

THE CHEENEY TOWNHOUSES

MFA

ENGINEERS & ASSOCIATES

1190 PARK AVENUE
SAN JOSE, CA 95136
Tel: (408) 710-6725
saul.f@mfaconstruct.com



CHEENEY ST TOWNHOUSES
4249 CHEENEY ST
SANTA CLARA, CA 95054

DATE: 3/3/2025
PROJECT No. 39-071322

3D RENDERING

REF. NORTH



G0.1

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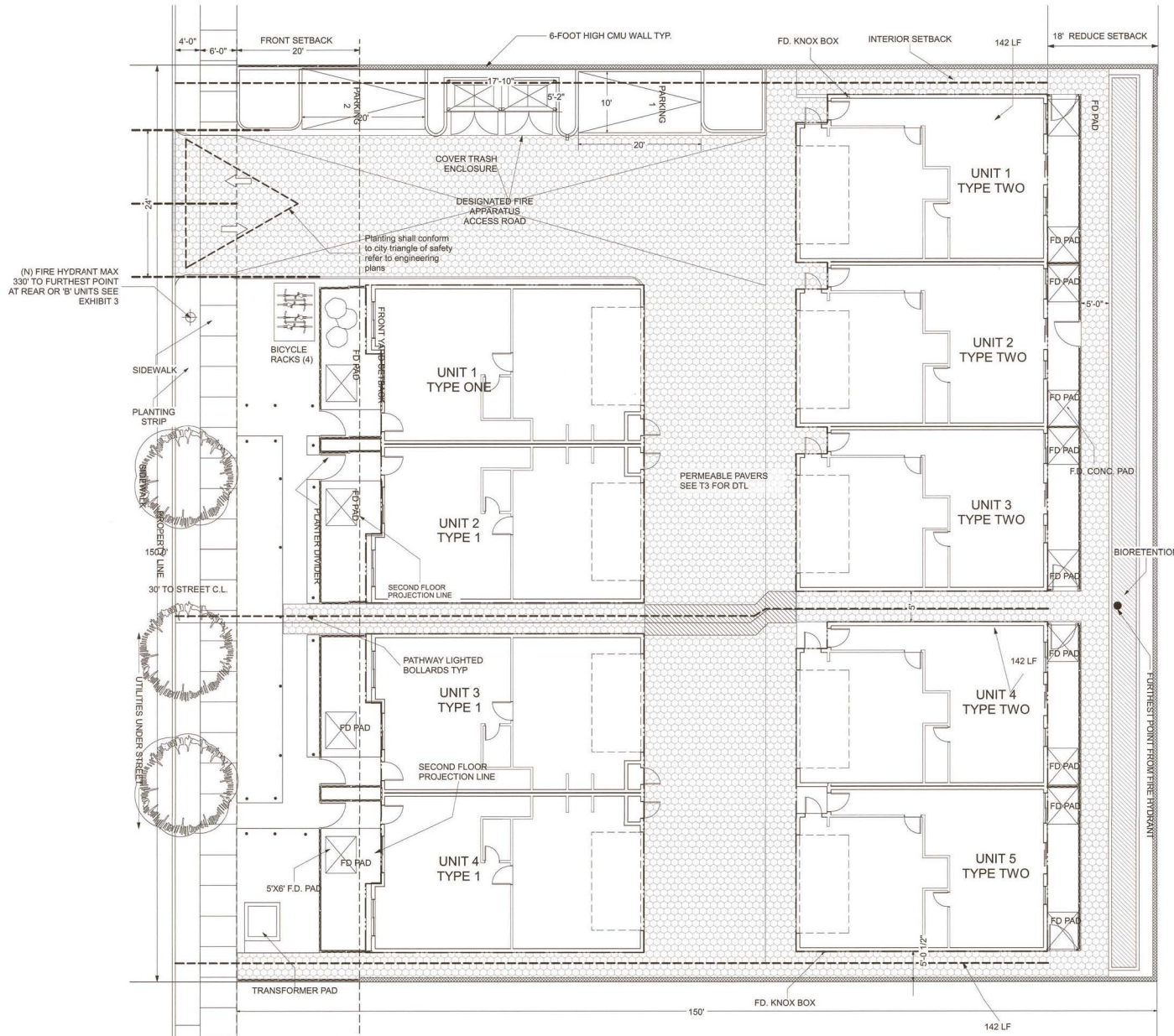
DATE: 2/28/2025
PROJECT No. 39-071322

SITE PLAN



A1.0

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SITE PLAN

1/8"

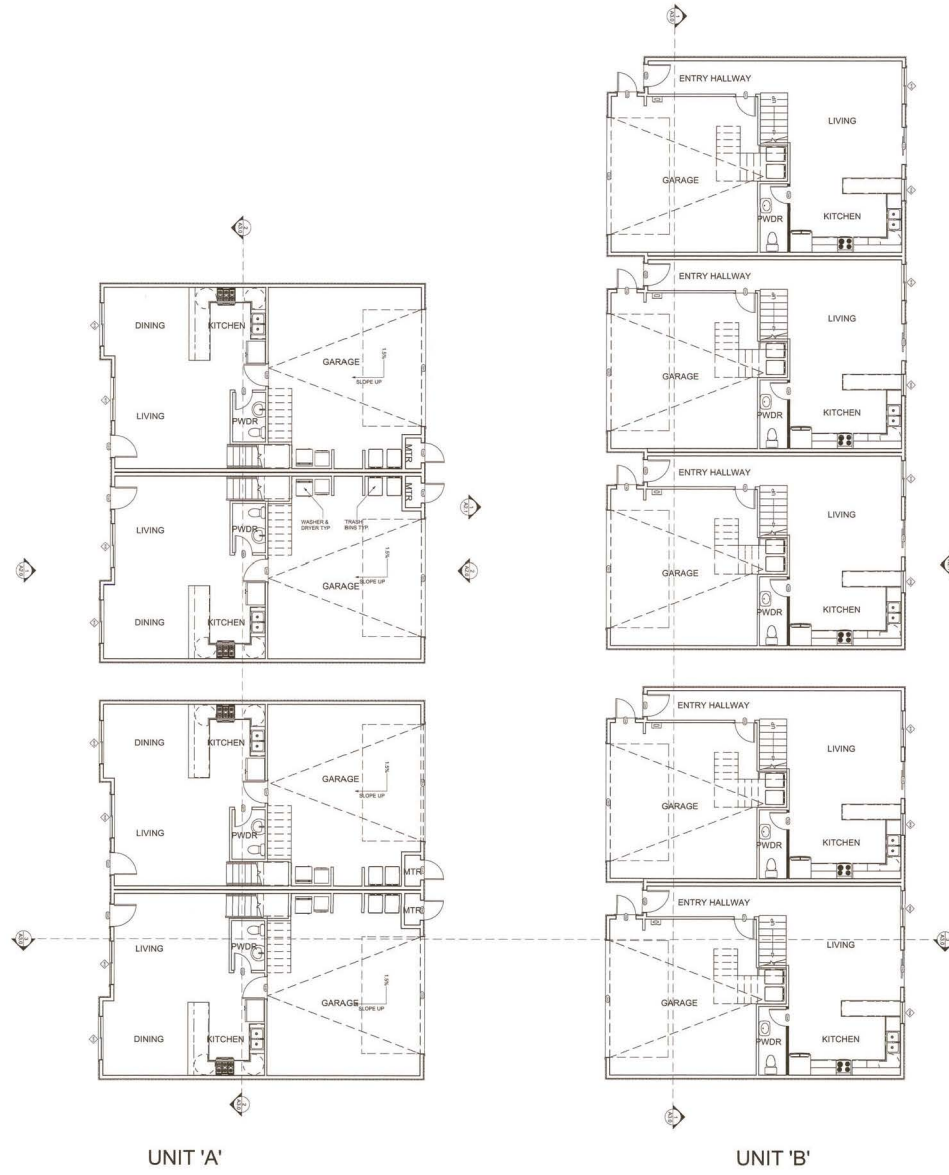
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UNIT 'A'

UNIT 'B'

LEVEL ONE FLOOR PLAN

1/8"

1

DATE: 2/28/2025
PROJECT No. 39-071322

LEVEL ONE
FLOOR PLAN

REF. NORTH



A1.1

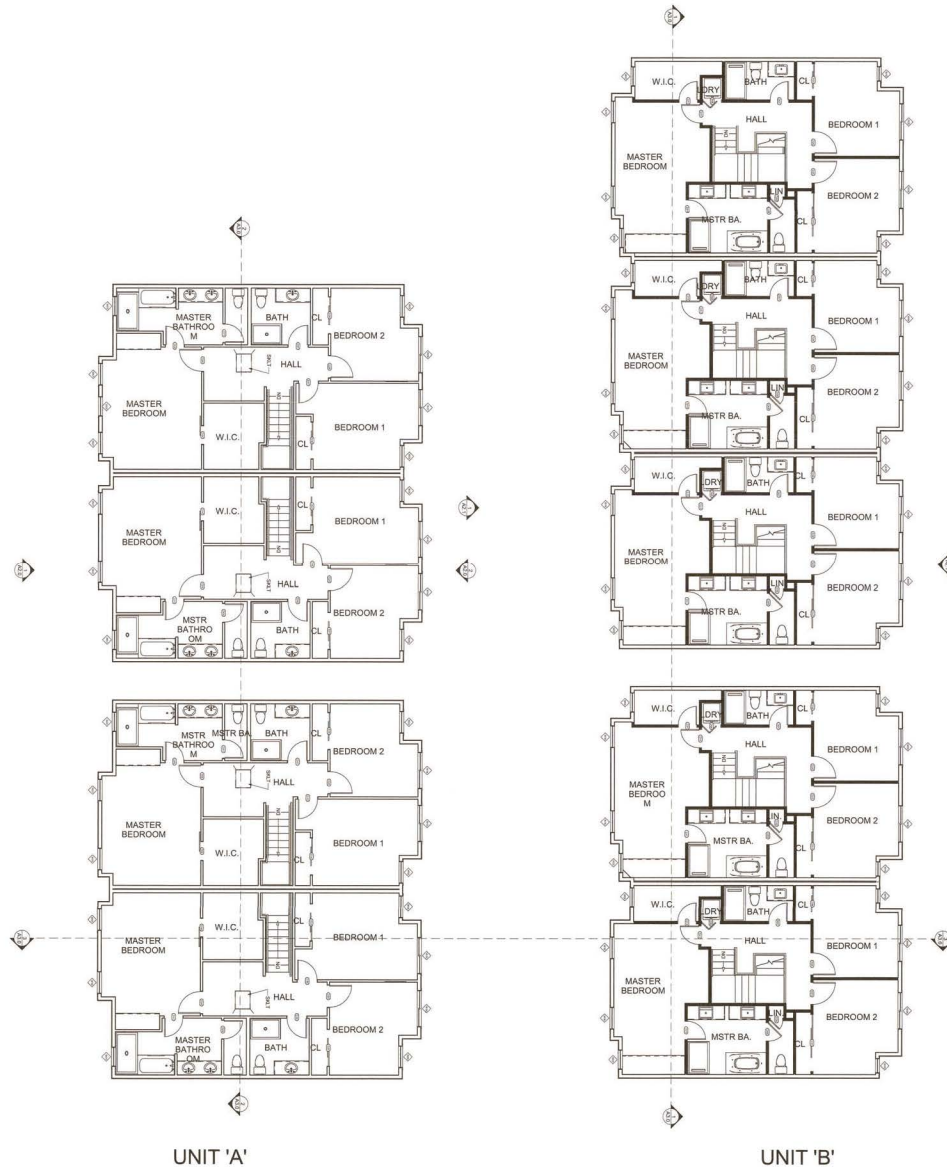
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UNIT 'A'

UNIT 'B'

LEVEL TWO FLOOR PLAN

1/8"

1

DATE: 2/28/2025
PROJECT No. 39-071322

LEVEL TWO
FLOOR PLAN

REF. NORTH



A1.2

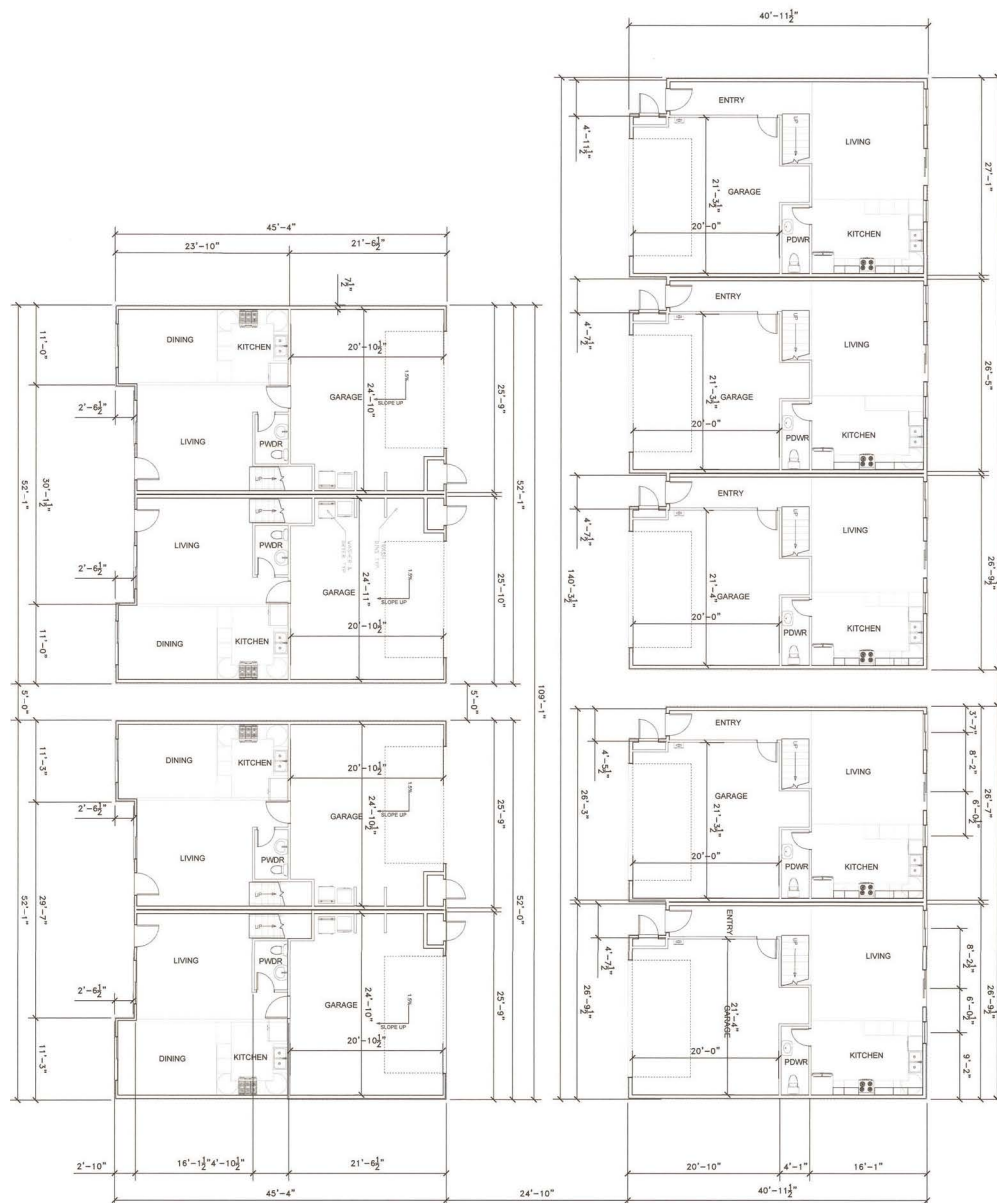
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UNIT TYPE B-3 FIRST FLOOR =1,085 S.F.
UNIT TYPE B-3 SECOND FLOOR =1,121 S.F.
UNIT TYPE B-3 GARAGE =494 S.F.
UNIT TYPE B-3 LIVING AREA =1,712 S.F.
UNIT TYPE B FIRST FLOOR TOTAL =1,085*5=5,424 S.F.

UNIT TYPE A-2 FIRST FLOOR =1,142 S.F.
UNIT TYPE A-2 SECOND FLOOR =1,130 S.F.
UNIT TYPE A-2 GARAGE =552 S.F.
UNIT TYPE A-2 LIVING AREA =1,720 S.F.

UNIT TYPE A FIRST FLOOR TOTAL =1,142*4=4,568

FIRST FLOOR TOTAL = 4,568+5,424=9,992 / 22,500 =44.4
TOTAL LOT COVERAGE

REVISION	DATE
1	
2	
3	
4	

DATE: August 23, 2022
PROJECT No. 10-042122

DIMENSIONED FLOOR PLAN LEVEL ONE



A1.3

DIMENSIONED FLOOR PLAN LEVEL ONE

1/4" 1

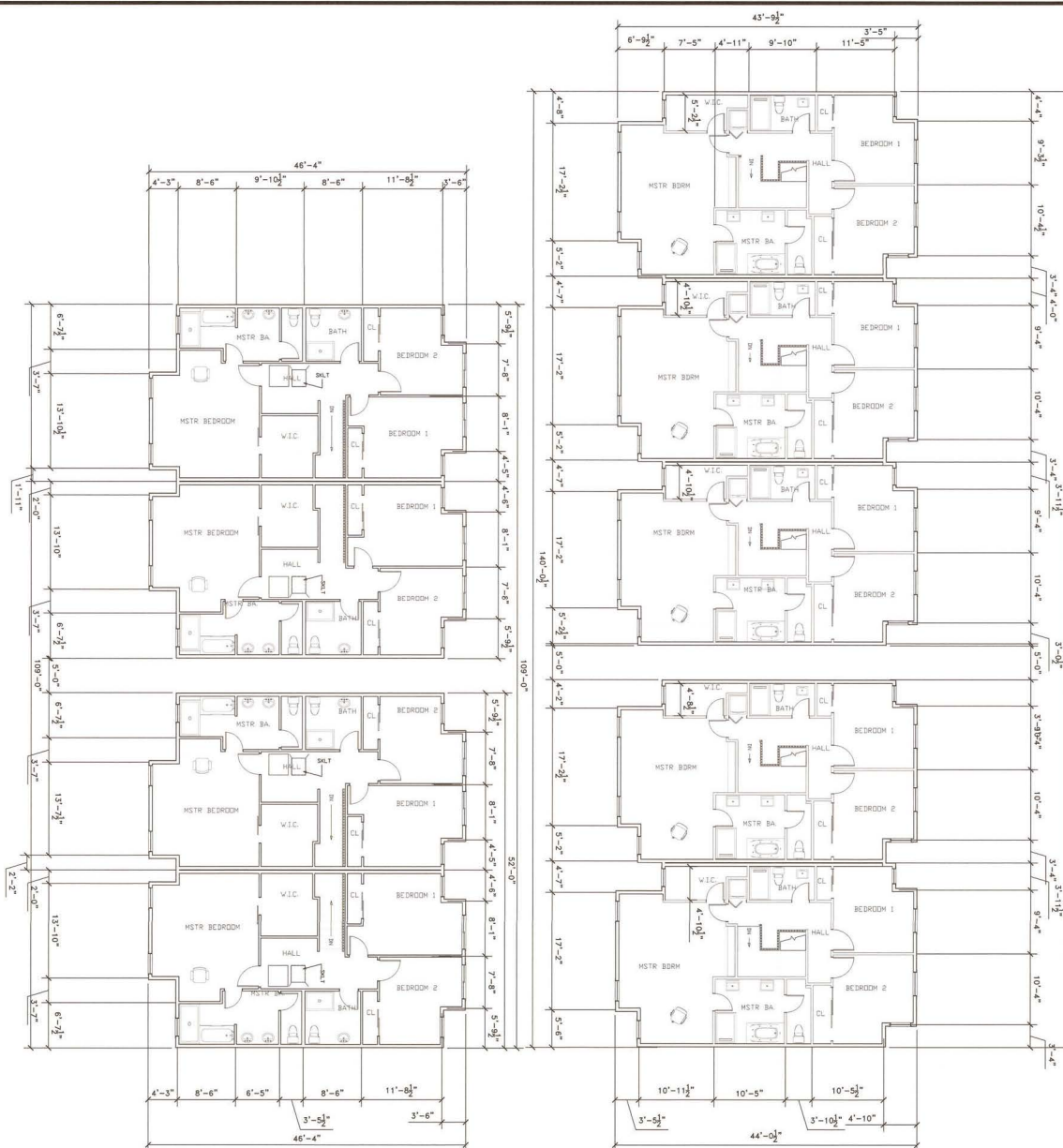
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UNIT TYPE B-3 SECOND FLOOR =1,121 S.F.
UNIT TYPE B-3 GARAGE = 494 S.F.
UNIT TYPE B-3 LIVING AREA =1,712 S.F.

UNIT TYPE B FIRST FLOOR TOTAL =1,085*5=5,424 S.F.

UNIT TYPE A-2 FIRST FLOOR =1,142 S.F.
UNIT TYPE A-2 SECOND FLOOR =1,130 S.F.
UNIT TYPE A-2 GARAGE = 552 S.F.
UNIT TYPE A-2 LIVING AREA =1,720 S.F.

UNIT TYPE A FIRST FLOOR TOTAL =1,142*4=4,568

FIRST FLOOR TOTAL = 4,568+5,424=9,992 / 22,500 =44.4%
TOTAL LOT COVERAGE

REVISION	DATE
1	
2	
3	

DATE: August 23, 2022
PROJECT No. 10-042122

**DIMENSIONED FLOOR
PLAN LEVEL TWO**



A1.4

DIMENSIONED FLOOR PLAN LEVEL TWO

1/4"

1

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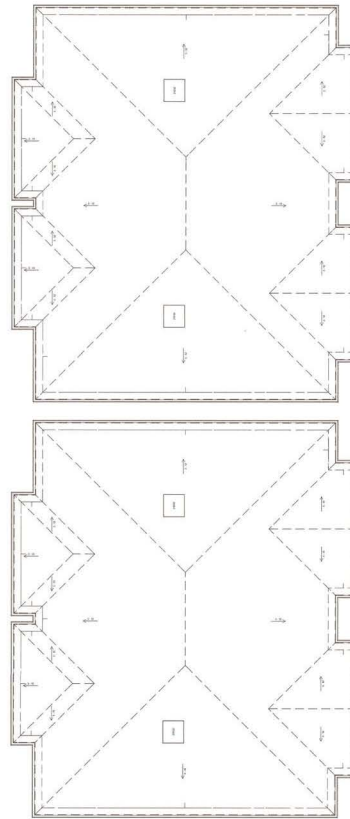
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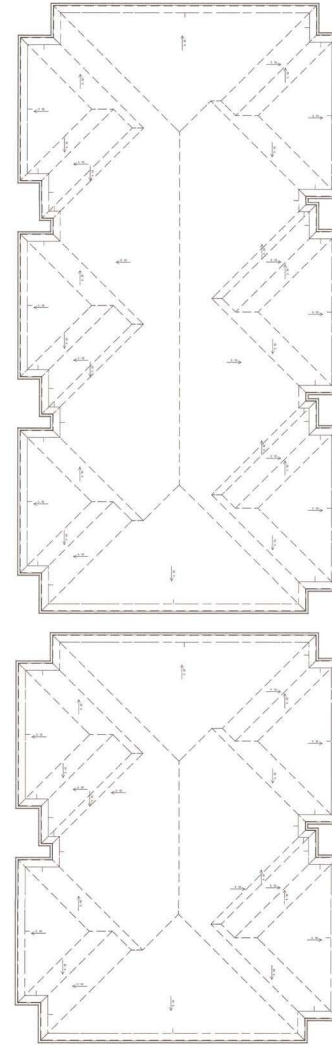
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UNIT 'A'



UNIT 'B'

DATE: 2/13/2025
PROJECT No. 39-071322

ROOF PLAN



A1.5

ROOF PLAN

1/8"

1

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FRONT VIEW



REAR VIEW

WHITE ALUMINUM GUTTERS AND
DOWNSPOUTS

LIGHT GREY CLASS "C"
ASPHALT SHINGLES

DOVER WHITE BOARD AND BATTEN

GATEWAY GREY SMOOTH
FINISH STUCCO

MEDITERRANEAN
GARAGE DOOR AND
ENTRY DOOR

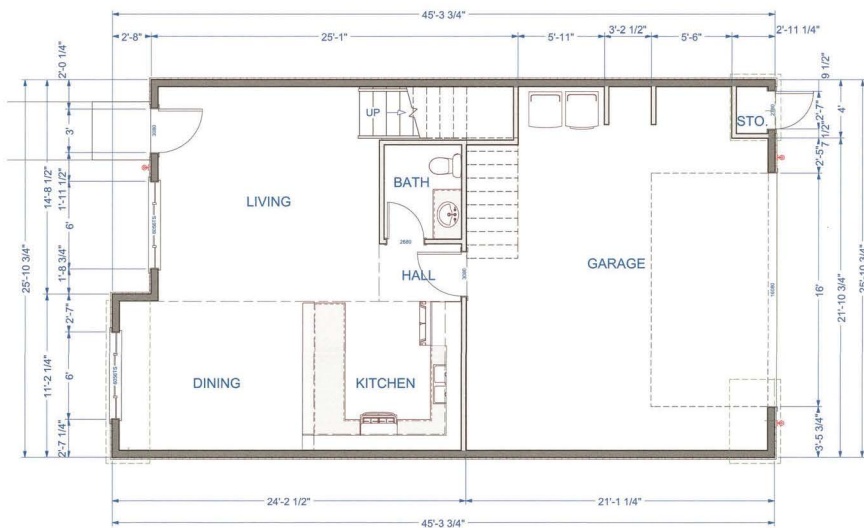
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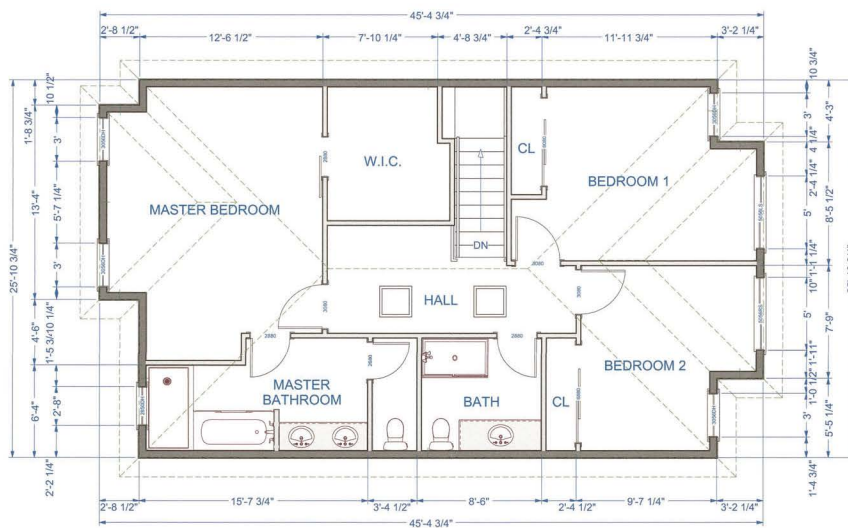
CHEENEY ST. TOWNHOUSES
4249 CHEENEY STREET
SANTA CLARA, CA 95054



FIRST FLOOR PLAN

1/4"

1



SECOND FLOOR PLAN

1/4"

2

REVISION	DATE

DATE:	2/28/2025
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FRONT UNITS
TYPICAL FLOOR
PLAN



A1.6

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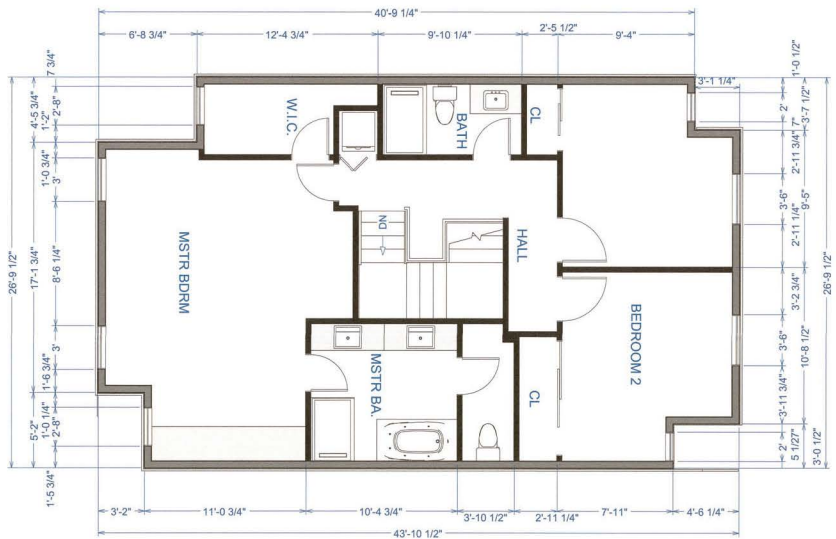


FRONT VIEW

- WHITE FASCIA BOARDS
- WHITE ALUMINUM SEAMLESS GUTTERS
- GATEWAY GREY BOARD AND BATTEN
- DOVER WHITE SMOOTH STUCCO
- LIGHT GREY ASPHALT SHINGLES



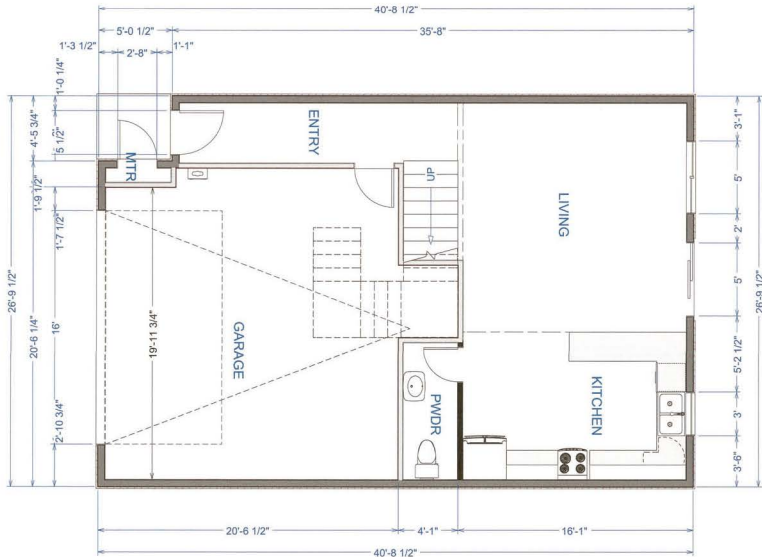
REAR VIEW



SECOND FLOOR PLAN

1/4"

2



FIRST FLOOR PLAN

1/4"

1

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4249 CHEENEY STREET
SANTA CLARA, CA 95054

REVISION	DATE

DATE: 2/28/2025
PROJECT No. 39-071322

BACK UNITS
TYPICAL FLOOR
PLAN

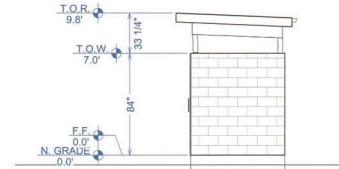


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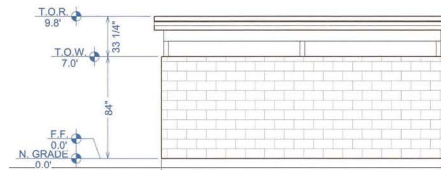
ELEVATION 4

1/4" 5



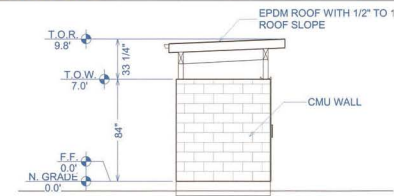
ELEVATION 3

1/4" 4



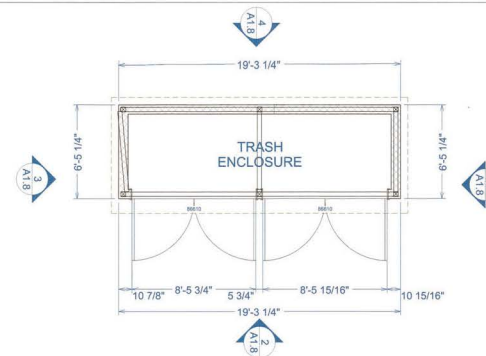
ELEVATION 2

1/4" 3



ELEVATION 1

1/4" 2



TRASH ENCLOSURE FLOOR PLAN

1/4" 1

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CHEENEY ST TOWNHOUSES
4249 CHEENEY ST
SANTA CLARA, CA 95054

DATE: 10/7/2024
PROJECT No. 39-071322

**TRASH ENCLOSURE
FLOOR PLAN AND
ELEVATIONS**

REF. NORTH



A1.8

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REAR ELEVATION UNITS 'A'

3/16

2



FRONT ELEVATION UNITS 'A'

3/16

1

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SANTA CLARA, CA 95054

DATE: 2/28/2025
PROJECT No. 39-071322

ELEVATIONS
UNITS 'A'



A2.0

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4249 CHEENEY ST
SANTA CLARA, CA 95054



REAR ELEVATION UNITS 'B'

3/16

2



FRONT ELEVATION UNITS 'B'

3/16

1

DATE: 2/28/2025
PROJECT No. 39-071322

ELEVATIONS
UNITS 'B'



A2.1

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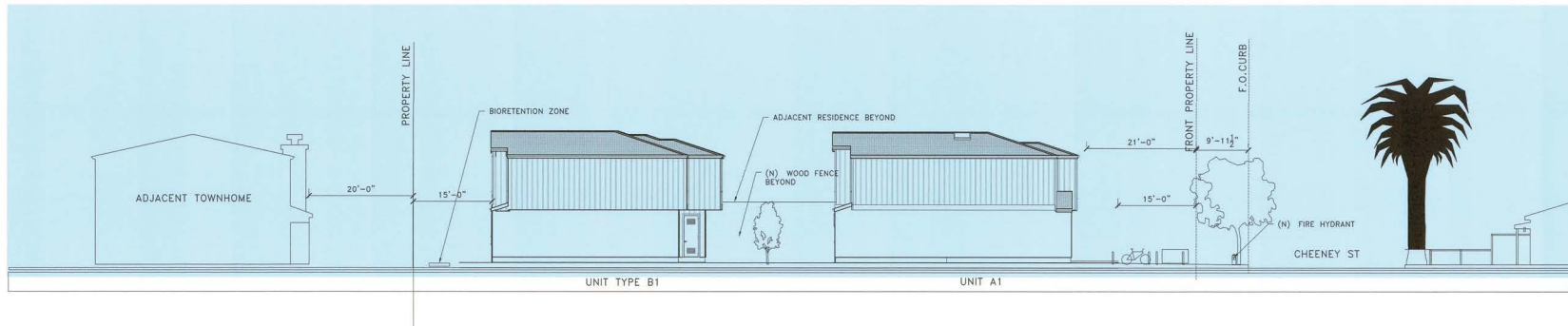
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4249 CHEENEY ST.
SANTA CLARA, CA 95054



SITE SECTION N-S

3/32"

2



SITE SECTION E-W

3/32"

1

REVISION	DATE
△	
△	
△	
△	

DATE:	August 23, 2022
PROJECT No.	10-042122

SITE SECTIONS



A3.0

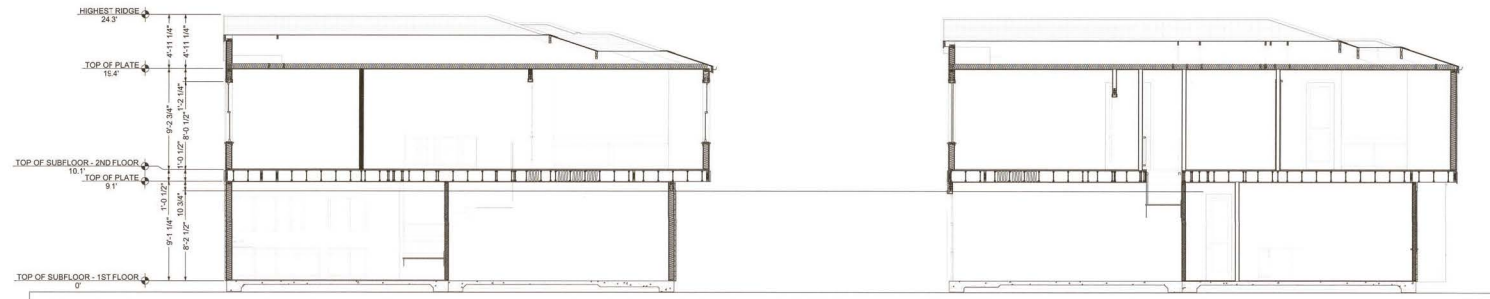
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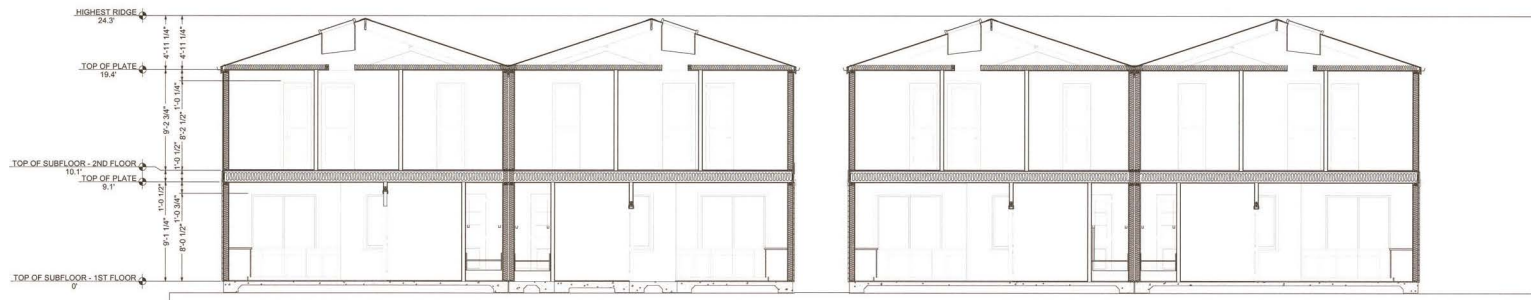
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CROSS SECTION C-C

1/4"

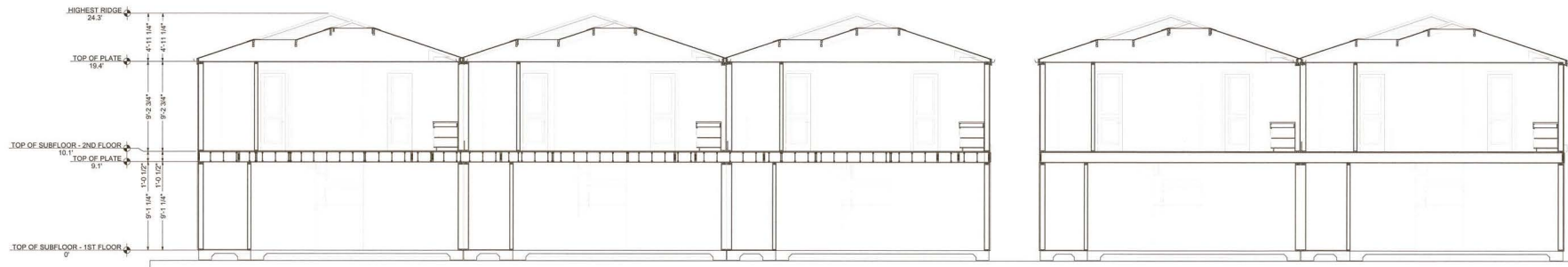
3



CROSS SECTION B-B

1/4"

2



CROSS SECTION A-A

1/4"

1

CHEENEY ST. TOWNHOUSES
4249 CHEENEY STREET
SANTA CLARA, CA 95054

REVISION DATE

DATE: 9/25/2024
PROJECT No. 39-071322

CROSS SECTIONS



A3.1

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STANDARD GRADING NOTES

1. PRIOR TO COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE PROJECT SOLS ENGINEER, THE PERMITTEE OR REPRESENTATIVE OF THE PERMITTEE, THE GRADING CONTRACTOR AND THE PROJECT SOLS ENGINEER, THE PERMITTEE OR REPRESENTATIVE OF THE PERMITTEE, AND THE CITY ENGINEER. THE MEETING SHALL BE HELD AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK/ GRADING ACTIVITIES.
2. APPROVAL OF THIS PLAN ALIIES UP TO THE EXCAVATION, PLACEMENT AND COMPACTON OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFIRM ANY RIGHTS OF ENTRY TO OTHER PUBLIC PROPERTY OR THE RIGHT OF THE PERMITTEE TO USE ANY PART OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RELEVANT AUTHORITY AND THE CITY ENGINEER. THIS PLAN SHALL BE OBTAINED.
3. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
4. THE PERMITTEE SHALL MAINTAIN THE TRAILS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED. THE PERMITTEE SHALL MAINTAIN ALL EXISTING AND NEWLY CONSTRUCTED PUBLIC PROJECTS. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
5. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
6. ALL WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT RELEVANT COMMUNITY DEVELOPMENT DEPARTMENT REQUIREMENTS TO PROTECT THE UTILITIES. STRUCTURES.
7. THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
8. THE PROJECT CIVIL ENGINEER, LC ENGINEERING, 508 E. SANTA CLARA STREET #730, SAN JOSE, CA 95112 HAS REVIEWED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY:
9. ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE SOLS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNDESIGNED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE SOLS ENGINEER.
10. ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
11. GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.
12. ALL GRADING SHALL COMPLY WITH THE CITY OF SAN JOSE STANDARD SPECIFICATIONS, AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING 11/28/2018.
13. THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC ZONING OR FROM AQUATIC RESOURCES OR OTHER ADJACENT PROPERTIES.
14. THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WORK SITE LOCATIONS WITH THE APPROPRIATE AGENCY, THE CITY ENGINEER AND THE PERMITTEE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
16. ALL ROOF DOWNSPOUTS TO BE DIRECTIONED AWAY FROM HOME TO SATISFAE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
17. EROSION CONTROL, PLANTING AND OTHER RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ORDER TO ACHIEVE DESIRED EROSION CONTROL PLAN.
18. DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM AND DOWN-SPOUTS HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2%.
19. THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS OF UNDERGROUND PIPES AND DRAINAGE. THIS IS PART OF THESE PLANS.
20. SOLS ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH APPENDIX 4.2016 OF THE UNIFORM BUILDING CODE.
21. CONTRACTOR SHALL GRADE EVENLY BETWEEN SLOPE ELEVATIONS SHOWN.
22. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
23. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN, CONTRACTOR SHALL NOTIFY THE CITY ENGINEER. ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
24. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE EXISTING UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO ANY UNDERGRADING WORK.
25. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADIES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
26. SOLS ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTORS WORKMANS ACCOMPLISHMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO ANY UNDERGRADING WORK.
27. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A HEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS POSSIBLE AS WELL AS NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
28. IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE OR PREHISTORIC, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL AND BY 10:00 (10) DAY AFTER THE DISCOVERY. THE PERMITTEE SHALL BE RESPONSIBLE FOR NOTIFYING AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
29. ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SAN JOSE.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES, FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE, CALL: UNDERGROUND SERVICE ALERT (USA)
31. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES FOR THE UNDERGROUND UTILITIES.

CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' GRADE FENCE AT ALL TIMES DURING CONSTRUCTION.

2. ALL CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, WASH CONTAINERS, OR OTHER ITEMS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.

3. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE SHALL BE REMOVED OTHERWISE BURNED BY THE PROJECT. ALL DEBRIS COLLECTED AND PLACED IN TRASH CONTAINER.

4. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BE BURNED) SHALL BE REMOVED FROM THE PROJECT SITE BY THE PROJECT.

5. THE PROJECT SHALL HAVE A SIGNAGE VISIBLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6 PM, SATURDAYS FROM 7:30 AM TO 12:00 PM, AND SUNDAYS 12:00 PM TO 5:00 PM.

6. OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS PRIOR TO THE START OF ANY DRIVEWAY APPROACH DEMOLITION OR CONSTRUCTION AT THE STREET. CONTACT PUBLIC WORKS FOR MORE INFORMATION.

7. ALL ELECTRIC LINES, COMMUNICATION LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CABLE AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.

8. THE PROJECT SHALL HAVE A SIGNAGE VISIBLE FROM THE PUBLIC STREET THAT INDICATES THE PROJECT NAME AND THE NAME OF THE CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:

- * THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND/OR OTHER MATERIALS (IF APPLICABLE) SUFFICIENTLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.

PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR DESIGNER SHALL SUBMIT TO THE CITY ENGINEER OF GRAVITY OR SEWERAGE, INCLUDING STATING THE COMPLETED PAID, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUFFICIENTLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.

9. THE PROJECT SHALL MAINTAIN A MINIMUM 10' CLEARANCE OF GRAVITY OR SEWERAGE, INCLUDING BASEMENT EXCAVATION AND TRENCHING THAT EXCEEDS 5' FOOT IN DEPTH, THE PERMITTED EXCAVATION DEPTH SHALL BE 10' FEET. THE PROJECT SHALL MAINTAIN A MINIMUM 10' CLEARANCE WATERSIDE GRADING INSIDE, THE GRADING CONTRACTOR AND THE PROJECT SOILS INVESTIGATOR, THE PERMITTEE OR REPRESENTATIVE SHALL AVOID THE PRE-CONSTRUCTION EXCAVATION OF OR BELOW THE EXISTING GRADE.

10. EXCAVATION CUTS EXCEEDING 5' FEET TYPICALLY REQUIRE A DSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE GSHA AND CAL GSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES (CALTRANS) FOR MORE INFORMATION. REQUIRED PERMITS AT THE PRE-CONSTRUCTION MEETING, THE EXCAVATION CONTRACTOR SHALL PROVIDE TO THE CITY ENGINEER, BUILDING INSPECTOR, THAT SHOWS HE OR SHE HAS RECEIVED SUCH A PERMIT FROM CALTRANS.

11. PRIOR TO ANY GRADING, SCRAPING OR TRENCHING WITHIN THE CANOPY OF A TREE, THE PROJECT SHALL OBTAIN A TREE PRESERVATION PERMIT FROM THE CITY ENGINEER. RECOMMENDATIONS TO MINIMIZE POSSIBLE DAMAGE TO THE TREE. THE PROPOSED TRENCHING SHALL BE APPROVED BY THE CITY OF WATSONVILLE PLANNING DEPARTMENT FROM THE

PROJECT NAME: CHENEY STREET TOWNHOUSES
2. ASSessor PARCEL NO: 104-12-025 & 104-12-026
3. SITE ADDRESS: CHENEY STREET, SANTA CLARA, CA 95054
4. LOT AREA: 0.24 ACRES (GROSS AREA)
5. OWNER: GROUND ZERO CONSTRUCTION
ADDRESS: 101 SOUTH SANTA CRUZ AVE, UNIT 33192,
LOS GATOS, CA 95031
TELEPHONE: (408)-710-6725
6. ENGINEER: NINH M. LE, P.E.
ADDRESS: 598 E. SAN JOSE ST #270, SAN JOSE, CA 95112
TELEPHONE: (408)-806-7187
7. SURVEYOR: TOM H. MILLO
ADDRESS: 2200 BOHANNON DRIVE, SAN CLARA, CA 95050
TELEPHONE: (415)-761-5867
8. EXISTING ZONING: RM - SINGLE RESIDENTIAL-HIGH DENSITY
9. PROPOSED ZONING: NO CHANGE
10. EXISTING USE: VACANT
11. PROPOSED USE: RESIDENTIAL
12. PROPOSED NUMBER OF UNITS: 120
13. ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN
14. SURVEYOR, OWNER, SANTI SEVERARD STORM DRAIN WILL BE CONSTRUCTED AS PER LOCAL AGENDA STANDARDS.
15. WATER: SANTA CLARA WATER AND UTILITIES
16. SEWER: SANTA CLARA WATER AND UTILITIES
17. STORM: SANTA CLARA WATER AND UTILITIES
18. GAS & ELECTRIC: PG&E
19. TELEPHONE: AT&T
20. CABLE TV: COMCAST
21. IF EXISTING WATER METER IS NOT BEING USED, IT SHALL BE REMOVED AND CAPPED AT MAIN
22. IF EXISTING GAS METER IS NOT BEING USED, THEY SHALL BE REMOVED AND CAPPED
23. REMOVE ALL EXISTING DISPROPRIUM WITH THE PROPERTY LIMITS

CUT = 21 CY ; MAXIMUM CUT DEPTH = 0.50'±
 FILL = 169 CY ; MAXIMUM CUT DEPTH = 0.66'±
 IMPORT 148 CY
 EXPORT 0 CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

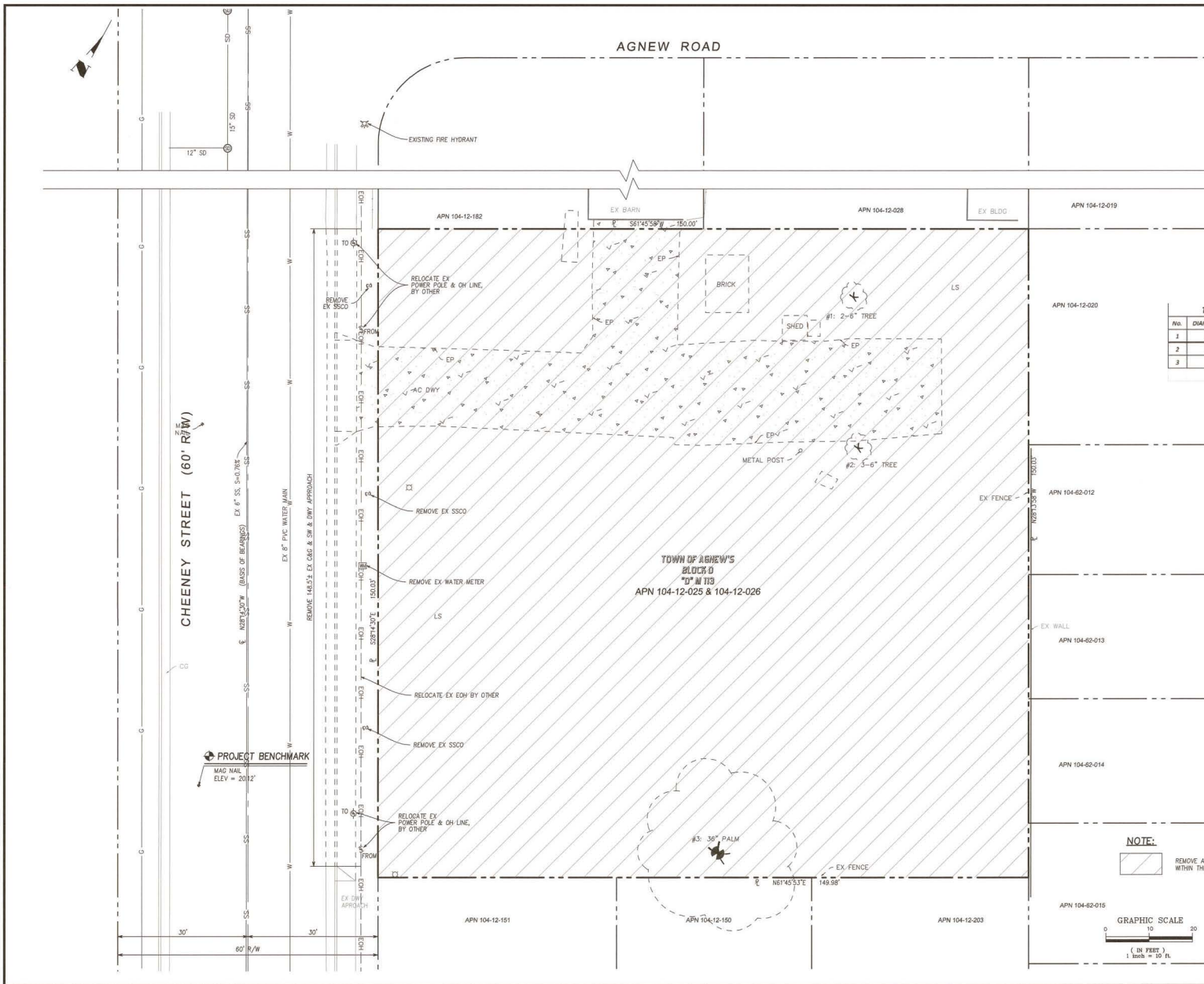


AGGREGATE BASE ASPHALT CONCRETE	→	BENCHMARK
BUILDING	—	BOUNDARY
BUILDING SEWER/LINE		CATCH BASIN
BOTTOM WALL/BACK OF WALL		COBBLE ROCK ENERGY DISSIPATOR
CONCRETE ROCK ENERGY DISSIPATOR		CONCRETE
CURB & GUTTER		CONTOUR: EXISTING
CENTLINE	—550—	CONTOUR: PROPOSED OR NEW
SANITARY SEWER/CLEANOUT	—500—	DESIGN GRADE
CURB DRAINING	—100-550—	DOWNSLOPE WITH SPLASHBLOCK
CONCRETE		DIVERSION VALVE
STANDARD DETAIL		EXTENDABLE BACKWATER VALVE (SEE PROJECT NOTES)
DRAINAGE INLET		DRAINAGE SWALE
DOWNSLOPE		EASEMENT
GRASSWAY		EASEMENT LIFT
EASEMENT		EXISTING ELEVATION
ELEVATION		EXISTING FENCE
ELECTRIC METER		EXISTING FENCE TO REMAIN
ELECTRIC OVERHEAD		EXISTING FENCE TO BE REMOVED
ELECTRIC UNDERGROUND		ELECTRICAL METER
EAVE OF PAVEMENT		EXISTING IRON PIPE AT PROPERTY CORNER
EXISTING		FILTER FABRIC ROLLS
EMERGENCY VEHICLE ACCESS EASEMENT		GAS METER
FOUND		GAS VALVE
FINISH ELEVATION OF SUBLOOR		GUY POLE
FINISH FINISH GRADE		HUXE WIRE ANCHOR
FIRE HYDRANT		EXISTING FIRE HYDRANT
FLOW LINE		HYDRANT: PROPOSED OR NEW
GARAGE SLAB ELEVATION/GAS LINE		INLET 12"x12" GRATE OTHERWISE NOTED
GAS METER		JAILING
HIGH POINT		JOINT POLE
INVERT		LIGHTING
IRON PIPE		LIGHTING POLE
JAIL TRENCH		OVERLAP FLOW DIRECTION
JOINT OF UTILITY		PDE BOX
LANDSCAPED AREA		POST CONSTRUCTION STORM WATER POLUTION CONTROL MEASURE
MAXIMUM		PROJECT SITE
MANHOLE		RETAINING WALL
MINIMUM		RIGHT OF WAY
MOVEMENT WALL		SANITARY SEWER/CLEAN OUT MANHOLE
NOT TO SCALE		SANITARY SEWER MANHOLE
OVERHEAD		STORM DRAIN MANHOLE
ORIGINAL GROUND		TELEPHONE BOX
PAVED FINISH GRADE		TOP OF FILL
PAID ELEVATION		TOP OF FILL
PERFORATED PIPE		TOP OF CUT
PROPOSED LINE		TOE OF CUT
POWER POLE		TOE OF EXISTING
PUBLIC SERVICE EASEMENT		TOE OF PROPOSED OR NEW
PRIVATE STORM DRAIN		WATER METER
RELEASE EASEMENT		WATER VALVE
PRIVATE WATER LINE EASEMENT		WELL
POLYVINYL CHLORIDE		
RADIUS		
RETAINING WALL		
RIGHT OF WAY		
SEWER		
SANITARY SEWER/LATERAL		
STATION		
SILICON VALLEY POWER		
SIDEWALK		
TOP OF BANK		
TOP OF CURB		
TOP OF GRADE		
TOP OF WALL		
TYPICAL		
UNDERGROUND ELECTRICAL EASEMENT		
VEGETATED		
WATER		
WALKWAY		
WATER METER		
WATER VALVE		

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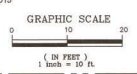
LC ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone (408) 806-7187
Fax (408) 983-4006

DRAWING NO.	C1	TITLE SHEET CHEENEY STREET TOWNHOUSES CHEENEY STREET APN 104-12-025 APN 104-12-026	PROJECT NO. CONTRACT NO. FILE NO.
SHEET NO.	1 of 10		
SANTA CLARA		CALIFORNIA	



TREES TO BE REMOVED		
No.	DIAMETER (IN)	TREE TYPE
1	(2) 6"	FRUIT TREE
2	(3) 6"	FRUIT TREE
3	36"	WASHINGTONIA ROBUSTA

NOTE:
REMOVE ALL EXISTING IMPROVEMENTS
WITHIN THE PROPERTY LIMITS

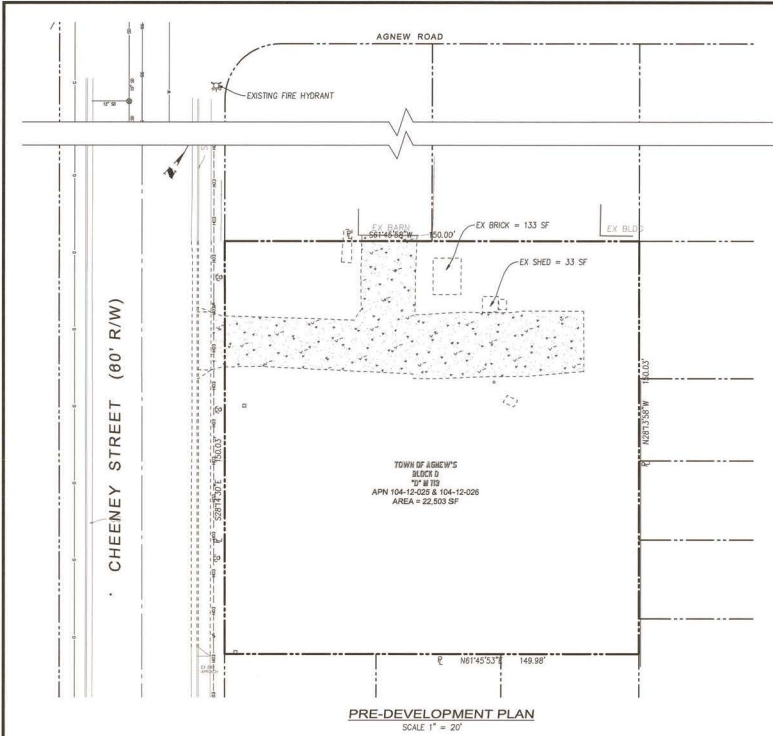


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DEMOLITION PLAN
CHEENEY STREET TOWNHOUSES
CHEENEY STREET
APN 104-12-025 APN 104-12-026
SANTA CLARA
2 OF 10

PROJECT NO.
SHEET NO.
DATE
BY
DATE
APPROVED
NO.

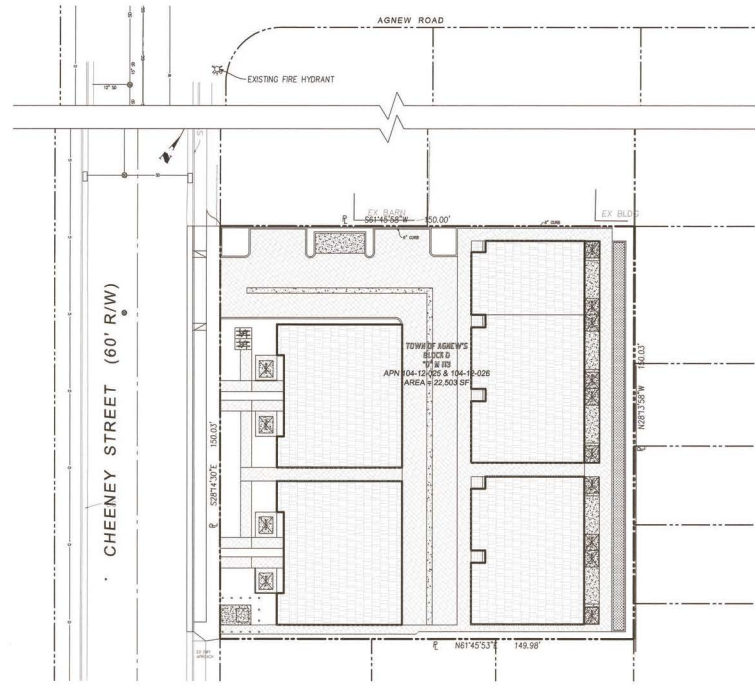
REVISIONS
NO.



PRE-DEVELOPMENT PLAN
SCALE 1" = 20'

LEGEND:

- PERVIOUS PAVER AREA
- CONCRETE AREA
- ROOF
- LANDSCAPE AREA
- BIO-RETENTION

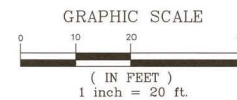


POST-DEVELOPMENT PLAN
SCALE 1" = 20'

PRE - DEVELOPMENT			
NO.	SURFACE AREA	IMPERVIOUS	PERVIOUS
1	CONCRETE DRIVEWAY	3,410 SF	
2	SHED & BRICK	166 SF	
3	LANDSCAPING		16,927 SF
	TOTAL	3,576 SF	16,927 SF

POST - DEVELOPMENT			
NO.	SURFACE AREA	IMPERVIOUS	PERVIOUS
1	BUILDINGS	30,090 SF	
2	CONCRETE AREA	1,365 SF	
3	PERVIOUS PAVER DRIVEWAY		4,241 SF
4	PERVIOUS PAVER WALKWAY		3,257 SF
5	LANDSCAPING		3,550 SF
	TOTAL	31,455 SF	11,048 SF

SUMMARY			
DESCRIPTION	IMPERVIOUS	PERVIOUS	
PRE-DEVELOPMENT	3,576 SF	16,927 SF	
POST-DEVELOPMENT	31,455 SF	11,048 SF	
DIFFERENCE	27,879 SF	-5,879 SF	

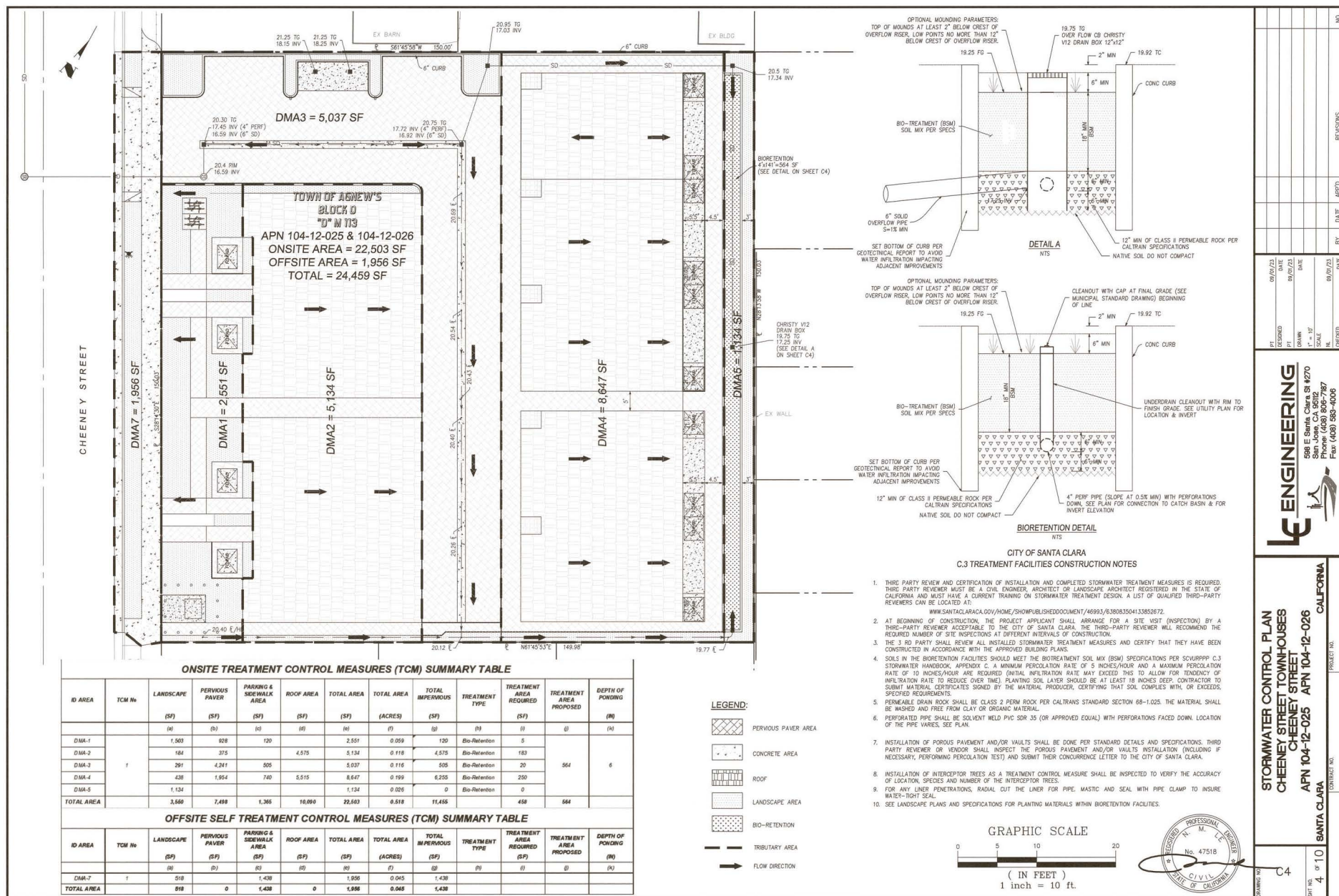


PRE AND POST DEVELOPMENT PLAN
CHEENEY STREET TOWN-HOUSES
CHEENEY STREET
APN 104-12-025 APN 104-12-026
SANTA CLARA, CALIFORNIA

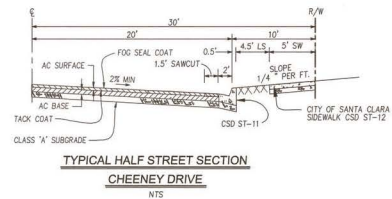
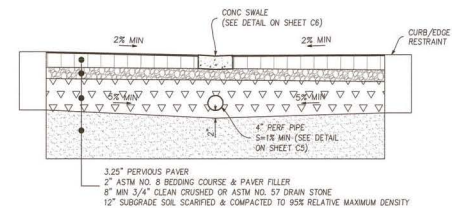
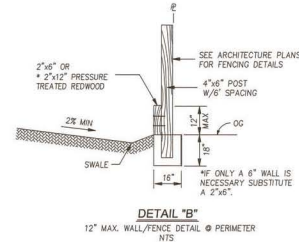
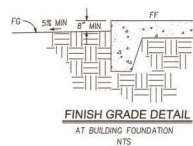
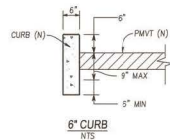
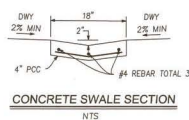
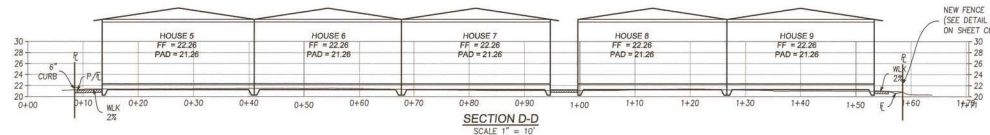
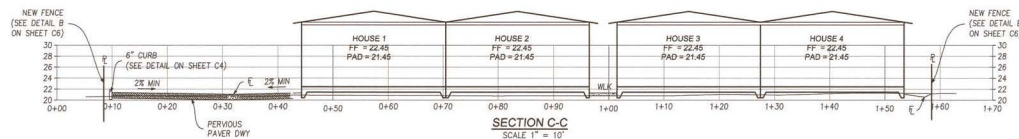
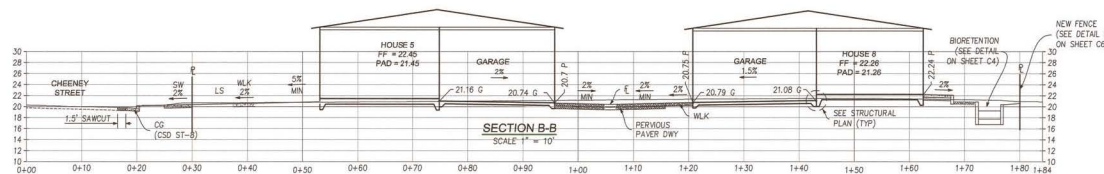
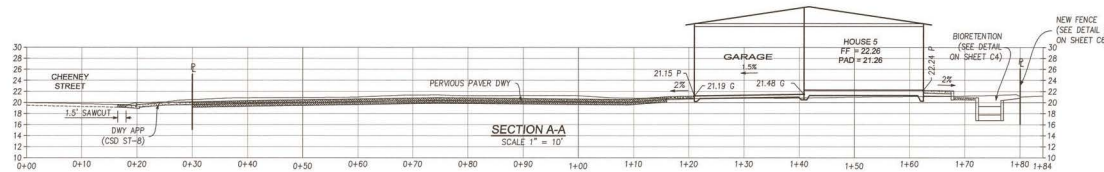
DATE: 08/07/23
CHECKED: [Signature]
BY: [Signature]
DATE: 08/07/23
APPROVED: [Signature]
DATE: 08/07/23

ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95122
Phone: (408) 806-7967
Fax: (408) 363-4006

3 of 10
C3







NO.	REVISIONS	DATE	BY	APPD
1		09/07/23		
2		09/07/23		
3		09/07/23		
4		09/07/23		
5		09/07/23		
6		09/07/23		
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9		09/07/23		
10		09/07/23		

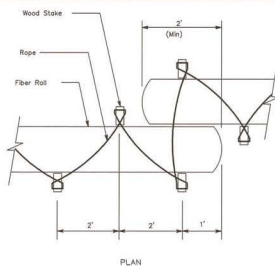
ENGINEERING
590 E Santa Clara St #270
San Jose, CA 95128
Phone (408) 806-7187
Fax (408) 363-4006

BUILDING CROSS SECTIONS
CHEENEY STREET TOWNHOUSES
CHEENEY STREET
APN 104-12-025 APN 104-12-026
SANTA CLARA, CALIFORNIA

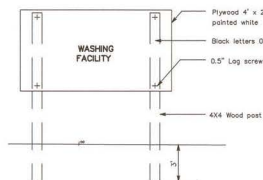
DRAWING NO. 6 OF 10

EROSION CONTROL NOTES

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE CITY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SHAKES AND WATER COURSES.
5. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
6. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE EXPOSED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
7. FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS.
8. UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. MAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.

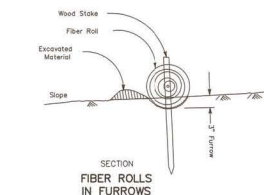


FIBER ROLLS
ROPE RESTRAINT METHOD

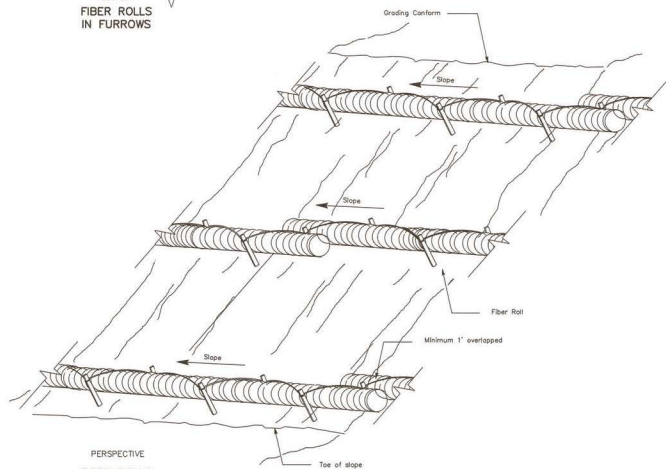


SIGN ELEVATION

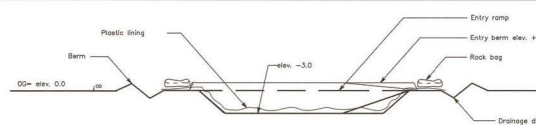
NOTE:
The temporary equipment washing facility sign shall be installed within 20 feet of the temporary concrete washout facility.



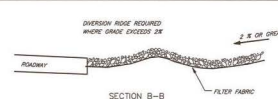
SECTION
FIBER ROLLS
IN FURROWS



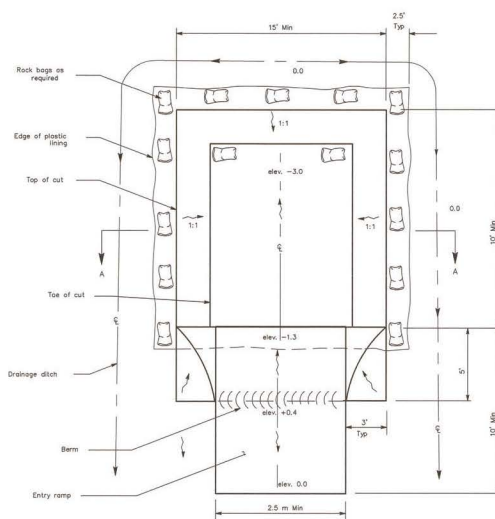
PERSPECTIVE
FIBER ROLLS
ROPE RESTRAINT METHOD



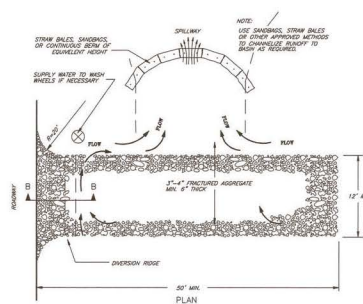
SECTION A-A



SECTION B-B

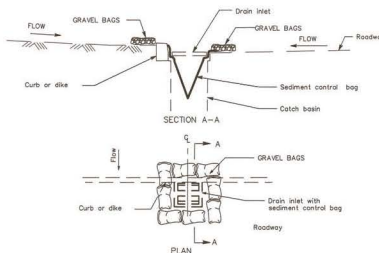


PLAN
TEMPORARY EQUIPMENT WASHING FACILITY
(Below Grade)

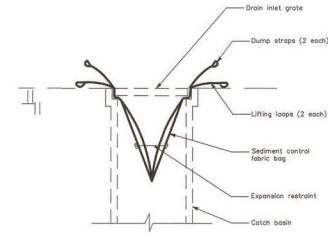


TEMPORARY
GRAVEL CONSTRUCTION
ENTRANCE/EXIT

NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN MAINTENANCE IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROPRIATE SEDIMENT TRAP OR SEDIMENT BASIN.



SECTION A-A
TEMPORARY DRAINAGE INLET PROTECTION
For paved areas exposed to traffic



SECTION
SEDIMENT CONTROL BAG



NO.	REVISIONS	DATE	BY	APPROVED
1		08/07/23	DATE	
2		08/07/23	DATE	
3		08/07/23	DATE	
4		08/07/23	DATE	
5		08/07/23	DATE	
6		08/07/23	DATE	
7		08/07/23	DATE	
8		08/07/23	DATE	
9		08/07/23	DATE	
10		08/07/23	DATE	

ENGINEERING
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San Jose, CA 95128
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EROSION CONTROL DETAILS
CHEENEY STREET TOWN-HOUSES
CHEENEY STREET
APN 104-12-025 APN 104-12-026
SANTA CLARA
CALIFORNIA

Construction projects are required to implement year-round stormwater BMPs.

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ☐ Use (but don't overuse) reclaimed water for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains.

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g., lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

- ☐ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ☐ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant threat to human health, safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage ditches and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:

- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

☐ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. *If* discharging to the sanitary sewer, call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. If tested groundwater may need to be collected and hauled off-site for treatment and proper disposal.

- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ☐ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

- ☐ Protect storm drain inlets during saw cutting.
- ☐ If saw cut slurry enters a catch basin, clean it up immediately.
- ☐ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead-based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**



Storm drain polluters may be liable for fines of up to \$10,000 per day!

DRAWING NO.	C10	CONSTRUCTION BEST MANAGEMENT PRACTICES CHEENEY STREET TOWNHOUSES CHEENEY STREET APN 104-12-025 APN 104-12-026 SANTA CLARA CALIFORNIA		PROJECT NO.	CONTRACT NO.	10 OF 10
DATE	09/07/22	DATE	09/07/22	DATE	09/07/22	DATE
ISSUED BY	SWAN	ISSUED BY	SWAN	ISSUED BY	SWAN	ISSUED BY
SCALE	NTS	SCALE	NTS	SCALE	NTS	SCALE
FILE	09/07/22	FILE	09/07/22	FILE	09/07/22	FILE

TENTATIVE MAP CHEENEY STREET TOWNHOUSES ONE LOT SUBDIVISION FOR RESIDENTIAL CONDOMINIUM PURPOSES FOR UP TO 9 RESIDENTIAL UNITS



VICINITY MAP
NTS

PROJECT NOTES:

1. PROJECT NAME: CHEENEY STREET TOWNHOUSES
2. ASSESSOR PARCEL NO: 104-12-025 & 104-12-026
3. SITE ADDRESS: CHEENEY STREET, SANTA CLARA, CA 95054
4. LOT AREA: 0.22 ACRES (GROSS AREA)
5. OWNER: MARUTI BUILDERS, LLC
ADDRESS: 859 AUSA COURT
MILPITAS, CA 95035
TELEPHONE: (408)-710-6725
6. ENGINEER: NINA M. LE, PE
ADDRESS: 558 E SANTA CLARA ST #270, SAN JOSE, CA 95112
TELEPHONE: (408)-806-7187
7. SURVEYOR: TOM H. MLD
ADDRESS: 2250 BOHANNON DRIVE, SANTA CLARA, CA 95050
TELEPHONE: (408)-761-5887
8. EXISTING ZONING: R1-SL SINGLE RESIDENTIAL FAMILY
9. PROPOSED ZONING: R2 - LOW DENSITY RESIDENTIAL
10. EXISTING USE: VACANT
11. PROPOSED USE: RESIDENTIAL
12. PROPOSED NUMBER OF UNITS: 9
13. ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN
14. PROPOSED WATER, SANITARY SEWER, AND STORM DRAIN WILL BE CONSTRUCTED AS PER LOCAL AGENCY STANDARDS
15. WATER: SANTA CLARA WATER AND UTILITIES
16. SEWER: SANTA CLARA WATER AND UTILITIES
17. STORM: SANTA CLARA WATER AND UTILITIES
18. GAS & ELECTRIC: PG&E
19. TELEPHONE: AT&T
20. CABLE TV: COMCAST
21. IF EXISTING WATER METER IS NOT BEING USED, IT SHALL BE REMOVED AND CAPPED AT MAIN
22. IF EXISTING INLETS ARE NOT BEING USED, THEY SHALL BE REMOVED AND CAPPED
23. REMOVE ALL EXISTING IMPROVEMENT WITHIN THE PROPERTY LIMITS

NOTES:

1. HOA WILL OWN AND MAINTAIN COMMON AREA.
2. SUBDIVIDER SHALL RECORD A COVENANT OF EASEMENT TO THE CITY OF SANTA CLARA FOR INGRESS-EGRESS, EMERGENCY ACCESS AND PARKING PURPOSES ACROSS COMMON AREA FOR THE BENEFIT OF UNITS (AS NUMBERED ON TENTATIVE MAP CITY FILE NUMBER 718-048) PRIOR TO OR WITH THE RECORDATION OF THE MAP. SAID EASEMENT(S) SHALL BE BINDING UPON, AND THE BENEFITS SHALL INURE TO, ALL SUCCESSOR IN INTEREST TO THE AFFECTED REAL PROPERTY.
3. ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING ELECTRICAL AND COMMUNICATIONS, SHALL BE INSTALLED UNDERGROUND.
4. UTILITIES LOCATION AS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION.
5. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF PORTLAND CEMENT CONCRETE CURB, GUTTER AND SIDEWALK, PAVEMENT TE-IN, AND THE RECONSTRUCTION OF THE DAMAGED SECTION OF ROADWAY PAVEMENT ALONG THE FRONTAGE OF THE PROPERTY.
6. PROPOSED DRIVEWAY AND SIDEWALK CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF SANTA CLARA STANDARD DETAILS.
7. ALL REQUIRED PARKING OF PRIVATE DEVELOPMENT SHALL BE LOCATED WITHIN THE DEVELOPMENT BOUNDARIES. PUBLIC ROADWAY FRONTAGE IS NOT INTENDED TO BE COUNTED FOR THE REQUIRED PARKING OF A PRIVATE DEVELOPMENT.
8. ANY RIGHT-OF-WAY DEDICATION, ROAD IMPROVEMENTS, AND ANY NECESSARY RELOCATION OF UTILITY FACILITIES SHALL BE AT NO COST TO THE CITY.
9. THE PROPOSED STREET STRUCTURAL SECTION IS TO BE DESIGNED BY A REGISTERED CIVIL ENGINEER AND APPROVED BY THE CITY ENGINEER.
10. NO GRADING SHALL BE PERMITTED ON THIS SITE UNTIL A GRADING PLAN AND AN EROSION AND SEDIMENTATION CONTROL PLANS HAVE BEEN REVIEWED BY THE CITY AND A GRADING PERMIT IS ISSUED IN ACCORDANCE WITH THE SAN JOSE CITY GRADING ORDINANCE.



TENTATIVE MAP
CHEENEY STREET TOWNHOUSES
CHEENEY STREET
APN 104-12-025 APN 104-12-026
SANTA CLARA

1 of 2
SHEET NO. 1
FILE NO. 104-12-025-026

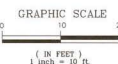
CHEENEY STREET (60' R/W)

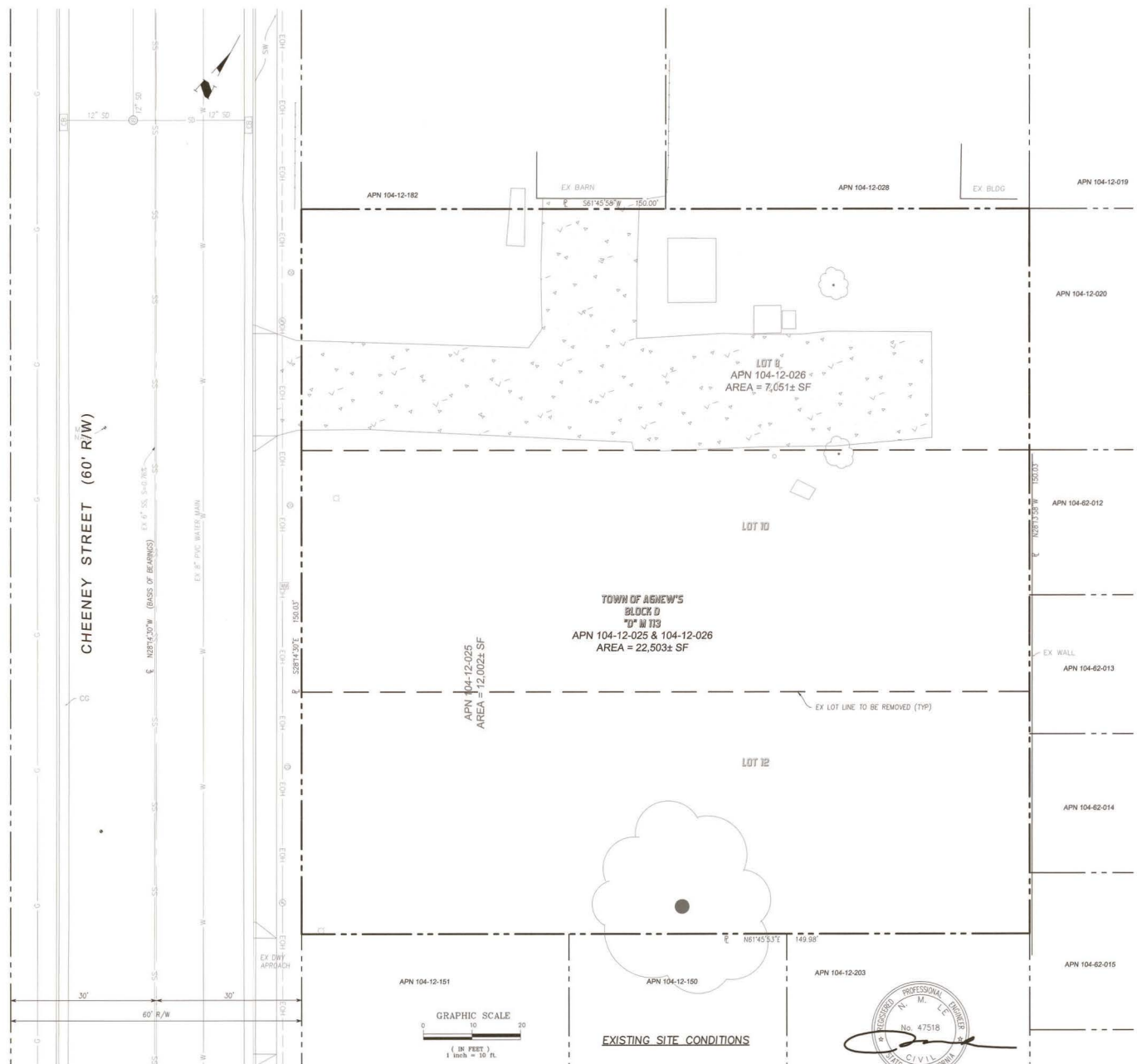
BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHEENEY STREET, AS FOUND AND MONUMENTED AS N89°14'30"W SHOWN ON PARCEL MAP, RECORDED IN BOOK 476 OF MAPS, AT PAGE 37, SANTA CLARA COUNTY RECORDS.

BENCHMARK

SANTA CLARA CITY BENCHMARK NO. BB-A,
ASHWEN ROAD, SOUTH SIDE, OPPOSITE GARAGE,
CHISELED CROSS ON TOP OF CATCH BASIN HOOD.



[illegible]

DRAWING NO.

TENTATIVE MAP
CHEENEY STREET TOWNHOUSES
CHEENEY STREET
APN 104-12-025 APN 104-12-026

SANTA CLARA

CALIFORNIA

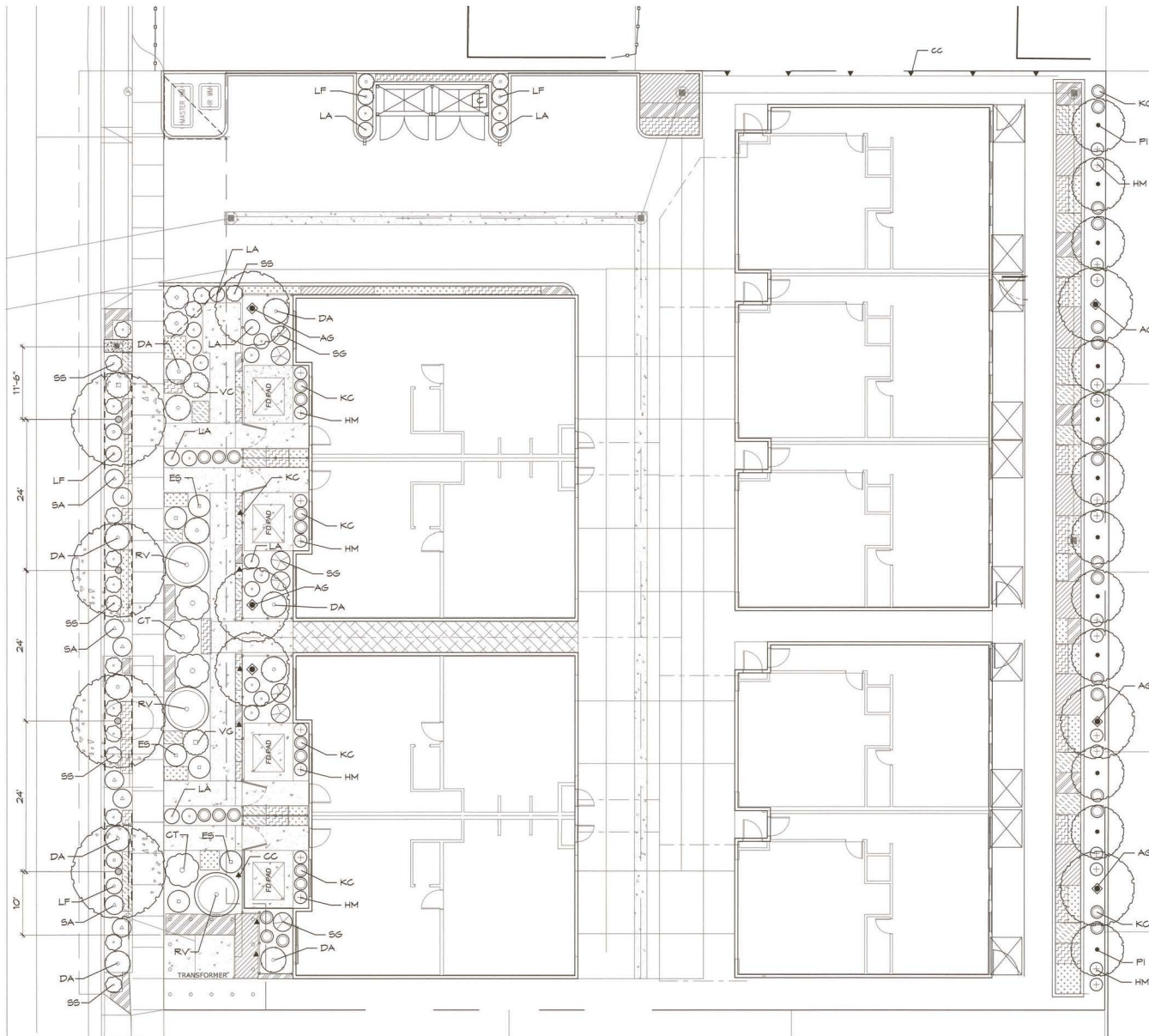
LE ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

pt	DESIGNED	DATE
pt	DESIGNED	DATE
GRAVIN	SCALE	DATE
1" = 10'	SCALE	DATE
NL	NL	DATE

11/26/2015

[illegible][illegible][illegible]



E PLANTING PLAN

REFER TO SHT. L0 FOR PLANT LEGEND, GENERAL NOTES & DETAILS

SCALE: 1/8" = 1'-0"

A GENERAL NOTES

1. CLEAR & GRUB AREAS OF WORK, INCLUDING REMOVING PLANTS, GRASS & OTHER DELETERIOUS MATERIALS. DEPOSE OF MATERIAL AT A LEGAL WASTE FACILITY.
2. ROTOTILL PLANTING AREAS 6" DEEP & COMPACT SOIL TO 85%. COMPACT SUB-GRADE UNDER ALL PAVING TO 95%.
3. GRADE SITE TO DRAIN AWAY FROM THE HOUSE, MIN 2% SLOPE.
4. FINISHED GRADE IN LAWN & PLANTING AREAS TO BE 2" BELOW EDGE OF PAVING.

B LANDSCAPE NOTES

1. CLEAR & GRUB AREAS OF WORK, INCLUDING REMOVING PLANTS, GRASS, WEEDS & OTHER DELETERIOUS MATERIALS. DEPOSE OF MATERIAL AT A LEGAL WASTE FACILITY.
2. CONTRACTOR TO COLLECT EXISTING SOIL SAMPLES (2FT DEEP) FROM EACH OF THE AREAS OF NEW PLANTINGS AND SUBMIT TO HAYPOINT ANALYTICAL CALIFORNIA (714.282.8771) OR EQUIVALENT, FOR SOIL TEST AOS-2/MELO WITH RECOMMENDATIONS FOR SOIL AMENDMENTS PRIOR TO INSTALLATION OF PLANT MATERIAL.
3. SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO THE RECOMMENDATIONS OF THE SOIL REPORT FOR WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.
4. AFTER REMOVAL OF EX. PLANTS & WEEDS, ROTOTILL TOP 6" OF DIRT IN LANDSCAPE AREAS & SOIL AMENDMENTS. COMPACT SOIL TO 85%. FINISHED GRADE IN LANDSCAPE AREAS TO BE 2" BELOW EDGE OF ADJACENT PAVING.
5. PRIOR TO PLANTING OF ANY MATERIAL, COMPACTED SOILS SHALL BE TRANSFORMED TO BE IN A FRIABLE CONDITION.
6. PLANT PITS: TO BE 1-1/2 TIMES THE PLANTS ROOTBALL. AMEND EACH PIT 1/3 1/3 MIX OF SOIL AMENDMENT & 2/3 SITE SOIL. MIX BEFORE BACKFILL.
7. COMPACT SUB-GRADE UNDER ALL PAVING TO 95%.
8. GRADE SITE TO DRAIN AWAY FROM THE BUILDING. SLOPE PAVING MIN. OF 2% AWAY FROM BUILDING & PER CIVIL PLAN.
9. MIN. OF 2" OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES IN PLANTING AREAS, EXCEPT IN ROOTING GROUNDCOVER AREAS. TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE.
10. IMPLEMENT PRACTICES TO REDUCE THE DISCHARGE OF PESTICIDES, HERBICIDES AND FERTILIZERS. AT A MIN. IMPLEMENT LANDSCAPE MANAGEMENT MEASURES THAT RELY ON NON-CHEMICAL SOLUTIONS.

C TREE REPLACEMENT

- (3) TREES TO BE REMOVED PER CIVIL DEMOLITION PLAN
- ON-SITE TREE REPLACEMENT RATIO: 2:1
- (6) ACER G. VAR. GLABRUM MOUNTAIN MAPLE 24" BOX
- OFF-SITE TREES IN THE PUBLIC RIGHT OF WAY
- (4) CERCIS OCCIDENTALIS WESTERN REDBUD 36" BOX

D ROOT BARRIERS

ALL TREES IN THE PUBLIC RIGHT OF WAY SHALL HAVE ROOT BARRIERS FOR SIDEWALK PROTECTION, MIN. OF 16' LONG OR EXTEND TO THE DRIP LINE OF THE MATURE TREE, WHICHEVER IS GREATEST. LENGTH SHOWN ON PLAN.

ROOT BARRIER ALONG SIDEWALK - 18" DEEP
ROOT BARRIER ALONG STREET SIDE - 24" DEEP

PRODUCT: DEEPROOT OR APPROVED EQUAL
MODEL NO: UB-18-2 - SIDEWALK SIDE
UB-24-2 - STREET SIDE
REFER TO DTL ON SHT. L4 FOR INSTALLATION INFORMATION

Submittals:
RESPONSE TO CITY
COMMENT LETTER



Environmental
E. Lacey
Susan M. Lacey
Landscape Architect
Phone: 408.644.6936
Email: environmental@e-lacey.com

Project Information for:

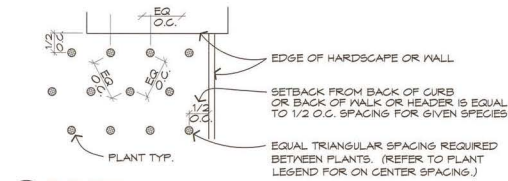
Cheeney Street Townhouses
4349 Cheeney Street
Santa Clara, CA

Sheet Title:
Planting Plan

Date: 15 APR 24

Sheet:

L1

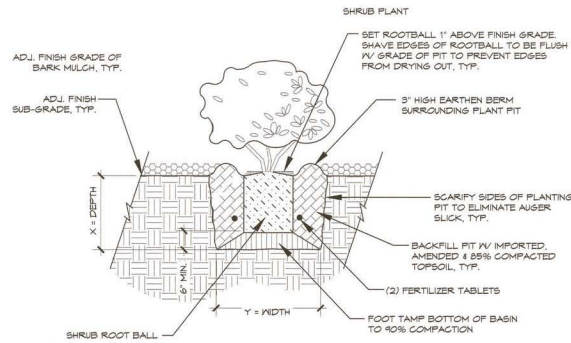


2 PLAN VIEW



1 SECTION

B GROUND COVER PLANTING DETAIL



C SHRUB PLANTING DETAIL

A PLANT LEGEND

SYM.	QTY.	ABR.	BOTANICAL	COMMON NAME	SIZE
	4	CO	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX
	3	AG	ACER G. VAR. GLABRUM	MOUNTAIN MAPLE	24" BOX
	15	PI	PRUNUS ILICIFOLIA	HOLLEY LEAF CHERRY	15 GAL
	2	CM	CEANOTHUS MARITIMUS	MARITIME CEANOTHUS	1 GAL
	4	CT	CEANOTHUS THYRSIFLORUS	CREeping BLUEBLOSSOM	1 GAL
	11	DA	DIPLACUS AURANTIACUS	BUSH MONKEY FLOWER	1 GAL
	6	ES	ERIOPHYLLUM STAECHADIFOLIUM	SEASIDE WOOLLY SUNFLOWER	1 GAL
	33	KC	KECKIELLA CORYMBOsa	KECKIELLA	1 GAL
	24	HM	HEUCHERA MAXIMA	ALUM ROOT	1 GAL
	8	LF	LEPECHINIA FRAGRANS	FRAGRANT PITCHER SAGE	5 GAL
	21	LA	LUPINUS ALBIFRONS	SILVER LUPINE	5 GAL
	3	RV	RIBES VIBURNIFOLIUM	CATALINA CURRANT	1 GAL
	7	SG	SALVIA 'GREEN CARPET'	GREEN CARPET SAGE	1 GAL
	11	SS	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL
	8	SA	SALVIA APIANA	WHITE SAGE	5 GAL
	3	VC	VENEGASIA CARPESIOIDES	CANYON SUNFLOWER	5 GAL

STORM WATER C.3 PLANT LIST

SYM.	ABR.	BOTANICAL NAME	COMMON NAME	SPACING
	CB	CAREX BARBARAE	VALLEY SEDGE	2' O.C.
	BG	BOUTELOUA G. BLONDE AMBITION	BLONDE AMBITION GRAMA	16" O.C.
	JP	JUNCUS PATENS	COMMON RUSH	16" O.C.
	MR	MUHLENBERGIA RIGENS	DEERGRASS	3' O.C.
	SB	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	6" O.C.

PLANT LEGEND NOTES:

1. THE PLANT QUANTITIES SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER THE QUANTITY LISTED IN THE PLANT LEGEND.
2. PLANT SYMBOLS IN LEGEND ARE NOT TO SCALE AND MAY APPEAR SMALL THEN SHOWN ON PLAN.
3. REFER TO DTL. LS-2, SHT. L4 FOR TREE PLANTINGS, DTL. C, THIS SHT. FOR SHRUB PLANTINGS & DTL. B, THIS SHT. FOR GROUND COVER PLANTINGS.

Submittals:
RESPONSE TO CITY
COMMENT LETTER

© 2023 Susan M. Lantry, Licensed Landscape Architect



Environmental
Susan M. Lantry
Landscape Architect
Phone: 408.644.6936
Email: Environmental.Legacy@smla.com

Project Information for:

Cheaney Street Townhouses
4349 Cheney Street
Santa Clara, CA

Sheet Title:

Plant Legend &
Planting Details

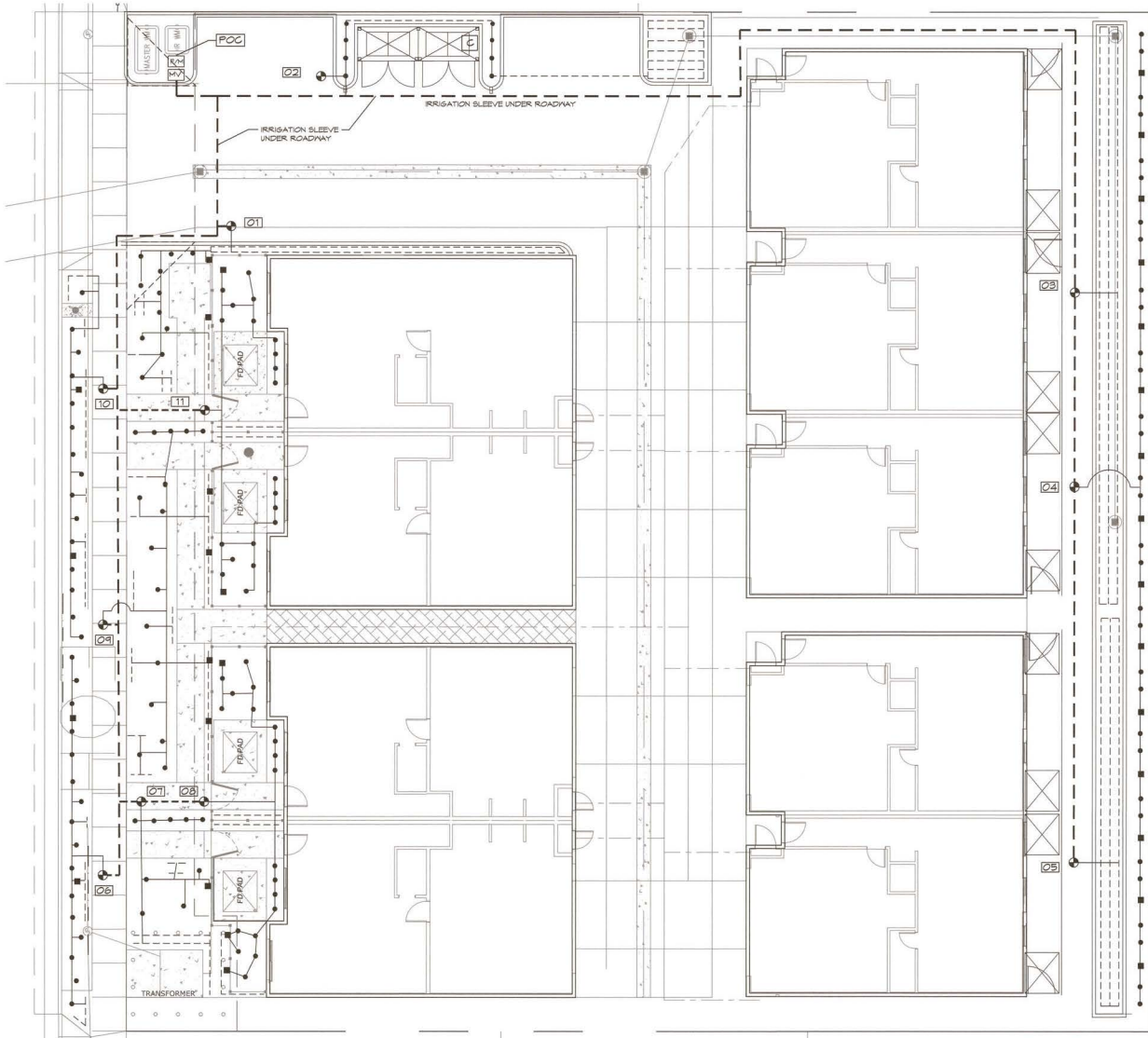
Date: 15 APR 24

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L2

B IRRIGATION NOTES

1. PROVIDE COMPLETE IRRIGATION SYSTEM TO EACH TREE, SHRUB & GROUND COVER PLANT. CONNECT SUPPLY LINE TO IRRIGATION WATER METER
2. INSTALL IRRIGATION SLEEVES UNDER DRIVE WAY & PAVING



D IRRIGATION PLAN

REFER TO SHT. L4 & L5 FOR IRRIGATION DETAILS

SCALE: 1/8" = 1'-0"

A IRRIGATION LEGEND

SYM.	MAN./TYPE	MODEL NO.
[C]	HUNTER - CONTROLLER	FG2-400 - 10 STATIONS IRRIGATION CONTROLLER, 4-STATION BASE MODEL #2 EXTRA MODULES, PLASTIC WALL MOUNT CABINET, 120 VAC WITH U.S. CABLE AND PLUS IV SOFTWARE FOR CELL PHONE, PER DTL. C, SHT. L5
[R]	HUNTER - SOLAR SYNC SENSOR	ASS-6EN WIRELESS SOLAR SYNC WIRELESS WITH COMPATIBLE SENSIRV WALL MOUNT CONTROLLER, PER DTL. E, SHT. L5
[BFP]	FEBCO - BACKFLOW PREVENTER	1" - F0255B-4-RP BACKFLOW PREVENTER (LEAD FREE) IV SHUT-OFF BALL VALVES & WYE STRAINER COVER IV INSULATION BLANKET, MIN. R-15, GREEN, WEATHERGUARD OR EQUAL, PER CITY STANDARD DETAIL, SHT. L5-16, SHT. L4
[FM]	HUNTER - FLOW SENSOR & MASTER VALVE	GV 4 HC-FLOW 1" FLOW SENSOR & MASTER VALVE - SET FOR MAX. FLOW RATE OF LARGEST VALVE, DTL. A & B, SHT. L6
[E]	DAVIS - REMOTE CONTROL VALVE	FG2-101-40 1" REMOTE CONTROL VALVE IV FILTER/REGULATOR, 40 PSI PRESSURE REDUCER, 150 MESH SCREEN, PER DTL. L5-16, SHT. L4
[X]	VALVE CALLOUT	XX = VALVE NO.
[T]	TORO	FG-FB-25 TREE FLOOD BUBBLER, PER DTL. L5-2, SHT. L4
[•]	NETA-FM - DRIP LINE RING	1/4 6" EMITTER LINE TECHLINE CV/ DRIP TUBING RING, 6" EMITTER SPACING, 1/4" TUBING, ALGAE RESISTANT, MIN. 2 INLINE EMITTERS PER RING, PER DTL. A, SHT. L5
[---]	NETA-FM - DRIP LINE	1/4 12" EMITTER LINE TECHLINE CV/ DRIP TUBING, 12" EMITTER SPACING, 1/4" TUBING, ALGAE RESISTANT, PER DTL. D, SHT. L5
[---]	SCHED. 40	1-1/2" PIPE IRRIGATION MAINLINE, PER DTL. C, SHT. L6
[---]	SCHED. 50	1- 1/2" PIPE, 4" SLEEVE
[---]	CLASS 200	IRRIGATION MAINLINE & SLEEVE UNDER PAVING, PVC SCHED. 50, WHITE PIPE, IV FULL WIRE, CONTROLLER WIRE & IRRIGATION PIPE, DTL. D, SHT. L6 IRRIGATION LATERAL LINE, PVC CLASS 200, WHITE PIPE, 12" DEPTH, PER DTL. D, SHT. L6

C WELO WATER BUDGET

SECTION A - MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
HYDROZONE AREA INFORMATION

Hydrozone Label	Plant Water Use Type	Plant Type	Hydrozone Area (square feet)
1	Low	shrubs, ground cover, grasses	430
2	Low	shrubs, ground cover, grasses	100
3	Low	shrubs, ground cover, grasses	340
4	Low	grasses	200
5	Low	shrubs, ground cover, grasses	200
6	Low	shrubs & ground cover, grasses	240
7	Low	shrubs & ground cover, grasses	200
8	Low	shrubs & ground cover, grasses	200
9	Low	shrubs & ground cover, grasses	200
10	Low	shrubs & ground cover, grasses	200
11	Low	shrubs & ground cover, grasses	300

Summary of Hydrozone Area Information	
Summary Area	Area (square feet)
Sum of Low Water Use Areas	3,800
Sum of Moderate to High Water Use Areas	0
Sum of High Water Use Areas	0
Sum of Special Landscaping Areas	0
Sum of all Landscaping Areas	3,800

[7] Maximum Applied Water Allowance = 45,829 gallons per year.

SECTION B - ESTIMATED TOTAL WATER USE (ETWU)

Hydrozone Label	Plant Water Use Type	Plant Type	Plant Factor (PF)	Hydrozone Area (HA) square feet	Irrigation Method	Irrigation Efficiency (IE)	ETWU (gpyr)
1	Low	shrubs, ground cover	0.3	430	Drip	0.85	6,421
2	Low	shrubs, ground cover	0.3	100	Drip	0.85	1,595
3	Low	grasses	0.3	340	Drip	0.85	3,307
4	Low	shrubs, ground cover	0.3	480	Drip	0.85	4,748
5	Low	grasses	0.3	200	Drip	0.85	2,120
6	Low	shrubs & ground cover	0.3	240	Drip	0.85	2,417
7	Low	shrubs & ground cover	0.3	200	Drip	0.85	2,118
8	Low	shrubs & ground cover	0.3	200	Drip	0.85	2,118
9	Low	shrubs & ground cover	0.3	200	Drip	0.85	2,118
10	Low	shrubs & ground cover	0.3	200	Drip	0.85	2,118
11	Low	shrubs & ground cover	0.3	300	Drip	0.85	2,985

1 Total Water Use = 37,719 gallons/year

SECTION C. COMPARISON OF ETWU AND MAWA

The calculated ETWU may not exceed the calculated MAWA.

MAWA = 45,829 ≥ ETWU = 37,719
(from Section A) (from Section B)

Submittals:
RESPONSE TO CITY
COMMENT LETTER



Environmental
Edgar
Landscape Architect
Santa Clara County, California
Phone: 408.644.6936
Email: Environmental.Edgar@yahoo.com

Project Information for:
Cheeneey Street Townhouses
4349 Cheney Street
Santa Clara, CA

Sheet Title:
Irrigation Plan &
WELO Chart

Date: 15 APR 24

Sheet:
L3

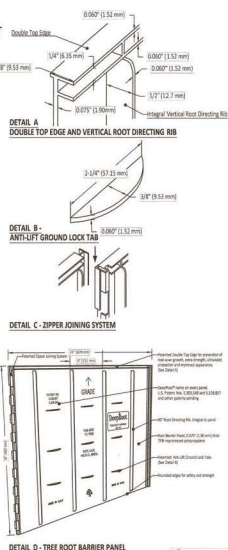
UB 18-2 Specifications
18" DeepRoot® Tree Root Barrier

*Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging landscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

- [illegible]

U.S. Patents: 5,305,549 and 5,528,857. Other Patents Pending

Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,846 PSI	D638
Yield Elongation - Wall	7.44%	D638
Yield Elongation - Hinge	7.02%	D638
Flexural Modulus	119,625 PSI	D790
Notched Iod Impact - Wall	3.84 (ft-lbs)	D256A



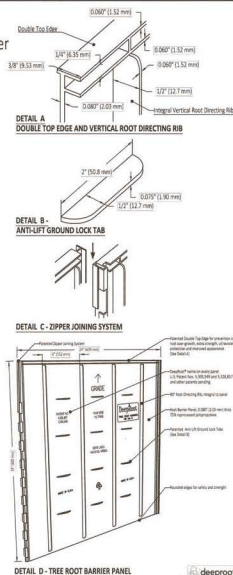
UB 24-2 Specifications
24" DeepRoot® Tree Root Barrier

Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

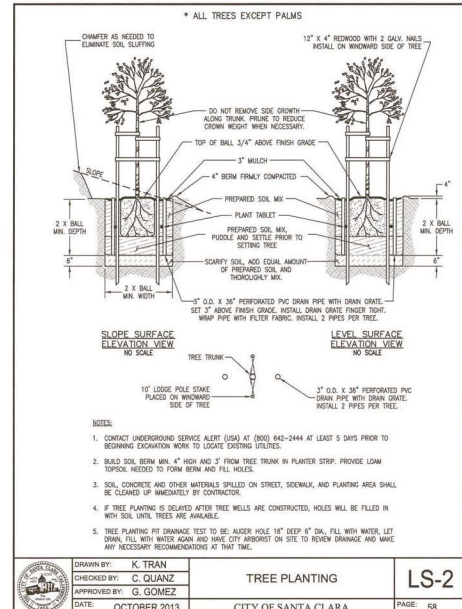
- [illegible]

U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending

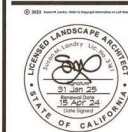
Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,848 PSI	D638
Yield Elongation - Wall	7.44%	D638
Yield Elongation - Hinge	7.01%	D638
Flexural Modulus	119,625 PSI	D790
Notched Izod Impact - Wall	3.84 (ft-lbs)	D256A
Rockwell Hardness r, scale - Wall	84.4	D785A



* ALL TREES EXCEPT PALMS



Submittals:
RESPONSE TO CITY
COMMENT LETTER



Environmental
Edges
Susan M. Landry
Landscape Architect

Project Information for:

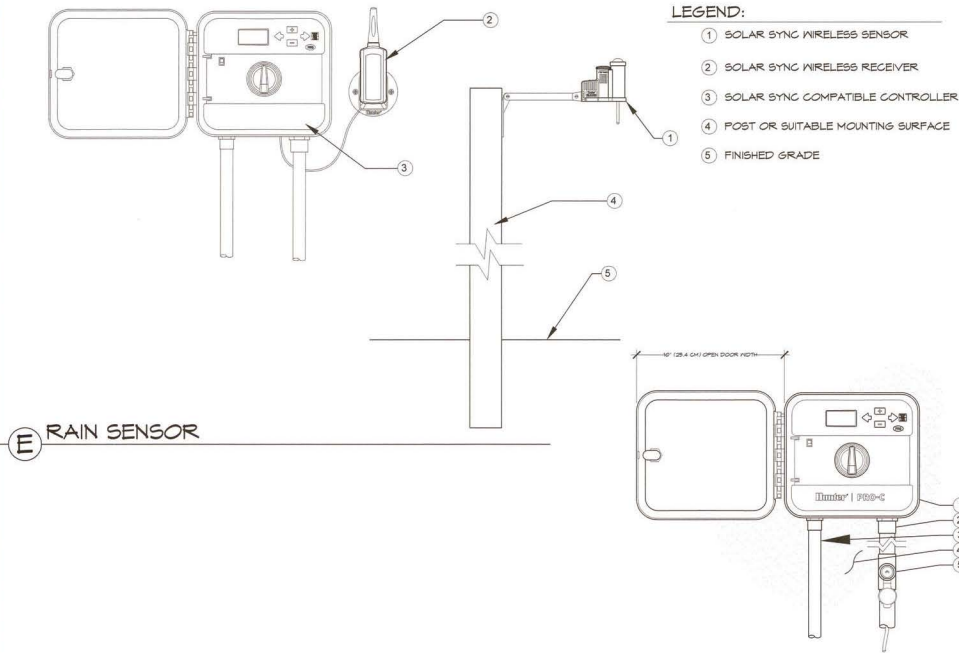
Cheaney Street Townhouses
4349 Cheaney Street
Santa Clara, CA

Sheet Title:
Irrigation Details

Date: 15 APR 24

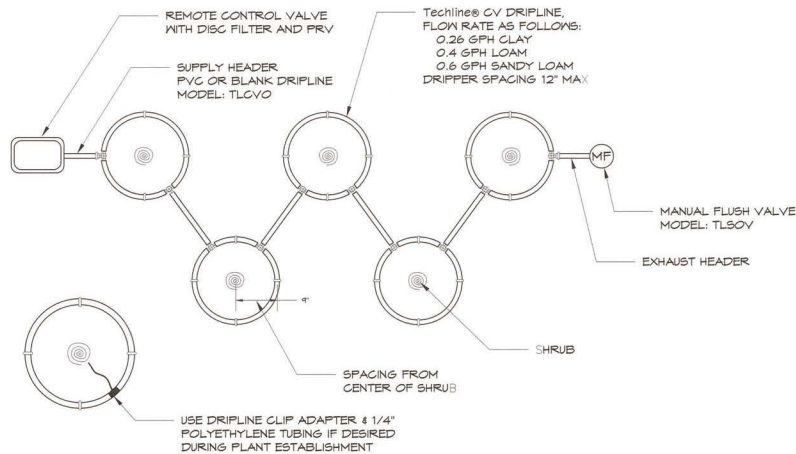
Sheet:

L4



E RAIN SENSOR

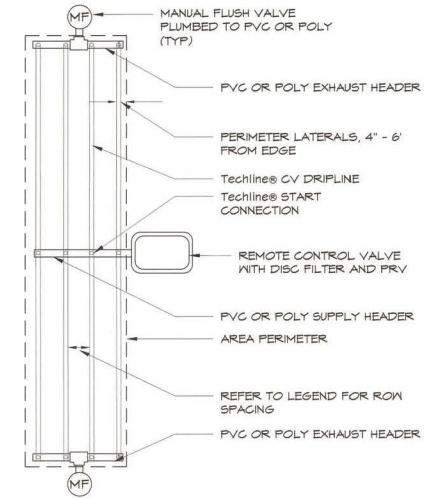
C IRRIGATION CONTROLLER



A DRIP RING - MULTIPLE SHRUBS

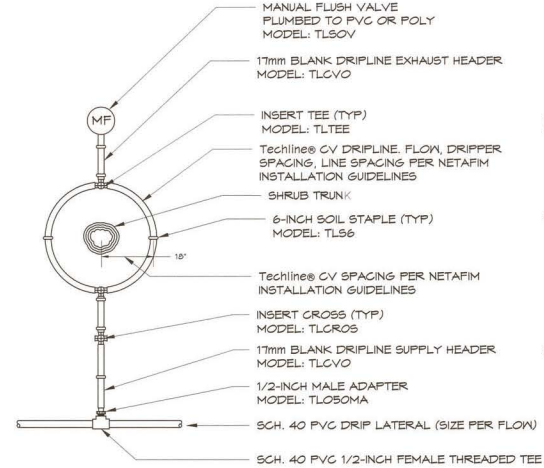


B DRIP RING



- NOTES:**
1. RECOMMENDED MINIMUM FILTRATION: 120 MESH
 2. PRESSURE AT FLUSH VALVE SHALL BE MIN 14.5 PSI
 3. 2 PSI CHECK VALVE (MAX 4' OF WATER ELEVATION CHANGE)
 4. REFER TO MAXIMUM LENGTH OF A SINGLE LATERAL CHART

A DRIP LINES



- NOTES TO DESIGNER:**
1. INSTALL FIRST TECHLINE® CV LOOP 18-INCHES FROM CENTER OF TREE TRUNK. INSTALL EACH ADDITIONAL LOOP PER NETAFIM INSTALLATION GUIDELINES.
 2. INSTALL TECHLINE® CV DRIPLINE ON SURFACE TO MAXIMUM OF 6-INCHES BELOW GRADE. STAPLE IN PLACE PER MANUFACTURER'S RECOMMENDATIONS. BACKFILL AND SPREAD SURFACE TREATMENT AS DIRECTED BY OTHERS.
 3. INSTALL TECHLINE® CV IN ACCORDANCE WITH NETAFIM INSTALLATION GUIDELINES.

Submittals:
RESPONSE TO CITY
COMMENT LETTER



Environmental
Edgewise
Aaron M. Lantry
Landscape Architect
Phone: 408.644.6936
Email: Environmental.Edgewise@yahoo.com

Project Information for:

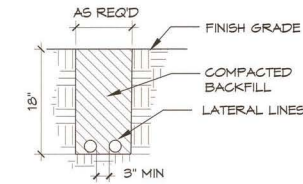
**Cheaney Street Townhouses
4349 Cheaney Street
Santa Clara, CA**

Sheet Title:
irrigation Details

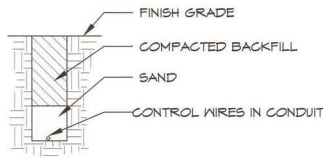
Date: 15 APR 24

Sheet

L5



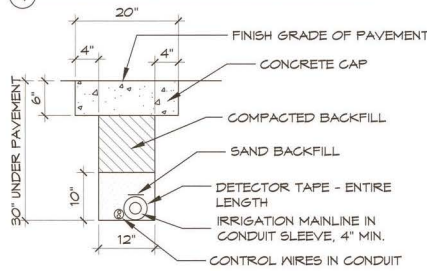
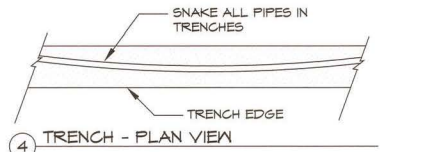
② LATERALS ONLY



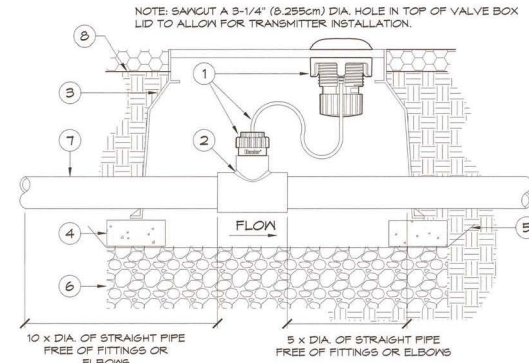
① CONDUCTORS ONLY

NOTE:
1. ALL TRENCH BACKFILL TO BE FREE OF ROCKS OVER 1"

C TRENCH DETAIL



③ MAIN & CONDUCTORS



DETAIL LEGEND:

- ① WIRELESS FLOW SENSOR, CABLE, AND TRANSMITTER (WFS)
- ② RECEPTACLE TEE (FCT)
- ③ RECTANGULAR VALVE BOX
- ④ BRICK SUPPORTS AT EACH CORNER (4)
- ⑤ FILTER FABRIC
- ⑥ 6" MIN. GRAVEL BASE
- ⑦ MAIN LINE AND SOIL COVER PER PLAN
- ⑧ FINISHED GRADE OF SOIL, 2" BELOW TOP OF LID FOR BARK LAYER

A FLOW SENSOR

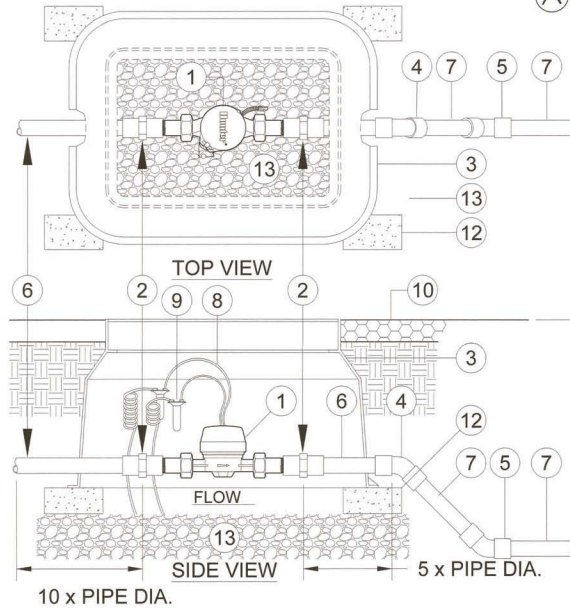
FLOW METER SPECIFICATIONS

INLET/ OUTLET CONNECTION SIZE	3/4" NPT BODY, MALE THREAD WITH 1" NPT MALE ADAPTER
INTERNAL DIA.	3/4"
MIN. FLOW	0.22 GPM
MAX. RECOMMENDED FLOW	15 GPM
MAX. FLOW RATE	21 GPM
DIAL READING	1 PULSE PER 0.1 US GALLON
WORKING PRESSURE	1-230 PSI

NOTE: INLET PIPE ENTERING METER: LENGTH MUST BE A MIN. OF 10 X PIPE DIA.
OUTLET PIPE LEAVING METER: LENGTH MUST BE MIN. OF 5 X PIPE DIA.
INLET AND OUTLET PIPE MUST BE STRAIGHT PIPE WITH NO FITTINGS OR TURNS UNTIL
AFTER THESE SPECIFIED LENGTHS. PIPE AND FITTINGS MAY BE SCH 80 PVC
SOLVENT WELD, THREADED SCH 80 PVC OR BRASS, AS REQUIRED FOR PROJECT.

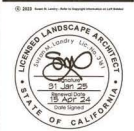
DETAIL LEGEND:

- ① HUNTER HC FLOW METER HC-075 WITH ⑦ MAIN LINE TO SYSTEM (SEE LEGEND
UNION CONNECTIONS AND PLANS FOR TYPE AND SIZE)
- ② SCH 80 PVC FEMALE ADAPTER (S X T) ⑧ TWO WIRES TO FLOW SENSOR
TERMINALS AT CONTROLLER, MIN. 14
AWG-UF (2.08 mm) WIRE WITH
DIFFERENT COLOR FROM
CONTROL/Common WIRE.
- ③ RECTANGULAR VALVE BOX PER
SPECIFICATIONS
- ④ SCH 80 PVC 45 DEGREE ELBOW (S X S)
TO LOWER MAIN LINE TO PROPER
DEPTH (SIZE) FOR LARGER MAIN LINE
- ⑤ SCH 80 PVC 45 DEGREE ELBOW (S X S)
TO LOWER MAIN LINE TO PROPER
DEPTH
- ⑥ (25 mm) MAIN LINE AT INLET &
OUTLET
- ⑨ WEATHERPROOF WIRE CONNECTOR
- ⑩ FINISH GRADE
- ⑪ SPECIFIED SOIL COVER (SEE LEGEND)
- ⑫ COMMON BRICK
- ⑬ GRAVEL BASE, 6" (15 cm) DEEP



B MASTER VALVE

Submittals:
RESPONSE TO CITY
COMMENT LETTER



Environmental
Susan M. Lantry
Landscape Architect
Phone: 408.644.8331
Email: Environmental.Edges@yahoo.com

Project Information for:
Cheeneey Street Townhouses
4349 Cheney Street
Santa Clara, CA

Sheet Title:
irrigation Details

Date: 15 APR 24

Sheet:

L6



JUNCUS PATENS
COMMON RUSH



SALVIA SPATHACEA
HUMMINGBIRD SAGE



HEUCHERA MAXIMA
ALUM ROOT



CEANOTHUS MARITIMUS
MARITIME CEANOTHUS



CERCIS OCCIDENTALIS
WESTERN REDBUD



MUHLENBERGIA RIGENS
DEERGRASS



SALVIA APIANA
WHITE SAGE



LEPECHINIA FRAGRANS
FRAGRANT PITCHER SAGE



CEANOTHUS THYRSIFLORUS
CREEPING BLUEBLOSSOM



SISYRINCHIUM BELLUM
BLUE-EYED GRASS



VENEGASIA CARPESIOIDES
CANYON SUNFLOWER



LUPINUS ALBIFRONS
SILVER LUPINE



DIPLACUS AURANTIACUS
BUSH MONKEY FLOWER



ACER G. VAR. GLABRUM
MOUNTAIN MAPLE



CAREX BARBARAE
VALLEY SEDGE



RIBES VIBURNIFOLIUM
CATALINA CURRANT



ERIOPHYLLUM STAECHADIFOLIUM
SEASIDE WOOLLY SUNFLOWER



PRUNUS ILICIFOLIA
HOLLY LEAF CHERRY



BOUTELOUA BLONDE AMBITION
BLONDE AMBITION GRAMA



SALVIA 'GREEN CARPET'
GREEN CARPET SAGE



KECKIELLA CORYMBOSA
KECKIELLA

Submittals:
RESPONSE TO CITY
COMMENT LETTER



Environmental
Susan M. Lantry, Inc.
Landscape Architects
Phone: 408.644.6935
Email: Environmental.Landscapes@yahoo.com

Project Information for:

Cheenee Street Townhouses
4349 Cheenee Street
Santa Clara, CA

Sheet Title:

Plant Material

Date: 15 APR 24

Sheet:

L7