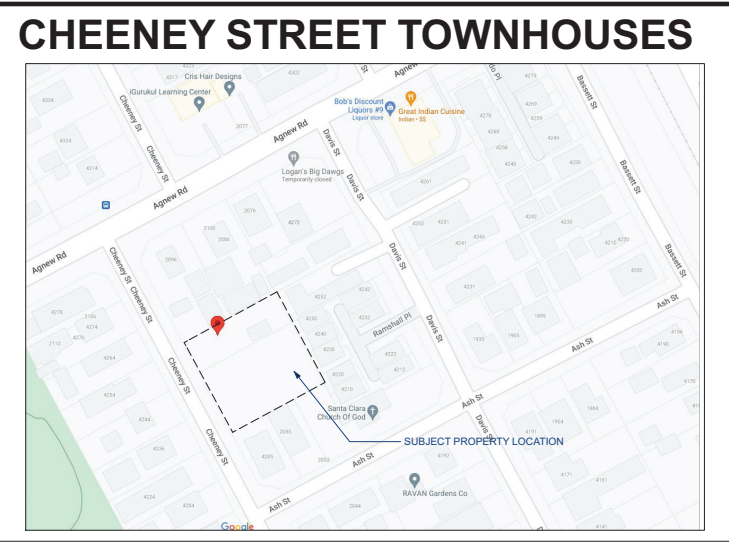


<b>SYMBOLS:</b>	<b>ABBREVIATIONS:</b>	<b>APPLICABLE CODES:</b>
<b>BUILDING LAYOUT POINT</b>	<b>A.C.</b> Acoustic <b>ACT</b> Acoustical Tile <b>AD</b> Area Drain <b>AGOR</b> Aggregate <b>ALU</b> Above Finish Aluminum <b>ALUM.</b> Aluminum <b>ANG./I</b> Angle <b>APPROX.</b> Approximate <b>ARCH</b> Architectural <b>ASPH</b> Asphalt <b>B</b> Backing <b>BL</b> Blum <b>BLD</b> Blum <b>BLOCK</b> Block <b>BLK</b> Block <b>BLU</b> Blum <b>B.O.</b> Bottom of <b>BOY</b> Bottom <b>B.U.</b> Blum <b>CAB</b> Cabinet <b>C.B.A.</b> Carpet Base <b>C.C.B</b> Catch Basin <b>CEM.</b> Cement <b>CEM.</b> Ceramic <b>C.I.</b> Cast Iron <b>C.I.</b> Construction/Control Joint <b>E</b> Center Line <b>C.L.</b> Center Line <b>CLG.O.</b> Caulking <b>CLR</b> Clear <b>C.O.</b> Clear <b>COL.</b> Column <b>CONC.</b> Concrete <b>CONN.</b> Connection <b>CONSTR.</b> Construction <b>CONT.</b> Continuous <b>CONTR.</b> Contractor <b>CORR.</b> Corrosion <b>C.P.</b> Carpet <b>C.F.P.</b> Cement Finish <b>C.S.</b> Carpet Square <b>C.T.C.</b> Conc. Masonry Unit <b>C.M.U.</b> Conc. Masonry Unit <b>C.W.</b> Curtain Wall <b>D</b> DBL Double <b>DEPT</b> Department <b>D.F.</b> Drinking Fountain <b>DET</b> Detail <b>DA</b> Diameter <b>DM</b> Dimension <b>DMP</b> Dispenser <b>D.S.</b> Down <b>DR</b> Door <b>D.P.</b> Dimension Point <b>DR</b> Door <b>DWR</b> Down <b>DWG.</b> Drawing <b>D.S.P.</b> Dry Slop <b>DWG.</b> Drawing <b>E</b> EACH <b>E</b> EACH <b>E.E.</b> Expansion Joint <b>ELEV.</b> Elevation <b>ELEV.</b> Elevation <b>EMER.</b> Emergency <b>ENCL.</b> Enclosure <b>E.P.</b> Electrical Panelboard <b>E.Q.</b> Equipment <b>E.W.C.</b> Electrical Water Cooler <b>EXPD.</b> Expansion <b>EXT</b> Exterior <b>F</b> F.A. Fire Alarm <b>F.D.</b> Furnished by Owner <b>F.D.</b> Floor Drain <b>FDN.</b> Foundation <b>F.E.</b> Fire Extinguisher Cab. <b>F.F.C.</b> Fire Floor <b>F.G.</b> Fixed Glass <b>F.H.C.</b> Fire Hood Cabinet <b>F.H.W.S.</b> Flat Head Wood Screw <b>FIN</b> Finish <b>FL.</b> Floor <b>FLUOR.</b> Fluorescent <b>F.O.C.</b> Face of Concrete <b>F.O.F.</b> Face of Finish <b>F.O.M.</b> Face of Masonry <b>F.O.S.</b> Face of Studs <b>FR</b> Framing <b>FR.</b> Frame <b>F.R.</b> Full Size <b>F.S.</b> Framing <b>F.S.R.</b> Fire Sprinkler Riser <b>FTD.</b> Foot of Feet <b>FTD.</b> Footing <b>FURR.</b> Furring <b>FUT(F)</b> Furring <b>G</b> GA. Gauge <b>GALV.</b> Galvanized <b>G.B.</b> Grid Bar <b>G.C.</b> Gunite Concrete <b>GL.</b> Glass <b>GND.</b> Ground <b>GR</b> Grate <b>GYP.</b> Gypsum <b>H</b> HB Hole <b>H.C.</b> Hollow Cone <b>H.D.</b> Hot Dipped <b>HDCP.</b> Hot Dipped <b>HWID.</b> Hardwood <b>HWR.</b> Hardwood <b>H.M.</b> Hollow Metal <b>HORIZ.</b> Horizontal <b>HR.</b> Hour <b>HST.</b> Heat <b>I</b> I.D. Inside Diameter <b>IN.</b> Inch <b>INCL.</b> Include <b>INSUL.</b> Insulation <b>INT</b> Interior <b>J</b> JAN. Janitor <b>LB.#</b> Lbs. per <b>LKR.</b> Lock <b>LT</b> Lock <b>LG.</b> Lugs <b>M</b> MAT. Material <b>M.B.</b> Machine Bolt <b>M.C.</b> Mechanical <b>M.C.</b> Medium <b>M.E.</b> Membrane <b>M.F.</b> Mechanical <b>MFR.</b> Manufacturer <b>MN.</b> Minimum <b>MM.</b> Minimum <b>MISC.</b> Miscellaneous <b>M.S.D.</b> Masonry Opening <b>MTD.</b> Mounted <b>N</b> N <b>N(N)</b> North <b>N.I.C.</b> Not to Contact <b>NO.#</b> Number <b>NOIM.</b> Nominal <b>N.T.S.</b> Not to Scale <b>O</b> O.V. Overall <b>O.A.</b> On Center <b>O.C.</b> Opposite Side <b>O.D.</b> Outside Diameter (Dim.) <b>O.H.L.</b> Opposite Head <b>O.F.D.</b> Overflow Drain <b>OPS</b> Office <b>OFF.</b> Office <b>OPNG.</b> Opening <b>OPP.</b> Opposite <b>P</b> P.C. Painted Concrete <b>P.B.S.</b> Painted Gypsum Board <b>PKG.</b> Parking <b>PRCST.</b> Precast <b>PL</b> Plaster <b>PLAM.</b> Plastic Laminate <b>PLAS.</b> Plaster <b>PLW.O.</b> Plaster <b>PP</b> Floor <b>PT.</b> Paper Towel <b>P.T.D.</b> Dispenser <b>P.T.D.R.</b> Dispenser & Receptacle <b>PTN.</b> Partition <b>C.T.S.</b> Curtain Wall <b>P.T.R.</b> Paper Towel <b>Q</b> QTY. Quantity <b>Q.T.</b> Quarry Tile <b>R</b> RAD. Radius <b>R.B.-4</b> 4" Rubber Top Set Base <b>R.B.-6</b> 6" Rubber Top Set Base <b>R.D.</b> Roof Drain <b>REF.</b> Reference <b>REFR.</b> Refrigerator <b>REINF.</b> Reinforcing <b>REQ.</b> Required <b>RESEL.</b> Resilient <b>R.F.</b> Resilient Flooring <b>RF</b> Raining <b>ROTR.</b> Register <b>RHW.S.</b> Round Head Wood Screw <b>R.M.</b> Room <b>RND.</b> Round <b>R.O.</b> Rough Opening <b>R.W.D.</b> Redwood <b>R.V.L.</b> Rain Water Leader <b>S</b> S.C. Solid Concrete <b>S.C.D.</b> Sealed Concrete <b>S.C.G.C.</b> Sealed Concrete <b>S.C.</b> Sealed Concrete <b>S.D.</b> Soap Dispenser <b>SECT.</b> Section <b>SH</b> Shelf <b>SHR.</b> Shower <b>SHT.</b> Sheet <b>SHR.</b> Sheet <b>SHM.</b> Sheet Metal <b>S.M.</b> Small <b>S.A.N.D.</b> Sanitary Napkin <b>S.D.</b> Sound Insulation <b>S.D.INSUL.</b> Sound Insulation <b>SPEC.</b> Specification <b>SQ.</b> Square <b>S.S.P.</b> See Structural Plans <b>S.S.D.</b> See Structural Drawings <b>S.S.K.</b> Stainless Steel <b>S.S.TL.</b> Stainless Steel <b>STA.</b> Station <b>STD.</b> Standard <b>STR.</b> Steel <b>STRUC.</b> Structural <b>SUSP.</b> Suspended <b>S.V.</b> Symmetrical <b>SYM.</b> Symmetrical <b>TRD.</b> Thread <b>TB.</b> Tongue & Groove <b>T.C.</b> Top of Curb <b>TEL.</b> Telephone <b>TEMP.</b> Temporary <b>TER.</b> Terrazzo <b>T.A.G.</b> Tongue & Groove <b>T.G.B.</b> Textured Gypsum Board <b>THK.</b> Thick <b>T.M.</b> Top of <b>T.O.C.</b> Top of Concrete <b>T.O.D.</b> Toilet Paper Dispenser <b>T.L.</b> Television <b>T.W.</b> Top of Wall <b>TYP.</b> Typical <b>UNF.</b> Unfinished <b>U.O.N.</b> Unless Otherwise Noted <b>U.R.</b> Unless <b>V</b> VCR Vinyl Carpet Reducer <b>VCT.</b> Vinyl Composition Tile <b>VCT.</b> Vinyl <b>VEST.</b> Vestibule <b>V.T.</b> Vinyl Tile <b>V.V.C.</b> Vinyl Wall Covering <b>W</b> W <b>W.</b> West <b>W.C.</b> With <b>WD.</b> Water Closet <b>W.D.</b> Wood <b>W.DW.</b> Window	2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA PLUMBING CODE (CPL) 2019 CALIFORNIA ENERGY CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) AND LOCAL ORDINANCE 2019 CALIFORNIA T24- CALIFORNIA ENERGY CODE OR MORE STRINGENT OF CALIFORNIA BUILDING CODE OR APPLICABLE FEDERAL LAWS CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) CITY OF SANTA CLARA, CA MUNICIPAL CODE

<b>ABBREVIATIONS:</b>	<b>SYMBOLS:</b>	<b>APPLICABLE CODES:</b>
<b>BUILDING LAYOUT POINT</b>	<b>BUILDING MECHANICAL PLUMBING ELECTRICAL ENERGY ACCESSIBILITY:</b>	<b>2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA PLUMBING CODE (CPL) 2019 CALIFORNIA ENERGY CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) AND LOCAL ORDINANCE 2019 CALIFORNIA T24- CALIFORNIA ENERGY CODE OR MORE STRINGENT OF CALIFORNIA BUILDING CODE OR APPLICABLE FEDERAL LAWS CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) CITY OF SANTA CLARA, CA MUNICIPAL CODE</b>
<b>DATUM POINT ELEVATION</b>	<b>SHEET INDEX:</b>	
<b>MATCH LINE</b>	<b>GENERAL</b>	
<b>PROPERTY LINE</b>	<b>G.0.0 COVER SHEET</b> <b>G.1.2 3D RENDERING</b>	
<b>DIM. @ F.O.S./STRUC.</b>	<b>ARCHITECTURAL</b>	
<b>DIM. @ CENTER LINE</b>	<b>A1.0 SITE PLAN</b>	
<b>DIM. @ F.O.F./CLEAR</b>	<b>A1.1 LEVEL ONE FLOOR PLAN</b>	
<b>(N) OR REQUIRED ELEVATION POINT</b>	<b>A1.2 LEVEL TWO FLOOR PLAN</b>	
<b>(E) ELEVATION POINT</b>	<b>A1.3 DIMENSIONED FLOOR PLAN LEVEL ONE</b>	
<b>COLUMN GRID</b>	<b>A1.4 DIMENSIONED FLOOR PLAN LEVEL TWO</b>	
<b>DETAIL NO.</b>	<b>A1.5 ROOF PLAN</b>	
<b>SHEET NO.</b>	<b>A1.6 FRONT UNITS TYPICAL FLOOR PLAN</b>	
<b>WALL SECTION NO.</b>	<b>A1.7 BACK UNITS TYPICAL FLOOR PLAN</b>	
<b>SHEET NO.</b>	<b>A1.8 TRASH ENCLOSURE FLOOR PLAN AND ELEVATIONS</b>	
<b>BUILDING SECTION</b>	<b>A2.0 ELEVATIONS - UNITS 'A'</b>	
<b>INTERIOR ELEVATION</b>	<b>A2.1 ELEVATIONS - UNITS 'A' DETAIL</b>	
<b>DOOR NO. DOOR TYPE</b>	<b>A2.2 ELEVATIONS - UNITS 'B'</b>	
<b>WINDOW NO.</b>	<b>A2.3 ELEVATIONS - UNITS 'B' DETAIL</b>	
<b>REVISION NO.</b>	<b>A3.0 SITE SECTIONS</b>	
<b>ROOM NAME ROOM NO.</b>	<b>LC ENGINEERING</b>	
<b>EARTH</b>	<b>C1 TITLE SHEET</b>	
<b>POROUS FILL/ GRAVEL/ROCK</b>	<b>C2 DEMOLITION PLAN</b>	
<b>SAND/MORTAR/ CEMENT PLASTER</b>	<b>C3 PRE AND POST DEVELOPMENT PLAN</b>	
<b>CONCRETE</b>	<b>C4 STORM WATER CONTROL PLAN</b>	
<b>MASONRY WALL</b>	<b>C5 GRADING AND DRAINAGE PLAN</b>	
<b>BRICK/BRICK VENEER/ PAVER</b>	<b>C6 BUILDING CROSS SECTIONS</b>	
<b>QUARRY/ CERAMIC TILE</b>	<b>C7 UTILITY PLAN</b>	
<b>PLYWOOD</b>	<b>C8 EROSION CONTROL PLAN</b>	
<b>ROUGH WOOD</b>	<b>C9 EROSION CONTROL DETAILS</b>	
<b>FINISH WOOD</b>	<b>C10 CONSTRUCTION BEST MANAGEMENT PRACTICES</b>	
<b>METAL</b>	<b>T1 TENTATIVE MAP</b>	
<b>GYPSON BOARD</b>	<b>T2 TENTATIVE MAP</b>	
<b>PROTECTION BOARD</b>	<b>ENVIRONMENTAL EDGES/LANDSCAPE:</b>	
<b>ACOUSTICAL TILE</b>	<b>L1 - PLANTING PLAN</b>	
<b>GLASS</b>	<b>L2 - PLANTING LEGEND AND PLANTING DETAILS</b>	
<b>WATERPROOFING/ FLASHING</b>	<b>L3 - IRRIGATION PLAN</b>	
<b>BLANKET OR BATT INSULATION</b>	<b>L4 - IRRIGATION DETAILS</b>	
	<b>L5 - IRRIGATION DETAILS</b>	
	<b>L6 - IRRIGATION DETAILS</b>	
	<b>L7 - PLAN MATERIAL</b>	



## PROJECT TEAM:

<b>OWNER:</b>	<b>DESIGNER/ENGINEER</b>	<b>LANDSCAPE ARCHITECT:</b>	<b>MEP ENGINEERING:</b>
MARUTI BUILDERS, INC. 859 ALISAL CT. MILPITAS, CA 95051 T. (408) 431-7003 F. 000-000-000 maruti@builders.com	MFA CONSTRUCTION AND ENGINEERING 1190 PARK AVE SAN JOSE, CA 95126 SAUL FLORES/JUAN C. NAVARRO T. (408) 710-6725/(408)205-9812 saul@groundzerose.com	ENVIRONMENTAL EDGES. Susan M Landry (408) 644-6936 environmental.edges@yahoo.com	ROBISON ENGINEERING, INC 19401 40TH AVENUE COURT LYNNWOOD, WA 98036 JON ROBISON T. 206.364.3343 robison@robisonengineering.com

<b>CIVIL ENGINEER:</b>
LC ENGINEERING 598 E SANTA CLARA STREET SUITE 270 SAN JOSE, CA 95112  NINH LE T. (408) 806-7187 nle@lceengineering.net

## PROJECT SUMMARY AND SCOPE OF WORK:

THE PROJECT SITE IS A 22,500 SQUARE FOOT COMBINED LOT IN THE AGNEW'S VILLAGE NEIGHBORHOOD OF THE CITY OF SANTA CLARA. ADJACENT PARCELS 104-12-025 AND 104-12-026 FROM THE SITE WHICH HAS A 150' LONG WESTERN FRONTAGE ALONG CHEENEY STREET. WITH ABOVE GROUND POWER LINES COLINEAR WITH THE SIDEWALK.

THE 150' X 150' PROJECT SITE IS CURRENTLY VACANT WITH NO EXISTING BUILDINGS OR INFRASTRUCTURE. UTILITIES RUN BELOW CHEENEY STREET.

THE PROPOSED PROJECT RECEIVED EARLY CONSIDERATION APPROVAL FOR REASSIGNMENT OF USE DESIGNATION FROM VERY LOW DENSITY RESIDENTIAL TO LOW DENSITY RESIDENTIAL, ALLOWING FOR UP TO 9 UNITS ON THIS HALF ACRE SITE. THE SCHEME INTRODUCES 9 TOTAL DWELLING UNITS; EACH UNIT CONTAINS A 2-CAR GARAGE AND DRIVEWAY ACCESS VIA A PERMEABLE PAVED SURFACE LOT.

THE PROPOSED TOWNHOMES WOULD CONTAIN APPROXIMATELY 18,610 TOTAL SQUARE FEET OF INTERIOR HABITABLE SPACES. EACH OWNERSHIP UNIT AT APPROXIMATELY 2,070 SQUARE FEET IN AREA. EACH DWELLING IS TWO STORY AND HAS 3 BEDROOMS AND 2-1/2 BATHS.

## PROJECT DATA MATRIX:

	AREA	LOT COVERAGE
LOT	22,500 SF	
LEVEL 1 (SITE TOTAL)	9,992 SF	44.4%
LEVEL 2 (SITE TOTAL)	10,134 SF	-
BUILDING TOTAL	20,255 SF	
PAVING (PERMEABLE)	6,300 SF	28%
IMPERMEABLE SURFACE (PAVING & BUILDING SLAB)	12,187 SF	54%
LANDSCAPE	4,016 SF	17%
GUEST PARKING SPACES REQUIRED: 2		
GUEST PARKING SPACES PROVIDED: 2		

# MFA

ENGINEERS & ASSOCIATES

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Tel: (408) 710-6725  
saul.f@mfaconstruct.com

## CHEENEY ST TOWNHOUSES 4249 CHEENEY ST SANTA CLARA, CA 95054

<b>DATE:</b>	10/7/2024
<b>PROJECT No.</b>	39-071322

**COVER SHEET**

REF. NORTH

**GO.O**

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# THE CHEENEY TOWNHOUSES



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REVISION	DATE
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DATE:	10/3/2024
PROJECT No.	39-071322

3D RENDERING

REF. NORTH



# G1.2

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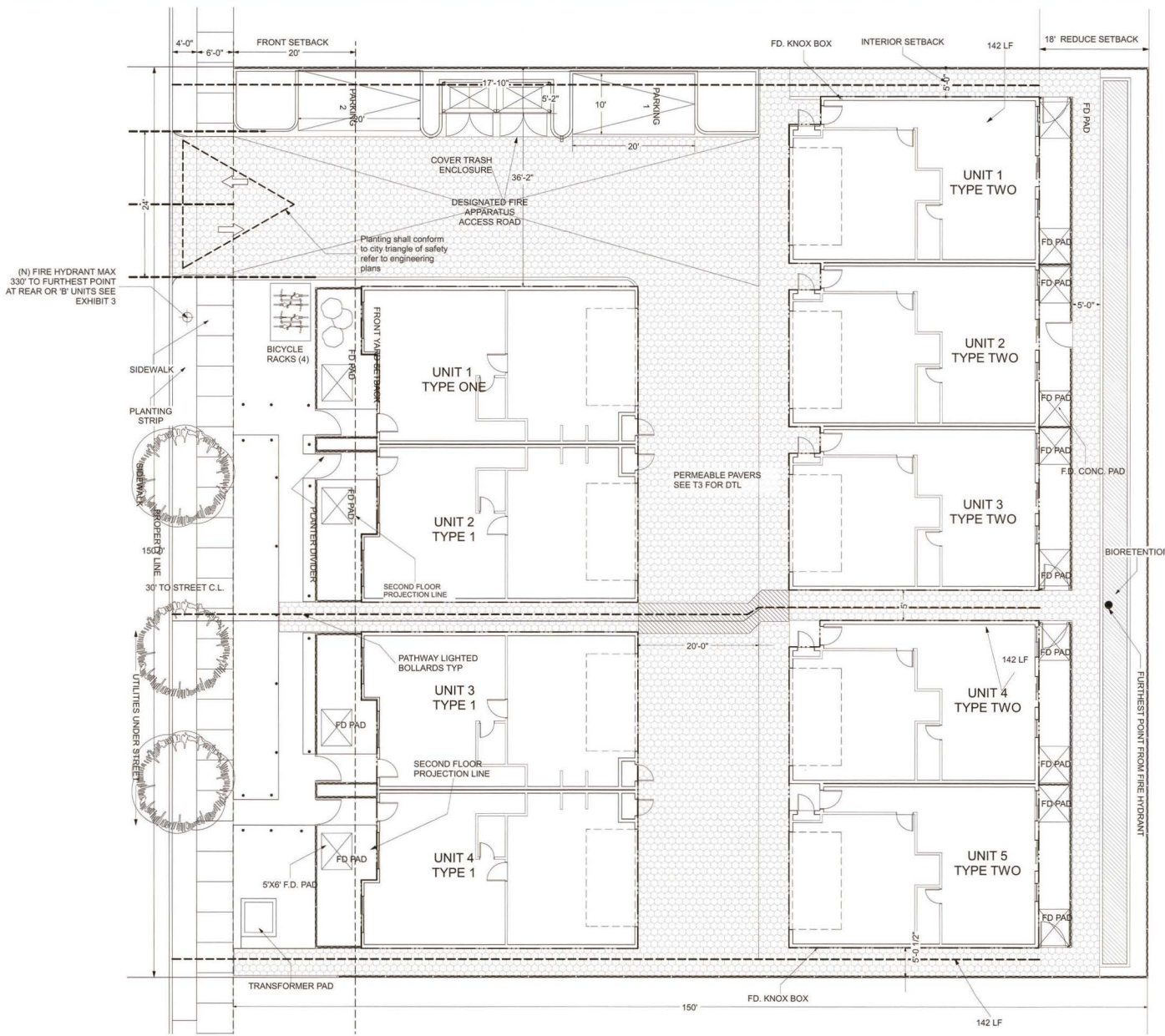
D-Cube Studio

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 SANTA CLARA, CA 95054



(N) FIRE HYDRANT MAX 330' TO FURTHEST POINT AT REAR OR 'B' UNITS SEE EXHIBIT 3

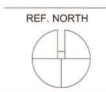
SITE PLAN

1/8"

1

DATE:	10/3/2024
PROJECT No.	99-071322

SITE PLAN



**A1.0**



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REVISION	DATE

DATE	10/3/2024
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## LEVEL ONE FLOOR PLAN

REF. NORTH



# A1.1



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SANTA CLARA, CA 95054



REVISION	DATE

DATE: 10/3/2024  
PROJECT No. 39-071322

## LEVEL TWO FLOOR PLAN

REF. NORTH



**A1.2**

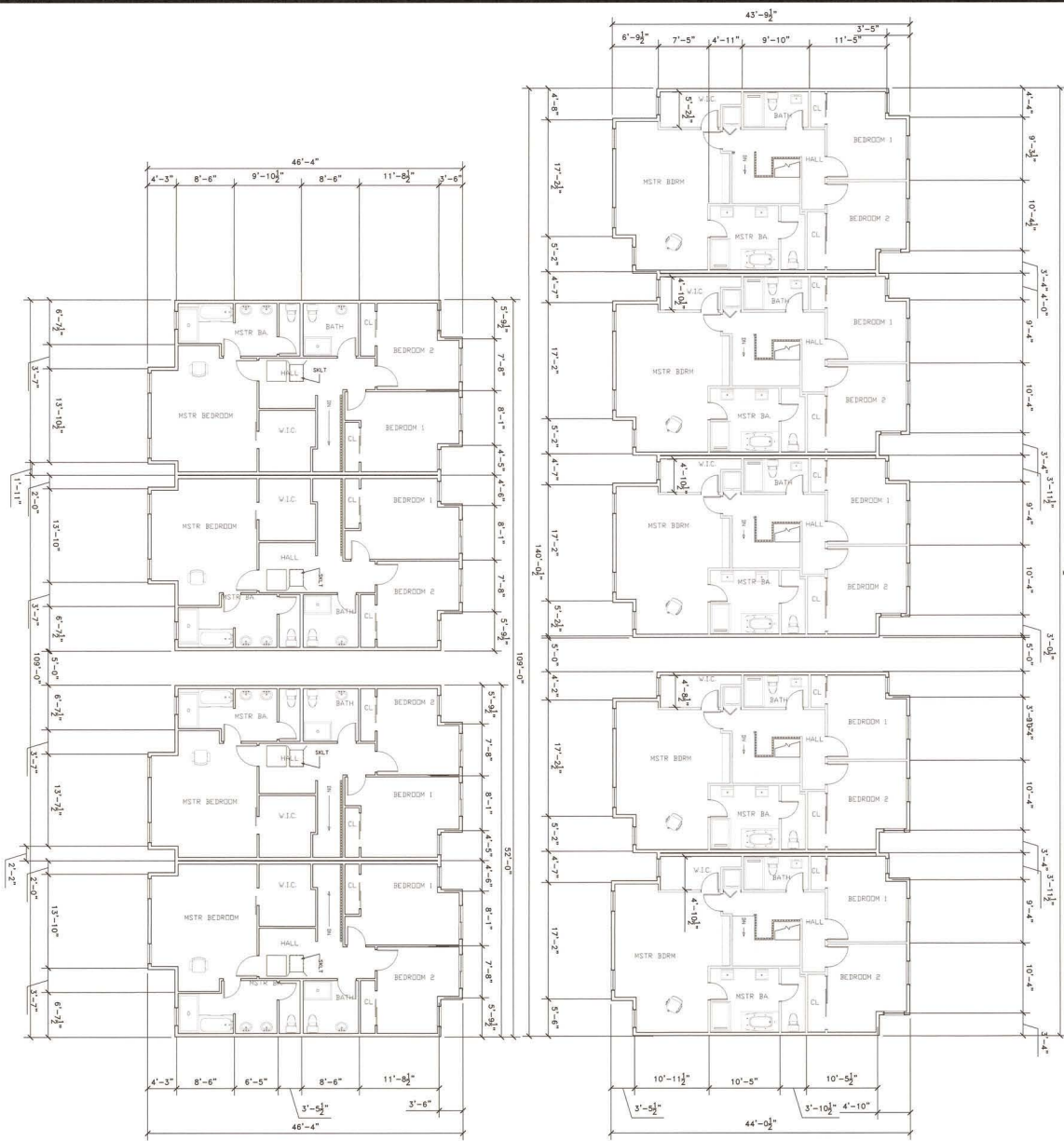


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## CHEENEY ST TOWNHOUSES 4249 CHEENEY ST. SANTA CLARA, CA 95054



UNIT TYPE B-3 FIRST FLOOR = 1,085 S.F.  
UNIT TYPE B-3 SECOND FLOOR = 1,121 S.F.  
UNIT TYPE B-3 GARAGE = 494 S.F.  
UNIT TYPE B-3 LIVING AREA = 1,712 S.F.  
UNIT TYPE B FIRST FLOOR TOTAL = 1,085\*5=5,424 S.F.

UNIT TYPE A-2 FIRST FLOOR = 1,142 S.F.  
UNIT TYPE A-2 SECOND FLOOR = 1,130 S.F.  
UNIT TYPE A-2 GARAGE = 552 S.F.  
UNIT TYPE A-2 LIVING AREA = 1,720 S.F.  
UNIT TYPE A FIRST FLOOR TOTAL = 1,142\*4=4,568  
FIRST FLOOR TOTAL = 4,568+5,424=9,992 / 22,500 =44.4%  
TOTAL LOT COVERAGE

REVISION	DATE

DATE: August 23, 2022  
PROJECT No. 10-042122

### DIMENSIONED FLOOR PLAN LEVEL TWO



# A1.4



# MFA

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**CHEENEY ST TOWNHOUSES**  
4249 CHEENEY ST  
SANTA CLARA, CA 95054

DATE: 10/3/2024  
PROJECT No. 39-071322

## ROOF PLAN



# A1.5



FRONT VIEW



REAR VIEW

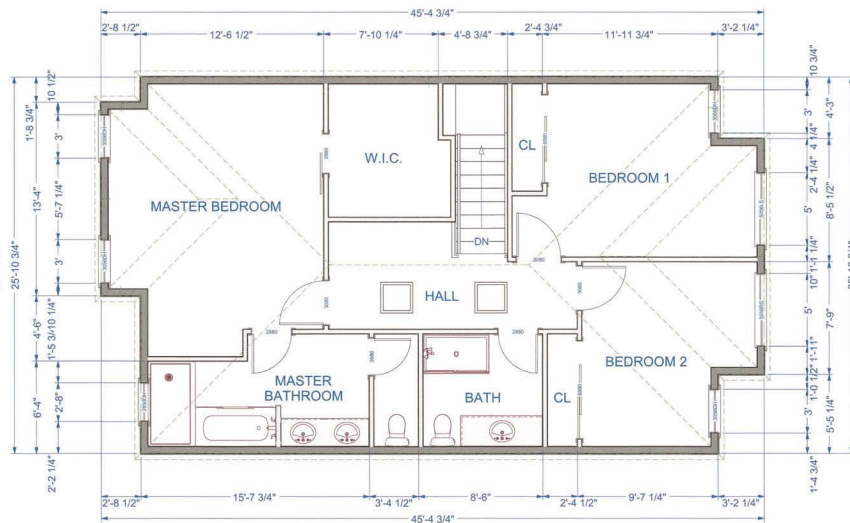
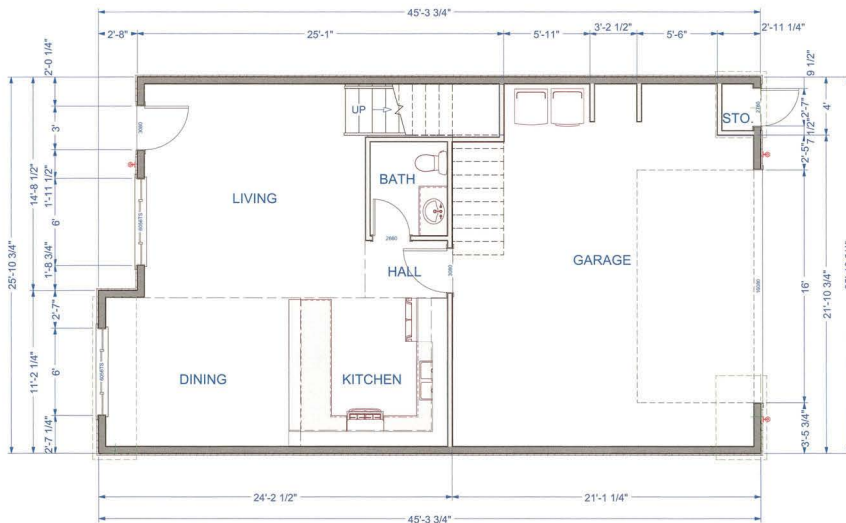
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REVISION	DATE

DATE:	9/25/2024
PROJECT No.	39-071322

FRONT UNITS  
 TYPICAL FLOOR PLAN

REF. NORTH



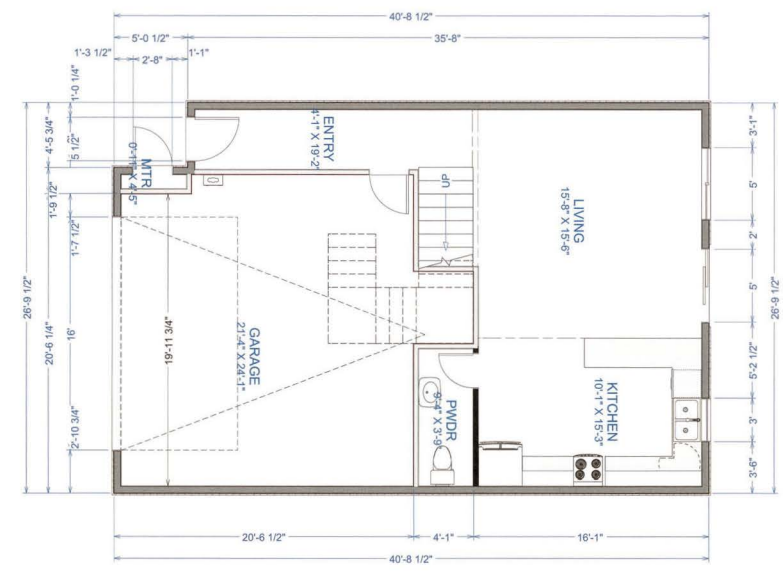
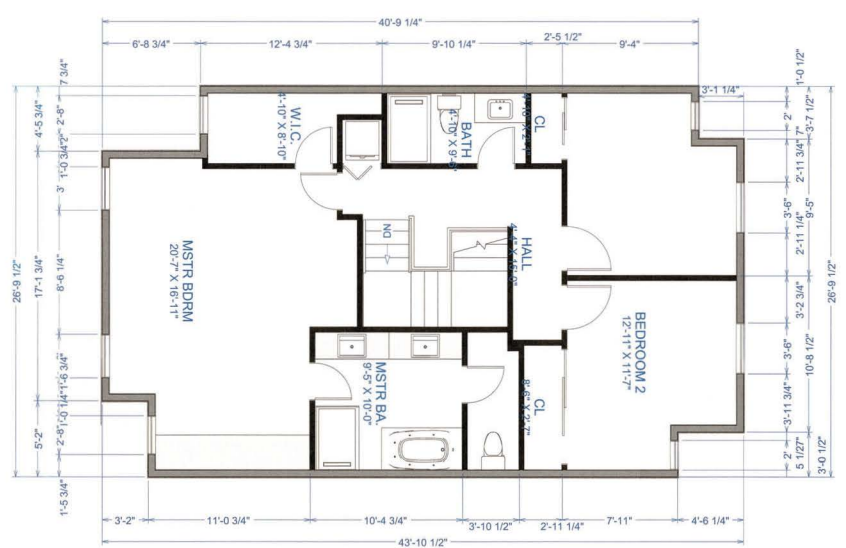
**A1.6**

# MFA

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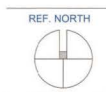


CHEENEY ST. TOWNHOUSES  
4249 CHEENEY STREET  
SANTA CLARA, CA 95054

REVISION	DATE

DATE:	10/7/2024
PROJECT No.	39-071322

BACK UNITS  
TYPICAL FLOOR PLAN



A1.7



# MFA

ENGINEERS & ASSOCIATES

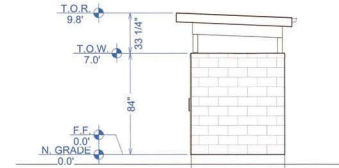
1190 PARK AVENUE  
SAN JOSE, CA 95136  
Tel: (408) 710-6725  
saul.f@mfaconstruct.com

**CHEENEY ST TOWNHOUSES**  
4249 CHEENEY ST  
SANTA CLARA, CA 95054



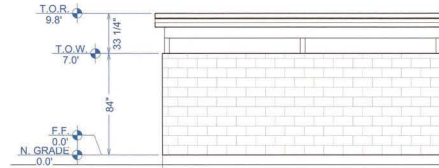
ELEVATION 4

1/4" 5



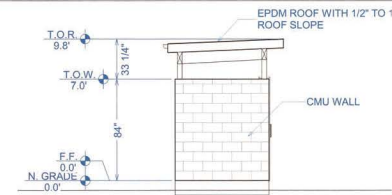
ELEVATION 3

1/4" 4



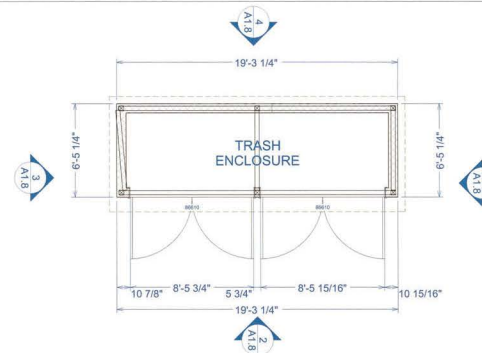
ELEVATION 2

1/4" 3



ELEVATION 1

1/4" 2



TRASH ENCLOSURE FLOOR PLAN

1/4" 1

DATE: 10/7/2024  
PROJECT No. 39-071322

## TRASH ENCLOSURE FLOOR PLAN AND ELEVATIONS

REF. NORTH



# A1.8

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MFA CONSTRUCTION  
AND ENGINEERING

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**CHEENEY ST. TOWNHOUSES**  
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REAR ELEVATION UNITS 'A'

3/16" 2

REVISION	DATE




FRONT ELEVATION UNITS 'A'

3/16" 1

DATE:	10/14/2022
PROJECT No.	39-071322

ELEVATIONS UNITS 'A'

REF. NORTH		<h2>A2.0</h2>
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SANTA CLARA, CA 95054



REAR ELEVATION UNITS 'A'

3/16"

2

REVISION	DATE



FRONT ELEVATION UNITS 'A'

3/16"

1

DATE:	10/14/2022
PROJECT No.	39-071322

ELEVATIONS UNITS 'A'

REF. NORTH



**A2.1**

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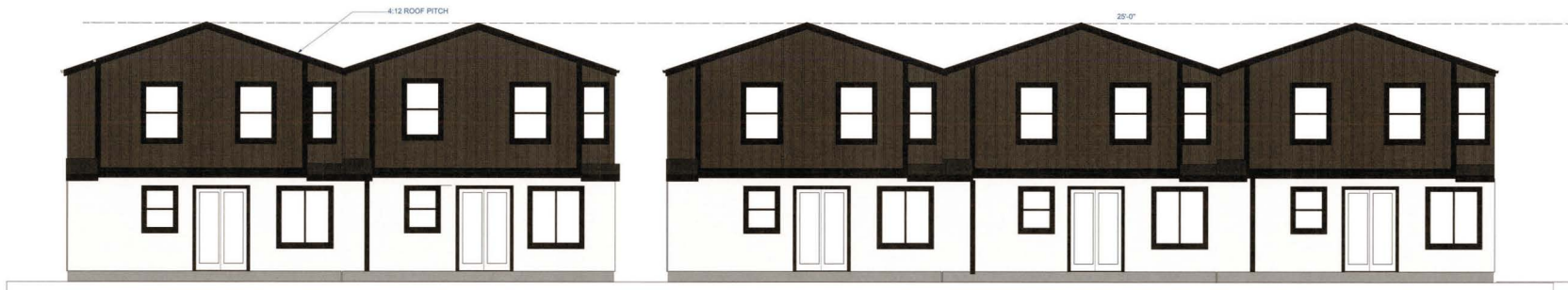
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**CHEENEY ST. TOWNHOUSES**  
 4249 CHEENEY STREET  
 SANTA CLARA, CA 95054



REAR ELEVATIONS UNITS 'B'

3/16"

2

REVISION	DATE



FRONT ELEVATIONS UNITS 'B'

3/16"

1

DATE:	10/14/2022
PROJECT No.	39-071322

ELEVATIONS  
 UNITS 'B'



**A2.2**

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**CHEENEY ST. TOWNHOUSES**  
4249 CHEENEY STREET  
SANTA CLARA, CA 95054



REAR ELEVATIONS UNITS 'B'

3/16"

2

REVISION	DATE



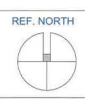
FRONT ELEVATIONS UNITS 'B'

3/16"

1

DATE:	10/14/2022
PROJECT No.	39-071322

ELEVATIONS  
UNITS 'B'



**A2.3**

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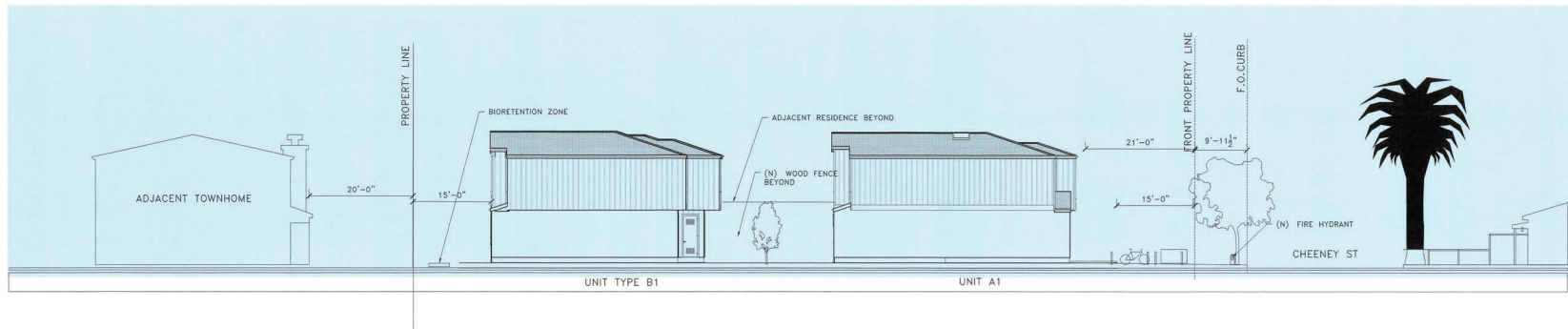
CHEENEY ST TOWNHOUSES  
4249 CHEENEY ST.  
SANTA CLARA, CA 95054



SITE SECTION N-S

3/32"

2



SITE SECTION E-W

3/32"

1

REVISION	DATE

DATE:	August 23, 2022
PROJECT No.	10-042122

SITE SECTIONS



**A3.0**

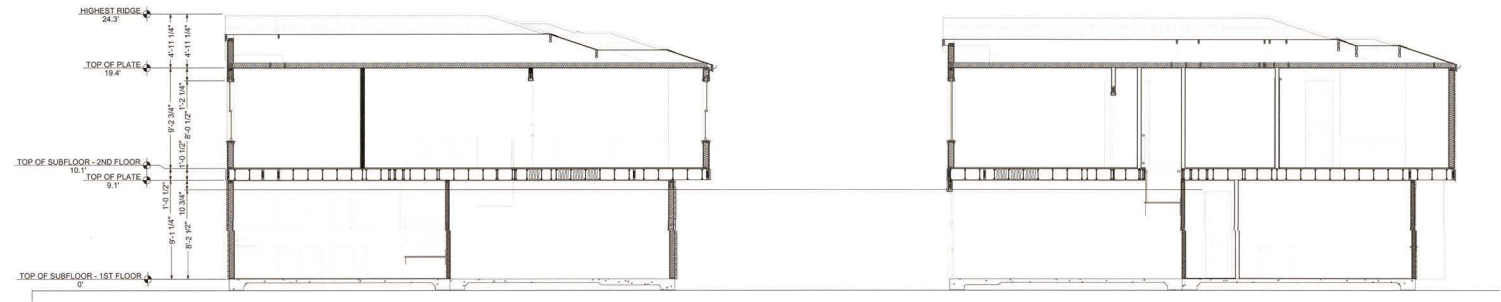


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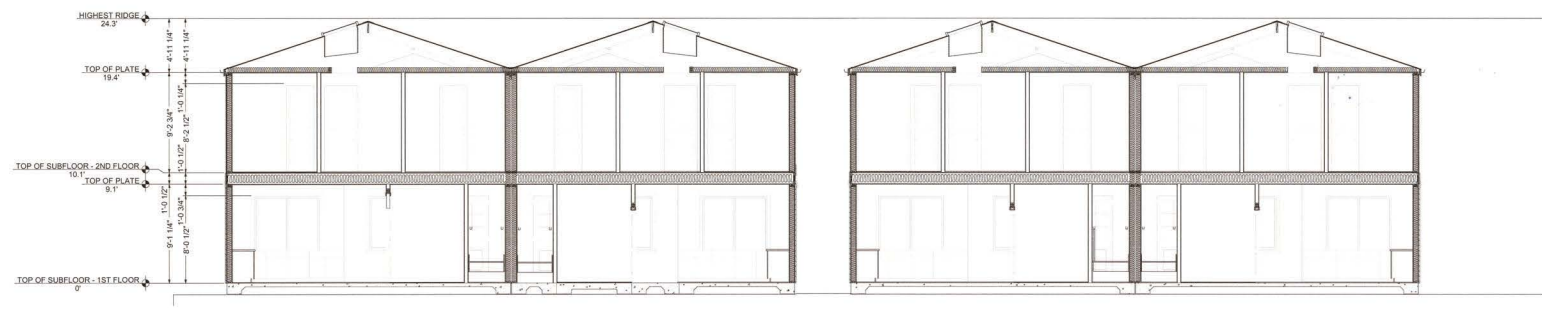
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CROSS SECTION C-C

1/4"

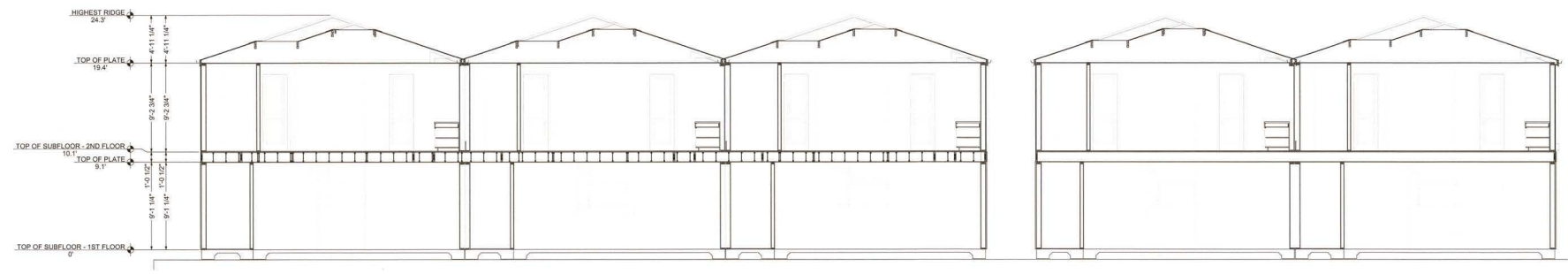
3



CROSS SECTION B-B

1/4"

2



CROSS SECTION A-A

1/4"

1

**CHEENEY ST. TOWNHOUSES**  
 4249 CHEENEY STREET  
 SANTA CLARA, CA 95054

REVISION	DATE

DATE:	9/25/2024
PROJECT No.	39-071322

CROSS SECTIONS

REF. NORTH



**A3.1**

# GRADING AND DRAINAGE IMPROVEMENTS

## I. STANDARD GRADING NOTES

- PRIOR TO COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE CITY OF WATSONVILLE GRADING INSPECTOR, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK/GRADING ACTIVITIES.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO OTHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE CITY WATER DISTRICT.
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- THE PROJECT CIVIL ENGINEER, LC ENGINEERING, 598 E SANTA CLARA STREET #270, SAN JOSE, CA 95112 HAS DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY:
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNAPPROVED OR UNOBSERVED WORK SHALL BE REMOVED AND REPLACED UPON OBSERVATION OF THE PROJECT SOILS ENGINEER.
- ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.
- ALL GRADING SHALL COMPLY WITH THE CITY OF SANTA CLARA STANDARD SPECIFICATIONS, AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING 11/26/2018.
- THE DESIGN SHOW HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADDED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REDGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2%.
- THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- SOIL ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH APPENDIX 4, 2018 OF THE UNIFORM BUILDING CODE.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMITS.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMAN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORNER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORNER AND SHALL STATE THAT THE CORNER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY FLAGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL UNDERGROUND SERVICE ALERT (USA).
- THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF DRAINAGE SYSTEM.

- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2% THE BUILDING OFFICIAL WAY APPROVE ALTERNATE ELEVATIONS. PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2018 UNIFORM BUILDING CODE.

## II. DUST CONTROL

- ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
- AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST.
- GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.
- STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED.
- THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEP (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

## NOTES:

- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.
- PRIOR TO REQUESTING A FOUNDATION INSPECTION BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
  - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
  - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.

## BENCHMARK B-A

ELEVATION = 13.77' LOCATED AT AGENEW ROAD, SOUTH SIDE, OPPOSITE GARBITY, CHISELED CROSS ON TOP OF CATCH BASIN HOOD.

## BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHEENEY STREET, AS FOUND MONUMENTED AS NOTED/SO/W SHOWN ON PARCEL MAP RECORDED IN BOOK 478 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

## SCOPE OF WORK

- DEMOLISH EXISTING DRIVEWAY, BROOKS, SHED AND REMOVE TREES
- REMOVE EXISTING CURB & GUTTERS, DRIVEWAY APPROACH AND SIDEWALK UTILITIES. RELOCATE EXISTING POWER POLES WITHIN RIGHT OF WAY
- 9 TOWNHOUSE DEVELOPMENT AND TO LOT SUBDIVISION
- GRADE DRIVEWAY & HOUSES, INSTALL DRAINAGE FACILITIES, EROSION AND SEDIMENT CONTROL, DRIVEWAY AND DRIVEWAY APPROACH, DRAINAGE IMPROVEMENTS, & SEED ALL DISTURBED AREAS
- CONSTRUCT CURB & GUTTERS, DRIVEWAY APPROACH AND SIDEWALK WITHIN RIGHT OF WAY
- INSTALL UTILITY LINES AND SERVICES ON-SITE AND WITHIN RIGHT OF WAY
- THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLEGAL DISCHARGES FROM THE SITE DURING CONSTRUCTION

## PROJECT NOTES

- CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE STORED OR PLACED IN PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINERS.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- THE PROJECT SHALL HAVE A STORAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES HOURS OF CONSTRUCTION AS FOLLOWS: FROM 7:30 AM TO 6 PM, SATURDAYS FROM 8AM TO 5 PM.
- OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS PRIOR TO THE START OF ANY DRIVEWAY APPROACH DEMOLITION OR CONSTRUCTION AT THE STREET. CONTACT PUBLIC WORKS ENGINEER FOR INFORMATION REGARDING OBTAINING AN ENCROACHMENT PERMIT.
- ALL ELECTRIC LINES, COMMUNICATION LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATH AND TELEPHONE SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.
- PRIOR TO REQUESTING A FOUNDATION INSPECTION BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
  - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
  - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.
- PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK OR GRADING ACTIVITIES INCLUDING BASEMENT EXCAVATION AND TRENCHING THAT EXCEEDS 5 FOOT IN DEPTH, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE CITY OF WATSONVILLE GRADING INSPECTOR, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK/GRADING ACTIVITIES.
- EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. AT THE PRE-CONSTRUCTION MEETING, THE EXCAVATION CONTRACTOR SHALL SUBMIT PROOF TO THE CITY BUILDING INSPECTOR, THAT SHOWS HE OR SHE HAS RECEIVED SUCH A PERMIT FROM THE CITY.
- PRIOR TO ANY GRADING, SCRAPING OR TRENCHING WITHIN/ UNDER THE CANOPY OF A PROTECTED TREE, A CERTIFIED ARBORIST SHALL BE RETAINED TO PROVIDE SUPERVISION AND RECOMMENDATIONS TO MINIMIZE POSSIBLE DAMAGE TO THE TREE. THE PROPOSED TRENCHING SHALL BE APPROVED BY THE CITY OF WATSONVILLE PLANNING DEPARTMENT PRIOR TO COMMENCING DIGGING.

## NOTES:

- PROJECT NAME: CHEENEY STREET TOWNHOUSES
- ASSESSOR PARCEL NO: 104-12-025 & 104-12-026
- SITE ADDRESS: CHEENEY STREET, SANTA CLARA, CA 95054
- LOT AREA: 0.24 ACRES (GROSS AREA)
- OWNER: GROUND ZERO CONSTRUCTION  
ADDRESS: 101 SOUTH SANTA CRUZ AVE, UNIT 3192Z, LOS GATOS, CA 95031  
TELEPHONE: (408)-710-6725
- ENGINEER: NIM M LE, PE  
ADDRESS: 598 E SANTA CLARA ST #270, SAN JOSE, CA 95112  
TELEPHONE: (408)-806-7187
- SURVEYOR: TOM H. MILO  
ADDRESS: 2250 BOHANNON DRIVE, SAN CLARA, CA 95050  
TELEPHONE: (408)-761-5867
- EXISTING ZONING: RM-3 MULTIPLE RESIDENTIAL-HIGH DENSITY
- PROPOSED ZONING: NO CHANGE
- EXISTING USE: VACANT
- PROPOSED USE: RESIDENTIAL
- PROPOSED NUMBER OF LOTS: 9 LOT
- ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN
- PROPOSED WATER, SANITARY SEWER, AND STORM DRAIN WILL BE CONSTRUCTED AS PER LOCAL AGENCY STANDARDS:
- WATER: SANTA CLARA WATER AND UTILITIES
- SEWER: SANTA CLARA WATER AND UTILITIES
- STORM: SANTA CLARA WATER AND UTILITIES
- GAS & ELECTRIC: PG&E
- TELEPHONE: AT&T
- CABLE TV: COMCAST
- IF EXISTING WATER METER IS NOT BEING USED, IT SHALL BE REMOVED AND CAPPED AT MAIN
- IF EXISTING INLETS ARE NOT BEING USED, THEY SHALL BE REMOVED AND CAPPED
- REMOVE ALL EXISTING IMPROVEMENT WITHIN THE PROPERTY LIMITS

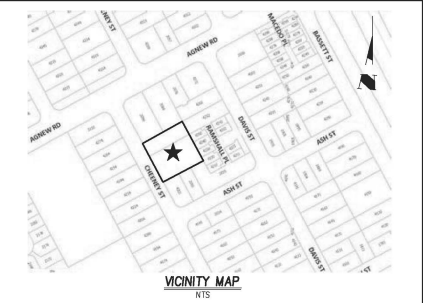
## EARTHWORK QUANTITIES

CUT = 21 CY ; MAXIMUM CUT DEPTH = 0.50'  
FILL = 169 CY ; MAXIMUM CUT DEPTH = 0.66'  
IMPORT = 148 CY  
EXPORT = 0 CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALL CITY ENGINEER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSES.

## SHEET INDEX:

- SHEET C1: TITLE SHEET
- SHEET C2: DEMOLITION PLAN
- SHEET C3: PRE & POST DEVELOPMENT PLAN
- SHEET C4: STORMWATER CONTROL PLAN
- SHEET C5: GRADING AND DRAINAGE PLAN
- SHEET C6: BUILDING CROSS SECTIONS & DETAILS
- SHEET C7: UTILITY PLAN
- SHEET C8: EROSION CONTROL PLAN
- SHEET C9: EROSION CONTROL DETAILS
- SHEET C10: BEST MANAGEMENT PRACTICES



## LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	◆	BENCHMARK
AC	ASPHALT CONCRETE	—	BOUNDARY
BLOC	BLOOD	□	CATCH BASIN
BSL	BUILDING SETBACK LINE	▣	COBBLE ROCK ENERGY DISSIPATOR
BW	BOTTOM OF WALL/BACK OF WALK	■	CONCRETE
CC	COBBLE ROCK ENERGY DISSIPATOR	○	CONTOUR: EXISTING
CG	CURB & GUTTER	○	CONTOUR: PROPOSED OR NEW
CE	CENTERLINE	—	DESIGN GRADE
CO	CORB	—	DOWNSPOUT WITH SPLASHBLOCK
CO	CORB OPENING	—	DIVERSION VALVE
CONC	CONCRETE	—	EXTENSIBLE BACKWATER VALVE (SEE PROJECT NOTES)
CSD	CITY STANDARD DETAIL	—	EXISTING ELEVATION
DI	DRAINAGE INLET	—	EXISTING TREE TO REMAIN
DS	DOWNSPOUT	—	EXISTING TREE TO BE REMOVED
DWY	DRIVEWAY	—	ELECTRICAL METER
EA	EASEMENT	—	FOUND IRON PIPE AT PROPERTY CORNER
ELEV	ELEVATION	—	FILTER FABRIC ROLLS
EM	ELECTRIC METER	—	GAS METER
EO	ELECTRIC OVERHEAD	—	GAS VALVE
EUG	ELECTRIC UNDERGROUND	—	GRADE TO DRAIN
EP	EDGE OF PAVEMENT	—	GUY POLE
EX	EXISTING	—	GUY WIRE ANCHOR
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	—	EXISTING FIRE HYDRANT
FE	FOUND	—	HYDRANT: PROPOSED OR NEW
FD	FOUND	—	INLET 12"x12" GRATE OTHERWISE NOTED
FF	FINISH ELEVATION OF SUBFLOOR	—	JOINT POLE
FG	GROUND FINISH GRADE	—	LIGHTING
FL	FIRE HYDRANT	—	LIGHTING POLE
FM	FINISH GRADE	—	NOT TO SCALE
G	GARAGE SLAB ELEVATION/GAS LINE	—	ORIGINAL GROUND
GM	GAS METER	—	PAVEMENT FINISH GRADE
GP	GUY POLE	—	PAD ELEVATION
IP	IRON PIPE	—	PERFORATED PIPE
JT	JOINT TRENCH	—	PROPERTY LINE
LIP	LIP OF GUTTER	—	POWER POLE
LPA	LANDSCAPE AREA	—	PUBLIC SERVICE EASEMENT
MAX	MAXIMUM	—	PRIVATE STORM DRAIN
M	MANHOLE	—	RELEASE EASEMENT
MAN	MANHOLE	—	PRIVATE SANITARY SEWER EASEMENT
MW	MANHOLE WELL	—	PRIVATE WATER LINE EASEMENT
NOT	NOT TO SCALE	—	PAVEMENT
OH	OVERHEAD	—	POLYETHYLENE CHLORIDE
OG	ORIGINAL GROUND	—	RADIUS
OP	OVERHEAD	—	RETAINING WALL
PAD	PAD ELEVATION	—	RIGHT OF WAY
PERF	PERFORATED PIPE	—	SAINTARY SEWER CLEAN OUT MANHOLE
P	PROPERTY LINE	—	SAINTARY SEWER MANHOLE
PP	POWER POLE	—	STORM DRAIN MANHOLE
PSE	PUBLIC SERVICE EASEMENT	—	TELEPHONE BOX
PSDR	PRIVATE STORM DRAIN	—	TOP OF FILL
PSSE	PRIVATE SANITARY SEWER EASEMENT	—	TOE OF FILL
PWLE	PRIVATE WATER LINE EASEMENT	—	TOP OF CUT
PWMT	PAVEMENT	—	TOE OF CUT
PVC	POLYETHYLENE CHLORIDE	—	UTILITY: EXISTING
R	RADIUS	—	UTILITY: PROPOSED OR NEW
R/W	RETAINING WALL	—	WATER METER
R/W	RIGHT OF WAY	—	WATER VALVE
SD	STORM DRAIN	—	WELL
SS	SANITARY SEWER/LATERAL	—	
STA	STATION	—	
SW	SILICON VALLEY POWER	—	
S	SIDEWALK	—	
TB	TOP OF BANK	—	
TC	TOP OF CURB	—	
TOC	TOP OF GRADE	—	
TR	TOP OF WALL	—	
TYE	TYPICAL	—	
U	UNDERGROUND ELECTRICAL EASEMENT	—	
UN	UNNOTED	—	
W	WATER	—	
WM	WALKWAY	—	
WM	WATER METER	—	
WV	WATER VALVE	—	

PROJECT NO. 104-12-025

CITY OF WATSONVILLE

DATE: 09/07/22

SCALE: AS NOTED

CHECKED: [Signature]

DATE: 09/07/22

BY: [Signature]

DATE: 09/07/22

REVISIONS:

**ENGINEERING**

598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 565-4006

**CALIFORNIA**

TITLE SHEET

CHEENEY STREET TOWNHOUSES

CHEENEY STREET

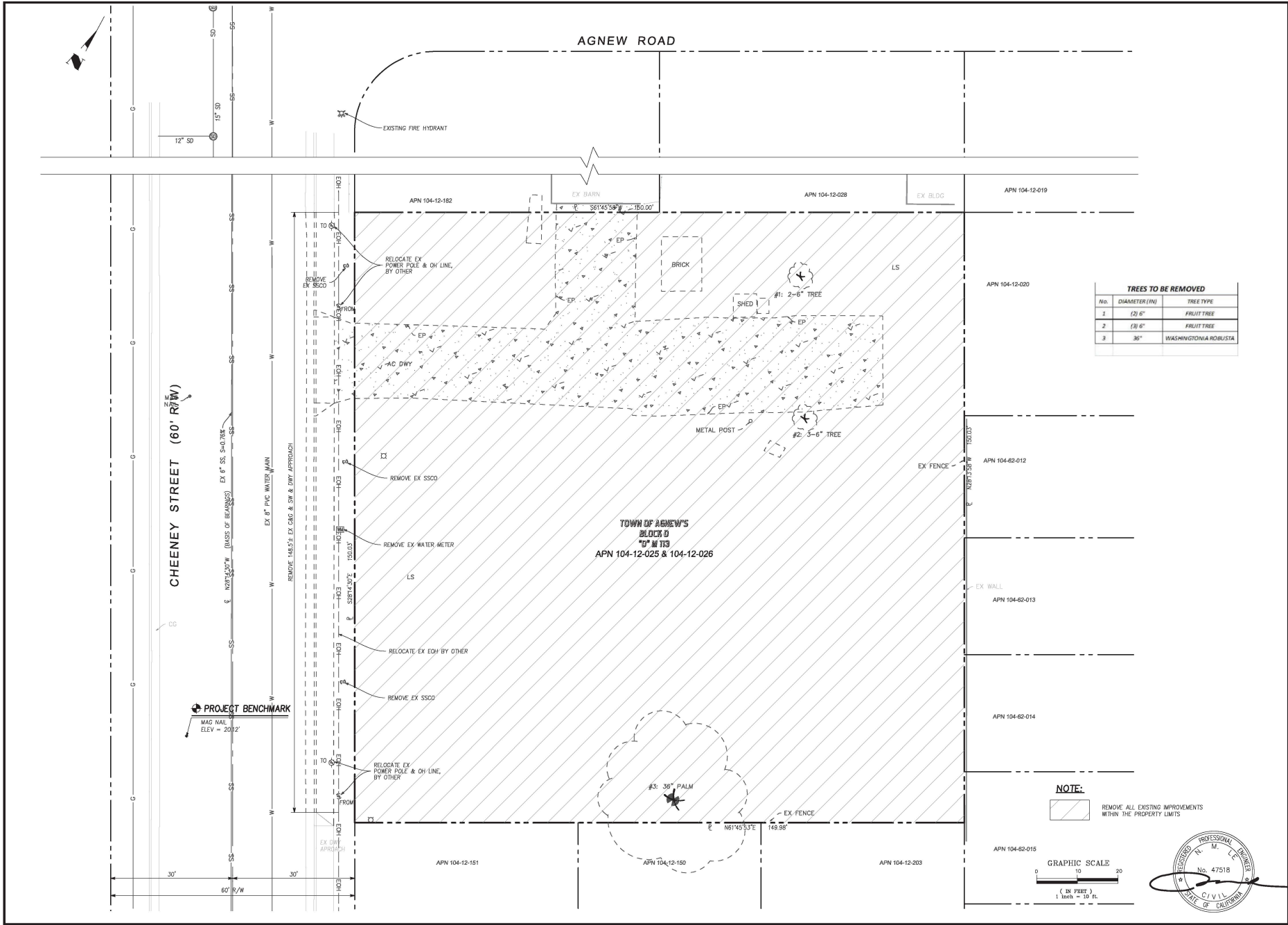
APN 104-12-025

APN 104-12-025

1 OF 10

SANTA CLARA

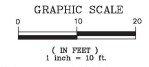
CONTRACT NO. 104-12-025



**TREES TO BE REMOVED**

No.	DIAMETER (IN)	TREE TYPE
1	(2) 6"	FRUIT TREE
2	(3) 6"	FRUIT TREE
3	36"	WASHINGTONIA ROBUSTA

**NOTE:**  
 REMOVE ALL EXISTING IMPROVEMENTS  
 WITHIN THE PROPERTY LIMITS



**ENGINEERING**  
 598 E Santa Clara St #270  
 San Jose, CA 95128  
 Phone (408) 806-7887  
 Fax (408) 585-4006

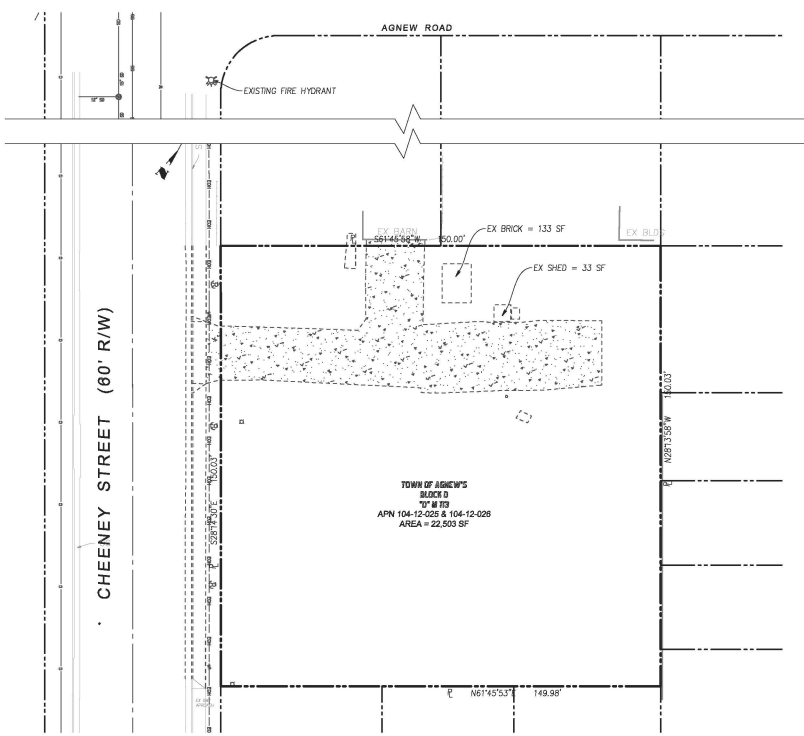
**DEMOLITION PLAN**  
**CHEANEY STREET TOWNHOUSES**  
**CHEANEY STREET**  
**APN 104-12-025 APN 104-12-026**

**SANTA CLARA** CONTRACT NO. PROJECT NO. CALIFORNIA

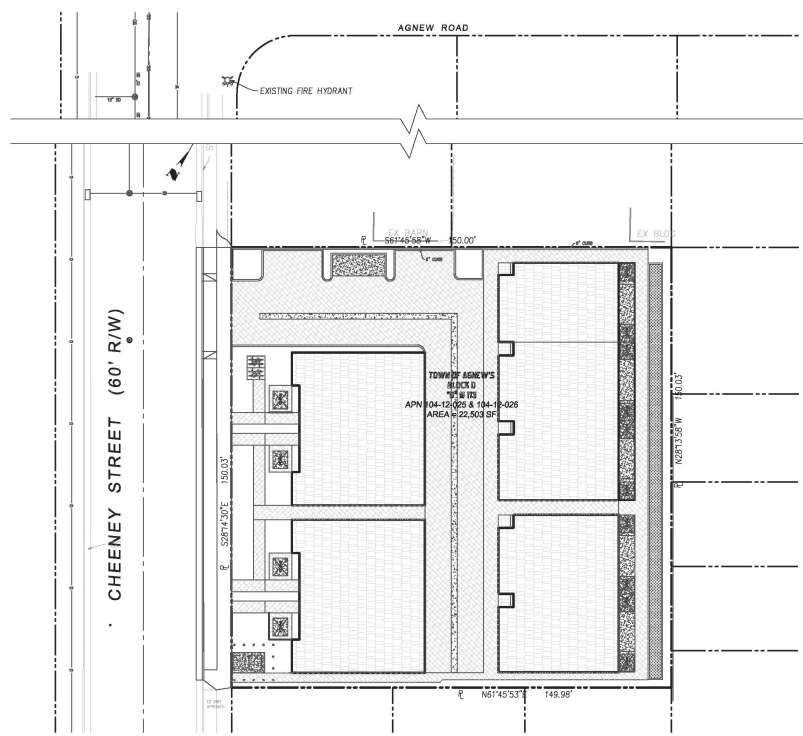
DRAWING NO. **2** OF **10** SHEET NO. **2**

DATE	BY	DATE	REVISIONS	NO.
09/07/22		09/07/22		
09/07/22		09/07/22		
09/07/22		09/07/22		










**PRE-DEVELOPMENT PLAN**  
SCALE 1" = 20'



**POST-DEVELOPMENT PLAN**  
SCALE 1" = 20'

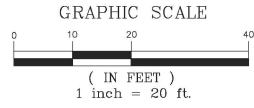
**LEGEND:**

-  PERVIOUS PAVER AREA
-  CONCRETE AREA
-  ROOF
-  LANDSCAPE AREA
-  BIO-RETENTION

PRE - DEVELOPMENT			
NO.	SURFACE AREA	IMPERVIOUS	PERVIOUS
1	CONCRETE DRIVEWAY	3,430 SF	
2	SHED & BRICK	166 SF	
3	LANDSCAPING		18,927 SF
<b>TOTAL</b>		<b>3,596 SF</b>	<b>18,927 SF</b>

POST - DEVELOPMENT			
NO.	SURFACE AREA	IMPERVIOUS	PERVIOUS
1	BUILDING	30,090 SF	
2	CONCRETE AREA	1,365 SF	
3	PERVIOUS PAVER DRIVEWAY		4,241 SF
4	PERVIOUS PAVER WALKWAY		3,257 SF
5	LANDSCAPING		3,550 SF
<b>TOTAL</b>		<b>31,455 SF</b>	<b>11,048 SF</b>

SUMMARY		
DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	3,596 SF	18,927 SF
POST-DEVELOPMENT	31,455 SF	11,048 SF
<b>DIFFERENCE</b>	<b>27,859 SF</b>	<b>-7,879 SF</b>



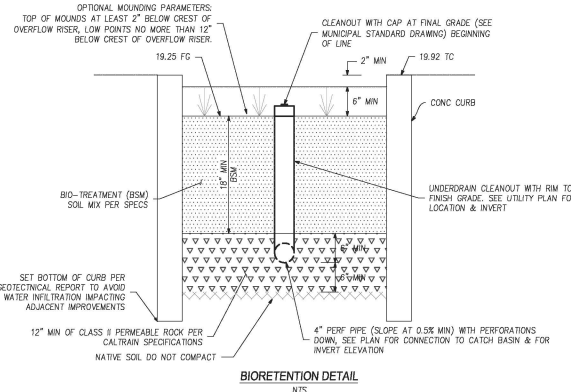
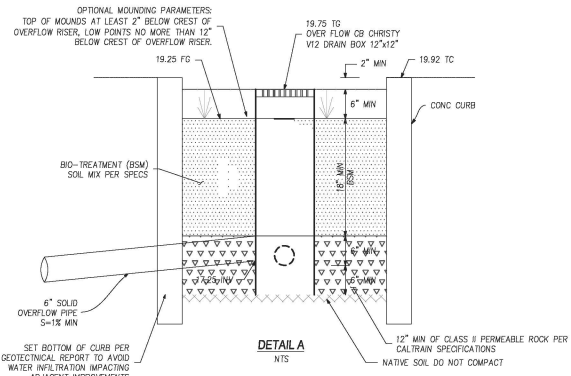
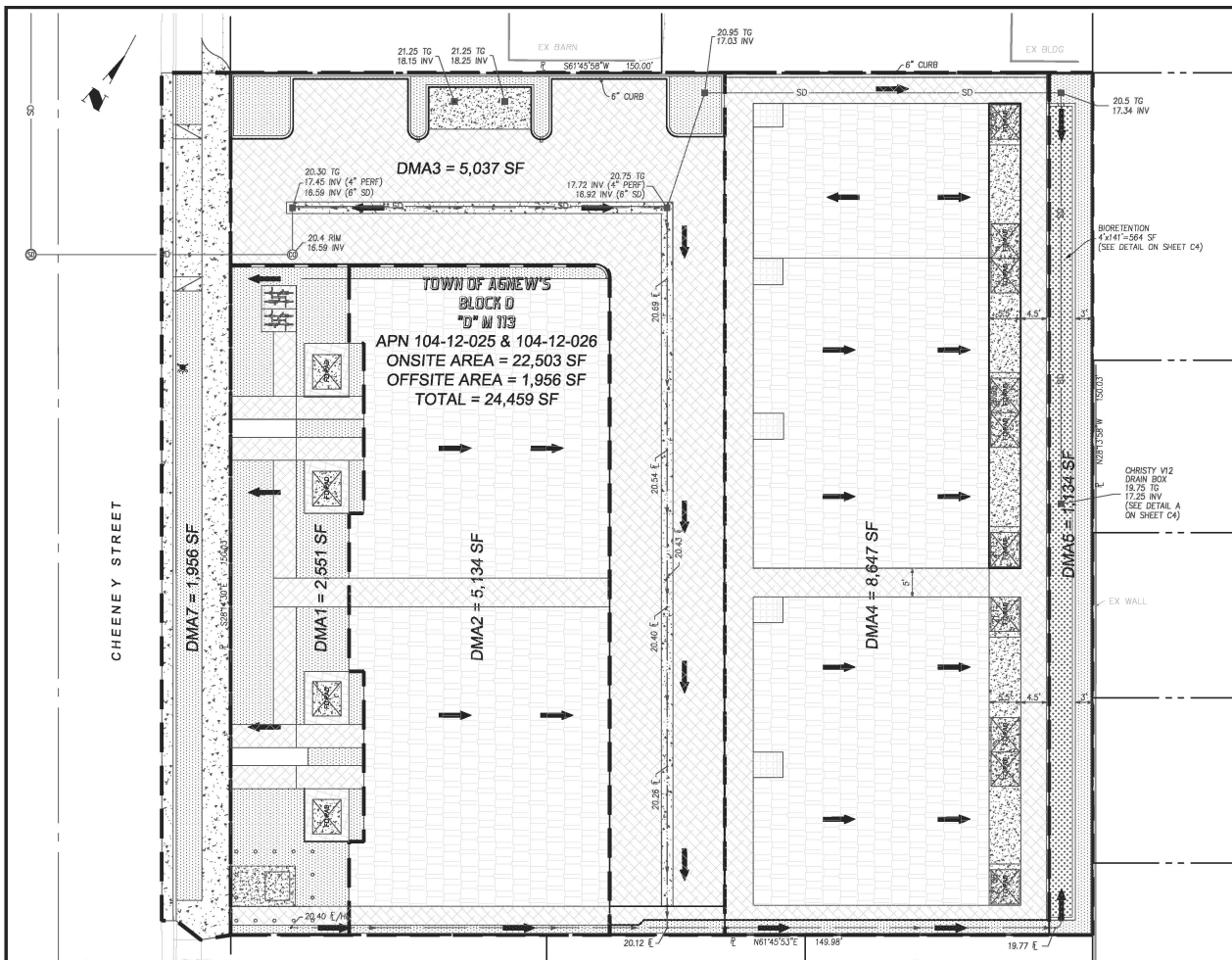
PT	DESIGNED	DATE	CHECKED	DATE
		09/07/22		09/07/22
BY	DATE	APPROVED	DATE	REVISIONS

**ENGINEERING**  
 598 E Santa Clara St #270  
 San Jose, CA 95126  
 Phone (408) 806-7987  
 Fax (408) 583-4006

**PRE AND POST DEVELOPMENT PLAN**  
**CHEENEY STREET TOWNHOUSES**  
**CHEENEY STREET**  
**APN 104-12-025 APN 104-12-026**  
**SANTA CLARA CALIFORNIA**

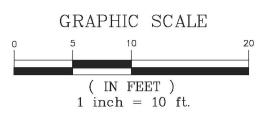
PROJECT NO. \_\_\_\_\_ CONTRACT NO. \_\_\_\_\_

DRAWING NO. **C3**  
 SHEET NO. **3 OF 10**



**CITY OF SANTA CLARA  
C.3 TREATMENT FACILITIES CONSTRUCTION NOTES**

- THIRD PARTY REVIEW AND CERTIFICATION OF INSTALLATION AND COMPLETED STORMWATER TREATMENT MEASURES IS REQUIRED. THIRD PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY REVIEWERS CAN BE LOCATED AT:  
[WWW.SANTACLARA.CA.GOV/HOME/SHOWPUBLISHEDDOCUMENT/46993/63808350413382672](http://WWW.SANTACLARA.CA.GOV/HOME/SHOWPUBLISHEDDOCUMENT/46993/63808350413382672)
- AT BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A THIRD-PARTY REVIEWER ACCEPTABLE TO THE CITY OF SANTA CLARA. THE THIRD-PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION.
- THE 3RD PARTY SHALL REVIEW ALL INSTALLED STORMWATER TREATMENT MEASURES AND CERTIFY THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS.
- SOILS IN THE BIORETENTION FACILITIES SHOULD MEET THE BIOTREATMENT SOIL MIX (BSM) SPECIFICATIONS PER SCURVPPP C.3 STORMWATER HANDBOOK, APPENDIX C. A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM PERCOLATION RATE OF 10 INCHES/HOUR ARE REQUIRED (INITIAL INFILTRATION RATE MAY EXCEED THIS TO ALLOW FOR TENDENCY OF INFILTRATION RATE TO REDUCE OVER TIME). PLANTING SOIL LAYER SHOULD BE AT LEAST 18 INCHES DEEP. CONTRACTOR TO SUBMIT MATERIAL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CERTIFYING THAT SOIL COMPLES WITH, OR EXCEEDS, SPECIFIED REQUIREMENTS.
- PERMEABLE DRAIN ROCK SHALL BE CLASS 2 PERM ROCK PER CALTRANS STANDARD SECTION 68-1.025. THE MATERIAL SHALL BE WASHED AND FREE FROM CLAY OR ORGANIC MATERIAL.
- PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATIONS FACED DOWN. LOCATION OF THE PIPE VARIES, SEE PLAN.
- INSTALLATION OF POROUS PAVEMENT AND/OR VAULTS SHALL BE DONE PER STANDARD DETAILS AND SPECIFICATIONS. THIRD PARTY REVIEWER OR VENDOR SHALL INSPECT THE POROUS PAVEMENT AND/OR VAULTS INSTALLATION (INCLUDING IF NECESSARY, PERFORMING PERCOLATION TEST) AND SUBMIT THEIR CONCURRENCE LETTER TO THE CITY OF SANTA CLARA.
- INSTALLATION OF INTERCEPTOR TREES AS A TREATMENT CONTROL MEASURE SHALL BE INSPECTED TO VERIFY THE ACCURACY OF LOCATION, SPECIES AND NUMBER OF THE INTERCEPTOR TREES.
- FOR ANY LATER PENETRATIONS, RADIAL CUT FOR PIPE, MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL.
- SEE LANDSCAPE PLANS AND SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION FACILITIES.



**ONSITE TREATMENT CONTROL MEASURES (TCM) SUMMARY TABLE**

ID AREA	TCM No.	LANDSCAPE	PERVIOUS PAVEMENT	PARKING & SIDEWALK AREA	ROOF AREA	TOTAL AREA	TOTAL AREA	TOTAL IMPERVIOUS	TREATMENT TYPE	TREATMENT AREA REQUIRED	TREATMENT AREA PROPOSED	DEPTH OF PONDING
		(SF)	(SF)	(SF)	(SF)	(SF)	(ACRES)	(SF)	(%)	(SF)	(%)	(IN)
DMA-1	1	1,503	928	120		2,551	0.059	120	Bio-Retention	5		
DMA-2		164	375		4,575	5,134	0.118	4,575	Bio-Retention	183		
DMA-3		291	4,241	505		5,037	0.116	505	Bio-Retention	20	564	6
DMA-4		438	1,954	740	5,515	8,647	0.199	6,250	Bio-Retention	250		
DMA-5		1,134				1,134	0.026	0	Bio-Retention	0		
<b>TOTAL AREA</b>		<b>3,660</b>	<b>7,498</b>	<b>1,365</b>	<b>10,090</b>	<b>22,593</b>	<b>0.518</b>	<b>11,465</b>		<b>458</b>	<b>564</b>	

**OFFSITE SELF TREATMENT CONTROL MEASURES (TCM) SUMMARY TABLE**

ID AREA	TCM No.	LANDSCAPE	PERVIOUS PAVEMENT	PARKING & SIDEWALK AREA	ROOF AREA	TOTAL AREA	TOTAL AREA	TOTAL IMPERVIOUS	TREATMENT TYPE	TREATMENT AREA REQUIRED	TREATMENT AREA PROPOSED	DEPTH OF PONDING
		(SF)	(SF)	(SF)	(SF)	(SF)	(ACRES)	(SF)	(%)	(SF)	(%)	(IN)
DMA-7	1	518	0	1,438		1,956	0.045	1,438				
<b>TOTAL AREA</b>		<b>518</b>	<b>0</b>	<b>1,438</b>	<b>0</b>	<b>1,956</b>	<b>0.045</b>	<b>1,438</b>				

- LEGEND:**
- PERVIOUS PAVEMENT AREA
  - CONCRETE AREA
  - ROOF
  - LANDSCAPE AREA
  - BIO-RETENTION
  - TRIBUTARY AREA
  - FLOW DIRECTION

PROJECT NO. 4 OF 10  
SHEET NO. 4

**ENGINEERING**  
598 E Santa Clara St #270  
San Jose, CA 95128  
Phone (408) 806-7987  
Fax (408) 583-4006

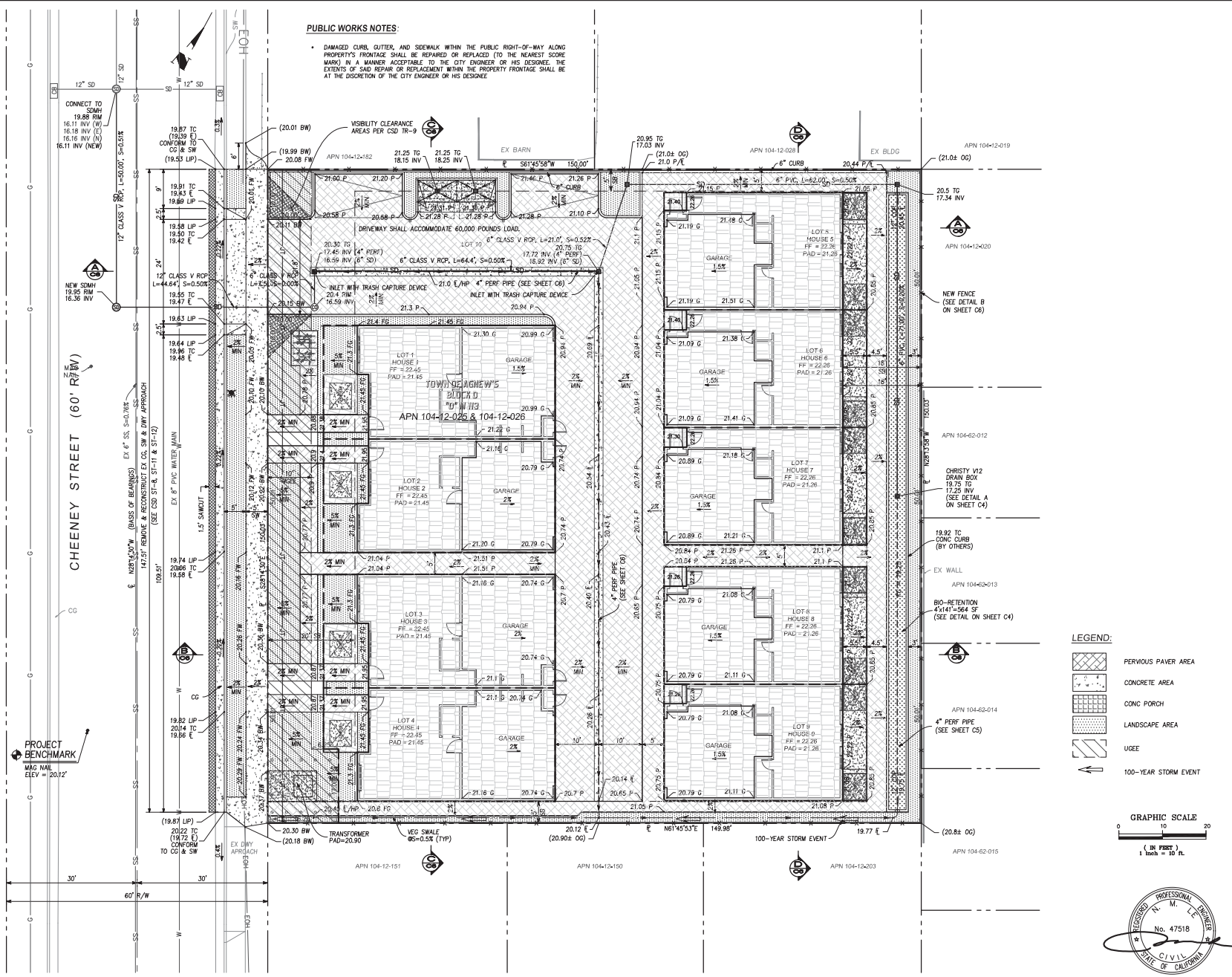
**STORMWATER CONTROL PLAN  
CHEENEY STREET TOWNHOUSES  
CHEENEY STREET  
APN 104-12-025 APN 104-12-026  
SANTA CLARA**

DATE: 09/07/22  
CHECKED: [Signature]  
DATE: 09/07/22  
BY: [Signature]  
DATE: 09/07/22

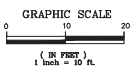
REVISIONS

**PUBLIC WORKS NOTES:**

- DAMAGED CURB, GUTTER, AND SIDEWALK WITHIN THE PUBLIC RIGHT-OF-WAY ALONG PROPERTY'S FRONTAGE SHALL BE REPAIRED OR REPLACED (TO THE NEAREST SCORE MARK) IN A MANNER ACCEPTABLE TO THE CITY ENGINEER OR HIS DESIGNEE. THE EXTENTS OF SAID REPAIR OR REPLACEMENT WITHIN THE PROPERTY FRONTAGE SHALL BE AT THE DISCRETION OF THE CITY ENGINEER OR HIS DESIGNEE.



- LEGEND:**
- PERVIOUS PAVER AREA
  - CONCRETE AREA
  - CONC PORCH
  - LANDSCAPE AREA
  - UGEE
  - 100-YEAR STORM EVENT



PT	DESIGNED	DATE	CHECKED	DATE	BY	DATE	APPROVED	REVISIONS	NO.
		09/07/22		09/07/22		09/07/22			

**ENGINEERING**

508 E Santa Clara St #270  
San Jose, CA 95122  
Phone (408) 806-7877  
Fax (408) 586-4006

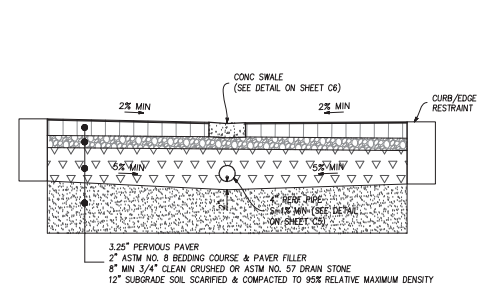
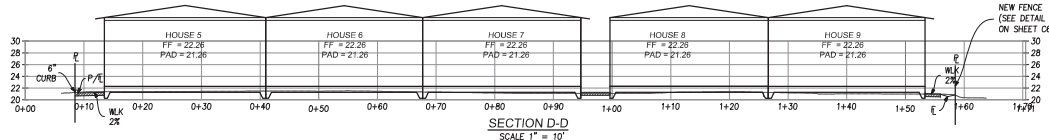
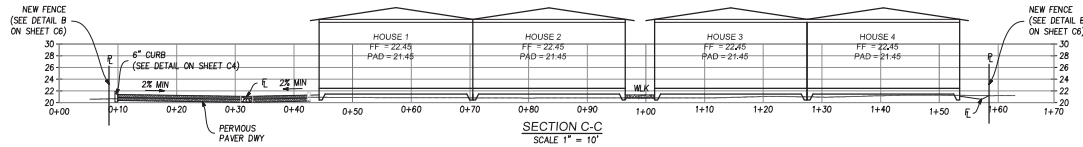
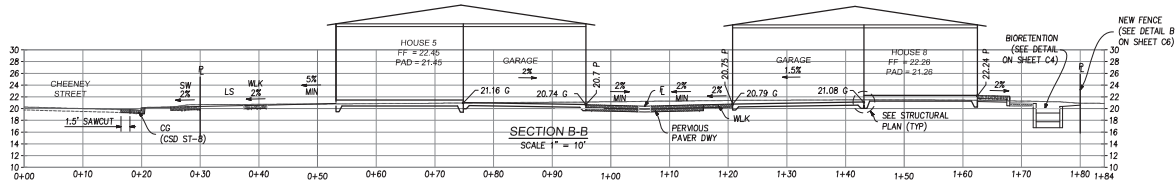
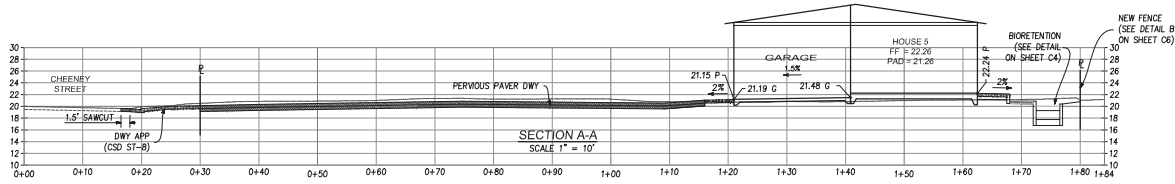
**GRADING AND DRAINAGE PLAN**  
CHEANEY STREET TOWNHOUSES  
CHEANEY STREET  
APN 104-12-025 APN 104-12-026

CALIFORNIA  
PROJECT NO. \_\_\_\_\_  
CONTRACT NO. \_\_\_\_\_

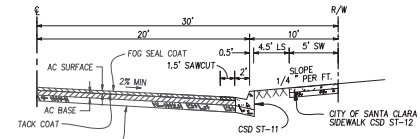


DRAWING NO. **C5**  
SHEET NO. **5** OF **10**  
SANTA CLARA

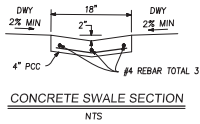




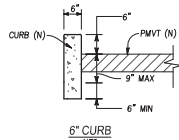
PERVIOUS PAVER DETAIL  
NTS



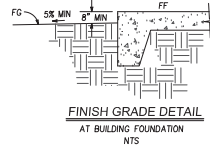
TYPICAL HALF STREET SECTION  
CHEENEY DRIVE  
NTS



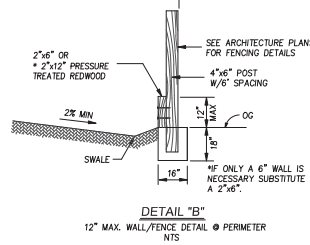
CONCRETE SWALE SECTION  
NTS



6\"/>



FINISH GRADE DETAIL  
AT BUILDING FOUNDATION  
NTS



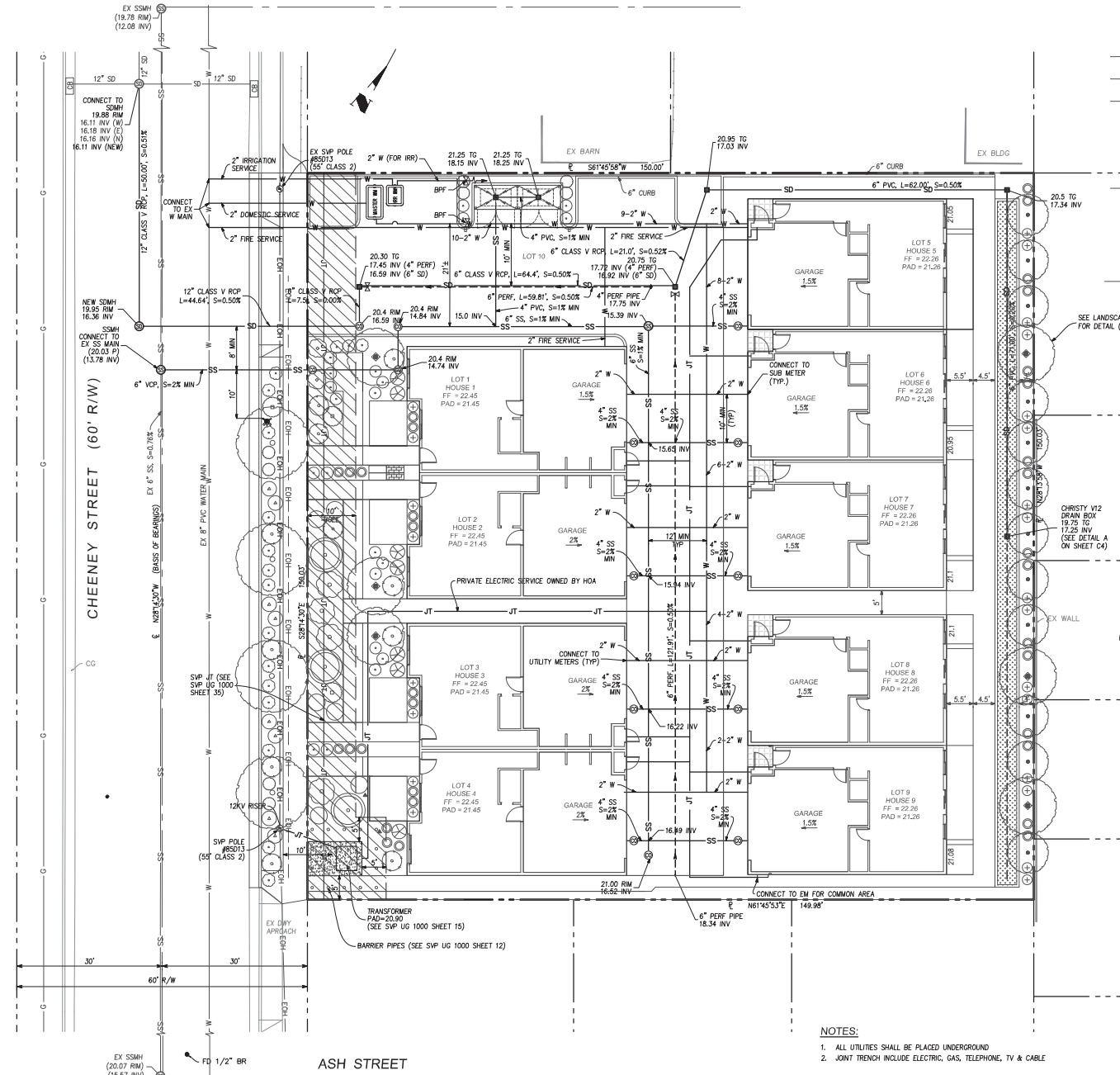
DETAIL \"B\"  
12\"/>

PT	DATE	BY	DATE	DATE	REVISIONS	NO.
DESIGNED	09/07/22		09/07/22	09/07/22		
DRAWN						
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SCALE AS NOTED						
SCALE						
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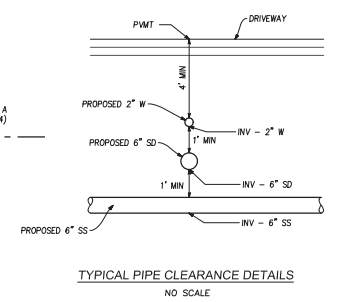
<b>ENGINEERING</b> 598 E Santa Clara St #270 San Jose, CA 95128 Phone (408) 806-7187 Fax (408) 886-4006		PROJECT NO. <b>CHEENEY STREET TOWNHOUSES</b> <b>APN 104-12-025</b> <b>APN 104-12-026</b> <b>SANTA CLARA</b> CALIFORNIA
BUILDING CROSS SECTIONS CHEENEY STREET TOWNHOUSES CHEENEY STREET	CONTRACT NO. <b>6 of 10</b>	DRAWING NO. <b>06</b>



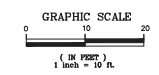


**LEGEND:**

EXISTING	PROPOSED
— JT —	— JT —
— SS —	— SS —
— SD —	— SD —
⊙	⊙
⊚	⊚
— W —	— W —
— W —	— W —
— W —	— W —
— W —	— W —
— W —	— W —
— W —	— W —
— W —	— W —
— EOH —	— EOH —



- NOTES:**
1. ALL UTILITIES SHALL BE PLACED UNDERGROUND
  2. JOINT TRENCH INCLUDE ELECTRIC, GAS, TELEPHONE, TV & CABLE
  3. UTILITIES LOCATION AS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION.
  4. THE APPLICANT SHALL MAINTAIN A MINIMUM 12" OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES FROM WATER SERVICES: 10' FROM SANITARY SEWER UTILITIES, 10' FROM RECYCLED WATER UTILITIES, 8' FROM STORM DRAIN UTILITIES, 5' FROM FIRE AND OTHER WATER UTILITIES, 5' FROM ARMOURED WATER SERVICES, 5' FROM GAS UTILITIES, AND 5' FROM THE EDGE OF THE PROPOSED OR EXISTING DRIVEWAY. FOR SANITARY SEWER, WATER, AND RECYCLED WATER UTILITIES, THE APPLICANT SHALL MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TREES. IF APPLICANT INSTALLS TREE ROOT BARRIERS, CLEARANCE FROM TREE REDUCES TO 5' (CLEARANCE MUST BE FROM THE EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES).



- NOTES:**
1. ALL UTILITIES SHALL BE PLACED UNDERGROUND
  2. JOINT TRENCH INCLUDE ELECTRIC, GAS, TELEPHONE, TV & CABLE

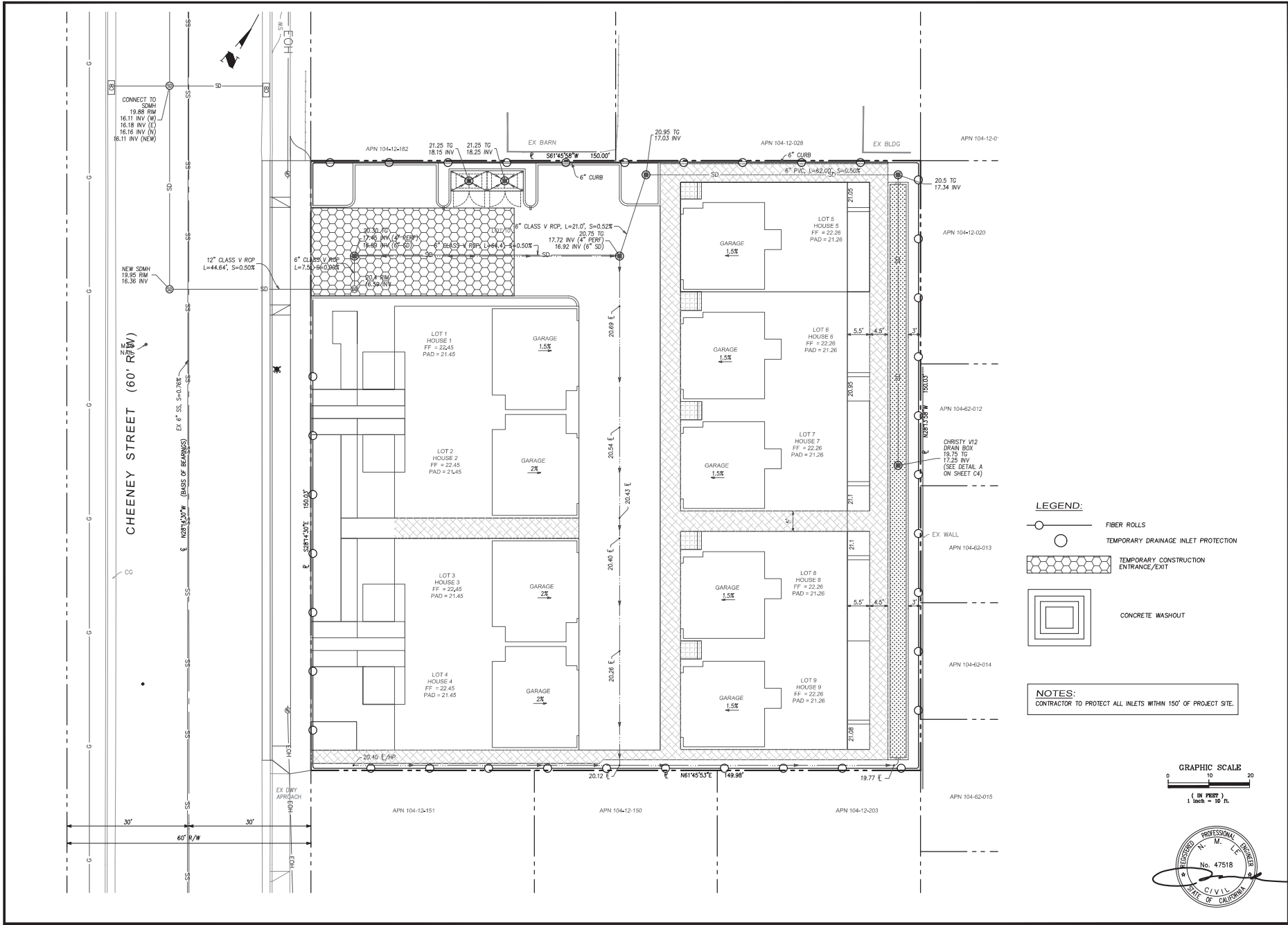
NO.	DATE	BY	DATE	APPROVED	REVISIONS

**ENGINEERING**  
 588 E Santa Clara St #270  
 San Jose, CA 95128  
 Phone: (408) 806-7187  
 Fax: (408) 888-4006

**UTILITY PLAN**  
**CHEANEY STREET TOWNHOUSES**  
**CHEANEY STREET**  
**APN 104-12-025 APN 104-12-026**  
**SANTA CLARA**

PROJECT NO. \_\_\_\_\_  
 CONTRACT NO. \_\_\_\_\_  
 DRAWING NO. **C7**  
 SHEET NO. **7** OF **10**

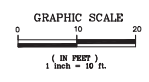
REGISTERED PROFESSIONAL ENGINEER  
 No. 47518  
 CIVIL  
 STATE OF CALIFORNIA



**LEGEND:**

- FIBER ROLLS
- TEMPORARY DRAINAGE INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE/EXIT
- CONCRETE WASHOUT

**NOTES:**  
CONTRACTOR TO PROTECT ALL INLETS WITHIN 150' OF PROJECT SITE.



PROJECT NO.	CONTRACT NO.	DATE	BY	DATE	REVISIONS	NO.
8 of 10		09/07/22		09/07/22		
8		09/07/22		09/07/22		
8		09/07/22		09/07/22		

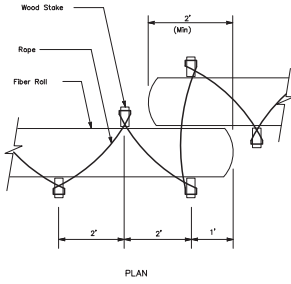
**E ENGINEERING**  
 508 E Santa Clara St #270  
 San Jose, CA 95128  
 Phone (408) 806-7167  
 Fax (408) 586-4006

**EROSION CONTROL PLAN  
 CHEANEY STREET TOWNHOUSES  
 CHEANEY STREET  
 APN 104-12-025 APN 104-12-026  
 SANTA CLARA CALIFORNIA**

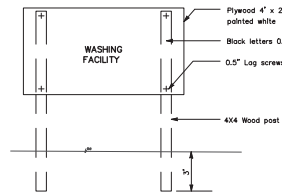


**EROSION CONTROL NOTES**

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE CITY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
5. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
6. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
7. FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS.
8. UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.

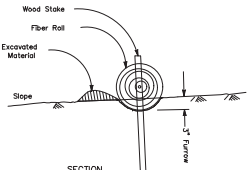


FIBER ROLLS ROPE RESTRAINT METHOD

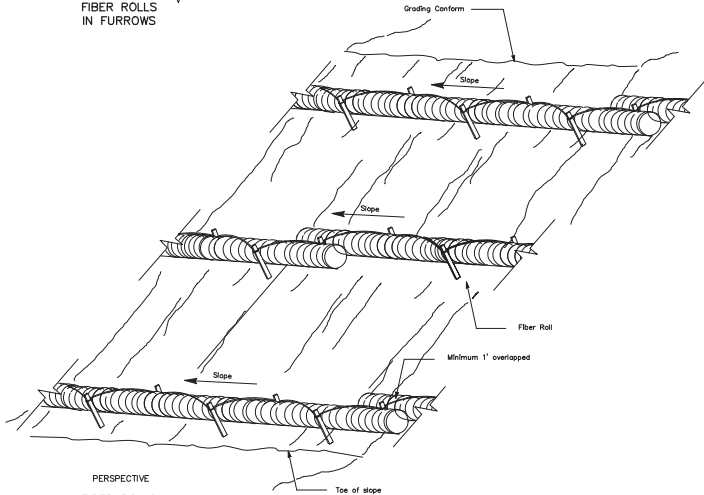


SIGN ELEVATION

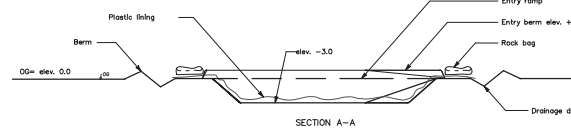
NOTE:  
The temporary equipment washing facility sign shall be installed within 20 feet of the temporary concrete washout facility.



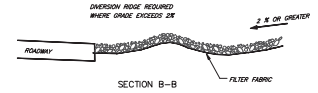
SECTION FIBER ROLLS IN FURROWS



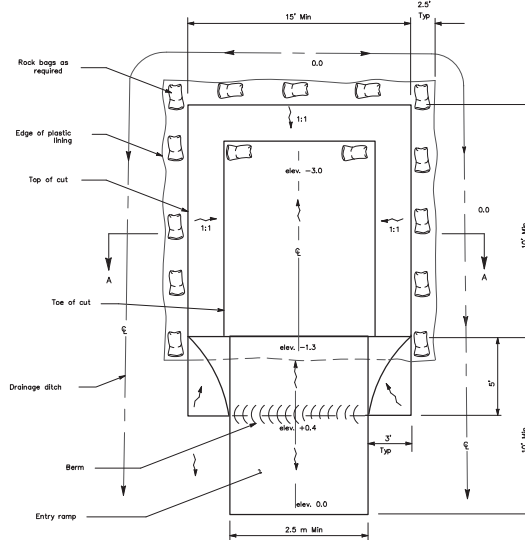
PERSPECTIVE FIBER ROLLS ROPE RESTRAINT METHOD



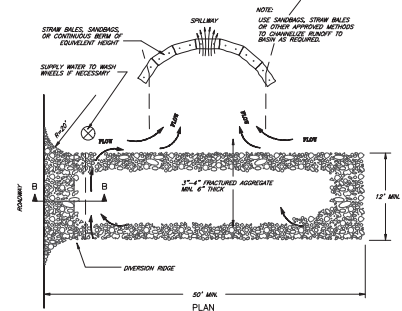
SECTION A-A



SECTION B-B

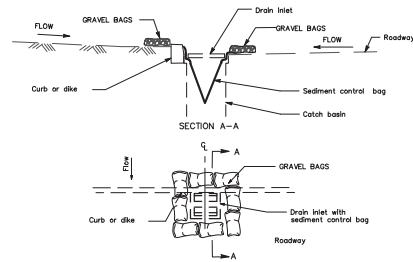


PLAN TEMPORARY EQUIPMENT WASHING FACILITY (Below Grade)

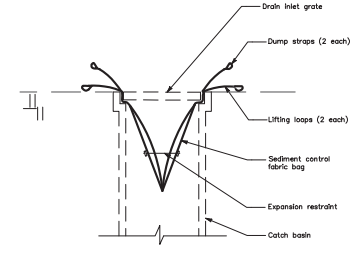


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



TEMPORARY DRAINAGE INLET PROTECTION For paved areas exposed to traffic



SECTION SEDIMENT CONTROL BAG



PROJECT NO.		CONTRACT NO.	
DATE	09/07/22	DATE	09/07/22
BY		DATE	09/07/22
SCALE		CHECKED	
APP'D		DATE	
REVISIONS		DATE	
NO.		DATE	

**E ENGINEERING**  
 588 E Santa Clara St #270  
 San Jose, CA 95128  
 Phone (408) 806-7187  
 Fax (408) 586-4006

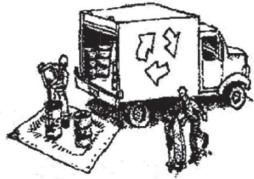
EROSION CONTROL DETAILS  
 CHEENEY STREET TOWNHOUSES  
 CHEENEY STREET  
 APN 104-12-025 APN 104-12-026  
 SANTA CLARA CALIFORNIA

DRAWING NO. 09  
 SHEET NO. 9 of 10

# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



### Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



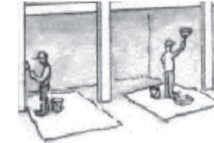
### Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program**

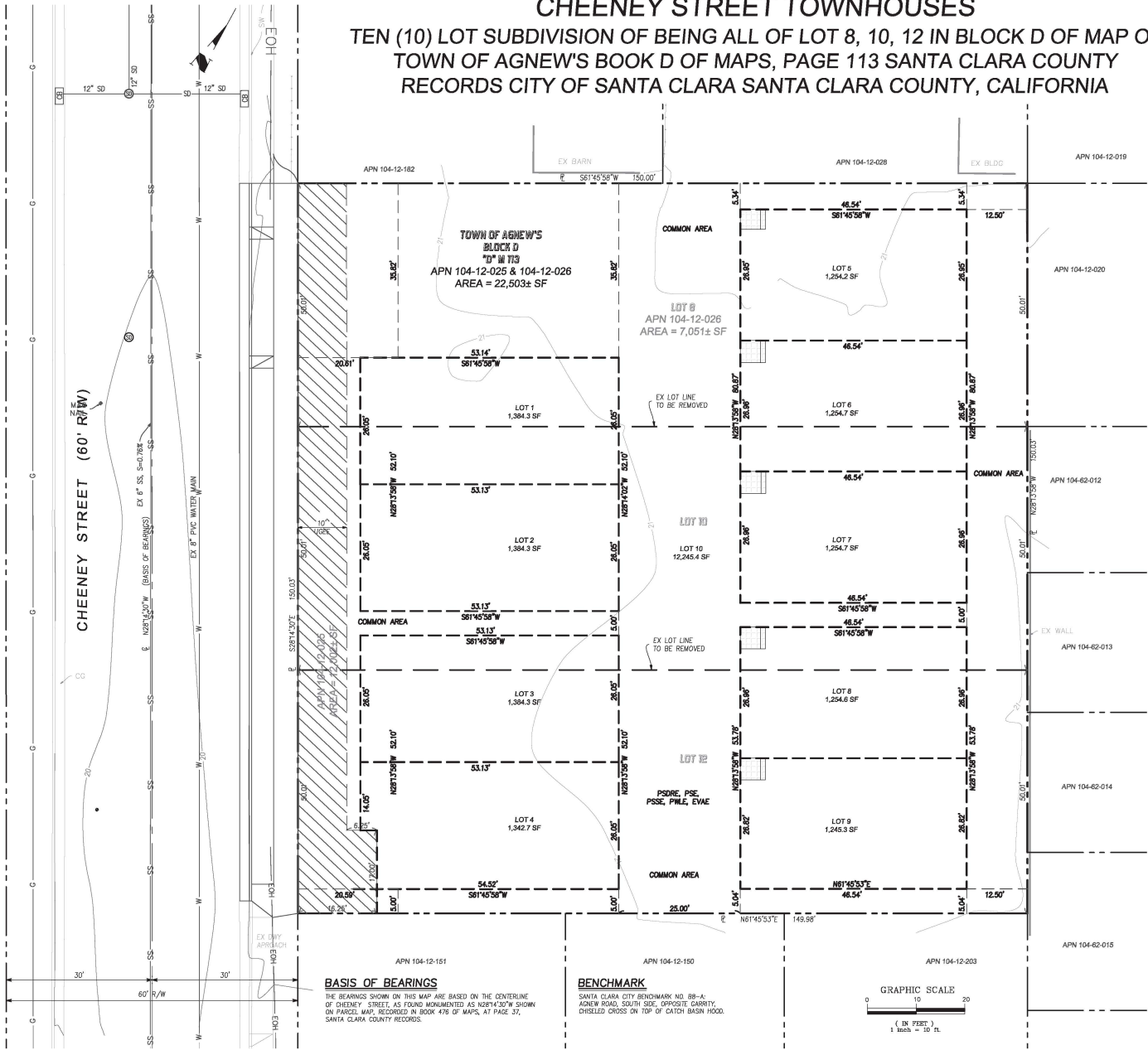
**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



PT	ISSUED	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
	REVISION	BY	DATE	APPROVED	BY	DATE	REVISIONS	NO.		
<p><b>ENGINEERING</b>                  598 E Santa Clara St #270                  San Jose, CA 95128                  Phone (408) 806-7787                  Fax (408) 588-4006</p>										
<p><b>CONSTRUCTION BEST MANAGEMENT PRACTICES                  CHEENEY STREET TOWNHOUSES                  CHEENEY STREET                  APN 104-12-025 APN 104-12-026                  SANTA CLARA CALIFORNIA</b></p>										
<p>DRAWING NO. <b>C10</b>                  SHEET NO. <b>10 OF 10</b>                  CONTRACT NO. _____ PROJECT NO. _____</p>										

# VESTING TENTATIVE MAP CHEENEY STREET TOWNHOUSES

TEN (10) LOT SUBDIVISION OF BEING ALL OF LOT 8, 10, 12 IN BLOCK D OF MAP OF TOWN OF AGNEW'S BOOK D OF MAPS, PAGE 113 SANTA CLARA COUNTY RECORDS CITY OF SANTA CLARA SANTA CLARA COUNTY, CALIFORNIA



### LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	BN	BENCHMARK
AC	ASPHALT CONCRETE	CL	PROPERTY LINE
BL	BUILDING	DL	PARCEL LINE
BS	BUILDING SETBACK LINE	EL	NEW LOT LINE
BW	BOTTOM OF WALL/BACK OF WALK	EX	EX LOT LINE TO BE REMOVED
CD	COBBLE ROCK ENERGY DISSIPATOR	FC	CATCH BASIN
CO	CURB & GUTTER	FR	COBBLE ROCK ENERGY DISSIPATOR
C	CENTERLINE	GR	CONCRETE
CS	SANITARY SEWER CLEANOUT	HE	CONTOUR EXISTING
COP	CURE OPENING	HN	CONTOUR PROPOSED OR NEW
CSD	CONCRETE	IG	DESIGN GRADE
CSO	CITY STANDARD DETAIL	IS	DOWNSPOUT WITH SPLASHBLOCK
DI	DRAINAGE INLET	IV	DIVERSION VALVE
DS	DOWNSPOUT	EW	EXTENDABLE BACKWATER VALVE (SEE PROJECT NOTES)
DWY	DRYWAY	EM	EXTENSIBLE BACKWATER VALVE (SEE PROJECT NOTES)
EA	EASEMENT	EV	FACE OF CURB
ELEV	ELEVATION	FD	FOUND
EM	ELECTRIC METER	FF	FINISH ELEVATION OF SUBFLOOR
E(OH)	ELECTRIC OVERHEAD	FG	GROUND FINISH GRADE
EVG	ELECTRIC UNDERGROUND	FH	FIRE HYDRANT
EP	EDGE OF PAVEMENT	FL	FLOW LINE
EX	EXISTING	FM	GARAGE SLAB ELEVATION/GAS LINE
EXE	EMERGENCY VEHICLE ACCESS EASEMENT	GN	GAS METER
FC	FACE OF CURB	HP	HIGH POINT
FD	FOUND	INV	INVERT
FF	FINISH ELEVATION OF SUBFLOOR	IP	IRON PIPE
FG	GROUND FINISH GRADE	JT	JOINT TRENCH
FH	FIRE HYDRANT	LP	LIP OF CUTTER
FL	FLOW LINE	LS	LANDSCAPED AREA
FM	GARAGE SLAB ELEVATION/GAS LINE	MA	MANHOLE
GN	GAS METER	MH	MANHOLE
HP	HIGH POINT	MIN	MINIMUM
INV	INVERT	MW	MONUMENT WELL
IP	IRON PIPE	NIS	NOT TO SCALE
JT	JOINT TRENCH	OH	OVERHEAD
LP	LIP OF CUTTER	OC	ORIGINAL GROUND
LS	LANDSCAPED AREA	P	PAVEMENT FINISH GRADE
MA	MANHOLE	PAD	PAD ELEVATION
MH	MANHOLE	PL	PROPERTY LINE
MIN	MINIMUM	PP	POWER POLE
MW	MONUMENT WELL	PSE	PRIVATE SERVICE EASEMENT
NIS	NOT TO SCALE	PSDE	PRIVATE STORM DRAIN RELEASE EASEMENT
OH	OVERHEAD	PSSE	PRIVATE SANITARY SEWER EASEMENT
OC	ORIGINAL GROUND	PWE	PRIVATE WATER LINE EASEMENT
P	PAVEMENT FINISH GRADE	PWT	POST CONSTRUCTION CONTROL WATER POLLUTION CONTROL MEASURE
PAD	PAD ELEVATION	R	RADIUS
PL	PROPERTY LINE	R/W	RETAINING WALL
PP	POWER POLE	RO	RIGHT OF WAY
PSE	PRIVATE SERVICE EASEMENT	SD	STORM DRAIN
PSDE	PRIVATE STORM DRAIN RELEASE EASEMENT	SS	SANITARY SEWER/LATERAL STATION
PSSE	PRIVATE SANITARY SEWER EASEMENT	SW	SEWER
PWE	PRIVATE WATER LINE EASEMENT	TC	TOP OF BANK
PWT	POST CONSTRUCTION CONTROL WATER POLLUTION CONTROL MEASURE	TD	TOP OF DRAIN
R	RADIUS	TE	TOP OF GRADE
R/W	RETAINING WALL	TM	TOP OF MANTLE
RO	RIGHT OF WAY	TP	TOP OF WALL
SD	STORM DRAIN	USEE	UNDERGROUND ELECTRICAL EASEMENT
SS	SANITARY SEWER/LATERAL STATION	USC	UNSEATED
SW	SEWER	W	WATER
TC	TOP OF BANK	WBK	WATER METER
TD	TOP OF DRAIN	WM	WATER METER
TE	TOP OF GRADE	WV	WATER VALVE
TM	TOP OF MANTLE	WV	WATER VALVE
TP	TOP OF WALL		
USEE	UNDERGROUND ELECTRICAL EASEMENT		
USC	UNSEATED		
W	WATER		
WBK	WATER METER		
WM	WATER METER		
WV	WATER VALVE		
WV	WATER VALVE		

### VICINITY MAP

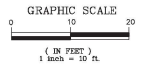
NTS	EXISTING ELEVATION
+	EXISTING FENCE
+	EXISTING TREE TO BE REMOVED
+	EXISTING TREE TO REMAIN
+	ELECTRICAL METER
+	FOUND IRON PIPE AT PROPERTY CORNER
+	FILTER FABRIC ROLLS
+	GAS METER
+	GAS VALVE
+	GLY WIRE ANCHOR
+	EXISTING FIRE HYDRANT
+	HYDRANT PROPOSED OR NEW
+	INLET 6"x6" GRATE OTHERWISE NOTED
+	JUNT POLE
+	LIGHTING
+	LIGHTING POLE
+	OVERLAND FLOW DIRECTION
+	POE BOX
+	POST CONSTRUCTION CONTROL WATER POLLUTION CONTROL MEASURE
+	PROJECT SITE
+	RETAINING WALL
+	RIGHT OF WAY
+	SANITARY SEWER CLEAN OUT MANHOLE
+	SANITARY SEWER MANHOLE
+	STORM DRAIN MANHOLE
+	TELEPHONE BOX
+	UTILITY: EXISTING
+	UTILITY: PROPOSED OR NEW
+	WATER METER
+	WATER VALVE
+	WELL

### NOTES:

- PROJECT NAME: CHEENEY STREET TOWNHOUSES
- ASSESSOR PARCEL NO: 104-12-025 & 104-12-026
- SITE ADDRESS: CHEENEY STREET, SANTA CLARA, CA 95054
- LOT AREA: 0.24 ACRES (GROSS AREA)
- OWNER: GROUND ZERO CONSTRUCTION ADDRESS: 107 SOUTH SANTA CRUZ AVE, UNIT 31192, LOS GATOS, CA 95031
- ENGINEER: NIWI W. LE, PE ADDRESS: 588 E SANTA CLARA ST #270, SAN JOSE, CA 95112 TELEPHONE: (408)-806-7187
- SURVEYOR: TOM H. MILO ADDRESS: 2250 BOHANNAN DRIVE, SAN CLARA, CA 95050 TELEPHONE: (408)-761-5867
- EXISTING ZONING: RM-3 MULTIPLE RESIDENTIAL-HIGH DENSITY
- PROPOSED ZONING: NO CHANGE
- EXISTING USE: VACANT
- PROPOSED USE: RESIDENTIAL
- PROPOSED NUMBER OF LOTS: 9 LOT
- ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN
- PROPOSED WATER, SANITARY SEWER AND STORM DRAIN WILL BE CONSTRUCTED AS PER LOCAL AGENCY STANDARDS
- WATER: SANTA CLARA WATER AND UTILITIES
- SEWER: SANTA CLARA WATER AND UTILITIES
- STORM: SANTA CLARA WATER AND UTILITIES
- GAS & ELECTRIC: PG&E
- TELEPHONE: AT&T
- CABLE TV: COMCAST
- IF EXISTING WATER METER IS NOT BEING USED, IT SHALL BE REMOVED AND CAPPED AT MAN
- IF EXISTING INLETS ARE NOT BEING USED, THEY SHALL BE REMOVED AND CAPPED
- REMOVE ALL EXISTING IMPROVEMENT WITHIN THE PROPERTY LIMITS

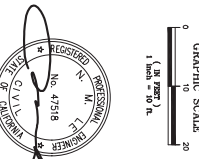
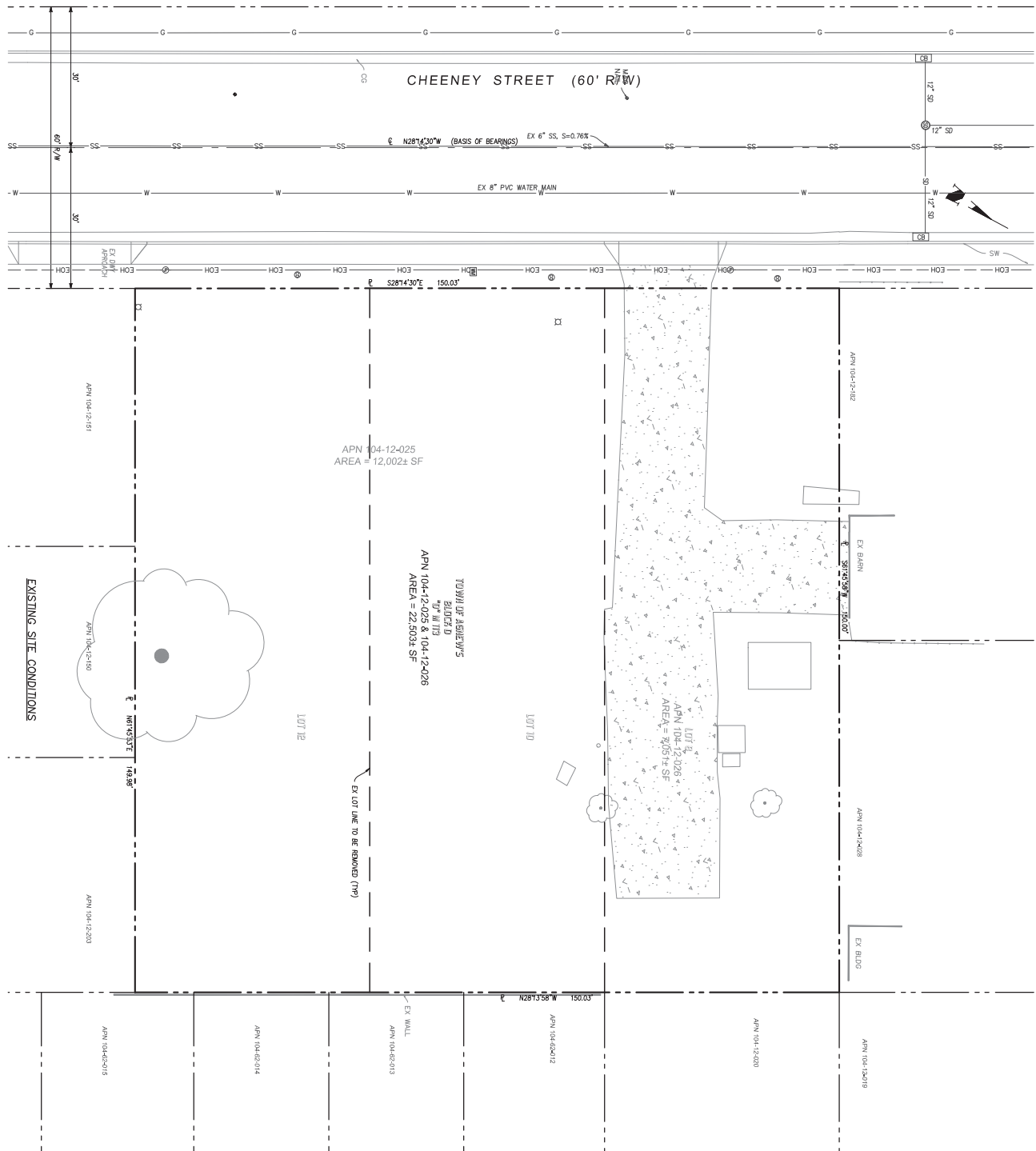
**BASIS OF BEARINGS**  
THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHEENEY STREET, AS FOUND MONUMENTED AS 1029'4.32" W SHOW ON PARCEL MAP, RECORDED IN BOOK 476 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

**BENCHMARK**  
SANTA CLARA CITY BENCHMARK NO. 88-A, AGNEW ROAD, SOUTH SIDE, OPPOSITE GARIBAY, CHISELED CROSS ON TOP OF CATCH BASIN HOOD.



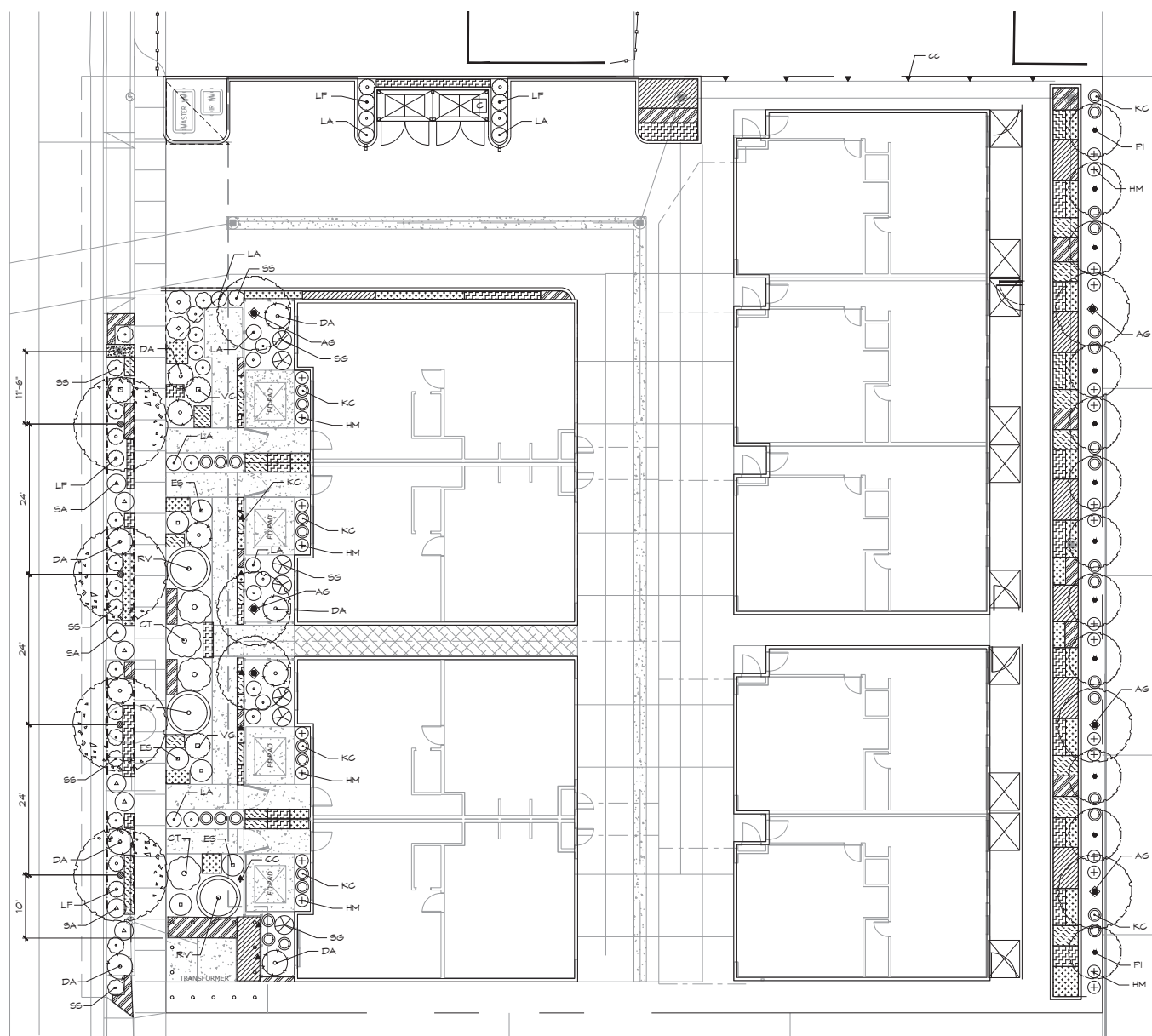
DESIGNED	DATE	CHECKED	DATE	BY	DATE	APPROVED	DATE
09/07/22	09/07/22						
DRAWN	DATE	CHECKED	DATE	BY	DATE	APPROVED	DATE
09/07/22	09/07/22						
SCALE	" = 1"	SCALE	" = 1"	SCALE	" = 1"	SCALE	" = 1"
<b>TENTATIVE MAP</b> <b>CHEENEY STREET TOWNHOUSES</b> <b>CHEENEY STREET</b> <b>APN 104-12-025 APN 104-12-026</b> <b>SANTA CLARA</b>							
<b>1</b> of <b>2</b> <b>SANTA CLARA</b>							





DRAWING NO. <b>T2</b>		<b>TENTATIVE MAP</b> <b>CHEENEY STREET TOWNHOUSES</b> <b>CHEENEY STREET</b> <b>APN 104-12-025 APN 104-12-026</b>		 <b>LE ENGINEERING</b> 598 E Santa Clara St #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 883-4006		PT. DESIGNED: 11/26/2018 DATE: 11/26/2018			
SHT. NO. <b>2 of 2</b>						DRAWN: 11/26/2018 DATE: 11/26/2018 SCALE: 1" = 10' NO. 11/26/2018 CHECKED: 11/26/2018			
FILE NO.	CONTRACT NO.	PROJECT NO.	SANTA CLARA CALIFORNIA		BY	DATE	APP'D	REVISIONS	NO.

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**(A) GENERAL NOTES**

1. CLEAR & GRUB AREAS OF WORK, INCLUDING REMOVING PLANTS, GRASS & OTHER DELETERIOUS MATERIALS. DEPOSE OF MATERIAL AT A LEGAL WASTE FACILITY.
2. ROTOTILL PLANTING AREAS 6" DEEP & COMPACT SOIL TO 85%. COMPACT SUB-GRADE UNDER ALL PAVING TO 95%.
3. GRADE SITE TO DRAIN AWAY FROM THE HOUSE, MIN 2% SLOPE.
4. FINISHED GRADE IN LAWN & PLANTING AREAS TO BE 2" BELOW EDGE OF PAVING.

**(B) LANDSCAPE NOTES**

1. CLEAR & GRUB AREAS OF WORK, INCLUDING REMOVING PLANTS, GRASS, WEEDS & OTHER DELETERIOUS MATERIALS. DEPOSE OF MATERIAL AT A LEGAL WASTE FACILITY.
2. CONTRACTOR TO COLLECT EXISTING SOIL SAMPLES (2FT DEEP) FROM EACH OF THE AREAS OF NEW PLANTINGS AND SUBMIT TO MAYPOINT ANALYTICAL CALIFORNIA (714.282.8777) OR EQUIVALENT, FOR SOIL TEST ACS-2/MELO WITH RECOMMENDATIONS FOR SOIL AMENDMENTS PRIOR TO INSTALLATION OF PLANT MATERIAL.
3. SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO THE RECOMMENDATIONS OF THE SOIL REPORT FOR WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.
4. AFTER REMOVAL OF EX. PLANTS & WEEDS, ROTOTILL TOP 6" OF DIRT IN LANDSCAPE AREAS & SOIL AMENDMENTS. COMPACT SOIL TO 85%. FINISHED GRADE IN LANDSCAPE AREAS TO BE 2" BELOW EDGE OF ADJACENT PAVING.
6. PRIOR TO PLANTING OF ANY MATERIAL, COMPACTED SOILS SHALL BE TRANSFORMED TO BE IN A FRABLE CONDITION.
7. PLANT FITS: TO BE 1-1/2 TIMES THE PLANTS ROOTBALL. AMEND EACH FIT W/ 1/3 MIX OF SOIL AMENDMENT & 2/3 SITE SOIL, MIX BEFORE BACKFILL.
8. COMPACT SUB-GRADE UNDER ALL PAVING TO 95%.
9. GRADE SITE TO DRAIN AWAY FROM THE BUILDING. SLOPE PAVING MIN. OF 2% AWAY FROM BUILDING & PER CIVIL PLAN.
10. MIN. OF 2" OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES IN PLANTING AREAS, EXCEPT IN ROOTING GROUNDCOVER AREAS, TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE.
11. IMPLEMENT PRACTICES TO REDUCE THE DISCHARGE OF PESTICIDES, HERBICIDES AND FERTILIZERS. AT A MIN. IMPLEMENT LANDSCAPE MANAGEMENT MEASURES THAT RELY ON NON-CHEMICAL SOLUTIONS.

**(C) TREE REPLACEMENT**

- (B) TREES TO BE REMOVED PER CIVIL DEMOLITION PLAN
- ON-SITE TREE REPLACEMENT RATIO: 2:1
- (6) ACER G. VAR. GLABRUM MOUNTAIN MAPLE 24" BOX
- OFF-SITE TREES IN THE PUBLIC RIGHT OF WAY
- (4) CERCIS OCCIDENTALIS WESTERN REDBUD 36" BOX

**(D) ROOT BARRIERS**

ALL TREES IN THE PUBLIC RIGHT OF WAY SHALL HAVE ROOT BARRIERS FOR SIDEWALK PROTECTION. MIN. OF 16" LONG OR EXTEND TO THE DRIP LINE OF THE MATURE TREE, WHICH EVER IS GREATEST. LENGTH SHOWN ON PLAN

ROOT BARRIER ALONG SIDEWALK - 18" DEEP  
 ROOT BARRIER ALONG STREET SIDE - 24" DEEP

--- PRODUCT: DEEPROOT OR APPROVED EQUAL  
 MODEL NO: UB-18-2 - SIDEWALK SIDE  
 UB-24-2 - STREET SIDE

REFER TO DTL ON SHT. L4 FOR INSTALLATION INFORMATION

**PLANTING PLAN**

REFER TO SHT. L0 FOR PLANT LEGEND, GENERAL NOTES & DETAILS

SCALE: 1/8" = 1'-0"



Submittals:  
 RESPONSE TO CITY  
 COMMENT LETTER



Environmental  
**Edges**  
 Susan M. Lundy  
 Landscape Architect  
 Phone: 408.644.6936  
 Email: EnvironmentalEdges@yahco.com

Project Information for:  
**Cheaney Street Townhouses**  
**4349 Cheaney Street**  
**Santa Clara, CA**

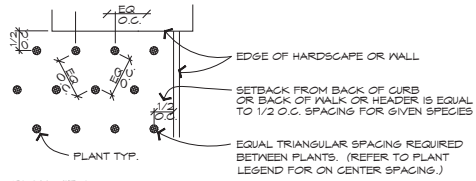
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Date: 15 APR 24

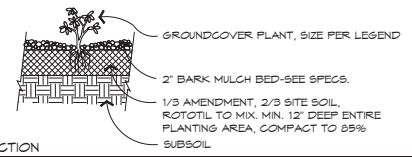
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## A PLANT LEGEND

SYM.	QTY.	ABR.	BOTANICAL	COMMON NAME	SIZE
	4	CO	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX
	3	AG	ACER G. VAR. GLABRUM	MOUNTAIN MAPLE	24" BOX
	15	PI	FRUNUS ILICIFOLIA	HOLLEY LEAF CHERRY	15 GAL
	2	GM	GEANOTHUS MARITIMUS	MARITIME GEANOTHUS	1 GAL
	4	GT	GEANOTHUS THYRSIFLORUS	CREEPING BLUEBLOSSOM	1 GAL
	11	DA	DIPLACUS AURANTIACUS	BUSH MONKEY FLOWER	1 GAL
	6	ES	ERIOPHYLLUM STAECHADIFOLIUM	SEASIDE WOOLLY SUNFLOWER	1 GAL
	33	KC	KECKIELLA CORYMBOSA	KECKIELLA	1 GAL
	24	HM	HEUCHERA MAXIMA	ALUM ROOT	1 GAL
	8	LF	LEPECHINIA FRAGRANS	FRAGRANT PITCHER SAGE	5 GAL
	21	LA	LUPINUS ALBIFRONS	SILVER LUPINE	5 GAL
	3	RV	RIBES VIBURNIFOLIUM	CATALINA CURRANT	1 GAL
	7	SG	SALVIA GREEN CARPET	GREEN CARPET SAGE	1 GAL
	11	SS	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL
	8	SA	SALVIA APIANA	WHITE SAGE	5 GAL
	3	VC	VENEGASIA CARPESIOIDES	CANYON SUNFLOWER	5 GAL

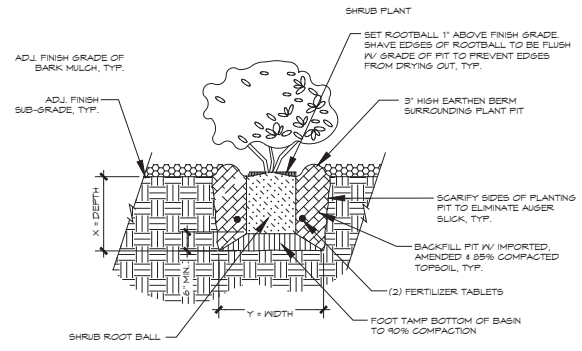


2 PLAN VIEW



1 SECTION

## B GROUND COVER PLANTING DETAIL



C SHRUB PLANTING DETAIL

### STORM WATER C.3 PLANT LIST

SYM.	ABR.	BOTANICAL NAME	COMMON NAME	SPACING
	CB	CAREX BARBARAE	VALLEY SEDGE	2' O.C.
	BG	BOUTELOUA G. BLONDE AMBITION	BLONDE AMBITION GRAMA	16" O.C.
	JP	JUNGUS PATENS	COMMON RUSH	16" O.C.
	MR	MUHLENBERGIA RIGENS	DEERGRASS	3' O.C.
	SB	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	6" O.C.

### PLANT LEGEND NOTES:

1. THE PLANT QUANTITIES SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER THE QUANTITY LISTED IN THE PLANT LEGEND.
2. PLANT SYMBOLS IN LEGEND ARE NOT TO SCALE AND MAY APPEAR SMALL THEN SHOWN N ON PLAN.
3. REFER TO DTL. LS-2, SHT. L4 FOR TREE PLANTINGS, DTL. C, THIS SHT. FOR SHRUBS PLANTINGS & DTL. B, THIS SHT. FOR GROUND COVER PLANTINGS

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Environmental Edges  
Jason M. Lundy  
Landscape Architect  
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Project Information for:  
**Cheaney Street Townhouses**  
**4349 Cheaney Street**  
**Santa Clara, CA**

Sheet Title:  
**Plant Legend & Planting Details**

Date: 15 APR 24

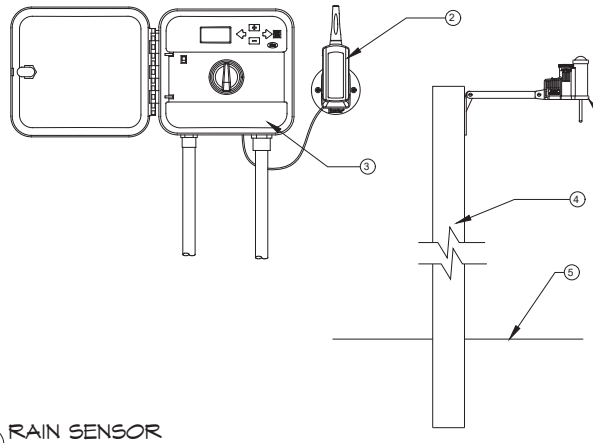
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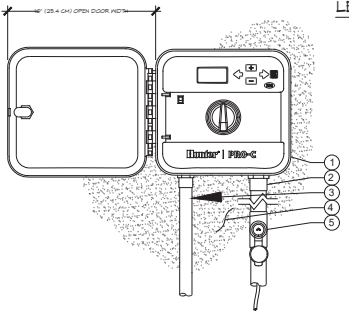


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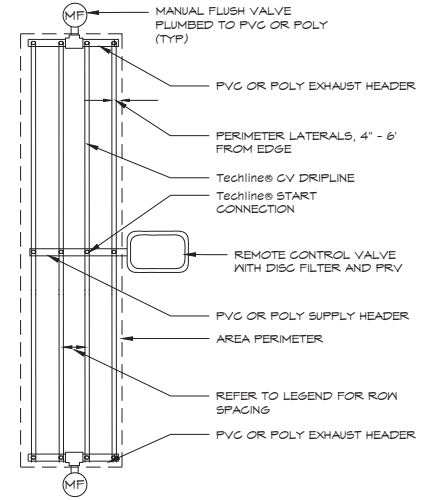
**E** RAIN SENSOR

- LEGEND:**
- ① SOLAR SYNC WIRELESS SENSOR
  - ② SOLAR SYNC WIRELESS RECEIVER
  - ③ SOLAR SYNC COMPATIBLE CONTROLLER
  - ④ POST OR SUITABLE MOUNTING SURFACE
  - ⑤ FINISHED GRADE



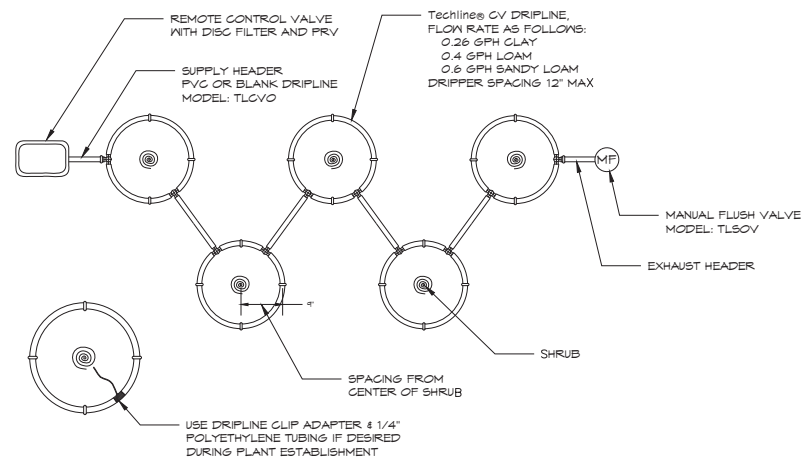
**C** IRRIGATION CONTROLLER

- LEGEND:**
- ① IRRIGATION CONTROLLER (PRO-C) PER PLAN
  - ② IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
  - ③ ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
  - ④ ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
  - ④ SMART PORT
- NOTE:  
MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 VAC POWER SOURCE

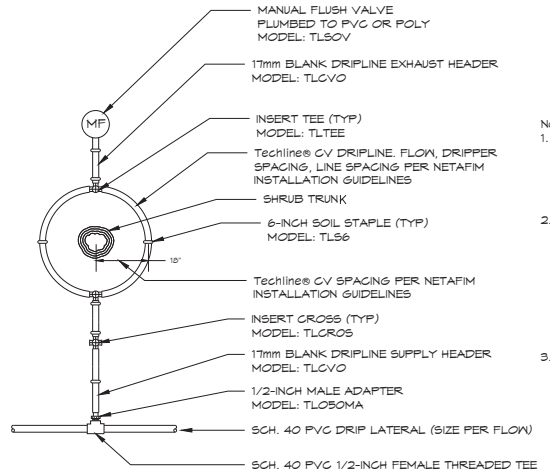


**A** DRIP LINES

- NOTES:**
1. RECOMMENDED MINIMUM FILTRATION: 120 MESH
  2. PRESSURE AT FLUSH VALVE SHALL BE MIN 14.5 PSI
  3. 2 PSI CHECK VALVE (MAX 4.6' OF WATER (ELEVATION CHANGE))
  4. REFER TO MAXIMUM LENGTH OF A SINGLE LATERAL CHART



**A** DRIP RING - MULTIPLE SHRUBS



**B** DRIP RING

- NOTES TO DESIGNER:**
1. INSTALL FIRST Techline® CV LOOP 18-INCHES FROM CENTER OF TREE TRUNK. INSTALL EACH ADDITIONAL LOOP PER NETAFIM INSTALLATION GUIDELINES.
  2. INSTALL Techline® CV DRIPLINE ON SURFACE TO MAXIMUM OF 6-INCHES BELOW GRADE, STAPLE IN PLACE PER MANUFACTURER'S RECOMMENDATIONS. BACKFILL AND SPREAD SURFACE TREATMENT AS DIRECTED BY OTHERS.
  3. INSTALL Techline® CV IN ACCORDANCE WITH NETAFIM INSTALLATION GUIDELINES.

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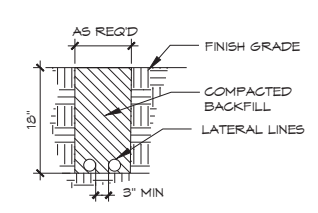
Edges Environmental  
Edges  
Landscape Architect  
Phone: 408.644.6936  
Email: EnvironmentalEdges@edges.com

Project Information for:  
**Cheaney Street Townhouses**  
**4349 Cheaney Street**  
**Santa Clara, CA**

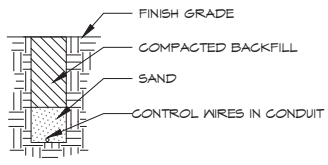
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**irrigation Details**

Date: 15 APR 24

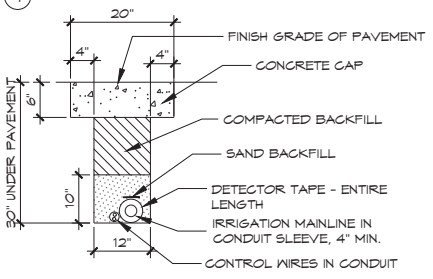
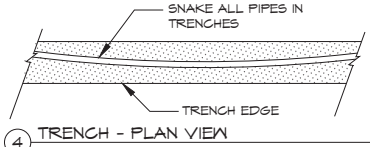
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② LATERALS ONLY



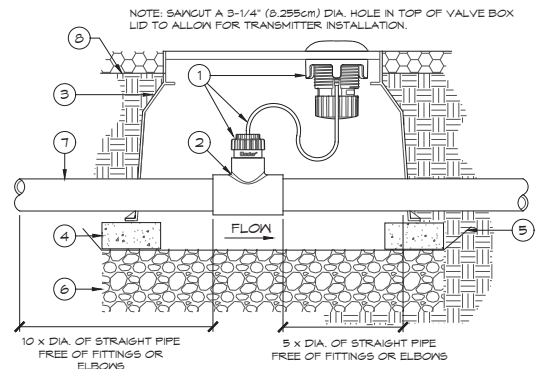
① CONDUCTORS ONLY



③ MAIN & CONDUCTORS

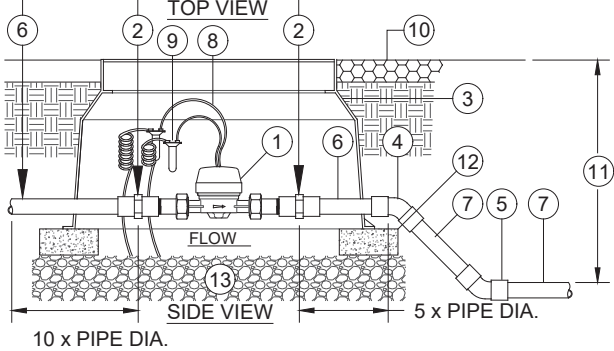
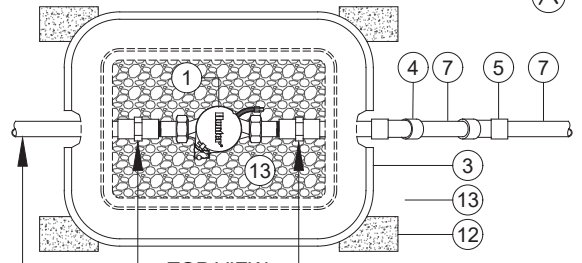
NOTE:  
1. ALL TRENCH BACKFILL TO BE FREE OF ROCKS OVER 1"

① C TRENCH DETAIL



- DETAIL LEGEND:**
- ① WIRELESS FLOW SENSOR, CABLE, AND TRANSMITTER (MFS)
  - ② RECEPTACLE TEE (FCT)
  - ③ RECTANGULAR VALVE BOX
  - ④ BRICK SUPPORTS AT EACH CORNER (4)
  - ⑤ FILTER FABRIC
  - ⑥ 6" MIN. GRAVEL BASE
  - ⑦ MAIN LINE AND SOIL COVER PER PLAN
  - ⑧ FINISHED GRADE OF SOIL, 2" BELOW TOP OF LID FOR BARK LAYER

① A FLOW SENSOR



① B MASTER VALVE

**FLOW METER SPECIFICATIONS**

INLET/ OUTLET CONNECTION SIZE	3/4" NPT BODY, MALE THREAD WITH 1" NPT MALE ADAPTER
INTERNAL DIA.	3/4"
MIN. FLOW	0.22 GPM
MAX. RECOMMENDED FLOW	15 GPM
MAX. FLOW RATE	21 GPM
DIAL READING	1 PULSE PER 0.1 US GALLON
WORKING PRESSURE	1-230 PSI

NOTE: INLET PIPE ENTERING METER; LENGTH MUST BE A MIN. OF 10 X PIPE DIA.  
OUTLET PIPE LEAVING METER; LENGTH MUST BE MIN. OF 5 X PIPE DIA.  
INLET AND OUTLET PIPE MUST BE STRAIGHT PIPE WITH NO FITTINGS OR TURNS UNTIL AFTER THESE SPECIFIED LENGTHS. PIPE AND FITTINGS MAY BE SCH 80 PVC SOLVENT WELD, THREADED SCH 80 PVC OR BRASS, AS REQUIRED FOR PROJECT.

- DETAIL LEGEND:**
- ① HUNTER HC FLOW METER HC-075 WITH UNION CONNECTIONS
  - ② SCH 80 PVC FEMALE ADAPTER (S X T) SPECIFICATIONS
  - ③ RECTANGULAR VALVE BOX PER SPECIFICATIONS
  - ④ SCH 80 PVC 45 DEGREE ELBOW (S X S) TO LOWER MAIN LINE TO PROPER DEPTH SIZE FOR LARGER MAIN LINE AS NEEDED
  - ⑤ SCH 80 PVC 45 DEGREE ELBOW (S X S) TO LOWER MAIN LINE TO PROPER DEPTH
  - ⑥ 1" DIA. (25 mm) MAIN LINE AT INLET & OUTLET
  - ⑦ MAIN LINE TO SYSTEM (SEE LEGEND AND PLANS FOR TYPE AND SIZE)
  - ⑧ TWO WIRES TO FLOW SENSOR TERMINALS AT CONTROLLER, MIN. 14 AWG-UF (2.08 mm<sup>2</sup>) WIRE WITH DIFFERENT COLOR FROM CONTROL/COMMON WIRE.
  - ⑨ WEATHERPROOF WIRE CONNECTOR
  - ⑩ FINISH GRADE
  - ⑪ SPECIFIED SOIL COVER (SEE LEGEND)
  - ⑫ COMMON BRICK
  - ⑬ GRAVEL BASE, 6" (15 cm) DEEP

Submittals:  
RESPONSE TO CITY COMMENT LETTER



Environmental Edges  
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Landscape Architect  
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Project Information for:  
**Cheaney Street Townhouses**  
4349 Cheaney Street  
Santa Clara, CA

Sheet Title:  
**Irrigation Details**

Date: 15 APR 24

Sheet:  
**L6**





JUNCUS PATENS  
COMMON RUSH



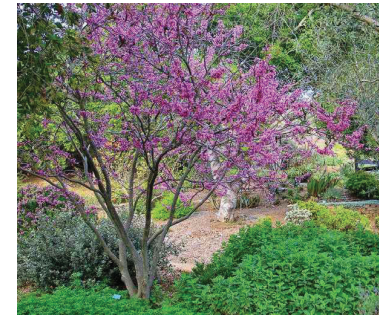
SALVIA SPATHACEA  
HUMMINGBIRD SAGE



HEUCHERA MAXIMA  
ALUM ROOT



CEANOTHUS MARITIMUS  
MARITIME CEANOTHUS



CERCIS OCCIDENTALIS  
WESTERN REDBUD



MUHLENBERGIA RIGENS  
DEERGRASS



SALVIA APIANA  
WHITE SAGE



LEPECHINIA FRAGRANS  
FRAGRANT PITCHER SAGE



CEANOTHUS THYRSIFLORUS  
CREEPING BLUEBLOSSOM



SISYRINCHIUM BELLUM  
BLUE-EYED GRASS



VENEGASIA CARPESIOIDES  
CANYON SUNFLOWER



LUPINUS ALBIFRONS  
SILVER LUPINE



DIPLACUS AURANTIACUS  
BUSH MONKEY FLOWER



ACER G. VAR. GLABRUM  
MOUNTAIN MAPLE



CAREX BARBARAE  
VALLEY SEDGE



RIBES VIBURNIFOLIUM  
CATALINA CURRANT



ERIOPHYLLUM STAECHADIFOLIUM  
SEASIDE WOOLLY SUNFLOWER



BOUTELOUA BLONDE AMBITION  
BLONDE AMBITION GRAMA



SALVIA 'GREEN CARPET'  
GREEN CARPET SAGE



KECKIELLA CORYMBOSA  
KECKIELLA



PRUNUS ILICIFOLIA  
HOLLY LEAF CHERRY

Submittals:

RESPONSE TO CITY  
COMMENT LETTER



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Email: EnvironmentalEdges@yahoo.com

Project Information for:

**Cheaney Street Townhouses**  
**4349 Cheaney Street**  
**Santa Clara, CA**

Sheet Title:

**Plant Material**

Date: 15 APR 24

Sheet:

**L7**