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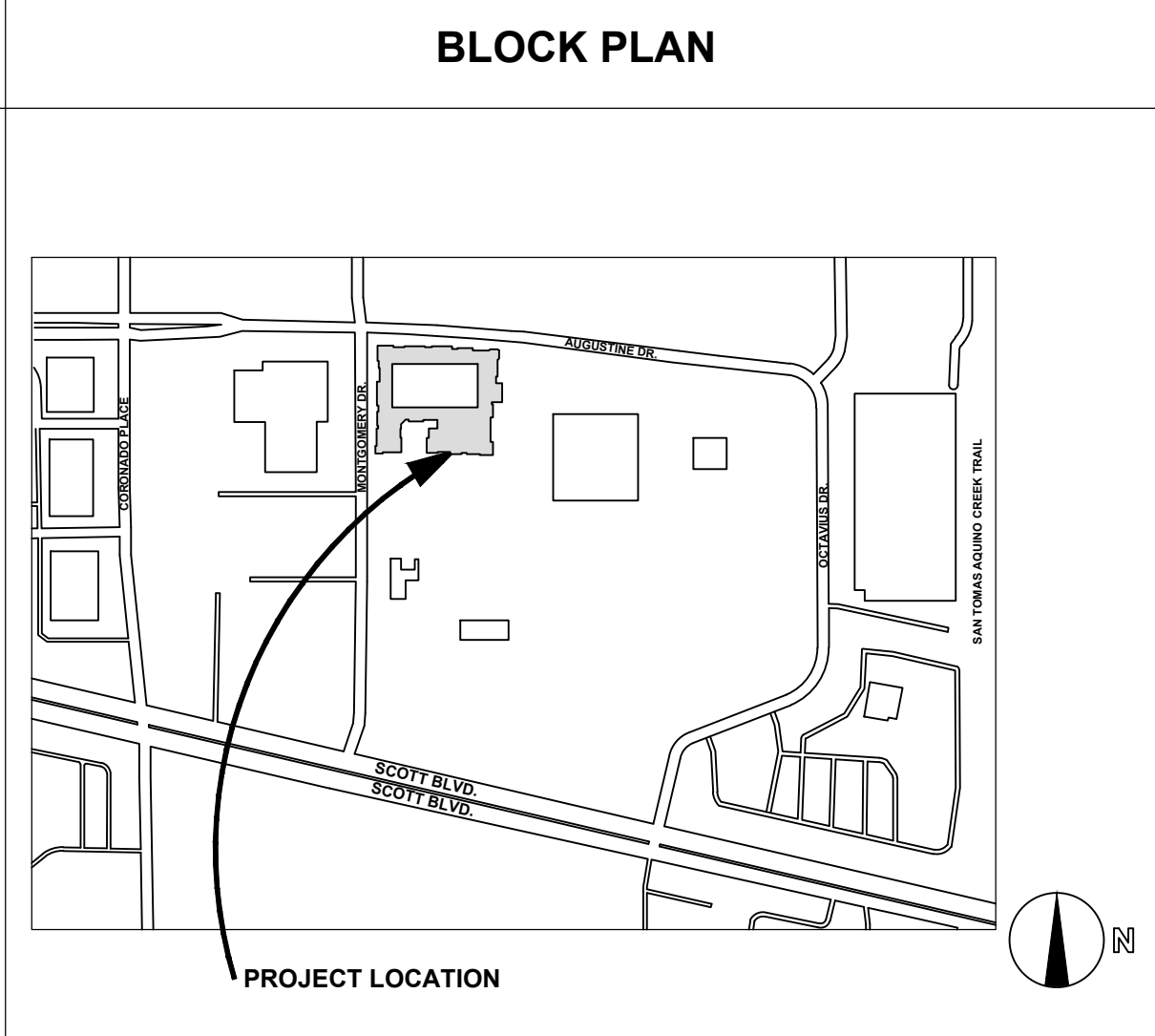
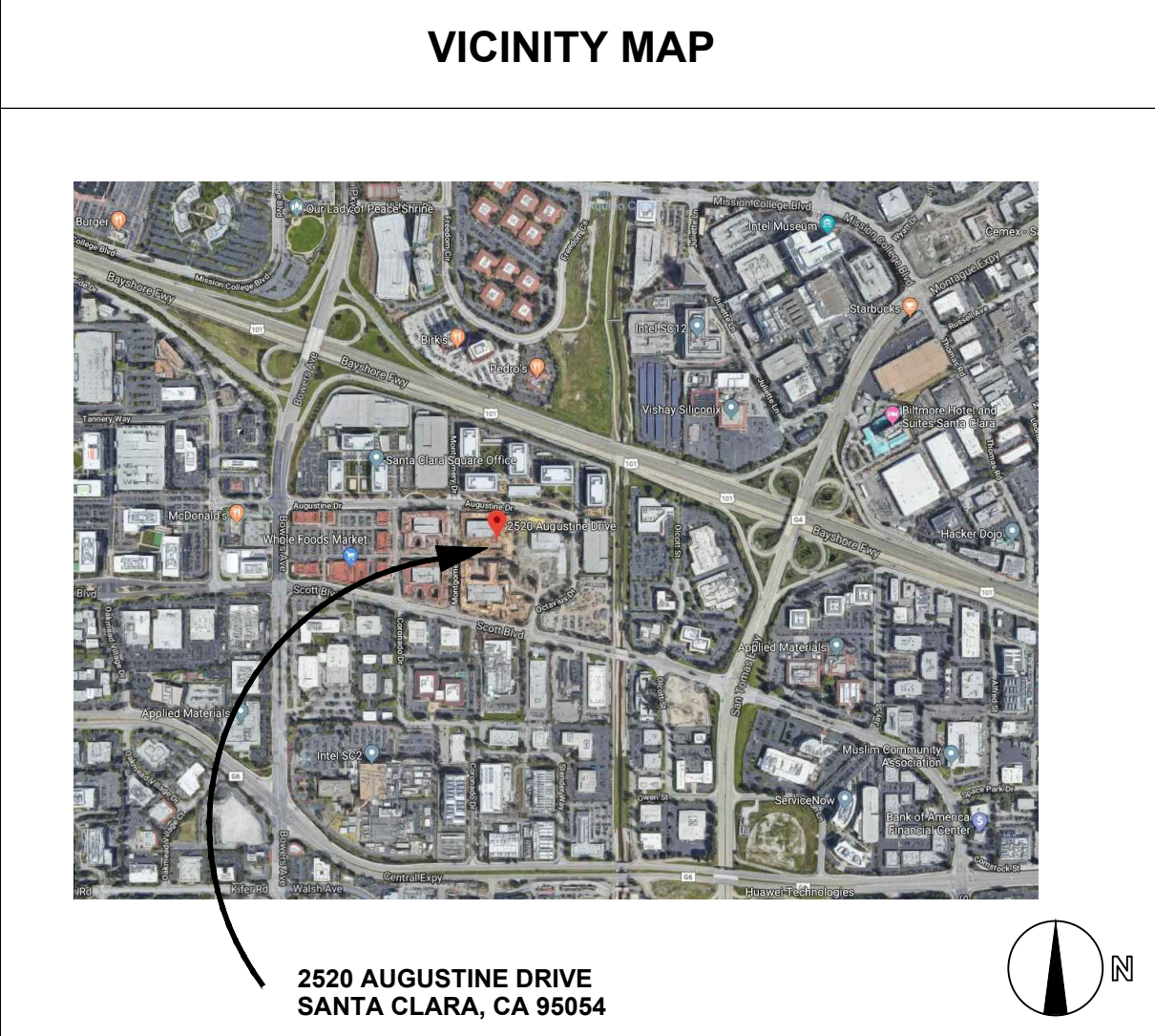
* REFER TO SHEET A1.2 A1.3 FOR LANDLORD REQUIRED CONTRACTORS



2520 AUGUSTINE DRIVE SANTA CLARA, CA 95054

DRAWING INDEX

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E2.2	LIGHTING PLAN
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BC2	LIGHTING CERTIFICATE OF COMPLIANCE FORMS
BC3	LIGHTING CERTIFICATE OF COMPLIANCE FORMS
BC4	LIGHTING CERTIFICATE OF COMPLIANCE FORMS



PROJECT DATA / CODES

ADDRESS: 2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

APPLICABLE CODES:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
2013 CALIFORNIA BUILDING STANDARDS CODE
2013 TITLE 24
NFPA 12, 2013 EDITION WITH CBC SECTION 903.2.8
NFPA 72, 2013 EDITION WITH CITY AMENDMENTS
NFPA 14, 2013 EDITION WITH CITY AMENDMENTS
NFPA 24, 2013 EDITION
AMERICAN W/ DISABILITIES ACT 2010 STANDARDS

YEAR BUILT: 2018
ZONING: COMMERCIAL 1A
CONSTRUCTION TYPE: 5
NUMBER OF STORIES: RESTAURANT/ FOOD SERVICE
PROPOSED USE: RETAIL
PREVIOUS USE: A2
PREVIOUS OCCUPANCY: N/A
BUILDING AREA: 4,976 S.F.
SPRINKLERS: FULLY SPRINKLED

SCOPE OF WORK

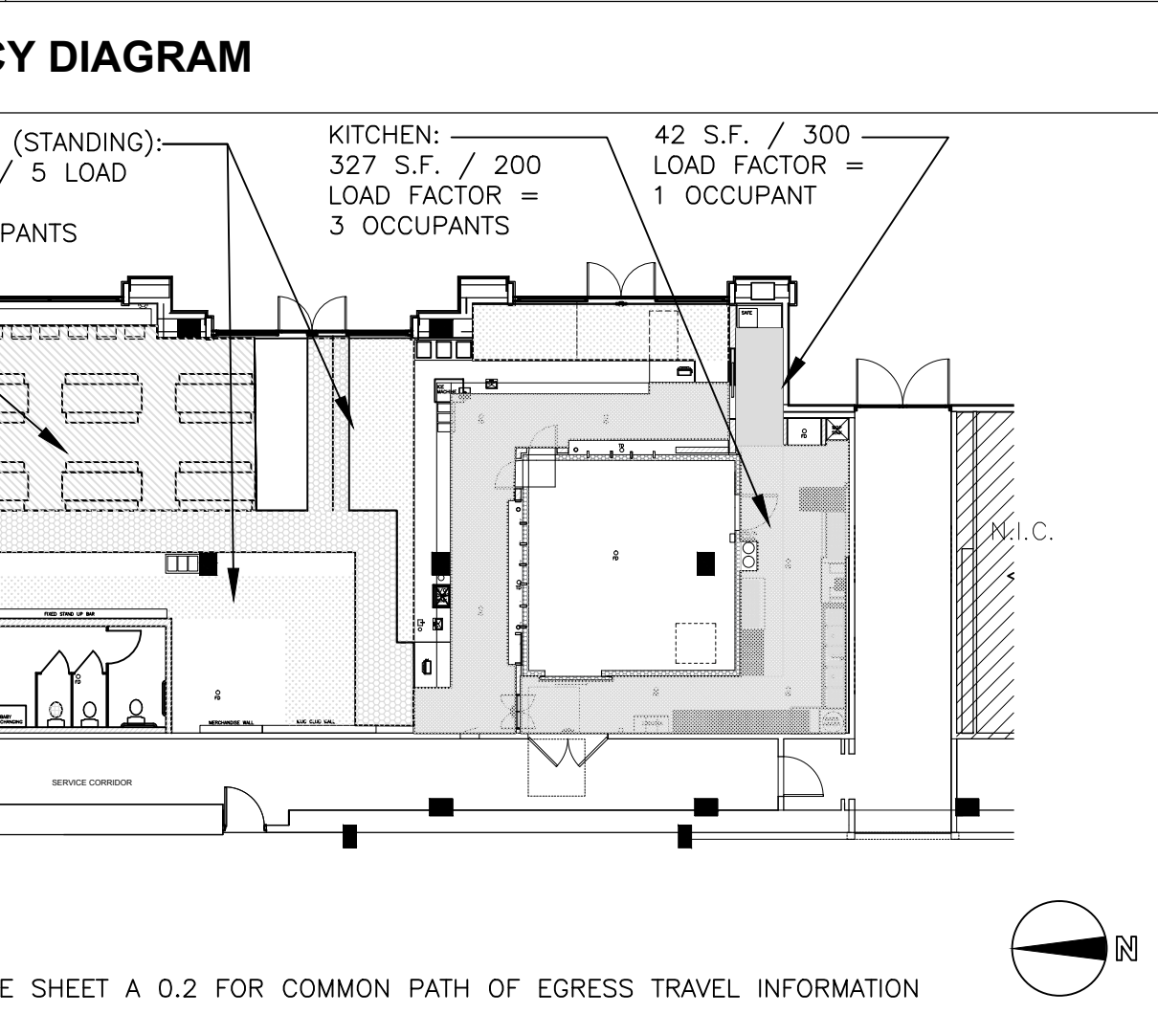
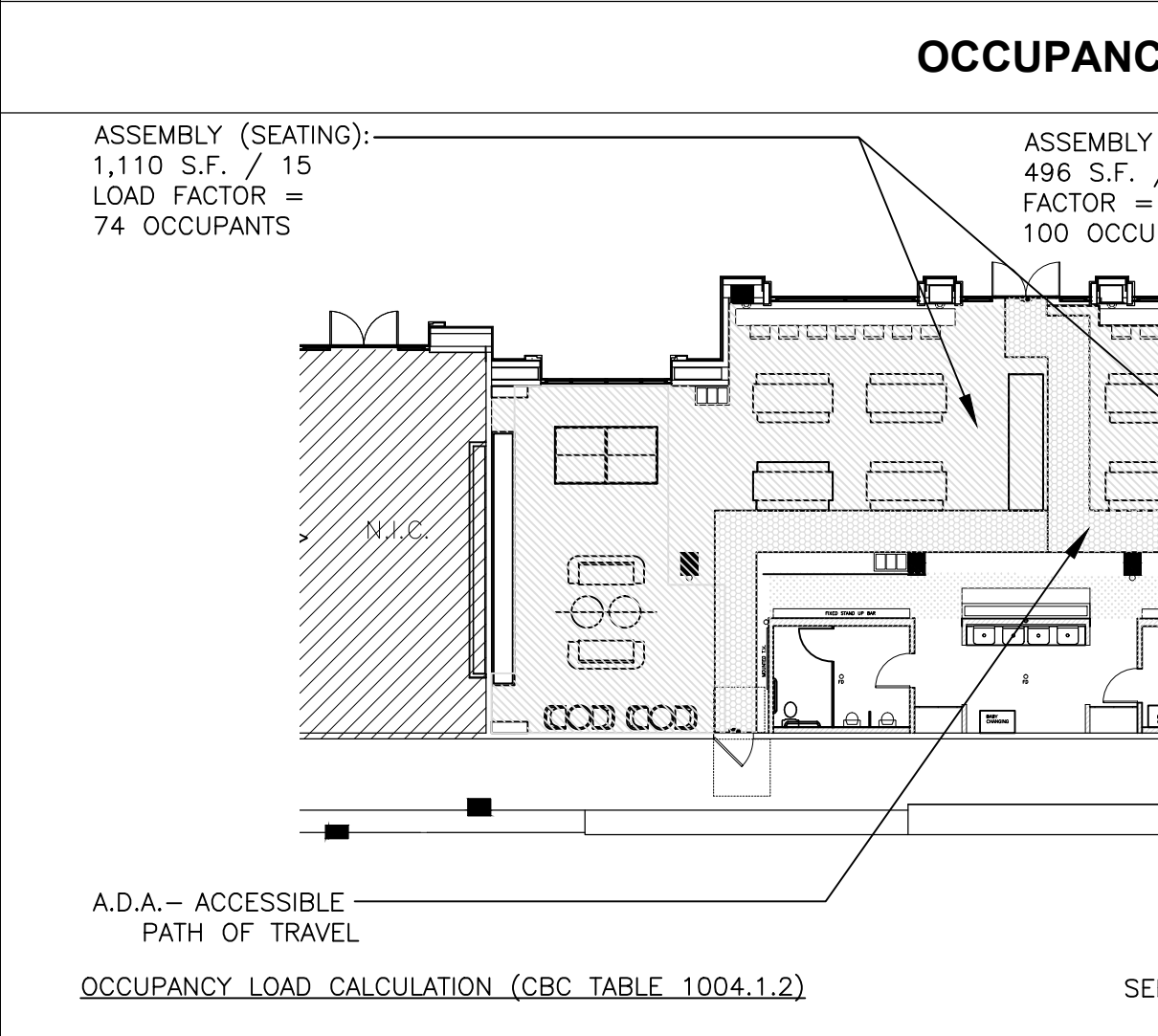
TENANT IMPROVEMENT OF A NEW TAPROOM IN AN EXISTING GROUND FLOOR RETAIL SPACE IN A FIVE STORY HIGH RISE RESIDENTIAL BUILDING. NEW INTERIOR PARTITIONS, KITCHEN EQUIPMENT, MILLWORK AND FINISHES.

NEW SPRINKLER SYSTEM AT THE GROUND FLOOR UNDER DEFERRED SUBMITTAL.

NO CHANGES TO EXTERIOR BUILDING UNDER THIS PERMIT.

GENERAL CONTRACTOR NOTES

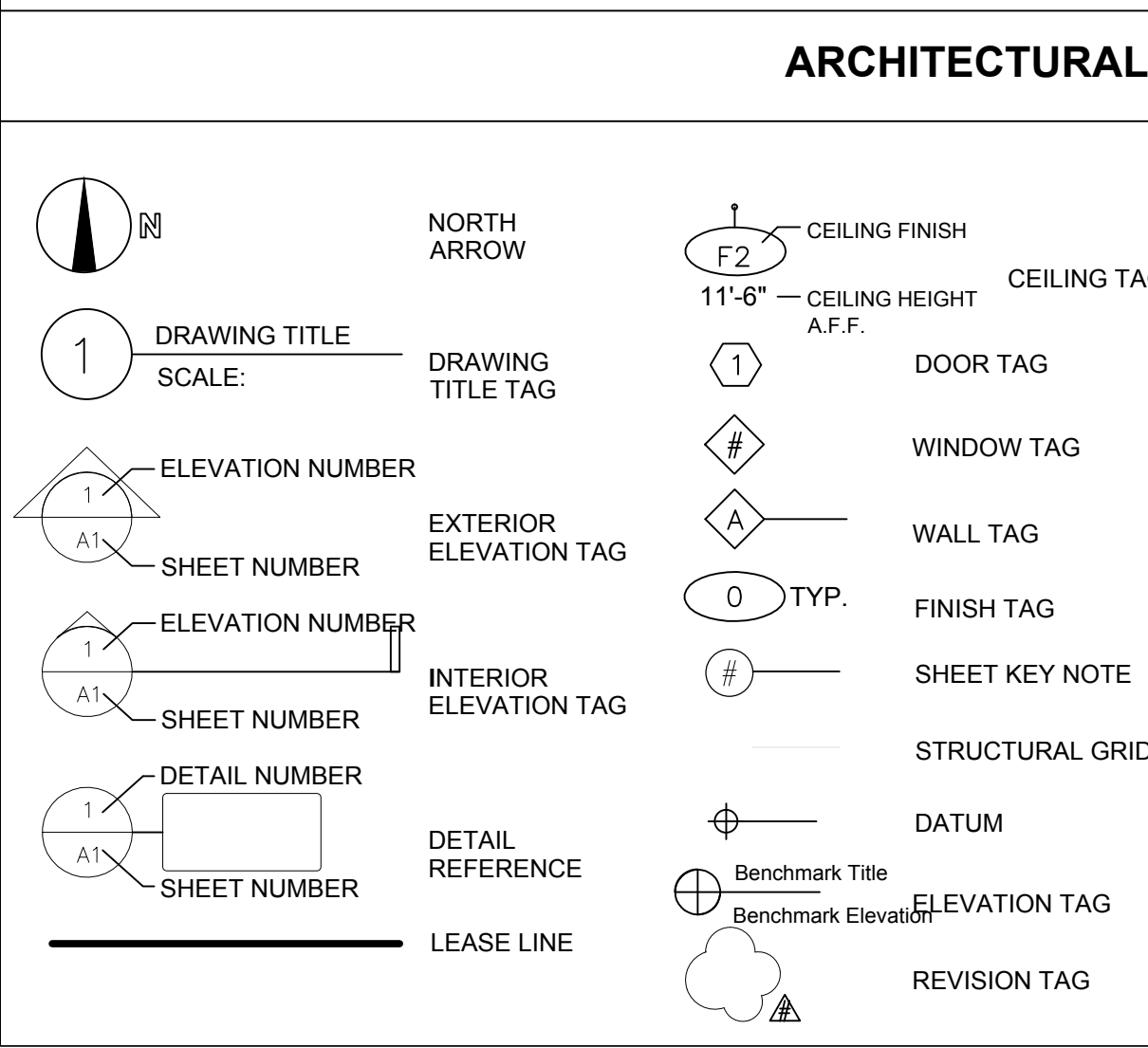
- GENERAL CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO EXECUTING THE WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR OWNERS REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
- PERMIT EXPEDITER OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES, PERMITS, UTILITY CONNECTION FEES AND OTHER ASSOCIATED COSTS AS REQUIRED BY GOVERNMENT AGENCIES OR UTILITY COMPANIES.
- PERMIT EXPEDITER OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS REQUIRED BY THESE CONTRACT DOCUMENTS OR GOVERNMENT AGENCY IN REGARD TO INSPECTION.
- ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES.
- EXTERIOR SIGNAGE AS SHOWN ON THESE DOCUMENTS IS FOR CONVENIENCE ONLY AND ANY PERMITS REQUIRED SHALL BE UNDER A SEPARATE CONTRACT.
- FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED BY GENERAL CONTRACTOR AND INCLUDED IN CONTRACT.
- GENERAL CONTRACTOR SHALL MAKE NO REVISIONS, ALTERATIONS OR CHANGES TO THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND/OR OWNERS REPRESENTATIVE. NO ADDITIONAL COSTS FROM THE GENERAL CONTRACTOR SHALL BE CONSIDERED AND THE WORK MAY BE REQUIRED TO BE REMOVED WITHOUT SUCH APPROVAL BY ARCHITECT.
- GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL TRADES AS REQUIRED BY CODE. LOCATIONS TO BE APPROVED BY ARCHITECT AND/OR OWNERS REPRESENTATIVE PRIOR TO EXECUTION OF WORK.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE AND BE RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, SELECTING FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATING HIS/HER WORK WITH ALL OTHER TRADES AND PERFORMING HIS/HER WORK IN A SAFE, COMPLETE, AND SATISFACTORY MANNER.
- ALL WALL DIMENSIONS ARE F.O.F. TO F.O.F., U.N.O.
- PROVIDE BLOCKING AT WALLS WHERE REQUIRED FOR SUPPORT OF SHELVING.
- ALL EXITS TO BE OPENED FROM INSIDE WITHOUT USE OF A KEY.



ENVIRONMENTAL HEALTH DEPARTMENT NOTES

THE FOLLOWING NOTES REFER TO ALL FOOD PREPARATION AND STORAGE AREAS, DISHWASHER, GARBAGE, AND REFRIGERATION ROOMS. LOCALLY ADOPTED CODES PREVAIL IN THE EVENT OF ANY CONFLICTS.

- ALL FOOD SERVICE EQUIPMENT SHALL MEET DESIGN, MATERIALS AND CONSTRUCTION OF NATIONAL SANITATION FOUNDATION (NSF). WOOD AND PLASTIC LAMINATE CONSTRUCTED COUNTERTOPS AND BARDS MUST MEET HEALTH DEPARTMENT STANDARDS AND ALL EXPOSED WOOD MUST HAVE AN APPROPRIATE SEALER OR BE OTHERWISE PROTECTED FROM DETRIORATION.
- ALL EQUIPMENT, OTHER THAN EASILY MOVABLE EQUIPMENT, (ON CASTERS OR LIGHT ENOUGH FOR EASY MOVEMENT), SHALL BE INSTALLED WITH SUFFICIENT UNOBSTRUCTED SPACE BETWEEN AND BEHIND THE EQUIPMENT TO PERMIT CLEANING OR BE SEALED TO THE WALL AND ADJOINING EQUIPMENT. EQUIPMENT NOT ON CASTERS SHALL HAVE AT LEAST 6 INCHES OF CLEAR SPACE BENEATH, BE SEALED TO THE FLOOR, OR PLACED ON A 6" MINIMUM CURBS AND SEALED TO THE CURB.
- ALL FOOD SERVICE EQUIPMENT DRAINS SHALL BE INDIRECTLY CONNECTED TO SEWER WITH A PROPER VACUUM BREAK PROVIDED. FLOOR SINKS MUST BE INSTALLED FLUSH WITH THE FINISHED FLOOR AND ACCESSIBLE FOR CLEANING (AT LEAST 1/2 EXPOSED FROM UNDER EQUIPMENT).
- A CENTRAL REFUSE FACILITY IS PROVIDED BY THE LANDLORD FOR USE BY THIS RESTAURANT.
- FLOORS AND WALLS IN FLOOD PREPARATION AND STORAGE AREAS SHALL BE OF SMOOTH, DURABLE, IMPERVIOUS TO WATER, ACID, AND GREASE AND FINISHED SO AS TO BE EASILY CLEANABLE. FLOORWALL JUNCTURES SHALL BE SEALED AND PROPERLY COVERED. BARE CEMENT FLOORS MUST HAVE AN APPROPRIATE SEALER-HARDENER APPLIED. ALL WALL SURFACES SHALL BE SEALED WITH AT LEAST OIL-BASE ENAMEL PAINT.
- DOORS AND OTHER OPENINGS TO OUTSIDE SHALL BE TIGHT-FITTING AND SELF-CLOSING.
- FLOOR SURFACES IN AREAS WITH REQUIRED FLOOR DRAINS SHALL BE SLOPED 1:50 TO THE FLOOR DRAINS.
- LOCATION AND INSTALLATION OF MOP SINK MUST BE MADE TO PRECLUDE THE POSSIBILITY OF CONTAMINATION OF FOODSTUFFS AND PREPARATION AREAS.
- ADEQUATE AND SUFFICIENT EXHAUST AND FRESH-AIR INTAKE VENTILATION SHALL BE PROVIDED IN FOOD PREPARATION AREAS, FOOD SERVING AREAS, UTENSIL WASHING ROOMS, GARBAGE AND RUBBISH ROOMS. VENTILATION HOODS WITH ADEQUATE MECHANICAL EXHAUST SHALL BE PROVIDED ABOVE ALL COOKING EQUIPMENT SUCH AS RANGES, OVENS, GRILLES, ETC., TO EFFECTIVELY REMOVE COOKING ODORS, SMOKE GREASE AND STEAM. EXHAUST HOODS SHALL MEET NSF STANDARDS.
- FIFTY (50) FOOTCANDLES OF LIGHT (30" ABOVE THE FLOOR) IS REQUIRED WHERE FOOD IS PREPARED, MANUFACTURED, PROCESSED OR PACKAGED, AND WHERE UTENSILS ARE CLEANED (EXCEPT THAT SURFACES ON WHICH ALCOHOLIC BEVERAGES ARE PREPARED OR WHERE UTENSILS USED IN THE PREPARATION OR SERVICE OF ALCOHOLIC BEVERAGES ARE CLEANED SHALL HAVE AT LEAST 10 FOOTCANDLES OF LIGHT). TWENTY (20) FOOTCANDLES OF LIGHT (30" ABOVE THE FLOOR) IS REQUIRED DURING GENERAL CLEANING. LIGHT FIXTURES IN AREAS WHERE FOOD IS PREPARED OR OPEN FOOD IS STORED OR WHERE UTENSILS ARE CLEANED SHALL BE OF SHATTERPROOF CONSTRUCTION OF HAVE SHATTERPROOF SHIELDS AND SHALL BE READILY CLEANABLE.
- EXCEPT FOR LARGE OR BULKY CONTAINERS, ALL FOOD SHALL BE STORED AT LEAST 6" OFF OF THE FLOOR.



ABBREVIATIONS

&	AND	CONT.	CONTINUOUS	EXT.	EXTERIOR	INT.	INTERIOR	P.LAM	PLASTIC LAMINATE	STRUCT.	STRUCTURAL
AT	AT	CORR.	CORRIDOR	EXTR.	EXTRUSION	JAN.	JANITOR	P.LYWD	PLYWOOD	T.	TREAD
CL	CENTERLINE	C.P.C.	CALIFORNIA PLUMBING	F.F.	FIRE ALARM	J.C.	JANITOR'S CLOSET	PR.	PAIR	T.B.D.	TO BE DETERMINED
±	PLUS OR MINUS	CTR.	CENTER	F.E.	FIRE EXTINGUISHER	J.T.	JOINT	PT.	POINT	TEL.	TELEPHONE
#	PROPERTY LINE	CTS.	COUNTERSUNK	F.E.C.	FIRE EXTINGUISHER CABINET	KIT.	KITCHEN	P.N.	PARTITION	TEMP.	TEMPORARY
#	POUND OR NUMBER ABOVE FINISH FLOOR	DBL.	DOUBLE	FIN.	FINISH	LAM.	LAMINATE	R.	RISER	THK.	THICK
AL.	ALUMINUM	DEPT.	DEPARTMENT	FL.	FLOOR	LAV.	LAVATORY	R.F.	REF. REFERENCE	T.O.	TOP OF
ALUM.	ALUMINUM	D.F.	DRINKING FOUNTAIN	FLUOR.	FLUORESCENT	MAX.	MAXIMUM	REQ.	REQUIRED	T.O.S.	TOP OF SLAB
ANOD.	ANODIZED	DIA.	DIAMETER	F.O.C.	FACE OF CONCRETE	MECH.	MECHANICAL	R.F.P.	REINFORCED	T.O.W.	TOP OF WALL
APPROX.	APPROXIMATE	DIM.	DIMENSION	F.O.F.	FACE OF FINISH	MEMB.	MEMBRANE	REQ.	REQUIRED	TYP.	TYPICAL
A.R.	AS REQUIRED	DISP.	DISPENSER	F.O.P.	FACE OF FINISH	MET.	METAL	R.F.P.	REINFORCED	U.L.	UNDERWRITERS LABORATORY
ARCH.	ARCHITECTURAL	DN.	DOWN	F.O.S.	FACE OF STUD	MEZZ.	MEZZANINE	RM.	ROOM	U.O.N.	UNLESS OTHERWISE NOTED
A/V	AUDIO/VISUAL	DR.	DOOR	FT.	FOOT or FEET	MFR.	MANUFACTURER	R.O.	ROUGH OPENING	UTIL.	UTILITY
BD.	BOARD	DWG.	DRAWING	FUR.	FURRING	MIN.	MINIMUM	S.	SOUTH	VAR.	VARIABLE
BLDG.	BUILDING	DWR.	DRAWER	FUT.	FUTURE	MISC.	MISCELLANEOUS	S.C.D.	SEE CIVIL DRAWINGS	VERT.	VERTICAL
BLK.	BLOCK	(E)	EXISTING	F.V.	FIELD VERIFY	M.O.	MASONRY OPENING	SCHED.	SCHEDULE	V.I.F.	VERIFY IN FIELD
BLKG.	BLOCKING	E	EAST	GA.	GAUGE	M.T.	MOUNTED	SECT.	SECTION	VOL.	VOLUME
B.O.	BOTTOM OF	E.A.	EACH	GALV.	GALVANIZED	MTG.	MOUNTING	S.E.D.	SEE ELECTRICAL DWGS	W.	WIDTH
BTWN.	BETWEEN	E.E.	EXPANSION JOINT	G.C.	GENERAL CONTRACTOR	MUL	MULLION	S.F.	SQUARE FEET	W.	WIDTH
CAB.	CABINET	E.	ELEVATION	GEN.	GENERAL	(N)	NEW	SIM.	SIMILAR	W.	WIDTH
C.F.C.I.	CONTRACTOR FURNISH & INSTALL	ELEV.	ELEVATION	GYP.	GYPSONUM	N.	NORTH	S.M.D.	SEE MECHANICAL DRAWINGS	W.C.	WATER CLOSET
CLG.	CEILING	ELEV.	ELEVATION	H.B.	HOSE BIB	N.I.C.	NUMBER	SPEC.	SPECIFICATION	WD.	WOOD
CLKG.	CAULKING	EMER.	EMERGENCY	H.C.	HANDICAPPED	N.O.M.	NOMINAL	SQ.	SQUARE	W/O.	WIDTH OCCURS
CLOS.	CLOSET	ENGR.	ENGINEER	H.M.	HOLLOW METAL	N.T.S.	NOT TO SCALE	S.S.D.	SEE STRUCTURAL DRAWINGS	W/O.	WITHOUT
CLR.	CLEAR	E.P.	ELECTRICAL PANEL	HORIZ.	HORIZONTAL	O.A.	OVERALL	STD.	STANDARD	WT.	WEIGHT
C.O.	CLEAN OUT	EQ.	EQUAL	HR.	HOUR	O.C.	ON CENTER	STL.	STANDARD	YD.	YARD
COL.	COLUMN	EQPT.	EQUIPMENT	HT.	HEIGHT	O.F.S.	OUTSIDE FACE OF STUD	STOR.	STORAGE	X or x BY	

DEFERRED SUBMITTALS

THE FOLLOWING SCOPES MAY REQUIRE SEPARATE ADDITIONAL PERMITS. SCOPES INCLUDING, BUT NOT LIMITED TO:

- SIGNAGE BY OTHERS
- FIRE SPRINKLERS BY OTHERS

BAREBOTTLE BREW COMPANY
SANTA CLARA SQUARE
BUILDING ONE
2520 AUGUSTINE SQUARE
SANTA CLARA, CA 95054

BARE BOTTLE CO.

SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

SUBMITTAL/REVISIONS
LANDLORD/PERMIT SUBMITTAL SET
12/21/18

PROJECT DATA & CODE INFORMATION

SHEET NUMBER
A0.0

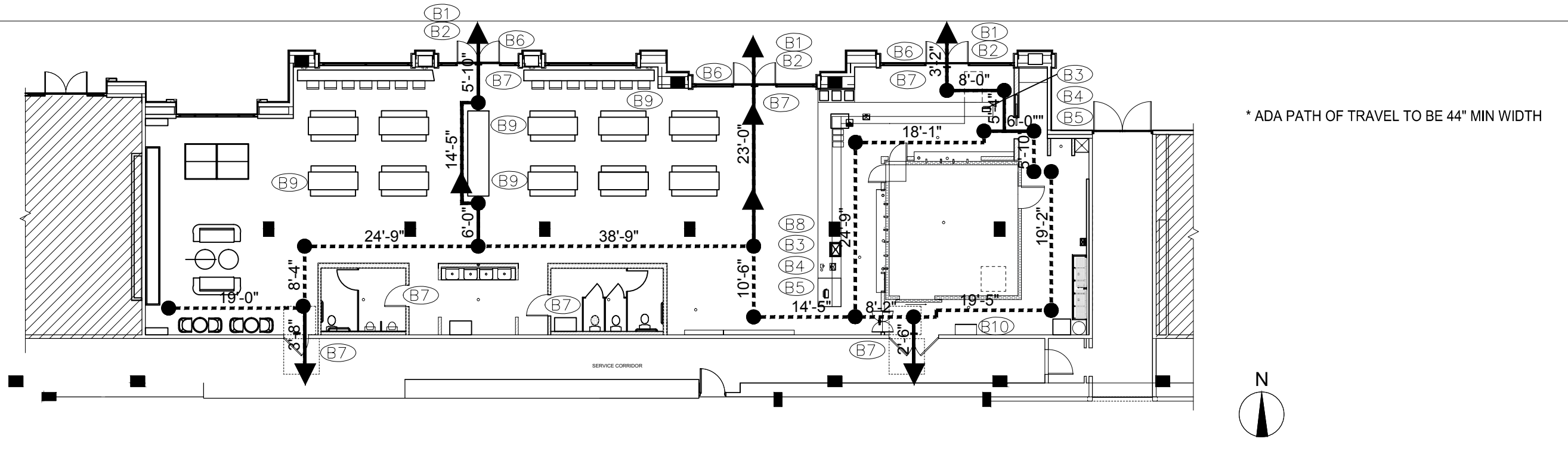
DOOR ACCESSIBILITY NOTES

- DOORS AND DOOR FRAMES AT RATED DOORS SHALL BEAR UL LABEL
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OF THE EXCEPTIONS TO THE SECTION 1008.1.9.4. ARE MET.
- THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT, WITH 1/4" BEVELED EDGE
- ALL LEGAL EXIT DOORS SHALL BE PROVIDED WITH SELF ILLUMINATED EXIT SIGNS HAVING 6" LETTERS WITH 3/4" STROKES.
- DOORS WITHIN THE ACCESSIBLE PATH OF TRAVEL TO BE OPERABLE WITH A SINGLE EFFORT BY LEVER, PANIC BAR, OR PUSH/PULL HARDWARE CENTERED BETWEEN 34" AND 44" A.F.F.. DOORS TO COMPLY WITH NOTES ON SHEETS A004A-D.
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED.
- ENTRANCE DOOR TO HAVE KEY OPERATED LOCKING DEVICE ON EGRESS SIDE OF DOOR. LOCKING DEVICE SHALL BE READILY DISTINGUISHABLE AS LOCKED. DOOR TO BE PROVIDED WITH READILY VISIBLE SIGN STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" SIGN SHALL BE IN LETTER 1 INCH HIGH ON A CONTRASTING BACKGROUND.
- GENERAL CONTRACTOR TO VERIFY EXISTING DOORS TO REMAIN COMPLY WITH REQUIREMENTS STATED HEREIN.
- DOORS TO OPERATE WITH A MAXIMUM OF 5 POUNDS OF EFFORT.
- ALL ENTRY DOORS SHALL HAVE A CLOSING DEVICE.

PATH OF TRAVEL KEYNOTES

- (B1) ACCESSIBLE ENTRY DOOR AND THRESHOLD PER DETAIL 2/A005A.
- (B2) DOOR SHALL OPERATE WITH NO MORE THAN 5 POUNDS OF FORCE OR AN AUTO OPERATOR SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE PRICE FOR FULL INSTALLATION OF OPERATOR INCLUDING SIGNAGE, WIRING, POWER & HIGH-LOW PUSH PLATES AT EACH SIDE.
- (B3) 30" x 48" SIDE APPROACH CLEAR FLOOR SPACE. SEE 304/A004A.
- (B4) 30" x 48" FRONT APPROACH CLEAR FLOOR SPACE. SEE 304/A004A.
- (B5) 34" HIGH TRANSACTION COUNTER.
- (B6) INTERNATIONAL SYMBOL OF ACCESSIBILITY PER SECTION 703.7.2.1/SHEET A004D.
- (B7) DOOR CLEARANCE, TYP. - SEE 404/A004A.
- (B8) ACCESSIBLE SELF-SERVE WATER STATION ON 34" HIGH COUNTER.
- (B9) (2) REQUIRED WHEELCHAIR SPACES FOR NUMBER OF SEATS BETWEEN 26 TO 50 PER 2016 CBC TABLE 11B-221.2.1.1
- (B10) (2) ACCESSIBLE LOCKERS; MIN 5% OF TOTAL. 12 LOCKERS TO BE ACCESSIBLE. REQUIRED 30" x 48" CLEARANCE IN FRONT.

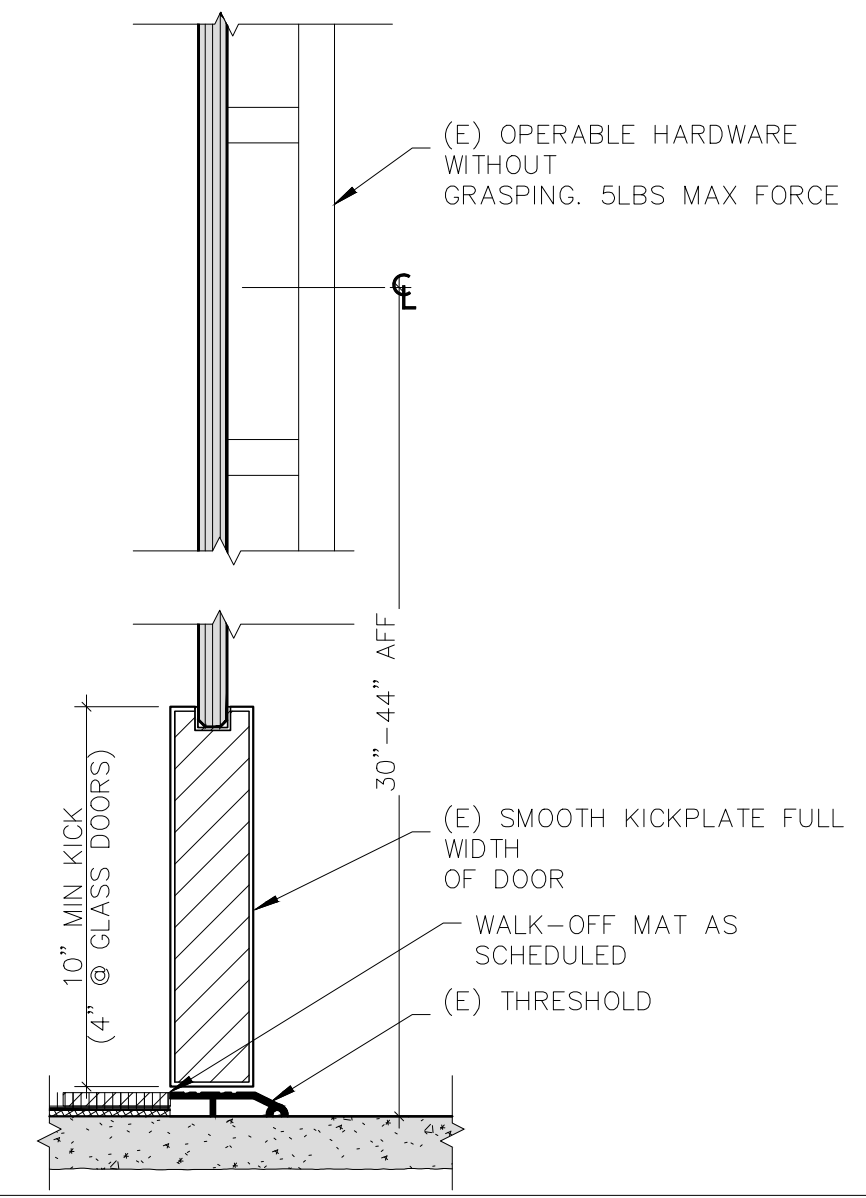
ACCESSIBLE PATH OF TRAVEL PLAN



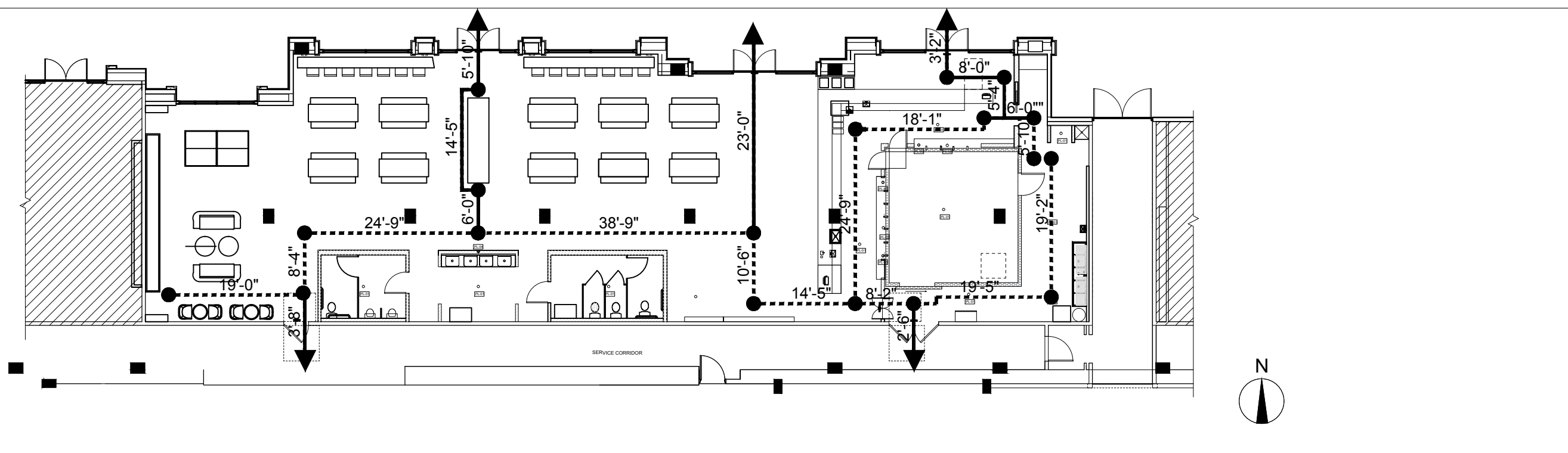
DOOR HARDWARE GENERAL NOTES

- ALL DOORS TO COMPLY WITH ADA AND TITLE 24 ACCESS REQUIREMENTS, U.O.N. SEE SHEETS A042 FOR ACCESSIBILITY REQUIREMENTS.
- WOOD DOORS SHALL BE W.D.M.A. PREMIUM GRADE. ALL DOORS SHALL BE 5-PLY CONSTRUCTION AS MANUFACTURED BY ALGOMA HARDWOODS, EGGERS INDUSTRIES, OR MARSHFIELD DOOR. 7-PLY DOORS ARE NOT ACCEPTABLE. ANY SUBSTITUTIONS TO THE THREE LISTED MANUFACTURERS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO BID.
- ALL STAIN GRADE DOORS SHALL BE FACTORY FINISHED WITH MFR'S STANDARD UV CURED FINISH. SEE DOOR FINISH TYPES FOR ADDITIONAL INFORMATION.
- HINGES SHALL BE BY HAGER, MCKINNEY, OR STANLEY. ALL OPENINGS WITH CLOSERS AND ALL RATED OPENINGS SHALL HAVE BALL BEARING HINGES. DOORS GREATER THEN 36" IN WIDTH SHALL HAVE HEAVYWEIGHT HINGES. ONE HINGE SHALL BE PROVIDED FOR EACH 30" OF DOOR HEIGHT.
- LOCKS SHALL MATCH BUILDING STANDARD, U.O.N.
- CLOSERS SHALL BE BY LCN. ALL CORRIDOR DOORS SHALL HAVE 40104110 MODEL CLOSERS WITH INDICATED FINISH. INTERIOR DOORS SHALL HAVE 1461 MODEL CLOSERS WITH INDICATED FINISH.
- FLUSH BOLTS AND COORDINATORS SHALL BE BY IVES OR DOOR CONTROLS INTERNATIONAL.
- FLAT GOODS SHALL BE BY IVES, HAGER, OR ROCKWOOD.
- SMOKE GASKET, THRESHOLDS, ASTRAGALS, DOOR BOTTOMS, ETC. SHALL BE BY PEMKO OR NATIONAL GUARD PRODUCTS
- PROVIDE FLOOR STOP AT ALL LOCATIONS WHERE DOOR WILL STRIKE PARTITION. PROVIDE RISERS AND DOOR MATES AS NECESSARY.
- RIGHT HAND LEAF OF PAIR DOORS TO BE ACTIVE, U.O.N.
- MOUNT CLOSER ON PULL SIDE OF DOOR, U.O.N.
- FIELD MEASURE FLOOR TO CEILING CLEARANCE PRIOR TO ORDERING DOORS TO ENSURE PROPER FIT.
- CONNECT ELECTROMAGNETIC HOLDERS TO BUILDING LIFE SAFETY SYSTEM.
- PROTECT PREFINISHED SURFACES AND REPAIR ANY DAMAGE TO NEW AND (E) DOORS TO BE RELOCATED. SAMPLES AND (E) HARDWARE SAMPLES.
- SUBMIT DOOR AND HARDWARE SCHEDULE WITH PROPOSED ITEMS TO ARCHITECT FOR REVIEW BEFORE ORDERING ITEMS.
- ALL H.D.W.R. TO HAVE FINISH: ""BRUSHED STAINLESS US260"".
- SALVAGE H.D.W.R. AT DOORS TO BE RELOCATED.
- PROVIDE APPROPRIATE SMOKE SEALS AND 'S' LABEL ASSEMBLIES AT ALL RATED DOORS.
- COORDINATE WITH SECURITY VENDOR ON ALL DOORS REQUIRING CARD READERS OR OTHER EXITING / SECURITY DEVICES.
- ALL RATED DOORS WITH GLASS TO HAVE CLEAR RATED GLASS WITH RATING TO MATCH DOOR.
- LEVER TYPE TO BE ""SHLAGE RHODES STYLE, WITH 2" ESCUCHEON"".
- ANY FIRE RATED DOORS THAT ARE TO BE REMOVED AND BE REPLACED ARE TO REMAIN IN PLACE UNTIL (N) DOORS ARE READY FOR INSTALLATION.
- KEYING BY LANLORD, U.O.N.

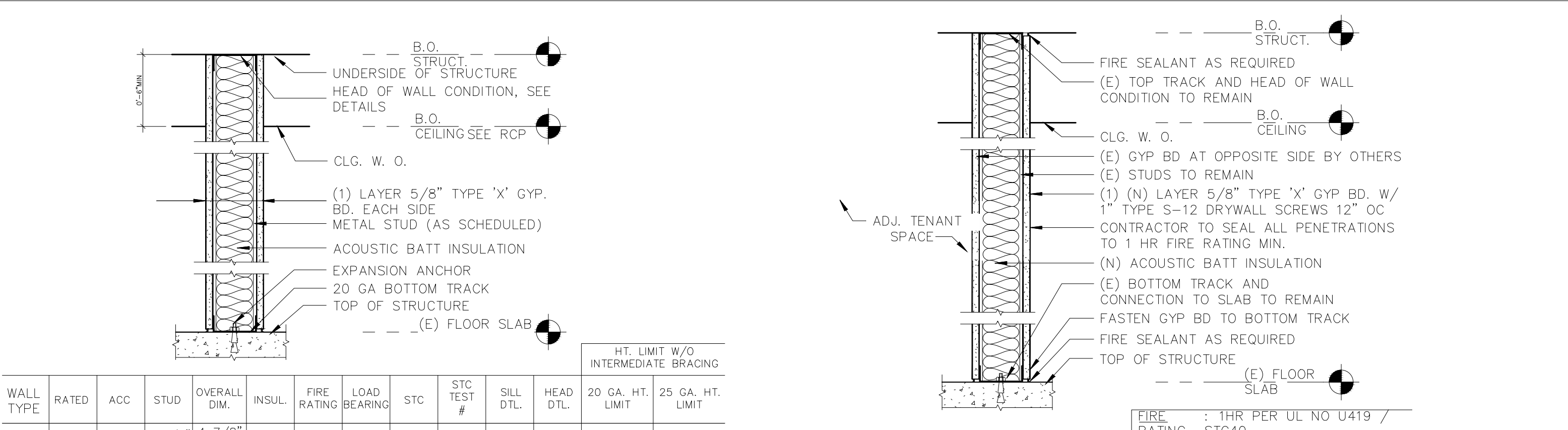
A.D.A. DOOR THRESHOLD



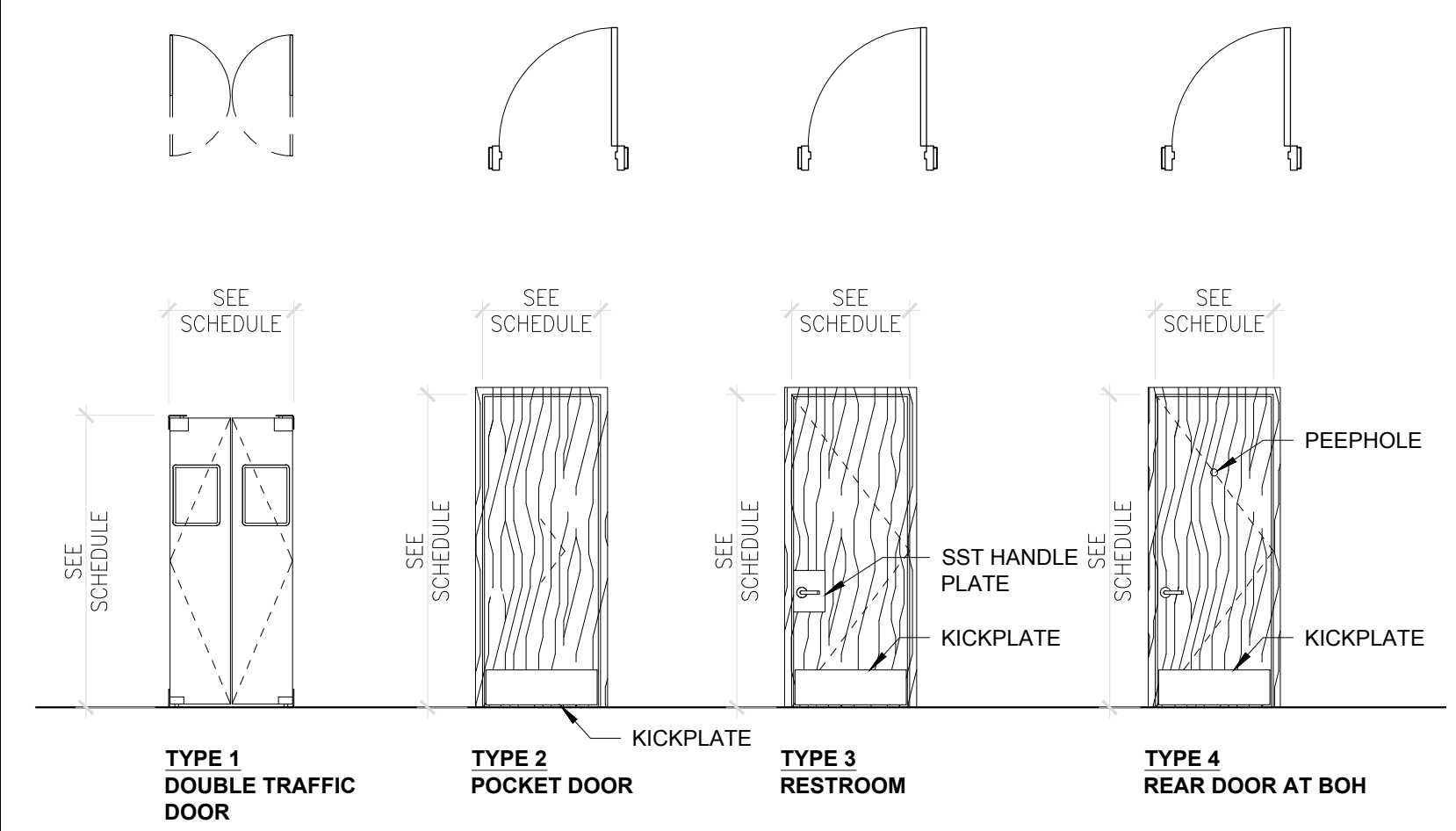
EXITING DIAGRAM (NTS)



WALL PARTITION SCHEDULE



DOOR TYPE ELEVATIONS



PARTITION TYPE NOTES

- SEE STRUCTURAL DRAWINGS FOR WOOD STUD SPACING, STUD DOUBLING, NAILING & SCREWING SCHEDULE, AND ADDITIONAL INFORMATION.
- REFER TO GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL AND CBC TABLE 720.1 (2) [CRC R302] FOR REFERENCE RATED WALL ASSEMBLIES, FIREBLOCKING, DRAFTSTOPPING.
- ATTACHMENT OF WALL SHEATHING AND FINISHES TO COMPLY WITH THE REQUIREMENTS OF THE REFERENCED WALL RATED WALL ASSEMBLY AND STRUCTURAL DRAWINGS
- THERMAL INSULATION TO FILL WALL CAVITY. MINIMUM R-13 INSULATION IN 2X4 WOOD-FRAME WALLS & MINIMUM R-19 INSULATION IN 2X6 WOOD-FRAME WALLS OR EQUIVALENT U-FACTOR.
- REFER TO ASTM C1063 FOR CEMENT PLASTER ASSEMBLIES.
- WHERE INFORMATION DIFFERS FROM CONSULTANT DRAWINGS, USE MORE STRINGENT CRITERIA & CONTACT ARCHITECT TO CONFIRM.
- VERIFY STUD SIZES WITH STRUCTURAL DRAWINGS AND DETAILS, AND NOTIFY ARCHITECT OF ANY CONFLICTS.

DOOR SCHEDULE

DOOR NUM	ELEV. TYPE	DOOR					FRAME				RATING	HDWR	COMMENTS	
		WIDTH	HEIGHT	THICK	MATERIAL	FINISH	HEAD	JAMB	MATERIAL	FINISH				
01	EXISTING	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	
02	3	3'-0"	7'-0"	1 3/4"	SC WD	PT	1/A5.1	2/5.1	STL	PT	NR	GP-2		
03	3	3'-0"	7'-0"	1 3/4"	SC WD	PT	1/A5.1	2/A5.1	STL	PT	NR	GP-2		
04	1	3'-0"	7'-0"	3/4"	HM	STAINLESS								
05	EXISTING	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	
06	2	3'-0"	7'-0"	1 3/4"	SC WD	PT	1/A5.1	2/5.1	STL	PT	NR			
07	PER MFR	4'-0"	7'-0"	2"	PER MFR	PER MFR			PER MFR	PER MFR	NR	PER MFR	WALK-IN COOLER GLASS DOOR PER MFR.	
08	PER MFR	28"	7'-0"	2"	PER MFR	PER MFR			PER MFR	PER MFR	NR	PER MFR	INSULATED WALK-IN COOLER WITH VIEW WINDOW PER MFR.	
09	EXISTING	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)		
10	EXISTING	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)		

CODE COMPLIANCE ANALYSIS

OCCUPANCY	MAXIMUM OCCUPANT LOAD	MAX. COMMON PATH OF TRAVEL (WITH SPRINKLERS)	ACTUAL PROVIDED
A2	290	150'-0"	A2 39
MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE: 26'-3" = 6'-0" + 14'-5" + 5'-10"			MAX. COMMON PATH OF TRAVEL (WITH SPRINKLERS) 48'-11"
MAXIMUM ACTUAL EXIT ACCESS TRAVEL DISTANCE: 26'-3" = 6'-0" + 14'-5" + 5'-10"			MAX. DISTANCE TO EXIT 56'-9"
			(1) EXIT REQUIRED (2) EXITS PROVIDED

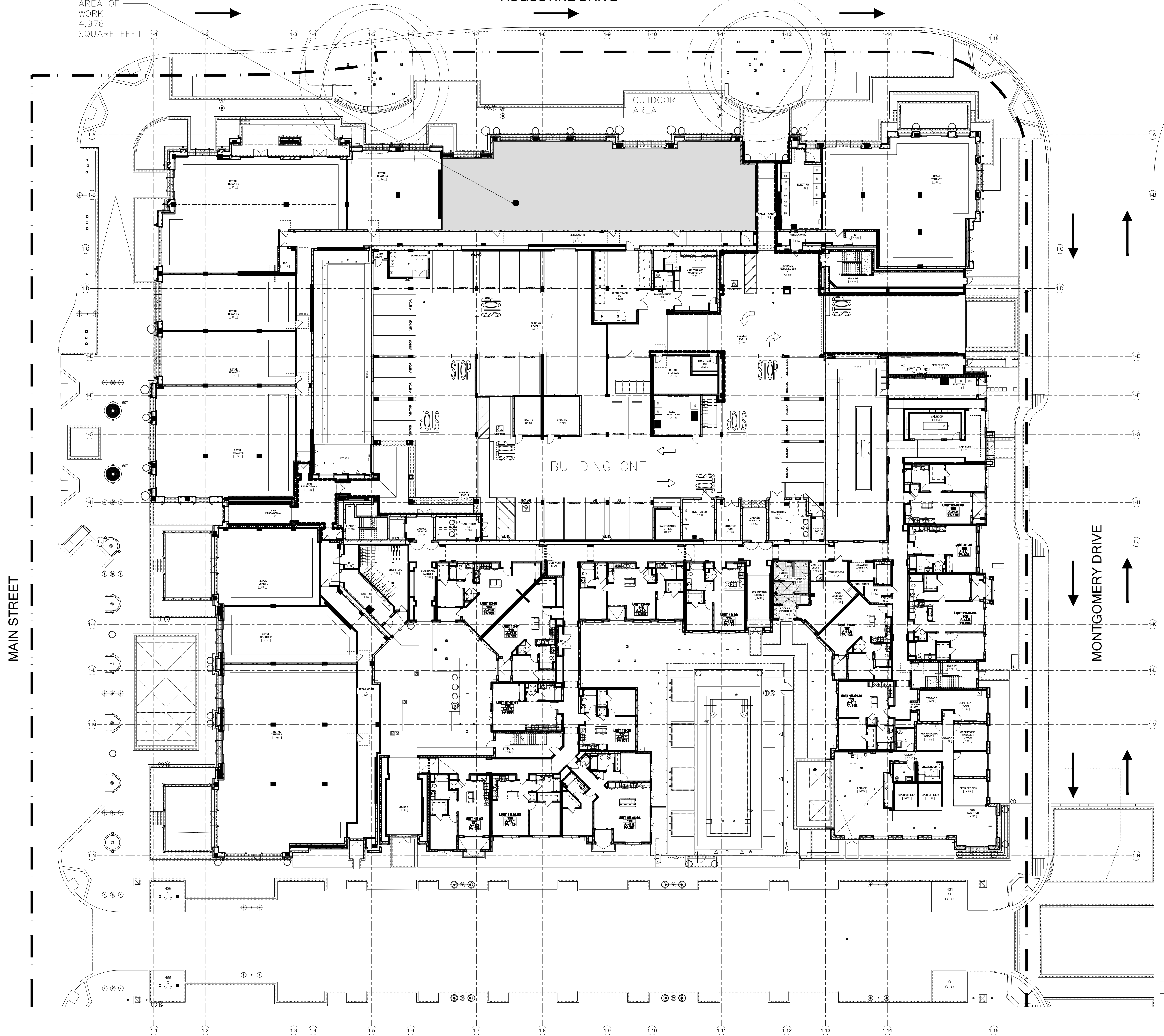
SUBMITTAL/REVISIONS
LANDLORD/PERMIT
SUBMITTAL SET

GENERAL NOTES
WALL SCHEDULE & DETAILS
DOOR SCHEDULE,
EXITING DIAGRAM-GROUND FLOOR

SHEET NUMBER
A0.2

AREA OF WORK = 4,976 SQUARE FEET

AUGUSTINE DRIVE



SITE PLAN LEGEND	
	PROJECT SITE 2520 AUGUSTINE DRIVE 4,976 SQUARE FEET
	PROPERTY LINE
	STREET DRIVE APPROACH
SITE PLAN GENERAL NOTES	
LOT 1, BLOCK A/948 CITY PLAN FILE NO. S123-057 CITY ENGINEER PLAN FILE NO. 311T-8312	
1. BUILDING CONSTRUCTION TYPE: 1-A 2. BUILDING IS FULLY SPRINKLED	
PARKING ANALYSIS	
RETAIL PARKING REQUIREMENTS PER APPROVED DEVELOPMENT PLAN FILE NUMBERS: AGENCY AA#BLDG2016-42026	
1. RETAIL OUTDOOR SEATING PARKING STALL REQUIREMENTS ARE LOCATED IN BUILDING 1 GARAGE WITH 48 STALLS PROVIDED	
2. 200 RETAIL PARKING STALLS ARE PROVIDED IN ADJACENT OFFICE PARKING GARAGE G-2	
3. BUILDING 1 MOTORCYCLE QUANTITY REQUIREMENT: 1 STALL PER 40 UNITS: 153 UNITS/40= 4.85 PROVIDED: 5 STALLS	

BAREBOTTLE BREW COMPANY
SANTA CLARA SQUARE
BUILDING ONE
2520 AUGUSTINE SQUARE
SANTA CLARA, CA 95054

BREW BOTTLE CO

SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

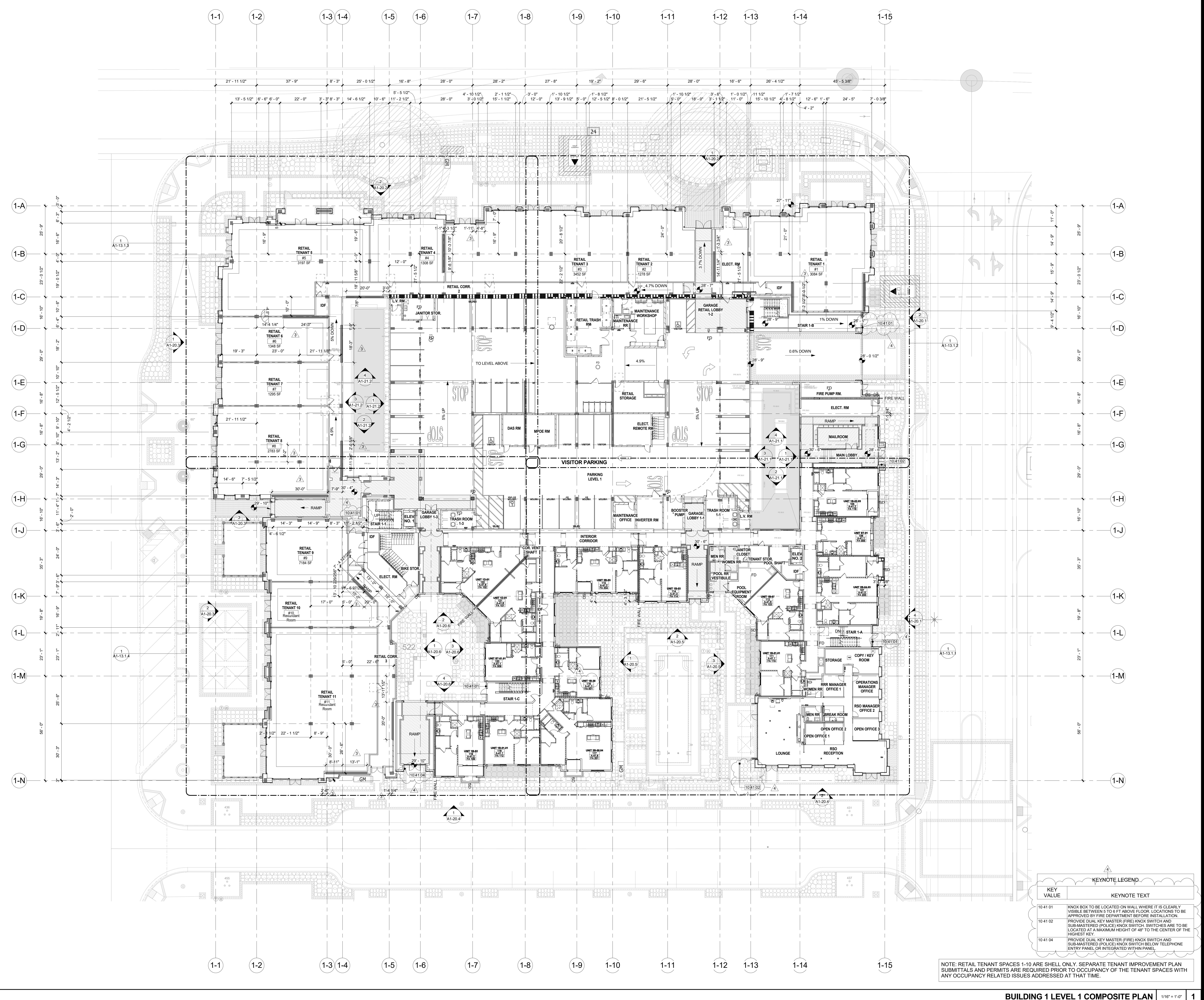
SUBMITTAL/REVISIONS
LANDLORD/PERMIT SUBMITTAL SET 12/21/18

SITE PLAN

SHEET NUMBER
A0.3

1 SITE PLAN
1" = 250'-0"

4/20/17 10:22:46 AM B:\130\SS\Arch\Drawings\Phase 1\ARCHITECTURE\B104



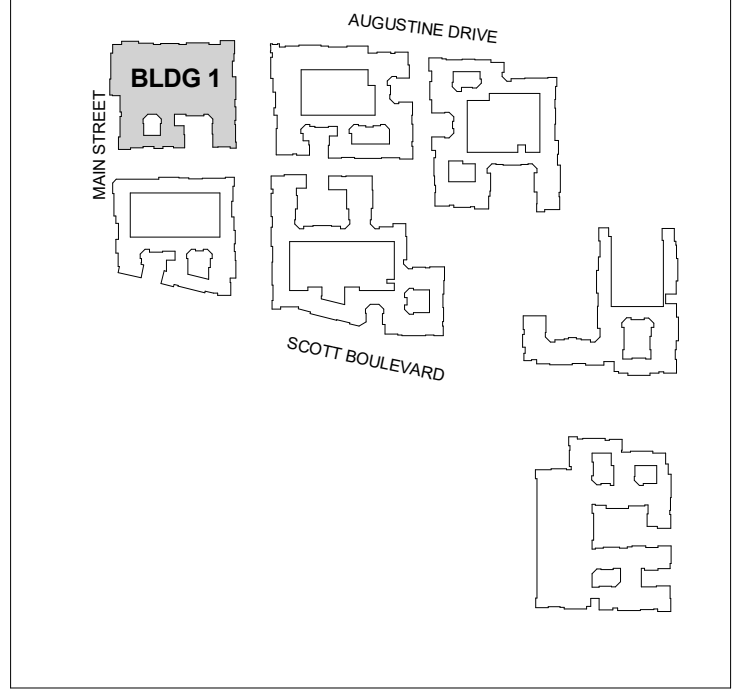
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TELEPHONE: (408) 957-1232 FAX: (408) 957-1212



SANTA CLARA SQUARE
3255 SCOTT BLVD. SANTA CLARA, CA 95054

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INFORMATION AND DETAILS WITH THE
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CONSULTANT'S DRAWINGS.



REVISIONS

NO.	DESCRIPTION	DATE
1AA	SS PLAN CHECK #1	06.13.2016
1A	BULLETIN 3	12.15.2016
1	BULLETIN 4	03.24.2017

SHEET TITLE
**COMPOSITE PLAN -
LEVEL 1**

BUILDING 1

SHEET NUMBER
A1-10.1

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KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
10 41 01	KNOX BOX TO BE LOCATED ON WALL WHERE IT IS CLEARLY VISIBLE BETWEEN 5 TO 6 FT ABOVE FLOOR. LOCATIONS TO BE APPROVED BY FIRE DEPARTMENT BEFORE INSTALLATION.
10 41 02	PROVIDE DUAL KEY MASTER (FIRE) KNOX SWITCH AND SUB-MASTERED (POLICE) KNOX SWITCH. SWITCHES ARE TO BE LOCATED AT A MAXIMUM HEIGHT OF 48" TO THE CENTER OF THE HIGHEST KEY.
10 41 04	PROVIDE DUAL KEY MASTER (FIRE) KNOX SWITCH AND SUB-MASTERED (POLICE) KNOX SWITCH BELOW TELEPHONE ENTRY PANEL OR INTEGRATED WITH PANEL.

NOTE: RETAIL TENANT SPACES 1-10 ARE SHELL ONLY. SEPARATE TENANT IMPROVEMENT PLAN SUBMITTALS AND PERMITS ARE REQUIRED PRIOR TO OCCUPANCY OF THE TENANT SPACES WITH ANY OCCUPANCY RELATED ISSUES ADDRESSED AT THAT TIME.

PHASE 1 | BULLETIN 4 | 03/24/2017

BUILDING 1 GROSS AREA SUMMARY - TYPE IA

Name	Proposed Building Area
GARAGE TYPE IA	120057 SF
RETAIL TYPE IA	32143 SF
Grand total: 11	152200 SF

BUILDING 1 GROSS AREA SUMMARY - TYPE IIIA

Name	Proposed Building Area
AREA 1 - R2	41560 SF
AREA 2 - B RSO	3507 SF
AREA 2 - R2	51462 SF
AREA 3 - R2	35012 SF
AREA 4 - R2	31865 SF
AREA 5 - R2	47601 SF
Grand total: 35	211007 SF

SUM OF THE RATIO OF SEPARATED OCCUPANCIES MAXIMUM ALLOWABLE AREA, DIVIDED BY THE AREA OF ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY SHALL NOT EXCEED 1.
SEPARATED OCCUPANCY OCCURS AT LEVEL 1 AREA 2: 3,308 SF / 28,909 SF + 3,897 SF / 24,000 SF = 11 < 41 < 1

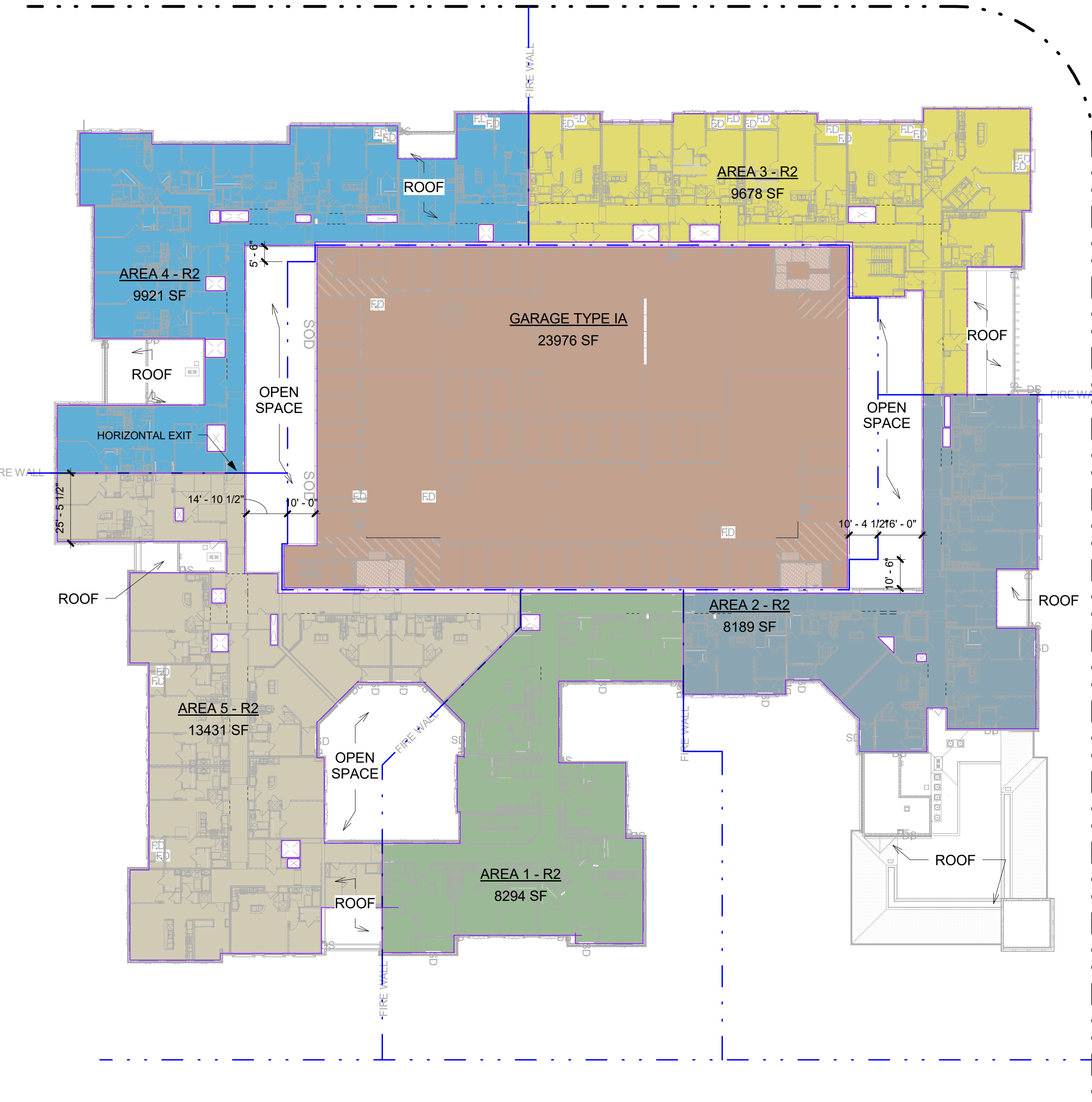
BUILDING 1 TYPE IIIA MAX. ALLOWABLE AREA CALCULATION

Name	A(t)	P	F	W	I(f)	I(s)	Aa	Increase for Multi Story	Max. Allowable Building Area	Proposed Building Area
AREA 1 - R2	24000	1'-0"	0"	0"	0	0	24000 SF	2	48000 SF	41560 SF
AREA 2 - B RSO	28500	1'-0"	0"	0"	0	2	85500 SF	1	85500 SF	3507 SF
AREA 2 - R2	24000	660'-8"	268'-0"	30'-0"	0	0	1,556,651	2	2,773,652 SF	51,462 SF
AREA 3 - R2	24000	1'-0"	0"	0"	0	0	24000 SF	2	48000 SF	35,012 SF
AREA 4 - R2	24000	1'-0"	0"	0"	0	0	24000 SF	2	48000 SF	31,865 SF
AREA 5 - R2	24000	1'-0"	0"	0"	0	0	24000 SF	2	48000 SF	47,601 SF
Grand total: 35									48000 SF	211,007 SF

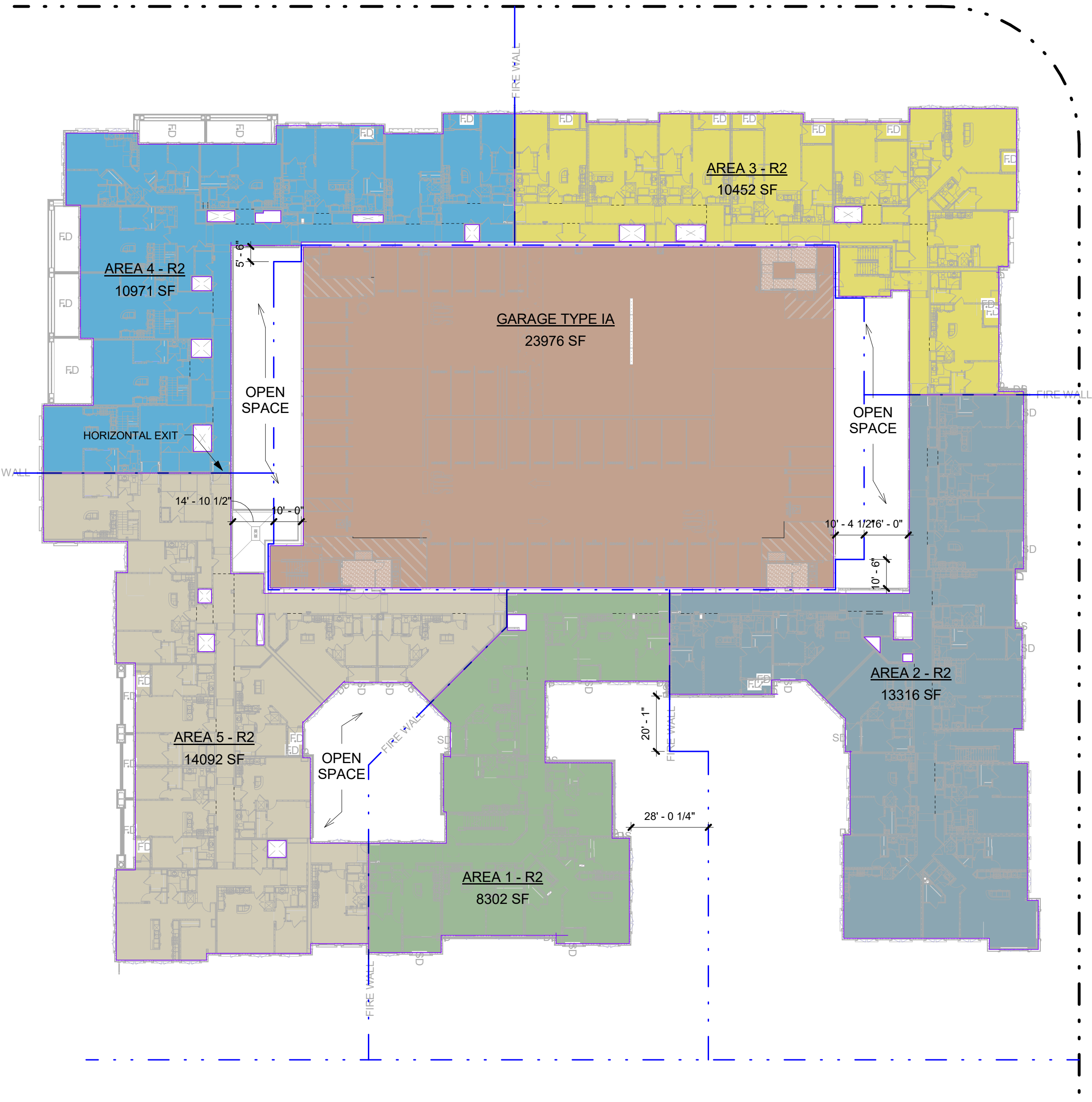
LEGEND

- PROPERTY LINE
- ASSUMED PROPERTY LINE
- FRONTAGE WIDTH EXTENT (FOR FRONTAGE INCREASE CALCULATION)
- MAXIMUM BUILDING AREA COLORED PER AREA
- 3-HOUR FIRE WALL RESISTIVE OCCUPANCY SEPARATION WALL WITH OPENING PROTECTION

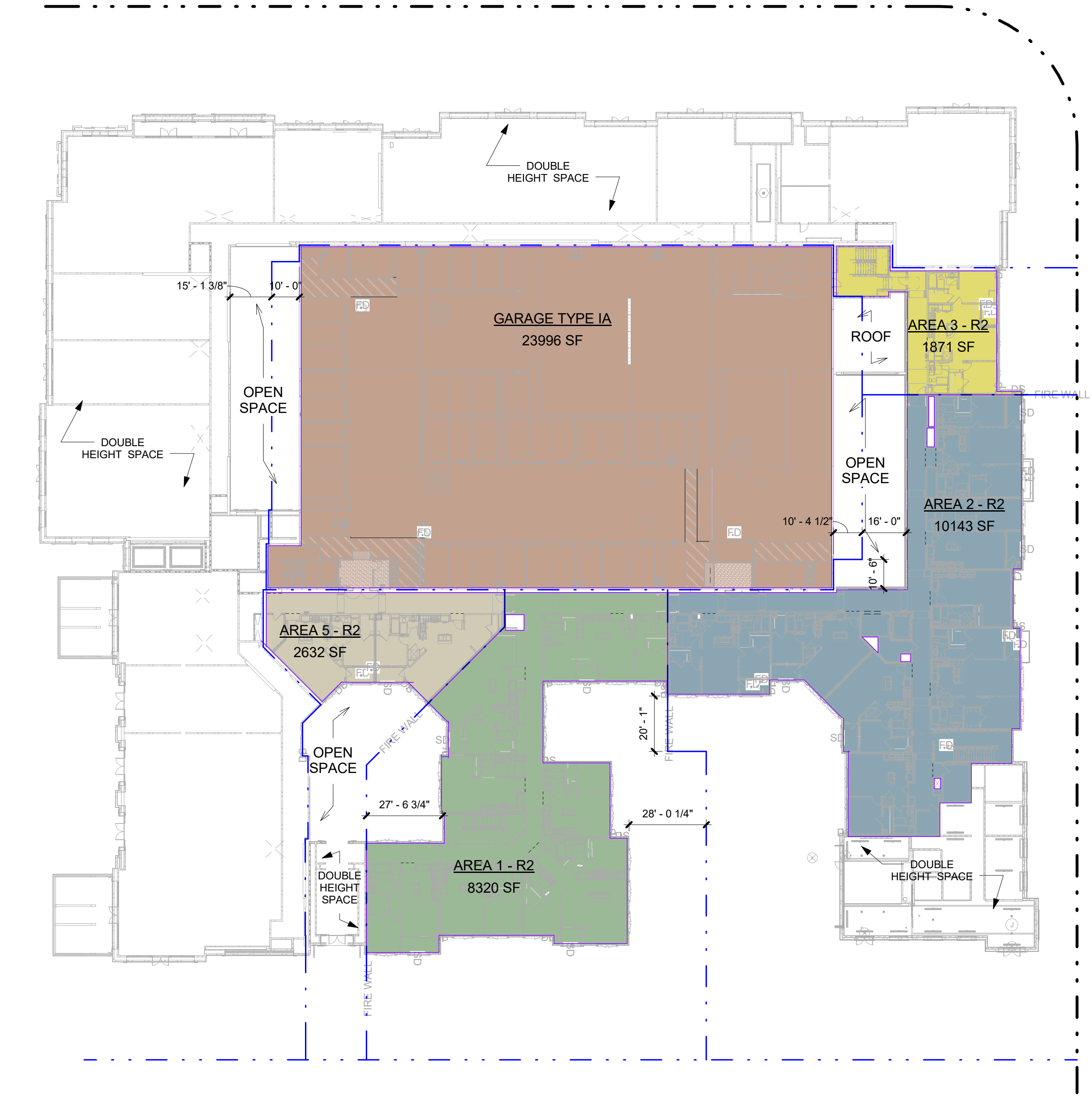
SQUARE FOOTAGES FOR NOTED OCCUPANCIES



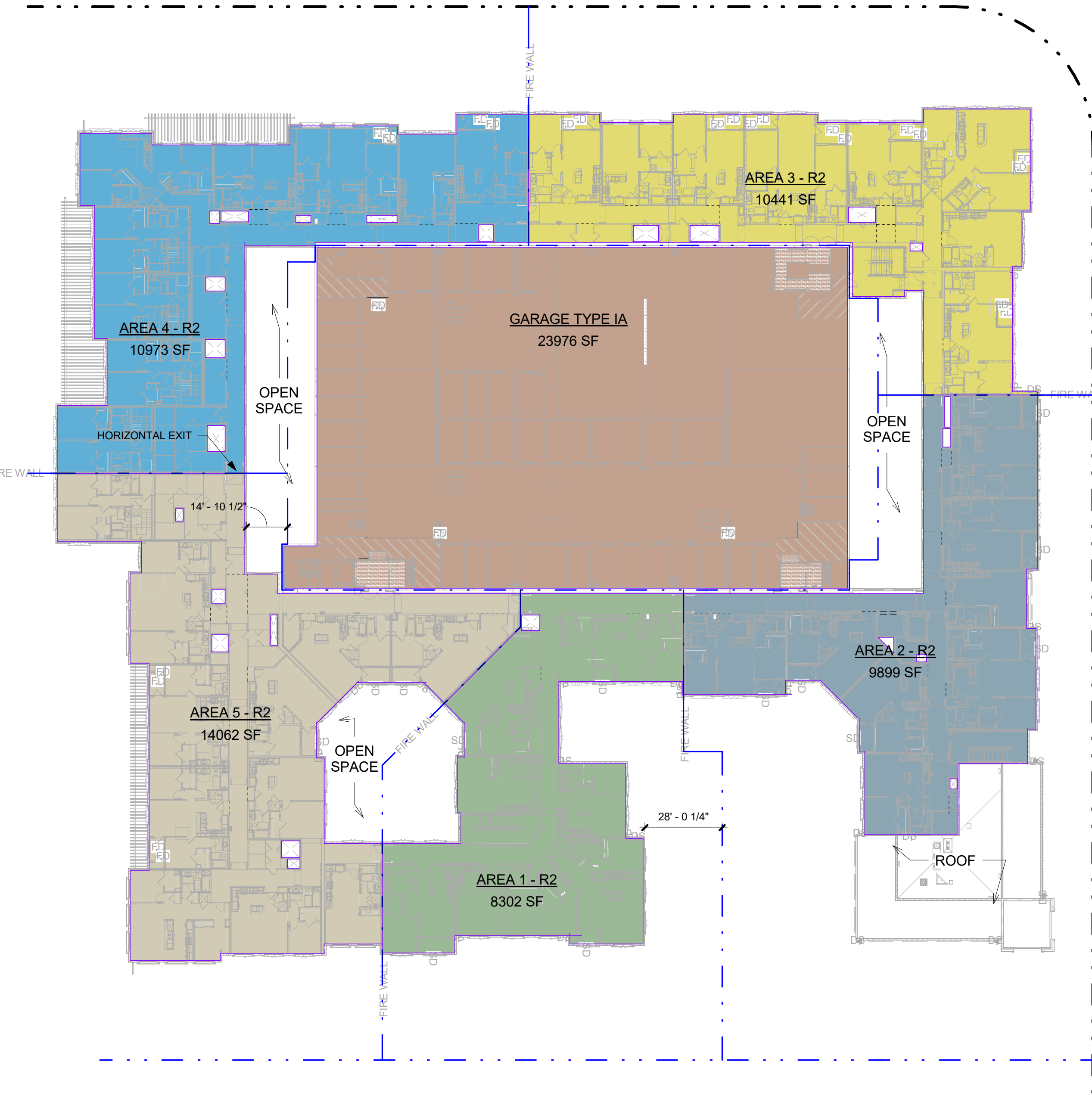
BUILDING 1 LEVEL 5 1" = 30'-0" 5



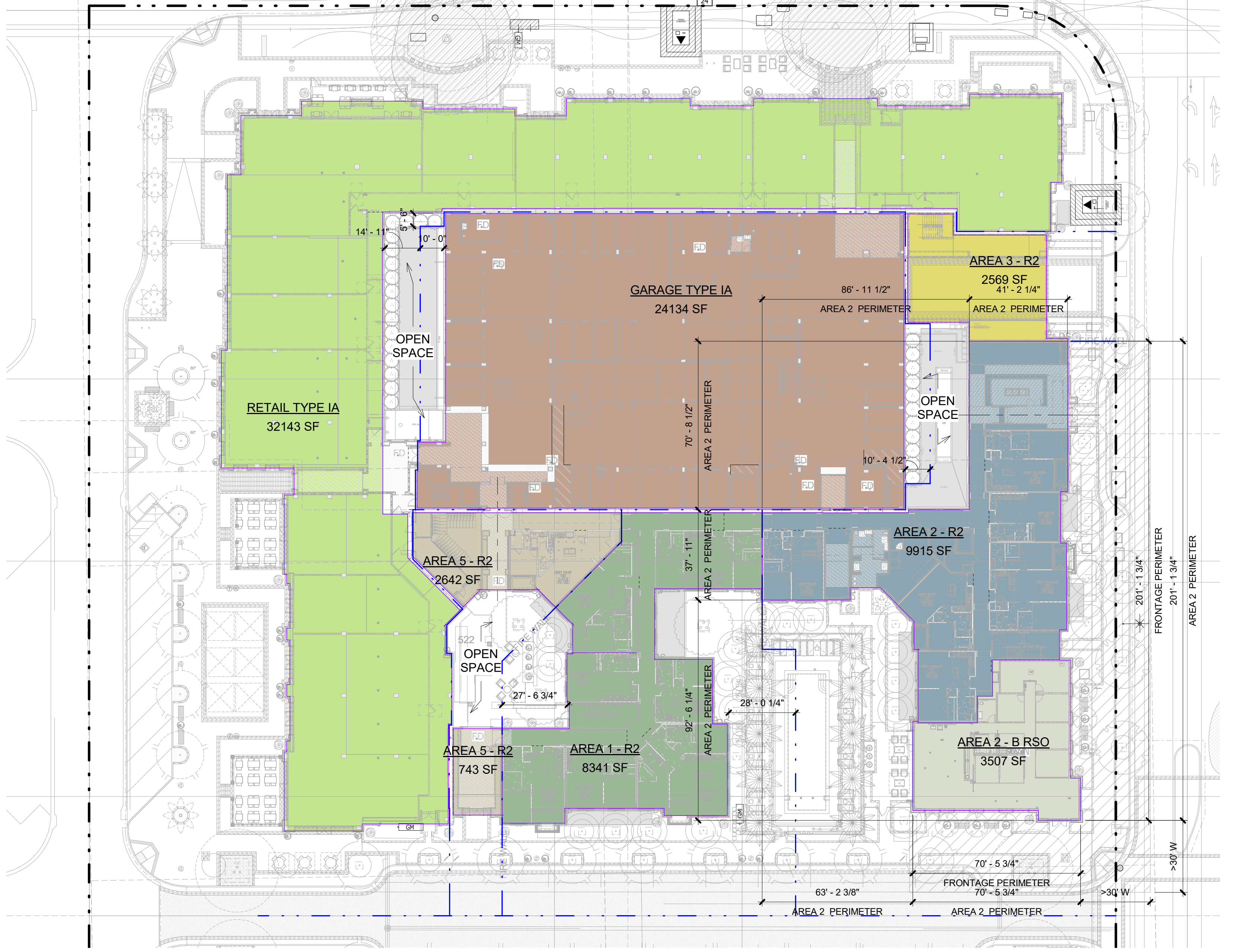
BUILDING 1 LEVEL 3 1" = 30'-0" 3



BUILDING 1 LEVEL 2 1" = 30'-0" 2



BUILDING 1 LEVEL 4 1" = 30'-0" 4



BUILDING 1 LEVEL 1 1" = 30'-0" 1

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REVISIONS

NO.	DESCRIPTION	DATE
1AA	SS PLAN CHECK #1	06.13.2016

SHEET TITLE
CODE ANALYSIS

BUILDING 1

SHEET NUMBER
A1-GEN-3

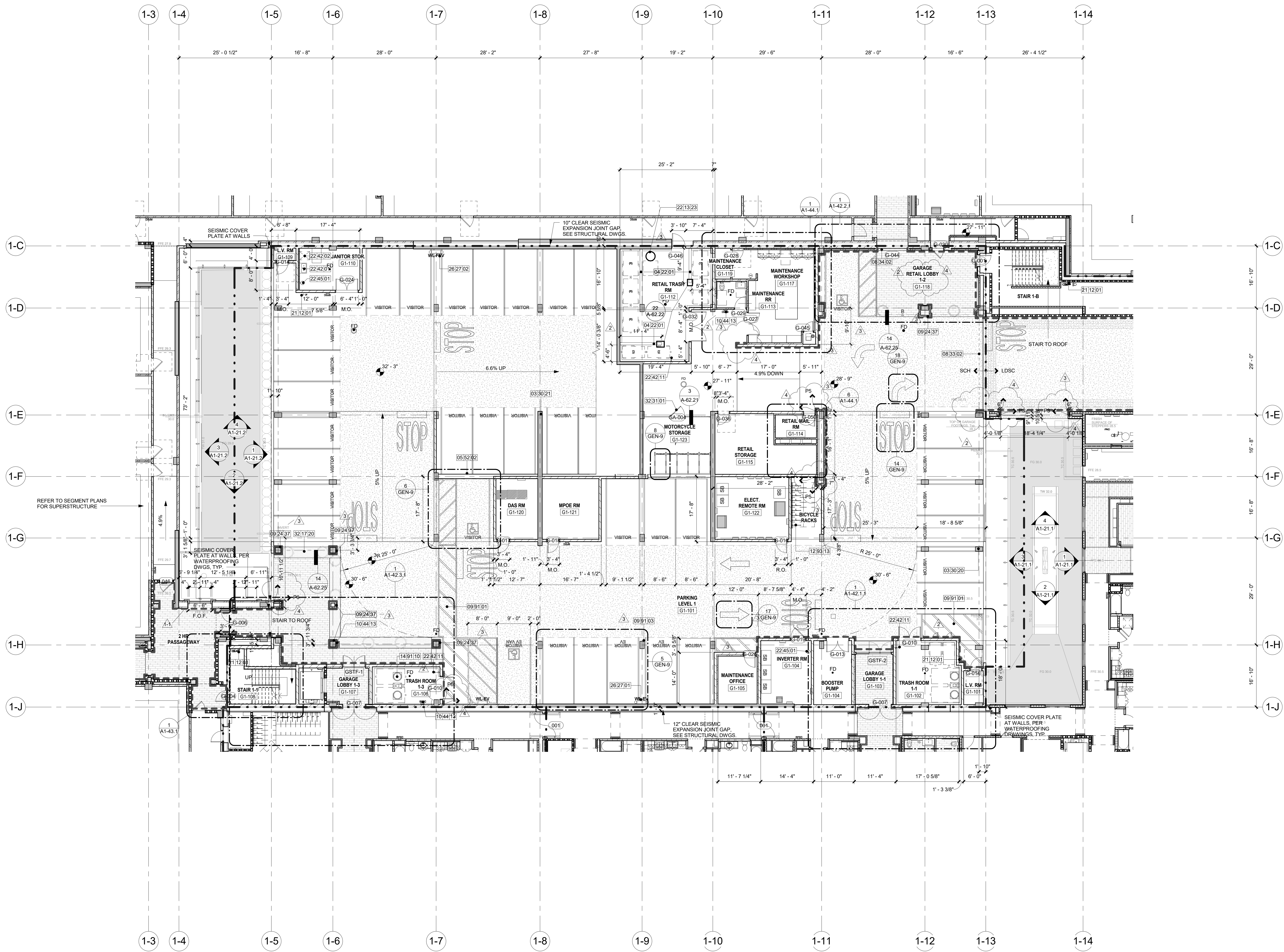
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9/20/16 4:10:33 PM A:\30\3500\Draw\Draw_Square_Phase_BCS_Plane_1_ARCHITECTURE.dwg

PHASE 1 | CONSTRUCTION SET | 09/07/2016



SEGMENT PLAN LEGEND

NOTE: NOT ALL LEGEND ITEMS LISTED BELOW OCCUR IN THIS SHEET

UNIT TYPE
UNIT ADDRESS
REF: A-XXX

ENLARGED PLAN LOCATION

Room name
ROOM TAG

BLDG #
ROOM #
LEVEL

DOOR TAG
A-62.1 / A-62.2

DOOR TAG FOR DOORS WITH STC RATINGS
A-62.1 / A-62.2

WINDOW TAG
A-63.1 / A-63.2

WINDOW STC RATING
A-64.1 / A-64.2

STOREFRONT TAG
A-64.1 / A-64.2

KEYNOTE TAG: SEE KEYNOTE LEGEND

BUILDING STYLE (AT EXTERIOR ELEVATIONS)

SLAB ELEVATION, SEE SLAB PLANS

FLOOR DRAIN REFER TO PLUMBING PLANS

BRACKET MOUNTED FIRE EXTINGUISHER

SURFACE MOUNTED FIRE EXTINGUISHER CABINET

SEMI-RECESSED FIRE EXTINGUISHER CABINET

SCUPPER DRAIN LOCATION THROUGH EXTERIOR WALL ASSEMBLY

INDICATES TRASH CHUTE/ SHAFT

STANDPIPE, REFER TO FIRE SPRINKLER CONSULTANT'S DRAWINGS

BOLLARD

EV PARKING STALLS WL - WALL MOUNTED FL - FLOOR MOUNTED EV - INSTALLED FEV - TO BE INSTALLED IN FUTURE REFER TO ELECTRICAL DRAWINGS FOR STUB OUT LOCATIONS

TRUNCATED DOMES

CORRIDOR FLOORING JOINT SEE DETAIL

8-2" MIN HEIGHT ACCESSIBILITY CLEARANCE

6-2" CLEAR INCLUDES COLUMN CAPS, BEAMS, PIPES, HANGERS, ETC.

PROVIDE A COAT OF LIGHT GRAY NEGOGARD SYSTEM OR EXPOSED GARAGE CONCRETE FLOOR WHERE THERE IS AN ELECTRICAL ROOM BELOW AND A FINISHED CEILING EXTERIOR, EXTENDING 2' PAST THESE BOUNDARIES BELOW

INDICATES LOCATION OF 3 COAT EXTERIOR CEMENT PLASTER SYSTEM AT CORRIDOR, EVERYWHERE ELSE TO BE A GYPSUM WALL BOARD SYSTEM

RETAIL SHAFT TERMINATION

EXTENT OF SMOOTH TROWEL FINISH AT WALLS, EXTENT OF TRIM BOARD AT WALL BASES

XX - EXTENT OF WALL PAINT PER FINISH SCHEDULE YY - EXTENT OF BASEBOARD PER FINISH SCHEDULE

SCH - PER FINISH SCHEDULE LISC - PER LANDSCAPE DRAWINGS

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
03 30 20	CAST IN PLACE CONCRETE COLUMN, SEE STRUCTURAL DRAWINGS FOR LOCATIONS
03 30 21	CAST IN PLACE CONCRETE SHEAR WALL, SEE STRUCTURAL DRAWINGS FOR LOCATIONS
04 22 01	6" THICK CMU WALL, TOP OF WALL AT 4'-0" A.F.F., ROUND OFF TOP OF WALL WITH GROUT
05 02 02	1/2" DIA. GALV. CABLE RAIL AT GARAGE RAMPS, SEE STRUCTURAL DWGS FOR ATTACHMENT
08 33 02	3 HR RATED CEILING OVERHEAD DOOR, MOTOR OPERATED - SEE ELECTRICAL
08 34 02	3 HR RATED FIRE RESISTANT ROLL DOWN GLASS FIBER FABRIC CURTAIN
09 24 37	PROVIDE CEMENT PLASTER FINISH, COLOR AND TRIM BOARD TO MATCH LOBBY.
09 91 01	PAINT PARKING SURFACE WITH EXTENT SHOWN ON PLANS AN AREA WITH A BORDER PAINT BORDER, WITHIN THE BLUE BORDER, HATCHED LINES AT 45° MAX. 36" O.C.
09 91 03	TYPICAL AT RETAIL PARKING AREA, UNDO PAINT EXPOSED CONCRETE STRUCTURAL COLUMN AND SHEAR WALL PA COLOR, AT RESIDENTIAL PARKING AREA PAINT EXPOSED CONCRETE STRUCTURAL COLUMNS "MILK MUSTACHE" PER FINISH SCHEDULE, REMARKS
10 44 13	FIRE EXTINGUISHER IN SURFACE MOUNTED CABINET
12 83 13	BICYCLE RACKS, PER SPECIFICATIONS
14 91 10	TRASH OR RECYCLABLES CHUTE PER SPECIFICATIONS
21 12 01	FIRE SUPPRESSION STANDPIPE AT LEVEL 1 TO LEVEL 5
22 13 23	OIL CONTAINMENT, REFER TO PLUMBING DRAWINGS
22 42 01	UTILITY DOUBLE SINK, PER PLUMBING DRAWINGS
22 42 02	STACK WASHER DRYER, SEE OWNERS SPECS
22 42 11	HOSE BIBB, PER PLUMBING DRAWINGS
22 45 01	EMERGENCY EYEWASH STATION, SEE PLUMBING DWGS
26 27 01	ELECTRIC CHARGING STATION DENOTED WITH "A-EV" TO BE INSTALLED IN CURRENT CONSTRUCTION PHASE, WALL MOUNTED OR FLOOR MOUNTED AS DENOTED WITH "A-FL" OR "A-WL" RESPECTIVELY, PROVIDE CURB TO LEVEL FLOOR MOUNT EV AT RAMP
26 27 02	FUTURE ELECTRIC CHARGING STATION DENOTED WITH "A-FEV", WALL MOUNTED OR FLOOR MOUNTED AS DENOTED WITH "A-FL" OR "A-WL" RESPECTIVELY
32 17 20	DETECTABLE WARNING SURFACE PER DETAIL 1505EN-4
32 31 01	WOODSUIT IRON FENCE AND GATE, SEE DETAIL 197A-62.21

REVISIONS

NO.	DESCRIPTION	DATE
1A	GARAGE PLAN CHECK #1	02.23.2016
1B	GARAGE PLAN CHECK #2	04.08.2016
1C	GARAGE PLAN CHECK #3	06.16.2016
10C	SS PLAN CHECK #3	09.19.2016
1-1	BULLETIN 1-1	10.11.2016
2	BULLETIN 2	11.04.2016
3	BULLETIN 3	12.15.2016
4	BULLETIN 4	03.24.2017

NOTES

- SEE SHEET A-13.0.0 FOR ADDITIONAL NOTES.
- DESIGNATED ACCESSIBLE PARKING FOR THE DWELLING UNIT SHALL BE PROVIDED ON REQUEST OF RESIDENTS WITH DISABILITIES ON THE SAME TERMS AND WITH THE FULL RANGE OF CHOICES THAT ARE AVAILABLE FOR OTHER RESIDENTS.
- TYPICAL, OFFSET 2 HR SHAFT WALLS FROM 1 HOUR WALL ALONG CORRIDOR PER DETAIL 23A-61.22.

WALL TYPE LEGEND

WOOD STUD WALL TYPES

- 2 X 4 OR 3 X 4 WOOD STUD WALL, SEE DETAIL 6/A-61.51
- 2 X 6 OR 3 X 6 WOOD STUD WALL, SEE DETAIL 3/A-61.51
- 2 X 8 WOOD PLATE WITH 2 X 4 WOOD STAGGERED STUD WALL, SEE DETAIL 4/A-61.51
- 2 X 8 WOOD STUD WALL, SEE DETAIL 6/A-61.51
- 2 X 8 WOOD PLATE WITH 2 X 4 WOOD STAGGERED STUD WALL, SEE DETAIL 4/A-61.51
- 2 X 10 WOOD PLATE WITH 2 X 4 WOOD STAGGERED STUD WALL (AT CORRIDOR LOCATIONS), SEE DETAIL 4/A-61.51

METAL STUD WALL TYPES

- 3 5/8" METAL STUD WALL, SEE DETAIL 18/A-61.41
- 6" METAL STUD WALL, SEE DETAIL 18/A-61.41
- CONCRETE WALL, SEE DETAIL 2/A-61.41
- 2 HR 8" CMU WALL, SEE DETAIL 4/A-61.41

2HR AND 3HR WALL TYPES

- 2 HR WALL - WOOD OR METAL STUD, SEE SHEETS A-61.41 AND A-61.51
- 3 HR FIRE WALL, SEE DETAIL 11/A-61.61

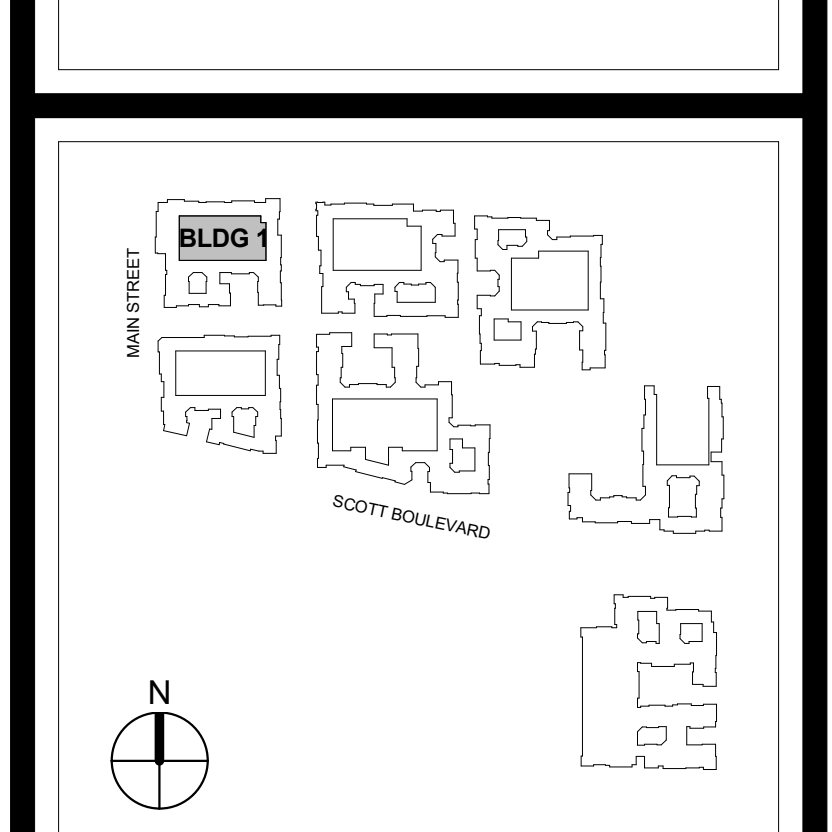
SEE RATED WALL DIAGRAMS A1-GEN 11 THRU A1-GEN 16 & A2-GEN 11 THRU A2-GEN 16 FOR RATED WALL & OCCUPANCY SEPARATION INFORMATION.

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REVISIONS

NO.	DESCRIPTION	DATE
1A	GARAGE PLAN CHECK #1	02.23.2016
1B	GARAGE PLAN CHECK #2	04.08.2016
1C	GARAGE PLAN CHECK #3	06.16.2016
10C	SS PLAN CHECK #3	09.19.2016
1-1	BULLETIN 1-1	10.11.2016
2	BULLETIN 2	11.04.2016
3	BULLETIN 3	12.15.2016
4	BULLETIN 4	03.24.2017

SHEET TITLE
PARKING GARAGE LEVEL 1

BUILDING 1

SHEET NUMBER
A1-11.1

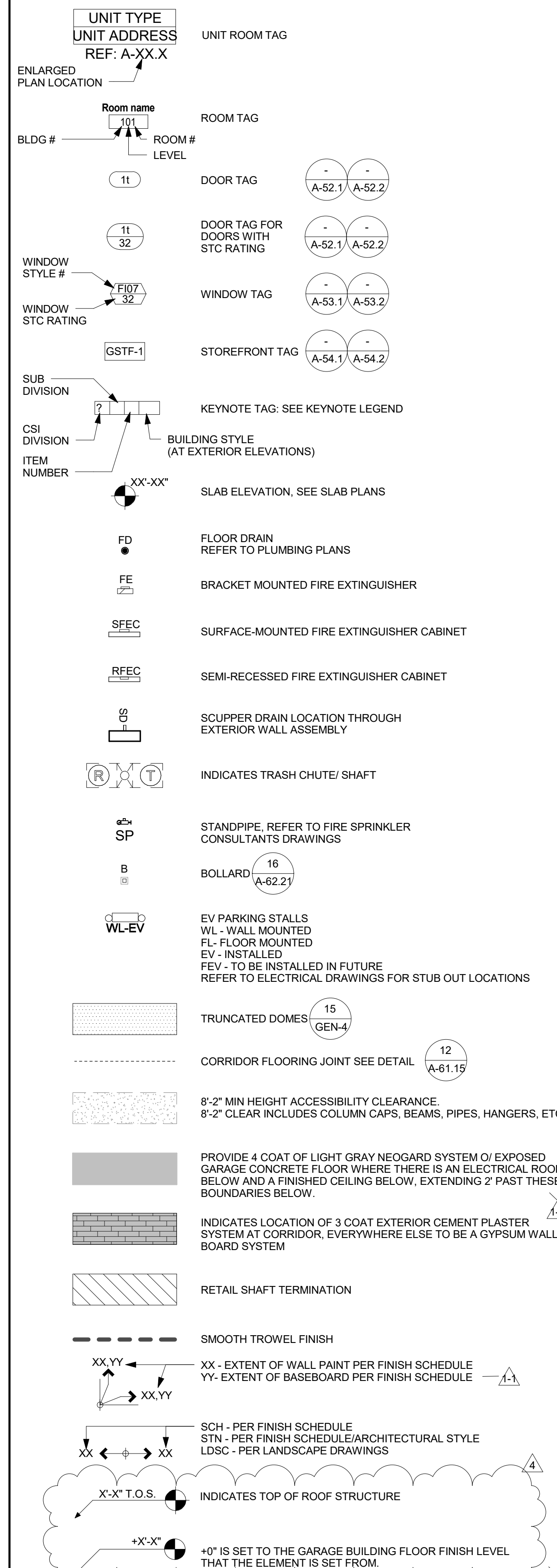
JOB NO: 2013-10130
DATE: 09/07/16
SCALE: As Indicated



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SEGMENT PLAN LEGEND

NOTE: NOT ALL LEGEND ITEMS LISTED BELOW OCCUR IN THIS SHEET



KEY VALUE	KEYNOTE TEXT
03 30 20	CAST IN PLACE CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR LOCATIONS
03 30 23	14" SQ. CONCRETE PLINTH, 4" TALL TO MATCH PARAPET. FOR GARAGE LIGHT POLE INSTALLATION
03 40 04	GRAY RECTANGULAR HATCHED AREAS ARE AREAS THAT PER CLIENT REQUEST WHERE FUTURE ANCHOR POINTS CAN BE PROVIDED FOR FUTURE SOLAR PANELS POST INSTALLATION
07 54 02	SINGLE PLY ROOFING MEMBRANE ON CONCRETE SLAB SLOPED MIN. 2.5% ON 3" DEEP METAL PAN DECK SYSTEM. SEE DETAIL 209A-61-21
09 91 01	PAINT PARKING SURFACE WITH EXTENT SHOWN ON PLANS AN AREA WITH A BORDER PAINTED BLUE. WITHIN THE BLUE BORDER, HATCHED LINES AT 45° MAX. 96" O.C.
14 91 10	TRASH OR RECYCLABLES CHUTE PER SPECIFICATIONS
21 12 01	FIRE SUPPRESSION STANDPIPE AT LEVEL 1 TO LEVEL 5
26 27 01	ELECTRIC CHARGING STATION DENOTED WITH A "EV" TO BE INSTALLED IN CURRENT CONSTRUCTION PHASE. WALL MOUNTED OR FLOOR MOUNTED AS DENOTED WITH "FL" OR "WL" RESPECTIVELY. PROVIDE CURB TO LEVEL FLOOR. MOUNT EV AT RAMP
26 27 02	FUTURE ELECTRIC CHARGING STATION DENOTED WITH A "FEV". WALL MOUNTED OR FLOOR MOUNTED AS DENOTED WITH "FL" OR "WL" RESPECTIVELY.

- #### NOTES
- SEE SHEET A-13.0.0 FOR ADDITIONAL NOTES.
 - DESIGNATED ACCESSIBLE PARKING FOR THE DWELLING UNIT SHALL BE PROVIDED ON REQUEST OF RESIDENTS WITH DISABILITIES ON THE SAME TERMS AND WITH THE FULL RANGE OF CHOICES THAT ARE AVAILABLE FOR OTHER RESIDENTS.
 - TYPICAL OFFSET 2 HR SHAFT WALLS FROM 1 HOUR WALL ALONG CORRIDOR PER DETAIL 23A-61-22.

WALL TYPE LEGEND

WOOD STUD WALL TYPES

- 2 X 4 OR 3 X 4 WOOD STUD WALL. SEE DETAIL 6/A-61-51
- 2 X 6 OR 3 X 6 WOOD STUD WALL. SEE DETAIL 3/A-61-51
- 2 X 6 WOOD PLATE WITH 2 X 4 WOOD STAGGERED STUD WALL. SEE DETAIL 4/A-61-51
- 2 X 8 WOOD STUD WALL. SEE DETAIL 6/A-61-51
- 2 X 8 WOOD PLATE WITH 2 X 4 WOOD STAGGERED STUD WALL. SEE DETAIL 4/A-61-51
- 2 X 10 WOOD PLATE WITH 2 X 4 WOOD STAGGERED STUD WALL (AT CORRIDOR LOCATIONS). SEE DETAIL 4/A-61-51

METAL STUD WALL TYPES

- 3 5/8" METAL STUD WALL. SEE DETAIL 18/A-61-41
- 6" METAL STUD WALL. SEE DETAIL 18/A-61-41
- CONCRETE WALL. SEE DETAIL 2/A-61-41
- 2 HR 6" CMU WALL. SEE DETAIL 4/A-61-41

2HR AND 3 HR WALL TYPES

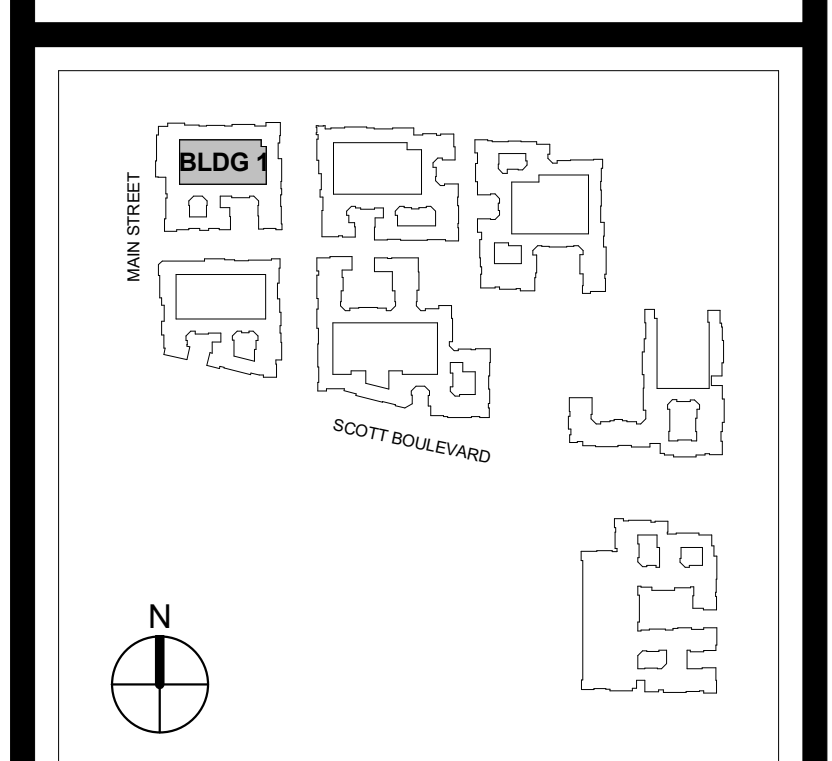
- 2 HR WALL - WOOD OR METAL STUD. SEE SHEETS A-61-41 AND A-61-51
- 3 HR FIRE WALL. SEE DETAIL 11/A-61-61

SEE RATED WALL DIAGRAMS A1-GEN 11 THRU A1-GEN 16 & A2-GEN 11 THRU A2-GEN 16 FOR RATED WALL & OCCUPANCY SEPARATION INFORMATION.

IRVINE COMPANY
APARTMENT COMMUNITIES
 690 N. MCCARTHY BLVD. SUITE 100 MILPITAS, CA 95035
 TELEPHONE: (408) 957-1232 FAX: (408) 957-1212

SANTA CLARA SQUARE
 3255 SCOTT BLVD. SANTA CLARA, CA 95054

BUILDING ENVELOPE / WATERPROOFING REFERENCE DISCLAIMER:
 WATERPROOFING REFERENCES NOTED ON THIS SHEET ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL BUILDING ENVELOPE / WATERPROOFING CONSULTANT INFORMATION AND DETAILS WITH THE BUILDING ENVELOPE / WATERPROOFING CONSULTANT'S DRAWINGS.



REVISIONS

NO.	DESCRIPTION	DATE
1A	GARAGE PLAN CHECK #1	02.23.2016
1B	GARAGE PLAN CHECK #2	04.08.2016
1C	GARAGE PLAN CHECK #3	06.16.2016
1-1	BULLETIN 1-1	10.11.2016
3	BULLETIN 3	12.15.2016
4	BULLETIN 4	03.24.2017

SHEET TITLE
PARKING GARAGE
ROOF LEVEL

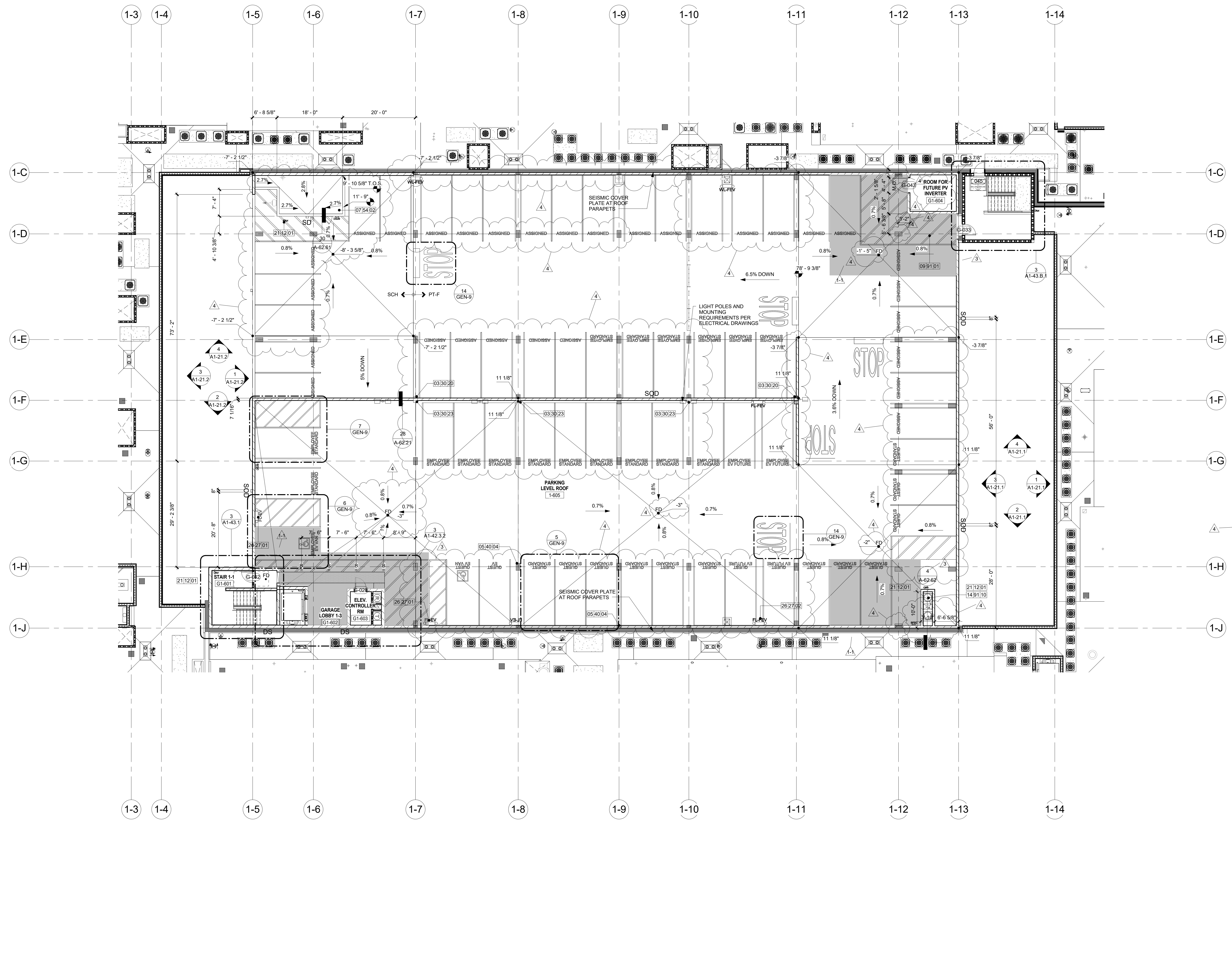
BUILDING 1

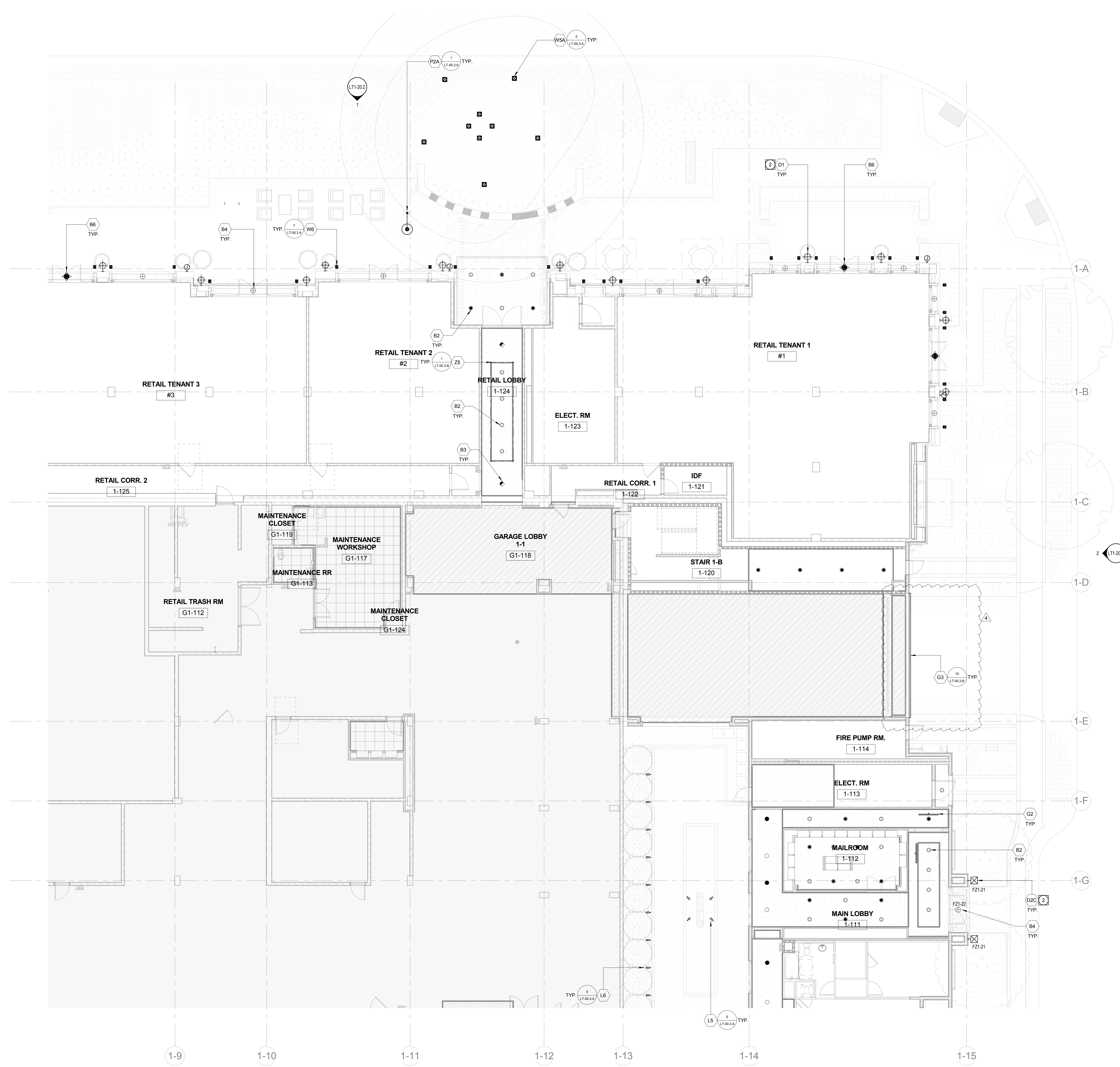
SHEET NUMBER
A1-11.6

JOB NO. 2013-10130
 DATE 09/27/16
 SCALE As Indicated

MVE
 + PARTNERS

1900 Main Street, Suite 800
 Irvine, California 92614
 949.809.3388
 www.mve-architects.com



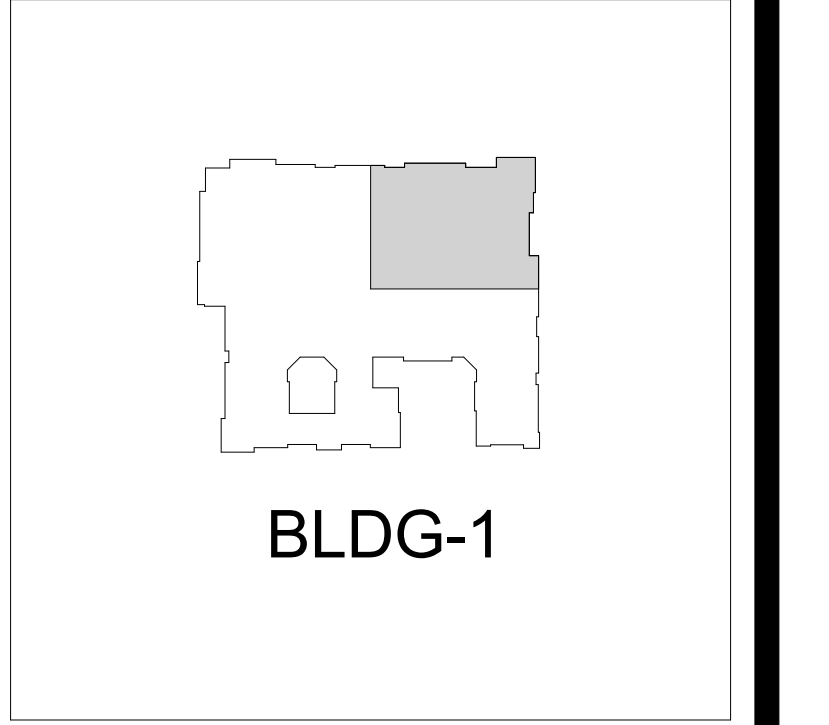
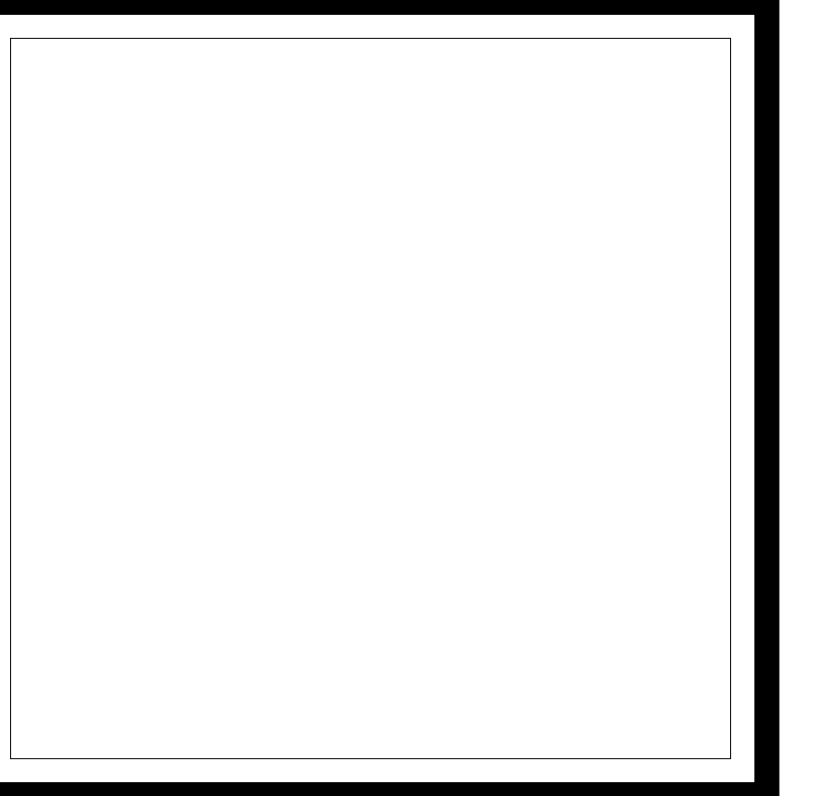


- PLAN NOTES:**
- 1 LIGHT FIXTURE MOUNTED IN-GROUND AIMED UP. REFER TO DETAIL AND SHEET NUMBER AS NOTED FOR MOUNTING INFORMATION.
 - 2 LIGHT FIXTURE MOUNTING HEIGHT PER ELEVATION.
 - 3 STEPLIGHT FIXTURE TYPE S1 MOUNTING HEIGHT TO BE 18-INCHES A.F.F. TO CENTER OF FIXTURE TYPICAL U.O.N.
 - 4 FIXTURE TYPE Z1 MOUNTED WITHIN TOWER DECORATIVE WINDOW GRILL. SEE DETAIL 3 SHEET LT-003.B FOR MOUNTING INFORMATION.
 - 5 FIXTURE TYPE Z2 MOUNTED TO DECORATIVE FACADE CORNICE. SEE DETAIL 2 SHEET LT-003.B FOR MOUNTING INFORMATION.
 - 6 FIXTURE TYPE Z3 MOUNTED TO BASE OF DOME STRUCTURE. SEE DETAIL 5 SHEET LT-003.B FOR MOUNTING INFORMATION.
 - 7 FIXTURE TYPE L7 SUSPENDED FROM CANOPY TREE BRANCHES. SEE DETAIL 11 SHEET LT-003.B FOR MOUNTING INFORMATION.
 - 8 FIXTURE TYPE D10 PIER MOUNTED TO PLINTH. SEE DETAIL 12 SHEET LT-003.B FOR MOUNTING INFORMATION.
 - 9 FIXTURE TYPE D11 PIER MOUNTED TO FIREPLACE HEARTH. SEE DETAIL 13 SHEET LT-003.B FOR MOUNTING INFORMATION.
 - 10 FIXTURE TYPE D7A UNIT ENTRY SCONCE TO BE CENTERED IN WALL BETWEEN DOOR FRAME AND ADJACENT WALL. MOUNTING HEIGHT TO BE PER ARCHITECT'S DRAWINGS.
 - 11 EXISTING TYPE P1 POLE LIGHT FIXTURE INSTALLED PER PREVIOUS RETAIL PHASE PLANS. PROVIDE TYPE K1 ACCENT LIGHTS WHERE INDICATED ON PLAN.
 - 12 FIXTURE TYPE K1 MOUNTED TO LIGHT POLE. SEE DETAIL 8 SHEET LT-003.B.

- LIGHTING PLAN GENERAL NOTES:**
- 1 REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION & ELEVATION OF ALL LIGHTING FIXTURES AND ALL DEVICES. ALL WALL-MOUNTED DEVICE HEIGHTS SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO ROUGH-IN. IN AREAS WHERE THERE IS NOT A DIMENSIONED ARCHITECTURAL R.C.P., THE CONTRACTOR IS TO USE THEIR BEST EFFORT TO ALIGN LIGHT FIXTURES AS CLOSELY AS POSSIBLE TO WHERE THEY ARE PLACED ON THE LIGHTING DESIGN DRAWINGS. PAYING PARTICULAR ATTENTION TO ALIGNMENT WITH CORRIDOR CORNERS, WINDOWS AND OPENINGS, AND CENTERING THE LIGHT FIXTURES LATERALLY WITHIN CORRIDORS. ANY QUESTIONS OR DISCREPANCIES ARE TO BE BROUGHT TO THE LIGHTING DESIGNER'S ATTENTION IMMEDIATELY.
 - 2 UNLESS OTHERWISE NOTED OR DETAIL IN LIGHTING DESIGN DRAWINGS, REFER TO LANDSCAPE ARCHITECT'S PLANS FOR EXACT LOCATION AND ELEVATION OF ALL SITE LIGHTING FIXTURES AND DEVICES.
 - 3 VERIFY EXACT CEILING CONSTRUCTION WITH ARCHITECTURAL REFLECTED CEILING PLAN AND PROVIDE LIGHTING FIXTURES WITH ALL NECESSARY MOUNTING HARDWARE.
 - 4 ALL RECESSED FIXTURES SHALL BE PROVIDED WITH ALL REQUIRED STRUCTURAL SUPPORTS AS REQUIRED BY THE CURRENTLY ADOPTED ISSUE OF THE UNIFORM BUILDING CODE, AS WELL AS ANY LOCAL CODES.
 - 5 ALL COVE MOUNTED FIXTURES SHALL EXTEND THE FULL LENGTH OF THE COVE. CONTRACTOR TO FIELD MEASURE COVE LENGTH AND ORDER QUANTITY OF FIXTURES AS REQUIRED.
 - 6 ALL DIMMING BRANCH CIRCUITS SHALL BE PROVIDED WITH A DEDICATED NEUTRAL CONDUCTOR FOR EACH ZONE/CHANNEL.
 - 7 ALL FLUORESCENT DIMMING ZONES/CHANNELS SHALL BE PROVIDED WITH 3 LINE VOLTAGE CONDUCTORS (NEUTRAL, DIMMED HOT) OR 2 LINE VOLTAGE CONDUCTORS (NEUTRAL, DIMMED HOT) AS REQUIRED BY THE CONTROL BALLAST TYPE.
 - 8 RECESSED FIXTURES LOCATED IN A FIRE-RATED CEILING OR WALL SHALL BE PROVIDED WITH A 3-SIDED RATED ENCLOSURE SO CONSTRUCTED AS TO ALLOW CODE AND MANUFACTURER-REQUIRED CLEARANCES BETWEEN THE FIXTURE AND THE ENCLOSURE.

IRVINE COMPANY
 APARTMENT COMMUNITIES
 690 N. MCCARTHY BLVD, SUITE 100 MILPITAS, CA 95035
 TELEPHONE: (408) 957-1232 FAX: (408) 957-1212

SANTA CLARA SQUARE
 3255 SCOTT BLVD, SANTA CLARA, CA 95054



REVISIONS

DESCRIPTION	DATE
BULLETIN 3	2016-12-15
BULLETIN 4	2017-03-24

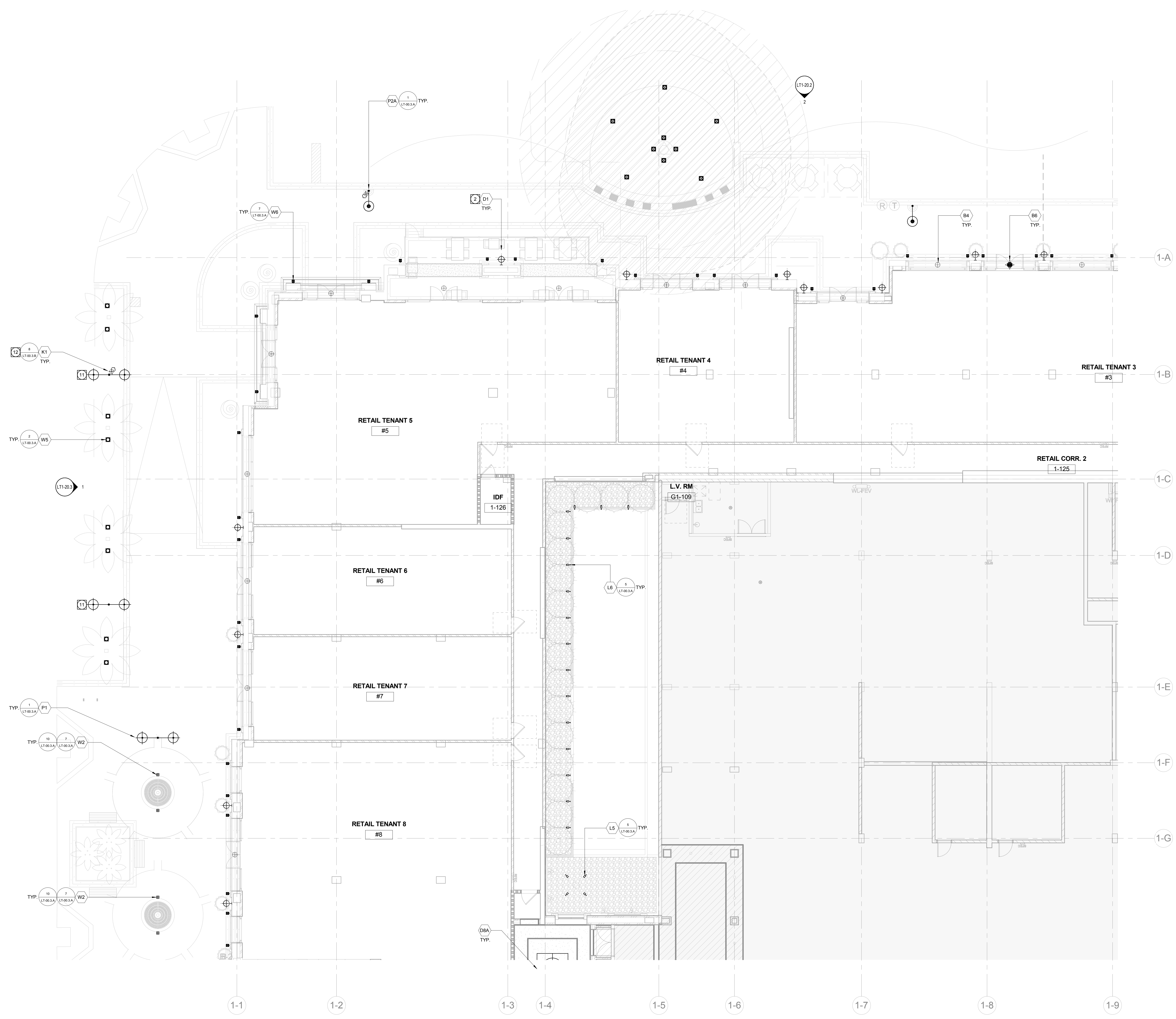
SHEET TITLE
 LEVEL 1 LIGHTING PLAN
 SEGMENT 2
BUILDING 1

SHEET NUMBER
 LT1-13.12

StudioK1
 DESIGNING LIGHT

15231 Laguna Canyon Road, Suite 100
 Irvine, California 92618
 949.751.5800 - www.studiok1.com
 Salwa Osman
 SK1 Job #: 2015-0293

PHASE 1 | BULLETIN 4 | 03/24/2017

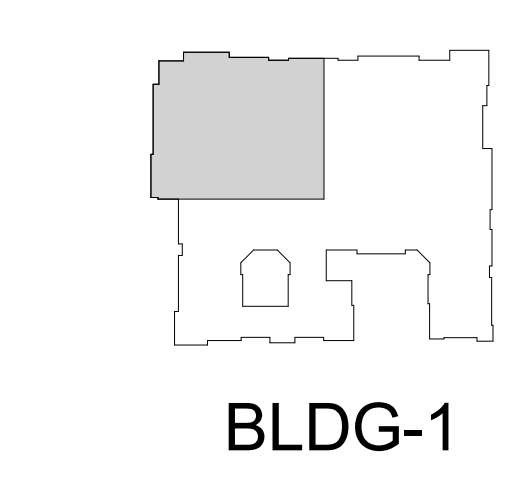


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 TELEPHONE: (408) 957-1232 FAX: (408) 957-1212

SANTA CLARA SQUARE
 3255 SCOTT BLVD, SANTA CLARA, CA 95054



REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE
 LEVEL 1 LIGHTING PLAN
 SEGMENT 3
BUILDING 1

SHEET NUMBER
 LT1-13.13

StudioK1
 DESIGNING LIGHT
 15231 Laguna Canyon Road, Suite 100
 Irvine, California 92618
 949.751.5800 - www.studiok1.com
 Salwa Osman
 SK1 Job #: 2015-0293

PHASE 1 | SUPERSTRUCTURE CONSTRUCTION SET | 09/07/2016 NOT FOR CONSTRUCTION


DEMOLITION PLAN GENERAL NOTES

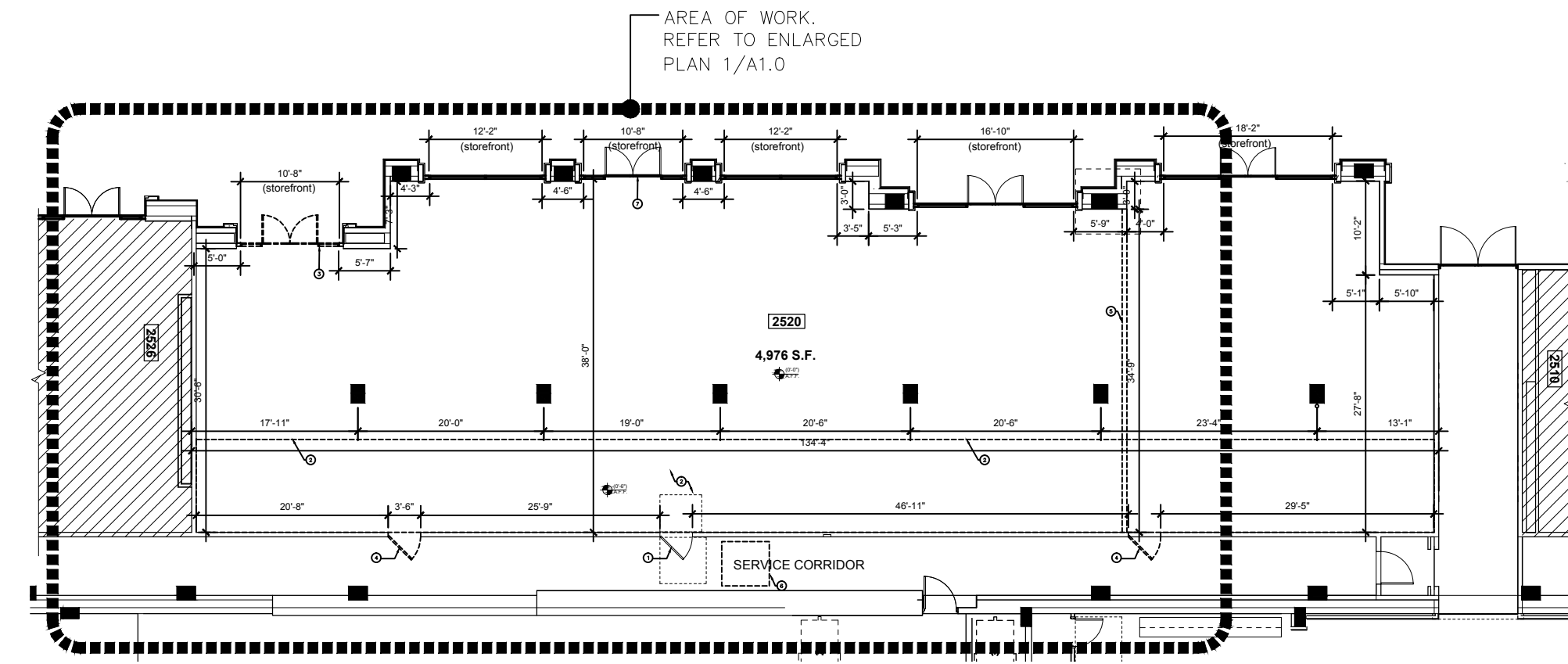
- 1 SEE SHEET A0.0 FOR SYMBOL LEGEND AND ABBREVIATIONS.
- 2 LIGHTING AT (E) COMMON CORRIDOR TO REMAIN, REFER TO KEYNOTES. ALL OTHER LIGHTING WITHIN AREA OF WORK TO BE REMOVED. PULL ABANDONED WIRING BACK TO SOURCE.
- 3 PARTITIONS MODIFIED AS PART OF "SCOPE OF WORK" TO BE PATCHED AND FINISHED TO "LIKE NEW" CONDITION, LEVEL 4 FINISH MIN.
- 4 ALL REQUIRED RATED ASSEMBLIES ARE TO REMAIN. PATCH AND REPAIR DAMAGE TO ENSURE RATING IS MAINTAINED.

DEMOLITION KEYNOTES

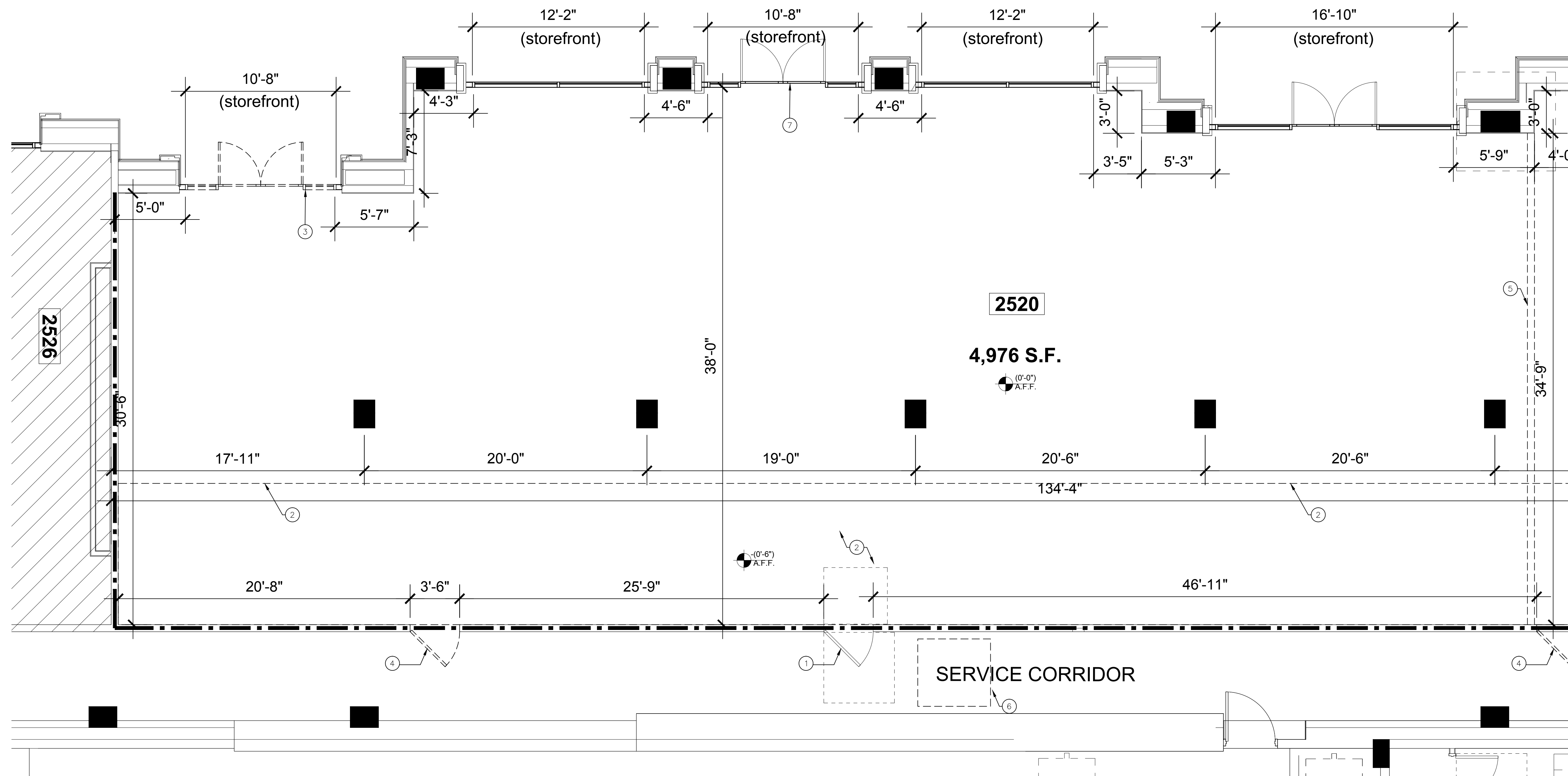
- ① G.C. TO REMOVE & SAVE EXISTING REAR ENTRY DOOR. PATCH & REPAIR WALL AS NEW
- ② EXISTING SLAB +/- 5" BELOW GRADE. G.C. TO INSTALL:
 -5" CONCRETE SLAB W/ #4 @ 16" O.C. EACH WAY, CENTERED
 -10 MIL. THICK VAPOR RETARDER PER SOILS REPORT
 -4" MIN. OF 3" CLEAN, CRUSHED, UNIFORMLY GRADED GRAVEL
 -PROPERLY PREPARED SOIL SUBGRADE- PER SOIL REPORT
- ③ G.C. TO REMOVE EXISTING STOREFRONT DOORS AND SIDE GLAZING SYSTEM
- ④ G.C. TO RELOCATE BACK ENTRY DOOR. REPLACE HARDWARE AS REQUIRED TO MAKE NEW
- ⑤ GC TO REMOVE EXISTING FULL HEIGHT G.W.B. DEMISING WALL. PATCH & REPAIR AS REQUIRED
- ⑥ GC TO PROVIDE ACCESS TO LANDLORD PROVIDED FIRE RATED SHAFT FOR DUCTING. REFERENCE MEP DRAWINGS
- ⑦ SEE A.D.A. THRESHOLD DETAIL ON SHEET A0.2

CONSTRUCTION PLAN LEGEND

-  (E) 1-HR WALL TO REMAIN
-  AREA NOT IN CONTRACT.



② DEMOLITION KEY PLAN
 1/16" = 1'-0"



① EXISTING/ DEMOLITION PLAN
 1/4" = 1'-0"

SUBMITTAL/REVISIONS
 LANDLORD/PERMIT
 SUBMITTAL SET 12/21/18

EXISTING FLOOR PLAN
 DEMOLITION PLAN SHEET 1

SHEET NUMBER

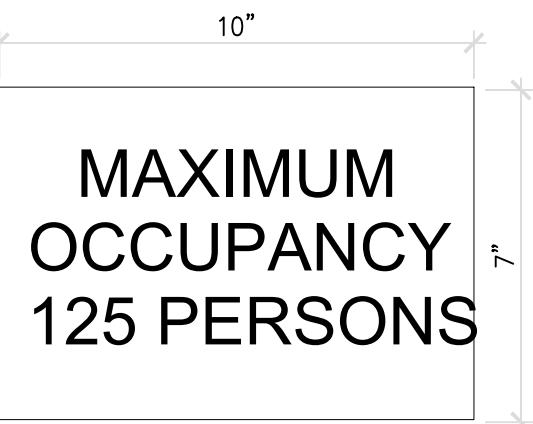
A1.0

CONSTRUCTION PLAN GENERAL NOTES

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- CONTRACTOR SHALL COORDINATE WITH MALIBU POKI TENANT IN THE INSTALLATION OF THE TYPE I HOOD, REF. MEP.
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CONSTRUCTION PLAN LEGEND

- (E) 1-HR WALL TO REMAIN
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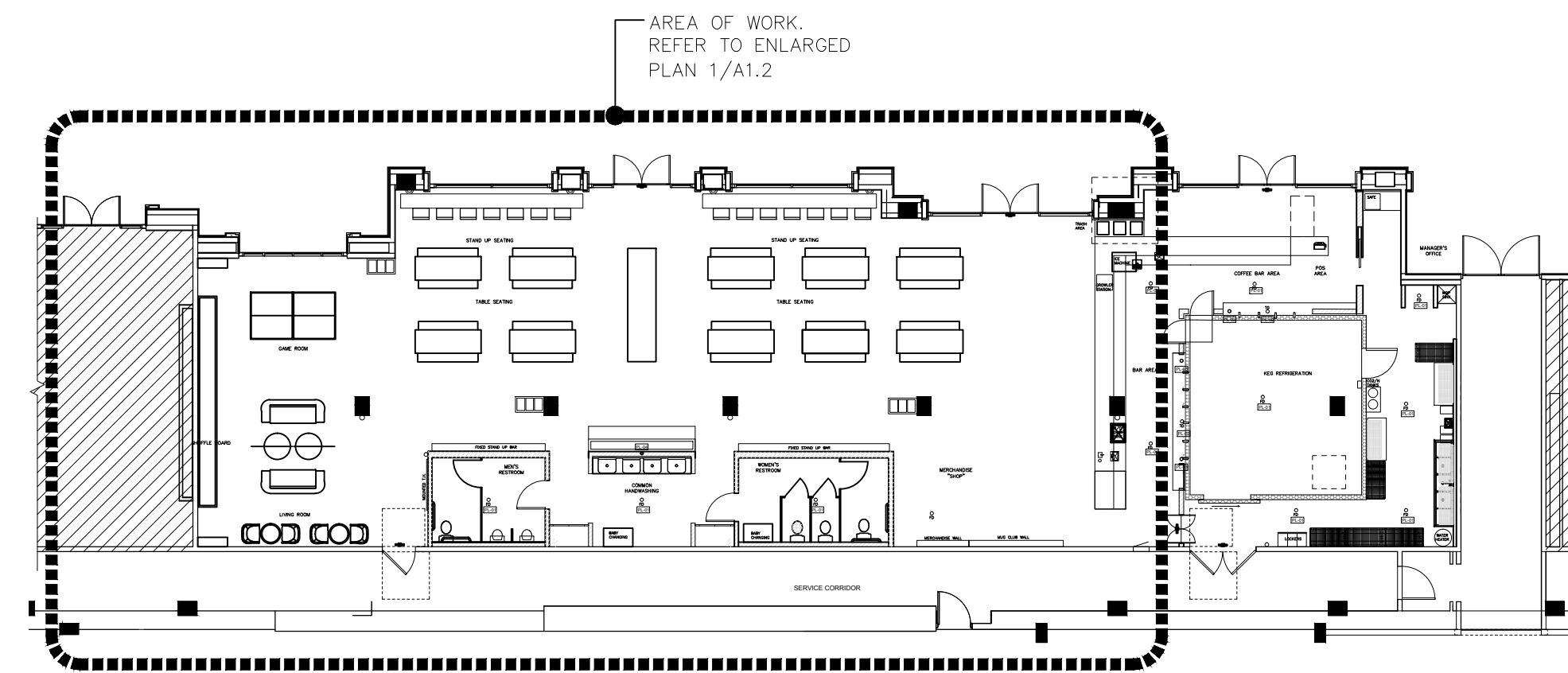
NOTE: SIGN REQUIRED AT ONLY 1 ENTRANCE.

FLOOR PLAN NOTES

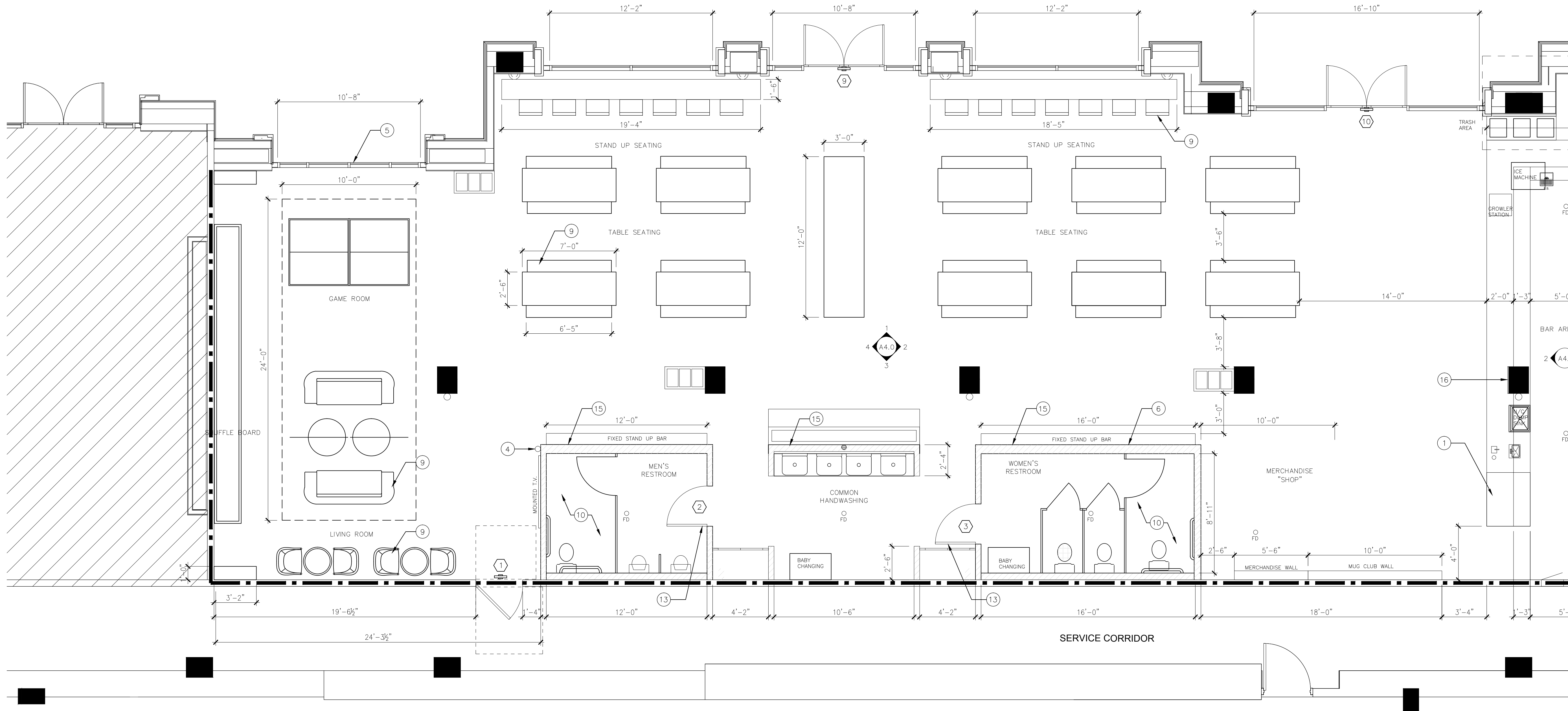
- (N) ACCESSIBLE MILLWORK. MIN. 36" LONG BY MAX 34" HIGH
- (N) WATER HEATER.
- (N) FOOD SERVICE EQUIPMENT.
- (N) CLASS "A" FIRE EXTINGUISHER
- (N) STOREFRONT WINDOWS TO REMAIN - WINDOWS ARE FIXED
- (N) NON - RATED WALL PER PARTITION SCHEDULE SHEET A0.2
- (N) 3-COMP SINK
- (N) WALK-IN COOLER, REFER TO MEP DRAWINGS FOR REQUIREMENTS
- (N) FURNITURE
- (N) ADA RESTROOM
- (N) MOP SINK
- (N) EMPLOYEE LOCKERS
- DOORS TO BE SELF-CLOSING (N)
- GC TO PROVIDE TRIM PIECES AT WALK-IN, WALL TRANSITION
- GC TO PROVIDE 4' x 8' PLYWOOD SHEATHING FOR WALL BACKING
- GC TO WRAP COLUMN WITH MIRRORS ON NORTH, WEST, SOUTH COLUMN FACE

LANDLORD REQUIRED CONTRACTORS

- ACCESS TO LANDLORD'S UTILITY ROOMS**
 Company: IRVINE COMPANY RETAIL PROPERTIES Contact: MIKE WILSON
 Phone: (209) 423-1612 Email: MWILSON@IRVINECOMPANY.COM
- FIRE SPRINKLER**
 Company: AUTOMATIC FIRE SPRINKLER Contact: HEATHER MCNEIL
 Phone: (714) 841-2066 Email: HEATHER@AFS-FIRE.COM
- FIRE ALARM**
 Company: RED ROCK SECURITY & CABLING, INC. Contact: RANDY JARA
 Phone: (949) 900-3460 Email: RANDYJ@ITREDROCK.COM
- ROOFING**
 Company: ALL SEASONS ROOFING Contact: STAN BRUNSON
 Phone: (408) 767-1511 Email: STAN@ALLSEASONSROOF.COM
- WATERPROOFING CONSULTANT**
 Company: ALLANA BUICK & BERS, INC (ABB) Contact: MATT DUTROW
 Phone: (650) 444-4965 Email: MDUTROW@ABBAE.COM
- PAINTING (BUILDING EXTERIOR ONLY)**
 Company: CONTACT LANDLORD REPRESENTATIVE Contact:
 Phone: Email:
- GLAZING & STOREFRONT SYSTEMS**
 Company: ARCHITECTURAL GLASS SYSTEMS Contact: MICHAEL FINE
 Phone: (707) 685-2570 Email: MFINE@ARCHGSS.COM
- HVAC (COMMISSIONING & START-UP OF LANDLORD PROVIDED EQUIPMENT)**
 Company: LDI MECHANICAL Contact: REBECCA RATLIFF
 Phone: (951) 520-5550 Email: REBECCA.RATLIFF@LDIMECHANICAL.COM
- ELECTRICAL (FOR CONNECTION TO LANDLORD'S SWITCHGEAR ONLY)**
 Company: SEAL ELECTRIC Contact: NICK BONGIOVANNI
 Phone: (619) 341-4024 Email: NICK@SEALELECTRIC.COM



2 CONSTRUCTION KEY PLAN
1/16" = 1'-0"



1 CONSTRUCTION PLAN
1/4" = 1'-0"

BAREBOTTLE BREW COMPANY
 SANTA CLARA SQUARE
 BUILDING ONE
 2520 AUGUSTINE SQUARE
 SANTA CLARA, CA 95054

BREW BOTTLE CO
SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

SUBMITTAL/REVISIONS
 LANDLORD/PERMIT SUBMITTAL SET 12/21/18



CONSTRUCTION FLOOR PLAN SHEET 1

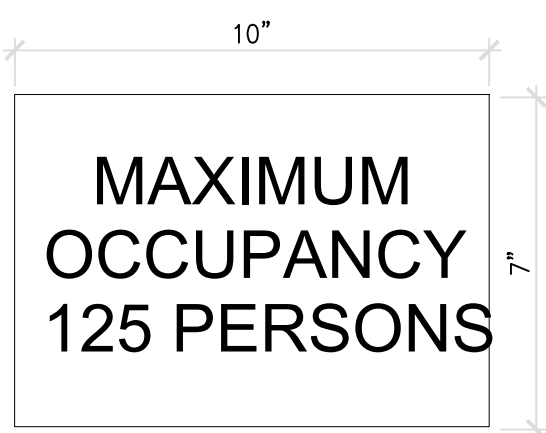
SHEET NUMBER
A1.2

CONSTRUCTION PLAN GENERAL NOTES

- 1 SEE SHEET A0.0 FOR SYMBOL LEGEND AND ABBREVIATIONS.
- 2 LIGHTING AT (E) COMMON CORRIDOR TO REMAIN. REFER TO KEYNOTES. ALL OTHER LIGHTING WITHIN AREA OF WORK TO BE REMOVED. PULL ABANDONED WIRING BACK TO SOURCE.
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CONSTRUCTION PLAN LEGEND

-  (E) 1-HR WALL TO REMAIN
-  AREA NOT IN CONTRACT.



NOTE: SIGN REQUIRED AT ONLY 1 ENTRANCE.

FLOOR PLAN NOTES

- 1 (N) ACCESSIBLE MILLWORK. MIN. 36" LONG BY MAX 34" HIGH
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- 7 (N) 3-COMP SINK
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- 9 (N) FURNITURE
- 10 (N) ADA RESTROOM
- 11 (N) MOP SINK
- 12 (N) EMPLOYEE LOCKERS
- 13 DOORS TO BE SELF-CLOSING (N)
- 14 GC TO PROVIDE TRIM PIECES AT WALK-IN, WALL TRANSITION
- 15 GC TO PROVIDE 4' x 8' PLYWOOD SHEATHING FOR WALL BACKING
- 16 GC TO WRAP COLUMN WITH MIRRORS ON NORTH, WEST, SOUTH COLUMN FACE

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ACCESS TO LANDLORD'S UTILITY ROOMS
 Company: IRVINE COMPANY RETAIL PROPERTIES Contact: MIKE WILSON
 Phone: (209) 423-1612 Email: MWILSON@IRVINECOMPANY.COM

FIRE SPRINKLER
 Company: AUTOMATIC FIRE SPRINKLER Contact: HEATHER MCNEIL
 Phone: (714) 841-2066 Email: HEATHER@AFS-FIRE.COM

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 Phone: (949) 900-3460 Email: RANDYJ@ITREDROCK.COM

ROOFING
 Company: ALL SEASONS ROOFING Contact: STAN BRUNSON
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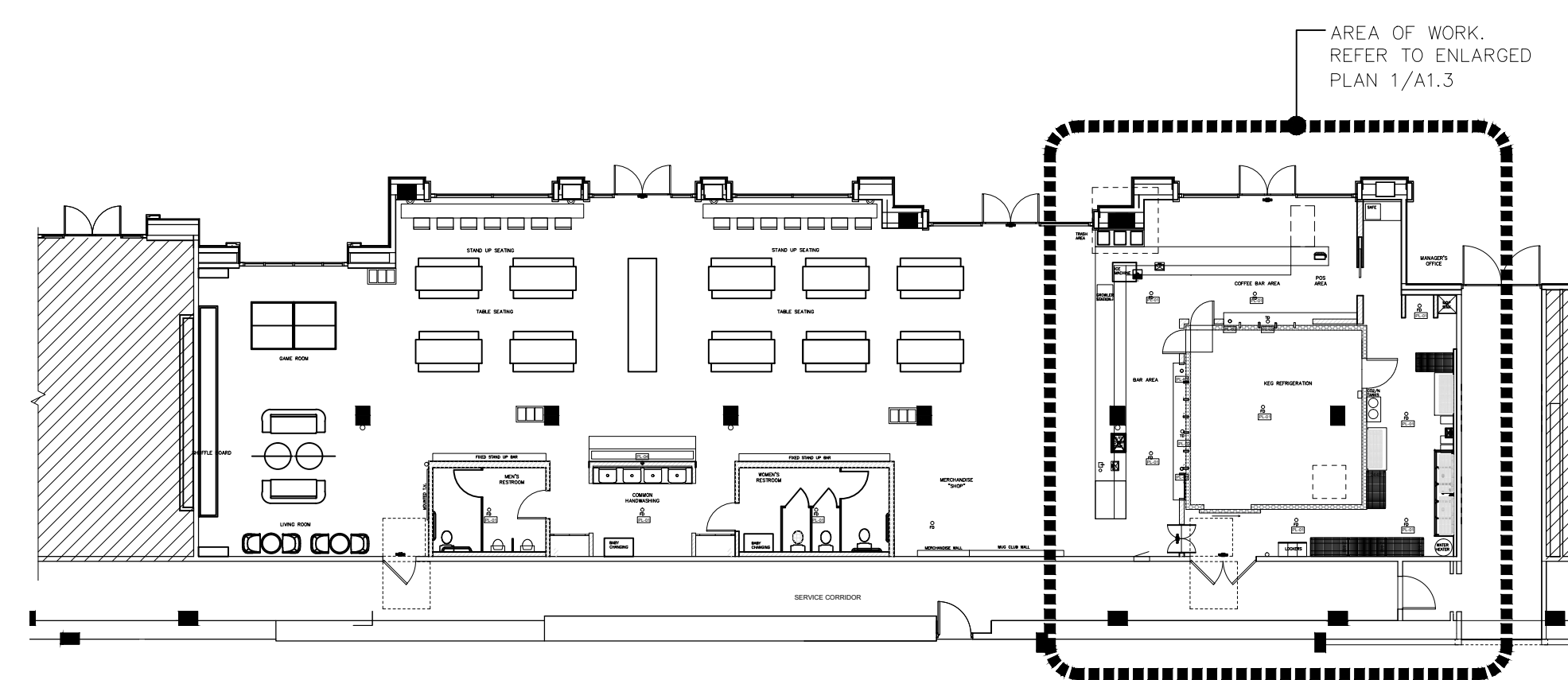
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PAINTING (BUILDING EXTERIOR ONLY)
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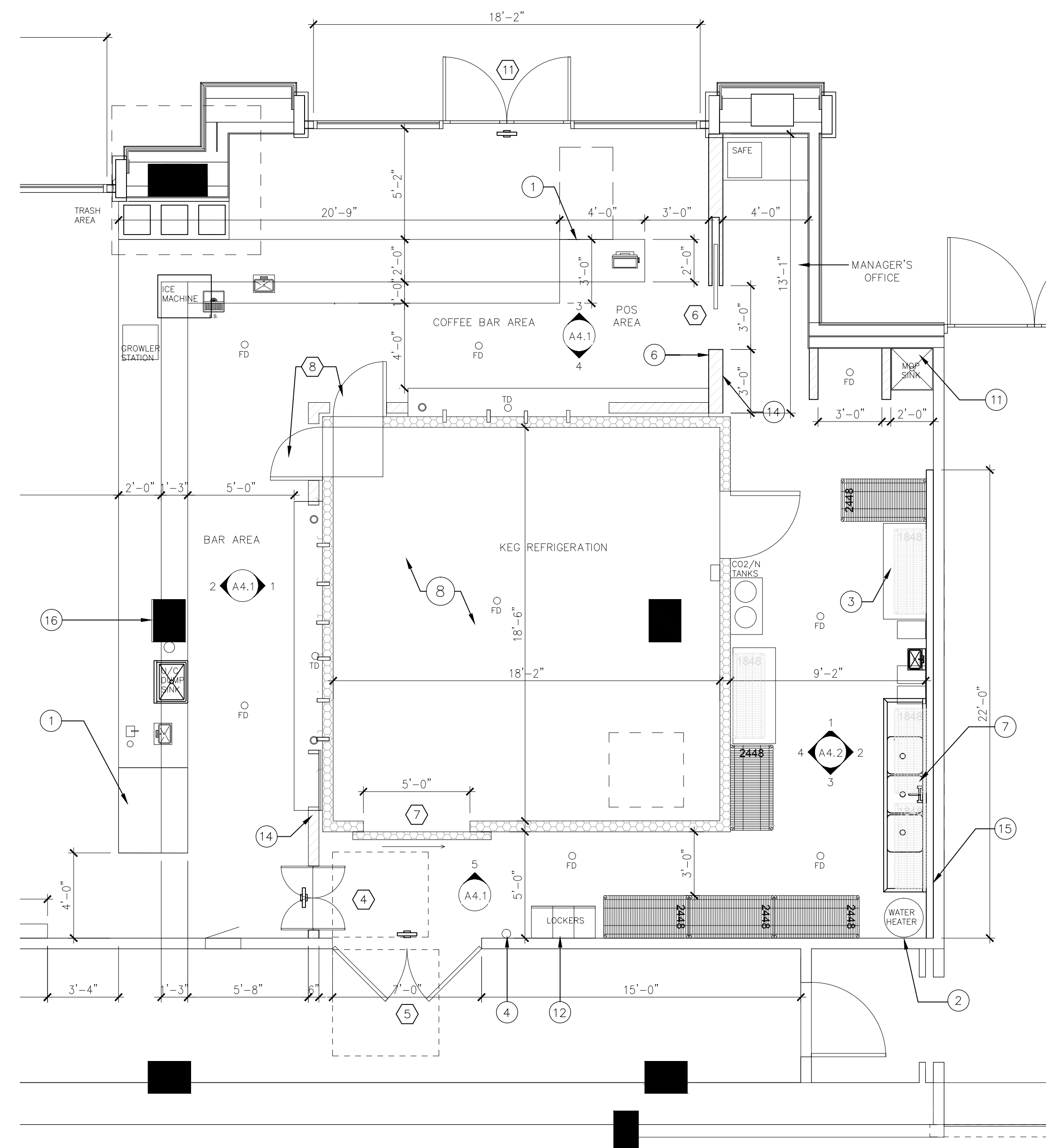
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BAREBOTTLE BREW COMPANY
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BREW BOTTLE CO
SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

SUBMITTAL/REVISIONS
 LANDLORD/PERMIT
 SUBMITTAL SET 12/21/18

CONSTRUCTION FLOOR PLAN
 SHEET 2

SHEET NUMBER
A1.3

REFLECTED CEILING PLAN LEGEND

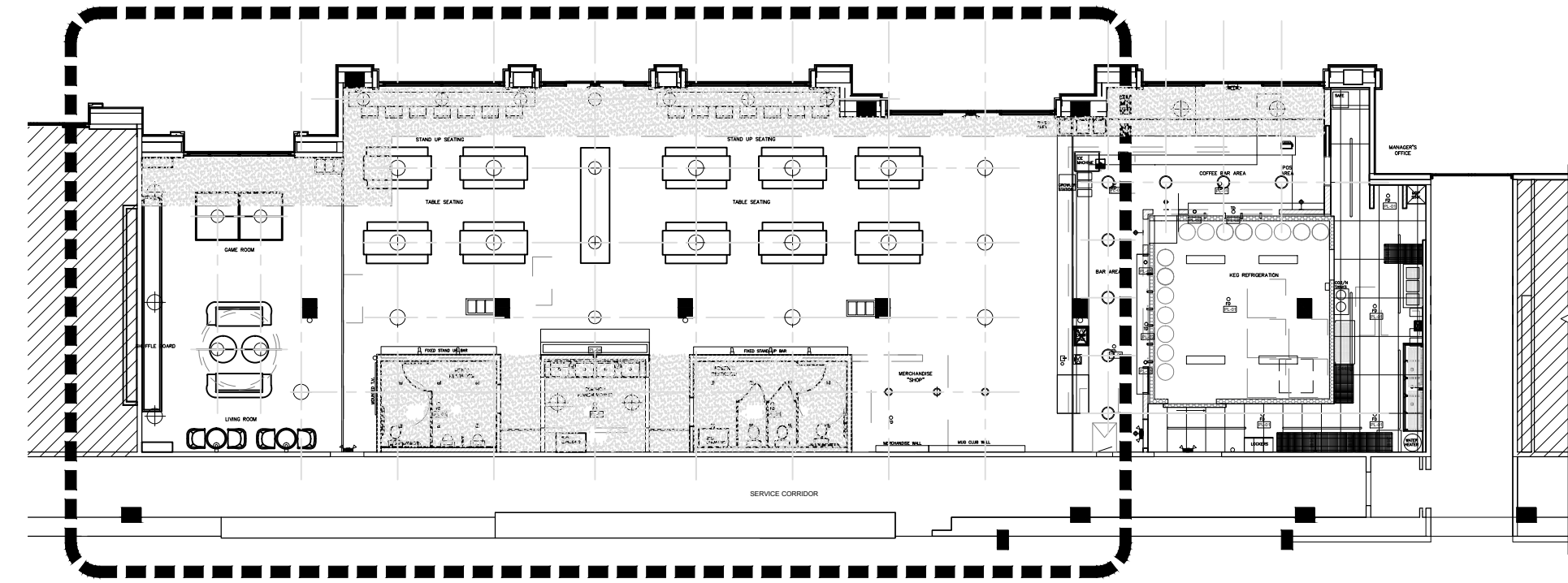
	SECURITY CAMERA. 110V OUTLET REQUIRED
	FLUSH CEILING ELECTRICAL OUTLET
	STEREO SPEAKER, PAINT WHITE TO MATCH CLG
	DRUM PENDANT
	16" GLASS PENDANT
	"ACORN" PENDANT
	14" HANGING GLOBE
	SURFACED LINEAR FIXTURE
	SWING ARM LAMP WALL LIGHT
	HUDSON VALLEY FLEMING WALL LIGHT
	DOMINGO LED WALL LIGHT
	EXIT LIGHTING
	EMERGENCY LIGHT
	INTERIOR RECESSED LED DOWNLIGHT
	2 WAY BLOWER VENT, SQUARE
	RETURN AIR GRILLE, SQUARE
	SUPPLY AIR DIFFUSER, SQUARE
	(N) GYSPUM BOARD CEILING
	(N) 2x4 ACOUSTIC CEILING TILE AND GRID

LIGHTING FIXTURE SCHEDULE

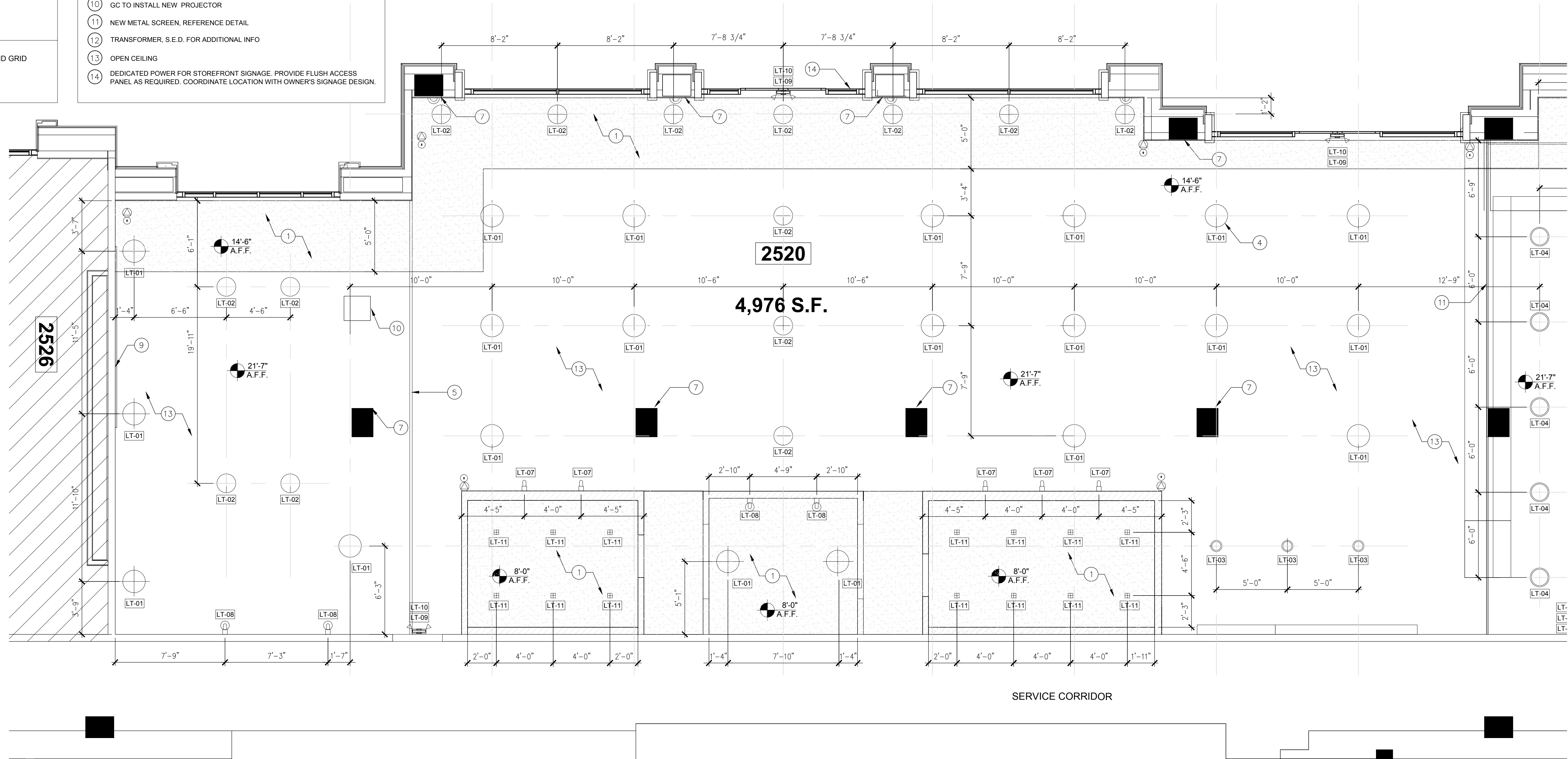
FIXTURE TYPE	Count	DESCRIPTION	MFR	MODEL #	LAMP	COLOR TEMP	NOTES
LT-01	23	19" LED DRUM PENDANT	ALL MODERN LIGHTING	SKU: IVBX4372	LED		FIXTURES ABOVE GAME ROOM, LIVING ROOM, DINING AREA AND COMMON HANDWASHING
LT-02	14	16" GLASS PENDANT	REJUVENATION LIGHTING	A0372	LED	2700 K	FIXTURES ABOVE GAME ROOM, LIVING ROOM AND DINING AREA
LT-03	3	"ACORN" PENDANT			LED	2700 K	BY OWNER, FIXTURES ABOVE MERCHANDISE AREA
LT-04	8	14" HANGING GLOBE	1-800 LIGHTING	MFR SKU:6024-04	LED	2700 K	FIXTURES ABOVE BAR AREA
LT-05	6	SURFACED LINEAR FIXTURE	CREE LIGHTING	LS4	LED	4000 K	FIXTURES ABOVE KITCHEN AREA
LT-06	4	SWING ARM LAMP WALL LIGHT	ALL MODERN LIGHTING	SKU: TADN7320	LED	2700 K	FIXTURES ABOVE BAR AREA AND COFFEE BAR AREA
LT-07	5	HUDSON VALLEY FLEMING WALL LIGHT	LAMPS PLUS LIGHTING		LED	2700 K	FIXTURES ABOVE DINING AREA.
LT-08	4	DOMINGO LIGHT ARMED SCOCNE WALL LIGHT	ALL MODERN LIGHTING	SKU: CSTD5944	LED		FIXTURES ABOVE LIVING AREA
LT-09	6	EMERGENCY LIGHTING	DUAL LITE LIGHTING		LED		
LT-10	6	EXIT LIGHTING	BARRON LIGHTING	VLEDC-51-WH-G2	LED	6000 K	
LT-11	14	MINI LED MULTIPLE SPOTS LIGHT	WAC LIGHTING	MT-3LD111R	LED		
LT-12	4	LED FOOD SAFE	MANUFACTURER	MANUFACTURER	LED		BY EQUIPMENT VENDOR; WALK-IN COOLER LIGHTS

REFLECTED CEILING PLAN NOTES

- 1 (N) GWB SOFFIT/CEILING
- 2 (N) CLEANABLE ACOUSTIC CEILING
- 3 COLD ROOM CEILING PER COLD ROOM MANUFACTURER
- 4 (N) LIGHT FIXTURE TYP.
- 5 (N) 6'-0" CEILING CURTAIN
- 6 LOCATION OF SWITCH BANK OR LIGHTING CONTROL PANEL, S.E.D.
- 7 GC TO MOUNT OWNER PROVIDED TV'S AND MOUNTING HARDWARE
- 8 SHELVES, SEE INTERIOR ELEVATIONS AND/OR EQUIPMENT PLAN
- 9 GC TO INSTALL NEW TV PROJECTOR SCREEN
- 10 GC TO INSTALL NEW PROJECTOR
- 11 NEW METAL SCREEN, REFERENCE DETAIL
- 12 TRANSFORMER, S.E.D. FOR ADDITIONAL INFO
- 13 OPEN CEILING
- 14 DEDICATED POWER FOR STOREFRONT SIGNAGE. PROVIDE FLUSH ACCESS PANEL AS REQUIRED. COORDINATE LOCATION WITH OWNER'S SIGNAGE DESIGN.



2 REFLECTED CEILING KEY PLAN
1/16" = 1'-0"



1 REFLECTED CEILING PLAN
1/4" = 1'-0"

BAREBOTTLE BREW COMPANY
SANTA CLARA SQUARE
BUILDING ONE
2520 AUGUSTINE SQUARE
SANTA CLARA, CA 95054

BARE BOTTLE CO
SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

SUBMITTAL REVISIONS
LANDLORD/PERMIT SUBMITTAL SET 12/21/18

REFLECTED CEILING PLAN SHEET 1

SHEET NUMBER
A2.0

REFLECTED CEILING PLAN LEGEND

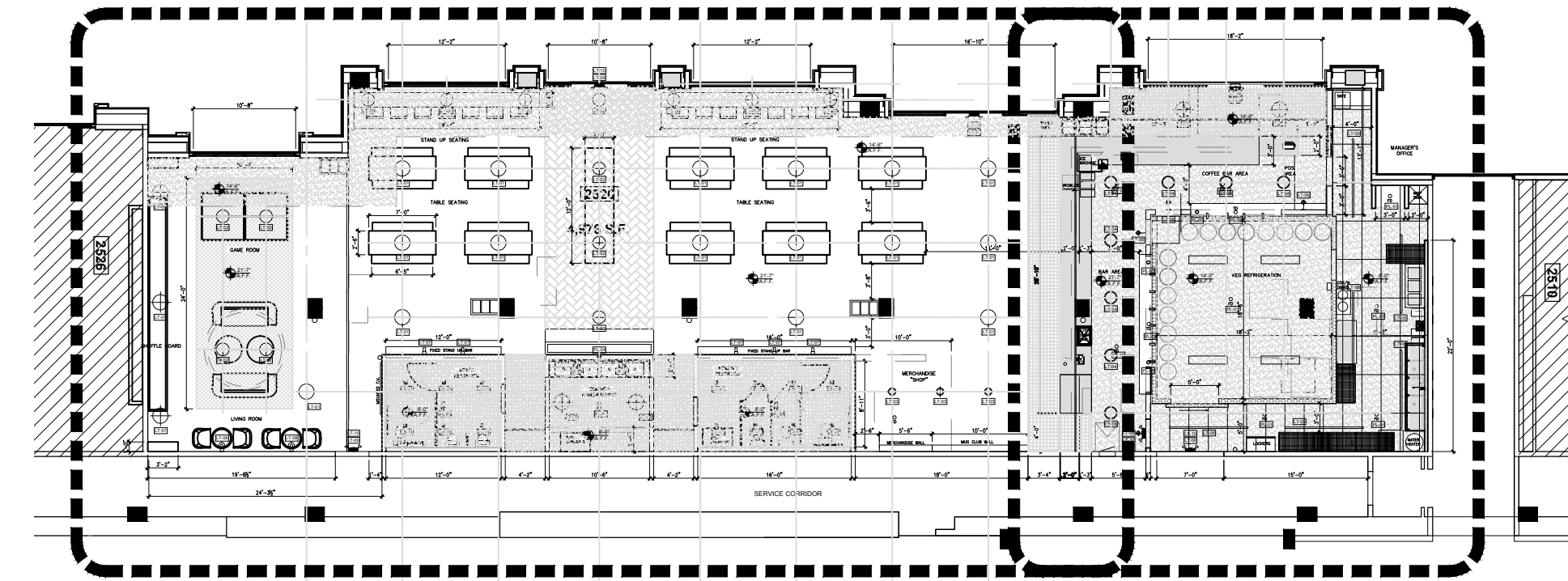
	SECURITY CAMERA. 110V OUTLET REQUIRED
	FLUSH CEILING ELECTRICAL OUTLET
	STEREO SPEAKER, PAINT WHITE TO MATCH CLG
	DRUM PENDANT
	16" GLASS PENDANT
	"ACORN" PENDANT
	14" HANGING GLOBE
	SURFACED LINEAR FIXTURE
	SWING ARM LAMP WALL LIGHT
	HUDSON VALLEY FLEMING WALL LIGHT
	DOMINGO LED WALL LIGHT
	EXIT LIGHTING
	EMERGENCY LIGHT
	INTERIOR RECESSED LED DOWNLIGHT
	2 WAY BLOWER VENT, SQUARE
	RETURN AIR GRILLE, SQUARE
	SUPPLY AIR DIFFUSER, SQUARE
	(N) GYSPUM BOARD CEILING
	(N) 2x4 ACOUSTIC CEILING TILE AND GRID

LIGHTING FIXTURE SCHEDULE

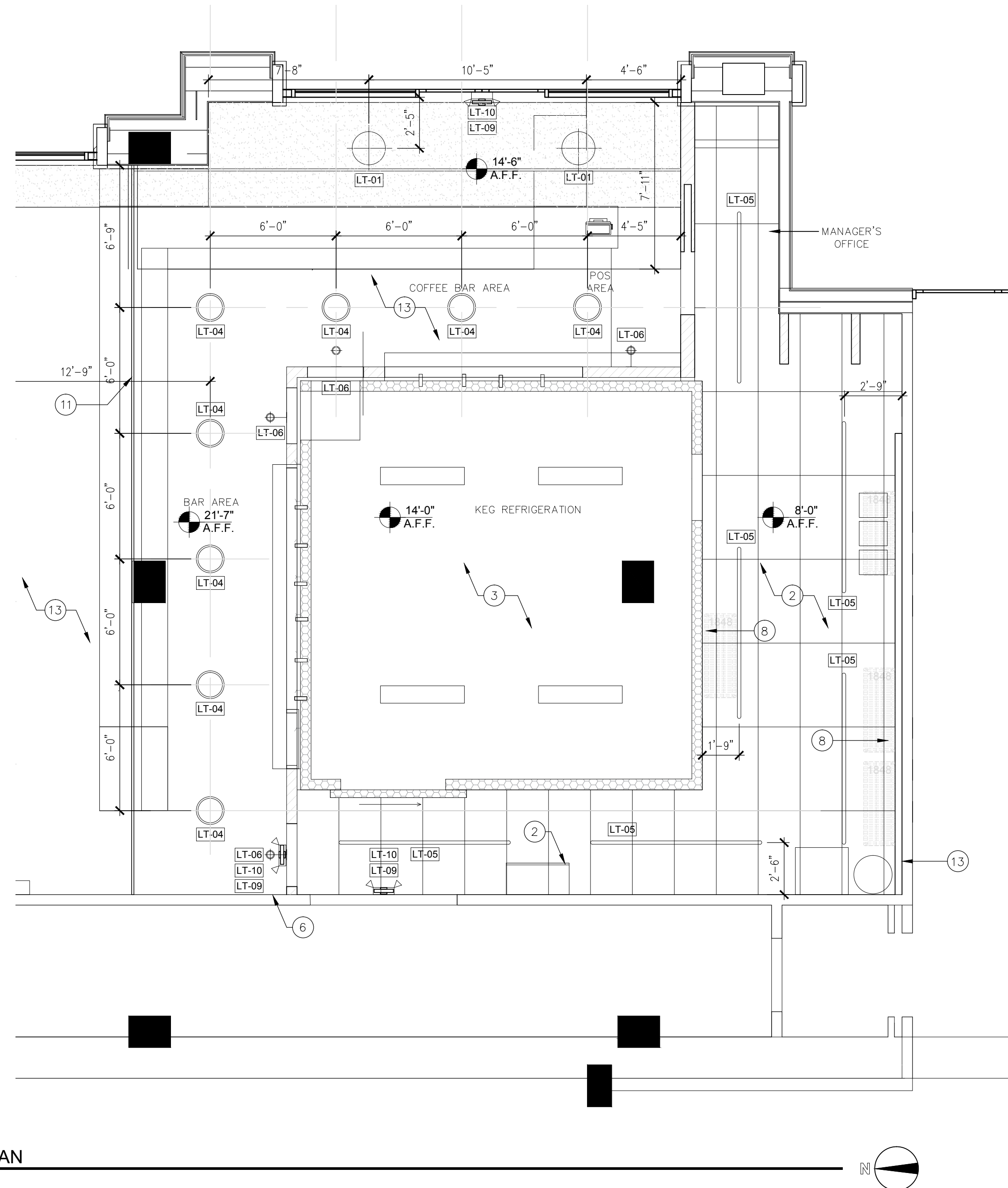
FIXTURE TYPE	Count	DESCRIPTION	MFR	MODEL #	LAMP	COLOR TEMP	NOTES
LT-01	23	19" LED DRUM PENDANT	ALL MODERN LIGHTING	SKU: IVBX4372	LED		FIXTURES ABOVE GAME ROOM, LIVING ROOM, DINING AREA AND COMMON HANDWASHING
LT-02	14	16" GLASS PENDANT	REJUVENATION LIGHTING	A0372	LED	2700 K	FIXTURES ABOVE GAME ROOM, LIVING ROOM AND DINING AREA
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LT-05	6	SURFACED LINEAR FIXTURE	CREE LIGHTING	LS4	LED	4000 K	FIXTURES ABOVE KITCHEN AREA
LT-06	4	SWING ARM LAMP WALL LIGHT	ALL MODERN LIGHTING	SKU: TADN7320	LED	2700 K	FIXTURES ABOVE BAR AREA AND COFFEE BAR AREA
LT-07	5	HUDSON VALLEY FLEMING WALL LIGHT	LAMPS PLUS LIGHTING		LED	2700 K	FIXTURES ABOVE DINING AREA.
LT-08	4	DOMINGO LIGHT ARMED SCONCE WALL LIGHT	ALL MODERN LIGHTING	SKU: CSTD5944	LED		FIXTURES ABOVE LIVING AREA
LT-09	6	EMERGENCY LIGHTING	DUAL LITE LIGHTING		LED		
LT-10	6	EXIT LIGHTING	BARRON LIGHTING	VLEDC-51-WH-G2	LED	6000 K	
LT-11	14	MINI LED MULTIPLE SPOTS LIGHT	WAC LIGHTING	MT-3LD111R	LED		
LT-12	4	LED FOOD SAFE	MANUFACTURER	MANUFACTURER	LED		BY EQUIPMENT VENDOR; WALK-IN COOLER LIGHTS

REFLECTED CEILING PLAN NOTES

- 1 (N) GWB SOFFIT/CEILING
- 2 (N) CLEANABLE ACOUSTIC CEILING
- 3 COLD ROOM CEILING PER COLD ROOM MANUFACTURER
- 4 (N) LIGHT FIXTURE TYP.
- 5 (N) 6'-0" CEILING CURTAIN
- 6 LOCATION OF SWITCH BANK OR LIGHTING CONTROL PANEL, S.E.D.
- 7 GC TO MOUNT OWNER PROVIDED TV'S AND MOUNTING HARDWARE
- 8 SHELVES, SEE INTERIOR ELEVATIONS AND/OR EQUIPMENT PLAN
- 9 GC TO INSTALL NEW TV PROJECTOR SCREEN
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- 12 TRANSFORMER, S.E.D. FOR ADDITIONAL INFO
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1/16" = 1'-0"



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1/4" = 1'-0"

BAREBOTTLE BREW COMPANY
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2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

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SUBMITTAL SET

REFLECTED CEILING PLAN
SHEET 2

SHEET NUMBER
A2.1

FINISHES AND MATERIALS

KEY	ITEM	MANUFACTURER	DESCRIPTION	NOTES
ACT	ACOUSTICAL CEILING TILE	ARMSTRONG	KITCHEN ZONE 672, 24" X 48"	GC TO ENSURE CEILING TILES ARE CLEAN, WASHABLE SURFACE
FRP	FIBERGLASS-REINFORCED PANELING	MARLITE	P-100 SMOOTH FINISH	PROVIDE MATCHING TRIM AT ALL SEAMS. EXTEND FROM TOP OF BASE TO UNDERSIDE OF CEILING.
FL1	SLIP RESISTANT SAFETY FLOORING	ECO-GRIP	PEWTER COLOR	6" INTEGRAL COVE BASE, SEE DETAIL 1/A5.1
FL2	POLISHED CONCRETE	BY G.C.	LEVEL 2 POLISH 800 GRIT	APPROXIMATELY 3,100 S.F. OF CONCRETE SURFACE
GL1	GLASS MIRROR	BY G.C.		AT N, E & W COLUMN WALL 6" ABOVE METAL MESH
MT1	MILD STEEL STAND UP TABLES	BY G.C.		
MT2	1/4" MILD STEEL FLOOR BASE	BY G.C.	6" TALL	
MT3	OVERHEAD POWDER COATED METAL PANELS	BY G.C.	3/8" DIAMOND MESH STEEL, POWDER COATED GOLD	
MT4	WALK-IN COOLER METAL CEILING/WALL PANELS	NORLAKE	26 GAUGE STUCCO EMBOSSED STEEL	GC TO ENSURE NO GAPS AT COOLER/CEILING/WALL TRANSITIONS
PT1	CEILING PAINT	BENJAMIN MOORE	GRAVEL GRAY 2127-30, FLAT FINISH	PROVIDE (2) COATS MIN. SEE MFR RECOMMENDATIONS
PT2	CEILING PAINT	BENJAMIN MOORE	CHANTILLY LACE 2121-70, SEMI-GLOSS FINISH	AT RESTROOM AND UNDERSIDE OF SOFFITS; PROVIDE (2) COATS MIN. SEE MFR RECOMMENDATIONS
PT3	TAPROOM WALL PAINT	BENJAMIN MOORE	GRAYSTONE 1475, EGG SHELL FINISH	PROVIDE (2) COATS MIN. SEE MFR RECOMMENDATIONS
PT4	LIVING ROOM WALL PAINT	BENJAMIN MOORE	SEMI-GLOSS FINISH, MATCH PANTONE NO. 7546	PROVIDE (2) COATS MIN. SEE MFR RECOMMENDATIONS
TL1	FRONT BAR FACE TILE	FIRE CLAY TILE	BAREBOTTLE BLUE CUSTOM HANDMADE 3"X9", STACKED BOND	G.C. TO USE EPOXY GROUT; GROUT COLOR: #381 BRIGHT WHITE, NON-SANDED
TL2	WALL TILE - BAR TILE	FIRE CLAY TILE	BAREBOTTLE BLUE CUSTOM HANDMADE 3"X9", STACKED BOND	G.C. TO USE EPOXY GROUT; GROUT COLOR: #381 BRIGHT WHITE, NON-SANDED
TL3a	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL3b	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL3c	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL3d	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL4	COVE BASE TILE - RESTROOM		6X6 W/ 1/2" COVE BASE ASHEN GRAY QUARRY TILE	G.C. TO USE EPOXY GROUT. GROUT COLOR: #60 CHARCOAL, NON-SANDED
TL5	FLOOR TILE - RESTROOM		6X6 ASHEN GRAY QUARRY TILE	G.C. TO USE EPOXY GROUT. GROUT COLOR: #60 CHARCOAL, NON-SANDED
TL5	CEMENT TILE AT WALK-IN	EMSER	12"X24" CHIADO	G.C. TO USE EPOXY GROUT. GROUT COLOR: #115 CHARCOAL, NON-SANDED
CT1	LIVING ROOM	BY OWNER		
WD1	LIVING ROOM WALL PANELING	BY G.C.	OAK HARDWOOD OR VENEER WALL PANELING, CLEAR VARNISH	G.C. TO PROVIDE SAMPLES FOR REVIEW WITH MILLWORK SHOP DRAWINGS
WD2	WOOD WIDE PLANK FLOORING AT ENTRY	URBAN FLOOR	VILLA CAPRISI MESSINA 9 1/2" X 5/8"	INSTALL PLANKS IN HERRINGBONE DESIGN PER FINISH PLAN
WD3	SLAT WALL	BY G.C.		
WD4	WOOD BAR TOP	BY G.C.		

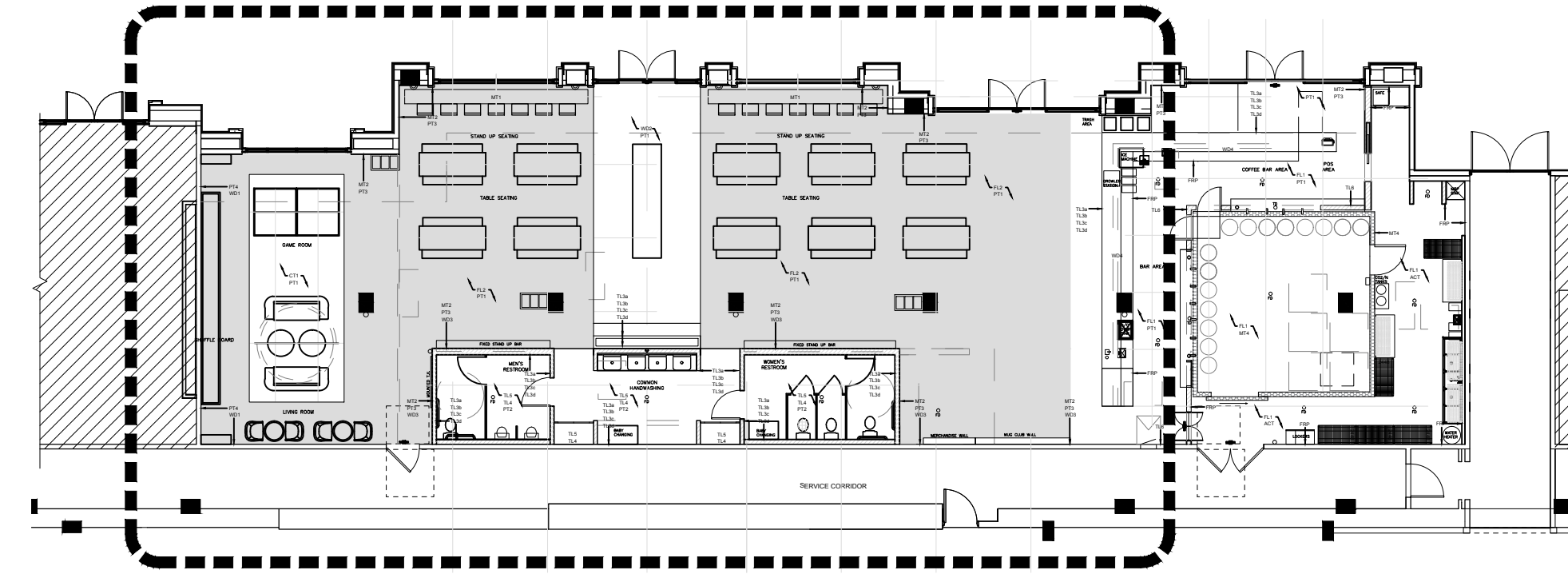
FINISH SCHEDULE

NUMBER	LOCATION	FLOOR	BASE	WALL	CEILING	NOTES
100	TAPROOM SEATING AREA	FL2-WD2	MT2	PT3-WD3	PT1	
101	LIVING ROOM	FL2-CT1	WD1	WD1-PT4	PT1	
102	BAR AREA	FL1	FL1	FRP	PT1	
103	WALK-IN COOLER	FL1	FL1	MT4	MT4	
104	BACK OF HOUSE	FL1	FL1	FRP	ACT	
105	STORAGE	FL1	FL1	FRP	ACT	
106	COMMON HANDWASHING	TL5	TL4	TL3a-TL3b TL3c-TL3d	PT2	
107	MEN'S RESTROOM	TL5	TL4	TL3a-TL3b TL3c-TL3d	PT2	
108	WOMEN'S RESTROOM	TL5	TL4	TL3a-TL3b TL3c-TL3d	PT2	

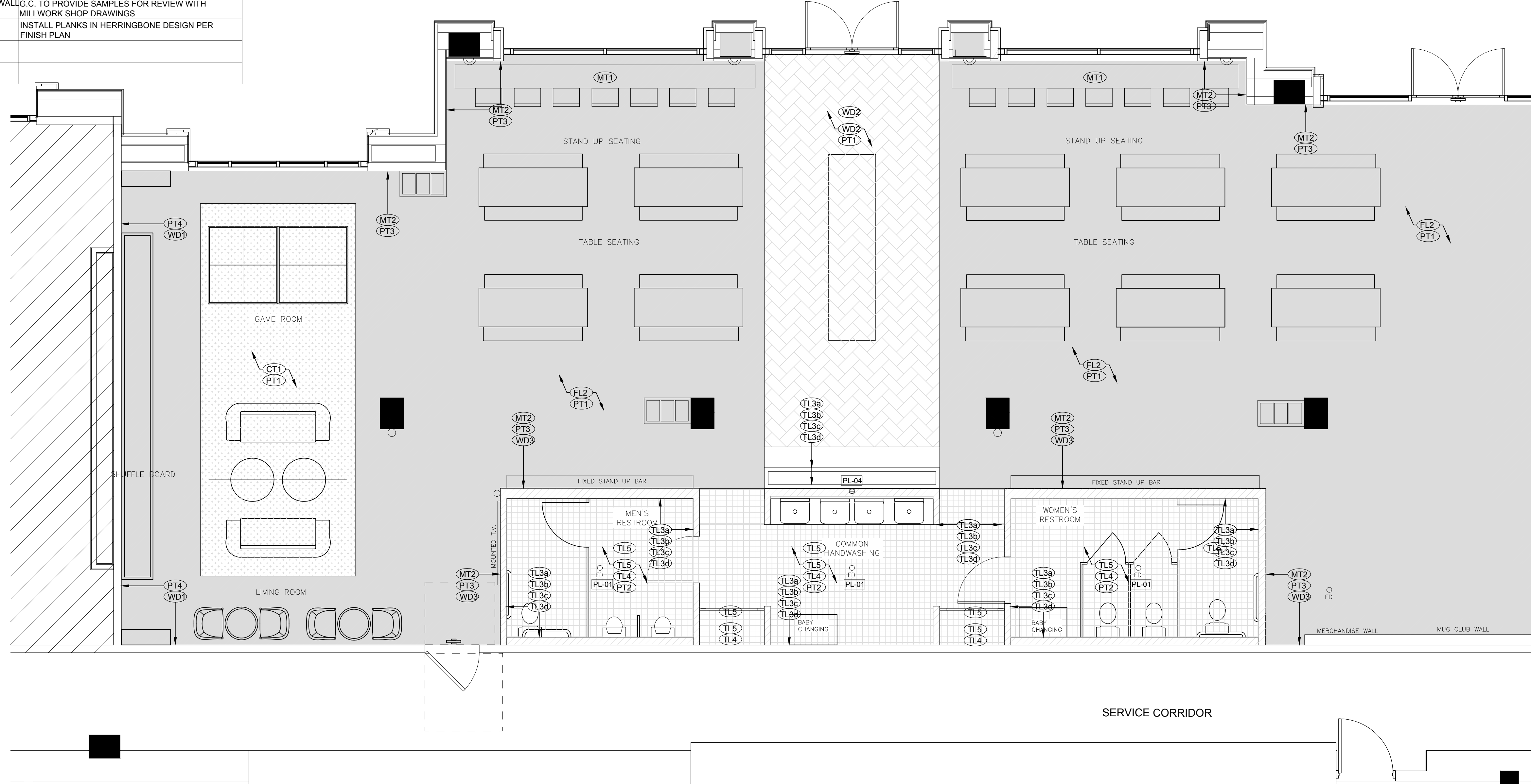
FINISH PLAN NOTES

- 1 (N) FLOOR AND WALL FINISHES
- 2 F.R.P. ON ALL WALLS, FULL HEIGHT

- NOTES:
1. ALL FLOORS TO BE SLIP - RESISTANT.
 2. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILINGS SHALL BE TESTED AS SPECIFIED IN CBC SECTION 803, PER TABLE 803.9, M OCCUPANCY. FINISHES TO BE CLASS C.



2 FINISH KEY PLAN
 1/16" = 1'-0"



1 FINISH PLAN - GROUND FLOOR
 1/4" = 1'-0"

SUBMITTAL/REVISIONS
 LANDLORD/PERMIT
 SUBMITTAL SET
 12/21/18

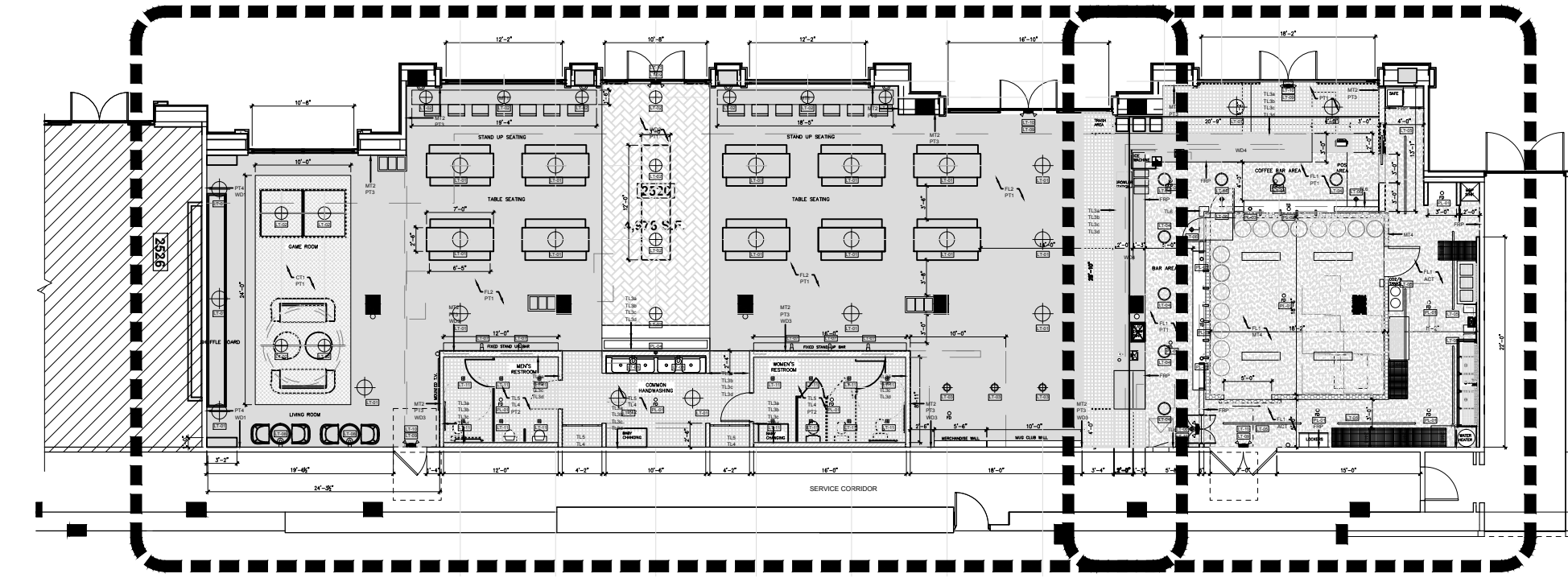
FINISH PLAN
 SHEET 1

SHEET NUMBER
A2.2

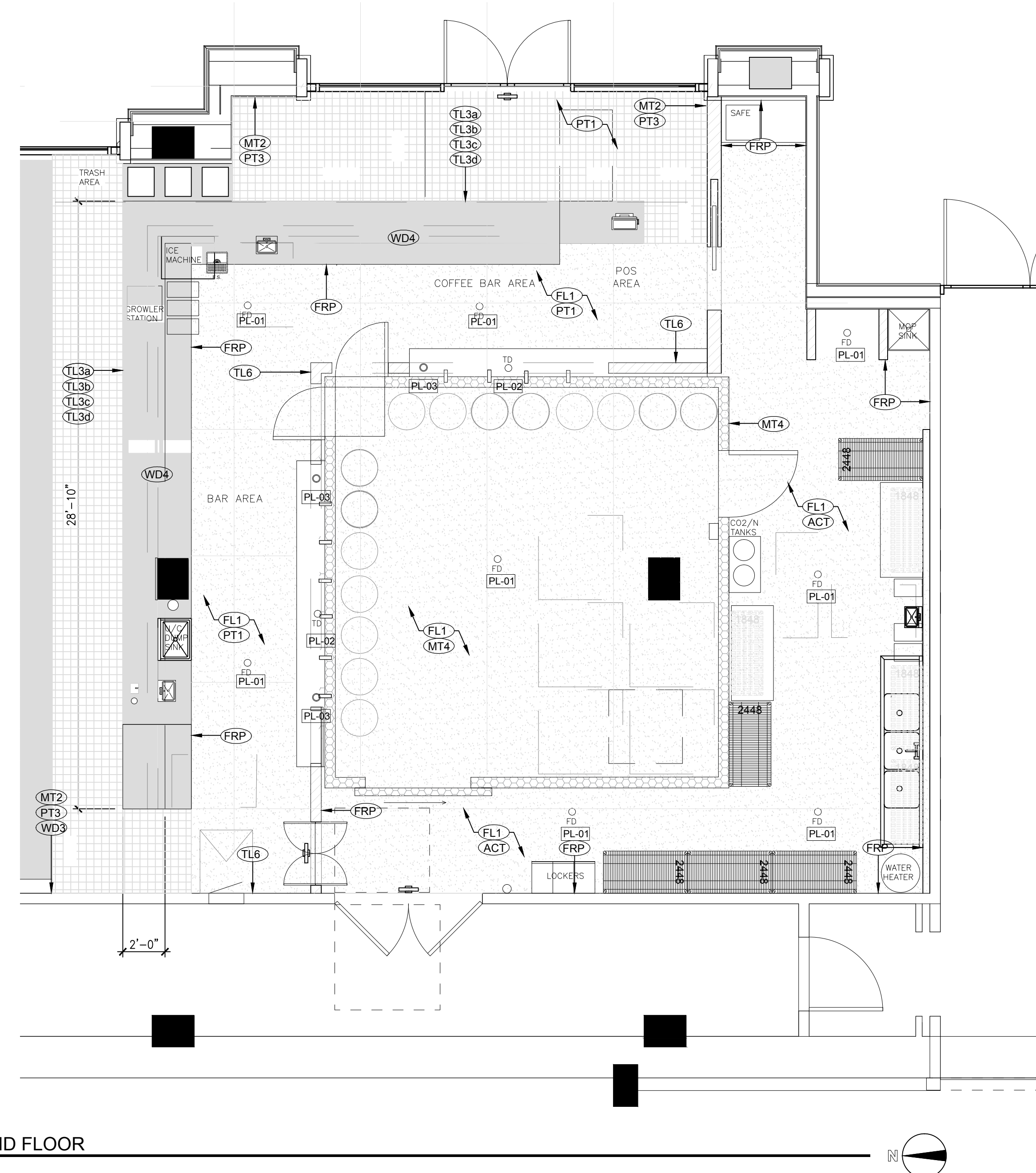
FINISHES AND MATERIALS				
KEY	ITEM	MANUFACTURER	DESCRIPTION	NOTES
ACT	ACOUSTICAL CEILING TILE	ARMSTRONG	KITCHEN ZONE 672, 24" X 48"	GC TO ENSURE CEILING TILES ARE CLEAN, WASHABLE SURFACE
FRP	FIBERGLASS-REINFORCED PANELING	MARLITE	P-100 SMOOTH FINISH	PROVIDE MATCHING TRIM AT ALL SEAMS, EXTEND FROM TOP OF BASE TO UNDERSIDE OF CEILING.
FL1	SLIP RESISTANT SAFETY FLOORING	ECO-GRIP	PEWTER COLOR	6" INTEGRAL COVE BASE, SEE DETAIL 1/A5.1
FL2	POLISHED CONCRETE	BY G.C.	LEVEL 2 POLISH 800 GRIT	APPROXIMATELY 3,100 S.F. OF CONCRETE SURFACE
GL1	GLASS MIRROR	BY G.C.		AT N, E & W COLUMN WALL 6" ABOVE METAL MESH
MT1	MILD STEEL STAND UP TABLES	BY G.C.		
MT2	1/4" MILD STEEL FLOOR BASE	BY G.C.	6" TALL	
MT3	OVERHEAD POWDER COATED METAL PANELS	BY G.C.	3/4" DIAMOND MESH STEEL, POWDER COATED GOLD	
MT4	WALK-IN COOLER METAL CEILING/WALL PANELS	NORLAKE	26 GAUGE STUCCO EMBOSSED STEEL	GC TO ENSURE NO GAPS AT COOLER/CEILING/WALL TRANSITIONS
PT1	CEILING PAINT	BENJAMIN MOORE	GRAVEL GRAY 2127-30, FLAT FINISH	PROVIDE (2) COATS MIN, SEE MFR RECOMMENDATIONS
PT2	CEILING PAINT	BENJAMIN MOORE	CHANTILLY LACE 2121-70, SEMI-GLOSS FINISH	AT RESTROOM AND UNDERSIDE OF SOFFITS; PROVIDE (2) COATS MIN, SEE MFR RECOMMENDATIONS
PT3	TAPROOM WALL PAINT	BENJAMIN MOORE	GRAYSTONE 1475, EGG SHELL FINISH	PROVIDE (2) COATS MIN, SEE MFR RECOMMENDATIONS
PT4	LIVING ROOM WALL PAINT	BENJAMIN MOORE	SEMI-GLOSS FINISH, MATCH PANTONE NO. 7546	PROVIDE (2) COATS MIN, SEE MFR RECOMMENDATIONS
TL1	FRONT BAR FACE TILE	FIRE CLAY TILE	BAREBOTTLE BLUE CUSTOM HANDMADE 3"X9", STACKED BOND	G.C. TO USE EPOXY GROUT; GROUT COLOR: #381 BRIGHT WHITE, NON-SANDED
TL2	WALL TILE - BAR TILE	FIRE CLAY TILE	BAREBOTTLE BLUE CUSTOM HANDMADE 3"X9", STACKED BOND	G.C. TO USE EPOXY GROUT; GROUT COLOR: #381 BRIGHT WHITE, NON-SANDED
TL3a	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL3b	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL3c	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL3d	RESTROOM WALL TILE - BAR FLOOR	DALTILE		
TL4	COVE BASE TILE - RESTROOM		6X6 W/ 1/2" COVE BASE ASHEN GRAY QUARRY TILE	G.C. TO USE EPOXY GROUT. GROUT COLOR: #60 CHARCOAL, NON-SANDED
TL5	FLOOR TILE - RESTROOM		6X6 ASHEN GRAY QUARRY TILE	G.C. TO USE EPOXY GROUT. GROUT COLOR: #60 CHARCOAL, NON-SANDED
TL6	CEMENT TILE AT WALK-IN	EMSER	12"X24" CHIADO	G.C. TO USE EPOXY GROUT. GROUT COLOR: #115 CHARCOAL, NON-SANDED
CT1	LIVING ROOM	BY OWNER		
WD1	LIVING ROOM WALL PANELING	BY G.C.	OAK HARDWOOD OR VENEER WALL PANELING, CLEAR VARNISH	G.C. TO PROVIDE SAMPLES FOR REVIEW WITH MILLWORK SHOP DRAWINGS
WD2	WOOD WIDE PLANK FLOORING AT ENTRY	URBAN FLOOR	VILLA CAPRISI MESSINA 9 1/2" X 5/8"	INSTALL PLANKS IN HERRINGBONE DESIGN PER FINISH PLAN
WD3	SLAT WALL	BY G.C.		
WD4	WOOD BAR TOP	BY G.C.		

FINISH SCHEDULE						
NUMBER	LOCATION	FLOOR	BASE	WALL	CEILING	NOTES
100	TAPROOM SEATING AREA	FL2, WD2	MT2	PT3, WD3	PT1	
101	LIVING ROOM	FL2, CT1	WD1	WD1, PT4	PT1	
102	BAR AREA	FL1	FL1	FRP	PT1	
103	WALK-IN COOLER	FL1	FL1	MT4	MT4	
104	BACK OF HOUSE	FL1	FL1	FRP	ACT	
105	STORAGE	FL1	FL1	FRP	ACT	
106	COMMON HANDWASHING	TL5	TL4	TL3a, TL3b, TL3c, TL3d	PT2	
107	MEN'S RESTROOM	TL5	TL4	TL3a, TL3b, TL3c, TL3d	PT2	
108	WOMEN'S RESTROOM	TL5	TL4	TL3c, TL3d	PT2	

FINISH PLAN NOTES	
1	(N) FLOOR AND WALL FINISHES
2	F.R.P. ON ALL WALLS, FULL HEIGHT
NOTES:	
1.	ALL FLOORS TO BE SLIP - RESISTANT.
2.	INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILINGS SHALL BE TESTED AS SPECIFIED IN CBC SECTION 803, PER TABLE 803.9, M OCCUPANCY, FINISHES TO BE CLASS C.



2 FINISH KEY PLAN
1/16" = 1'-0"



1 FINISH PLAN - GROUND FLOOR
1/4" = 1'-0"

BAREBOTTLE BREW COMPANY
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BARE BOTTLE CO
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SANTA CLARA, CA 95054

SUBMITTAL/REVISIONS
LANDLORD/PERMIT
SUBMITTAL SET

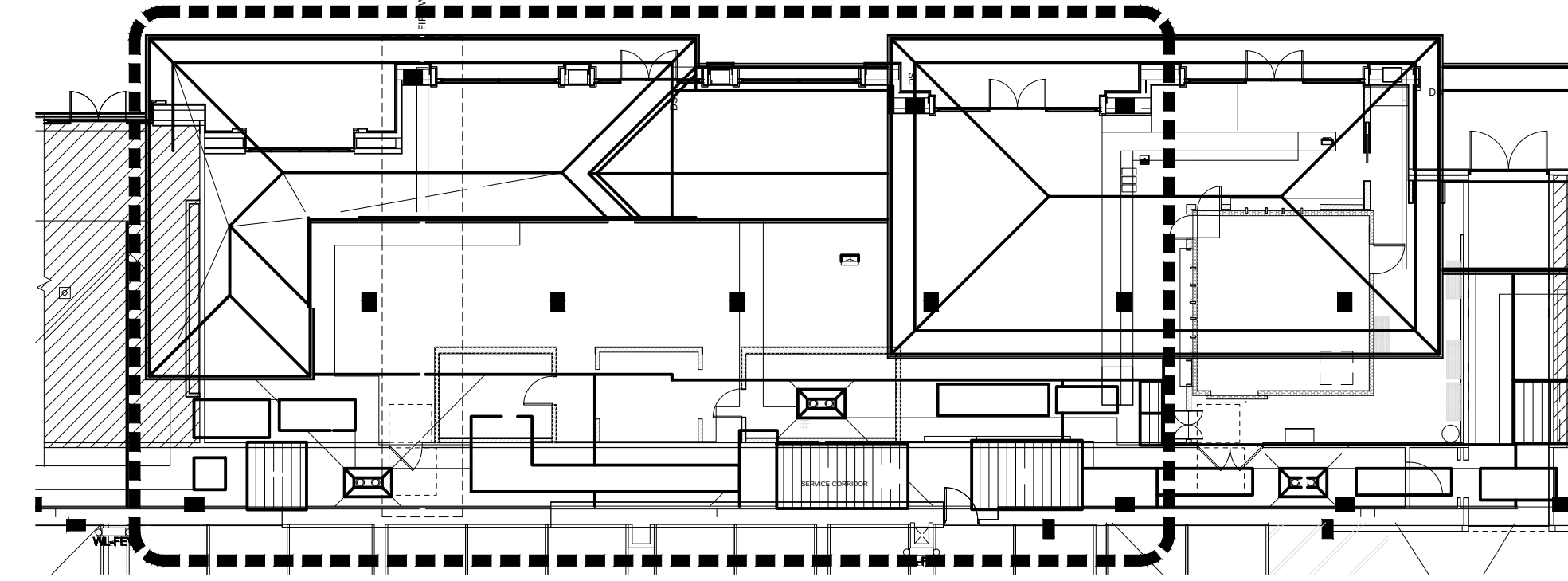
FINISH PLAN
SHEET 2

SHEET NUMBER
A2.3

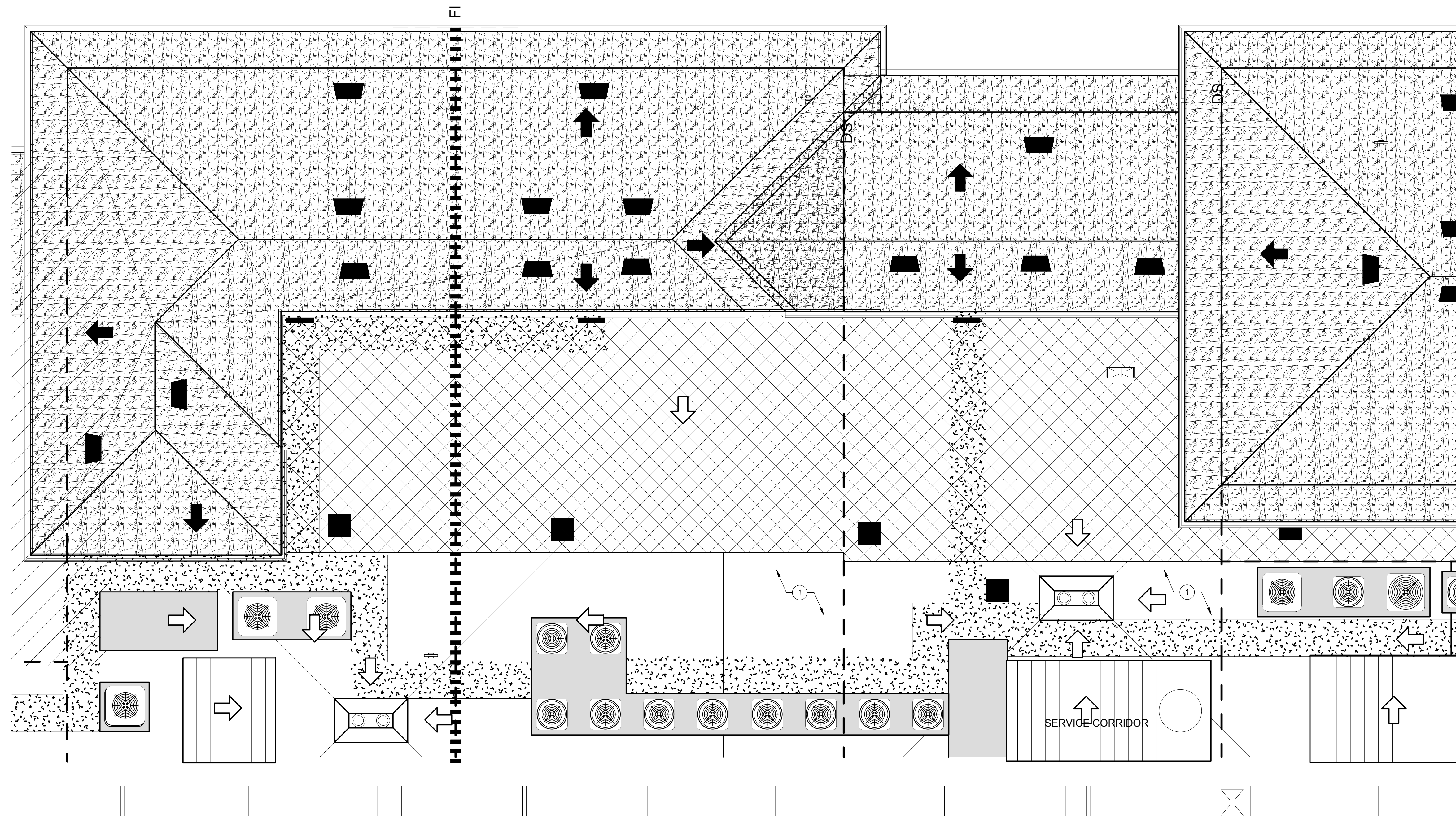
ROOF PLAN NOTES

1 CLEAR ROOFTOP AREA FOR TENANT'S MEP EQUIPMENT, REFERENCE MEP DRAWINGS

NOTES:
1. FIRE RATED SHAFT PROVIDED BY LANDLORD.



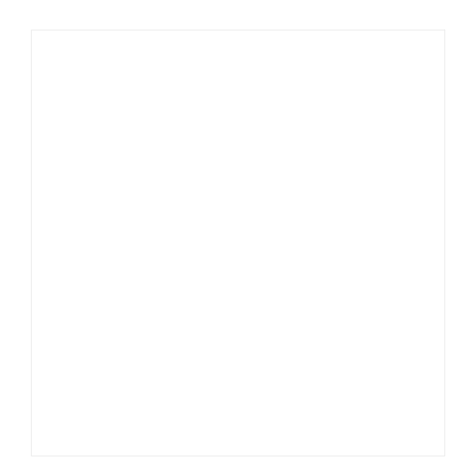
2 ROOF KEY PLAN
1/16" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

BAREBOTTLE BREW COMPANY
SANTA CLARA SQUARE
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SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054



SUBMITTAL/REVISIONS
LANDLORD/PERMIT
SUBMITTAL SET

12/21/18

ROOF PLAN
SHEET 1

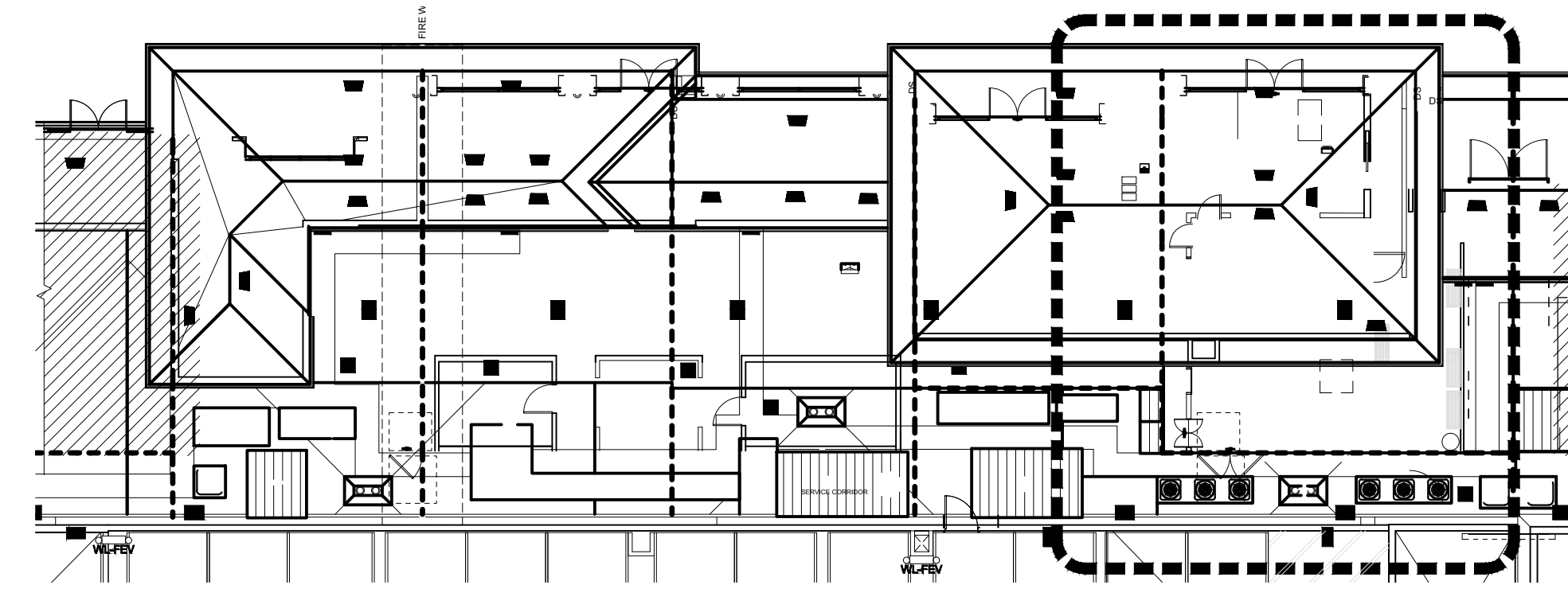
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A2.4

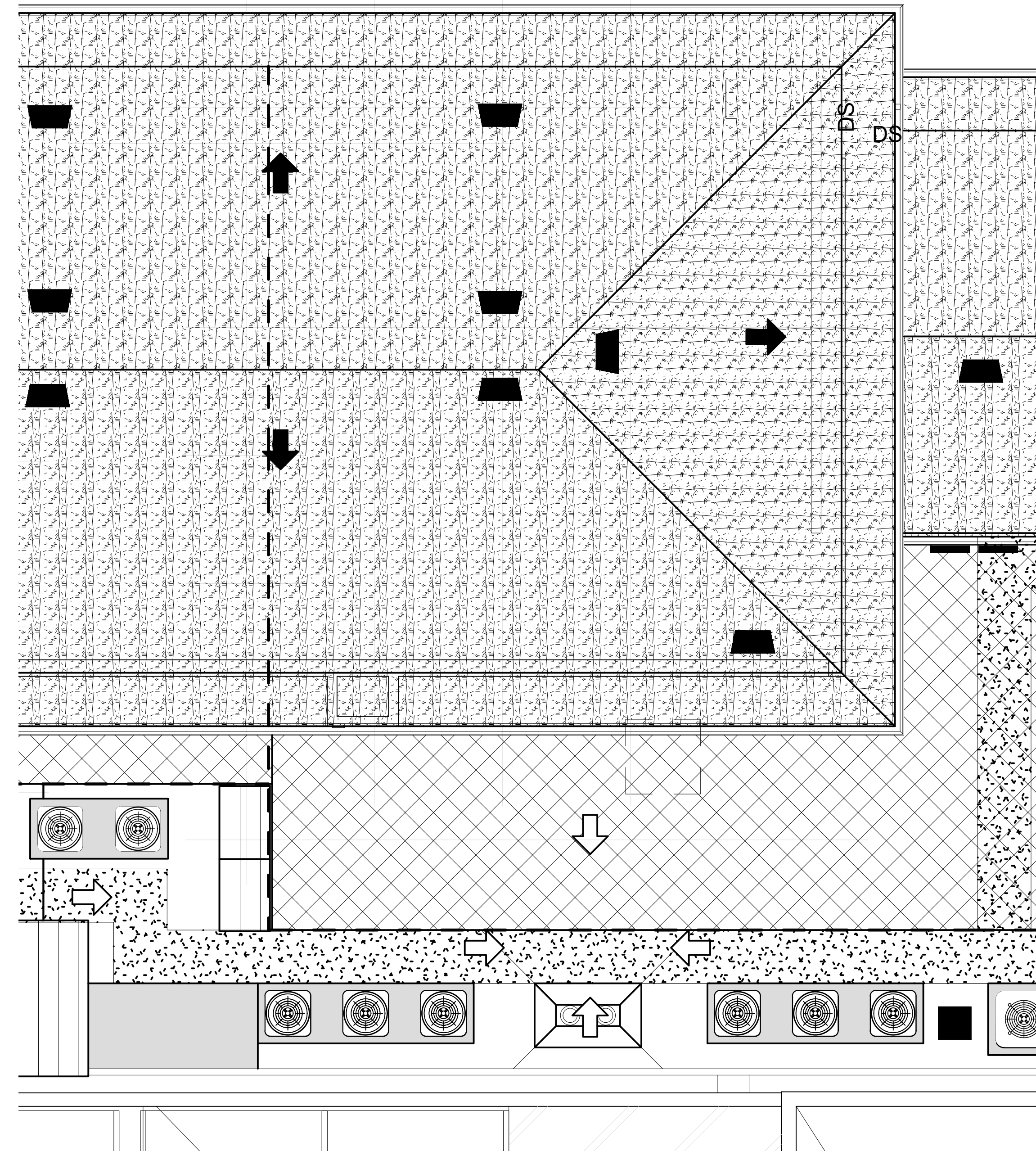
ROOF PLAN NOTES

- 1 CLEAR ROOFTOP AREA FOR TENANT'S MEP EQUIPMENT, REFERENCE MEP DRAWINGS

NOTES:
1. FIRE RATED SHAFT PROVIDED BY LANDLORD.



2 ROOF KEY PLAN
1/16" = 1'-0"

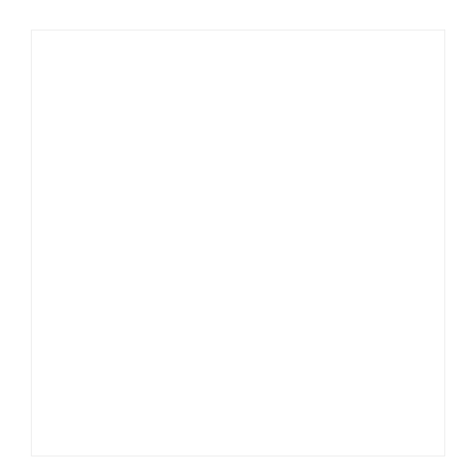


1 FINISH PLAN - GROUND FLOOR
1/4" = 1'-0"



BAREBOTTLE BREW COMPANY
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SANTA CLARA, CA 95054

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SANTA CLARA SQUARE - BUILDING ONE
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SUBMITTAL/REVISIONS
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SUBMITTAL SET

ROOF PLAN
SHEET 2

SHEET NUMBER

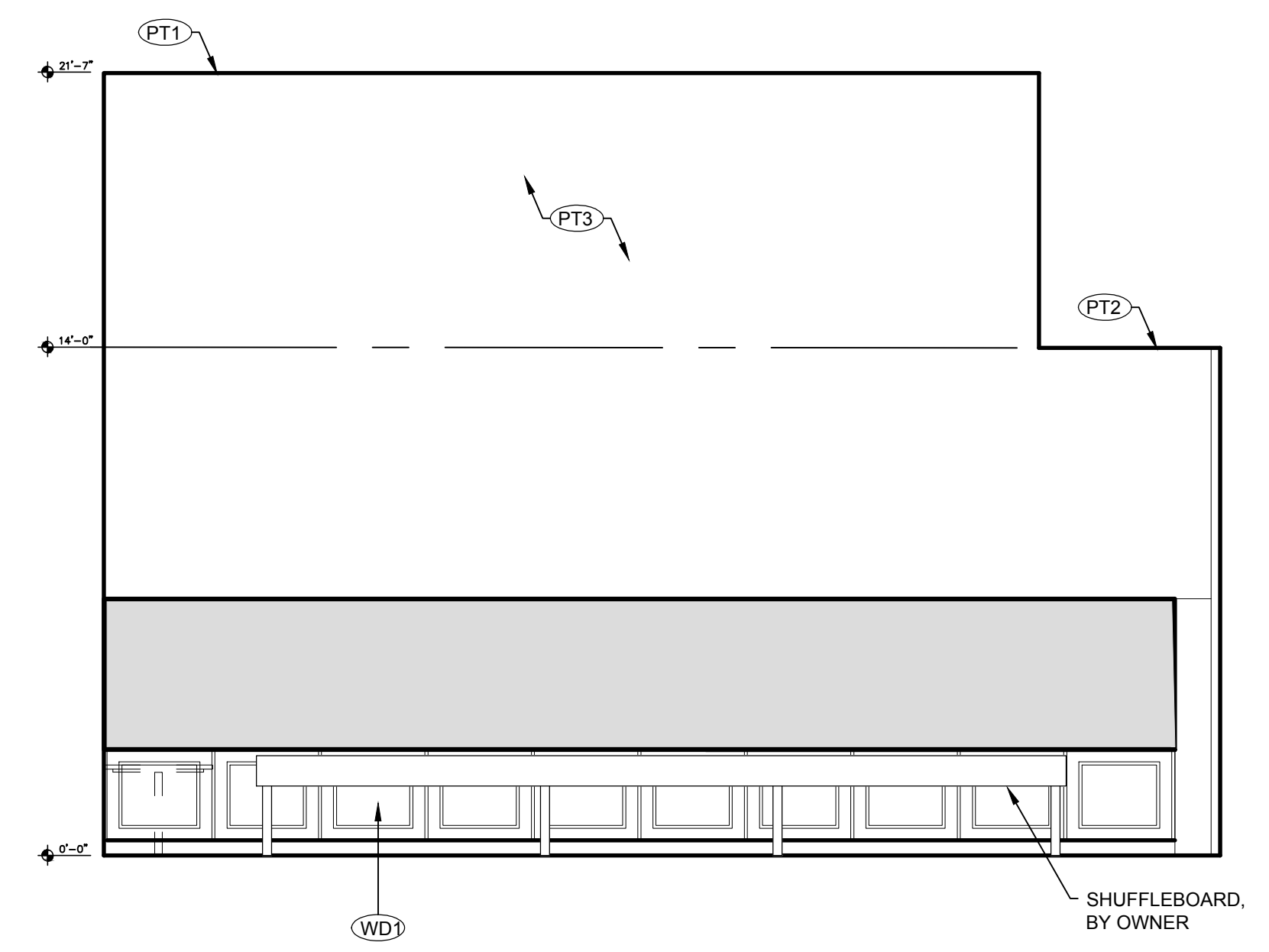
A2.5

INTERIOR ELEVATION GENERAL NOTES

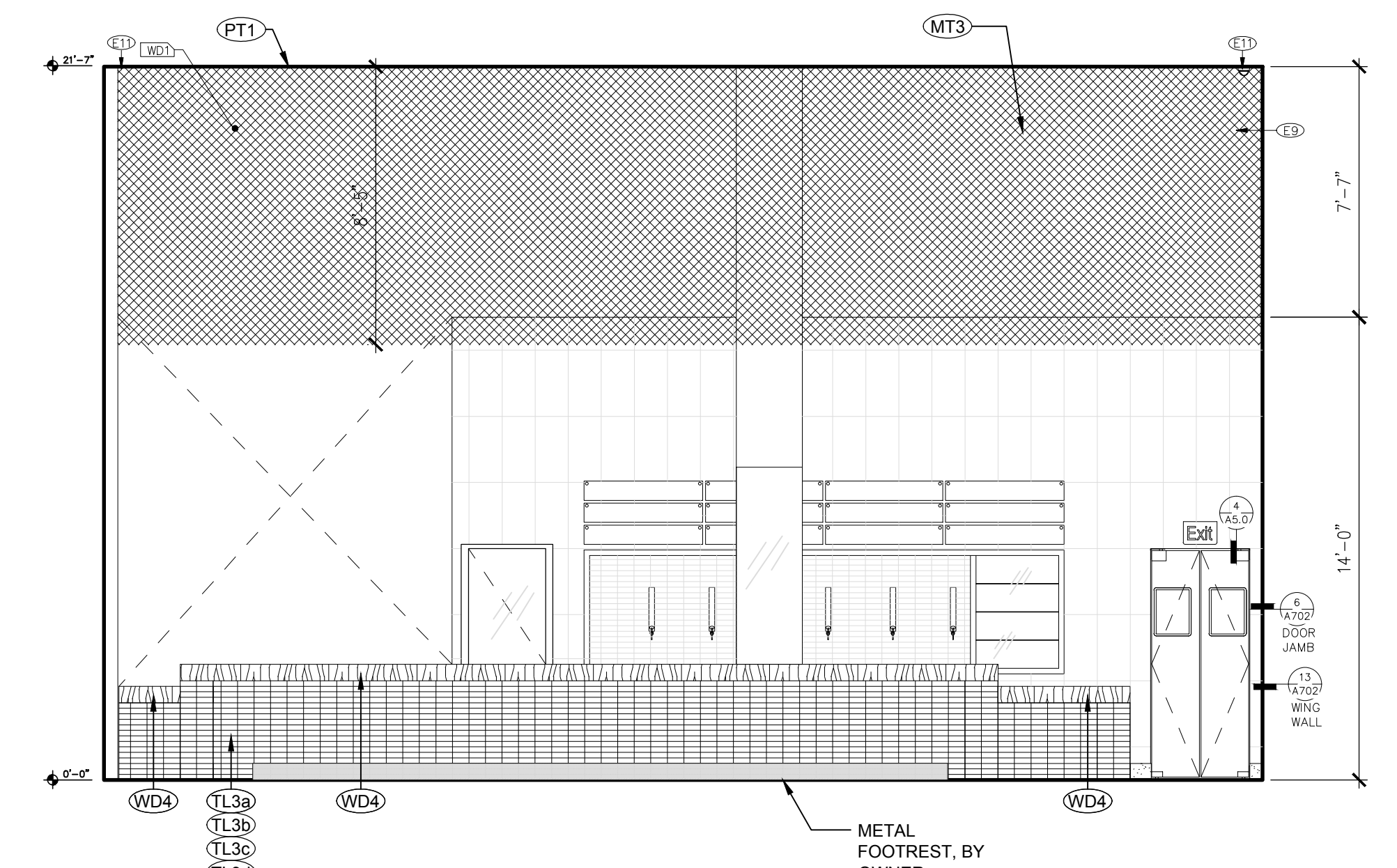
- 1 ALL WALLS TO BE PAINTED GYPSUM BOARD, U.O.N.
- 2 ALL WALL BASE TO BE 3 1/2" PAINT GRADE POPLAR, U.O.N.
- 3 REFER TO A2.2OR ALL SCHEDULE FINISHES.
- 4 REFER TO A5.0- A5.4FOR ALL SCHEDULED FIXTURES AND APPLIANCES.
- 5 SHOP DRAWINGS SHALL BE REQUIRED FOR ALL CUSTOM MILLWORK.
- 6 MILLWORK INTERIORS TO BE 3/4" THICK LOW FORMALDEHYDE PRE-FINISHED MAPLE WOOD WITH ADJUSTABLE SHELVES ON 1 1/4" SPACING, 3 SHELVES EACH.
- 7 ALL WOOD PANELING TO HAVE MITTERED EDGES.
- 8 MILLWORK DOORS AND DRAWERS TO BE FLUSH OVERLAY WITH CONCEAL HINGES.
- 9 ALL MILLWORK DOOR AND DRAWER EDGES, EDGES OF CASES, AND ANY MATERIAL VISIBLE THROUGH REVEALS TO BE FINISHED TO MATCH EXTERIOR FACES.
- 10 DOORS TO HAVE CONCEALED SOFT CLOSE HINGES.
- 11 DRAWERS TO BE ON BOTTOM MOUNT, FULL EXTENSION SOFT CLOSE SLIDES.
- 12 DRAWER BOXES TO BE 1/2" SOLID MAPLE WITH DOVETAIL JOINTS.
- 13 ALL DOOR PULLS TO BE H-1
- 14 ALL DRAWER PULLS TO BE H-2
- 15 FULL HEIGHT CABINET PULLS TO BE H-3
- 16 CONTRACTOR TO PROVIDE MFR'S PRODUCT INFORMATION ILLUSTRATING COMPLIANCE WITH CCC 2013 VOC LEVELS.
- 17 REFER TO K1.0 FOR EQUIPMENT LOCATIONS AND INFORMATION

INTERIOR ELEVATION KEYNOTES

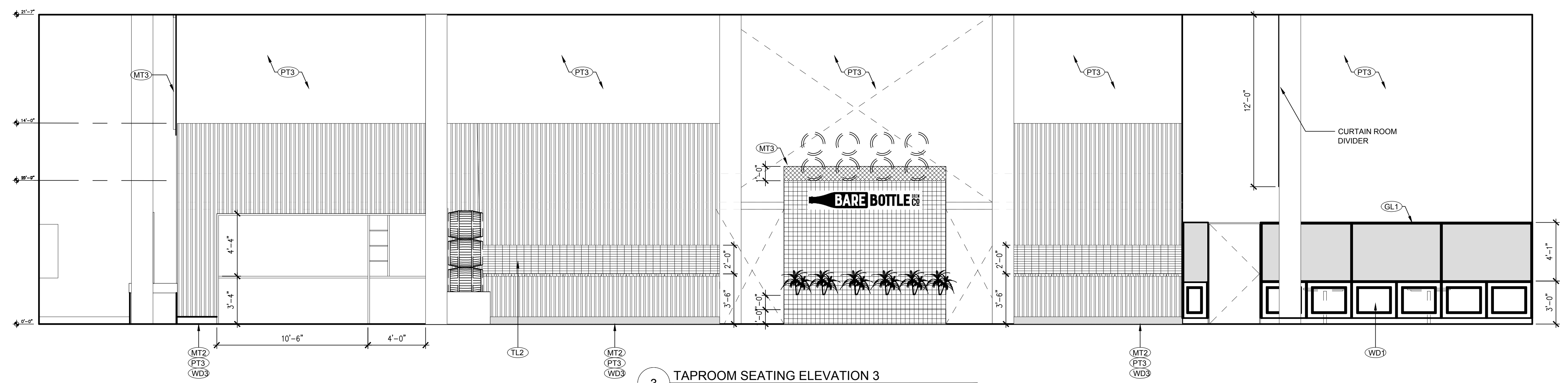
E5	NOT USED
E9	MITER CORNER OF WOOD
E10	(E) STOREFRONT SYSTEM AND GLASS TO REMAIN.
E11	CEILING MOUNTED DEVICE, SEE RCP
E12	EMERGENCY LIGHT FIXTURE DEVICE, REF. MEP
E18	MECHANICAL DIFFUSERS, S.M.D.



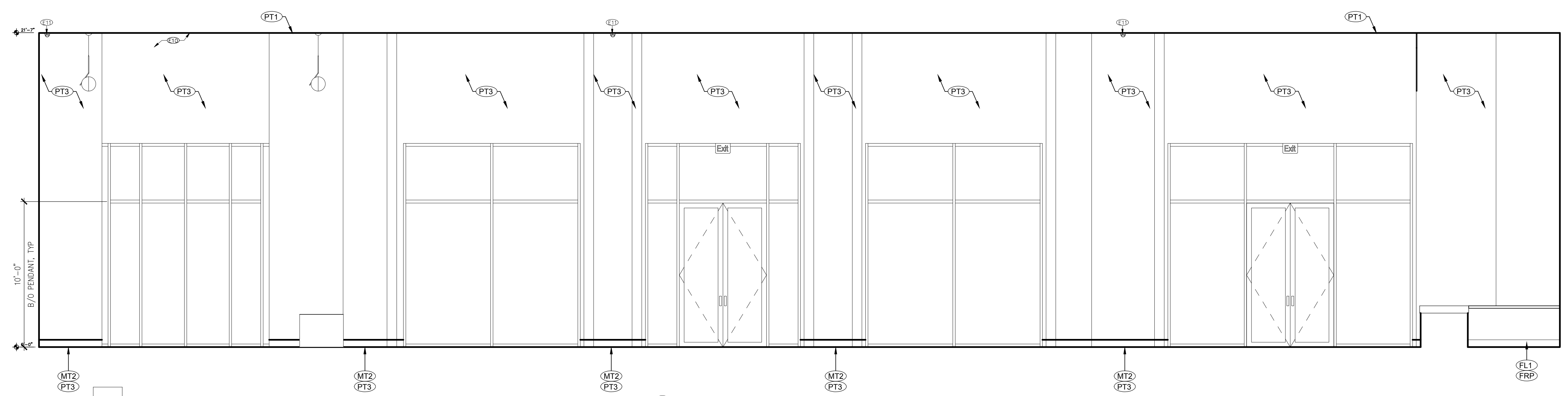
4 LIVING ROOM ELEVATION 4
 1/4" = 1'-0"



2 TAPROOM BAR ELEVATION 2
 1/4" = 1'-0"



3 TAPROOM SEATING ELEVATION 3
 1/4" = 1'-0"



1 TAP ROOM SEATING ELEVATION 1
 1/4" = 1'-0"

SUBMITTAL/REVISIONS
 LANDLORD/PERMIT
 SUBMITTAL SET
 12/21/18

INTERIOR ELEVATIONS

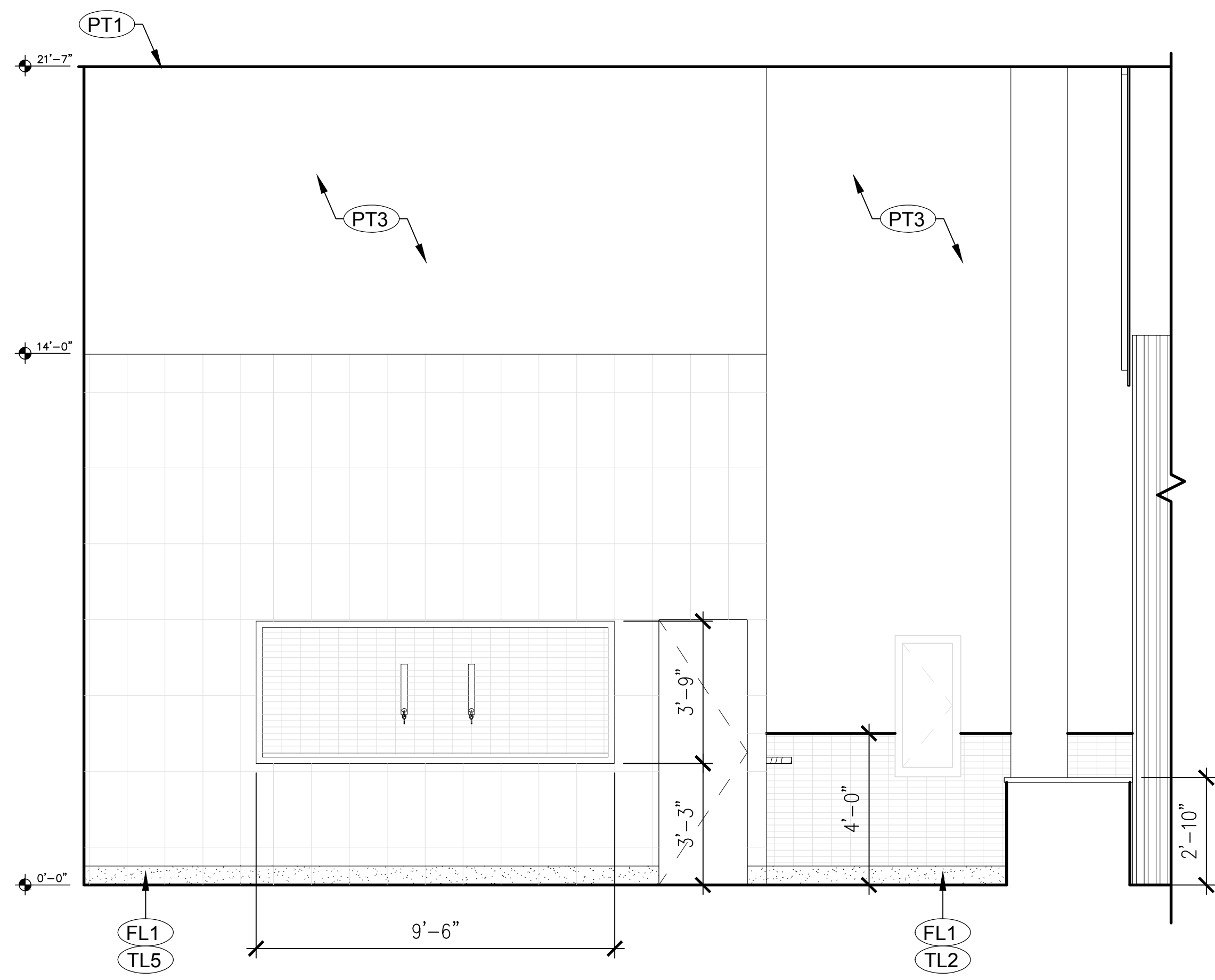
SHEET NUMBER
A4.0

INTERIOR ELEVATION GENERAL NOTES

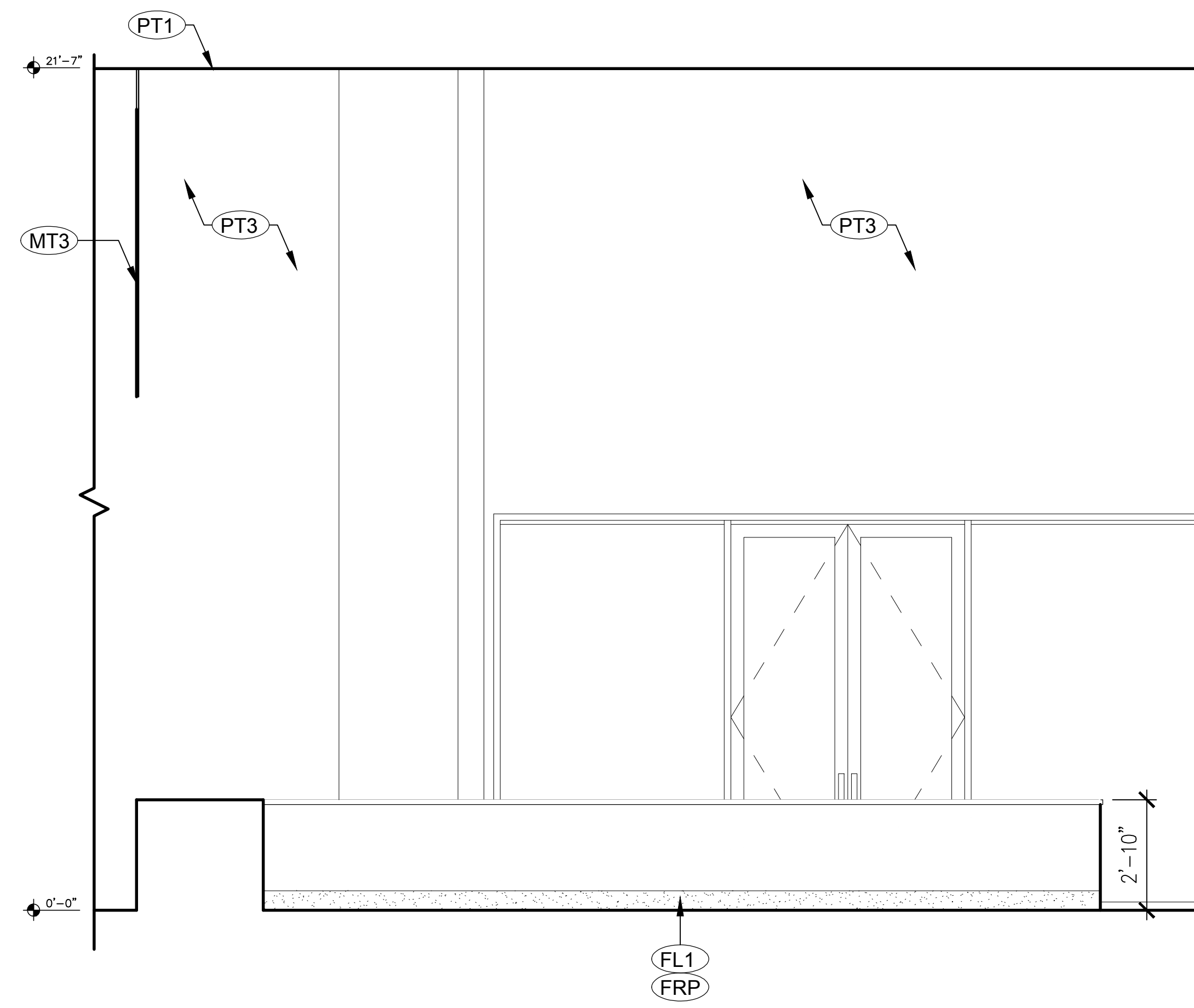
- 1 ALL WALLS TO BE PAINTED GYPSUM BOARD, U.O.N.
- 2 ALL WALL BASE TO BE 3 1/2" PAINT GRADE POPLAR, U.O.N.
- 3 REFER TO A2.2OR ALL SCHEDULE FINISHES.
- 4 REFER TO A5.0-A5.4FOR ALL SCHEDULED FIXTURES AND APPLIANCES.
- 5 SHOP DRAWINGS SHALL BE REQUIRED FOR ALL CUSTOM MILLWORK.
- 6 MILLWORK INTERIORS TO BE 3/4" THICK LOW FORMALDEHYDE PRE-FINISHED MAPLE WOOD WITH ADJUSTABLE SHELVES ON 1 1/4" SPACING, 3 SHELVES EACH.
- 7 ALL WOOD PANELING TO HAVE MITTERED EDGES.
- 8 MILLWORK DOORS AND DRAWERS TO BE FLUSH OVERLAY WITH CONCEAL HINGES.
- 9 ALL MILLWORK DOOR AND DRAWER EDGES, EDGES OF CASES, AND ANY MATERIAL VISIBLE THROUGH REVEALS TO BE FINISHED TO MATCH EXTERIOR FACES.
- 10 DOORS TO HAVE CONCEALED SOFT CLOSE HINGES.
- 11 DRAWERS TO BE ON BOTTOM MOUNT, FULL EXTENSION SOFT CLOSE SLIDES.
- 12 DRAWER BOXES TO BE 1/2" SOLID MAPLE WITH DOVETAIL JOINTS.
- 13 ALL DOOR PULLS TO BE H-1
- 14 ALL DRAWER PULLS TO BE H-2
- 15 FULL HEIGHT CABINET PULLS TO BE H-3
- 16 CONTRACTOR TO PROVIDE MFR'S PRODUCT INFORMATION ILLUSTRATING COMPLIANCE WITH CCC 2013 VOC LEVELS.
- 17 REFER TO K1.0 FOR EQUIPMENT LOCATIONS AND INFORMATION

INTERIOR ELEVATION KEYNOTES

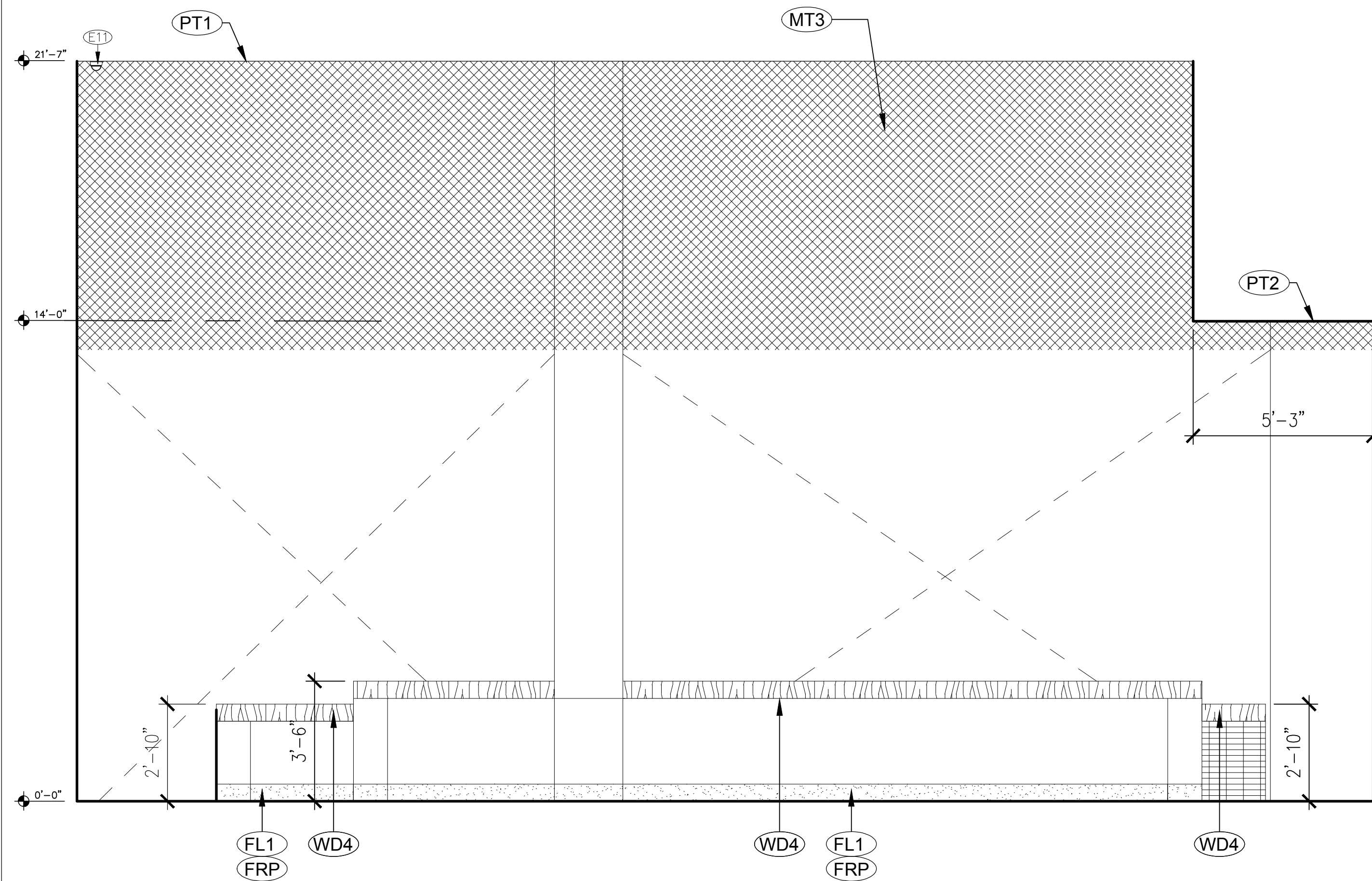
E5	NOT USED
E9	MITER CORNER OF WOOD
E10	(E) STOREFRONT SYSTEM AND GLASS TO REMAIN.
E11	CEILING MOUNTED DEVICE, SEE RCP
E12	EMERGENCY LIGHT FIXTURE DEVICE, REF. MEP
E18	MECHANICAL DIFFUSERS, S.M.D.



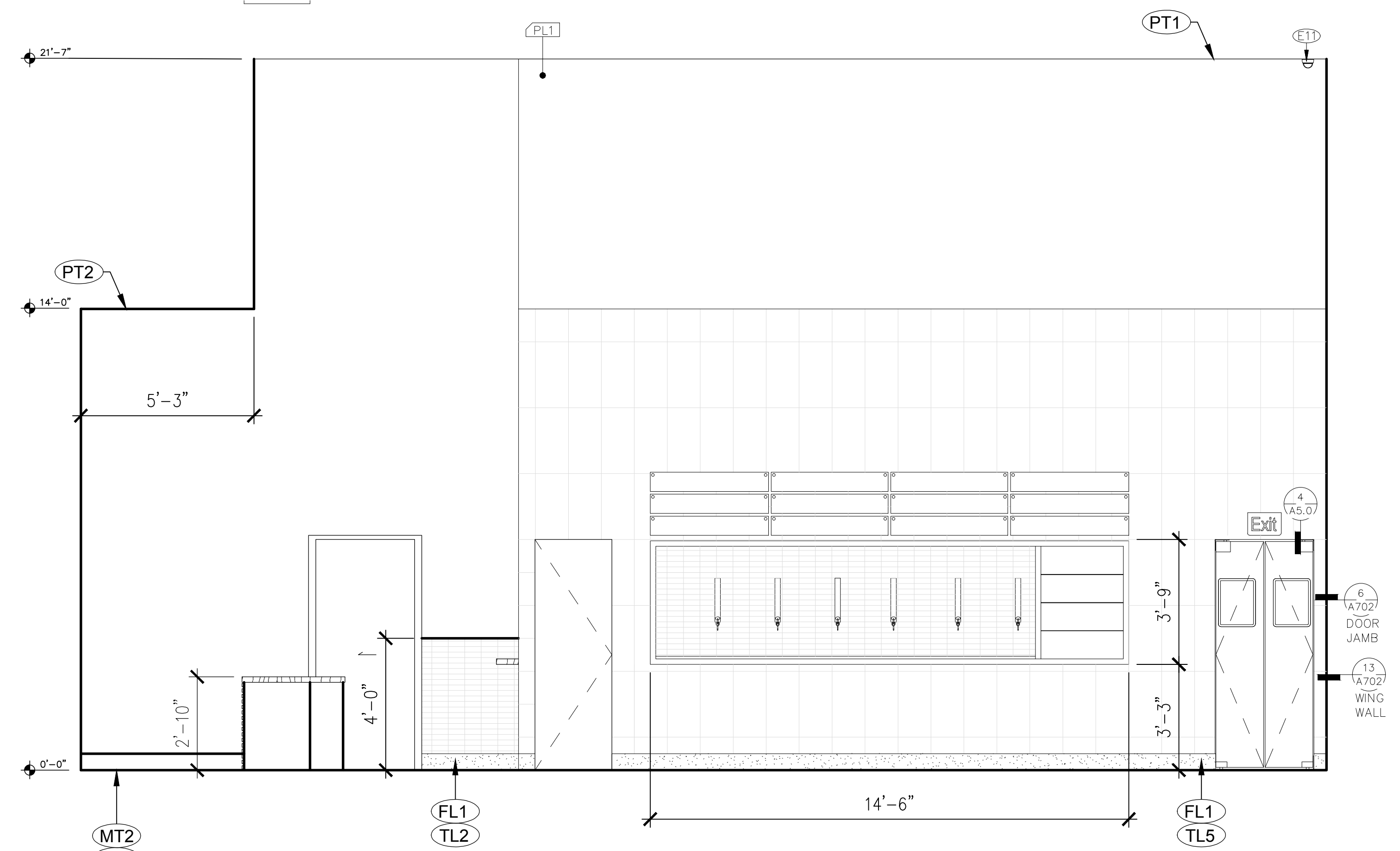
4 FRONTLINE ELEVATION 4
 3/8" = 1'-0"



3 FRONTLINE ELEVATION 3
 3/8" = 1'-0"



2 FRONTLINE ELEVATION 2
 3/8" = 1'-0"



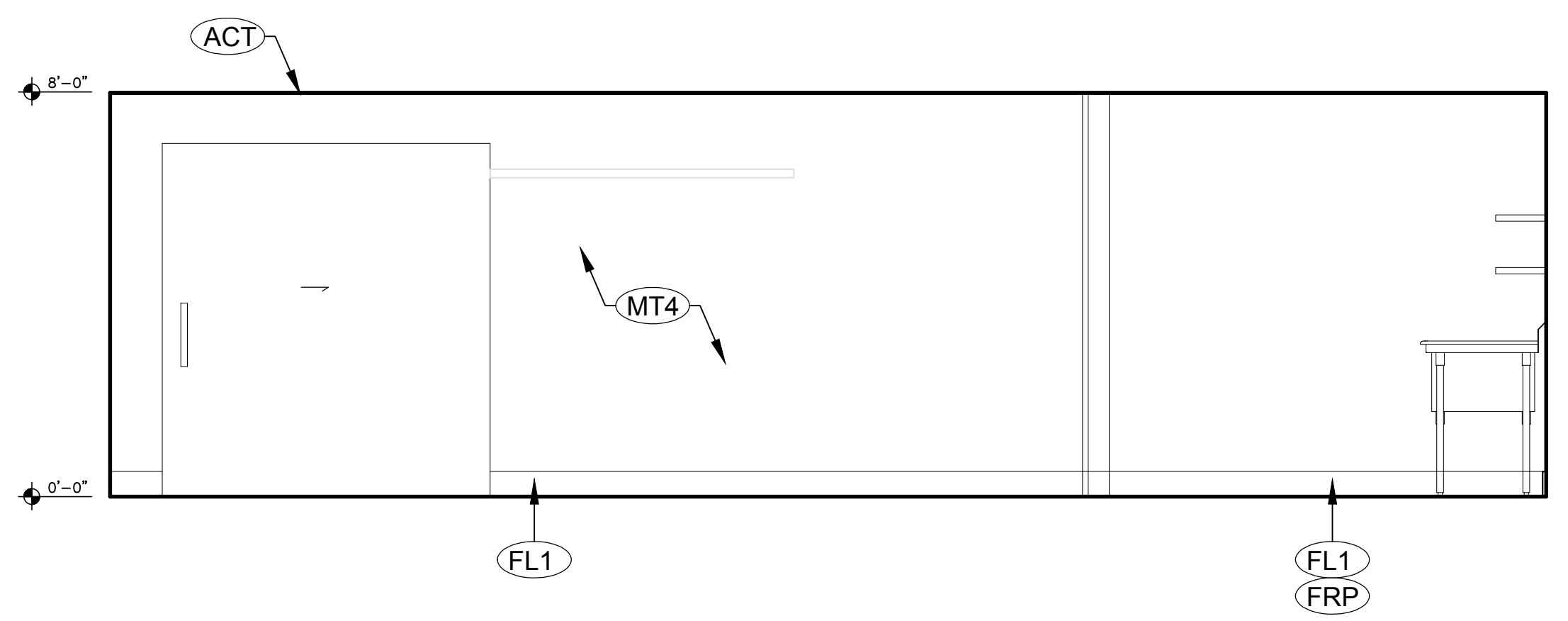
1 FRONTLINE ELEVATION 1
 3/8" = 1'-0"

INTERIOR ELEVATION GENERAL NOTES

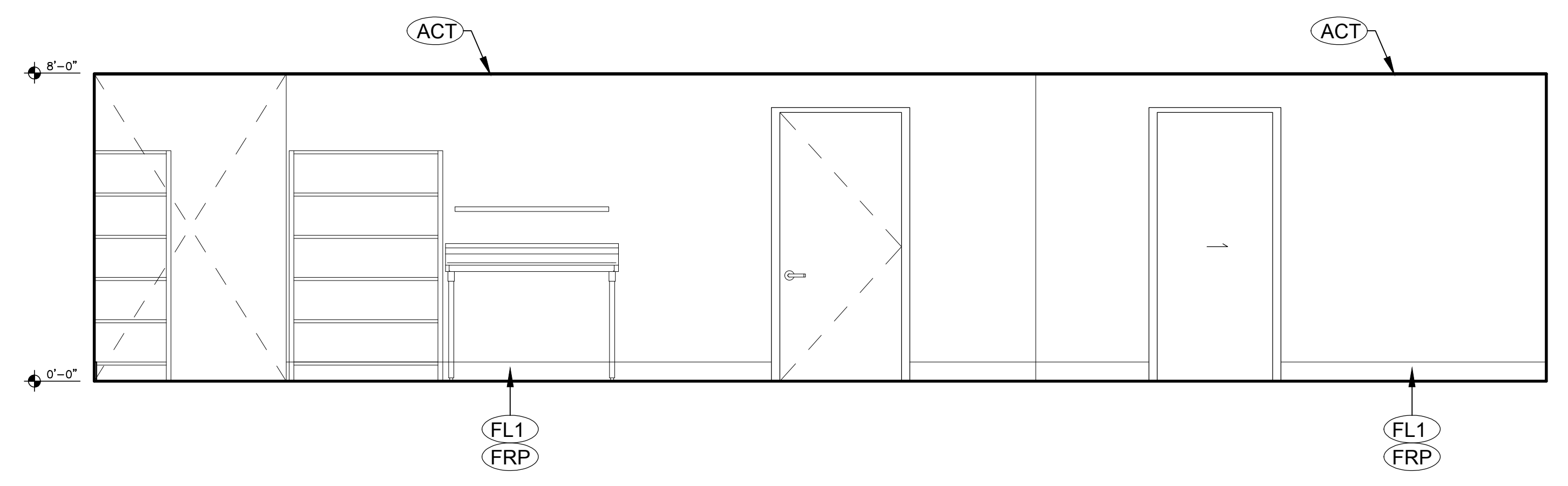
- 1 ALL WALLS TO BE PAINTED GYPSUM BOARD, U.O.N.
- 2 ALL WALL BASE TO BE 3 1/2" PAINT GRADE POPLAR, U.O.N.
- 3 REFER TO A2.2OR ALL SCHEDULE FINISHES.
- 4 REFER TO A5.0- A5.4FOR ALL SCHEDULED FIXTURES AND APPLIANCES.
- 5 SHOP DRAWINGS SHALL BE REQUIRED FOR ALL CUSTOM MILLWORK.
- 6 MILLWORK INTERIORS TO BE 3/4" THICK LOW FORMALDEHYDE PRE-FINISHED MAPLE WOOD WITH ADJUSTABLE SHELVES ON 1 1/4" SPACING, 3 SHELVES EACH.
- 7 ALL WOOD PANELING TO HAVE MITTERED EDGES.
- 8 MILLWORK DOORS AND DRAWERS TO BE FLUSH OVERLAY WITH CONCEAL HINGES.
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- 13 ALL DOOR PULLS TO BE H-1
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- 15 FULL HEIGHT CABINET PULLS TO BE H-3
- 16 CONTRACTOR TO PROVIDE MFR'S PRODUCT INFORMATION ILLUSTRATING COMPLIANCE WITH CCC 2013 VOC LEVELS.
- 17 REFER TO K1.0 FOR EQUIPMENT LOCATIONS AND INFORMATION

INTERIOR ELEVATION KEYNOTES

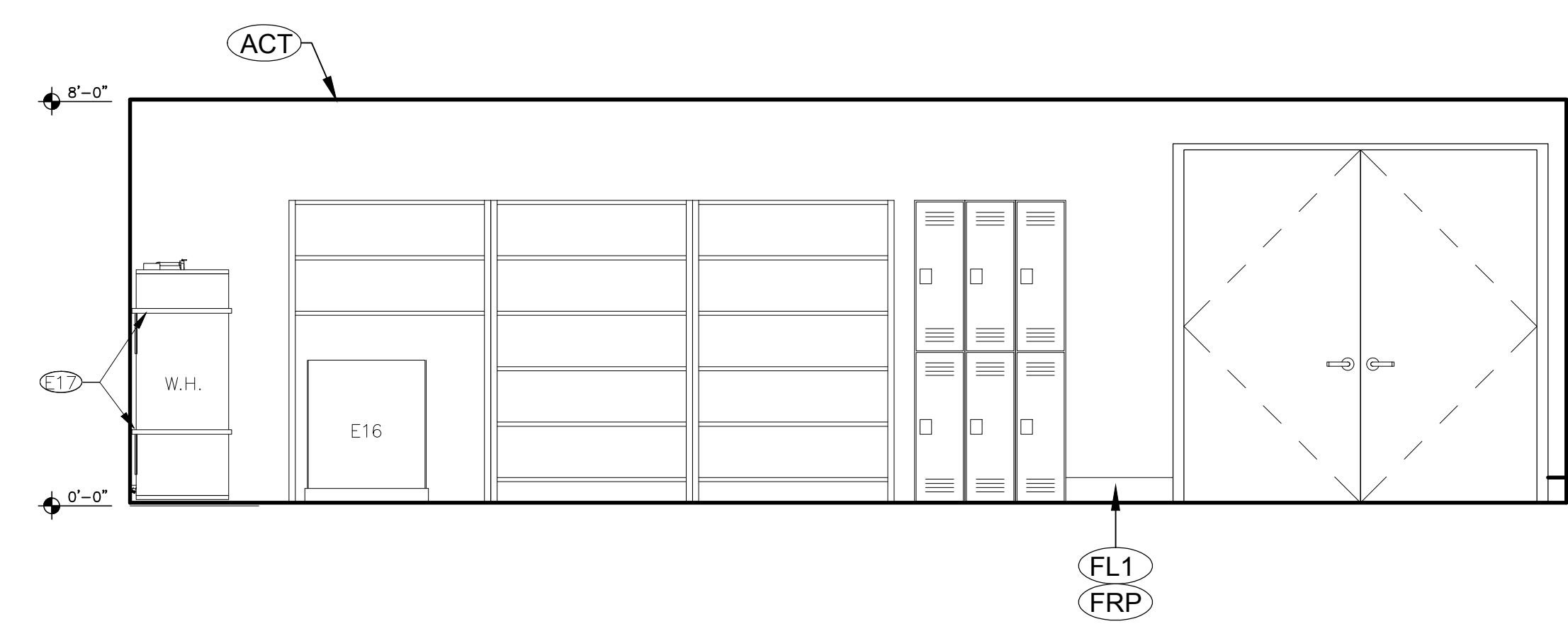
E5	NOT USED
E9	MITER CORNER OF WOOD
E10	(E) STOREFRONT SYSTEM AND GLASS TO REMAIN.
E11	CEILING MOUNTED DEVICE, SEE RCP
E12	EMERGENCY LIGHT FIXTURE DEVICE, REF. MEP
E18	MECHANICAL DIFFUSERS, S.M.D.



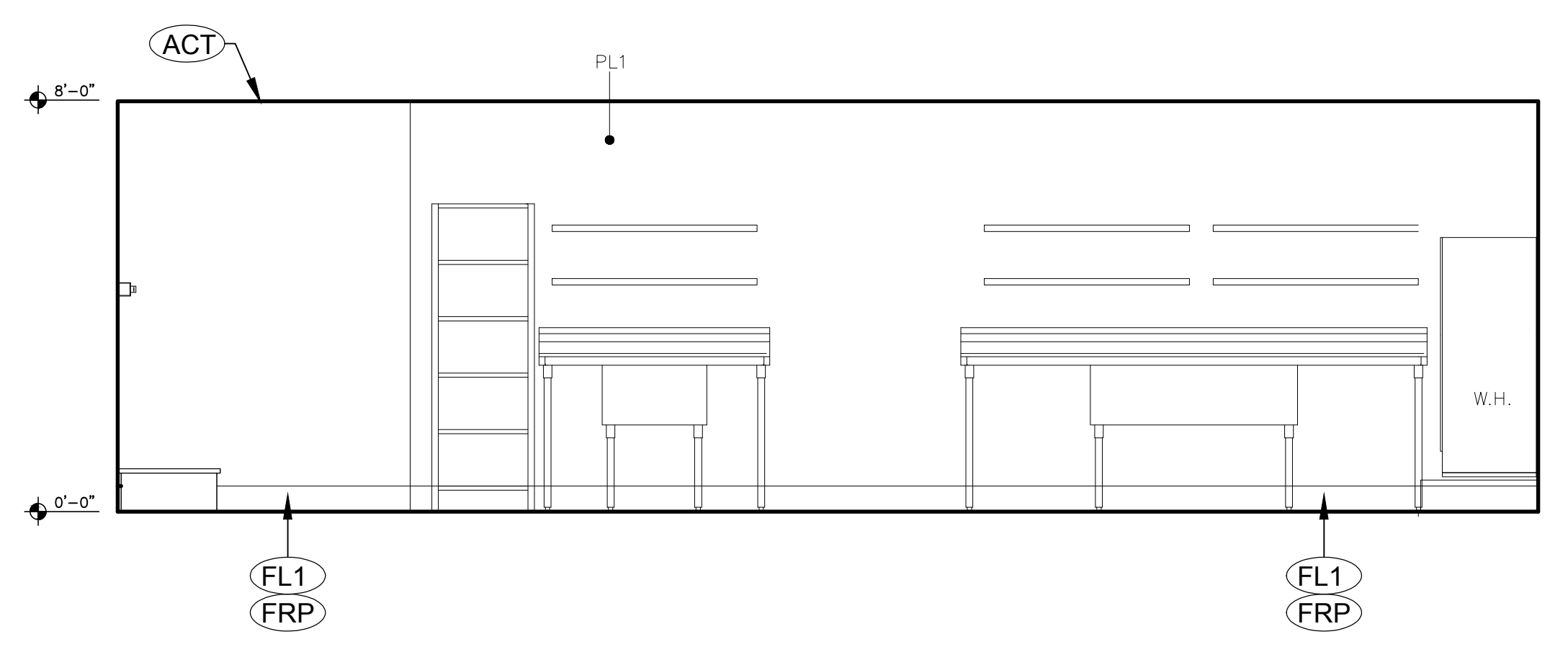
5 BACK OF HOUSE ELEVATION 5
 3/8" = 1'-0"



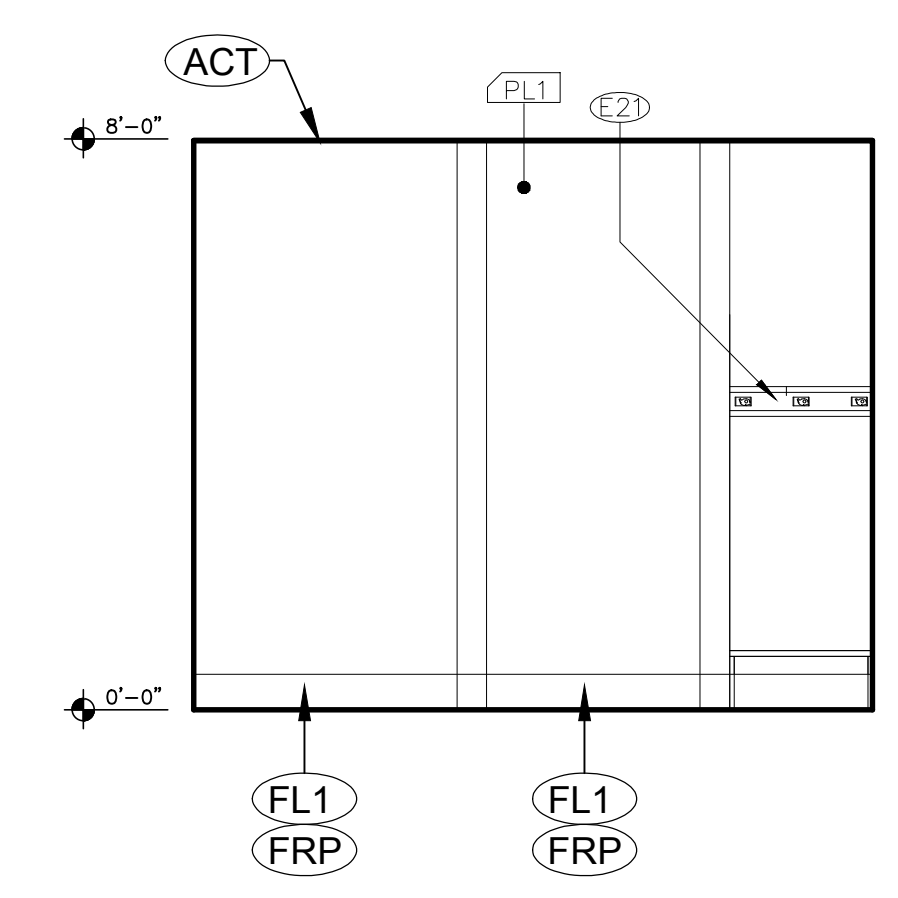
4 BACK OF HOUSE ELEVATION 4
 3/8" = 1'-0"



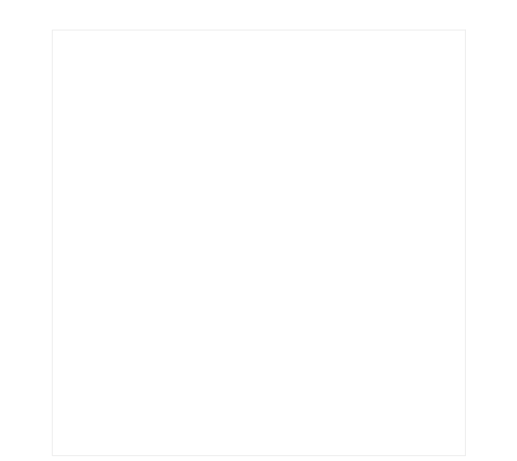
3 BACK OF HOUSE ELEVATION 3
 3/8" = 1'-0"



2 BACK OF HOUSE ELEVATION 2
 3/8" = 1'-0"



1 BACK OF HOUSE ELEVATION 1
 3/8" = 1'-0"



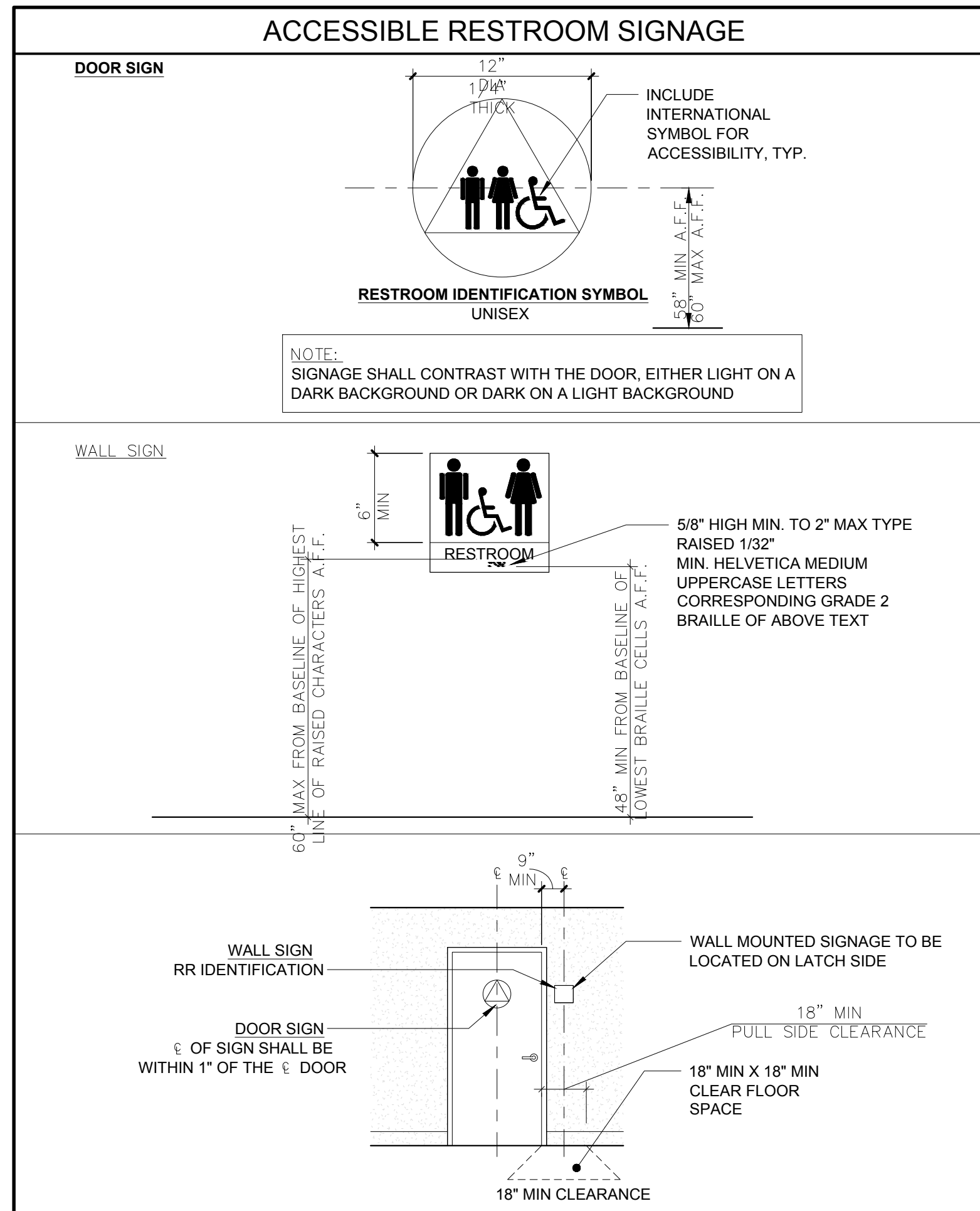
SUBMITTAL/REVISIONS
 LANDLORD/PERMIT
 SUBMITTAL SET

12/21/18

INTERIOR ELEVATIONS

SHEET NUMBER

A4.2



RESTROOM FIXTURES AND ACCESSORIES

FIXTURE TYPE	DESCRIPTION	MFR	MODEL #	FINISH	NOTES
P-1	WATER CLOSET - TANK TYPE, FLOOR MOUNTED	TOTO	DRAKE II		FLUSH HANDLE AT WIDE SIDE.
P-2	LAVATORY - WALL HUNG	KOHLER	K-2005-R KINGSTON		
P-3	LAVATORY FAUCET	MOEN	8416	CHROME	
P-4	BOBRICK B-3942 CLASSIC SERIES SEMI-RECESSED CONVERTIBLE COMBINATION TOWEL AND WASTE UNIT	BOBRICK WASHROOM EQUIPMENT, INC.	B-3942		
P-5	VANITY MIRROR	BOBRICK	B-293 2436	SATIN STAINLESS STEEL	MOUNT AT 40" MAX. TO B.O. REFLECTIVE SURFACE OF MIRROR. USE SURFACE MTD. BRACKET FROM MFR. MTG. BRACKET TO BE SECURELY FASTENED TO WALL BACKING TOP AND BOTTOM. (THROUGH TILE AT B.O. BRACKET AND THROUGH SHIM AT T.O. BRACKET). PROVIDE 6" WIDE SHEET METAL BACKING AT TOP & BOTTOM OF MIRROR CENTER VERTICALLY ON MOUNTING BRACKET ANCHOR POINTS. WIDTH TO SPAN & BE ATTACHED TO 3 STUDS MINIMUM AND EXTEND BEYOND EDGE OF MIRROR EACH SIDE.
P-6	TOILET TISSUE DISPENSER	BRADLEY CORP.	5412		
P-7	SOAP DISPENSER - LAVATORY MOUNTED	BOBRICK WASHROOM EQUIPMENT, INC.	B-82316		
P-8	GRAB BARS	BOBRICK	B-5806 x 36; B-5806 x 42	SATIN STAINLESS STEEL	
P-9	URINAL	KOHLER	K-4991-ET-0 BARDON		
P-10	TOILET SEAT COVER DISPENSER	BRADLEY CORP.	5847		
P-11	BABY CHANGING TABLE				
P-12	TOILET PARTITIONS	BRADLEY CORP.		STAINLESS STEEL	

RESTROOM KEYNOTES

RR1	NOT USED
RR2	IMPERVIOUS WALL TILE WAINSCOT. SEE FINISH PLAN A2.3 FOR SCHEDULE. TILE IN STACKED BOND PATTERN
RR3	CONTINUOUS CONCEALED BACKING PLATE AT WALL MOUNTED ITEM. REFER TO SCHEDULED ITEM FOR ADDITIONAL INFORMATION.
RR4	CONTINUOUS BLACK SHIM BEHIND MIRROR TO MATCH THICKNESS OF TILE. SHIM TO BE RECESSED FROM MIRROR EDGE 2" MIN.
RR5	LOCATE WATER VALVES HIGH AND TIGHT TO BOTTOM OF SINK BUT OUTSIDE OF DRAIN SKIRT/SHROUD
RR6	ALIGN TOP OF ACCESSORY TO TILE GROUT JOINT SUCH THAT OPERABLE PART IS NO HIGHER THAN 40" AFF.
RR7	NOT USED
RR9	ACCESSIBLE INSULATED SAFETY SHROUD AT DRAIN AND SUPPLY PIPES
RR10	FLUSH VALVE AT WIDE SIDE OF TOILET

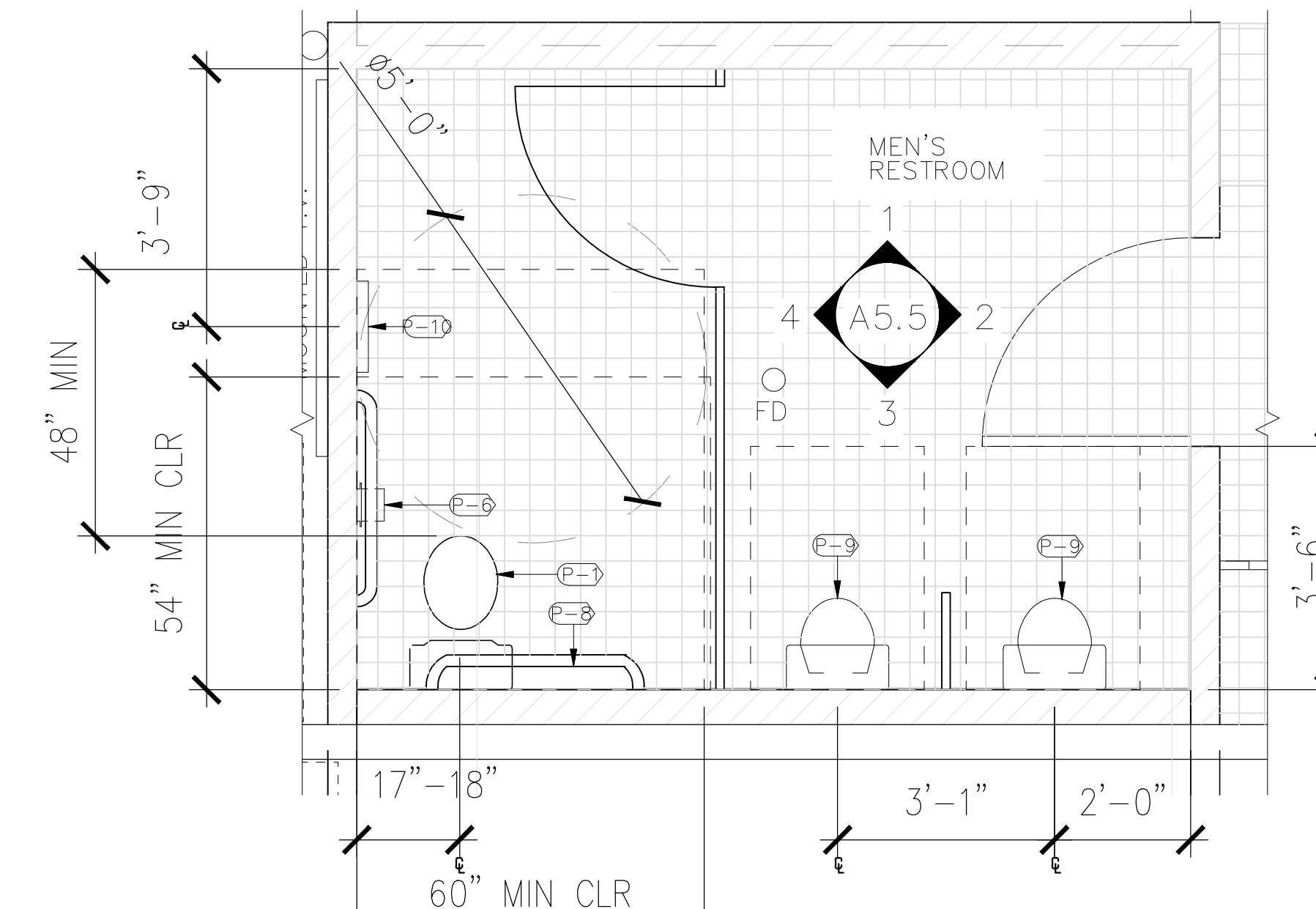
PLUMBING FIXTURE CALCULATIONS

*PER CALIFORNIA PLUMBING CODE CHAPTER 4

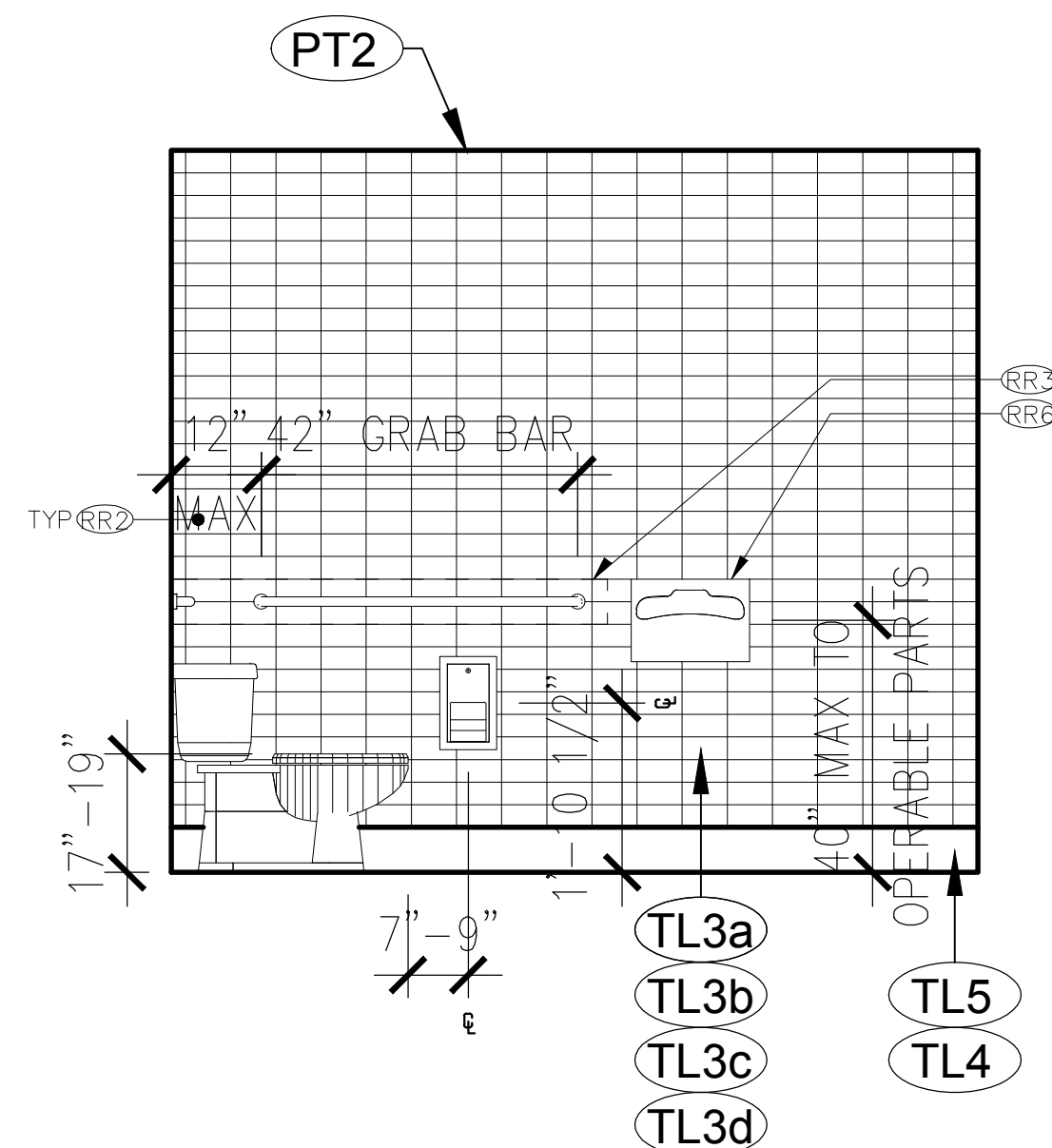
OCCUPANCY GROUP	TENANT AREA (SF)	OCCUPANT LOAD	OCCUPANTS
ASSEMBLY - OPEN SEATING	1,110 SF	15 NET	74
ASSEMBLY - STANDING	496 SF	5 NET	99.2
COMMERCIAL KITCHEN	327 SF	200 GROSS	2.92
STORAGE	42 SF	300 GROSS	0.14
TOTAL			177 (176.26) OCCUPANTS (89 MEN 89 WOMEN)

REQUIRED PLUMBING FIXTURES
 WATER CLOSETS REQUIRED: 3 PER CPC 422.2 FOR WOMEN 2 PER CPC 422.2
 LAVATORIES REQUIRED: 1 PER CPC 422.2 *SEE BELOW
 URINALS REQUIRED: 1 PER CPC 422.2

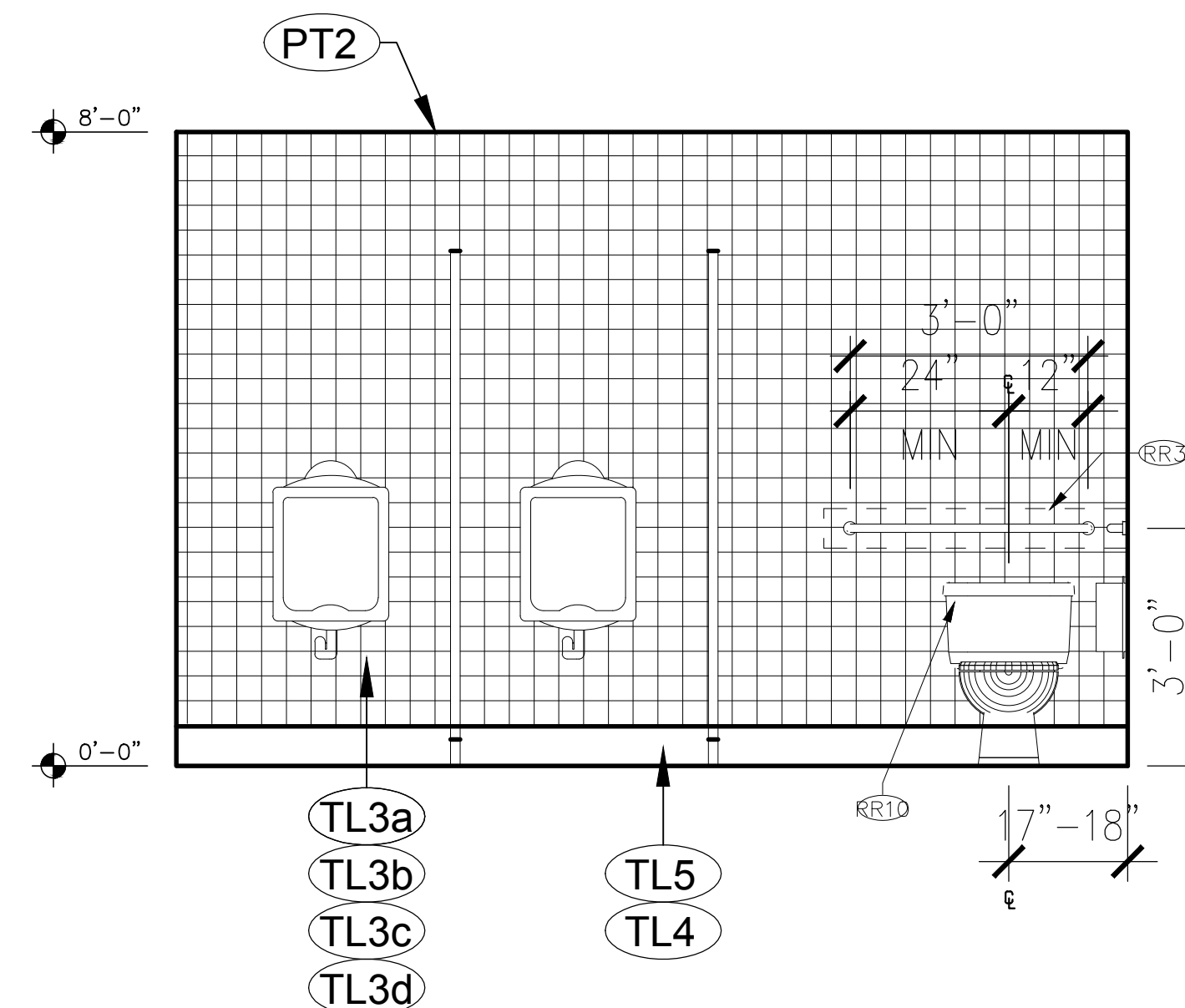
WATER CLOSETS PROVIDED: 2 (3 IN WOMEN'S RESTROOM)
LAVATORIES PROVIDED: 4
URINALS PROVIDED: 1



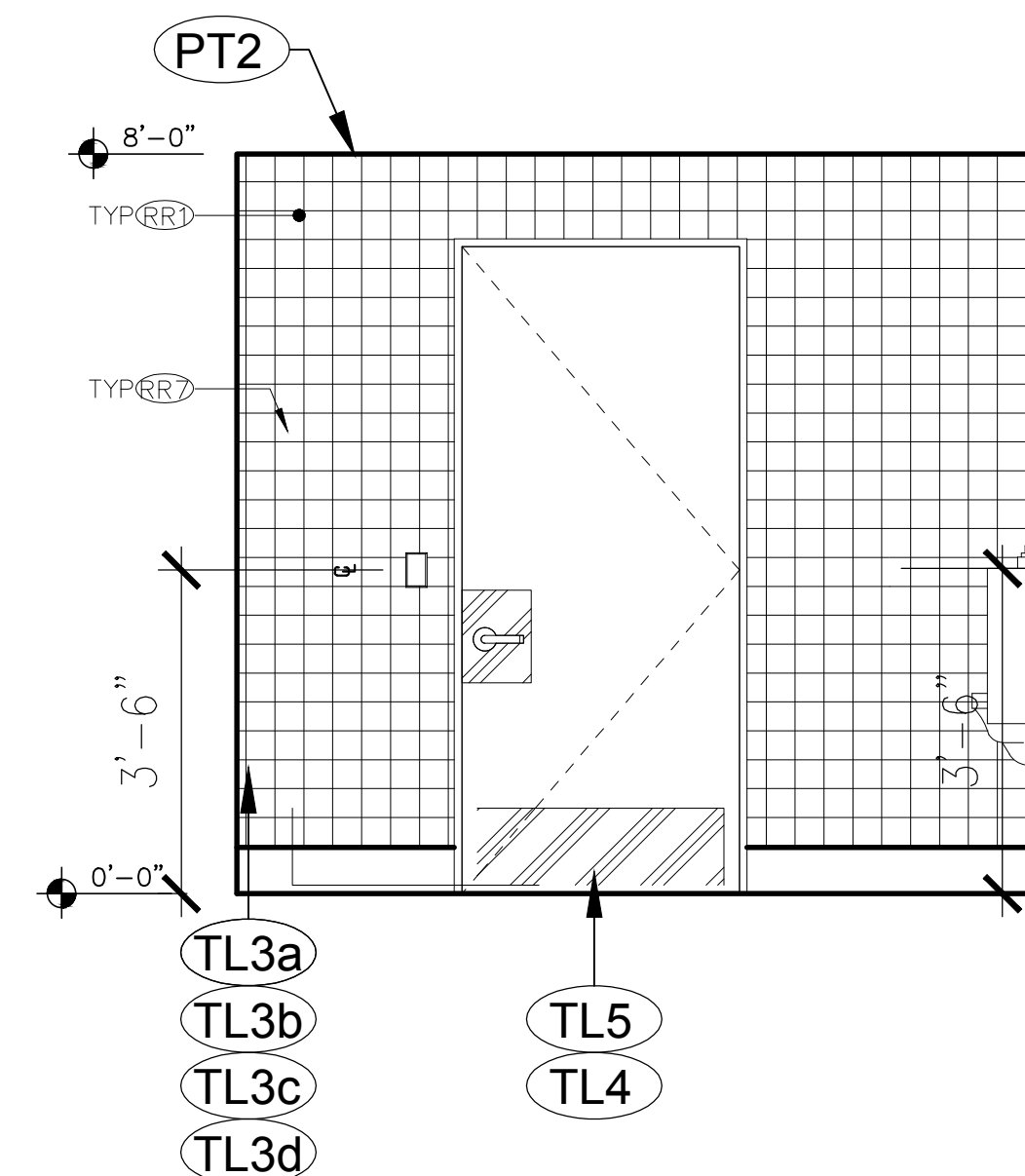
1 MEN'S RESTROOM ENLARGED PLAN
 1/2" = 1'-0"



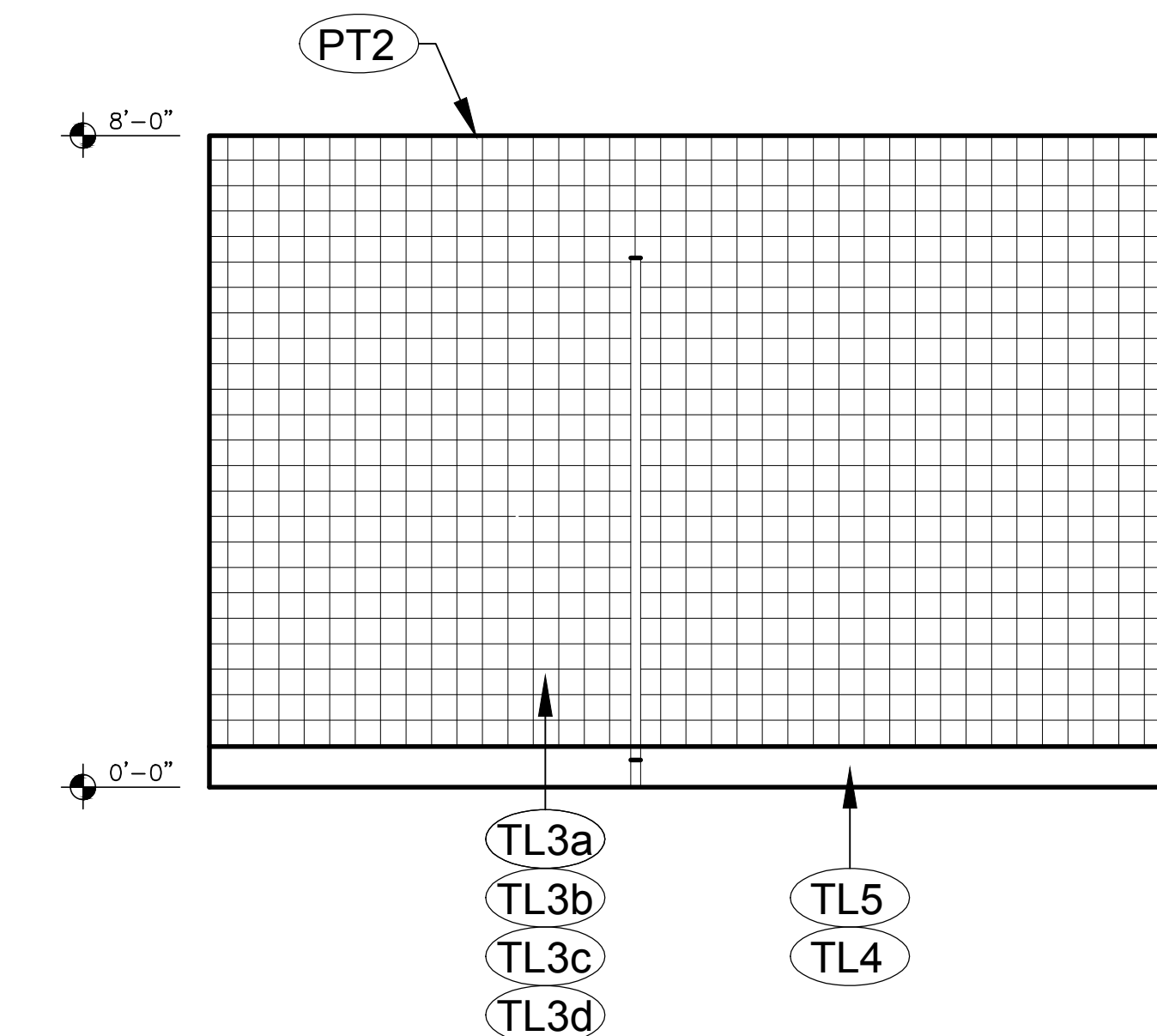
5 MEN'S RESTROOM ELEVATION-4
 1/2" = 1'-0"



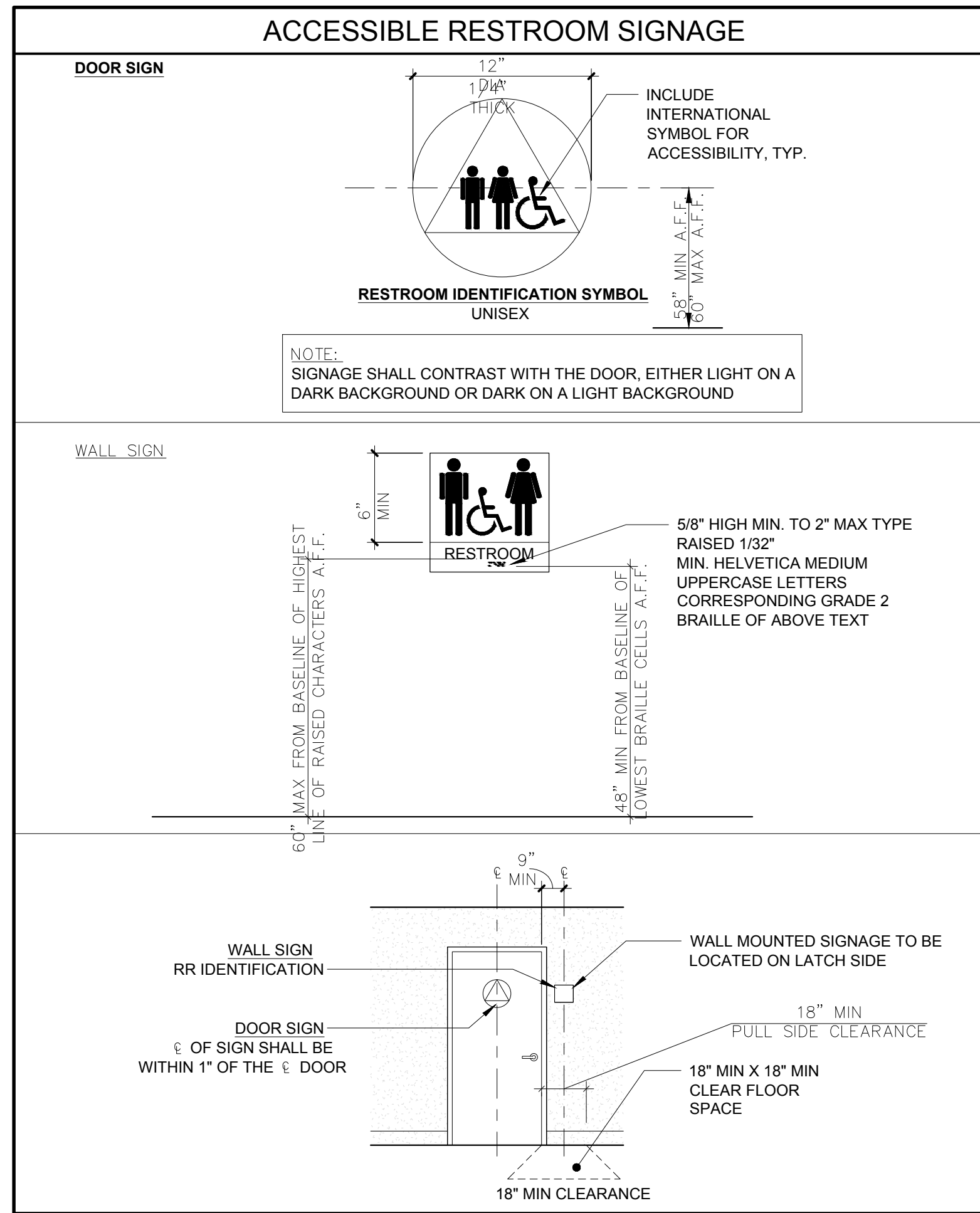
4 MEN'S RESTROOM ELEVATION-3
 1/2" = 1'-0"



3 MEN'S RESTROOM ELEVATION-2
 1/2" = 1'-0"



2 MEN'S RESTROOM ELEVATION-1
 1/2" = 1'-0"



RESTROOM FIXTURES AND ACCESSORIES

FIXTURE TYPE	DESCRIPTION	MFR	MODEL #	FINISH	NOTES
P-1	WATER CLOSET - TANK TYPE, FLOOR MOUNTED	TOTO	DRAKE II		FLUSH HANDLE AT WIDE SIDE.
P-2	LAVATORY - WALL HUNG	KOHLER	K-2005-R KINGSTON		
P-3	LAVATORY FAUCET	MOEN	8416	CHROME	
P-4	BOBRICK B-3942 CLASSIC SERIES SEMI-RECESSED CONVERTIBLE COMBINATION TOWEL AND WASTE UNIT	BOBRICK WASHROOM EQUIPMENT, INC.	B-3942		
P-5	VANITY MIRROR	BOBRICK	B-293 2436	SATIN STAINLESS STEEL	MOUNT AT 40" MAX. TO B.O. REFLECTIVE SURFACE OF MIRROR. USE SURFACE MTD. BRACKET FROM MFR. MTG. BRACKET TO BE SECURELY FASTENED TO WALL BACKING TOP AND BOTTOM. (THROUGH TILE AT B.O. BRACKET AND THROUGH SHIM AT T.O. BRACKET). PROVIDE 6" WIDE SHEET METAL BACKING AT TOP & BOTTOM OF MIRROR CENTER VERTICALLY ON MOUNTING BRACKET ANCHOR POINTS. WIDTH TO SPAN & BE ATTACHED TO 3 STUDS MINIMUM AND EXTEND BEYOND EDGE OF MIRROR EACH SIDE.
P-6	TOILET TISSUE DISPENSER	BRADLEY CORP.	5412		
P-7	SOAP DISPENSER - LAVATORY MOUNTED	BOBRICK WASHROOM EQUIPMENT, INC.	B-82316		
P-8	GRAB BARS	BOBRICK	B-5806 x 36; B-5806 x 42	SATIN STAINLESS STEEL	
P-9	URINAL	KOHLER	K-4991-ET-0 BARDON		
P-10	TOILET SEAT COVER DISPENSER	BRADLEY CORP.	5847		
P-11	BABY CHANGING TABLE				
P-12	TOILET PARTITIONS	BRADLEY CORP.		STAINLESS STEEL	

RESTROOM KEYNOTES

RR1	NOT USED
RR2	IMPERVIOUS WALL TILE WAINSCOT. SEE FINISH PLAN A2.3 FOR SCHEDULE. TILE IN STACKED BOND PATTERN
RR3	CONTINUOUS CONCEALED BACKING PLATE AT WALL MOUNTED ITEM. REFER TO SCHEDULED ITEM FOR ADDITIONAL INFORMATION.
RR4	CONTINUOUS BLACK SHIM BEHIND MIRROR TO MATCH THICKNESS OF TILE. SHIM TO BE RECESSED FROM MIRROR EDGE 2" MIN.
RR5	LOCATE WATER VALVES HIGH AND TIGHT TO BOTTOM OF SINK BUT OUTSIDE OF DRAIN SKIRT/SHROUD
RR6	ALIGN TOP OF ACCESSORY TO TILE GROUT JOINT SUCH THAT OPERABLE PART IS NO HIGHER THAN 40" AFF.
RR7	NOT USED
RR8	ACCESSIBLE INSULATED SAFETY SHROUD AT DRAIN AND SUPPLY PIPES
RR10	FLUSH VALVE AT WIDE SIDE OF TOILET

PLUMBING FIXTURE CALCULATIONS

*PER CALIFORNIA PLUMBING CODE CHAPTER 4

OCCUPANCY GROUP	TENANT AREA (SF)	OCCUPANT LOAD	OCCUPANTS
ASSEMBLY - OPEN SEATING	1,110 SF	15 NET	74
ASSEMBLY - STANDING	496 SF	5 NET	99.2
COMMERCIAL KITCHEN	327 SF	200 GROSS	2.92
STORAGE	42 SF	300 GROSS	0.14
TOTAL			177 (176.26) OCCUPANTS (89 MEN 89 WOMEN)

REQUIRED PLUMBING FIXTURES

WATER CLOSETS REQUIRED:
 3 PER CPC 422.2 FOR WOMEN
 2 PER CPC 422.2

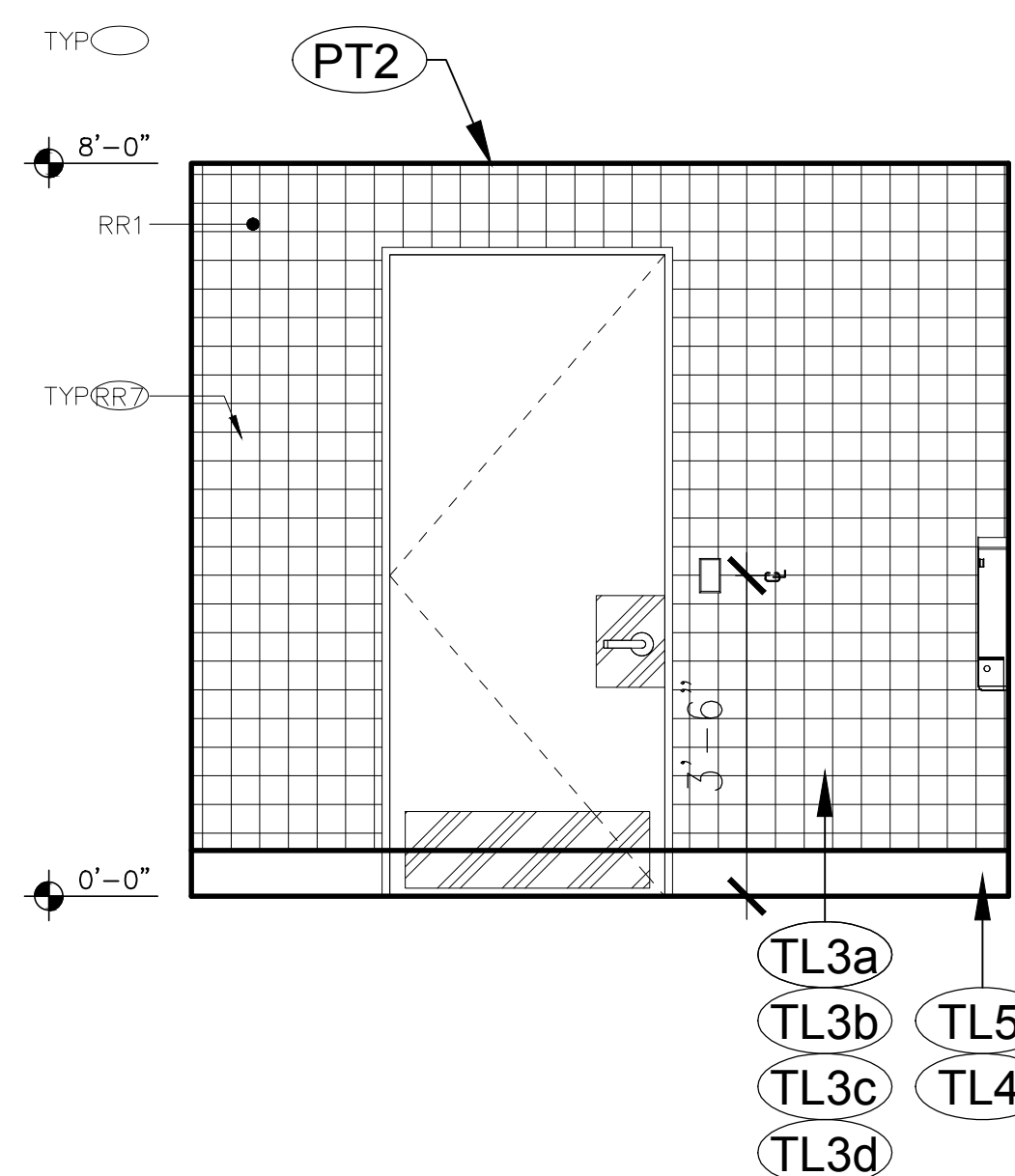
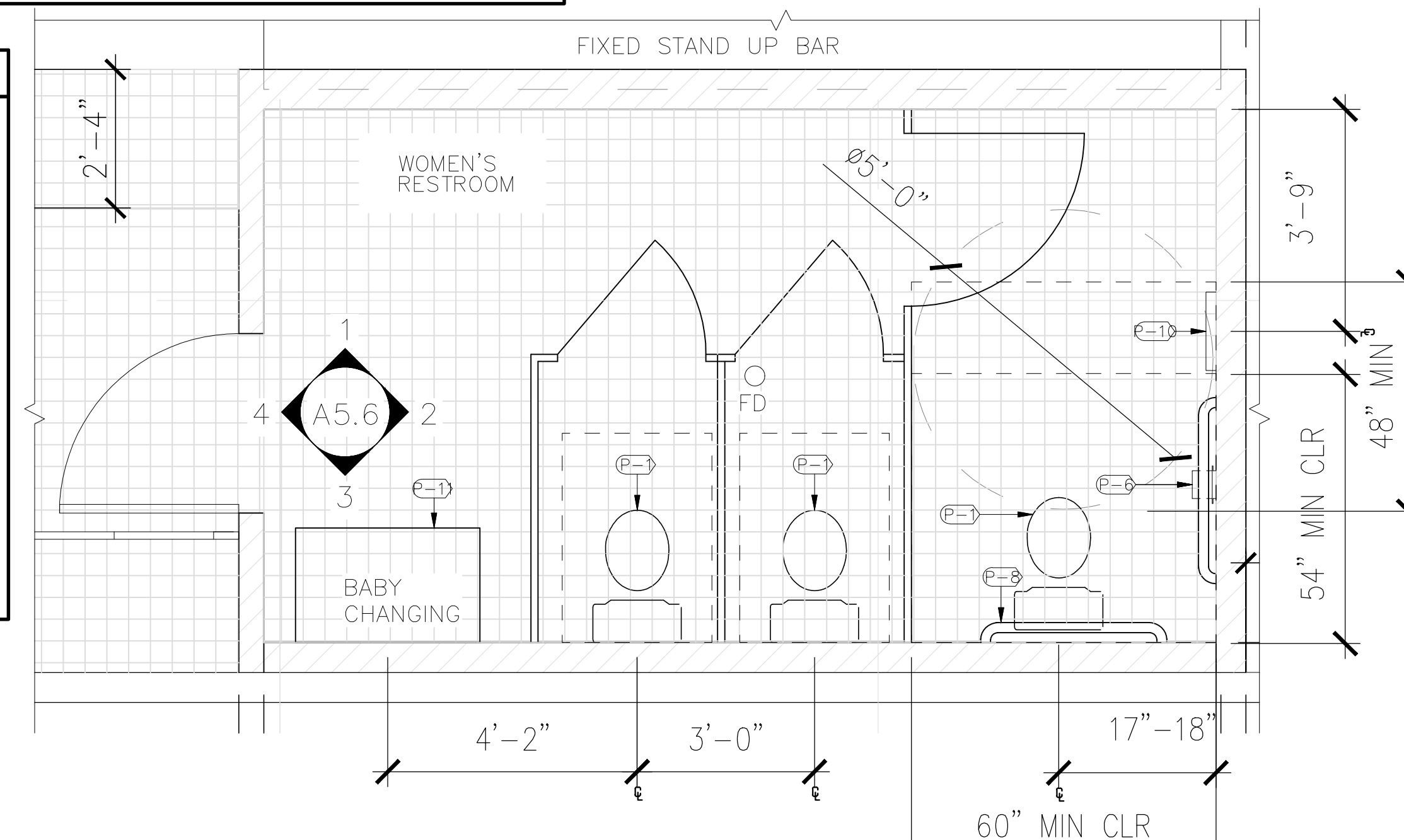
LAVATORIES REQUIRED:
 1 PER CPC 422.2 *SEE BELOW

URINALS REQUIRED:
 1 PER CPC 422.2

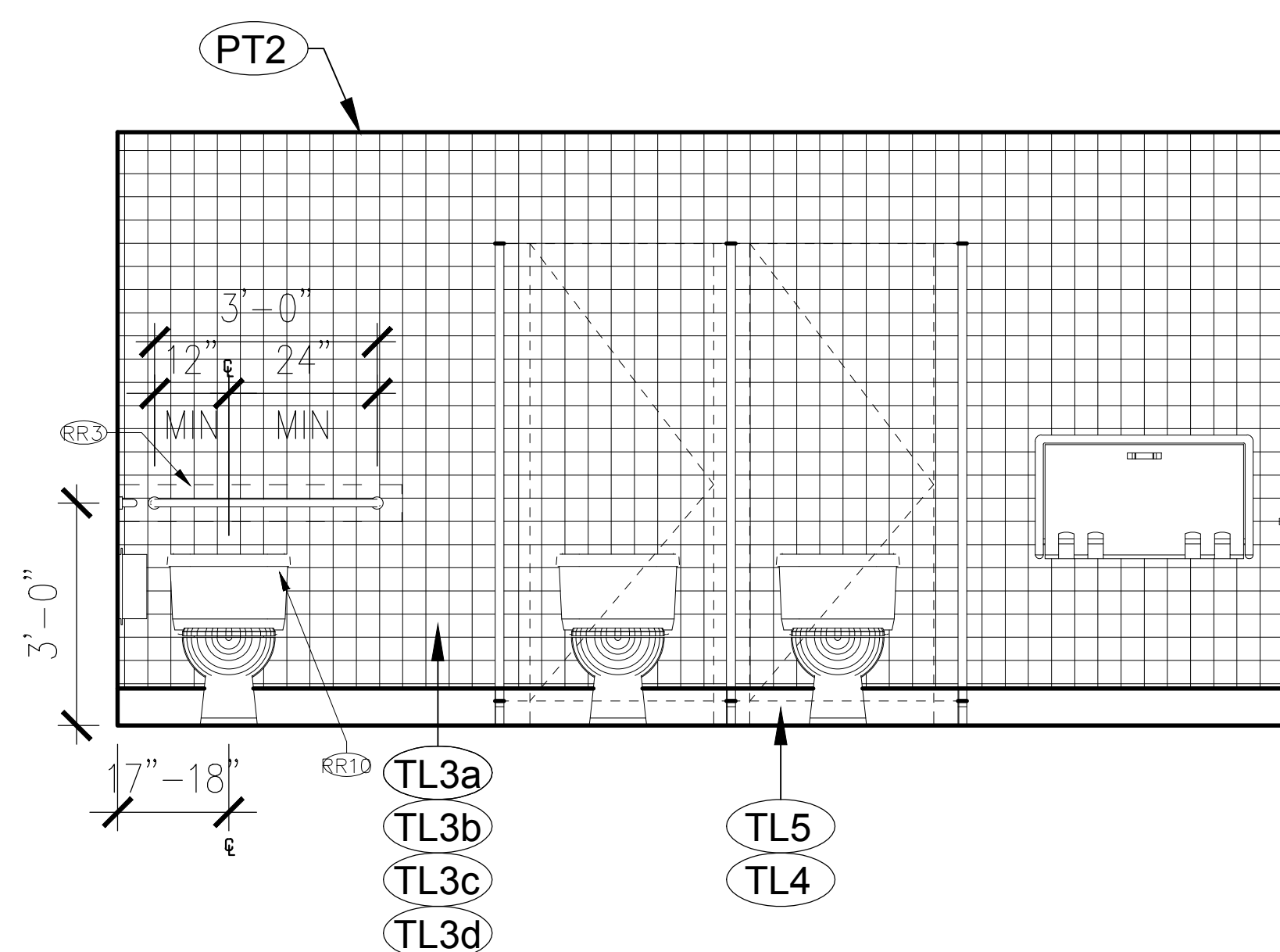
WATER CLOSETS PROVIDED:
 2 (3 IN WOMEN'S RESTROOM)

LAVATORIES PROVIDED:
 4

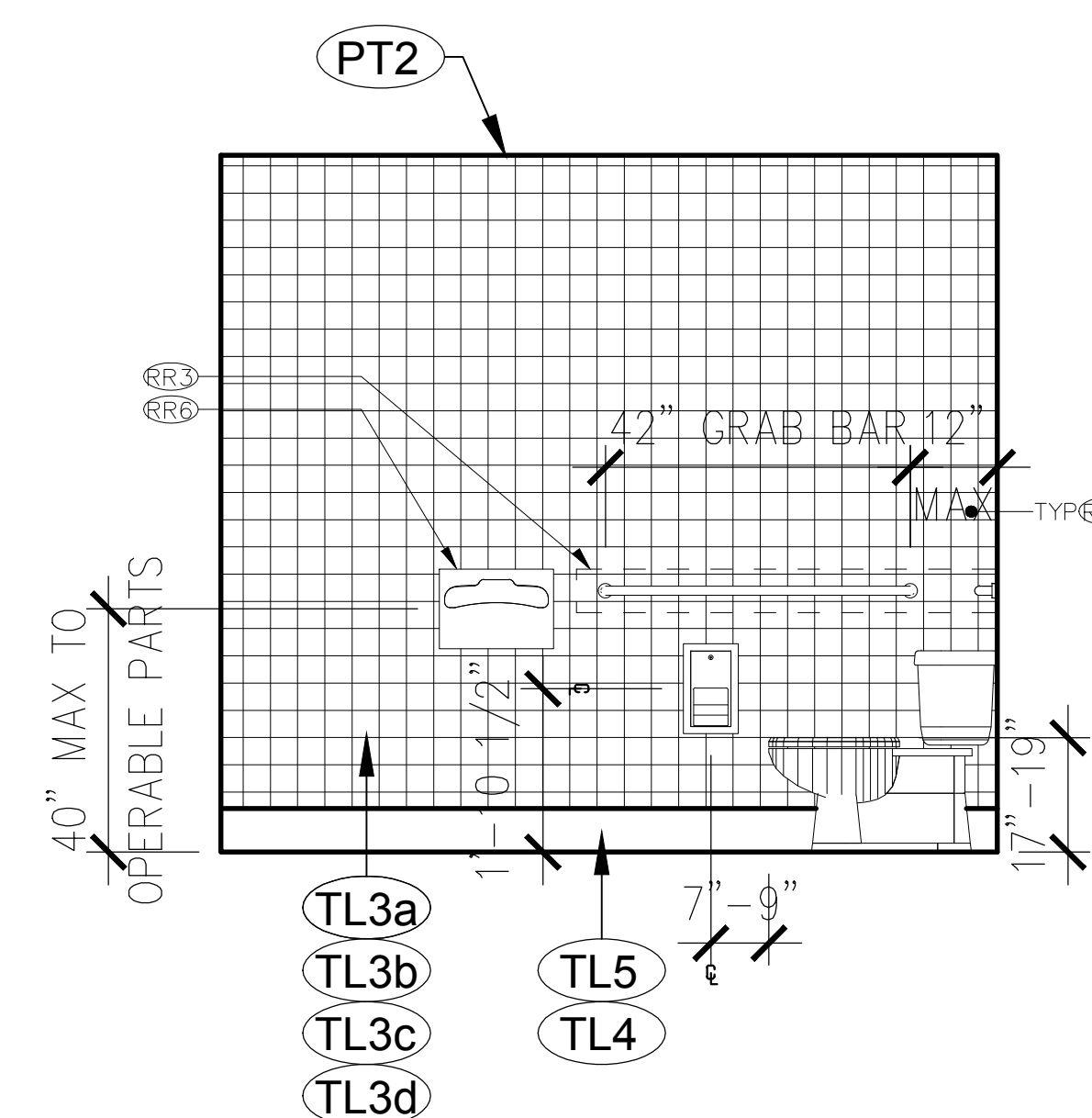
URINALS PROVIDED:
 1



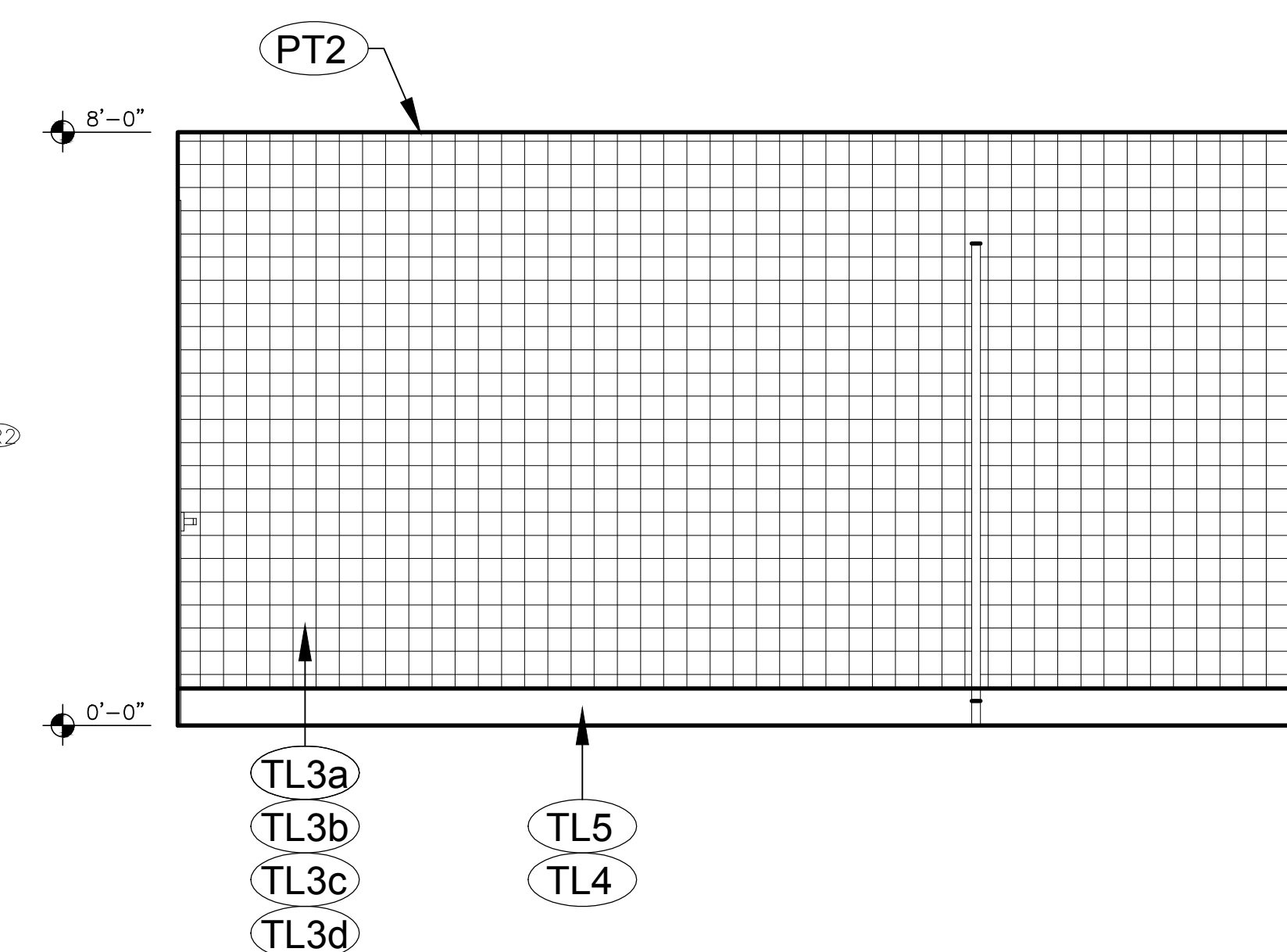
5 WOMEN'S RESTROOM ELEVATION-4
 1/2" = 1'-0"



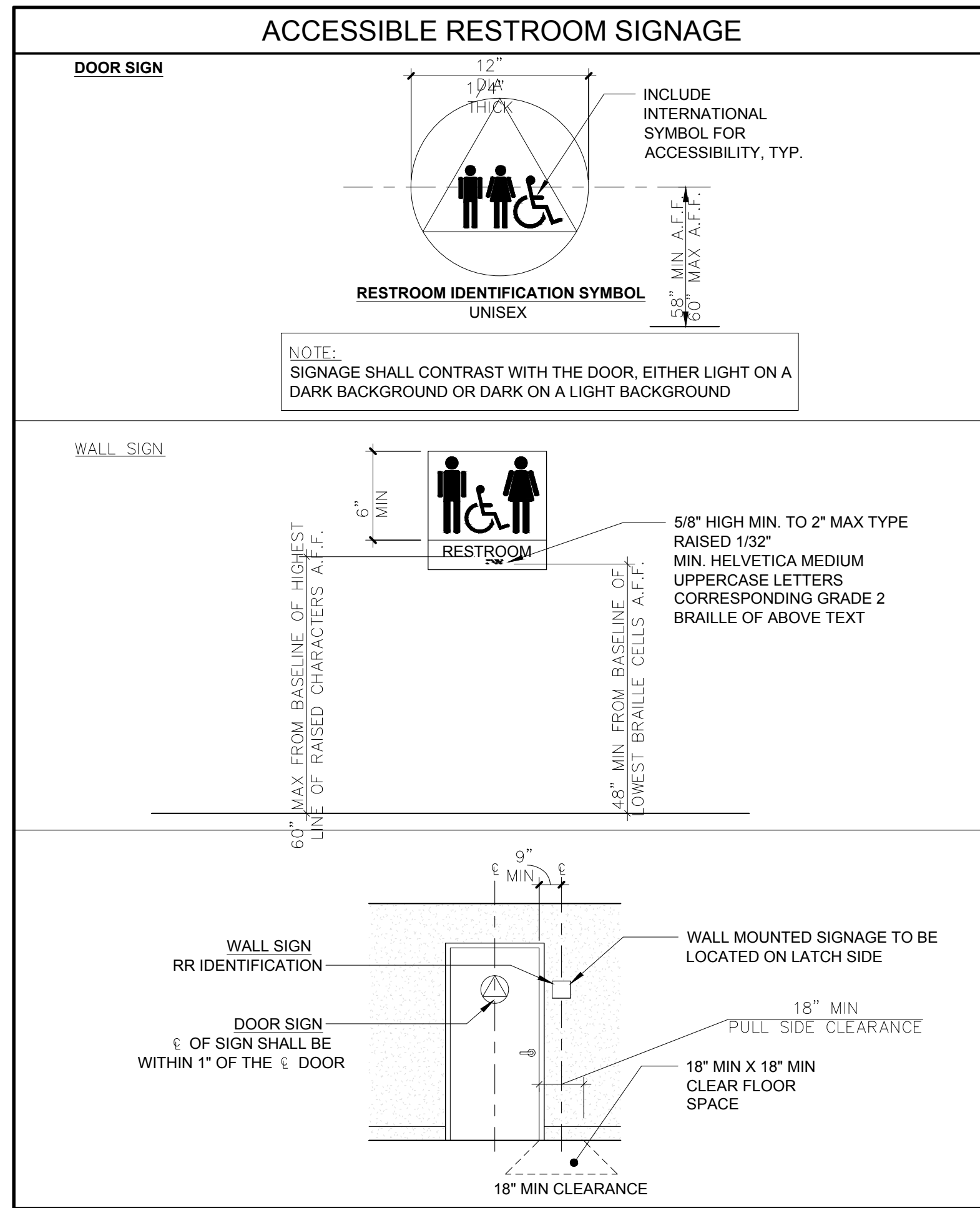
4 WOMEN'S RESTROOM ELEVATION-3
 1/2" = 1'-0"



3 WOMEN'S RESTROOM ELEVATION-2
 1/2" = 1'-0"



2 WOMEN'S RESTROOM ELEVATION-1
 1/2" = 1'-0"



RESTROOM FIXTURES AND ACCESSORIES

FIXTURE TYPE	DESCRIPTION	MFR	MODEL #	FINISH	NOTES
P-1	WATER CLOSET - TANK TYPE, FLOOR MOUNTED	TOTO	DRAKE II		FLUSH HANDLE AT WIDE SIDE.
P-2	LAVATORY - WALL HUNG	KOHLER	K-2005-R KINGSTON		
P-3	LAVATORY FAUCET	MOEN	8416	CHROME	
P-4	BOBRICK B-3942 CLASSIC SERIES SEMI-RECESSED CONVERTIBLE COMBINATION TOWEL AND WASTE UNIT	BOBRICK WASHROOM EQUIPMENT, INC.	B-3942		
P-5	VANITY MIRROR	BOBRICK	B-293 2436	SATIN STAINLESS STEEL	MOUNT AT 40" MAX. TO B.O. REFLECTIVE SURFACE OF MIRROR. USE SURFACE MTD. BRACKET FROM MFR. MTG. BRACKET TO BE SECURELY FASTENED TO WALL BACKING TOP AND BOTTOM. (THROUGH TILE AT B.O. BRACKET AND THROUGH SHIM AT T.O. BRACKET). PROVIDE 6" WIDE SHEET METAL BACKING AT TOP & BOTTOM OF MIRROR CENTER VERTICALLY ON MOUNTING BRACKET ANCHOR POINTS. WIDTH TO SPAN & BE ATTACHED TO 3 STUDS MINIMUM AND EXTEND BEYOND EDGE OF MIRROR EACH SIDE.
P-6	TOILET TISSUE DISPENSER	BRADLEY CORP.	5412		
P-7	SOAP DISPENSER - LAVATORY MOUNTED	BOBRICK WASHROOM EQUIPMENT, INC.	B-82316		
P-8	GRAB BARS	BOBRICK	B-5806 x 36; B-5806 x 42	SATIN STAINLESS STEEL	
P-9	URINAL	KOHLER	K-4991-ET-0 BARDON		
P-10	TOILET SEAT COVER DISPENSER	BRADLEY CORP.	5847		
P-11	BABY CHANGING TABLE				
P-12	TOILET PARTITIONS	BRADLEY CORP.		STAINLESS STEEL	

RESTROOM KEYNOTES

RR1	NOT USED
RR2	IMPERVIOUS WALL TILE WAINSCOT. SEE FINISH PLAN A2.3 FOR SCHEDULE. TILE IN STACKED BOND PATTERN
RR3	CONTINUOUS CONCEALED BACKING PLATE AT WALL MOUNTED ITEM. REFER TO SCHEDULED ITEM FOR ADDITIONAL INFORMATION.
RR4	CONTINUOUS BLACK SHIM BEHIND MIRROR TO MATCH THICKNESS OF TILE. SHIM TO BE RECESSED FROM MIRROR EDGE 2MM.
RR5	LOCATE WATER VALVES HIGH AND TIGHT TO BOTTOM OF SINK BUT OUTSIDE OF DRAIN SKIRT/SHROUD
RR6	ALIGN TOP OF ACCESSORY TO TILE GROUT JOINT SUCH THAT OPERABLE PART IS NO HIGHER THAN 40" AFF.
RR7	NOT USED
RR9	ACCESSIBLE INSULATED SAFETY SHROUD AT DRAIN AND SUPPLY PIPES
RR10	FLUSH VALVE AT WIDE SIDE OF TOILET

PLUMBING FIXTURE CALCULATIONS

PER CALIFORNIA PLUMBING CODE CHAPTER 4

OCCUPANCY GROUP	TENANT AREA (SF)	OCCUPANT LOAD	OCCUPANTS
ASSEMBLY - OPEN SEATING	1,110 SF	15 NET	74
ASSEMBLY - STANDING	496 SF	5 NET	99.2
COMMERCIAL KITCHEN	327 SF	200 GROSS	2.92
STORAGE	42 SF	300 GROSS	0.14
TOTAL			177 (176.26) OCCUPANTS (89 MEN 89 WOMEN)

REQUIRED PLUMBING FIXTURES

WATER CLOSETS REQUIRED:
3 PER CPC 422.2 FOR WOMEN
2 PER CPC 422.2

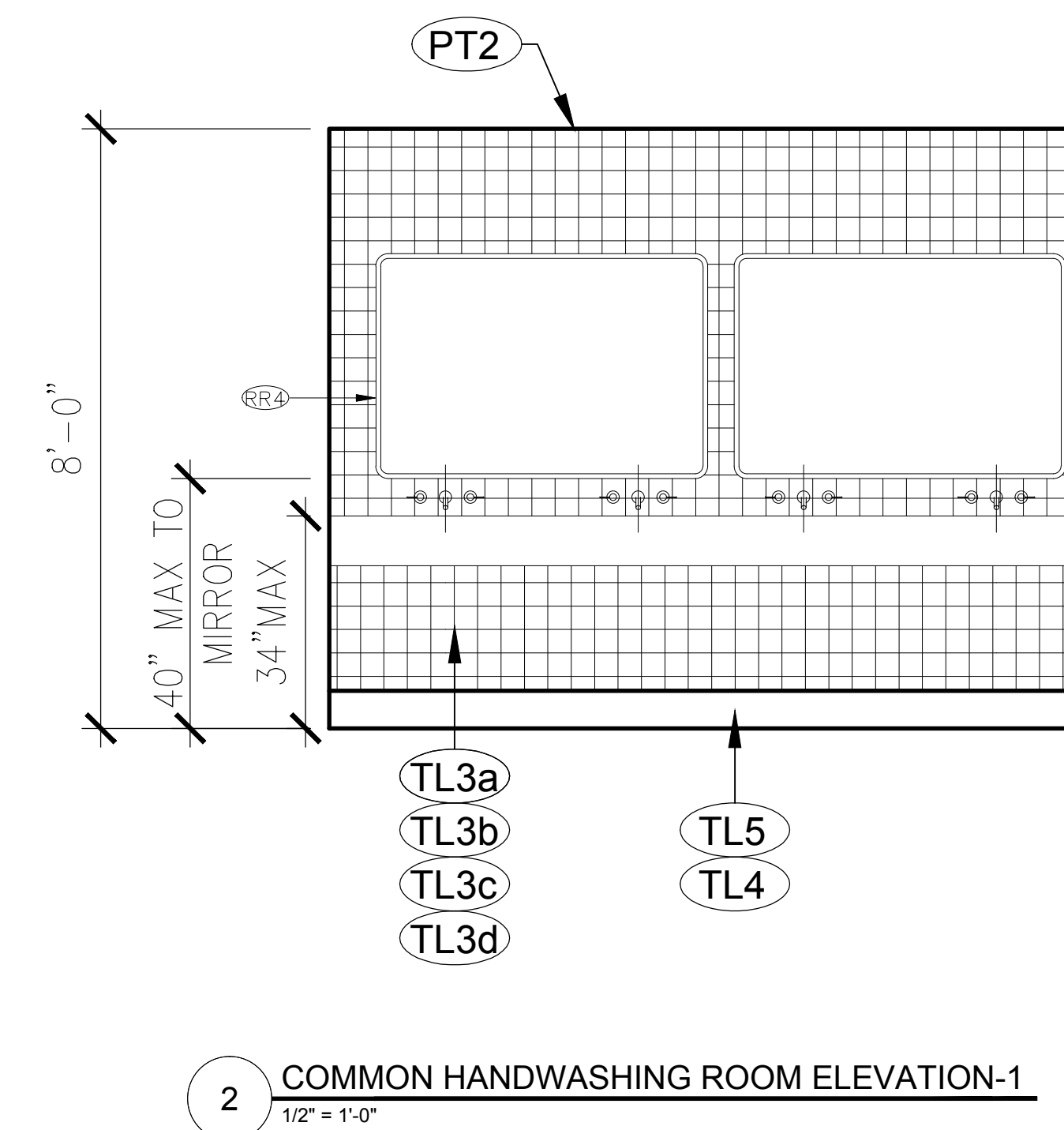
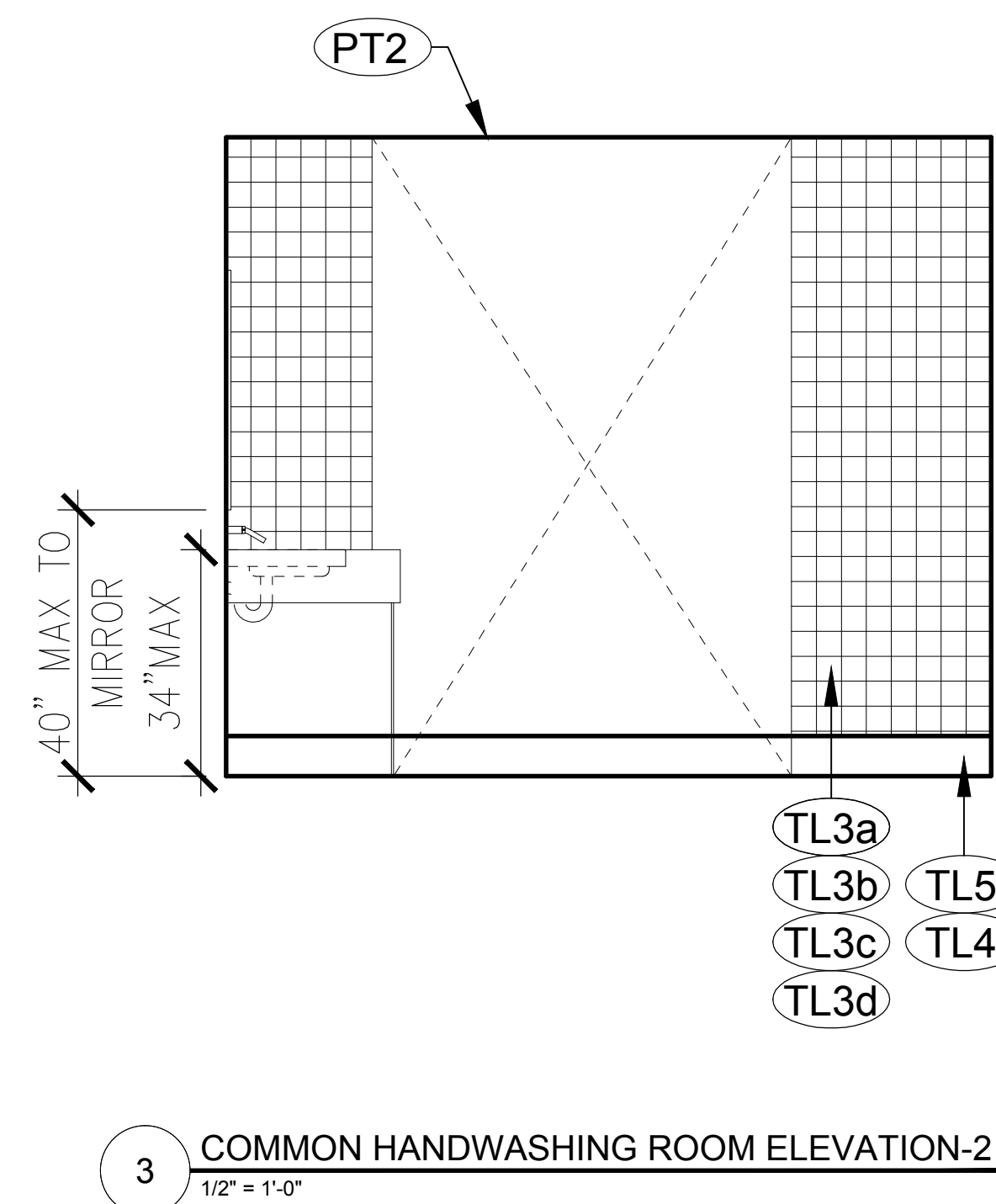
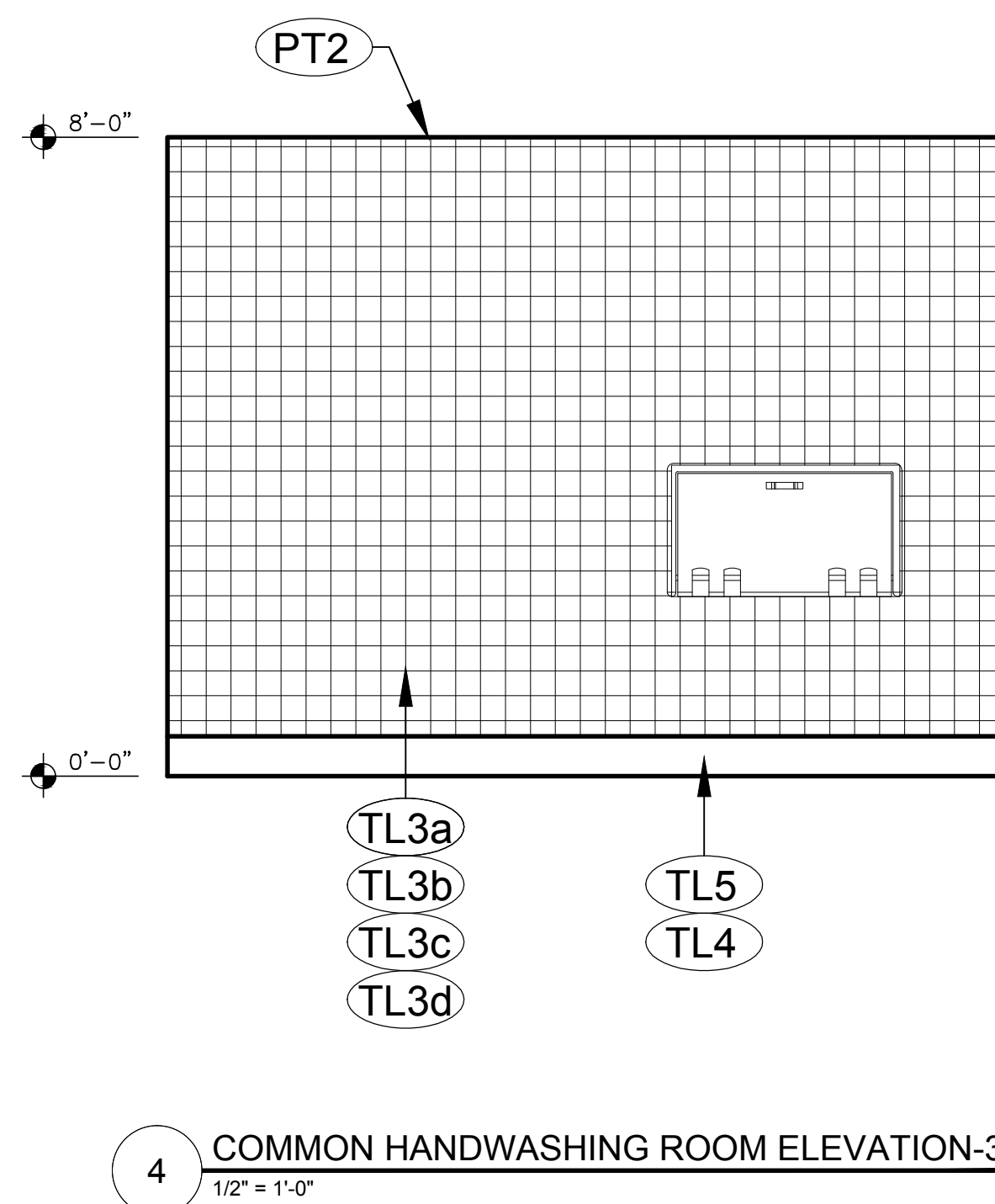
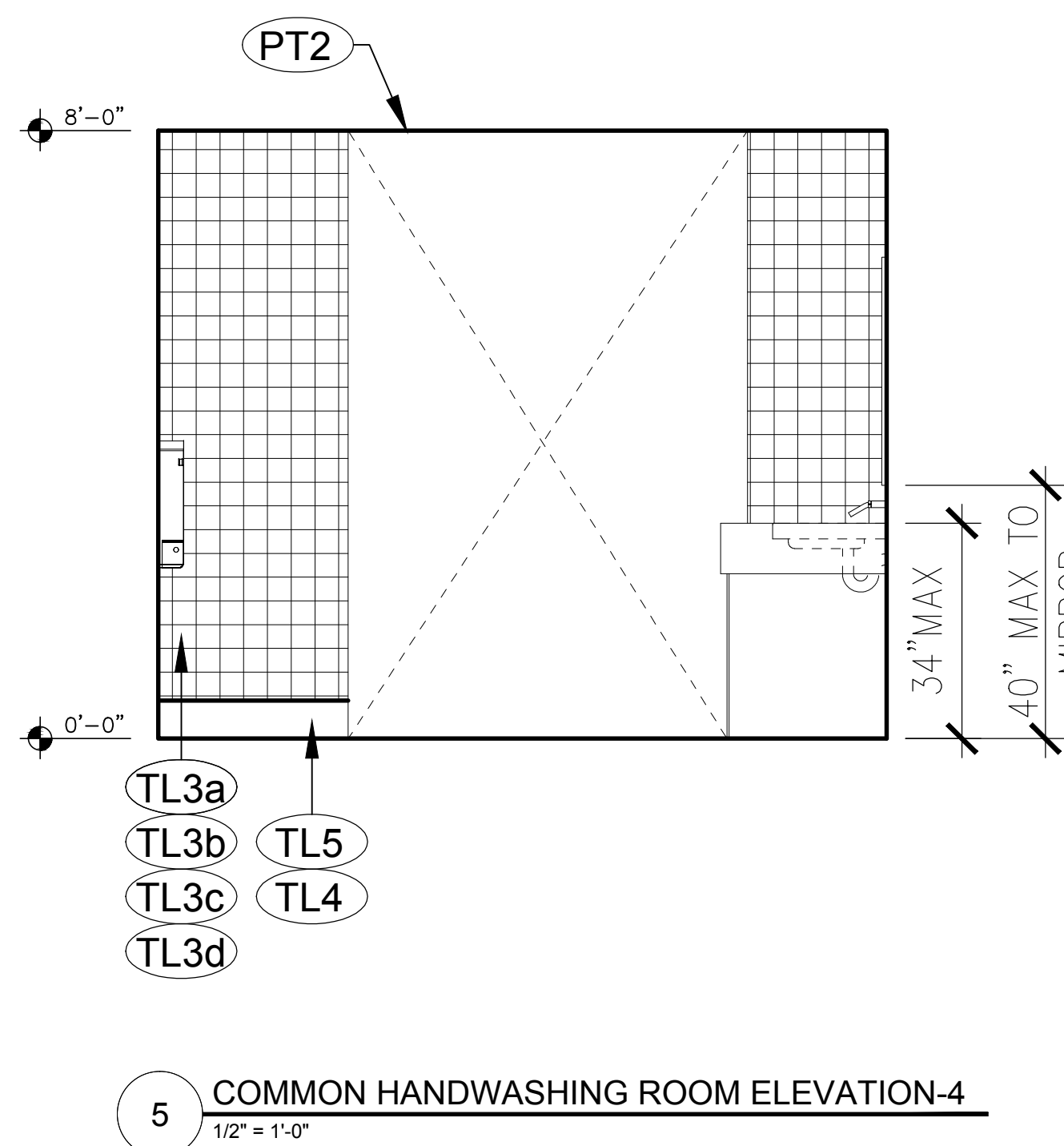
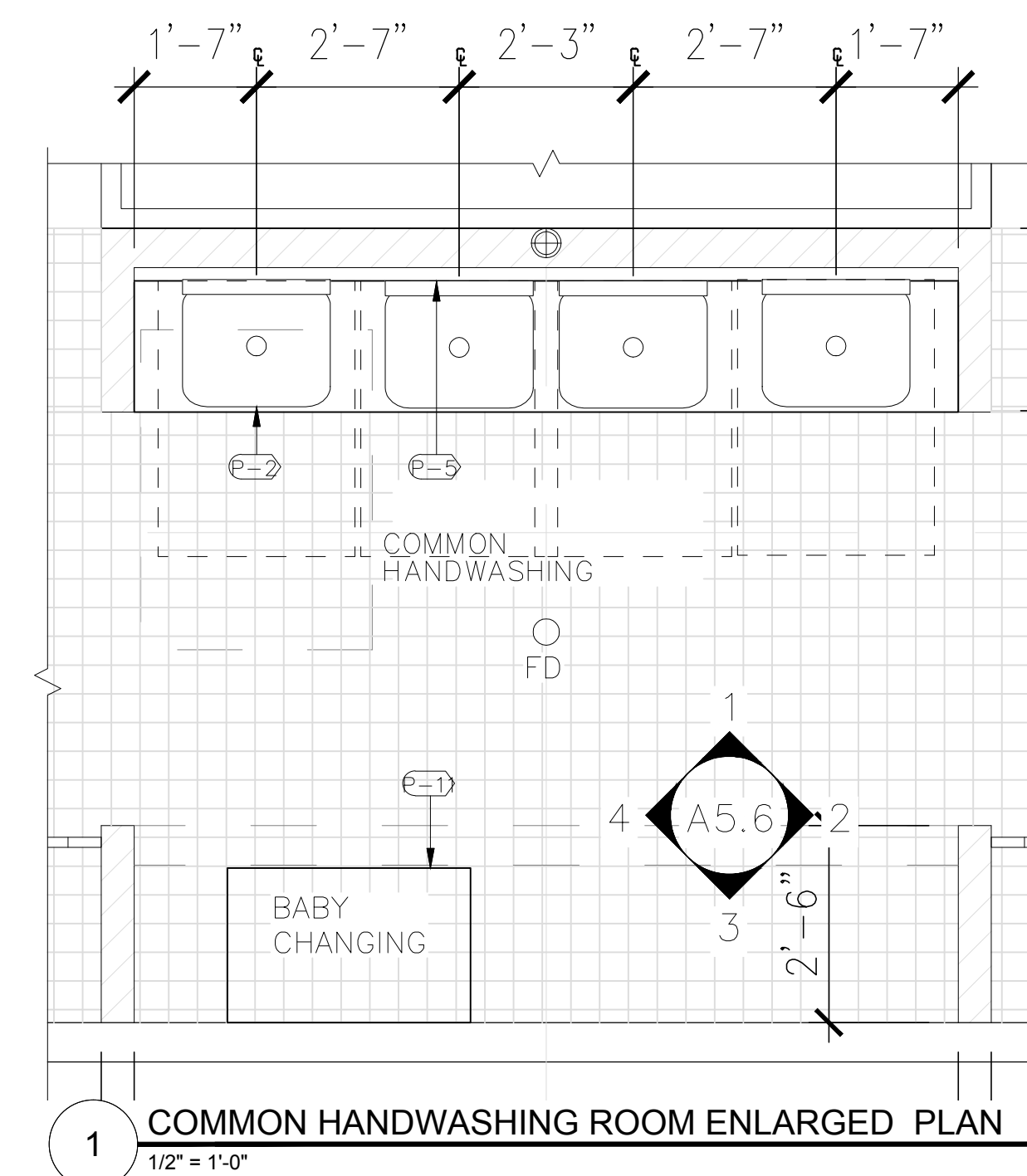
LAVATORIES REQUIRED:
1 PER CPC 422.2 *SEE BELOW

URINALS REQUIRED:
1 PER CPC 422.2

WATER CLOSETS PROVIDED:
2 (3 IN WOMEN'S RESTROOM)

LAVATORIES PROVIDED:
4

URINALS PROVIDED:
1



EQUIPMENT SCHEDULE					
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
EQ-01	2	POINT OF SALE			BY OWNER
EQ-02	1	STAINLESS STEEL POS UNDER-COUNTER UNIT	BY G.C.	CUSTOM FAB.	CUSTOM FAB. S/S OPEN CABINET W/ ADJUSTABLE SHELVES
EQ-03	1	DECK MOUNTED GLASS FILLER	ENCORE	KL26-5012-SP	TO BE COORDINATED WITH MEP
	1	WATER TAP DRIP PAN	T&S BRASS AND BRONZE	B-1231	COORDINATE WITH MILLWORK & EQ-03. PROVIDE RECESSED CUSTOM STAINLESS DRIP PAN.
EQ-04	1	WATER FILTRATION	HOSHIZAKI	TRIPLE CONFIGURATION	
EQ-05	3	HAND SINK W/ SIDE SPLASHES	GSW	HS-1615SS	
EQ-06	7	PAPER TOWEL DISPENSER	BOBRICK	B-262	
EQ-07	7	SOAP DISPENSER	BOBRICK	B-2111	
EQ-08	1	BAR DUMP SINK	BY G.C.	CUSTOM FAB	CUSTOM FAB. S/S COUNTERTOP WITH INTEGRAL HANDSINK. PROVIDE 2-1/2" BACK SPLASH
EQ-09	2	DRAFT TAP			BY OWNER
EQ-10	3	GLASS RINSER	ADVANCE TABCO	COUNTERTOP	
EQ-11	1	WALK-IN	NORLAKE	KL8	CUSTOM SIZE
EQ-12	1	WALK-IN CONDENSER	TURBO AIR	SEE MEP DRAWINGS	SEE MEP DRAWINGS
EQ-13	1	UNIT COOLER	TURBO AIR	SEE MEP DRAWINGS	SEE MEP DRAWINGS
EQ-14	1	SUPER ERECTA WIRE SHELVING	METRO SHELVING	VARIES	VARIOUS SIZES
EQ-15	8	SUPER ERECTA WIRE SHELVING	METRO SHELVING	VARIES	VARIOUS SIZES
EQ-16	1	UNDER COUNTER ICE MACHINE	MANITOWOC NEO	VARIES	SEE MEP DRAWINGS
EQ-17	15	PLASTIC TRASH BINS	RUBBERMAID	H-1385	23 GALLON SIZE
EQ-18	1	EMPLOYEE LOCKER	NEXEL	12X15X24 ASSEMBLED	
EQ-19	5	SUPER ERECTA WIRE SHELVING	METRO SHELVING	VARIES	VARIOUS SIZES
EQ-20	1	WATER HEATER	BY G.C.	BY G.C.	SEE MEP DRAWINGS
EQ-21	1	STAINLESS STEEL 3-COMPARTMENT SINK W/ DRAINBOARD	BY G.C.	CUSTOM FAB.	
EQ-22	6	SUPER ERECTA WIRE SHELVING	BY G.C.	CUSTOM FAB.	SIZE VARIES. SEE INTERIOR ELEVATIONS - G.C. TO PROVIDE WALL BACKING AS NECESSARY
EQ-23	2	STAINLESS STEEL WORK TABLE W/ UNDERSHELF	BY G.C.	CUSTOM FAB.	SIZE VARIES - SEE PLAN
EQ-24	1	COFFEE GRINDER	MAHLKONIG	EK43	
EQ-25	1	POTABLE WATER HEATER	BUNN	HSX ELEMENT WHITE	
EQ-26	1	COFFEE MACHINE	BUNN	DUAL SH DBC(33500.0000)	
EQ-28	1	CONVECTION OVEN	CADCO	OV-003, OV-013, OV-023	
EQ-30	1	DISH SANITIZER	HOBART	LX6 SERIES	FOR SUPPLY CONNECTIONS. USE COPPER WIRE ONLY RATED AT 90°C MINIMUM
EQ-31	1	MOP SINK	ZURN	1996-24	
EQ-32	1	MOP SINK FAUCET	FIAT	830-AA	
EQ-33	1	MOP SINK SHELF	ADVANCE TABCO		CONTRACTOR TO PROVIDE WALL-MOUNTED RACK AND CHEMICAL SHELF ABOVE MOP SINK
EQ-34	1	SAFE			BY OWNER
EQ-35	1	PING PONG TABLE			BY OWNER
EQ-36	1	SHUFFLEBOARD			BY OWNER

HEALTH DEPARTMENT NOTES

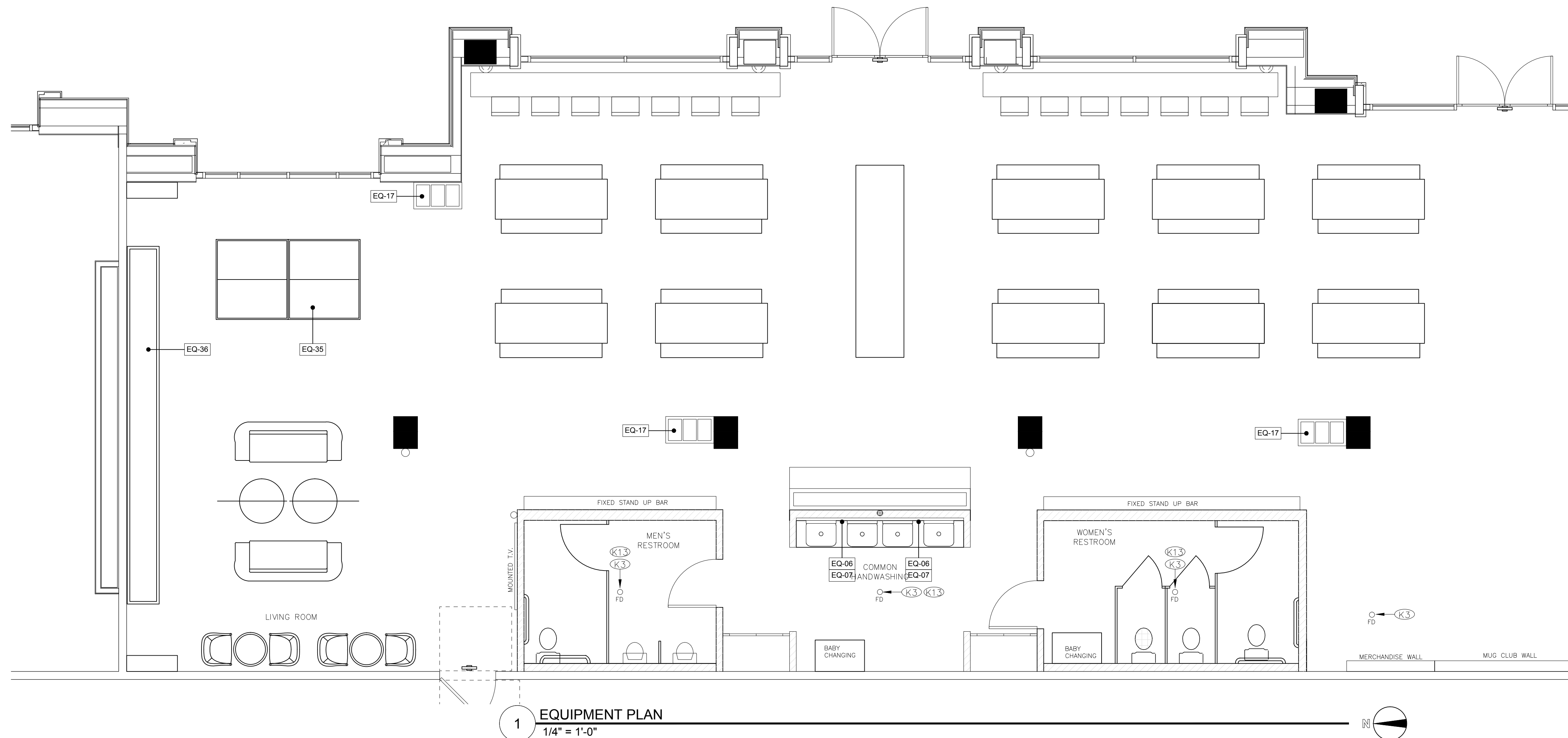
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 - ALL WALLS IN ALL ROOMS SHALL BE OF A DURABLE, SMOOTH, NON-ABSORBENT AND EASILY CLEANABLE SURFACE (PAINTED, CONCRETE BLOCK IS NOT ALLOWED)
 - ALL WALLS BEHIND SINKS MUST BE PROTECTED WITH AT WATER RESISTANT MATERIAL MEASURED FROM THE TOP OF COVE BASE UP.
 - WATER HEATER BASE TO BE ELEVATED AT LEAST 6-INCHES ABOVE THE FINISHED FLOOR ON A STAND OR COVED CURB.
 - SURFACE MOUNTED PIPING IS NOT ACCEPTABLE. PIPING AND CONDUITS OF ALL TYPES MUST BE CONCEALED WITHIN WALLS, FLOORS AND CEILINGS.
 - LIGHT FIXTURES, INCLUDING PENDANT, RECESSED AND TRACK LIGHTING, LOCATED OVER UNCOVERED FOOD OR UTENSILS MUST BE SHATTER-RESISTANT AND CLEANABLE.
 - VERTICAL SNEEZE GUARDS MUST EXTEND TO A HEIGHT OF AT LEAST 60-INCHES ABOVE THE FINISHED FLOOR.
 - ALL HAND SINKS TO HAVE PERMANENTLY MOUNT SOAP & TOWEL DISPENSERS.
 - THE TOILET ROOM MUST BE EQUIPPED WITH THE FOLLOWING:
 - PERMANENTLY INSTALLED SOAP AND PAPER TOWEL DISPENSERS
 - TOILET TISSUE DISPENSER
 - VENTILATION TO THE OUTSIDE AIR THROUGH A LIGHT-SWITCH ACTIVATED EXHAUST FAN
 - SELF-CLOSING DOOR
 - HAND WASH SINK WITH HOT/COLD COMBINATION WATER FAUCET
 - SEE SHEET P-2 FOR ALL PLUMBING AND WASTE CONNECTIONS.
 - SUFFICIENT NATURAL OR ARTIFICIAL LIGHTING SHALL BE PROVIDED TO PRODUCE THE FOLLOWING LIGHT INTENSITY, WHILE THE AREA IS IN USE:
 - AT LEAST 10-FOOT CANDLE AT A DISTANCE OF 30 INCHES ABOVE THE FLOOR, IN DRY FOOD STORAGE AREAS.
 - AT LEAST 20-FOOT CANDLES FOR THE FOLLOWING:
 - AT A SURFACE WHERE FOOD IS PROVIDED FOR CONSUMER SELF-SERVICE OR WHERE FRESH PRODUCE OR PREPACKAGED FOODS ARE SOLD OR OFFERED FOR CONSUMPTION.
 - INSIDE EQUIPMENT SUCH AS REACH-IN AND UNDER-COUNTER REFRIGERATORS.
 - AT A DISTANCE OF 30 INCHES ABOVE THE FLOOR IN AREAS USED FOR HANDWASHING, WAREWASHING, AND EQUIPMENT AND UTENSIL STORAGE, AND IN TOILET ROOMS.
 - ALL FOOD SERVICE AND RELATED EQUIPMENT SHALL BE NATIONAL SANITATION FOUNDATION (NSF) APPROVED AND IN CONFORMITY WITH LOCAL HEALTH REGULATIONS. INSTALLATION OF EQUIPMENT SHALL MEET SAME REQUIREMENTS. ALL REFRIGERATION SHALL MEET NSF-CHAPTER7 REQUIREMENTS.
 - ALL ADJOINING EQUIPMENT AND COUNTER SHALL BE SEALED TOGETHER TO PREVENT THE ENTRANCE OF MOISTURE, SPLASH, GREASE, INSECTS, ETC. ALL EQUIPMENT, INCLUDING SHELVING, SHALL BE SMOOTHLY SEALED TO THE WALL TO PREVENT THE ENTRANCE OF SPLASH AND DEBRIS. ALL PORTABLE OR FREE STANDING UNITS SHALL BE REMOVABLE AND EASILY ACCESSIBLE FOR CLEANING.
 - ALL REFRIGERATION EQUIPMENT AND EQUIPMENT FOR HOT STORAGE SHALL HAVE THERMOMETERS WHICH ARE EASILY READABLE IN PROPER WORKING CONDITIONS.
 - STORAGE SHELVING MUST BE SPECIFIED AS HAVING A SMOOTH, NON-ABSORBENT FINISH. THE LOWEST SHELF TO BE 6 INCHES ABOVE THE FLOOR.
 - A SEPARATE WALL-MOUNTED HANDWASH SINK IS REQUIRED WITHIN OR ADJACENT TO THE FOOD PREPARATION AND PACKAGING AREA. PROVIDE PERMANENTLY MOUNTED SINGLE-SERVICE SOAP AND PAPER TOWEL DISPENSERS.
 - ALL SINKS TO BE PROVIDED WITH ADEQUATE HOT AND COLD WATER FROM MIXING FAUCETS.
 - THE JUNCTURE AT THE FLOOR AND WALL, IN FOOD PREPARATION, COOKING AND SERVICE AREAS, MUST HAVE A COVED BASE WITH AT LEAST A 3/8 INCH RADIUS AND EXTENDING AT LEAST 6 INCHES UP THE WALL. IF TOP SET COVING IS USED, IT MUST BE ADEQUATELY SEALED AT THE FLOOR WITH SILICONE SEALANT OR EQUIVALENT TO FORM WATERPROOF SEAL.
 - PROVIDE AUTOMATIC DOOR CLOSURES ON ALL ENTRY AND DELIVERY ROOM DOORS.
 - BUILDING SHALL BE INSECT AND RODENT PROOF, INCLUDING EXTERIOR DOOR WHICH MUST COME WITHIN 1/4 INCH OF FLOOR. ALL VENTS AND OTHER OPENINGS TO OUTSIDE NEED TO BE SEALED OR SCREENED.
 - REFUSE CONTAINERS SHALL BE MOISTURE AND VERMIN PROOF WITH TIGHT FITTING LIDS.
 - ANY TRASH AND GARBAGE STORAGE AREA RECEIVING FOOD WASTE OR FOOD CONTAINERS, WILL HAVE A WATER BIB TO FACILITATE CLEANING. FLOOR, WALL AND CEILING WILL BE SMOOTH AND CLEANABLE. RECOMMEND HOT AND COLD WATER BIBS BE AVAILABLE FOR CLEANING. WASTE WATER FROM SUCH CLEANING OPERATIONS MUST BE DISPOSED OF AS SEWAGE THROUGH A FLOOR DRAIN IN THE TRASH ENCLOSURE OR THE EQUIVALENT.
- SEE ADDITIONAL NOTES PER PLANS.

EQUIPMENT PLAN KEYNOTES

- K1 (N) COFFEE FIXING STATIONS (MILK, SUGAR, ETC.)
- K2 (N) ELECTRICAL PANEL
- K3 (N) FLOOR DRAIN, S.P.D.
- K7 (N) CO2 SENSOR
- K10 S.P.D. FOR GREASE TRAP INFORMATION.
- K11 (N) MILLWORK COUNTER AND UPPER SHELVES, SEE ELEVATION.
- K12 (N) FLOOR SINK, S.P.D.
- K13 REFER TO ENLARGED RESTROOM PLANS AND ELEVATIONS FOR PLUMBING FIXTURES AND ACCESSORIES
- K14 WATER HEATER PLATFORM ABOVE MOP SINK. PROVIDE SEISMIC STUD TO WALL FRAMING
- K15 (N) 110 V OUTLETS
- K16 (N) TRAY DRAIN
- K17 (N) GLASS RINSER

EQUIPMENT PLAN GENERAL NOTES

- REVIEW ALL (N) EQUIPMENT DIMENSIONS & FLOOR CLEARANCES WITH OWNER PRIOR TO FINAL FRAMING.
- VERIFY ALL EQUIPMENT ROUGH-IN REQUIREMENTS WITH MANUFACTURER SPECIFICATIONS AND CUT SHEETS
- REFER TO ACCESSIBILITY REQUIREMENTS ON SHEETS A0.2 FOR MOUNTING HEIGHT REQUIREMENTS.
- SOUND SYSTEM, TV, POS STATIONS AND ALL OTHER ELECTRONIC EQUIPMENT BY OWNER U.O.N.
- STORE ALL PRODUCTS 6" MIN. OFF THE FLOOR ON NSF APPROVED SHELVING.
- GENERAL CONTRACTOR TO VERIFY ALL ROUGH-IN PLUMBING & ELECTRICAL LOCATIONS PRIOR TO CLOSING WALLS.
- EQUIPMENT POWER AND PLUG TYPE MAY VARY WITH FINAL EQUIPMENT SELECTION. CONTRACTOR TO REVIEW OUTLET REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.



1 EQUIPMENT PLAN
1/4" = 1'-0"

BAREBOTTLE BREW COMPANY
SANTA CLARA SQUARE
BUILDING ONE
2520 AUGUSTINE SQUARE
SANTA CLARA, CA 95054

BREW BOTTLE CO
SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

SUBMITTAL/REVISIONS
LANDLORD/PERMIT
SUBMITTAL SET

EQUIPMENT PLAN,
SCHEDULE & NOTES

SHEET NUMBER
K1.0

EQUIPMENT SCHEDULE					
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
EQ-01	2	POINT OF SALE			BY OWNER
EQ-02	1	STAINLESS STEEL POS UNDER-COUNTER UNIT	BY G.C.	CUSTOM FAB.	CUSTOM FAB. S/S OPEN CABINET W/ ADJUSTABLE SHELVES
EQ-03	1	DECK MOUNTED GLASS FILLER	ENCORE	KL26-5012-SP	TO BE COORDINATED WITH MEP
EQ-04	1	WATER TAP DRIP PAN	T&S BRASS AND BRONZE	B-1231	COORDINATE WITH MILLWORK & EQ-03. PROVIDE RECESSED CUSTOM STAINLESS DRIP PAN.
EQ-04	1	WATER FILTRATION	HOSHIZAKI	TRIPLE CONFIGURATION	
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EQ-06	7	PAPER TOWEL DISPENSER	BOBRICK	B-262	
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EQUIPMENT PLAN KEYNOTES

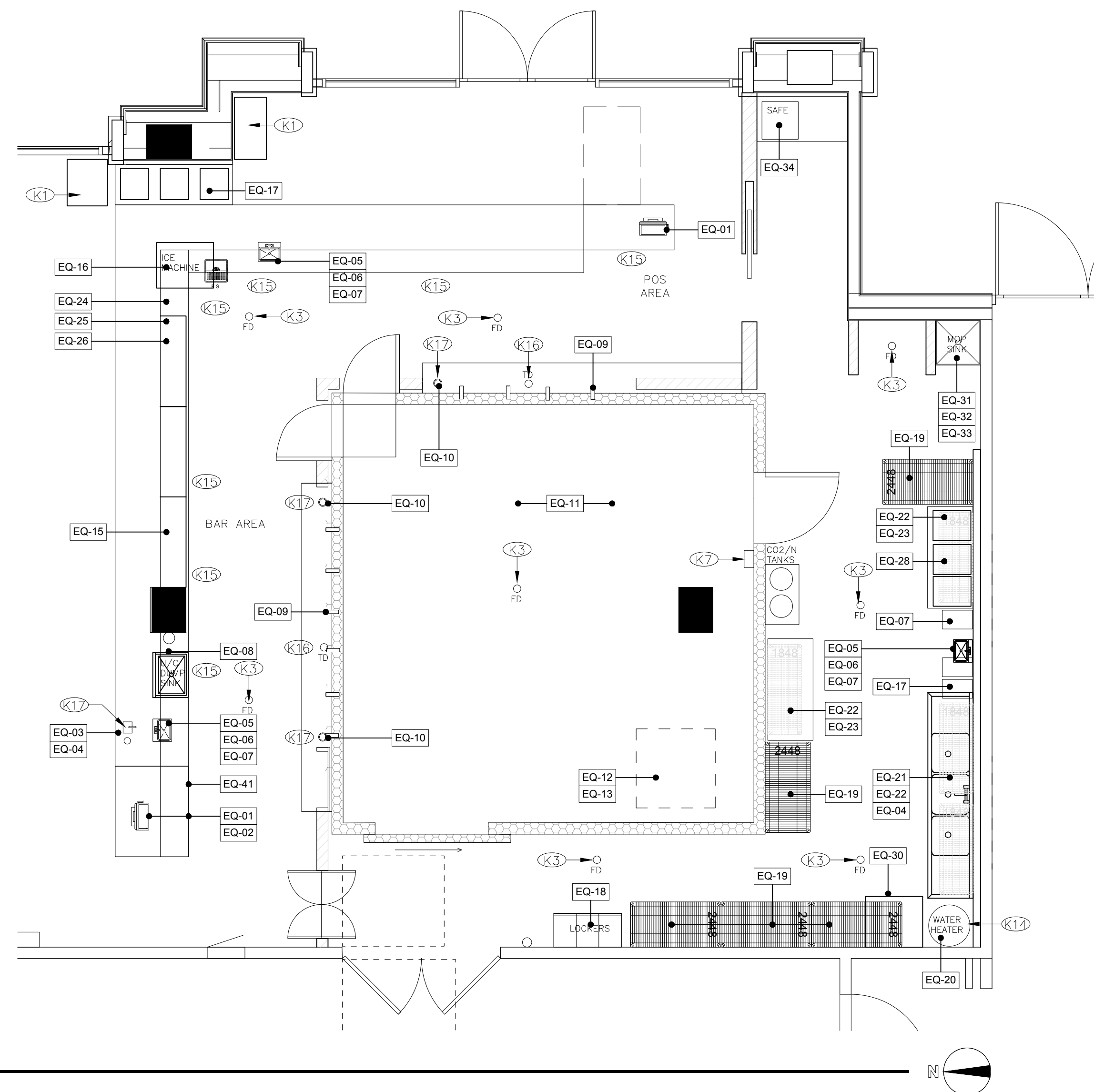
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1/4" = 1'-0"

BAREBOTTLE BREW COMPANY
SANTA CLARA SQUARE
BUILDING ONE
2520 AUGUSTINE SQUARE
SANTA CLARA, CA 95054

BARE BOTTLE CO
SANTA CLARA SQUARE - BUILDING ONE
2520 AUGUSTINE DRIVE
SANTA CLARA, CA 95054

SUBMITTAL/REVISIONS
LANDLORD/PERMIT
SUBMITTAL SET

12/21/18

EQUIPMENT PLAN,
SCHEDULE & NOTES

SHEET NUMBER

K1.0

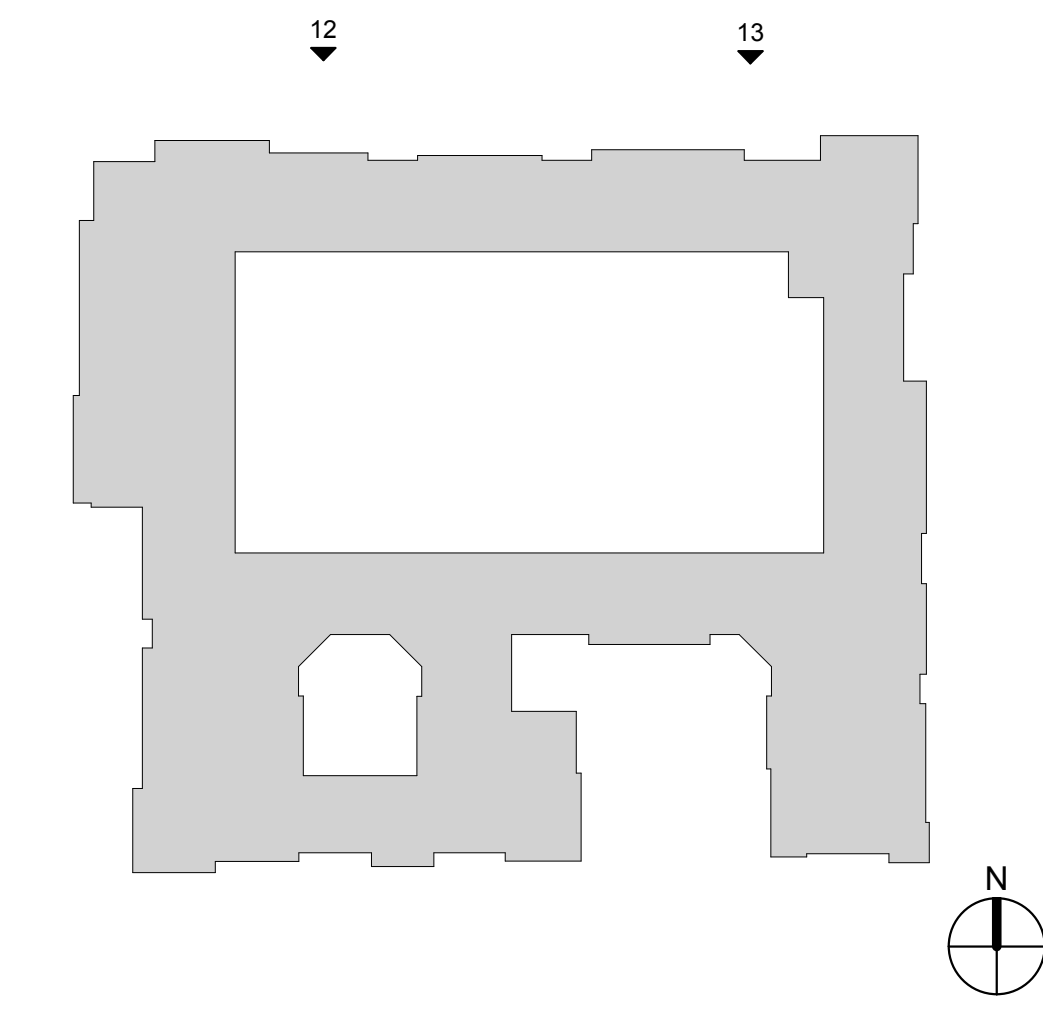
EXTERIOR ELEVATION LEGEND

KEYNOTES

BUILDING 3 KEY PLAN

ELEVATION NOTES:

- 1 FIXTURE TYPE Z2 MOUNTED TO DECORATIVE FACADE CORNICE. SEE DETAIL 2 SHEET LT-00.3.B FOR MOUNTING INFORMATION.
- 2 FIXTURE TYPE Z2, Z3 MOUNTED TO DECORATIVE FACADE CORNICE. SEE DETAIL 5 SHEET LT-00.3.B FOR MOUNTING INFORMATION.
- 3 FIXTURE TYPE Z1 MOUNTED TO DECORATIVE FACADE CORNICE. SEE DETAIL 3 SHEET LT-00.3.B FOR MOUNTING INFORMATION.
- 4 FIXTURE TYPE D6 MOUNTED TO CUSTOM CANTILEVERED ARM ATTACHED TO WALL.
- 5 FIXTURE TYPES K2 SURFACE MOUNTED TO EXTERIOR FACADE ELEMENTS. SEE DETAILS 4 SHEET LT-00.3.B FOR MOUNTING INFORMATION.
- 6 FIXTURE TYPE K4 MOUNTED INSIDE TOWER ROOF LEVEL CAVITY. SEE DETAIL 4 SHEET LT-00.3.B FOR MOUNTING INFORMATION.
- 7 FIXTURE TYPE K5 SURFACE MOUNTED TO EXTERIOR FACADE. SEE DETAIL 7 SHEET LT-00.3.B FOR MOUNTING INFORMATION.



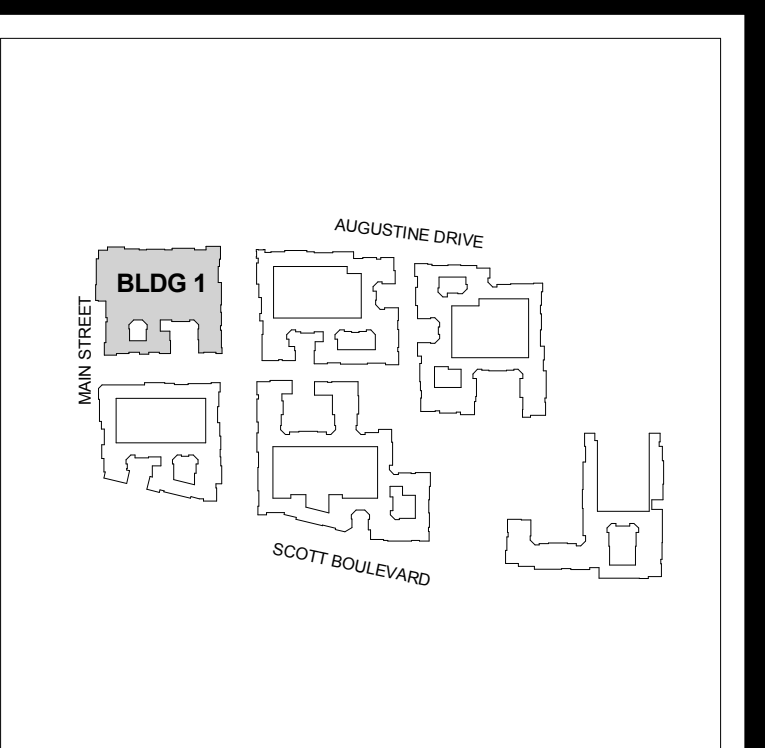
BUILDING 1 ELEVATION 12 1/8" = 1'-0" 2



BUILDING 1 ELEVATION 13 1/8" = 1'-0" 1

IRVINE COMPANY
 APARTMENT COMMUNITIES
 690 N. MCCARTHY BLVD, SUITE 100 MILPITAS, CA 95035
 TELEPHONE: (408) 957-1232 FAX: (408) 957-1212

SANTA CLARA SQUARE
 3255 SCOTT BLVD, SANTA CLARA, CA 95054



REVISIONS

NO.	DESCRIPTION	DATE
1-1	BULLETIN 1-1	2016-10-07

SHEET TITLE

EXTERIOR ELEVATIONS

BUILDING 1

SHEET NUMBER
LT1-20.2

JOB NO. 2015-10130
 DATE 02/23/2016
 SCALE As indicated

StudioK1
 DESIGNING LIGHT

15231 Laguna Canyon Road, Suite 100
 Irvine, California 92618
 949.751.5800 - www.studiok1.com
 Salwa Osman
 SK1 Job #: 2015-0293

NOT FOR CONSTRUCTION

PHASE 1 | BULLETIN 1-1 | 10/07/2016

