLOOR, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DISCREPANCY APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICITY SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT FIRST APPEARS EITHER BY REFERENCE TO THE DRAWINGS CONTRACTOR TO REPORT DRAWING DEVELOPER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR NOT TO SCALE DRAWINGS.
 3. ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DEVELOPER PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SO, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
 - A) POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SYSTEM OR BE DERIVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL NOT BE A BATTERY OPERATED DETECTOR. THE DETECTOR SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTOR SHALL BE COULDED OR BATTERY OPERATED DETECTOR UNDER GO ALTERNATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CPC 2019.
 - B) LOCATION WITHIN DWELLING UNITS: IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WITH MORE THAN ONE ROOM OR IN THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR 10% OF MORE. SMOKE DETECTOR SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREA OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
 5. INSULATION CEILING R-20 BATT INSULATION NEW CONST. ONLY
WALLS R-13 BATT INSULATION NEW CONST. ONLY
FLOOR R-19 FLOOR INSULATION
ACCESS UNDERFLOOR 1/2" x 2" MIN. SQ. (IF WOOD FLOOR)
CEILING 2" x 3" MIN. VENT CLEAR HEIGHT
VOIDS APPROVED DOUBLE GLAZED
- NOTE: ALL OPENING ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.
1. ROOF DRAINAGE AND DOWN SPILL DRAINAGE OVERSIDE OF SHEATH SHALL BE INSTALLED.
 2. ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENT OF .40 OR BETTER.
 3. ALL GLAZING IN OR WITHIN 36" OF DOORS OVER 6 SQUARE FEET AND WITHIN 10' OF FLOOR AND ALL GLAZING IN PROGRESSIVE BATHS TO BE SAFETY GLASS.
 4. ALL GLAZING IN OR WITHIN 36" OF DOORS SHALL BE REINFORCED WITH 1/4" X 1/4" REINFORCING BARS PER IBC.
 5. BATHROOM FINISH NOTE: ENSURE A SMOOTH, HARD NONABSORBENT SURFACE OVER A HOSTILE RESISTANT UNDERLAYER TO A HEIGHT OF 72" ABOVE THE DRAIN TRAY FOR SHOWERS PER CBC 1213.3
 6. VENTER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.20 GALLONS PER FLUSH.



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

1,052 SQ. FT.

REVISIONS
DATE
REV. 05/18/2020

Professional Design Consultants
3333 Northway Ave., 12 San Jose, CA 95131
(408) 284-7600



OWNER
DALJIT KAUR
1922 MAIN STREET
SANTA CLARA, CA 95050
PHONE: (408) 755-1311

PROPOSED NEW SINGLE
FAMILY RESIDENCE
WITH DETACHED (ADU)

DATE: 05/18/2020
SCALE: 1/4" = 1'-0"
DRAWN: BRA

JOB:
4
07 SHEETS

REVISIONS

DATE:

Professional Design Consultants
 3022 Reservoir Way
 Suite 200
 CA 95050
 (916) 284-2020



OWNER
DALJIT KAUR
 1922 MAIN STREET
 SANTA CLARA, CA 95050
 PHONE: (916) 756-1311

**PROPOSED NEW SINGLE
 FAMILY RESIDENCE**

DATE: 04/22/2020

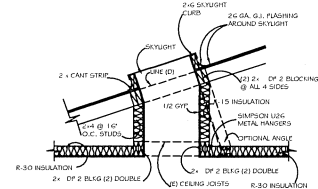
SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

8

OF SHEETS



ROOF FRAMING NOTES

- ROOF FRAMING AND TRUSSES SHALL BE EFFECTIVELY ANGLE BRACED ROOF RAFTERS WHEN SUPPORTED ON A RIBBON. SHALL BE WELL TIED TO THE STUDS. TRUSSES SHALL NOT BE TIED TO INTERIOR WALLS.
- THE ALLOWABLE SPAN OF ROOF RAFTERS SHALL BE MEASURED ALONG THE RAFTER FROM PLATE TO RIDGE EXCEPT THAT WHERE RAFTERS ARE BRACED WITH PURLINS AND STRUTS TO BEARING PARTITION, THE SPAN SHALL BE CONSIDERED BETWEEN PURLINS.
- THE MAXIMUM SPAN FOR 2 x 4 PURLINS IS FOUR FEET. THE MAXIMUM SPAN FOR 2 x 6 PURLINS IS SIX FEET. THE MAXIMUM SIZE FOR PURLING SUPPORTS (ROCKERS) IS 2 x 4. SHALL BE INSTALLED VERTICAL OR MAY BE INSTALLED AT ANGLE UP TO 45% MEASURED FROM VERTICAL. ALL PURLING SUPPORTS (ROCKERS) SHALL BE CONNECTED TO THE TOP FLANGE OF A BEARING WALL. R/RID CASE SHALL A PURLING BE LESS IN SIZE THAN THE RAFTERS SUPPORTS.
- A RIDGE SHALL BE INSTALLED AT ALL RIDGES AT LEAST TWO INCHES THICK NOT LESS IN DEPTH THAN THE END CUT OF THE RAFTER. WHERE THE SLOPE OF THE ROOF IS LESS THAN 2:12 THE RIDGE MEMBER SHALL BE DESIGNATED AS A LOAD BEARING MEMBER.
- ALL VALLEY AND HIP RAFTERS SHALL BE NOT LESS THAN 2 INCHES THICK AND NOT LESS IN DEPTH THAN THE END CUT OF THE RAFTER.
- WHERE CEILING JOISTS RUN OPPOSITE TO RAFTERS, RAFTERS SHALL BE PROVIDED WITH CROSS TIES AT 40 INCHES ON CENTER PLACED NEAR THE PLATE. THE MINIMUM SIZE FOR THE CROSS TIES SHALL BE 1 INCH BY 4 INCH.
- THE USE OF ROOF TRUSSES SHALL REQUIRE BUILDING SAFETY DIVISION APPROVAL OF ENGINEERING DESIGN DETAILS AND CALCULATIONS. TRUSSES SHALL NOT BE CUT WITHOUT REVIEW AND APPROVAL FROM THE BUILDING SAFETY DIVISION.

ATTIC VENTILATION NOTE

ENSURE 1 SF MIN UNDERFLOOR VENTILATION FOR EACH 100 S.F. OF ATTIC AREA

S.F. = 150 S.F.
 S.F. X 144 S.I.
 (144 SQUARE INCHES = 1 S.F.)
 AREA OF VENT
 TOTAL ATTIC VENTS REQUIRED:
 MINIMUMS MIN @ 12" x 14" #14 W/M 5/16 MESH EACH

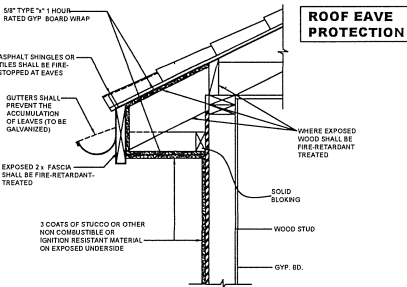
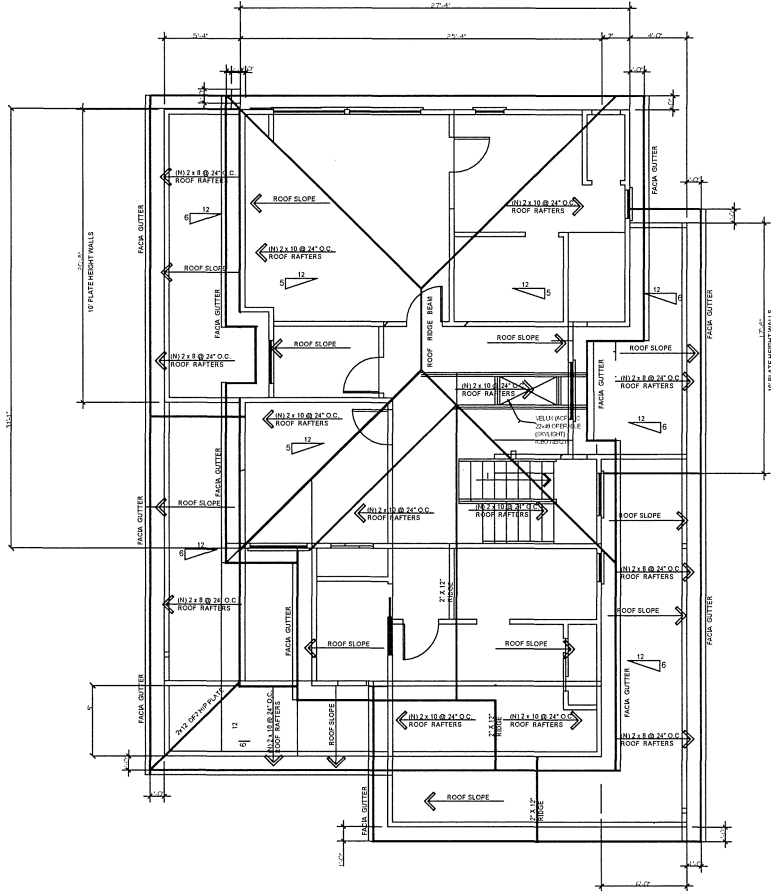
NOTE:
 ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF GUTTERS. VENTILATION SHALL BE ACCURATELY MEASURED BY 11" OVERHUNG WOODS. UNFETTERED VENTS AND VENTS WITH 8" TO 12" OVERHUNG WOODS SHALL BE APPROVED WITH R/S COVERED.

ATTIC VENTILATION NOTE

ENSURE 1 SF MIN UNDERFLOOR VENTILATION FOR EACH 100 S.F. OF ATTIC AREA

S.F. = 150 S.F.
 S.F. X 144 S.I.
 (144 SQUARE INCHES = 1 S.F.)
 AREA OF VENT
 TOTAL ATTIC VENTS REQUIRED:
 MINIMUMS MIN @ 12" x 14" #14 W/M 5/16 MESH EACH

NOTE:
 ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF GUTTERS. VENTILATION SHALL BE ACCURATELY MEASURED BY 11" OVERHUNG WOODS. UNFETTERED VENTS AND VENTS WITH 8" TO 12" OVERHUNG WOODS SHALL BE APPROVED WITH R/S COVERED.



K

ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES

PLUMBING

- ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA C.S.A. CODE SECTION 1601.8. KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GPM PER FLUSH. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS. SHOWER HEADS SHALL NOT EXCEED 2.0 GALLONS. AND URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
- PER CEC SECTION 402.2.2, SINGLE FLUSH WATER CLOSURES SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS.
- INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 30% USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASIN/WATER PER SECTION 5.1.0.3.1
- ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES.
- NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CEC SECTION 1611.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT.

ELECTRICAL

- ALL BRANCH CIRCUITS THAT SUPPLY 120V AC LE, SINGLE PHASE, 15-AMP OR AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PORCHES, TERRACES, BALCONIES, SIDEWALKWAYS, RECREATION ROOMS, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED RESIDUAL CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT, CEC ARTICLE 210.2.
- ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE, 2016 CEC 406.12
- AT LEAST TWO TAMPER-RESISTANT CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
- ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED 4" O.C.
- ALL EXHAUST FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM.
- ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR.
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN FLOOR AREAS SHALL BE CEILING INSULATION COVER AND AT LEAST TIGHT RATED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE OFF-PATH A GASKET OR CAULK.

GENERAL EXTERIOR NOTES

- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 1/2" POUND FELT OR OVER FIBERGLASS FELT OR 1/2" POLYESTER FIBERGLASS FELT INSTALLED ON ROOFS WITH A MIN. SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED (SEE SEALING OR ASSESSING SEALING) UNDER LAMINATE SHALL CONSIST OF 2 LAYERS OF 1/2" POUND FELT INSTALLED SINGLE FASHION MANUFACTURE (A SINGLE ROOF SHALL NOT EXCEED 3)
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPERABLE LIGHTS PER CEC 406.2
- SITE ADDRESS NUMBERS, BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS EASILY LEGIBLE AND VISIBLE FROM THE STREET OR ON ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL COINCIDE WITH THEIR BACKGROUND, ADDRESS NUMBERS OR ALPHANUMERICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" (103 MM) HIGH WITH AN ARABIAN STROKE WIDTH OF 1/2" (12.7 MM). WHERE ACCESS TO THE REAR OR FRONT OF THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A SIGNMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

EXTERIOR WEATHER PROTECTION NOTES

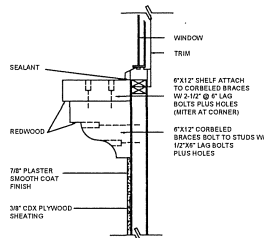
- STUDS OR SHEATHING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH BRUSHWOOD ADHESIVE, SAKSULATED FELT OR OTHER APPROVED WATERPROOF PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 6" AT VERTICAL JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATHING, THERE SHALL BE TWO LAYERS OF GRADE OF BUILDING PAPER, BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING:
 - A. WHERE THERE IS MINIMUM OCCUPANCY
 - B. WHERE EXTERIOR COVERINGS IS APPROVED W.P. MATERIAL OVER WEATHER RESISTANT SHEATHING
 - C. WHERE EXTERIOR COVERING IS APPROVED W.P. PANELS
- STUCCO SHALL BE 7/8" THICK AND THREE COATS APPLIED OVER APPROVED WATER AND TWO LAYERS OF GRADE BUILDING PAPER, PROVIDE KEEP DRY.
- SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY

IMPORTANT GRADING NOTE

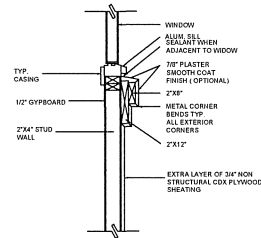
THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5 PER CENT FOR A MIN. DISTANCE OF 10 FEET (1:02 MIN. RATIO)

ROOF FRAMING NOTES

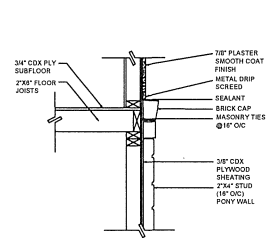
ALL FASTENERS FOR THE ROOF FRAMING SHALL CORROSION RESISTANT



D POT-SHELF / CORBEL ATTACHMENT DETAIL
NOT TO SCALE



L EXTERIOR TRIM DETAIL
NOT TO SCALE



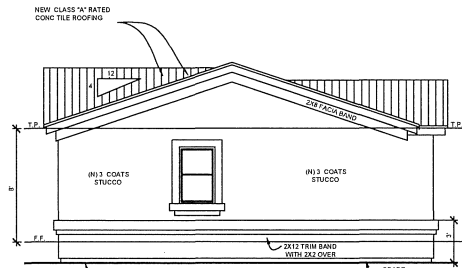
K VENEER ATTACHMENT DETAIL
NOT TO SCALE

GENERAL NOTES

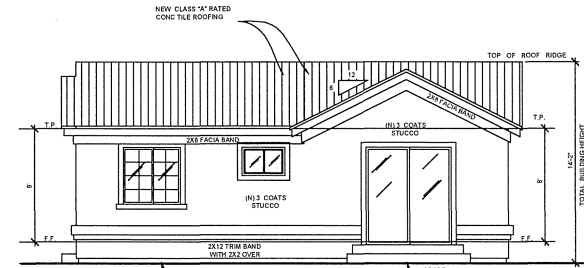
- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVIDED AS STATED IN 2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY RESIAR DESIGN CATEGORY E).
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOOR, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DISCREPANCY APPEAR BETWEEN SCALE MEASUREMENTS AND FIGURES OR BETWEEN WORDS OF DESCRIPTION AND LETTERS ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS OR CONTRADICTORY LETTERS ON DRAWINGS, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK, CONTRACTOR IS TO NOTIFY SUGGESTOR.
- REMOVE AND OVERBONE. IN THE EVENT THAT AN ANNOTATION OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, QUANTIFY AND PRIOR TO THE COMMENCEMENT OF WORK, FAILURE TO DO SO WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE FUTURE DEVELOPMENT OF THE LOT AND ITS SETBACKS, IT WILL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS, ACCORDANCE FOR REFERENCE AND SHOULD NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT.

EXTERIOR BUILDING NOTES

- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHEATHING AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 1" MEASURED VERTICALLY FROM:
- WHERE ROOF OUTLETS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPLASH BLOCK AND SHALL DRAIN WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE. ORDINANCE CLARIFY IF THERE ARE NEW OUTLETS AT NEW ADDITION

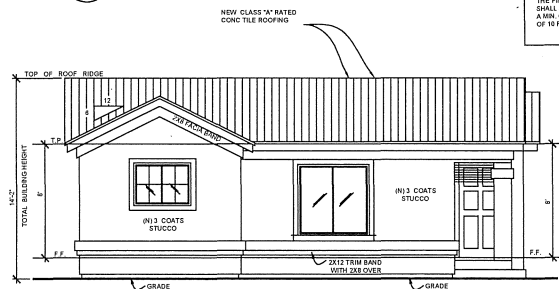


REAR ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

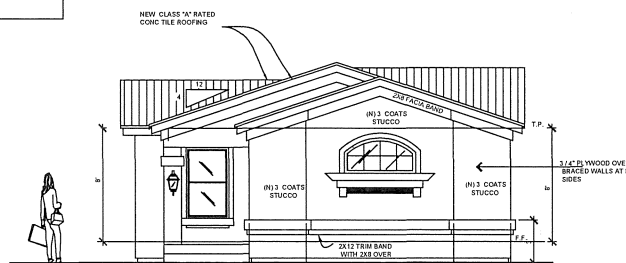


RIGHT SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

IMPORTANT GRADING NOTE
THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5 PER CENT FOR A MIN. DISTANCE OF 10 FEET (1:02 MIN. RATIO)



LEFT SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

IMPORTANT GRADING NOTE

THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5 PER CENT FOR A MIN. DISTANCE OF 10 FEET (1:02 MIN. RATIO)

PROPOSED 2ND UNIT ELEVATIONS
SCALE: 1/4" = 1'-0"

REVISIONS
DATE:

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PROPOSED NEW SINGLE
FAMILY RESIDENCE AND
NEW REAR DETACHED ADU

DATE: 05-15-2020
SCALE: 1/4" = 1'-0"
DRAWN: BIRA
JOB:

1a

CP SHEETS

ADDITIONAL... BATHROOM FIXTURE /ELECT/ PLUMBING, MECH AND INSULATION NOTES

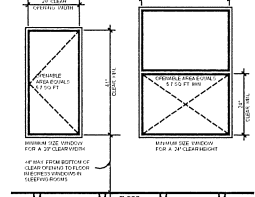
PLUMBING

1. ALL SINK FACETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 18018 IN BATHROOM FACETS SHALL NOT EXCEED 1.8 IN. PER FLOOR... 1.4 IN. PER FLOOR... 1.2 GALLONS... SHOWER HEADS SHALL NOT EXCEED 3.0 GALLONS... AND URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
2. PER CBC SECTION 402.2 SINGLE FLUSH WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.2 GALLONS.
3. WOOD WATER USE SHALL BE REDUCED BY A LEAK STOPPING URINO WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATING A 20% REDUCTION IN BASELINE WATER USE (SECTION 410.3).
4. ALL ADDITIONS ON OR AFTER JANUARY 1, 2024 SHALL REPLACE HOI COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES.

ELECTRICAL

1. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLES SHALL BE INSTALLED IN A DWELLING UNIT CLOSET, PANTRY OR MAIN ENTRY AREA. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLES IN BATHROOMS, RECREATION ROOMS, CLOSETS OR SIMILAR ROOMS OR AREAS SHALL BE INSTALLED IN A CLOSET AREA. ALL BRANCH CIRCUITS SHALL BE PROVIDED PROTECTIVE GROUNDING OF THE ENTIRE BRANCH CIRCUIT. PER CALIFORNIA ELEC. CODE 2019.
2. ALL NEW AND RE-TRACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLE, 2019 CEC ART 408.12.
3. AT LEAST TWO 30-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP. PER CEC 2019.30.
4. ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED 4" O.C.
5. ALL EXISTING PAINT THROUGHOUT THE RESIDENCE SHALL BE REMOVED SEPARATELY FROM ANY LIGHTING SYSTEM.
6. ALL WIRING SHALL BE DUCTED TO THE EXTERIOR.
7. ALL RECEPTACLES IN BATHROOMS, RECREATION ROOMS, CLOSETS OR SIMILAR ROOMS OR AREAS SHALL BE INSTALLED IN A CLOSET AREA. ALL BRANCH CIRCUITS SHALL BE PROVIDED PROTECTIVE GROUNDING OF THE ENTIRE BRANCH CIRCUIT. PER CALIFORNIA ELEC. CODE 2019.

RESIDENTIAL EGRESS WINDOWS (2019 CBC) EMERGENCY ESCAPE AND RESCUE



Because of many fire deaths that occur when occupants of residential buildings are unable to exit the building in a timely manner, the 2019 California Building Code (CBC), Section 1003 requires that egress windows in sleeping rooms and in living areas of a dwelling unit be provided with certain minimum dimensions and clearances. The minimum clearances are as follows: 1. Clear opening width shall be not less than 20 inches. 2. Clear opening height shall be not less than 20 inches. 3. Clear opening sill height shall be not more than 44 inches above the finished floor. 4. The window shall be operable from the inside without the use of tools, ladders, or other special devices. 5. The window shall be protected by a listed fire-rated window or door. 6. The window shall be protected by a listed fire-rated window or door. 7. The window shall be protected by a listed fire-rated window or door. 8. The window shall be protected by a listed fire-rated window or door. 9. The window shall be protected by a listed fire-rated window or door. 10. The window shall be protected by a listed fire-rated window or door.

SMOKE DETECTOR NOTES

- A. SMOKE DETECTORS:**
PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
- POWER SOURCE:**
IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WIRING A DISCONNECT SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS SHALL BE COLETT BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2019.
- LOCATION WITHIN DWELLING UNITS:**
IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING ROOM AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLING UNITS WHERE A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPILT INTO TWO OR MORE LEVELS.
- THE SMOKE DETECTOR SHALL BE INSTALLED IN THE UPPER LEVEL, EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA, A DETECTOR SHALL BE INSTALLED ON EACH LEVEL, WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL. IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY EXCEEDS THE ROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (94.0 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.**

ELECTRICAL NOTES

1. ALL 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNITS KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PANTRIES, LIBRARIES, BOOKS, BEDROOMS, BATHROOMS, RECREATION ROOMS, CLOSETS OR SIMILAR ROOMS OR AREAS SHALL BE INSTALLED IN A CLOSET AREA. ALL BRANCH CIRCUITS SHALL BE PROVIDED PROTECTIVE GROUNDING OF THE ENTIRE BRANCH CIRCUIT. PER CALIFORNIA ELEC. CODE 2019.
2. ALL NEW AND RE-TRACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLE, 2019 CEC ART 408.12.
3. AT LEAST TWO 30-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP. PER CEC 2019.30.
4. ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED 4" O.C.
5. ALL EXISTING PAINT THROUGHOUT THE RESIDENCE SHALL BE REMOVED SEPARATELY FROM ANY LIGHTING SYSTEM.
6. ALL WIRING SHALL BE DUCTED TO THE EXTERIOR.
7. ALL RECEPTACLES IN BATHROOMS, RECREATION ROOMS, CLOSETS OR SIMILAR ROOMS OR AREAS SHALL BE INSTALLED IN A CLOSET AREA. ALL BRANCH CIRCUITS SHALL BE PROVIDED PROTECTIVE GROUNDING OF THE ENTIRE BRANCH CIRCUIT. PER CALIFORNIA ELEC. CODE 2019.

SPECIAL SHOWER NOTES

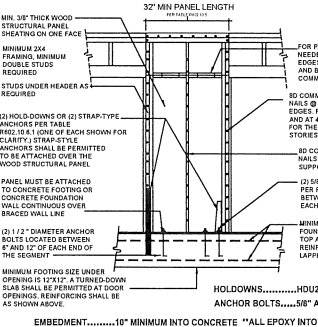
1. 1/2" DIA. OF BRACED WALL PANEL PER 25 LB OF WALL
2. 1/4" DIA. OF BRACED WALL PANELS AT ALL CORNERS PER EACH 25 LB OF WALL
3. WALL PANELS MAY BE REDUCED TO ABSOLUTE 1/4" DIA. WALL PROVIDED THEY ARE ANCHORED WITH THE APPROPRIATE FASTENERS AT EACH END OF PANEL.

BRACED WALL PANEL NOTES:

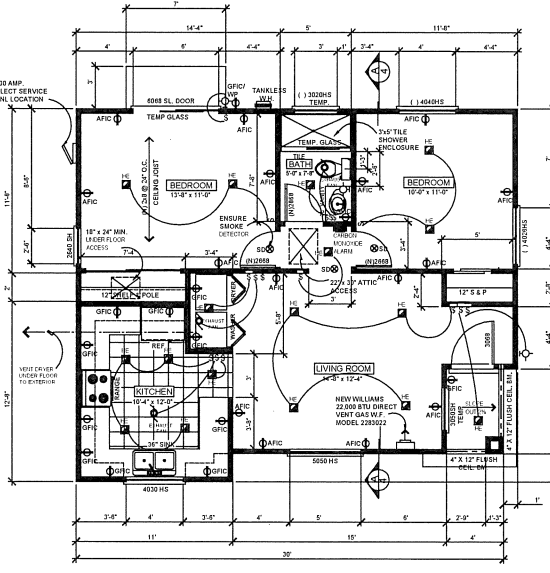
- ALL NEW CONSTRUCTION, ADDITIONS OR NEW RESIDENTIAL STRUCTURES TO CONFORM TO MINIMUM ACCEPTED BRACING PER CBC 2019 WHICH REQUIRES:
1. 1/2" DIA. OF BRACED WALL PANEL PER 25 LB OF WALL
 2. 1/4" DIA. OF BRACED WALL PANELS AT ALL CORNERS PER EACH 25 LB OF WALL
 3. WALL PANELS MAY BE REDUCED TO ABSOLUTE 1/4" DIA. WALL PROVIDED THEY ARE ANCHORED WITH THE APPROPRIATE FASTENERS AT EACH END OF PANEL.
- LEGEND:**
- ① INDICATES 3/8" MINIMUM DIAMETER EXTERIOR BRACED WALL PANELS @ 4" MIN IN LENGTH SECURED TO STUDS BY 8 DALS AT 1/2" O.C. AT FIELD AND 6" O.C. AT EDGES AT EDGES FOR SINGLE STORY USE (SEE ALSO FLOOR PLAN)
- ② INDICATES ALTERNATE BRACED PANEL WITH MIN. WIDTH OF 32" AT 48" HEIGHT OR 24" @ 12' 0" HEIGHT

STEEL STRAPPING CONNECTOR NOTES:

- A. ALL STRAPPING CLIPS, HOLDING POST SUPPORT, BEAM HANGERS, AND METAL CONNECTORS TO BE SIMPSON OR EQUAL.
- B. CONTRACTOR TO INSURE POSITIVE METAL CONNECTORS FROM TOP OF ROOF SHEATHING TO BOTTOM OF SLAB PLATE ARE APPROPRIATE SHEAR TRANSFER (SEE ALSO SHEAR PANEL DETAIL).



2a ALTERNATE BRACED WALL PANEL DETAIL FIG. R692.10.1



PROPOSED 2ND UNIT PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL/MECHANICAL LEGEND

EXISTING WALLS	CHIMNEY
NEW WALLS	DISCREET PUMP/STATION
WALLS TO BE REMOVED	COOLING EXHAUST & LIGHT FIXT
CLOSE WALLS	ELECT. FAN
DUPLEX RECEPTACLE OUTLET	HEAT LAMP
CIRCUIT BREAKER INTERRUPT CIRCUIT	HEATER REGISTER
DUP. REG. OUTLET W/ROUND	CEILING AIR REGISTER
FOUR FLX. RECEPTACLE	WATER HEATER
220V RECEPTACLE OUTLET	FURNACE
RECESSED CEILING LIGHT	HOSE BIBB
HIGH EFFICIENCY LIGHT	CARBON MONOXIDE ALARM
WALL LIGHT	INTERCOM
WATERPROOF WALL/LIGHT FIXTURE	ELECT. METER MAIN PANEL
FLUORESCENT LIGHT	ELECTRICAL SUB-PANEL
SMALL FLUORESCENT FIXTURE	RECESSED LIGHT
SPOTLIGHT	DISPOSAL
WALL SWITCH	CONCRETE
THREE-WAY SWITCH	STUCCO
FOUR-WAY SWITCH	EXISTING
SMOKE DETECTOR	H.S. HORIZONTAL SLIDER
TELEPHONE OUTLET	S.H. SINGLE HANG
T.V. CABLE OUTLET	FIX. FIXED GLASS

GENERAL INTERIOR NOTES

1. ALL LANDINGS AND MAIN ENTRY DOOR TO BE HOT MORE THAN 1/2" BELOW THE DOOR'S THRESHOLD PER CBC 101.1.1.
2. ALL FINISHING VENTERS SHALL BE 2" MIN. FROM FLOOR, OR AT LEAST 3" FEET ABOVE ANY OPERABLE SIKY LIGHTS PER CBC 906.2.
3. ALL BATHS AND SHOWER FLOORS AND WALLS TO BE FINISHED WITH ANCHORED TILE SURFACE UP TO A HEIGHT OF 6 FEET (72" ABOVE FLOOR PER CBC 202.2).
4. PROVIDE EXHAUST FAN KITCHEN AREA FOR LOCAL VENTILATION INSIDE AN AREA REQUIREMENTS PER 2019 CALIFORNIA ENERGY CODE SECTION 100.6 AND 100.6.2. OTHERWISE SPECIFY KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
5. PROVIDE CARBON MONOXIDE ALARMS OUTSIDE EACH BEDROOM PER CBC 202.3.
6. EXTERIOR AFG PROTECTED RECEPTACLES IN LIVING ROOM PER CBC 201.12.
7. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED.
8. ALL 120-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER CBC 408.11.
9. PROVIDE EXHAUST FAN KITCHEN AREA FOR LOCAL VENTILATION INSIDE AN AREA REQUIREMENTS PER 2019 CALIFORNIA ENERGY CODE SECTION 100.6 AND 100.6.2. OTHERWISE SPECIFY KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
10. ALL NEW VENTRATORS SHALL HAVE A MAXIMUM UNIFORM IN 0.30.

GENERAL NOTES

1. PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND PAINT CODES, AND ALL CITY AND MUNICIPAL CODES (PROJECT LOCATED TO BE CITY OF SAN JOSE DESIGN CATEGORY 4).
2. INTERPRETATION OF DRAWINGS: FOR ARRANGEMENT OF FLOOR, GENERAL FINISH AND MEASUREMENTS, REFER FIRST TO THE DRAWINGS. SHOULD ANY DISCREPANCY APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORKING OF SPECIFICATIONS AND DRAWINGS, THE SPECIFICATION SHALL TAKE PRECEDENCE OVER THE DRAWINGS. THE CONTRACTOR SHALL TAKE THE NECESSARY CORRECTIVE ACTION BEFORE PROCEEDING WITH THE WORK.
3. ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACTUAL ERROR OR OMISSION MAY EXIST ON THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE DESIGNER, (OR THE CONTRACTOR TO THE COMMENCEMENT OF WORK, FAILURE TO DO SO SHALL BE THE CONTRACTOR'S RESPONSIBILITY).
4. SMOKE DETECTORS:
PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
A. POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WIRING A DISCONNECT SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS SHALL BE COLETT BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2019.
B. LOCATION WITHIN DWELLING UNITS: IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING ROOM AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLING UNITS WHERE A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPILT INTO TWO OR MORE LEVELS. WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY EXCEEDS THE ROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (94.0 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
5. INSULATION CEILING: 1/2" R-19 INSULATION (NEW CONST. ONLY)
WALLS: 1/2" R-13 INSULATION (NEW CONST. ONLY)
FLOOR: 1/2" R-19 FLOOR INSULATION
ACCESS: UNDER FLOOR: 1/2" x 2" MIN. JOI (WOOD FLOOR)
CEILING: 1/2" x 2" MIN. VEE-CORNER
WINDOW: 1/2" APPROVED DOUBLE GLAZED
6. NOTE: ALL OPENING ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.

REVISIONS

DATE

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PROPOSED NEW SINGLE FAMILY RESIDENCE AND NEW REAR DETACHED ADD

DATE: 5-16-2020

SCALE: 1/4" = 1'-0"

DRAWN: BVA

JOB:

2a

OF SHEETS