



Agenda Report

25-360

Agenda Date: 5/14/2025

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

PUBLIC HEARING: Consideration of an Addendum to the Initial Study/Mitigated Negative Declaration (IS/MND) (2021) and Action on the Architectural Review (PLN24-00568) for the Demolition of Two Existing Single-Family Residences and the Construction of 11 Townhouses Located at 1530 and 1540 Pomeroy.

File No.: PLN24-00568

Location: **1530 and 1540 Pomeroy Ave;** two parcels with a total lot area of 0.48 acres, located on the west side of Pomeroy Avenue between El Camino Real and Granada Ave; APN's: 290-02-096, 290-02-097; Property at 1530 Pomeroy is zoned Medium Density Residential (R3) and 1540 Pomeroy Avenue zoned Mixed Use Community Commercial (MU-CC)

Applicant: The Ridgecrest Group Inc./Omid Shakeri

Owner(s): Masud Maesumi Trustee & Et. All

Request: Consider the **Addendum** to the 1530/1540 Pomeroy Residential Project Initial Study/Mitigated Negative Declaration (IS/MND) and **Architectural Review** for demolition of two existing one-story single-family residences and construction of 11 three-story for-sale townhomes on two contiguous residential lots with a total lot area of 0.48 acres with 22 surface parking spaces at 1530 and 1540 Pomeroy Avenue.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The project site is surrounded by single-family residences to the south, commercial uses to the north, single family homes and commercial uses to the west, and by Pomeroy Avenue and multi-family dwellings to the east. See Vicinity Map in Attachment 1.
- The subject site comprises of two parcels, each developed with a one-story single-family residence. The parcel at 1530 Pomeroy is zoned Medium Density Residential (R3) and the General Plan land use designation is Medium Density Residential. The parcel at 1540 Pomeroy is zoned Mixed Use Community Commercial (MU-CC) and the General plan land use designation is Mixed Use Community Commercial.
- The applicant proposes to redevelop the two contiguous parcels as follows:
 - 1530 Pomeroy Ave (0.23 acres, Zoned: R3): Construct a three-story building with five attached townhomes in conformance to the density range of 20-36 units per acre for R3 zoning district.
 - 1540 Pomeroy Ave (0.25 acres; Zoned: MU-CC): Construct a three-story building with

six attached townhomes.

- The development on each parcel conforms to the corresponding zoning regulations for the parcel. A condo map to allow for the subdivision of the property will be submitted at a later time.
- Per the Santa Clara City Code Section 18.120.020(D)(3), the request requires Architectural Review approval through a Development Review Hearing.
- A previous proposal to construct six attached townhomes and two single-family residences on the subject site was approved at the Development Review Hearing on August 18, 2021. However, the Planning entitlement expired as it was not exercised within two years per Santa Clara City Code Section 18.128.060 and no time extensions were granted. The condo map approved by the Council on May 10, 2022, expired as well., Since that approval, the City rezoned the parcel at 1530 Pomeroy from R3-18D (Low-Density Multiple Dwelling) to R3 (Medium-Density Residential) and rezoned the parcel at 1540 Pomeroy from A (Agriculture) to MU-CC (Mixed Use Community Commercial) as a part of the City's comprehensive zoning update. The new zoning requires the project site to be developed at a higher density than what was previously proposed.
- The proposal conforms to the City's Community Design Guidelines in that it improves the aesthetics of the currently dilapidated site, enhances pedestrian connections, and is designed to be compatible with the existing surrounding development.
- The applicant has worked with staff to refine the elevations by simplifying the roof form, creating articulation, aligning the windows, and the entrance for the front units for both buildings to face Pomeroy Avenue.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- On March 13, 2024, the Applicant conducted a hybrid Community meeting. Six members of the public attended in-person, and four members of the public attended virtually. The topics discussed included architecture, allowable density, parking, applicable zoning regulations, and impact to the adjacent single-family residences.
- A neighborhood notice was distributed within a 1,000-foot radius of the subject site for this project review.

Building Design

- The project would construct a three-story building with five attached townhomes on the southern parcel (1530 Pomeroy) that borders single-family residences to the west and to the south. Each unit would be 1,970 square feet with three bedrooms and three and a half bathrooms and a one car garage.
- The parcel on the north (1540 Pomeroy) that borders commercial uses to the north and the west, would be occupied with a three-story building with six attached townhomes. Each townhome would be 2,370 square feet with three bedrooms and three and a half bathrooms and a two-car garage.
- Both residential structures adhere to the lot coverage and all other zoning regulations of the corresponding zoning district and exceed the setback requirements.
- The townhomes on 1530 Pomeroy Avenue are designed with modern architecture featuring a combination of board and batten siding, and lap siding to clearly define the units on the north and south facades. This is further emphasized by providing articulation on the facades. Fenestration would include a mix of divided-light vertical and square windows. The townhomes

would be a single building with hipped roof and a long central ridge, punctuated with smaller hipped forms.

- The architecture of the townhomes on 1540 Pomeroy Avenue remains largely the same as the previous proposal and is like the building on 1530 Pomeroy Avenue in featuring a combination of board and batten siding, and lap siding, and fenestration. The townhomes are also a single building with hipped roof and a long central ridge but punctuated with small gables on both the north and south facades. A color scheme will be used to create a clear distinction of the units from outside.
- The private garages would be accessed through a shared 20 foot wide driveway and a pedestrian path on each parcel leading to the entrance of the townhomes.

Open Space

The project provides an open private community space to the rear and south of the project site. The project would remove nine existing trees and other smaller trees and shrubs and would plant 16 24" box trees and two 36" box trees to meet city's requirement for a replacement ratio of 2:1. A landscape plan has been developed and the site would be developed with drought tolerant and water efficient landscaping. The property frontage would be planted with new street trees in accordance with the City requirements.

Parking

A 400 square foot two car attached garage is incorporated on the ground floor of each residential unit on 1540 Pomeroy Avenue and a 220 square foot one-car attached garage is incorporated on 1530 Pomeroy Avenue. Additionally, five unbundled surface parking are provided. This exceeds the city's requirement of 1.5 parking space for each three-bedroom unit.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The development provides a total of 22 on-site parking spaces, including five unbundled surface parking spaces. This exceeds the Zoning code requirement for 17 parking spaces per Section 18.38, Table 3-3, requiring 1.5 parking spaces for two-three-bedroom units.
 - The project provides adequate circulation for vehicular and pedestrian access.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed project would not generate an increase trips previously anticipated with the analysis undertaken as part of the land use study in the 2010-2035 General Plan, and further analyzed and determined to be less than significant in the previously prepared Mitigated Negative Declaration prepared for this project. The analysis of transportation and traffic impacts presented in the Initial Study remains valid for the modified project.
 - The project includes pedestrian improvements such as constructing a sidewalk along the

project frontage to improve pedestrian connections and safety in the area.

- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
- The development is a three-story medium density residential structures that are compatible with the existing residential uses in the area.
 - The five attached townhomes at 1530 Pomeroy adhere to the setback, lot coverage and all other zoning regulations of the Medium Density Multiple Dwelling (R3) Zoning District, except the day light plane, for which they are utilizing a waiver. The structure is setback more than 42 feet from the rear, where the setback required is 15 feet. There are no balconies proposed and window sill heights are five feet on the south elevation to minimize the impact on the single-family residences in the vicinity.
 - The six attached Townhomes at 1540 Pomeroy adhere to the lot coverage and all other zoning regulations, and exceed the front, side and rear setback requirements of the MU-CC Zoning District.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health safety and general welfare.
 - The use, scale, and design of the development, as conditioned, are consistent with the General Plan density contemplated for this area and is therefore compatible with the existing and future land uses in the surrounding area.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*
- The proposed design and form of the building is consistent with the City's General Plan policies and Community Design Guidelines.
 - The project provides for an attractive and functional site arrangement of the buildings and other improvements on a commercial site providing a high-quality architectural and landscape design.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered reflects the determination contained within the Addendum to the 1530/1540 Pomeroy Avenue Residential Project IS/MND, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15164. The addendum concluded that pursuant to CEQA Guidelines Section 15162 that no subsequent Negative Declaration is necessary.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 1,000-foot radius of the project site on May 1, 2025. As of the writing of this report, planning staff has not received public comments for this application.

On March 13, 2024, the Applicant conducted a hybrid Community meeting. Six members of the public attended in-person, and four members of the public attended virtually. The topics discussed included architecture, allowable density, parking, applicable zoning regulations, and impact to the adjacent single family homes.

RECOMMENDATION

Consider the Addendum to the 1530/1540 Pomeroy Avenue Residential project Initial Study/Mitigated Negative Declaration (IS/MND) and **Approve** the Architectural Review for the for demolition of two existing one-story single-family residences and the construction of 11 three-story townhomes with 22 surface parking spaces located at 1530/1540 Pomeroy, subject to the findings and conditions of approval.

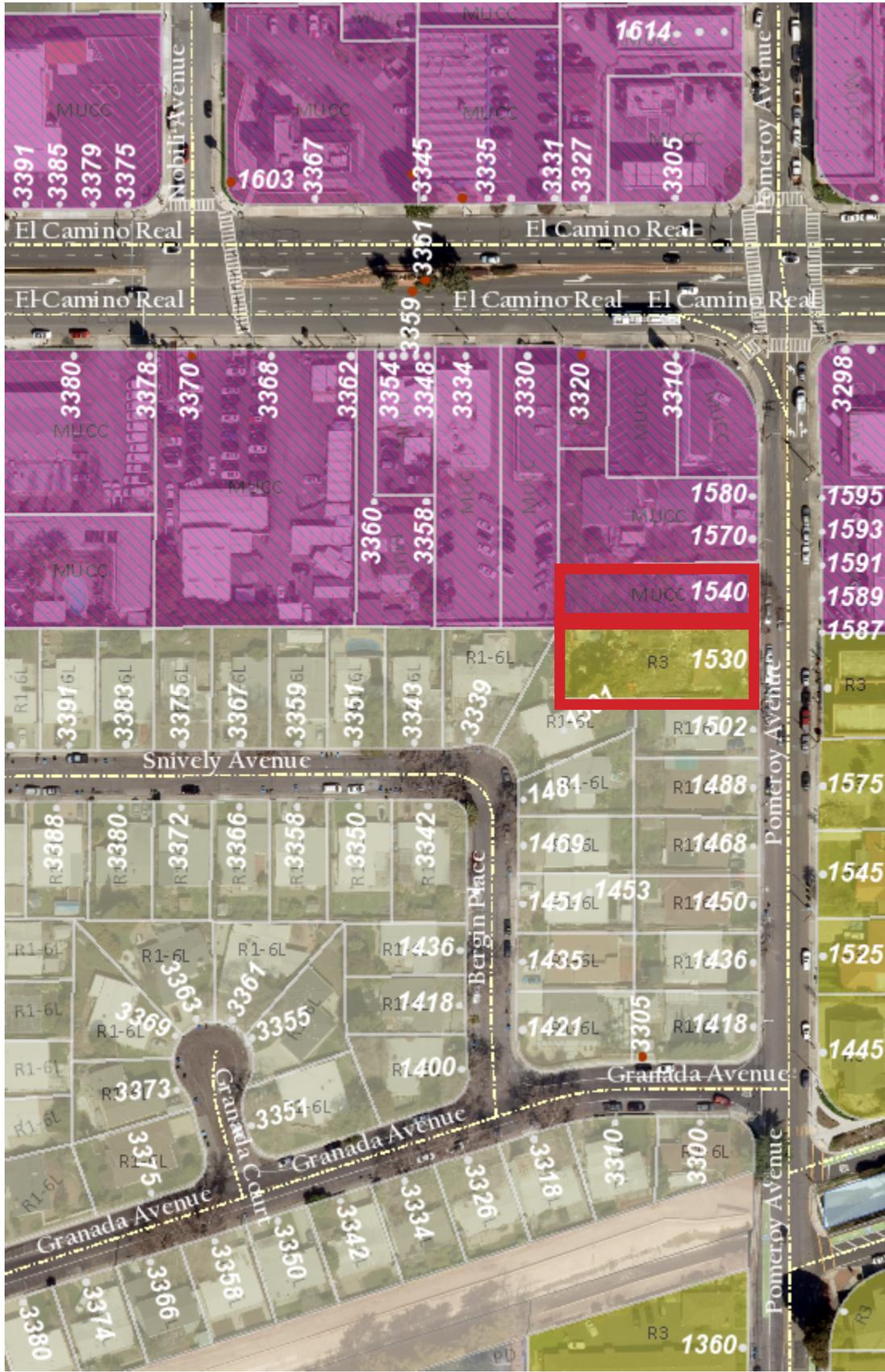
Prepared by: Nimisha Agrawal, Senior Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Web Links- Project Website and Addendum to 2021 IS-MND
4. Conditions of Approval
5. Development Plans

Vicinity Map (Zoning) - 1530-1540 Pomeroy Ave



Legend

Residential

- R1-6L - Single Family
- R1-8L - Single Family
- R2 - Low Density Residential
- R3 - Medium Density Residential
- R4 - High Density Residential
- R5 - Very High Density Residential
- TN - Transit Neighborhood
- UC - Urban Center
- UV - Urban Village
- VR - Village Residential
- PH-R5 - Patrick Henry - Very High Density Residential
- HDF - High Density Flex
- LSAP - Lawrence Station Area Plan

Mixed Use

- MUCC - Mixed Use Community Commercial
- MUNC - Mixed Use Neighborhood Commercial
- MURC - Mixed Use Regional Commercial
- SCS - Santa Clara Station Focus Area

Public / Open Space

- OS - Parks/Open Space
- PQP - Public / Quasi Public

Commercial

- CC - Community Commercial
- CN - Neighborhood Commercial
- CR - Commercial Regional

Industrial

- HI - Industrial Heavy
- LI - Industrial Light

Office - R&D

- HO-RD - Office/R&D-High Intensity
- LO-RD - Low-Intensity Office/R&D

Form Based

- DNTW - Downtown

Planned Development

- PD - Planned Development
- PD-MC - Planned Development Master Community



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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Attachment 2: Project Data/Compliance

Project Address: 1530/1540 Pomeroy Avenue

Project Number: PLN2025-00568

Zoning: 1530 Pomeroy: R3, 1540 Pomeroy: MU-CC

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	0.48 acres	No Change		
1530 Pomeroy Ave	10,080 sq. ft (0.23 acres)	No Change	8,500 sq. ft.	Y
1540 Pomeroy Ave	10,920 sq. ft. (0.25 acres)	No Change	-	-
Lot Area per Dwelling Unit (SF):	1,100	1,909		
Building Square Footage (SF)				
1530 Pomeroy Ave	840	8,750	--	--
1540 Pomeroy Ave	870	11,700	--	--
Accessory Building Area 1530 Pomeroy	Attached One car garage	1,100	-	
Accessory Building Area 1540 Pomeroy	Attached One car garage	2,400		
Total:	2,200	23,950	--	--
Building Coverage (%)				
Building Coverage	11%	38.5%		
1530 Pomeroy Setbacks (FT)				
Front:	20	15	10	Y
Side (left):	5	6	5	Y
(right):	5	10	5	
Rear:	20	37	15	Y
1540 Pomeroy Setbacks (FT)				
Front:	20	13	5-10	Y
Side (left):	5	10'	None	Y
(right):	5	8'-13'-9"		
Rear:	20	20	10	Y
Height (FT)				
1530 Pomeroy	One-story	36', 32' within 20' of R1 property to south and west	40', 32' within 20' of R1 zoned property	Y
1540 Pomeroy	One-story	37'	40', 32' within 20' of R1 zoned property	y
Parking:				

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Is the site Gov. Code 65863.2 (AB 2097) eligible?				
Off-Street:	4	22	17	Yes
Guest:	-	5	-	
Class 1 Bicycle:	-	2		
Class 2 Bicycle:	-	11		
Landscaping				
Open Landscaped Area:				
Private recreation space:	-	9 units have a private patio	60 sq. ft. for 50% of the units (1530 Pomeroy)	Y
Common recreation space (per unit):	-	1,100	200 sq. ft. (1530 Pomeroy)	Y

Web Links- Project Website and Addendum to 2021 IS/MND

Project Website:

Here you will find a summary of the project and information regarding past community meetings and prior plan submittals.

[1530-1540 Pomeroy Avenue - Residential Project | Projects Listing | City of Santa Clara](#)

Environmental Website:

Here you will find documents related to the 2021 environmental assessment of the project and any information regarding meetings related to the environmental assessment of the project.

[1530-1540 Pomeroy Avenue - Residential Project \(CEQA\) | CEQA Pending Approvals Directory | City of Santa Clara](#)

Link to the Addendum to the 2021 IS/MND prepared for the current proposal.

<https://www.santaclaraca.gov/home/showpublisheddocument/86853/638809166002874116>

These documents are available for viewing in the Community Development Department



Conditions of Architectural Review Approval PLN25-00568/1530/1540 Pomeroy Avenue

Project Description: Consideration of an Addendum to the Initial Study/Mitigated Negative Declaration (IS/MND) (2021) and Action on the Architectural Review (File # PLN24-00568) for the Demolition of Two Existing Single Family Homes and the Construction of 11 For-Sale Townhouses Located at 1530 and 1540 Pomeroy.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extension thereof. The date of granting this Permit is the date this Permit is approved by the Decision-making body and the appeal period has been exhausted. The expiration date is May 14, 2027.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. **Code Compliance.** The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.
- a. During construction retaining a single company to install all fire related penetrations is highly recommended.
 - b. The grade level lobbies shall be minimum 1-hour rated all sides and above.
 - c. All stair shafts shall be minimum 1-hour rated.
 - d. All elevator shafts shall be minimum 1-hour rated.
 - e. All trash chute shafts shall be minimum 1-hour rated.
 - f. Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.

- g. Any trash rooms shall be minimum 1-hour rated all sides and above.
- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
 - a. Chapter 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.

COMMUNITY DEVELOPMENT – PLANNING DIVISION

DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Tree Replacement (on-site).** Trees permitted by the City for removal shall be replaced on-site at a ratio of 2:1. (SCC 12.35.090)
- P3. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the Director of Community Development or designee for approval prior to issuance of demolition and building permits.

DURING CONSTRUCTION -- PRIOR TO OCCUPANCY

- P4. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P5. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P6. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

OPERATIONAL CONDITIONS

- P7. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P8. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P9. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape of 2,500 square feet or more shall conform to the California Department of Water Efficient Landscape Ordinance.

MITIGATION MEASURES

P10. **Mitigation Monitoring and Reporting Program.** The Mitigation Monitoring and Reporting Program (MMRP), prepared for this project in compliance with the California Environmental Quality Act (CEQA), shall be incorporated by reference as conditions of approval. The applicant shall comply with all specified mitigation measures in the timelines outlined in the project's MMRP.

COMMUNITY DEVELOPMENT - BUILDING DIVISION

DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE

- BD1. **Addressing.** Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- a. Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. **Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. **Water Pollution Control.** The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:
- <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD4. **Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

BD5. **Temporary Certificates of Occupancy.** Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling

reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

COMMUNITY DEVELOPMENT - HOUSING DIVISION
DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

H1. In accordance with the Santa Clara City Code Chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 11 units for-sale residential development. The Applicant must provide at least fifteen percent (15%) of the units (or 1.65 units) as affordable housing available at affordable sales prices to extremely low, very low, low and/or moderate-income households, ensuring the distribution of affordable units averages to a maximum of one-hundred percent (100%) of Area Median Income. All prices shall be set in accordance with the City's Below Market Purchase (BMP) Program Policies and Procedures Manual (subject to updates and changes). The Applicant is responsible for all costs associated with complying with the California Building Standards (California Code of Regulations, Title 24) for the each affordable for- sale residential unit. Affordable units must be reasonably dispersed throughout the project, have an average number of bedrooms comparable the market-rate units, and match the market-rate units in appearance, material, and finished quality. Affordable units must have equal access to project amenities and recreational facilities as market-rate units. Additionally, the Developer will cover the cost of the BMP Program to process each BMP homebuyer, at a rate of 2.5% of the Affordable Sales Price per unit.

Additionally, the calculation of affordable housing requirements results in a fractional unit, the Applicant must either pay an in-lieu fee or provide an additional unit to satisfy the requirement. Any in-lieu fee payment due to the City by the Applicant shall be payable prior to the issuance of the certificate of occupancy.

H2. Affordable Housing Agreement. Prior to issuance of Building Permits, the Developer must enter into an Affordable Housing Agreement (AHA) with the City. This agreement will determine the Affordable Sales Price, identify the specific unit to be sold as the Affordable Unit, and outline all terms and covenants ensuring the prescribed affordability levels are met. The affordable housing obligation will be documented in the AHA. A fee of \$4,205 for AHA preparation is due prior to execution of the agreement. Please note all fees are based on the current Municipal Fee Schedule effective at the time the Project is approved.

FIRE DEPARTMENT

DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE

F1. Hazmat Clearance. Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit is issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.

F1. Hazmat Clearance. Prior to any Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one

of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup: Department of Toxic Substances Control (DTSC); State Water Resources Control Board; or Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight managers contact name, phone number.

For smaller projects that are not moving soil at all, a Phase I environmental assessment may be adequate. Please contact Assistant Fire Marshal Fred Chun at fchun@santaclaraca.gov for more information.

- F2. **Fire Flow Requirement.** Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- F3. **Fire Hydrants.** Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F4. **Fire Department Access.** Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F5. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:
- Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the “entire” face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may have been discussed during the planning stage. Those mitigations are not guaranteed until a formal alternate means permit is submitted concurrently with the Building Plans. Conversely, an acceptable mitigation method may not have been discussed and will be evaluated under an alternate means permit at the building permit stage.
 - For underpasses, garages, gates, or anything similar that a Fire apparatus is required to drive under as part of the emergency vehicle access, 16 feet vertical clearance will be required. For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.

or

- For all other areas, the “minimum” unobstructed vertical clearance shall not be less than 13 feet 6 inches.
- The “minimum” width of aerial roadways for aerial apparatus is 26 feet.
- The minimum inside turning radius shall be 30 feet.
- The “minimum” width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building. This requirement is only applicable when Appendix D of the Fire Code is enforceable.
- Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
- Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
- Trees at full development must not exceed 30 feet in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-retention, and architectural features are reviewed case-by-case to ensure they do not obstruct aerial and ground ladder access.
- Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed along fire department apparatus access roads.

Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to “be recorded” with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE’s) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- F6. **Emergency Responder Radio Coverage System.** Prior to Building Permit Issuance, provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F7. **Fire Department Access.** Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- F8. **Fire Department Access.** Prior to issuance of the Building Permit, a gate permit is required to be obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A Tomar Strobe Switch or 3M Opticom detector shall be installed to control the automatic gate(s) to allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8’ - 10’) above grade.
- F9. **Alternative Means and Methods.** Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during

the planning process. None of these discussions are binding and can only be formally approved through submitting an AMMR permit. The AMMR permit is formally documenting that and still needs to be submitted.

F10. **Hazmat Information.** Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement including refrigerants is required to be submitted and reviewed with the Building Permit if applicable.

F11. **Fire Safety During Construction.** Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

F12. **Shared Fire Protection Features that Cross Property Lines.** Prior to Building Permit Final, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.

F13. **Fire Protection Systems Before Occupancy.** Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved.

PARKS & RECREATION DEPARTMENT

DESIGN / PERFORMANCE– PRIOR TO BUILDING PERMIT ISSUANCE

PR1. **Park Impact Fees.** This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 17 net new residents (1.92 persons/household x 9 net new units). Based on the Quimby Act standard of 3.0 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 0.0518 acres. The equivalent fee due in lieu of parkland dedication is \$372,375 (\$41,375 x 9 net new units).

PR2. The City will accept a fee (\$372,375) for this 11-unit (9 net new units) development.

PR3. **Building Permit - Payment of In-Lieu Fees.** In-lieu fees imposed under City Code shall be due and payable to the City prior to issuance of a building permit for each dwelling unit. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City. Calculations may change if the number of units change, if any areas do not conform to City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.

PR4. **Building Permit - Dwelling Unit Tax.** A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 11 three-bedroom units [\$15 x 11 bedrooms) + (\$5 x 22 additional bedrooms)] for a total DUT of \$275.

PUBLIC WORKS DEPARTMENT - ENGINEERING

DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE

E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.

E2. **Subdivision Map.** After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to

the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.

DURING CONSTRUCTION

- E3. **Encroachment Permit.** All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E4. **Encroachment Permit.** Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E5. **Encroachment Permit.** Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E6. **Encroachment Permit.** All work within State right-of-way shall require a Caltrans encroachment permit.
- E7. **Encroachment Permit.** Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E8. **Encroachment Permit.** Owner or designee shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E9. **Encroachment Permit.** Construct the storm drain main along Pomeroy Avenue (from El Camino Real) to serve the proposed development with stub beyond proposed manhole for future construction extending to the southern property line. The main size shall be sufficient to convey the 10-year event for the entire tributary area as approved by the City. Storm drain main shall be 18" per approved tributary area analysis.
- E10. **Encroachment Permit.** Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
- E11. **Encroachment Permit.** Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E12. **Encroachment Permit.** Existing streetlights shall be clear of proposed sidewalk, developer shall relocate as necessary.
- E13. **Encroachment Permit.** Pomeroy Avenue along the project frontage is planned to be paved for the 2025 pavement maintenance project. All work shall be completed prior to April 1, 2025. No pavement cuts shall be permitted per the City pavement moratorium (Ordinance No. 1998). Refer to

<https://www.santaclaraca.gov/our-city/departments-g-z/public-works/maintenance-operations/street-maintenance/pavement-preservation-ordinance> for more information.

- E14. **Easement.** Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E15. **Easement.** Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E16. **Agreement.** If requested, owner or designee shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.

PUBLIC WORKS DEPARTMENT - STORMWATER

DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE

- ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3rd Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST7. **Small Projects.** For single-family homes and other small projects that create and/or replace 2,500 – 10,000 square feet of impervious surface area, the applicant shall implement at least one of the following site design measures:
 - a. Direction of roof runoff into cisterns or rain barrels
 - b. Direction of roof, sidewalk, walkway, patio, driveway, or parking lot runoff onto vegetated areas
 - c. Construction of sidewalks, walkways, patios, bike lanes, driveways, and parking lots with permeable surfacesPlans shall specify which site design measures are selected for the project and show the direction of flow from impervious surfaces to the selected site design measures. All measures shall meet the design criteria in the 2016 C.3. Stormwater Handbook, Appendix K: Standard Specifications for Lot-Scale Measures for Small Projects.
- ST8. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.

- ST9. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST10. **Architectural Copper.** The use of architectural copper is prohibited.

DURING CONSTRUCTION OR OPERATION

- ST11. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST12. **Stormwater Control Measure Inspection.** all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party concurrence letter on the C.3 facilities installation shall be submitted to the Public Works Department. The City reserves the right to review the 3rd party inspection reports on the C.3 stormwater facilities installation. The 3rd party review letter shall include the associated C.3 Data Form and the approved stormwater management plan that the consultant reviewed to make their determination.
- ST13. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3rd party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST14. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVRUPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST15. **Amendments to Operation & Maintenance Agreement.** Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST16. **Amendments to Design.** Any stormwater treatment design changes must be reviewed and approved by the Public Works Department. Changes must be accompanied by a revised C.3 Data Form, 3rd party review letter and updated plan set.
- ST17. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST18. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

PRIOR TO FINAL OF BUILDING PERMIT

- ST19. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.
- ST20. **3rd Party Concurrence Letter.** 3rd Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a 3rd party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the 3rd party inspection report on the C.3 stormwater facility installation.
- ST21. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.
- ST22. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or Street@SantaClaraCA.gov for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's

stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

PUBLIC WORKS DEPARTMENT - TRANSPORTATION

DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE

TR1. Site Clearance. A local transportation analysis or VMT analysis is not required for this project as it meets City criteria for exemption of analysis.

DURING CONSTRUCTION

TR2. Encroachment Permit. Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction.

TR3. Encroachment Permit. Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.

TR4. Encroachment Permit. Design and construct minimum 5-foot wide sidewalk.

TR5. Encroachment Permit. Landscape improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.

TR6. Encroachment Permit. Design and construct driveway in accordance with City Standard Detail ST-8.

TR7. Encroachment Permit. Project shall comply with the El Camino Real Specific Plan upon adoption of the Plan.

TR8. Building Permit. Bicycle parking requirements shall be per the City of Santa Clara Zoning Code Update. Class II bicycle parking, as defined in SCMC 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.

TR9. Building Permit. Trash pick-up must occur on-site.

TR10. Building Permit. Loading/unloading zones shall be located on-site.

TR11. Building Permit. On-street parking shall not be counted towards on-site parking requirements.

STREETS DIVISION

Right of Way Landscape

DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

L1. Tree Preservations Specifications. Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.

L2. Mature Trees. Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.

L3. Tree Replacement. 2:1 tree replacement ratio required for all trees removed from the right-of-way.

DURING CONSTRUCTION OR OPERATION

L4. No Public Root Cutting. No cutting of any part of **public**, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

PRIOR TO FINAL OF BUILDING PERMIT

L5. In Lieu Fee. If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final.

Solid Waste

DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

SW1. Post-Construction Solid Waste Generation Estimation and Collection Form. The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form,

which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at Environment@SantaClaraCA.gov or (408) 615-3080 for more information. Form to include notation that HOA or equivalent will be responsible for staging solid waste containers in the street for collection.

- SW2. **Site Plan.** The applicant shall provide a site plan showing all proposed locations of solid waste containers, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines. Solid metal roof, gates and an interior drain shall be installed within the trash enclosure and connected to the on-site sewer system.
- SW3. **Construction Waste Diversion.** For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.
- SW4. **Authorized Service Haulers.** This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW5. **Exclusive Franchise Hauling Area.** This property falls within the City's exclusive franchise hauling area. The applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

DURING CONSTRUCTION OR OPERATION

- SW6. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

PRIOR TO FINAL OF BUILDING PERMIT

- SW7. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

SILICON VALLEY POWER

GENERAL

- SVP1. **Applicant Design Process:** available to Applicants to expedite distribution electric substructure design.
- SVP2. **SVP Rules and Regulations:** Applicant shall comply with all applicable SVP rules, regulations, standards, guidelines, and requirements, as may be amended from time to time.
- SVP3. **SVP Equipment Clearances:**
 - a. **Access Doors:** Ten (10) foot minimum clearance in front of equipment access doors.
 - b. **Pad Sides:** Five (5) foot minimum clearance from pad on sides without access doors.
 - c. **Truck Access:** Eighteen (18) foot minimum width on one side of the equipment pad for truck access.
 - d. **Barrier pipes:** (on sides accessible to vehicles)
 - i. Thirty (30) inches from equipment sides.

- ii. Forty-Eight (48) inches in front of access doors. (use removable bollards)

SVP4. **SVP Conduit Clearances:**

- a. **Longitudinal:** Five (5) foot minimum between new conduits/piping and existing/proposed SVP conduits.
- b. **Vertical:** Twelve (12) inch minimum between new conduit/pipes perpendicular to existing SVP conduits.
- c. **Poles/Posts:** Three (3) foot six (6) inches clearance required from poles (electrolier, guy stub, service clearance, self-supporting steel, and light poles), except for riser conduits. This is reduced to a three (3) foot minimum for posts (signposts, barrier pipes, bollards, fence posts, and other similar posts).
- d. **Structures:** Five (5) foot minimum is required from walls, footings, retaining walls, landscape planter, or similar permanent structures.
- e. **Subsurface Facilities:** Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities.
- f. **Fire Hydrant:** Five (5) foot minimum from fire hydrant thrust block. (Extends 5 feet on either side of the hydrant in line with the radial water pipe connected to the hydrant).

SVP5. **SVP Vault/Manhole Clearances:**

- a. Ten (10) foot minimum between adjacent Vaults or Manholes.
- b. Three (3) foot minimum from face of curb. (bollards required for vaults).

SVP6. **SVP Guy Anchor Clearances:** Five (5) foot minimum clearance is required between the center of anchor line and any excavation area.

SVP7. **Tree Clearances:**

- a. **Conduits:** Five (5) foot minimum to tree root barrier or other subsurface wall or structure.
- b. **Equipment:** Five (5) foot minimum to tree root barrier. The tree canopy drip line cannot be over the SVP equipment.
- c. **Subsurface Facilities:** Five (5) foot minimum to any electric department facilities. Any existing trees in conflict will have to be removed.
- d. **Easements:** No trees shall be planted in SVP's U.G.E.E or P.U.E's.
- e. **Transformer & Switch Placement:** these devices and pads may only be located outdoors. Clearances to buildings are defined in UG1225. All projects are to assume mineral oil fluid, unless otherwise approved by SVP.

SVP8. **SVP Standards.** Applicant shall comply with the following SVP standards (as may be amended or supplemented).

- a. UG1000 - Installation of Underground Substructures by Developers
- b. UG1250 – Encroachment Permit Clearances from Electric Facilities
- c. UG0339 – Remote Switch Pad
- d. OH1230 – Tree Clearances from Overhead Electric Lines
- e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- f. UG1225 – Pad mounted Equipment Clearances and Protection
- g. UG0250 – High Density Residential Metering Requirements
- h. FO-1901 – Fiber Optic Splicing and Testing Methods
- i. SVP Rules and Regulations – Latest Edition

SVP9. **SVP Standards, Miscellaneous:**

- a. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”) and cannot be supported on parking garage ceilings or placed on top of structures.

- b. No splice boxes are allowed between the SVP utility connection point and the applicants main switch board.
- c. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

SVP10. Meter Locations:

- a. For condominium or apartment, all electric meters and service disconnects shall be grouped at one location, outside of the building or in a accessible utility room. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- b. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.

SVP11. Underground Service Entrance

- a. (277/480V Service or Lower) Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes to the SVP defined utility connection point.
- b. (12KV Service) SVP terminates cable on the applicant owned switchgear.
- c. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

SVP12. Code Sections:

- a. The Applicant shall provide and install electric facilities per Santa Clara City Code chapter **17.15.210**.
- b. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter **17.15.050**.
- c. The applicant shall perform, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the Applicant will dedicate the improvement to the City subject to City’s acceptance the work. The applicant shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a applicant to the electrical supply system of and by the City. After completion of the facilities installed by the Applicant, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system per Santa Clara City Code chapter **17.15.210 (2)**.

SVP13. Existing Facilities:

- a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Applicants responsibility to maintain all clearances from equipment and easements. The Applicant may contact SVP outside of the PCC process for clear definitions of these clearance requirements. Applicant should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.

b. Any relocation of existing electric facilities shall be at Applicants expense.

SVP14. **Generators:** Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be “Open-Transition-Mode”, unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

DESIGN / PERFORMANCE – PRIOR TO ISSUANCE OF BUILDING PERMIT

SVP15. **Initial Information:** Applicant shall provide a site plan showing all existing utilities, structures, easements, and trees. The applicant shall also include a detailed panel schedule showing all current and proposed electric loads.

SVP16. **SVP Developers Work Drawing:** Applicant shall have a developers work drawing created for the site by either an SVP estimator or through the applicant design process. All SVP standards and clearance requirements as defined in the General Section of the COA’s must be met, or variance approvals must be granted by SVP. The developers’ work drawing shall include but is not limited to: SVP substructure for primary, low voltage, streetlight, and fiber facilities. SVP facilities may extend off-site to the nearest utility connection point to tie-in with existing infrastructure as deemed necessary by SVP.

SVP17. **Encroachment Permit:** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application with an **approved** SVP Developers Work Drawing for construction of electric utilities that comply with the latest edition of SVP Standards and Rules and Regulations, Electric Notes, and Electric Standard Details and Specifications.

SVP18. **Applicants Switchgear:** All applicant main switchgear with SVP meters must meet EUSERC standards and be approved by SVP’s meter shop prior to ordering. Switchgear for 12KV gear must have batteries sized for 4 hours of operation, no capacitive tripping, and 2 sets of relays, CTs, & PTs for each main. All double ended switchgear with a tie breaker, must include a kirk-key interlock scheme and an SVP provided warning label for the operation of the main tiebreaker.

SVP19. **AMI/Fiber Building Requirements:** All projects implementing high rise metering and multi-floor infrastructure requirements shall meet the requirements outlined in UG 0250 & FO1901.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

SVP20. **Easements:** Prior to the City’s issuance of Building or Grading Permits, the applicant shall provide a dedicated underground electric utility easement (U.G.E.E) around the electric onsite facilities (Not a P.U.E). The electric utility easement shall be a minimum of 10 feet wide around conduit and 5’ minimum around equipment and vault/manhole pads. Additionally, the applicant shall submit plans defining existing easements so Electric Division can verify if there are any conflicts with new proposed easements or improvements. The Applicant shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the Applicant and for the installation of utilities (Santa Clara City Code chapter 17.15.110).

SVP21. **Coordination Study:** For any services taken at 12KV, a coordination study will need to be conducted by the applicant prior to energizing the service.

SVP22. **Applicants Switchgear:** Applicants’ switchgear will be inspected on site by SVP to ensure compliance with approved switchgear drawings. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.

SVP23. **Electric Facilities:** Prior to the City’s issuance of Occupancy, the applicant shall construct all electric utilities per the approved SVP Developers Work Drawing. SVP will inspect all electric utility installations and all other improvements encroaching on electric facilities.

SVP24. **Municipal Fees:** Prior to electric service energization, all applicable fees per the City of Santa Clara’s Municipal Fee Schedule shall be paid by the applicant.

SVP25. **Costs & Expenses:** Unless expressly stated otherwise or covered by a fee to be paid by the applicant, applicant shall be responsible for all costs and expenses associated with fulfilling these conditions of approval.

OPERATIONAL CONDITIONS – AFTER OCCUPANCY

SVP26. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment which includes: manholes, transformers, vaults, switches, meters, indoor electrical rooms with SVP owned equipment etc.

WATER & SEWER DEPARTMENT

DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT

- W1. **Domestic Metering Plan.** The metering plan shown on this entitlement is schematic. The final metering configuration shall be determined during the plan check phase of the project.
- W2. **City Standard Meters and Backflows.** All meters and backflows for all water services (new and existing) shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. The applicant may be required to install backflow preventers on domestic water services pending a hazard assessment consistent with the Cross Connection Control Policy Handbook. The final requirements shall be determined during the plan check phase of the project.
- W3. **Potable Water Main.** The applicant shall replace the existing 8" AC water main on Pomeroy Avenue. The water main replacement shall begin and end at a valve connection and shall extend, at a minimum, the entire length needed to install services and any additional length required by the Development Impact Analysis.
- W4. **Fire Service.** Fire service requirements shall be subject to Building Permit review.
- W5. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W6. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W7. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W8. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation,

fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.

- W9. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W10. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W11. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W12. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W13. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W14. **Water Features.** Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W15. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W16. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

DURING CONSTRUCTION

- W17. **City Standard Meters and Backflow Installation.** No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.

- W18. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W19. **Water Shortage Response Actions.** Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services, new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at www.santaclaraca.gov/waterconservation.

PRIOR TO FINAL OF BUILDING PERMIT

- W20. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W21. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

KEY:

G = General
P = Planning Division
BD = Building Division
H = Housing & Community Services Division
F = Fire Department
PR = Parks & Recreation Department
PD = Police Department
E = Engineering Division
Streets Division (Landscape, Solid Waste, and Stormwater)
L = Landscape
SW = Solid Waste
SVP = Silicon Valley Power
W = Water & Sewer Department

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

PROPOSED RESIDENTIAL PROJECT AT: 1530 / 1540 POMEROY AVE. SANTA CLARA, CA



RIGDECREST GROUP , INC
OMID SHAKERI (408) 666-6556

PROJECT:

1530 / 1540 POMEROY AVE.
SANTA CLARA, CA
APN: 290-02-097 & 096

OCCUPANCY TYPE: R-3/U

CONSTRUCTION TYPE: V-B

LOT SIZE: 21,000 S.F.

PROJECT SCOPE:

6 THREE STORY UNITS WITH ATTACHED 2 CAR GARAGE EACH
EACH UNIT: 1,970 SQ FT. LIVING SPACE / 400 SQ .FT. GARAGE

5 THREE STORY UNITS WITH ATTACHED 2 CAR GARAGE EACH
EACH UNIT: 1,750 SQ FT. LIVING SPACE:

TOTAL GUEST PARKING PROVIDED: 5 STALLS

TOTAL COMMON RECREATION AREA PROVIDED: 1,100 S.F.

Zoning	General Plan	
1530 R3	ECR Specific	
1540 MixedUse	Med Density Plan	
Flood Zoned	X	
Floor Area	Existing	Proposed
Floor Area	4,212 S.F.	23,950 S.F.
Building Coverage	4,212 S.F.	8,050 S.F.
Building Coverage%	20%	38.5%
Height	18 ft.	36 ft
		32 ft Within 20 ft of R1
Use	Single Family	Town Homes
No. of Buildings	4	2
Parking	4	22

AUTOMATIC RESIDENTIAL FIRE SPRINKLERS
TO BE INSTALLED (UNDER SEPARATE PERMIT)

- A1.1 PROJECT DATA
- A1.2 SITE PLAN
- A1.3 SITE PLAN / FIRE EXHIBIT
- A1.4 STREET ELEVATIONS

1530 POMEROY AVE.

- A2.1 FLOOR PLANS UNIT 7
- A2.2 FLOOR PLANS UNITS 8 + 10
- A2.3 FLOOR PLANS UNIT 9
- A2.4 FLOOR PLANS UNIT 11
- A2.5 FIRST & SECOND FLOOR PLANS
- A2.5 THIRD FLOOR PLAN / ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 BUILDING SECTION

1540 POMEROY AVE.

- A2.1 FLOOR PLANS UNIT 1
- A2.2 FLOOR PLANS UNITS 2 + 4
- A2.3 FLOOR PLANS UNITS 3 + 5
- A2.4 FLOOR PLANS UNIT 6
- A2.5 FIRST & SECOND FLOOR PLANS
- A2.6 THIRD FLOOR PLAN / ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 BUILDING SECTION

- C1 CIVIL COVER SHEET
- C2 GRADING & DRAINAGE
- C3 DRIVEWAY PROFILE
- C4 ERROSION CONTROL
- C5 STORM WATER DRAIN PLAN
- C6 TOPOGRAHY
- C7 CONSTRUCTION BEST MANAGEMENT PRACTICE
- L1 LANDSCAPE PLAN
- L2 IRRIGATION PLAN
- L3 EXISTING TREES
- L4 LANDSCAPE NOTES
- L5 DETAILS
- L6 DETAILS

VICINITY MAP

PROJECT SUMMARY

SHEET INDEX

REVISIONS	BY



BASSA
Architecture
916.435.0609
408.674.9077



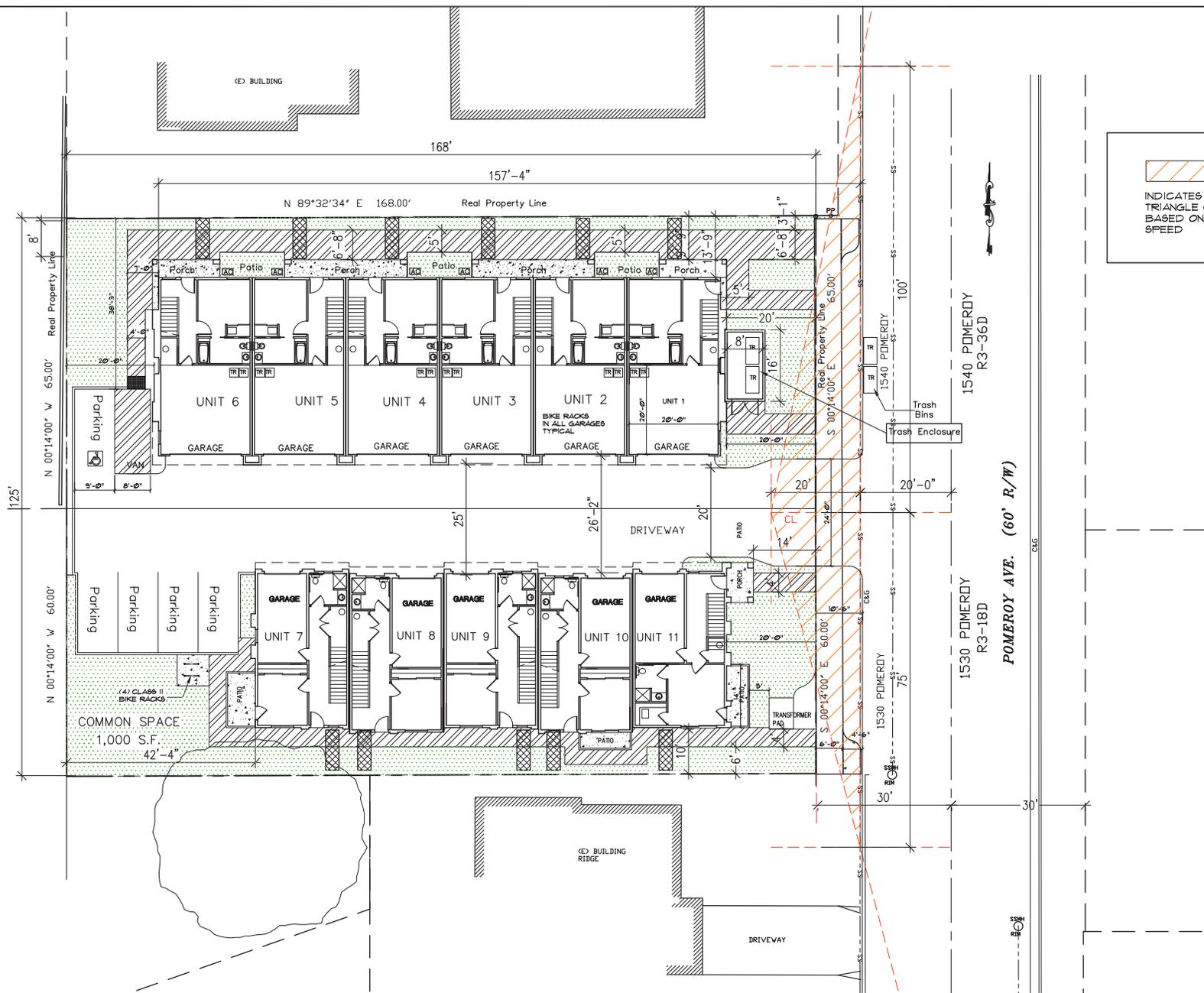
SITE PLAN

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE:	1-3-2024
SCALE:	-
DRAWN:	CB
JOB NO:	14-345

SHEET NO.
A1.1
OF SHEETS

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 INDICATES DRIVEWAY'S
 TRIANGLE OF SAFETY
 BASED ON 25 MPH
 SPEED

REVISIONS	BY

CB
BASSA
Architecture
 916.435.0605
 408.674.9077

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 1530 / 1540 POMEROY AVE.
 SANTA CLARA, CA

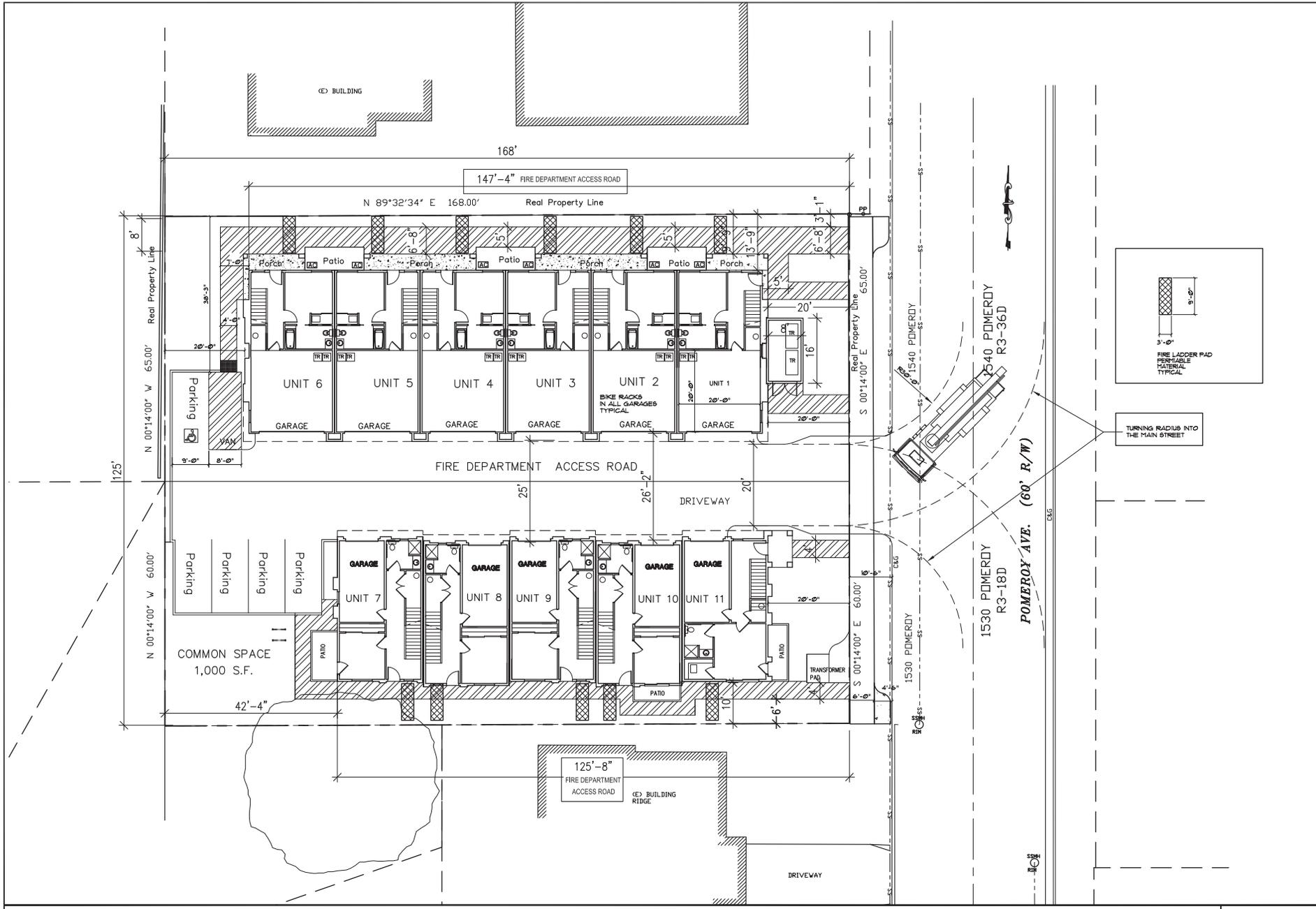
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 SANTA CLARA, CA

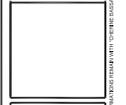
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 DRAWN: CB
 JOB NO:

SHEET NO.
A1.2

OF SHEETS



REVISIONS	BY



**SITE PLAN
FIRE PREVENTION EXHIBIT**

**RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA**

DATE: 3-24-2025
SCALE: 1" = 10'-0"
DRAWN: CB
JOB NO: 1

SHEET NO.
A13

SITE PLAN - FIRE DEPARTMENT ACCESS 1" = 10'-0"

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1530 POMEROY

1540 POMEROY

FRONT ELEVATION - EAST - POMEROY VIEW

REVISIONS	BY



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 408.674.9077



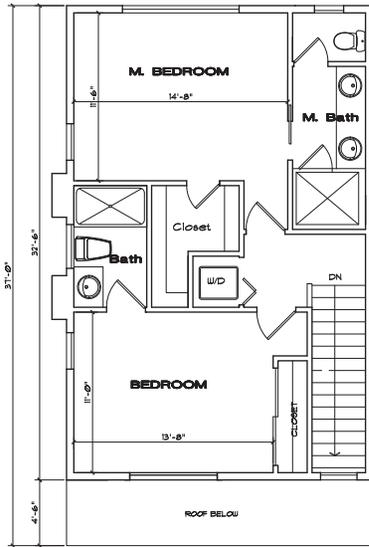
ELEVATIONS
VIEW FROM POMEROY

RESIDENTIAL PROJECT AT:
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SANTA CLARA, CA

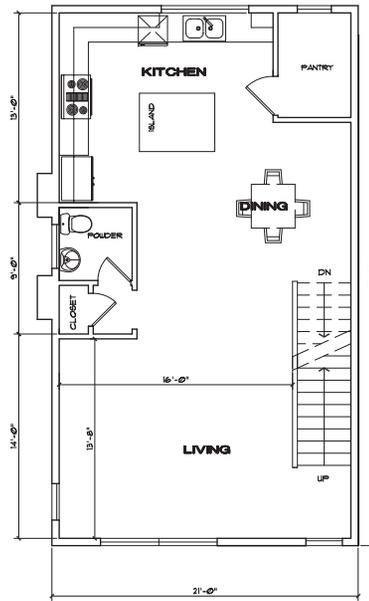
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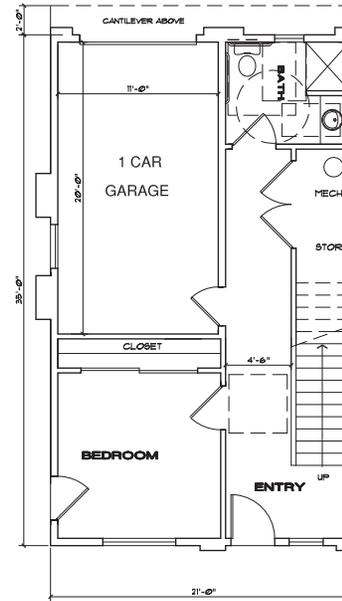
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THIRD FLOOR: 675 S.F.
(WITHOUT STAIRS)



SECOND FLOOR: 645 S.F.
(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.
(WITHOUT STAIRS)
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 7

REVISIONS	BY



BASSAI
Architecture
916.435.0605
408.674.9077

FLOOR PLANS
UNIT 7

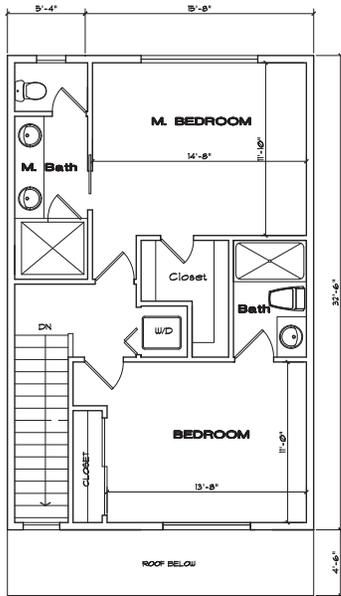
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SANTA CLARA, CA

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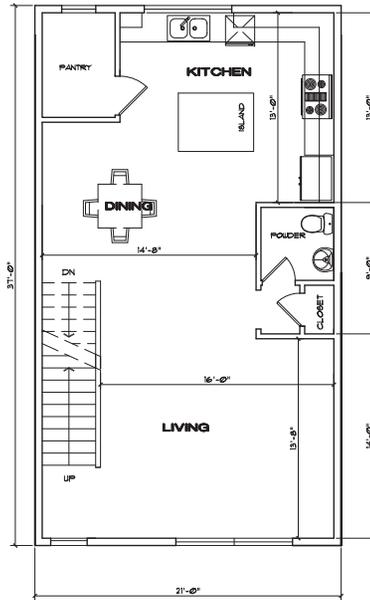
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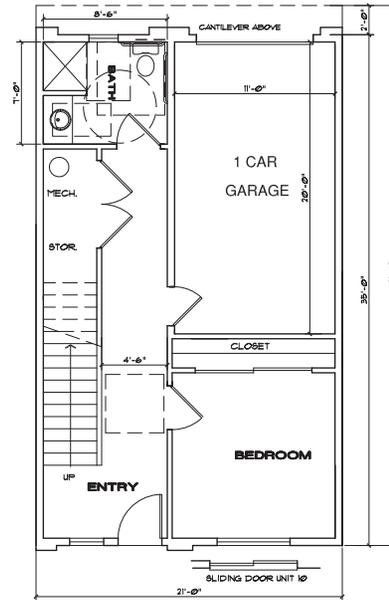
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(WITHOUT STAIRS)



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(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.
(WITHOUT STAIRS)
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNITS 8 & 10

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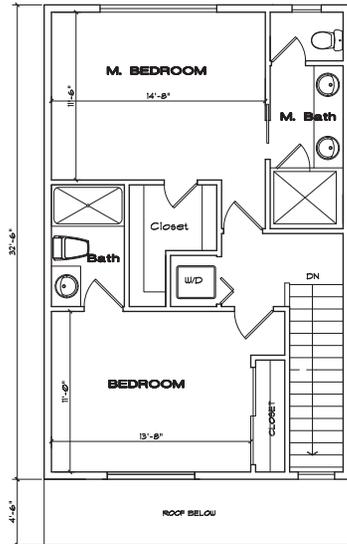
FLOOR PLANS
UNITS 8 & 10

RESIDENTIAL PROJECT AT:
1530 POMEROY AVE.
SANTA CLARA, CA

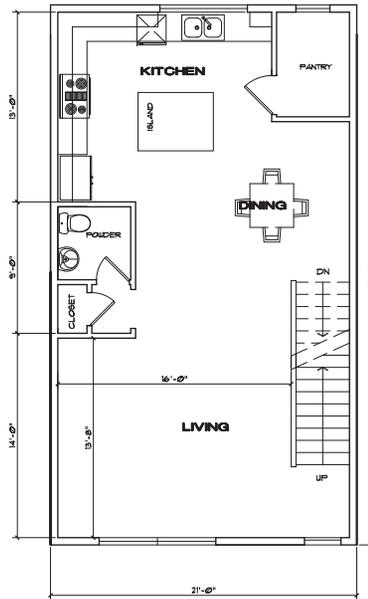
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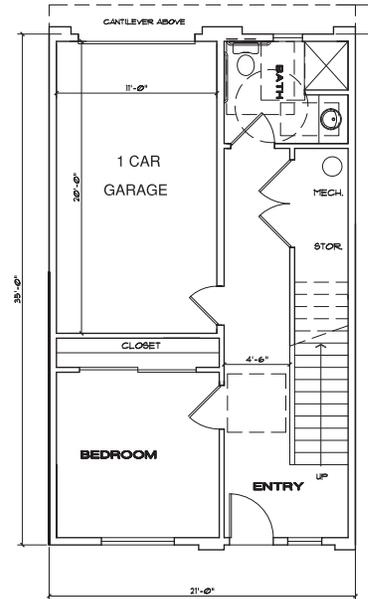
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(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.
(WITHOUT STAIRS)
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 9

REVISIONS	BY



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408.674.8077

FLOOR PLANS
UNIT 9

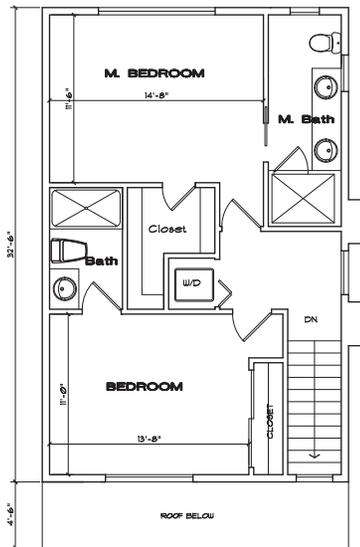
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1530 POMEROY AVE.
SANTA CLARA, CA

DATE: 1-2-2025
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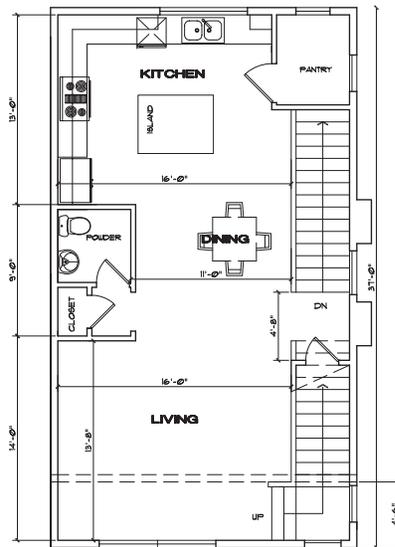
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OF SHEETS

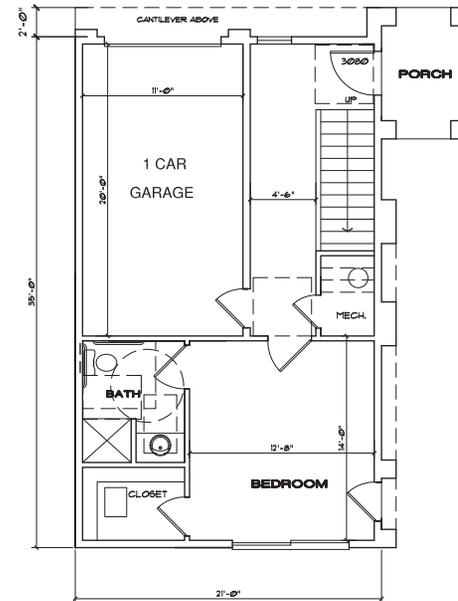
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FIRST FLOOR: 430 S.F.
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GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 11

REVISIONS	BY

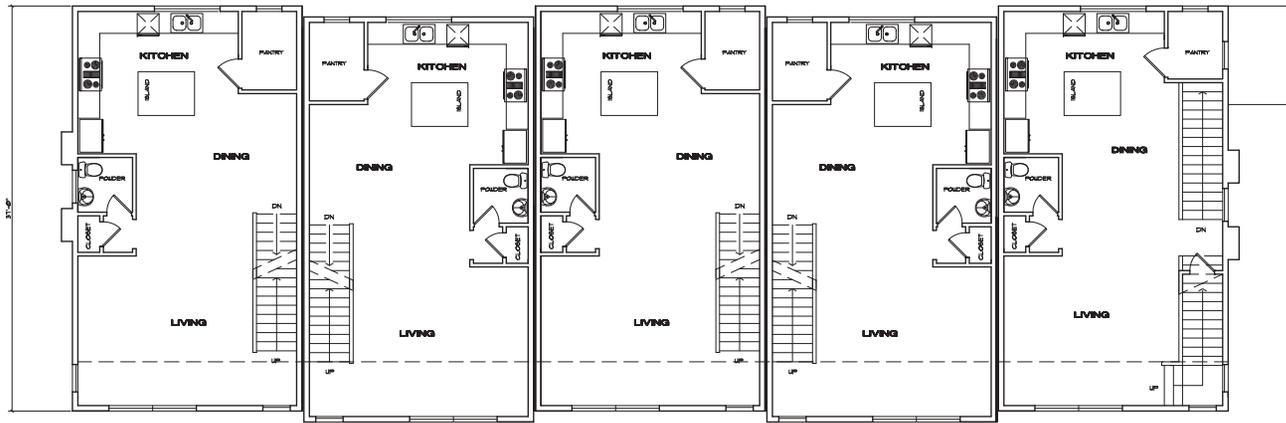
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FLOOR PLANS
UNIT 11

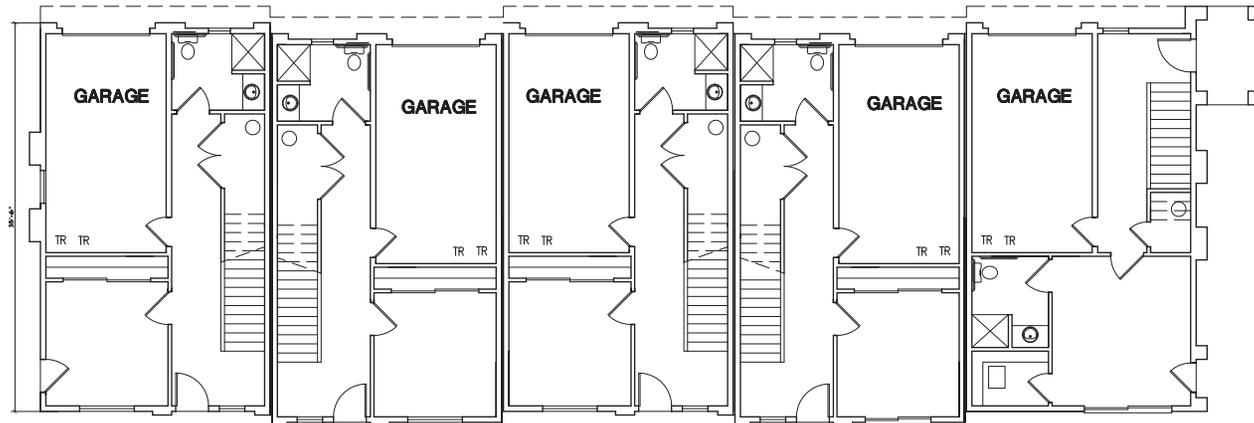
RESIDENTIAL PROJECT AT:
1530 POMEROY AVE
SANTA CLARA, CA

DATE:	1-2-2025
SCALE:	1/4" = 1'-0"
DRAWN:	CB
JOB NO:	1
SHEET NO.:	A2.4
OF SHEETS:	

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UNIT 7 UNIT 8 UNIT 9 UNIT 10 UNIT 11 **SECOND FLOOR**



UNIT 7 UNIT 8 UNIT 9 UNIT 10 UNIT 11 **FIRST FLOOR**

FLOOR PLANS

1/8" = 1'-0"

REVISIONS	BY



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 408.674.8077

FLOOR PLANS

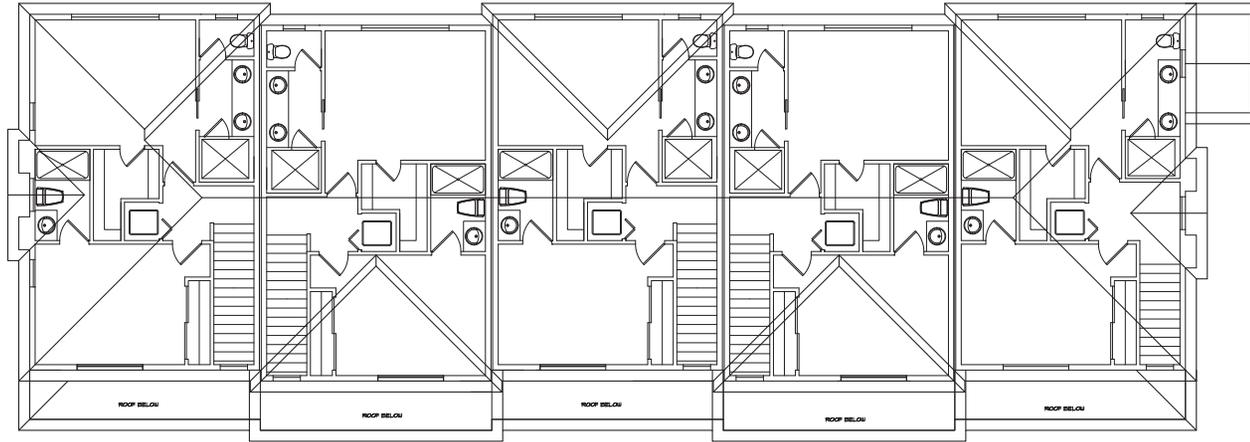
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 SANTA CLARA, CA

DATE:	3-24-2025
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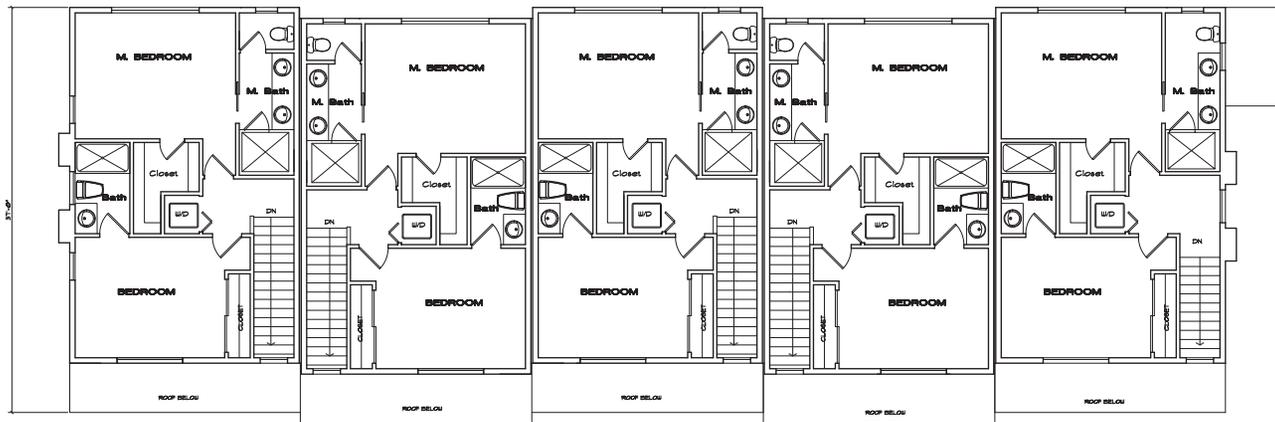
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OF SHEETS

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ROOF PLAN



UNIT 7

UNIT 8

UNIT 9

UNIT 10

UNIT 11

THIRD FLOOR

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FLOOR PLANS
 ROOF PLAN

RESIDENTIAL PROJECT AT:
 1530 POMEROY AVE.
 SANTA CLARA, CA

DATE: 3-24-2025
 SCALE: 3/8" = 1'-0"
 DRAWN: CB
 JOB NO: 1

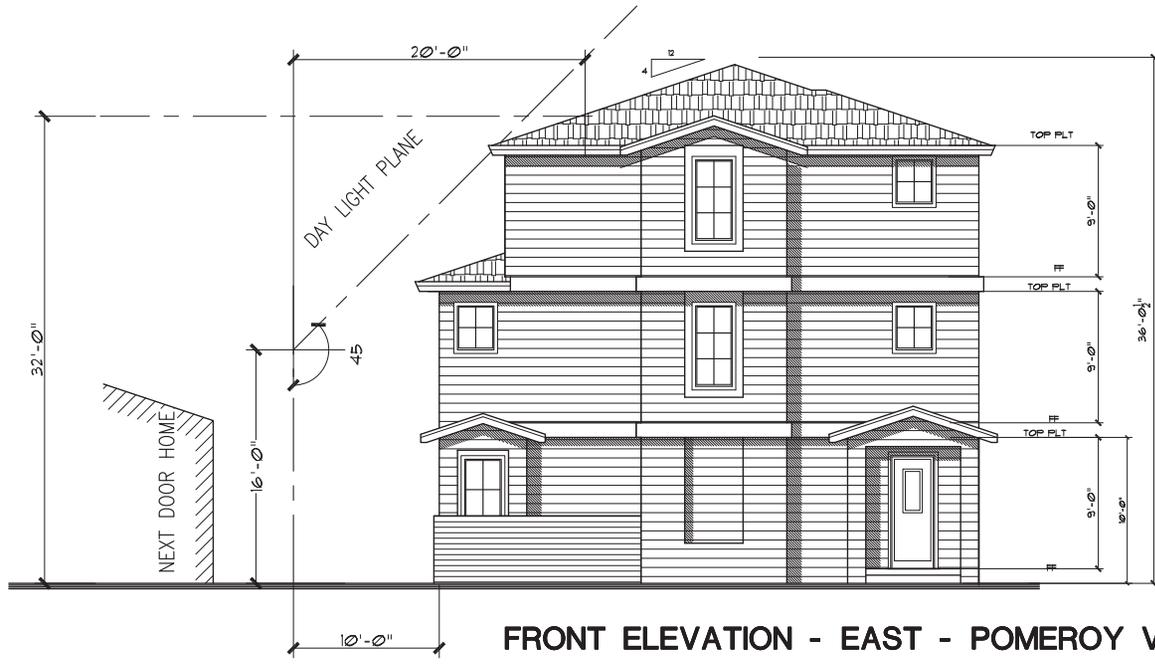
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DRIVEWAY ELEVATION - NORTH

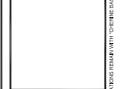


FRONT ELEVATION - EAST - POMEROY VIEW

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R311.

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EXTERIOE ELEVATIONS

RESIDENTIAL PROJECT AT:
1530 POMEROY AVE
SANTA CLARA, CA

DATE: 3-24-2025
 SCALE: 3/4" = 1'-0"
 DRAWN: CB
 JOB NO: 1

SHEET NO.
A3.1

EXTERIOE ELEVATIONS

1/4" = 1'-0"

OF SHEETS

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SIDE ELEVATION - SOUTH



REAR ELEVATION - WEST

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EXTERIOE ELEVATIONS

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 SCALE: 3/4" = 1'-0"
 DRAWN: CB
 JOB NO: 1

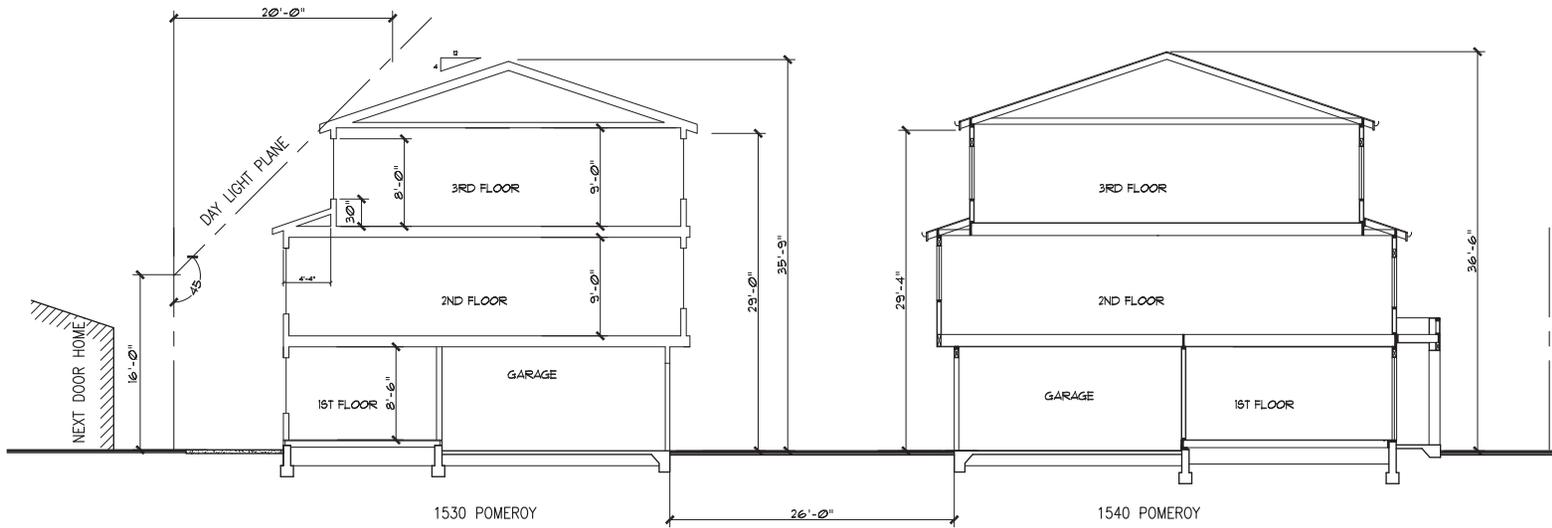
SHEET NO.
A3.2

of SHEETS

EXTERIOE ELEVATIONS

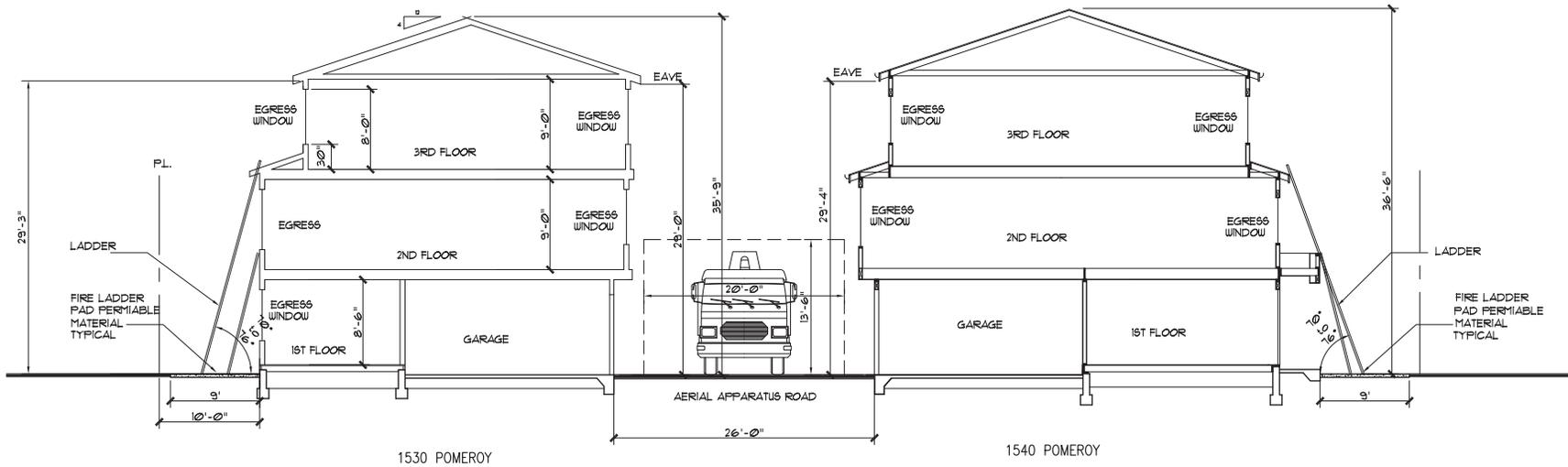
1/4" = 1'-0"

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DAY LIGHT PLANE

3/16" = 1'-0"



FIRE APPARATUS AND LADDER ACCESS

3/16" = 1'-0"

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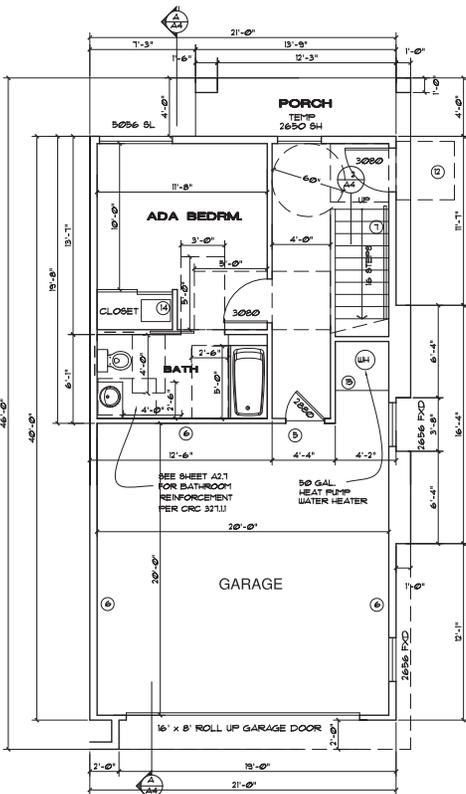
SECTIONS

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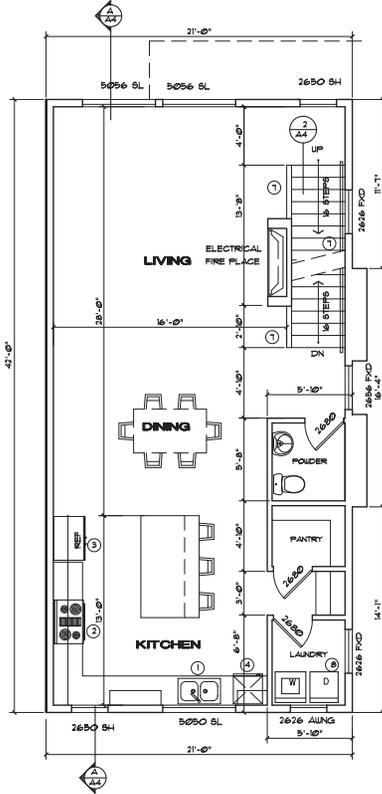
DATE: 1-2-2025
 SCALE: 3/16" = 1'-0"
 DRAWN: CB
 JOB NO: 1

SHEET NO.
A4
 OF SHEETS

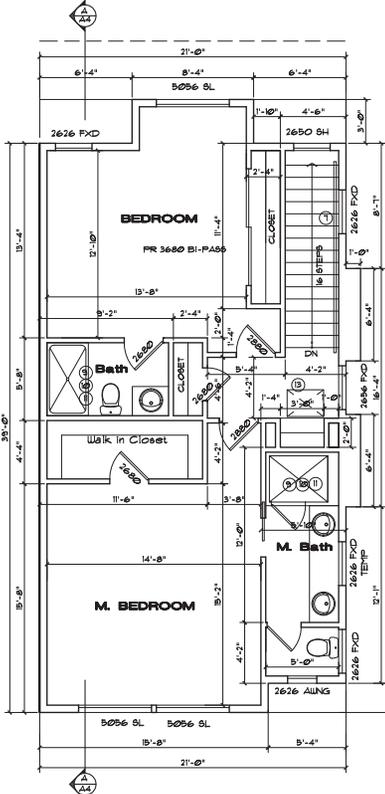
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FIRST FLOOR: 400 S.F.
GARAGE: 400 S.F.



SECOND FLOOR: 820 S.F.



THIRD FLOOR: 750 S.F.

1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.

UNIT 1

FLOOR PLANS NOTES:

- 1 DOUBLE 60K W/ GARBAGE DISPOSAL
- 2 RANGE OVEN W/ VENT ABOVE
- 3 REFRIGERATOR SPACE - PLUMB FOR ICE MAKER
- 4 DISH WASHER
- 5 MIN. 3/8" SOLID CORE, SELF CLOSING GARAGE DOORS
- 6 PER 302.9 CRC GARAGE WALL ADJOINING THE HOPE SHALL BE 1/2" TAPERED SHEETROCK CONCRETE-TO-RAPERS, METAL ELECTRIC BOXES (6 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 2" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8 TYPE X SHEETROCK
- 7 HANDRAILS TO HAVE 1 1/4" - 2" GRIPPIABLE CROSS SECTION NO SHARP CORNERS 4" AT HEIGHT OF 34" MIN. AND 38" MAX. ABOVE NOSING EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATE AT NEUEL POSTS OR RETURN WALLS
- 8 DRYER VENT TO OUTSIDE W/ MAX LENGTH OF 4' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MIN. DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN. 3' AWAY FROM ANY OPENING INTO THE BUILDING - CPC 504.3.1
- 9 TEMPERED GLASS ENCLOSURE AT SHOWERS. PROVIDE 2" MIN. UIDE DOOR AT SHOWER ENCLOSURE - CPC 418.6
- 10 TUB/SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. GYPSUM BACKER) TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PER 209.4 CRC R301.2 AND R102.3.8
- 11 SHOWER & TUB/SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 418.0
- 12 MIN. 3/4" DEEP EXTERIOR CONC. LANDING TO COMPLY W/ CRC 209.6 ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDING
- 13 MIN. 22" X 30" ATTIC ACCESS W/ MIN. 30" HEADROOM ABOVE NO SHELVEING BELOW ATTIC ACCESS.
- 14 18" X 24" UNDER FLOOR ACCESS
- 15 WATER HEATER NOTES:
80 GALLON HEAT PUMP WATER HEATER - SEE REVISION ENERGY CALCULATIONS

WALL NOTES:
ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUCCO - UNO.
ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUCCO - UNO.

GENERAL NOTES:

- A FIRE PROTECTION
ALL PLUMBING PENETRATIONS, INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN. OF 1" FROM WALL (INCLUDING TRAP WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.
- B WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE U AND SHGC FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.
- C PROVIDE 80 CFM BATHROOMS VENTILATION PER ASHRAE STAND. 62.2-2007 AND ENERGY REASURE OF PER IN NATURAL VENTILATION TO BE 100% OF FLOOR AREA OR MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 5 FEET FROM ANY OPENING INTO THE BUILDING.
- D PROVIDE 34" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN. WIDTH FOR TOILET SPACE - 209.4 CPC 402.3
- E SINGLE SHOWERHEAD - 18 GPM AT 80 PSI. COMB. SECTION 4.303.1.3.2
MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI. COMB. SECTION 4.303.1.3.2
- F ALL SINK FAUCETS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 191.1 THROUGH 191.8. (KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALS/MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALS/MIN. TOILETS SHALL NOT EXCEED 1.2 GALS/FLUSH AND URINALS SHALL NOT EXCEED 0.9).
- G NO DOMESTIC DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP. FITTING ON THE DISCHARGE SIDE OF THE DISHWASHER MACHINE LISTED AIRGAP SHALL BE INSTALLED WITH THE FLOOD-LEVEL TRU MARKING AT OR ABOVE THE FLOOD-LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. CPC REC. 807.1.3
- H PER 209.4 CEC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED.
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHEN AND LAUNDRY AREAS SHALL BE PROTECTED BY AN AFCI-FAULT CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CEC 210.2
- I AMPERAGE SIZE OF THE MAIN ELECTRICAL SERVICE PANEL IS 200 AMP
- J UNDERFLOOR POST, BILLS ON CONCRETE AND EXTERIOR DECK & STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENER, NAIL BARS, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE HD GALVANIZED. 1/2" MAX. OR STAINLESS STEEL, OR RATED FOR PT CONTACT. THE END NAILS OF THE SHANK WALL INTO THE PT PLATE NEED TO BE HD GALVANIZED.
- K PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALGREEN 4509.6 A 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.
- L PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USEABLE SPACE UNDER INTERIOR STAIR, PER CRC 302.1.4 CBC 101.1.3, EXCEPTION.

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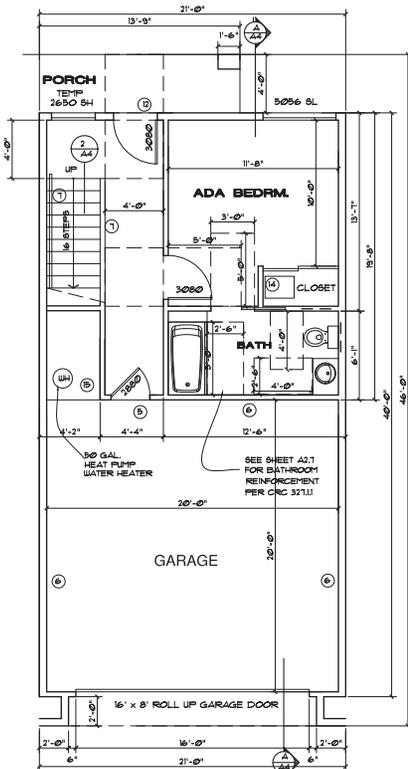


1540 POMEROY AVE.
UNIT 1

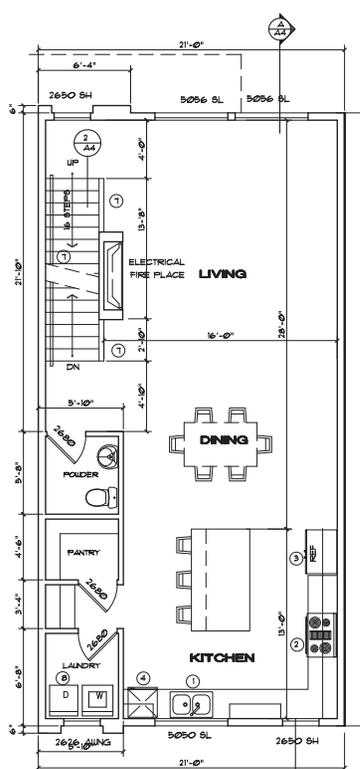
RESIDENTIAL PROJECT AT:
1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 12-19-2022
SCALE: 1/4" = 1'-0"
DRAWN: CB
JOB NO: 1

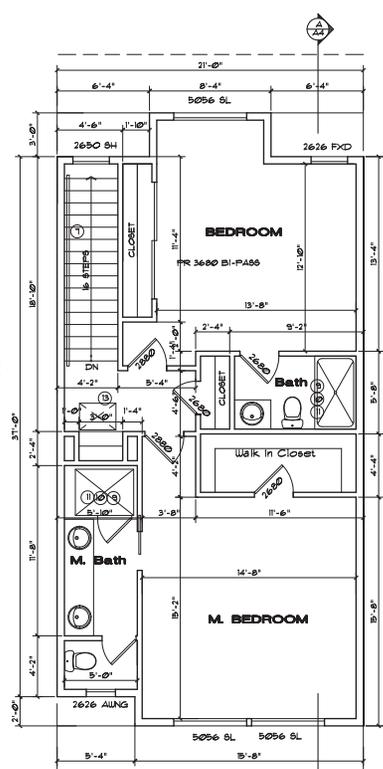
SHEET NO.
A2.1
OF SHEETS



FIRST FLOOR: 400 S.F.
GARAGE: 400 S.F.



SECOND FLOOR: 820 S.F.



THIRD FLOOR: 750 S.F.

1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.

UNITS 2 AND 4

FLOOR PLANS NOTES:

- 1 DOUBLE SINK W/ GARBAGE DISPOSAL
- 2 RANGE OVEN W/ VENT ABOVE
- 3 REFRIGERATOR SPACE - FLUFD FOR ICE MAKER
- 4 DISH WASHER
- 5 MIN 1.38" SOLID CORE, SELF CLOSING GARAGE DOORS.
- 6 PER 302.5 CRC, GARAGE WALL ADJOINING THE HOPE SHALL BE 1/2" TYPED SHEETROCK. CONCRETE-TO-RAPTERS, METAL ELECTRIC BOXES (6 800 IN MAX) SHALL NOT TOTAL MORE THAN 100 80 IN WITHIN A 800 50 FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 2" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8" TYPE X SHEETROCK.

- 7 HANDRAILS TO HAVE 1 1/2" GRIFFABLE CROSS SECTION NO SHARP CORNERS 4 AT HEIGHT OF 34" MIN AND 38" MAX. ABOVE NOSING EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATE AT NEEL POSTS OR OR RETURN WALLS
- 8 DRYER VENT TO OUTSIDE W/ MAX LENGTH OF W/ EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOUS AND A MIN. DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN. 3' AWAY FROM ANY OPENING INTO THE BUILDING - CPC 504.3.1
- 9 TEMPERED GLASS ENCLOSURE AT SHOWERS. PROVIDE 22" MIN. WIDE DOOR AT SHOWER ENCLURE - CPC 411.6
- 10 TUB-SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS GYPSUM BACKER) TO A HEIGHT OF 12" ABOVE THE DRAIN INLET. PER 209 CRC R302.12 AND R102.3.8
- 11 SHOWER 4 TUB-SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 418.0
- 12 MIN. 3/4" DEEP EXTERIOR CONC. LANDING TO COMPLY W/ CRC 2016 ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDING
- 13 MIN. 22" X 30" ATTIC ACCESS W/ MIN. 30" HEADROOM ABOVE NO SHELVING BELOW ATTIC ACCESS.
- 14 18" X 24" UNDER FLOOR ACCESS

WATER HEATER NOTES:
80 GALLON HEAT PUMP WATER HEATER - SEE REVISED ENERGY CALCULATIONS

WALL NOTES:
ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNO.
ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNO.

GENERAL NOTES:

- A FIRE PROTECTION
ALL PENETRATIONS INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN. OF 2" FROM WALL (INCLUDING TRAP AREAS APPL. TO CEILING). METALIC BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.
- B WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE U AND SHGC FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.
- C PROVIDE 50 CFM BATHROOMS VENTILATION PER ASHRAE STAND. 62.2-2001 AND ENERGY MEASURE OF MFR NATURAL VENTILATION TO BE 1/20 OF FLOOR AREA. OR BY MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- D PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN. WIDTH FOR TOILET SPACE - 2018 CPC 402.5
- E SINGLE SHOWERHEAD - 18 GPM AT 80 PSIG PER SECTION 4303.13.1
MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE SHOWER VALVE SHALL NOT EXCEED 18 GPM AT 80 PSIG PER SECTION 4303.13.2
- F ALL SINK FAUCETS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 18014 THROUGH 18014. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALS/MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALS/MIN. TOILETS AND URINALS SHALL NOT EXCEED 0.8 GALS/FLUSH.
- G NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE LISTED AIRGAP SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. CPC SEC. 801.3
- H PER 2018 CEC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED.
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS AND LAUNDRY AREAS SHALL BE PROTECTED BY AN AFCI-FAULT CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CPC 2102
- I AMPERAGE 80% OF THE MAIN ELECTRICAL SERVICE PANEL IS 200 AMP
- J UNDERFLOOR POST, SILLS ON CONCRETE, AND EXTERIOR DOORS SHALL BE OF SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENER, POST BRACES, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE HD. GALVANIZED, OR STAINLESS STEEL, OR PLATED FOR PT CONTACT. THE END NAILS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE HD. GALVANIZED.
- K PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALIFORNIA LABS. A 4-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.
- L PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USABLE SPACE UNDER INTERIOR STAIR PER CRC 302.1 + CBC 1011.3, EXCEPTION.

REVISIONS	BY



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1540 POMEROY AVE
UNITS 2 & 4

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE
SANTA CLARA, CA

DATE: 12-19-2022

SCALE: 1/4" = 1'-0"

DRAWN: CB

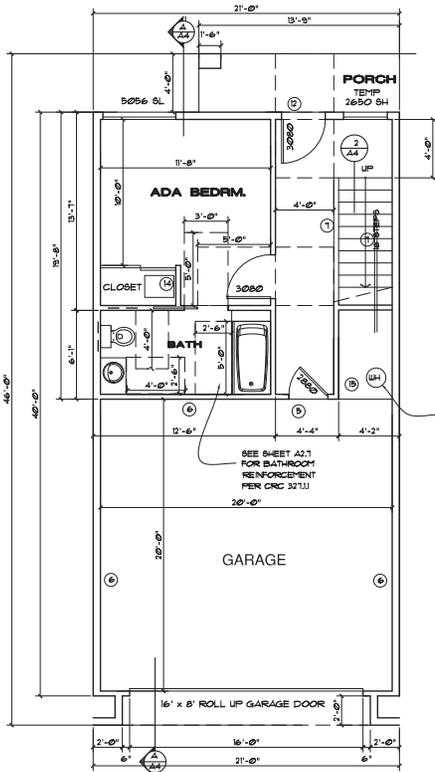
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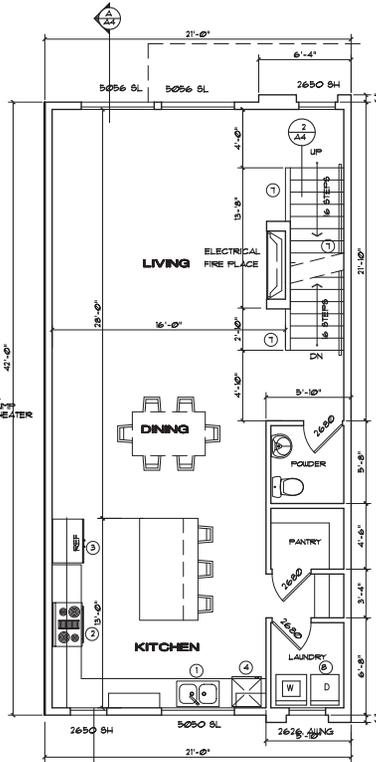
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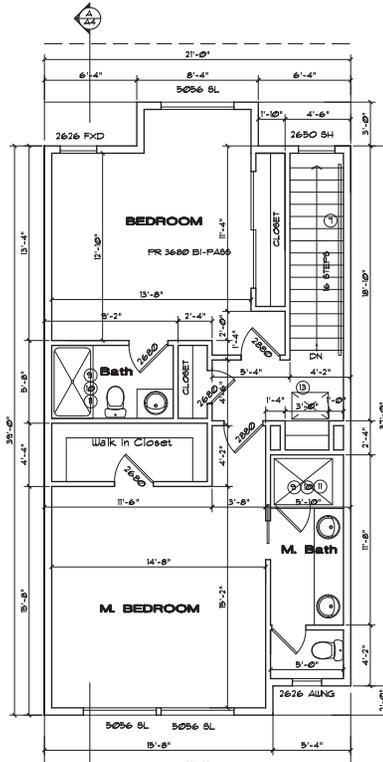
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FIRST FLOOR: 400 S.F.
GARAGE: 400 S.F.



SECOND FLOOR: 820 S.F.



THIRD FLOOR: 750 S.F.

1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT. UNITS 3 AND 5

FLOOR PLANS NOTES:

- ① DOUBLE SINK W/ GARBAGE DISPOSAL
 - ② RANGE OVEN W/ VENT ABOVE
 - ③ REFRIGERATOR SPACE - PLUMBS FOR ICE MAKER
 - ④ DISH WASHER
 - ⑤ MIN 1 3/8" SOLID CORE, SELF CLOSING GARAGE DOORS.
 - ⑥ PER 302.5 CRC GARAGE WALL ADJOINING THE HOPE SHALL BE 12" TAPED SHEETROCK, CONCRETE TO RAFTERS, METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 24" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8" TYPE X SHEETROCK.
 - ⑦ HANDRAILS TO HAVE 1 1/2" - 2" GRIPPIABLE CROSS SECTION NO SHARP CORNERS & AT HEIGHT OF 34" MIN AND 38" MAX ABOVE NOSING EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT RISER, POORS OR RETURN WALLS.
 - ⑧ DRYER VENT TO OUTSIDE W/ MAX LENGTH OF 14' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A 1/2" DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN 3' AWAY FROM ANY OPENING INTO THE BUILDING - CPC 504.3.1.
 - ⑨ TEMPERED GLASS ENCLOSURE AT SHOWERS. PROVIDE 22" MIN WIDE DOOR AT SHOWER ENCLOSURE - CPC 416.
 - ⑩ TUB/SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS GYPSUM BACKER) TO A HEIGHT OF 12" ABOVE THE DRAIN INLET. PER 2019 CRC R507.2 AND R102.3.9
 - ⑪ SHOWER & TUB/SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CPC 418.0
 - ⑫ MIN 3/4" DEEP EXTERIOR CONC. LANDING TO COMPLY W/ CRC 216 ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDING
 - ⑬ MIN 22" X 30" ATTIC ACCESS W/ MIN 30" HEADROOM ABOVE NO SHELVING BELOW ATTIC ACCESS.
 - ⑭ 18" X 24" UNDER FLOOR ACCESS
 - ⑮ WATER HEATER NOTES:
80 GALLON HEAT PUMP WATER HEATER - SEE REISED ENERGY CALCULATIONS
- WALL NOTES:**
ALL EXTERIOR WALLS: 2 x 4 @ 16" O.C. STUDS - UNO.
ALL INTERIOR WALLS: 2 x 4 @ 16" O.C. STUDS - UNO.

GENERAL NOTES:

- A FIRE PROTECTION
ALL THROUGH PENETRATIONS, INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN OF 12" THROUGH WALLS INCLUDING TRAP WHERE APPLICABLE AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.
- B WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE 'U' AND 'SHGC' FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.
- C PROVIDE 50 CFM BATHROOMS VENTILATION PER ABRAHAM STAND: 6212-20071 AND ENERGY REQUIRE OF 10-100 NATURAL VENTILATION TO BE 1/20 OF FLOOR AREA OR BY MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- D PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN WIDTH FOR TOILET SPACE - 2019 CPC 402.9
- E SINGLE SHOWERHEAD - 18 GPM AT 80 PSI CGCSB SECTION 4.303.13.1
MULTIPLE SHOWERHEADS SERVING ONE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY SINGLE VALVE - 18 GPM AT 80 PSI CGCSB SECTION 4.303.13.2
- F ALL SINK FAUCETS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 18111 THROUGH 18118. (KITCHEN FAUCETS ARE NOT EXCEED 18 GALS/ MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALS/ MIN. TOILETS SHALL NOT EXCEED 128 GALS/ FLUSH AND URINALS SHALL NOT EXCEED 5 GALS/ FLUSH.)
- G NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRINKBOARD, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER.
- H PER 2019 CEC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS AND LAUNDRY AREAS SHALL BE PROTECTED BY AN ARC-Fault CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CEC 710.2
- I APPROPRIATE SIZE OF THE MAIN ELECTRICAL SERVICE PANEL: 15 100 AMP
- J UNDER-FLOOR POST SILLS ON CONCRETE AND EXTERIOR DECK & STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENER, POST BASES, HANGARS, AND CONNECTORS IN CONTACT WITH PTF SHALL BE HD GALVANIZED, 2" MAX OR STAINLESS STEEL, OR PLATED FOR PTF CONTACT, THE END NAILS OF THE SHEAR WALL INTO THE PTF PLATE NEED TO BE HD GALVANIZED.
- K PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALGREEN 4309.4 & 4310. POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACE BETWEEN THE CONCRETE FLOOR SLAB AND A 1/4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.
- L PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USABLE SPACE UNDER INTERIOR STAIR PER CRC 302.1.4 CBC 1011.3, EXCEPTION.

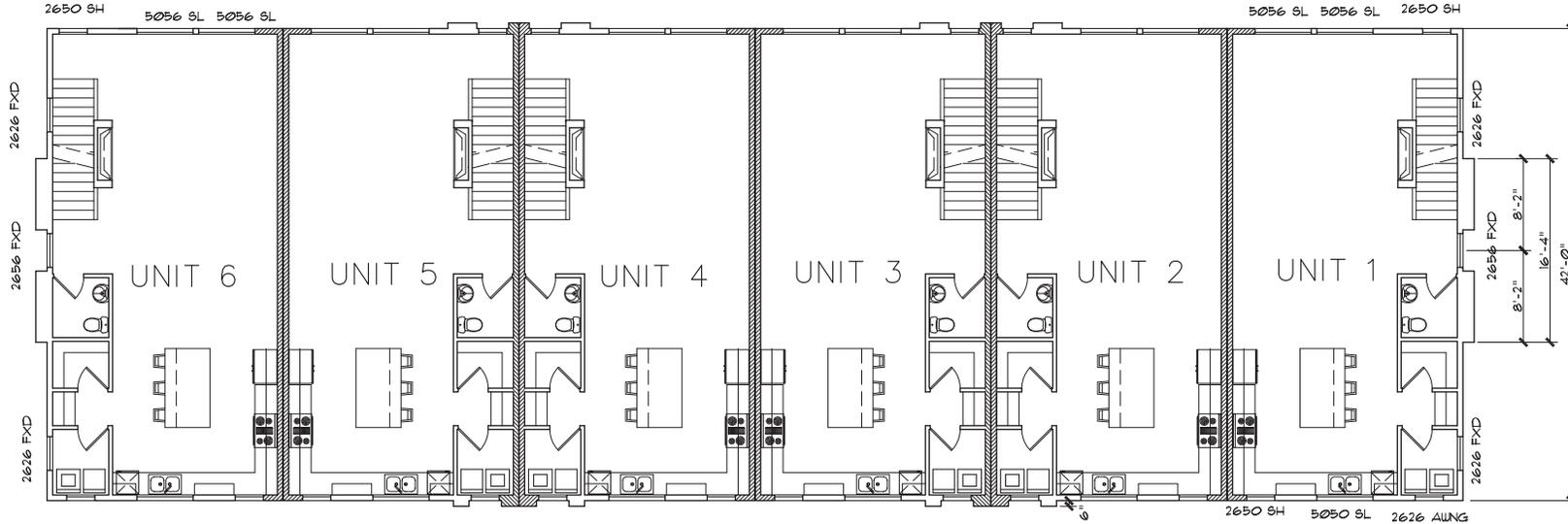
REVISIONS	BY



1640 POMEROY AVE
UNITS 3 & 5

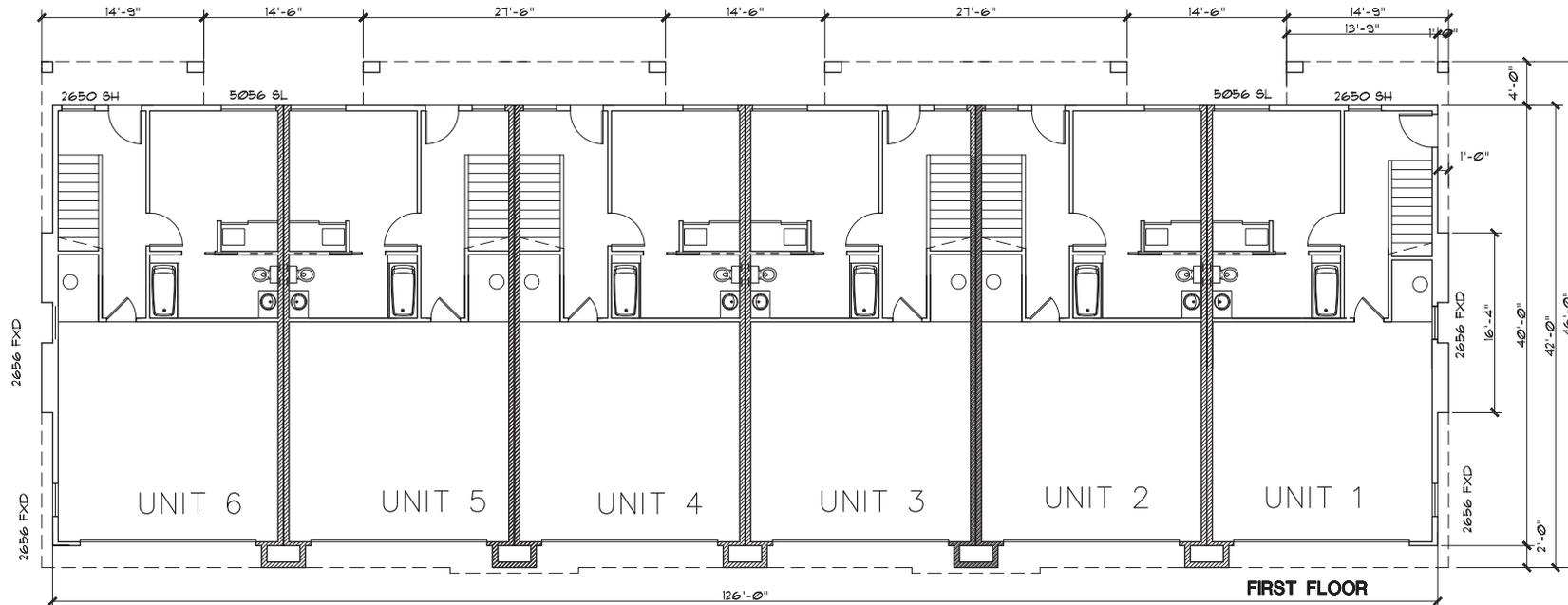
RESIDENTIAL PROJECT AT:
1640 POMEROY AVE
SANTA CLARA, CA

DATE: 12-29-2022
SCALE: 1/4" = 1'-0"
DRAWN: CB
JOB NO: 1
SHEET NO: A2.3
OF SHEETS



INDICATES 1 HOUR FIRE WALL AND EXTERIOR TERMINATION - SEE A4 & A5 FOR DETAILS

SECOND FLOOR



FIRST FLOOR

FLOOR PLANS

3/16" = 1'-0"

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Architecture
 916.435.0605
 408.674.8077

1540 POMEROY AVE.
 FLOOR PLANS

RESIDENTIAL PROJECT AT:
 1540 POMEROY AVE.
 SANTA CLARA, CA

DATE: 12-19-2022
 SCALE: 3/16" = 1'-0"
 DRAWN: CB
 JOB NO: 1

SHEET NO.
A2.5

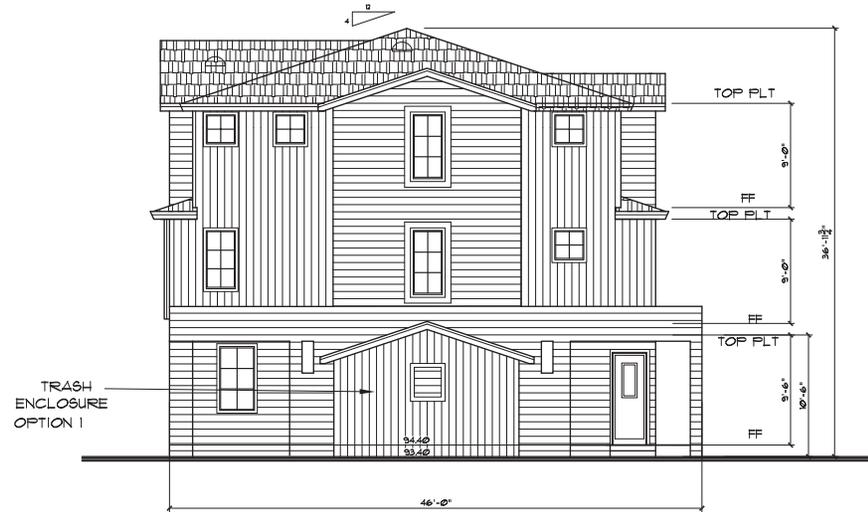
OF SHEETS

ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.



ENTRANCE SIDE ELEVATIONS - NORTH

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R319.1.



FRONT ELEVATIONS - EAST - POMEROY VIEW

ELEVATIONS

3/16" = 1'-0"

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408.674.9077

1540 POMEROY AVE.
ELEVATIONS

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 12-15-2022
SCALE: 3/16" = 1'-0"
DRAWN: CB
JOB NO: 1

SHEET NO.
A3.1

OF SHEETS

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1540 POMEROY AVE.
DRIVEWAY ELEVATIONS - SOUTH

TRASH
 ENCLOSURE
 OPTION

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS FLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R319.1.



REAR ELEVATIONS - WEST

ELEVATIONS

3/16" = 1'-0"

REVISIONS	BY



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1540 POMEROY AVE
 ELEVATIONS

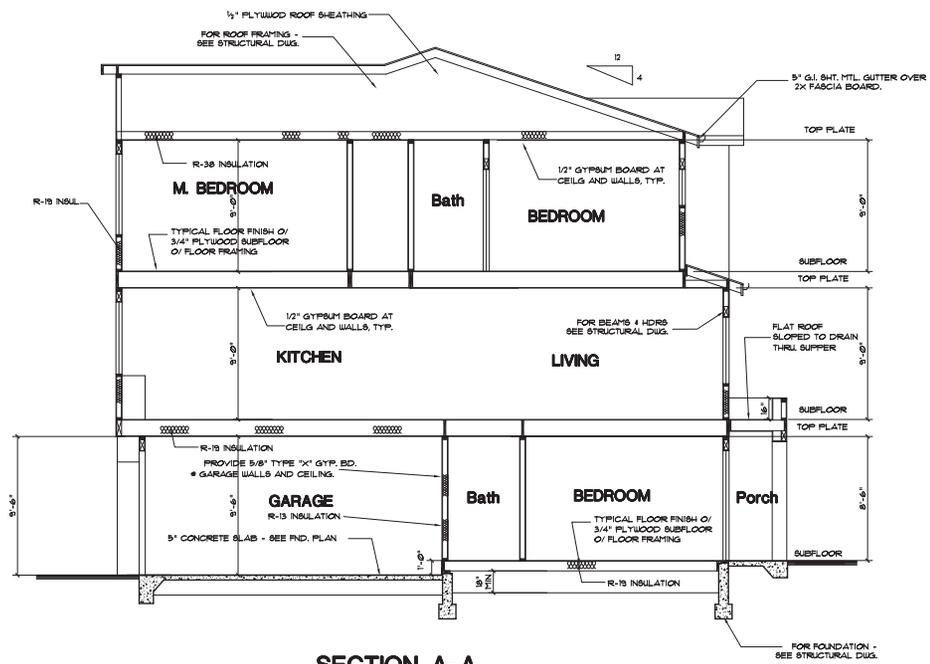
RESIDENTIAL PROJECT AT:
 1540 POMEROY AVE
 SANTA CLARA, CA

DATE: 12-9-2022
 SCALE: 3/16" = 1'-0"
 DRAWN: CB
 JOB NO: 1

SHEET NO.
A3.2

OF SHEETS

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SECTION A-A

REVISIONS	BY

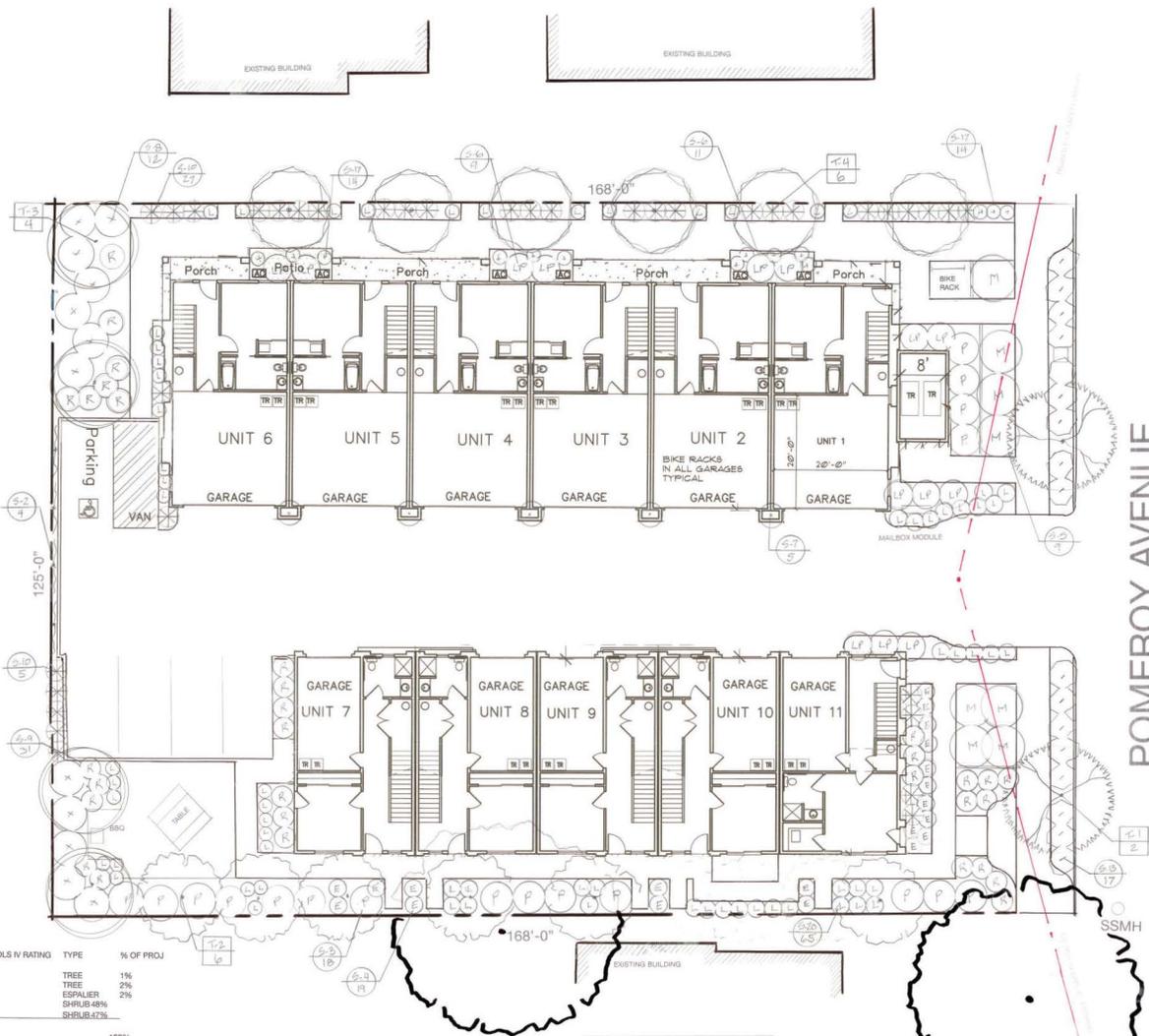
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ROOF PLAN
 SECTION / DETAILS

RESIDENTIAL PROJECT AT:
 1640 POMEROY AVE.
 SANTA CLARA, CA

DATE:	12-19-2022
SCALE:	NOTED
DRAWN:	1/4"=1'-0"
JOB NO:	

SHEET NO.
A4
 OF SHEETS



PLANT PALETTE						
KEY	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME	WUCOLS IV RATING	PLANTING NOTES
T1	2	36" BOX	CRABE MYRTLE	LAGERSTROEMIA	LOW	CITY OF SANTA CLARA ST TREE
			BRANCHES TO BE PRUNED UP TO	A MINIMUM OF	5'-0" NEW	CLAWNICK STANDARD
			CRABE MYRTLE	LAGERSTROEMIA	LOW	STANDARD
			"LUSCARIUM"	BRACHYDONTON	LOW	AS MITIGATION
T3	4	24" BOX	BOTTLE TREE	FORNUS	LOW	STANDARD
			FLOWERING CHERRY	PRUNUS "PURPLE PONY"	LOW	STANDARD
S-1	3	5 GALLON	JUNIPER	JUNIPER "MEDICA"	LOW	
			BOUGAINVILLEA	BOUGAINVILLEA "BIRDSIA KASST"	LOW	ESPALEER
S-3	18	5 GALLON	CAROLINA CHERRY	PRUNUS CAROLINA	LOW	"WHITE & TIGHT"
S-4	19	1 GALLON	ERESORON "MORNINGMAY"	ERESORON	LOW	FLABARBE
S-5	10	1 GALLON	MYOPORUM	MYOPORUM	LOW	12" MAX HEIGHT
S-6	11	5 GALLON	LOROPETELUM	LOROPETELUM	LOW	"MINI JAZZ HANDS"
S-7	12	5 GALLON	XYLODIA	XYLODIA "COWHORN"	LOW	
S-9	31	5 GALLON	INDIAN HAWTHORNE	RAPIHOLIDS	LOW	"GEORGIA PETTE"
S-10	32	5 GALLON	HEAVENLY BARBICO	NADONIA	LOW	"COWHORN"
S-12	17	1 GALLON	MANDARINA	ARCTOSTAPHYLOS	LOW	"EMERALD CARPET"
S-14	17	1 GALLON	MANDARINA	ARCTOSTAPHYLOS	LOW	"EMERALD CARPET"
S-18	14	5 GALLON	RITTOFORUM	RITTOFORUM	LOW	"ELFIN"
S-20	85	1 GALLON	NOV	LOMANDRA	LOW	"ARTIC FRIST"

PLANTING NOTES:

THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THIS INCLUDES NOTIFICATION OF QUOTE UTILITIES BY USA NORTH #11.

ALL WORK TO BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.

ALL LANDSCAPED AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL WATER 100% OF PLANTED AREAS WITH A MINIMUM OF RUNOFF TO STREETS AND SIDEWALKS. IRRIGATION WILL BE ADJUSTED TO ELIMINATE OVER AND UNDER COVERAGE ON ALL BUILDINGS, FENCES AND CURBS. THE SYSTEM SHALL BE SET TO WATER LANDSCAPED AREAS DURING THE NIGHT TIME OR AS EARLY IN THE MORNING AS POSSIBLE TO REDUCE WATER LOST TO EVAPORATION (10:00 PM UNTIL 6:00 AM ONLY). IRRIGATION CONTROLLER SHALL ALSO HAVE A RAIN SENSOR INSTALLED TO OVERRIDE THE IRRIGATION SYSTEM.

ALL PLANTING AREAS, TREE/SHRUB PLANTING HOLES SHALL BE FREE FROM ROCKS AND CONSTRUCTION DEBRIS LARGER THAN 2" IN DIAMETER.

ALL LANDSCAPED AREAS SHALL HAVE NITROFIED REDWOOD SAWDUST ROTOTILLED INTO THE TOP 6" OF SOIL. THE APPLICATION RATE WILL BE 6 CUBIC YARDS OF NITROFIED SAWDUST PER 1,000 SQUARE FEET OF AREA. THIS AMOUNTS TO A 2" LAYER OF TREATED SAWDUST INCORPORATED AS SOIL AMENDMENT INTO THE EXISTING SOIL.

IN ADDITION 40 POUNDS OF GYPSUM SULPHATE SHALL BE APPLIED TO 1,000 SQUARE FEET OF LANDSCAPED AREA, THEN ROTOTILLED INTO THE TOP 6" OF SOIL.

FINISH SOIL GRADE SHALL BE 2" BELOW TOP OF PAVING, SIDEWALKS, AND CURBS. LANDSCAPE CONTRACTOR SHALL ENSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDING FOUNDATION AND HARDSCAPE CONTROL SURFACES.

THE PLANT MATERIAL LOCATIONS ARE DIAGRAMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE PLANNER. LAYOUT PLANTS ACCORDING TO THE PLAN SO THAT PLANTS ARE PROPERLY SPACED FOR FUTURE GROWTH MINOR ADJUSTMENTS MAY BE NECESSARY DUE TO VARIATIONS IN SITE CONDITIONS (EXAMPLE: MAILBOXES, UTILITIES, LIGHT FIXTURES, DRAINAGE STRUCTURES).

ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS OF NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

ALL TREES AND SHRUBS SHALL HAVE AGRIFORM 21 GRAM FERTILIZER TABLETS INSTALLED IN THE BACKLIFT AND ROOT ZONE OF PLANTS. TABLET APPLICATION RATE SHALL BE 36" BOX CONTAINER STOCK - 8 TABLETS. ALL 24" BOX CONTAINER STOCK SHALL HAVE 6 TABLETS. 15 GALLON SHALL HAVE 4 TABLETS. 5 GALLON CONTAINER SHALL HAVE 2 TABLETS. ALL 1 GALLON STOCK SHALL GET 1 TABLET.

THE PLANT COUNT IS FOR THE CONTRACTORS CONVENIENCE, IN CASE OF DISCREPANCY THE PLAN SHALL GOVERN.

ALL GROUND COVER AND LANDSCAPED BEDS SHALL RECEIVE A 3" DEPTH OF SMALL SIZE RECYCLE BROWN WOOD MULCH. ALL MATERIAL SHALL BE CERTIFIED FROM THE SUPPLIER TO CONTAIN NO CHEMICAL, PAINT, LEAD OR OTHER HAZARDOUS MATERIAL PRIOR TO SHIPPING TO SITE.

ALL TREES TO BE STAKED AS NOTED. ALL TREES SHALL HAVE TOURNEISOL ROOT SOLUTIONS RS-24 PANELS INSTALLED. THESE SHALL CONSIST OF A 10'-0" LONG JOINED SET OF PANELS PARALLEL TO EACH OTHER ON BOTH SIDES OF PLANTED TREE. AVAILABLE FROM TOUBESSE.COM PHONE (800) 542-2282.

CONTRACTOR SHALL APPLY ONE APPLICATION OF LESCO 8273 PRE-EMERGENT WEED CONTROL TO ALL CONTAINER PLANTED AREAS. THE PRE-EMERGENT CHEMICAL WEED CONTROL SHALL BE APPLIED USING THE MANUFACTURERS RECOMMENDED RATE OF APPLICATION. DO NOT APPLY ON WINDY DAYS, BE SURE TO WATER INTO AREA PRIOR TO WOOD MULCH APPLICATION.

CONTRACTOR SHALL PERFORM A 30 DAY LANDSCAPE MAINTENANCE PERIOD BEGINNING FROM THE DATE OF FINAL PLANT INSTALLATION, APPLICATION OF WEED CONTROL AND FINAL PROJECT CLEANUP.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANTING FOR A PERIOD OF 6 MONTHS FROM THE DATE OF FINAL PLANT INSTALLATION, MAINTENANCE AND OWNERS ACCEPTANCE.

PLANT MIX:

QUAN	SIZE	WUCOLS IV RATING	TYPE	% OF PROJ
2	36" BOX	LOW	TREE	1%
6	24" BOX	LOW	TREE	2%
4	5 GAL	LOW	ESPALEER	2%
123	5 GAL	LOW	SHRUB-48%	
111	1 GAL	LOW	SHRUB-47%	

256 PLANTS 100%

LANDSCAPE WATER EFFICIENCY REGULATION

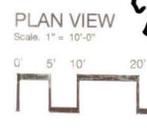
WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.88.030) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.

FEBRUARY 21, 2025

JON NELSON



- SHEET INDEX:**
- L-1 LANDSCAPE PLAN
 - L-2 IRRIGATION PLAN
 - L-3 EXISTING TREE CONDITION/ STATUS
 - L-4 HARDSCAPE PLAN
 - L-5 HARDSCAPE NOTES
 - L-6 LANDSCAPE NOTES

REVISIONS	BY

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23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDEL@AOL.COM

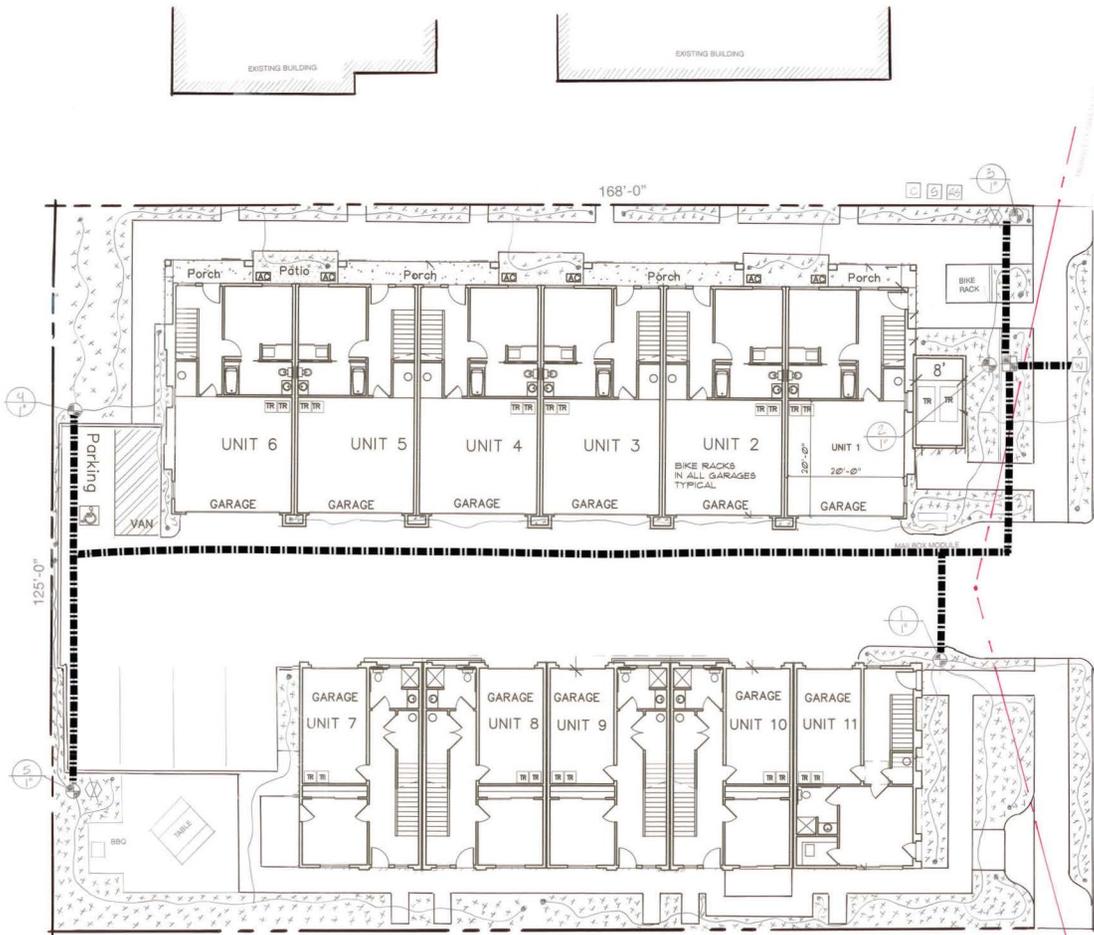


LANDSCAPE DEVELOPMENT FOR:
1530/ 1540 POMEROY AVE
SANTA CLARA, CALIFORNIA

LANDSCAPE PLAN

DRAWN	JRN
CHECKED	
DATE	2/21/2025
SCALE	1" = 10'-0"
JOB NO.	SANTA CLARA
SHEET	

L-1
OF SHEETS



IRRIGATION LIST:

KEY	SIZE	NAME	MODEL	NOTES
	1"	RP BACKFLOW	FBCO #825Y	INSTALL PER LOCAL CODES
	1"	RAINBIRD VALVE	#XCZ-100-PRB-COM	INSTALL WITH BALL VALVE NOTE: WITH DC LATCHING VALVE ACTUATOR
	3/4"	RAINBIRD OCV	#3-RC	INSTALL IN A CARSON R-10 VALVE BOX
	1 1/4"	MAIN LINE SCH #40 PVC		BURY TO 24" BELOW FIN GR
	3/4"	DRIP IRRIGATION LINE	FLEX LINE	PLACE ON FG WITH STL STAPLE
	C	AUTOMATIC CLOCK	HUNTER #XCH-600-SSP	PLACE ON FENCE 6 STATION SS SOLAR POWER CABINET CONTROLLER
	S	HUNTER SOLAR KIT	#SPXCH	MOUNT ON FENCE
	RS	HUNTER RAIN SENSOR	RAIN CLK	MOUNT ON FENCE
		HUNTER FLUSH CAP	#SWG0505	PLACE IN ROUND BOX WITH HUNTER #800 FLUSH CAP
		RAINBIRD EMITTER	#SW-30PS "RED" 2.0 GPH	PRESSURE COMPENSATING DRIP EMITTER WITH 1/4" BUG FLUGS. 2 EMITTERS ON ALL 1 GALLON 3 EMITTERS ON ALL 5 GALLON 4 EMITTERS ON 24" BOX 8 EMITTERS ON 36" BOX

WATER AND LANDSCAPE EFFICIENCY CHECKLIST

IRRIGATION POINTS:

- MANUAL SHUTOFF OF ENTIRE IRRIGATION SYSTEM WITHIN 10'-0" OF THE POINT OF CONNECTION. EXISTING POC IS A 1" SIZE. SYSTEM IS DESIGNED FOR A MINIMUM OF STATIC PRESSURE OF 65 PSI, PRODUCING 17 GPM.
- ALL DRIP EMITTERS ARE DESIGNED FOR MATCHED PRECIPITATION RATES THROUGHOUT ALL VALVES AND SYSTEMS.
- IRRIGATION WATER AUDIT SHALL BE PERFORMED UPON PROJECT COMPLETION.
- SITE IS PRIMARILY FLAT, NOT SLOPED, REDUCING ANY RUNOFF CONDITIONS.
- DRIP EMITTERS AND BUBBLERS ARE ALL DESIGNED TO CURRENT ANSI STANDARDS FOR THE MOST EFFICIENT IRRIGATION.
- AUTOMATIC IRRIGATION CONTROLLER IS DESIGNED USING REDUCING CARBON IMPACT, WITH NON VOLATILE MEMORY ALLOWING FOR FULL MEMORY IF SYSTEM IS SHUT-OFF FOR ANY REASON.
- AUTOMATIC IRRIGATION IS CONTROLLED BY A RAIN-CLICK SENSOR PROVIDING POSITIVE CLOCK SHUTOFF IN A RAIN EVENT.
- EACH AUTOMATIC IRRIGATION VALVE HAS ITS OWN INDIVIDUAL BALL VALVE SHUT-OFF LOCATED AT EACH VALVE BOX LOCATION, THIS ALLOWS FOR QUICK POSITIVE CONTROL OF EACH CONTROL VALVE.
- ALL BACKFLOW PREVENTION UNITS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN UPON COMPLETION TO ASSURE COMPLIANCE.
- SYSTEM DESIGNED USING DRIP EMITTERS AND BUBBLER IRRIGATION. POPUP SPRAY HEADS ARE USED IN ONLY A VERY LIMITED WAY ON THIS PROJECT, THIS PROMOTES HEALTHY PLANT GROWTH, REDUCES OVERALL WATER USE.
- BACKFLOW PREVENTION UNIT IS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN UPON COMPLETION TO ASSURE COMPLIANCE.

HYDROZONES

Zone number 1 | Plant factor: Low.3 | Irrigation type: Drip | Area in square feet (number only): 4183

Plant	Irr. Eff.	ETAF (PF/E)	Area	ETAF x Area	ETW	Delete
1	3	Drip 0.81 0.37	4183 sq ft	1,548	43,512	
TOTALS:				4,183 sq ft		43,512 gal/yr
TOTAL SPECIAL LANDSCAPE AREA:				0 sq ft		

MAWA: 64,616 gal/yr
ETWU: 43,512 gal/yr
Santa Clara Annual E To = 46.3 in

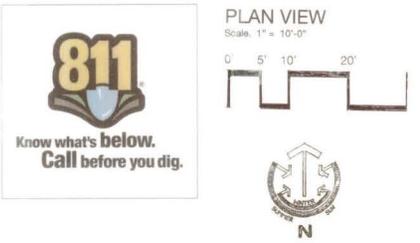
Project Name and City

Project name: 1530-1540 POMEROY AVE
Choose city (for ETo data): Santa Clara

VALVE DEMAND:

VALVE #1	1"	5.1 GPM	SUNNY
VALVE #2	1"	5.4 GPM	SUNNY
VALVE #3	1"	5.0 GPM	SUNNY
VALVE #4	1"	5.3 GPM	SUNNY
VALVE #5	1"	4.9 GPM	SUNNY

MIN WATER SUPPLY OF 12 GPM @ 60 PSI/ CFS/C WATER METER



LANDSCAPE WATER EFFICIENCY REGULATION

WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.05.032) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

JON NELSON
FEBRUARY 21, 2025
DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



CANDIDATE ID NUMBER CALWEP-4097



POMEROY AVENUE

REVISIONS	BY

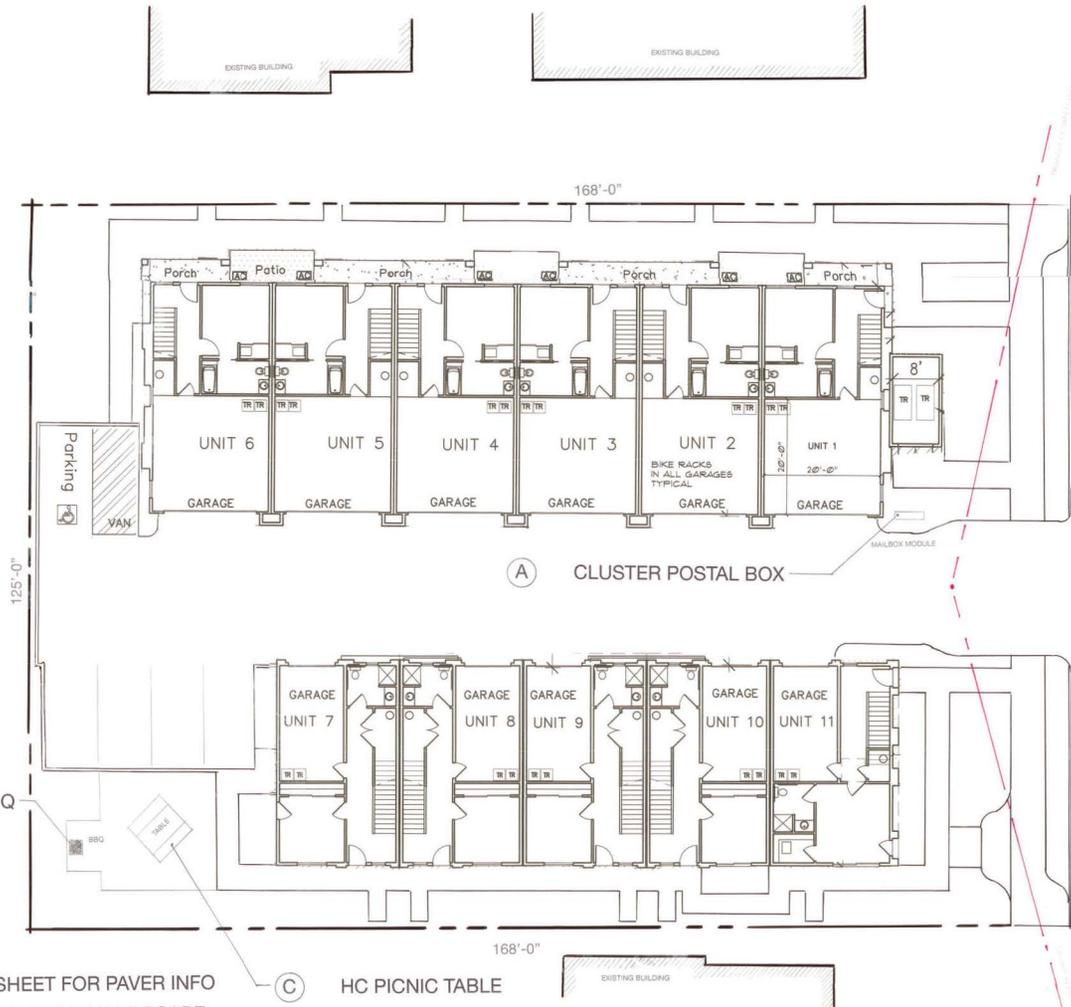
J.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDEV@AOL.COM



LANDSCAPE DEVELOPMENT FOR:
1530/ 1540 POMEROY AVE
SANTA CLARA, CALIFORNIA

IRRIGATION PLAN

DRAWN	JRN
CHECKED	
DATE	2/21/2025
SCALE	1" = 10'-0"
JOB NO.	SANTA CLARA
SHEET	L-2
OF SHEETS	2



POMEROY AVENUE



A Cluster Box Unit (Includes Pedestal) - 12 A Size Doors - Type II - USPS Access
D BICYCLE RACK



B TABLE 298
 Grill 21 and 22

TABLE 298
 HOME >> PRODUCTS >> TABLE 298



C DuMor 298 Table

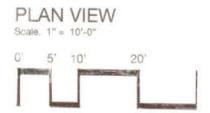
* SEE CIVIL SHEET FOR PAVER INFO
 SEE SHEET L-5 FOR HARDSCAPE NOTES

LANDSCAPE WATER EFFICIENCY REGULATION

WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.03.030) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

JON NELSON
 FEBRUARY 21, 2025
 DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



HARDSCAPE PLAN

REVISIONS	BY

LANDSCAPE DEVELOPMENT FOR:
1530/ 1540 POMEROY AVE
 SANTA CLARA, CALIFORNIA

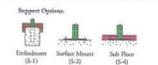
J.R. NELSON & ASSOCIATES, INC.
 23585 SUMMIT ROAD
 LOS GATOS, CALIFORNIA 95033
 PHONE (408) 591-0873 EMAIL: CNDELV@AOL.COM

DRAWN	JRN
CHECKED	
DATE	2/21/2025
SCALE	1" = 10'-0"
JOB NO.	SANTA CLARA
SHEET	L-4
OF	SHEETS

TABLE 298

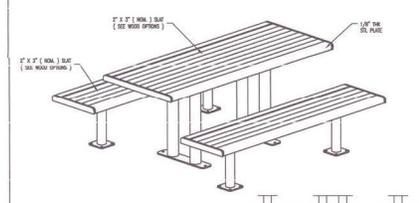
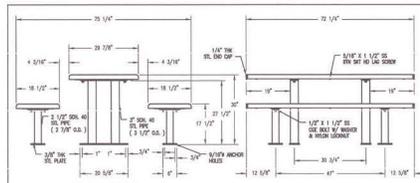


Number	Description	Weight
298-600	6' long Picnic Table	489 lbs.
298-60-2P	ADA Accessible Picnic Table	489 lbs.
298-60EPL	6' long Picnic Table	446 lbs.
298-60-2PL	ADA Accessible Picnic Table	446 lbs.
298-60TX	6' long Picnic Table	446 lbs.
298-60-2TX	ADA Accessible Picnic Table	446 lbs.
298-60BS	6' long Picnic Table	472 lbs.
298-60-2BS	ADA Accessible Picnic Table	472 lbs.



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Millersville, PA 17059-0142
Phone: 800-590-0018
DU@AOL.COM

A HC PICNIC TABLE

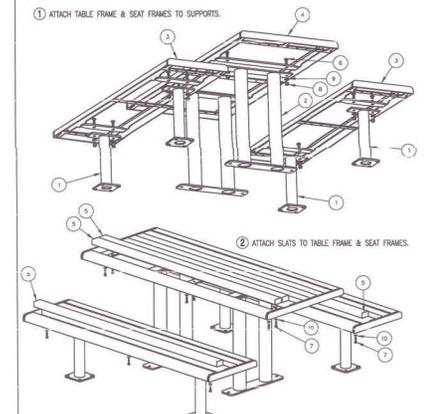


WOOD OPTIONS:
 YC & BTR, DOUGLAS FIR KD SAS EE
 IPE SAS EE
 OTHER

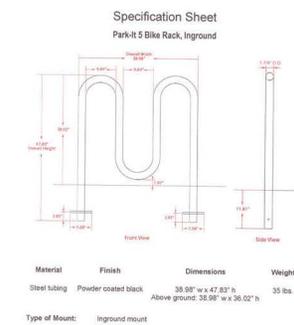
NOTES:
 1) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
 2) 1/2" X 3/4" EXPANSION ANCHOR BOLT PROVIDED FOR S-2 SURFACE MOUNT.

TABLE	DATE DRAWN: 11/26/07	REV: A	DRAWING NUMBER: 298-60-2	SHEET: 1 OF 2
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TOOLS/REQUIREMENTS		PARTS LIST	
1) DRILLS	ASSEMBLY INSTRUCTIONS	ITEM	QTY
2) 1/2" X 3/4" EXPANSION ANCHOR BOLT	3/8" X 1/2" ALUM. WRENCH	1	4
3) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
4) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
5) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
6) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
7) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
8) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
9) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
10) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
11) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
12) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
13) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
14) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
15) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
16) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
17) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
18) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
19) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2
20) 1/2" X 3/4" EXPANSION ANCHOR BOLT	1/2" WRENCH	2	2



ASSEMBLY INSTRUCTIONS	DATE DRAWN: 11/26/07	REV: A	DRAWING NUMBER: 298-60-2	SHEET: 2 OF 2
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 Fax: 707-538-3826
 Northern California, Western Nevada
 VISIT WEBSITE
 1000 Brush Creek Road
 Suite 206
 Santa Rosa, CA 95404
 info@rossrec.com

GRILL

DATE DRAWN: 3/27/04
 DRAWN BY: JMC
 DATE REV: 1/24/04
 REV: 1, 2, 3, 4

GRILL

DATE DRAWN: 3/27/04
 DRAWN BY: JMC
 DATE REV: 1/24/04
 REV: 1, 2, 3, 4

GRILL

DATE DRAWN: 3/27/04
 DRAWN BY: JMC
 DATE REV: 1/24/04
 REV: 1, 2, 3, 4

C BBQ

GRILL ASSEMBLY

DATE DRAWN: 3/27/04
 DRAWN BY: JMC
 DATE REV: 1/24/04
 REV: 1, 2, 3, 4

GRILL ASSEMBLY

DATE DRAWN: 3/27/04
 DRAWN BY: JMC
 DATE REV: 1/24/04
 REV: 1, 2, 3, 4

GRILL ASSEMBLY

DATE DRAWN: 3/27/04
 DRAWN BY: JMC
 DATE REV: 1/24/04
 REV: 1, 2, 3, 4

D GRILL ASSEMBLY

HARDSCAPE NOTES

LANDSCAPE DEVELOPMENT FOR:
 1530/ 1540 POMEROY AVE
 SANTA CLARA, CA

DRAWN
 CHECKED
 DATE
 SCALE
 JOB NO.
 SANTA CLARA
 SHEET

L-5
 OF SHEETS

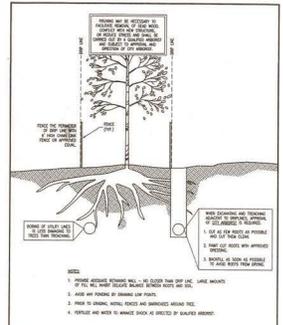
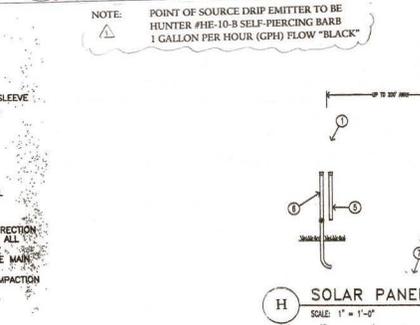
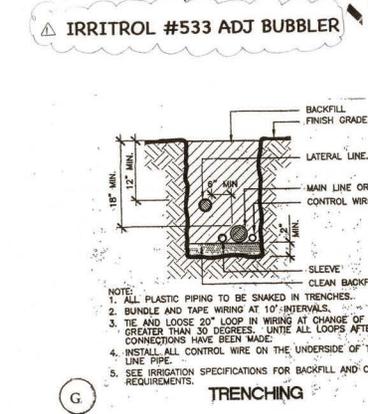
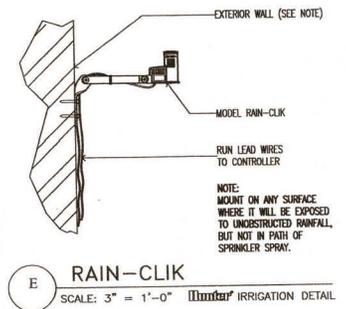
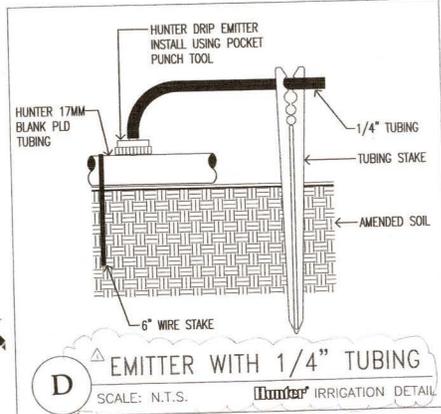
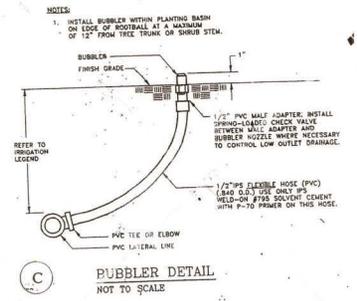
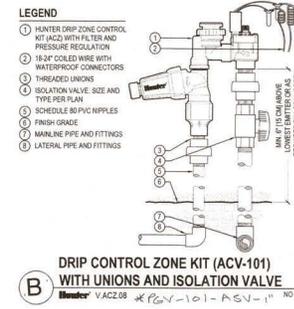
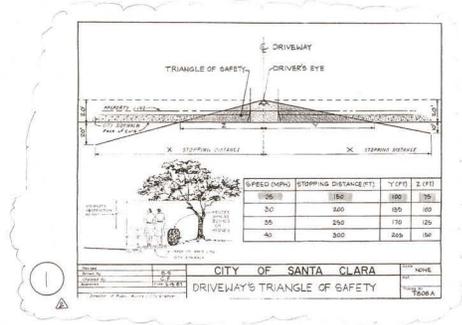
WATER AND LANDSCAPE EFFICIENCY CHECKLIST

IRRIGATION POINTS:

- MANUAL SHUTOFF OF ENTIRE IRRIGATION SYSTEM WITHIN 10'-0" OF POINT OF CONNECTION. EXISTING POC IS 3/4" AND 1" SIZE, SYSTEM DESIGNED FOR A MINIMUM OF STATIC PRESSURE OF 65 PSI, PRODUCING 17 GPM AT WATER METER.
- ALL DRIP EMITTERS ARE DESIGNED FOR MATCHED PRECIPITATION RATES THROUGHOUT ALL VALVES AND SYSTEMS.
- IRRIGATION WATER AUDIT SHALL BE PERFORMED UPON PROJECT COMPLETION.
- SITE IS PRIMARILY FLAT NOT SLOPED, REDUCING ANY RUNOFF CONDITIONS.
- DRIP EMITTERS AND BUBBLERS ARE ALL DESIGNED TO CURRENT ANSI STANDARDS FOR THE MOST EFFICIENT IRRIGATION.
- AUTOMATIC IRRIGATION CONTROLLER IS DESIGNED USING REDUCING CARBON IMPACT, DESIGNED WITH NON-VOLATILE MEMORY ALLOWING FOR FULL MEMORY IF SYSTEM IS SHUT-OFF FOR ANY REASON.
- AUTOMATIC IRRIGATION IS CONTROLLED BY A RAIN-CLICK SENSOR PROVIDING POSITIVE CLOCK SHUT-OFF IN A RAIN EVENT.
- EACH AUTOMATIC IRRIGATION VALVE HAS ITS OWN INDIVIDUAL BALL VALVE SHUT-OFF LOCATED AT EACH VALVE BOX LOCATION, THIS ALLOWS FOR QUICK POSITIVE CONTROL OF EACH CONTROL VALVE.
- ALL DRIP VALVES HAVE ACCU-SYNC 400 PRESSURE REDUCING VALVES ATTACHED TO ELIMINATE ANY MISTING OR BLOWOUTS OF DRIP EMITTERS, AND MAINTAIN A CONSTANT PRESSURE OF 40 PSI OR LESS.
- SYSTEM DESIGNED USING DRIP EMITTERS AND BUBBLER IRRIGATION. POPUP SPRAY HEADS ARE USED IN ONLY A VERY LIMITED WAY ON THIS PROJECT. THIS PROMOTES HEALTHY PLANT GROWTH, AND REDUCES OVERALL WATER USE.
- A MASTER VALVE IS INSTALLED BETWEEN THE BACKFLOW PREVENTION VALVE AND THE FIRST AUTOMATIC VALVE (6-4) TO REDUCE WATER LOSS DUE TO MAINLINE PIPE DAMAGE.
- BACKFLOW PREVENTION UNIT IS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN TO ASSURE COMPLIANCE.

PLANTING ITEMS

- PROJECT IS NOT DESIGNED WITH ANY FORM OF NOXIOUS OR INVASIVE TREES, SHRUBS OR GROUNDCOVER.
- HEAVY AMOUNTS OF WOOD MULCH CHIPS IN LANDSCAPE AREAS, 3" DEPTH IN GENERAL PLANTING BEDS. THIS DEPTH OF MULCH WILL REDUCE WEED GROWTH AND IRRIGATION WATER EVAPORATION AT EMITTER SITE.
- HEAVY USE OF SOIL ADJUMENTS IN PLANTING AREAS ALLOWS FOR BETTER PLANT GROWTH AND REDUCED AMOUNTS OF IRRIGATION WATER. THE MIX SHOWN ON PLAN IS DOUBLE THE AMOUNT OF ORGANIC MATERIAL REQUIRED BY THE CURRENT STATE STANDARD.
SOIL ADJUMENTMENT WILL BE: 6 CUBIC YARDS OF NITROFIED REDWOOD COMPOST PER 1,000 SQUARE FEET OF LANDSCAPED AREA. THIS WILL BE ROTOTILLED INTO THE TOP 6" OF TOPSOIL.
- ALL PLANTING IS DERIVED FROM THE MOST CURRENT WULCOCS IV SOFTWARE AND FROM THE LATEST EAST BAY MUNICIPAL UTILITY DISTRICT PLANTING RECOMMENDATIONS TITLED "LOW WATER USE PLANTINGS".
- LANDSCAPE PLANTINGS FEATURE NO LAWN SOD OR ANNUAL FLOWER COLOR, DECORATIVE WATER FEATURES OR VEGETABLE GARDENS.
- ALL FERTILIZER REQUIRED WILL BE ORGANIC, SLOW RELEASE VARIETY. THIS WILL REDUCE THE NITROGEN SPIKE AND SUBSEQUENT INCREASED IRRIGATION TO WATER RAPIDLY GROWING PLANTINGS.
- ALL PLANTINGS USED ARE RELATIVELY LOW WATER USE MATERIAL. PLANT PALLETTE WATER RATIO IS 100% LOW WATER USE PLANTINGS NO HIGH USE NURSERY MATERIAL INCLUDED SUCH AS FLOWER GARDEN OR WATER FEATURE USE INCORPORATED IN DESIGN OF THIS PROJECT.



DESIGNED BY: K. TRAM	CHECKED BY: JRN	DATE: OCTOBER 2023
DRAWN BY: C. QUINN	DATE: OCTOBER 2023	SCALE: AS NOTED
PROJECT: TREE PROTECTION	CITY OF SANTA CLARA	SHEET: L-6

REVISIONS	BY
1/11/24 ADD	
TELA NOTE OF SAFETY NOTE	
ADD TREE PROTECTION	

I.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNIDEV@AOL.COM

LANDSCAPE NOTES

NEW RESIDENTIAL PROJECT AT:
**RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE
SANTA CLARA, CA**

DRAWN: JRN	CHECKED: JRN
DATE: 09/20/23	SCALE: AS NOTED
CITY: SANTA CLARA	SHEET: L-6