

SITE DEVELOPMENT PERMIT FOR 906, 930, 940, 950 MONROE STREET & 1341 HOMESTEAD RD. SANTA CLARA, CA 95050

DESIGN PROFESSIONALS:

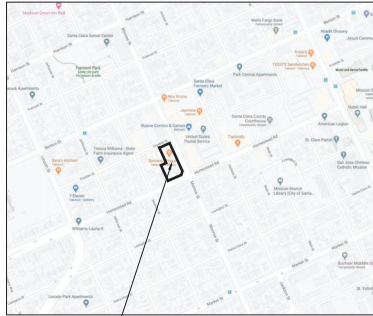
ARCHITECT:
SALVATORE CARUSO DESIGN CORPORATION
881 E. COMBINAL ROAD, SUITE 200
SANTA CLARA, CA 95050
PHONE: (408) 969-0847
FAX: (408) 969-0848

CIVIL ENGINEER:
SUN ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
PHONE: (650) 462-6300

OWNER:
LAMB PARTNERS, LLC
1335 MIDFIELD ROAD, SUITE 190
MENLO PARK, CA 94025
PHONE: (650) 208-8195

PROJECT DESCRIPTION:

DEMOLITION OF THE SMALL RETAIL TO BUILD A NEW 50 CONDOS AND 4 TOWNHOUSE OF HOUSING PROJECT INCLUDING GENERAL RETAIL/CAFE ON THE GROUND FLOOR TO REVitalize THE COMMUNITY PEDESTRIAN EXPERIENCE.
LOT LINE ADJUSTMENT IS PROPOSED FOR THE EXISTING SINGLE FAMILY HOMES: A NEW TWO CAR GARAGE FOR 930 MONROE AND A 1 CAR GARAGE FOR THE 940 MONROE PLUS A SURFACE PARKING IS PROPOSED TO PARK THE SINGLE FAMILY HOMES ON SITE.
PROVIDE 108 OF TOTAL UNITS AS AFFORDABLE HOUSING UNITS ON SITE PER CITY'S ORDINANCE 17.40.020. ALL AFFORDABLE UNITS WILL BE DISPersed ON THE PROJECT SITE (ONE WITHIN TOWNHOUSE AND 7 WITHIN CONDOS).



VICINITY MAP



APPLICABLE CODES:

PART 1.0, CALIFORNIA ADMINISTRATIVE CODE (CBC)
PART 2.0, 2019 CALIFORNIA BUILDING CODE (CBC)
PART 2.2, 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 5.0, 2019 CALIFORNIA ELECTRIC CODE (CEC)
PART 4.0, 2019 CALIFORNIA MECHANICAL CODE (CMC)
PART 5.0, 2019 CALIFORNIA PLUMBING CODE (CPC)
PART 6.0, 2019 CALIFORNIA ENERGY CODE
PART 6.0, 2019 CALIFORNIA FIRE CODE
PART 11.0, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
FHA ACCESSIBLE GUIDELINES USING THE SAFE HARBOR AS PERMITTED FOR THE 1998 FHA DESIGN MANUAL WITH ANSI A117.1-1998 PER 182 AND 2010 ADA
THE APPLICABLE CODES ARE AS AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF SANTA CLARA

AFFORDABLE HOUSING NOTE:

NEW PLANNED DEVELOPMENT IS ONLY IN LOT 1, LOT 2 AND LOT 3 WILL REMAIN AS HISTORIC SINGLE FAMILY HOMES.
TOTAL NEW RESIDENTIAL UNIT PROPOSED IS 55 CONDOMINIUM UNITS (30 CONDOMINIUM + 4 TOWN HOUSES) AND ONE FREESTANDING HOME AT 1341 HOMESTEAD RD.
NUMBER OF AFFORDABLE HOUSING UNITS WILL BE 55 x 0.15 = 8.25 UNITS
PROVIDES: 1 TOWNHOME AFFORDABLE UNIT
7 CONDOMINIUM UNITS IN MAIN BUILDING

SHEET INDEX

ARCHITECTURAL

- A0.1 COVER SHEET
- A0.2 RENDERING
- A0.3 RENDERING
- A0.4 RENDERING
- A0.5 RENDERING
- A0.6 RENDERING
- A1.0 EXISTING SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A2.1 PROPOSED BASEMENT PLAN
- A2.2 PROPOSED 1ST FLOOR PLAN
- A2.3 PROPOSED 2ND FLOOR PLAN
- A2.4 PROPOSED 3RD FLOOR PLAN
- A2.5 PROPOSED 4TH FLOOR PLAN
- A2.6 PROPOSED 5TH FLOOR PLAN
- A2.7 PROPOSED 6TH FLOOR PLAN
- A2.8 PROPOSED ROOF PLAN
- A3.0 PROPOSED ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A3.1a PROPOSED ELEVATIONS - TOWNHOMES
- A3.1b EXISTING & PROPOSED ELEVATIONS - HISTORIC HOMES
- A3.2 SECTIONS
- A3.3 MATERIAL BOARD (FOR REFERENCE)

CIVIL

- C1.0 EXISTING SITE CONDITION
- C2.0 PRELIMINARY SITE PLAN
- C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.0 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN
- C5.1 STORMWATER CONTROL DETAILS
- C6.0 BEST MANAGEMENT PRACTICES
- C7.0 FIRE DEPARTMENT WATER SUPPLY AND ACCESS PLAN
- DMO UTILITIES

VESTING TENTATIVE MAP

- TM-1 TITLE SHEET
- TM-2 SITE PLAN/AVM SHEET

LANDSCAPE

- L1.1 PLANTING PLAN
- L1.2 PLANTING PLAN
- L1.3 ARBORIST NOTES & WIRE WALL TRELIS
- L1.4 ARBORIST NOTES

PHOTOMETRIC

- P1 FIRST FLOOR EXTERIOR LIGHTING PLAN
- P2 4TH FLOOR EXTERIOR LIGHTING PLAN
- P3 5TH FLOOR EXTERIOR LIGHTING PLAN

TRASH MANAGEMENT

- TR0.1 SITE PLAN - LEVEL 1
- TR0.2 SITE PLAN - LEVEL 2
- TR0.3 STAGING DETAILS - RESIDENTIAL AND COMMERCIAL
- TR1.0 RESIDENTIAL TRASH ROOM PLAN
- TR1.1 RETAIL TRASH COLLECTION ROOM
- TR1.2 SECTIONS AT RESIDENTIAL TRASH ROOM
- TR2.0 30" Ø CHUTE DETAILS

PROJECT :

**SANTA CLARA
DOWNTOWN**
906/930/940/950 MONROE ST
SANTA CLARA, CA 95050
&
1341 HOMESTEAD RD.
SANTA CLARA, CA 95050

GENERAL NOTES :

1. SEE SHEET 0.100 OF A SET AS SET TO BE USED ALONG.
2. THE EXISTING AND PROPOSED AREAS ARE TO BE MAINTAINED AS A "GREEN" SET AS SET.
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10. THE EXISTING AND PROPOSED AREAS ARE TO BE MAINTAINED AS A "GREEN" SET AS SET.

PROJECT DATA	
PARCEL NUMBERS	269-20-095, 269-20-087, 269-20-086
TOTAL LOT AREA	7,977.07 SF + 7,622.27 SF + 22,888.57 SF = 38,488.91 (0.87 ACRE)
EXISTING USE	SINGLE FAMILY - RETAIL
PROPOSED USE	MIXED-USE (RETAIL AND CAFE, RESIDENTIAL - MULTI-FAMILY)
NO. OF UNITS	LOT 1: 55 RESIDENTIAL CONDOMINIUM UNITS LOT 1: 1 CONDOMINIUM FOR ALL FLOOR COMMON AREAS LOT 1: 3 BASEMENT PARKING GARAGE CONDOMINIUM UNITS LOT 1: 3 RETAIL CONDOMINIUM UNITS LOT 2: 1 (E) SINGLE FAMILY HOME LOT 3: 1 (E) SINGLE FAMILY HOME
NO. OF STORY	TOWNHOUSE: TWO FLOORS CONDOMINIUM: 1 LEVEL OF BASEMENT + 6 STORES (ABOVE THE GROUND)
OCCUPANCY GROUP	R-2 (5 FLOORS OF RESIDENTIAL), A-2 (GROUND LEVEL CAFETERIA), M (GROUND LEVEL RETAIL), S-2 (DRINKING), A-3 (TERMINAL), B (OTM)
TYPE OF CONSTRUCTION	CONDOMINIUM, T/A FOR BASEMENT AND GROUND LEVEL, B-A FOR UPPER FLOORS
AUTOMATIC FIRE SUPPLY	TOWNHOUSE: V-B
CURRENT ZONING	HT (HISTORIC COMMING), OO (GENERAL OFFICE), CO (COMMUNITY COMMERCIAL)
GENERAL PLAN PROPOSED ZONING	PD
PROPOSED HEIGHT	75'-0" TO ROOF TOP, 84'-0" TO TOP OF ARCHITECTURAL DECORATION ELEMENT
PROPOSED DENSITY (DWELLING UNIT PER ACRE)	57/0.87 = 66 DU/ACRE
PROPOSED FAR	TOTAL FAR IS 3.21 - COMMERCIAL FAR IS 0.1

FLOOR LEVEL	CONDOMINIUM												
	ONE BEDROOM	TWO BEDROOMS	TOTAL NO. OF UNITS	PARKING(S)	COMMUNITY ROOM	UTILITY/FRASH ROOM	LOBBY	RETAIL (SF)	STAIR ELEVATOR	GYM(S)	TERRACE(S)	BALCONY	GROSS AREA(SF)
BASEMENT	0	0	0	2139									2139
1ST FLOOR	0	0	0	292	871	1185	880	3874	954				7720
2ND FLOOR	4	8	12									310	1366
3RD FLOOR	4	8	12									310	1366
4TH FLOOR	3	7	10								1004	310	1170
5TH FLOOR	3	5	8							853	1995	385	975
6TH FLOOR	3	5	8									454	985
TOTAL	17	33	50									1770	6679

Note: parking area is excluded from the gross area calculation

TOWNHOMES			
FLOOR LEVEL	AREA CALCULATION PER FLOOR	AREA (SF)	TOTAL IN FLOOR
1ST FLOOR	RESIDENTIAL UNITS (TOWNHOMES) 1/2	3,130	3,136
2ND FLOOR	RESIDENTIAL UNITS (TOWNHOMES) 1/2	2,900	3,056
TOTAL			6,320
TOTAL PRIVATE BALCONY/TERRACE AREA			672

SINGLE FAMILY HOMES	
FLOOR LEVEL	AREA (SF)
FIRST FLOOR	1007
SECOND FLOOR	979
THIRD FLOOR	1349
FOURTH FLOOR	959
FIFTH FLOOR	1341
TOTAL	5635

COMMON SPACE CALCULATION	
AREA (SF)	AREA (SF)
COMMUNITY ROOM	871
GYM	853
TERRACE	3073
PRIVATE BALCONY	1406
TOTAL	10799

PARKING ANALYSIS				
	REQUIRED	PROVIDED	NOTE	
RESIDENTIAL				
TOWNHOUSE	NOT REQUIRED PER AB 2097	0	67 PROVIDED IN BASEMENT, 2 HC PROVIDED ON GROUND FLOOR, TOTAL APPROVED, 7 OF THE 88 SPACES ARE ALLOCATED FOR GUEST PARKING.	
CONDOMINIUM	NOT REQUIRED PER AB 2097	0	69	
3361 HOMESTEAD RD	NOT REQUIRED PER AB 2097	0	0	
TOTAL FOR RESIDENTIAL			69	
VAN ACCESSIBLE	1	1	PROVIDED ON GROUND FLOOR AS PART OF RESIDENTIAL PARKING	
ACCESSIBLE	1	1		
REQUIRED LEVEL 2 BY READY (TOTAL 55 UNITS)	1 FOR EACH FIRST 30 UNITS	20	20	
	1 FOR EACH 30 UNITS	21	21	
TOTAL NUMBER OF LEVEL 2 BY READY	1 LOW POWER LEVEL 2 FOR 20% OF 35 UNITS	27	27	PROVIDED BY AUTOMATED PARKING SYSTEM IN BASEMENT
TOTAL NUMBER OF LOW-POWER LEVEL 2 BY READY		27	27	
SINGLE FAMILY HOUSE				
930 MONROE ST	NOT REQUIRED PER AB 2097	0	2	2 CAR GARAGE ON GROUND
1341 HOMESTEAD RD	NOT REQUIRED PER AB 2097	0	1	1 CAR GARAGE ON GROUND
TOTAL			3	
REQUIRED BIKE PARKING	58	58	PROVIDED IN BASEMENT WITH 1000 OUTLETS	
REQUIRED CLASS 1 PER CITY COMMENTS	4	4	PROVIDED ON GROUND FLOOR	

COMMERCIAL				
	REQUIRED	PROVIDED	NOTE	
TOTAL COMMERCIAL PARKING PROVIDED	NOT REQUIRED PER AB 2097	0	9	9 PROVIDED ON GROUND FLOOR, 4 IN BASEMENT
VAN ACCESSIBLE	1	1	PROVIDED ON GROUND FLOOR	
CLEAN AIR VEHICLES	1	1	PROVIDED ON GROUND FLOOR	
VAN PICKUPS	1	1	PROVIDED ON GROUND FLOOR	
REQUIRED CLASS 1 PER CITY COMMENTS	1	2	GROUND FLOOR NEXT TO PARKING	
REQUIRED CLASS 1 PER CITY COMMENTS	4	4	PROVIDED ON GROUND FLOOR	
COMBINED TOTAL AUTOMOBILE PARKING SPACES			81	
COMBINED TOTAL BIKE PARKING SPACES			66	

NOTES

1. OF THE AUTOMOBILE PARKING SPACES 56 OF THE 81 PARKING SPACES ARE IN READY
2. ELECTRIC BIKE CHARGING IS AVAILABLE IN THE BASEMENT BIKE PARKING AREA WHICH CONTAINS 54 BIKES.
3. ELECTRIC BIKE CHARGING WILL ALSO BE AVAILABLE AT BOTH THE CLASS 1 AND CLASS 2 BIKE PARKING AREA ON THE GROUND FLOOR FOR AN ADDITIONAL 12 BIKE PARKING SPACES.



SHEET NAME :

COVER SHEET

REVISIONS	BY

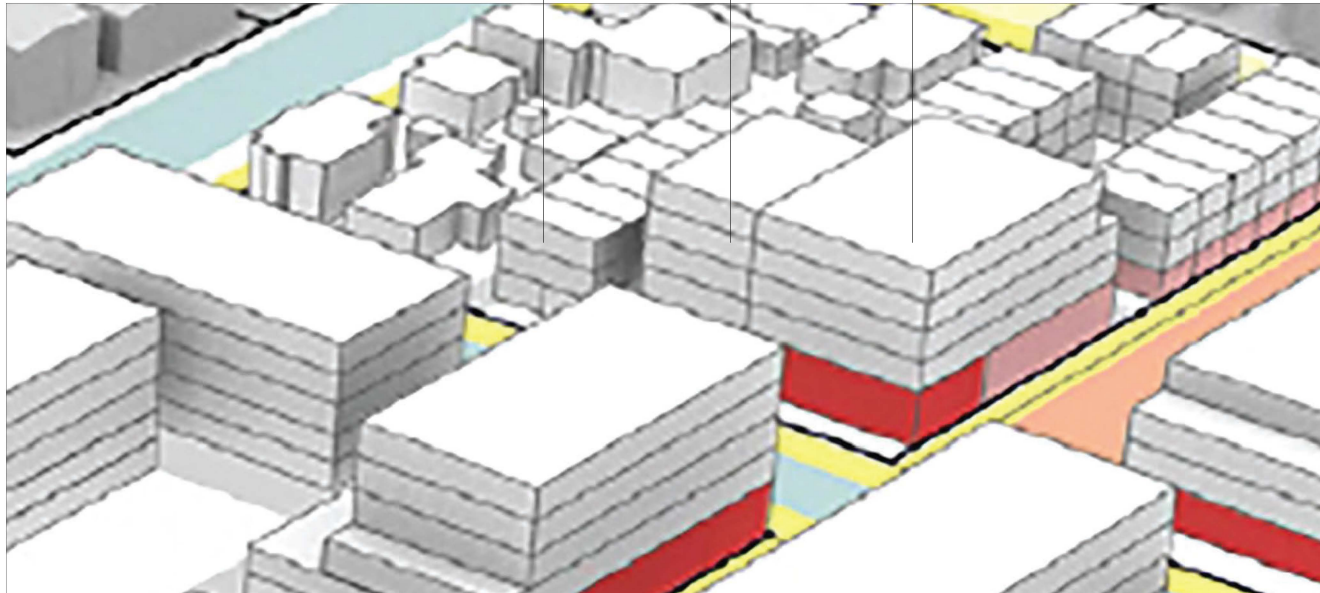
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DATE:	05/17/2023
SCALE:	1/16"=1'-0"
JOB No.:	19-10-07
SHEET No.:	
SHEETS IN SET:	



VIEW FROM MONROE ST

3 STORY 4 STORY 6 STORY

3 STORY 6 STORY 6 STORY



URBAN FORM FRAMEWORK

AS SHOWN ON PAGE 45 OF THE SANTA CLARA DOWNTOWN
 PRECISE PLAN – EARLY 2022

PROJECT :

**SANTA CLARA
 DOWNTOWN**
 940 PALMWOOD MONROE ST
 SANTA CLARA, CA 95050
 &
 1241 BIRMINGHAM RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

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SHEET NAME :

RENDERING

REVISIONS	BY

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SCALE:	1/16"=1'-0"
JOB No.:	19.10.07
SHEET No.:	



VIEW FROM MONROE ST



INDOOR OUTDOOR CONNECTIONS
 AS SHOWN ON PAGE 85 OF THE SANTA CLARA
 DOWNTOWN PRECISE PLAN



INDOOR OUTDOOR CONNECTIONS
 WITH SIDEWALK AND PARK STRIP PER SANTA CLARA
 DOWNTOWN PRECISE PLAN

PROJECT :

**SANTA CLARA
 DOWNTOWN**
 940 POLYPHOSPHORIC ACID ST
 SANTA CLARA, CA 95050
 &
 1241 BRIMFIELD RD.
 SANTA CLARA, CA 95050

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RENDERING

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 DATE:
 SCALE: 1/16"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

PROJECT :
 SANTA CLARA
 DOWNTOWN
 940 PULPADO MONROE ST
 SANTA CLARA, CA 95050
 &
 1241 BRIMFIELD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
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VIEW FROM MONROE ST

SHEET NAME :
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DRAWN:
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DATE: 05/17/2023
SCALE: 1/16"=1'-0"
JOB No.: 18.10.07
SHEET No.:

PROJECT :
 SANTA CLARA
 DOWNTOWN
 960 PALMWOOD MONROE ST
 SANTA CLARA, CA 95050
 &
 1241 BIRMINGHAM RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
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VIEW FROM MONROE ST

SHEET NAME :
 RENDERING

REVISIONS	BY

DRAWN:
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DATE: 05/17/2023
SCALE: 1/16"=1'-0"
JOB No.: 19.10.07
SHEET No.:



VIEW FROM HOMESTEAD RD

PROJECT :
 SANTA CLARA
 DOWNTOWN
 9015 CARMO REAL #200
 SANTA CLARA, CA 95050
 &
 1241 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
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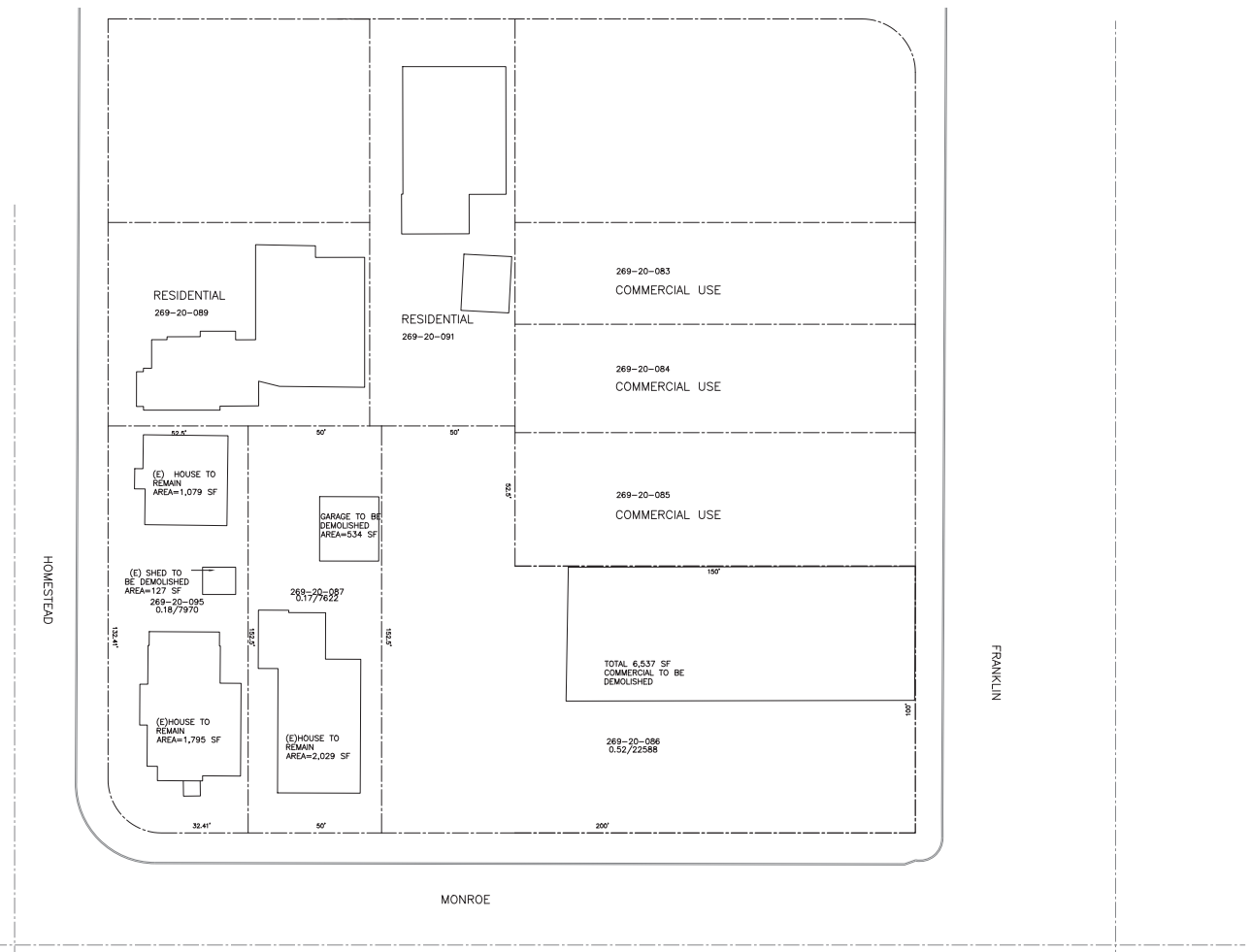
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SCALE: 1/16"=1'-0"
JOB No.: 19.10.07
SHEET No.:

PROJECT :
SANTA CLARA
DOWNTOWN
WASHINGTON HIGHWAY ST
 SANTA CLARA, CA 95050
 &
 1541 HOMESTEAD RD,
 SANTA CLARA, CA 95050

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 3. APPROVED BY ARCHITECT/ENGINEER (DATE)

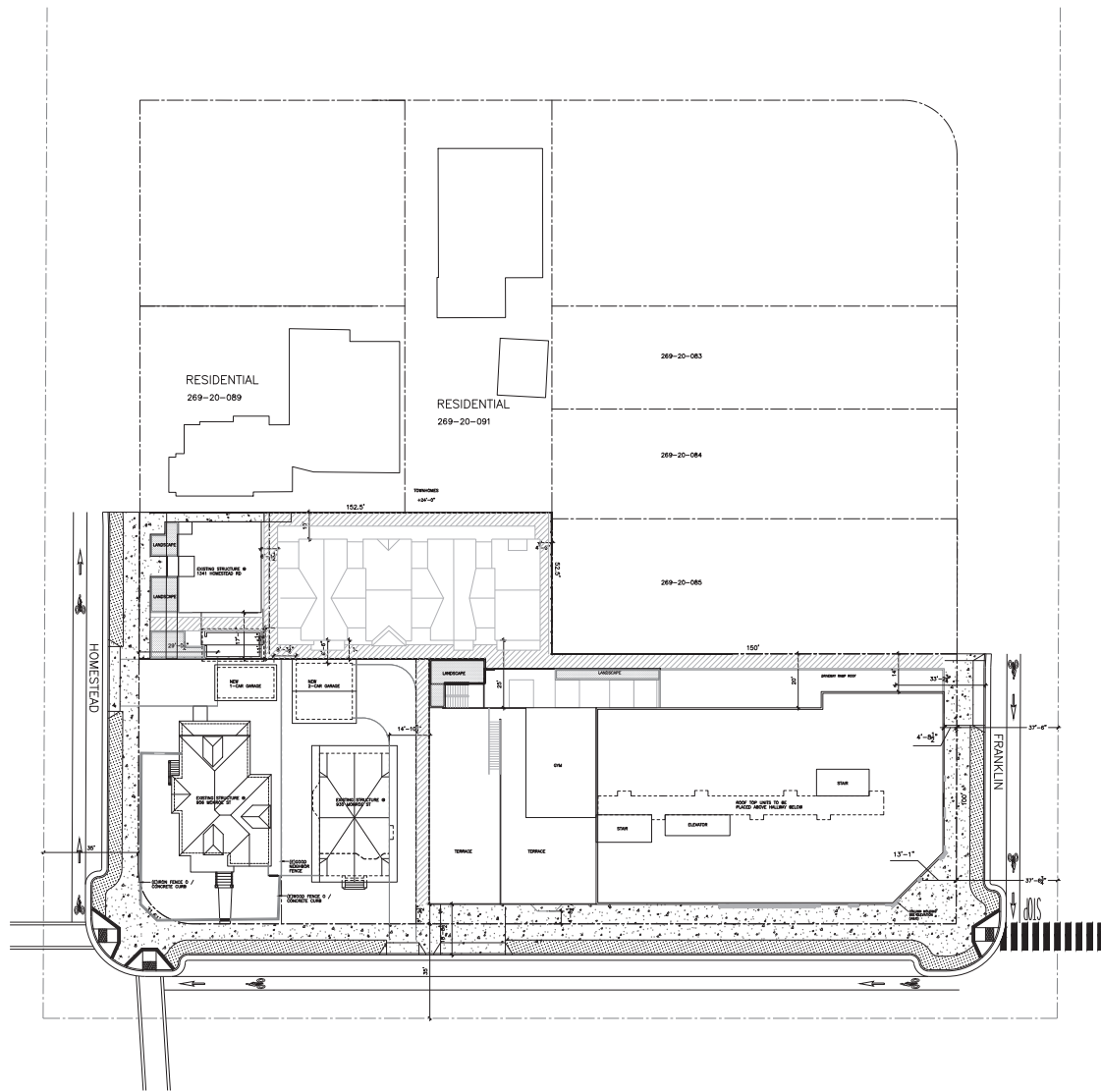


① EXISTING SITE PLAN SCALE: 1/16"=1'-0"

SHEET NAME :
 EXISTING SITE PLAN

REVISIONS	BY

DRAWN:
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DATE: 05/17/2023
SCALE: 1/16"=1'-0"
JOB No.: 19.10.07
SHEET No.:



1 PROPOSED SITE PLAN SCALE: 1/16"=1'-0"

PROJECT :
SANTA CLARA DOWNTOWN
 380 CALIFORNIA AVENUE, SUITE 200
 SANTA CLARA, CA 95050
 1541 HOMESTEAD RD.
 SANTA CLARA, CA 95050

- GENERAL NOTES :
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 3. APPROVED - BY DATE AND SIGNATURE

SHEET NAME :
 PROPOSED SITE PLAN

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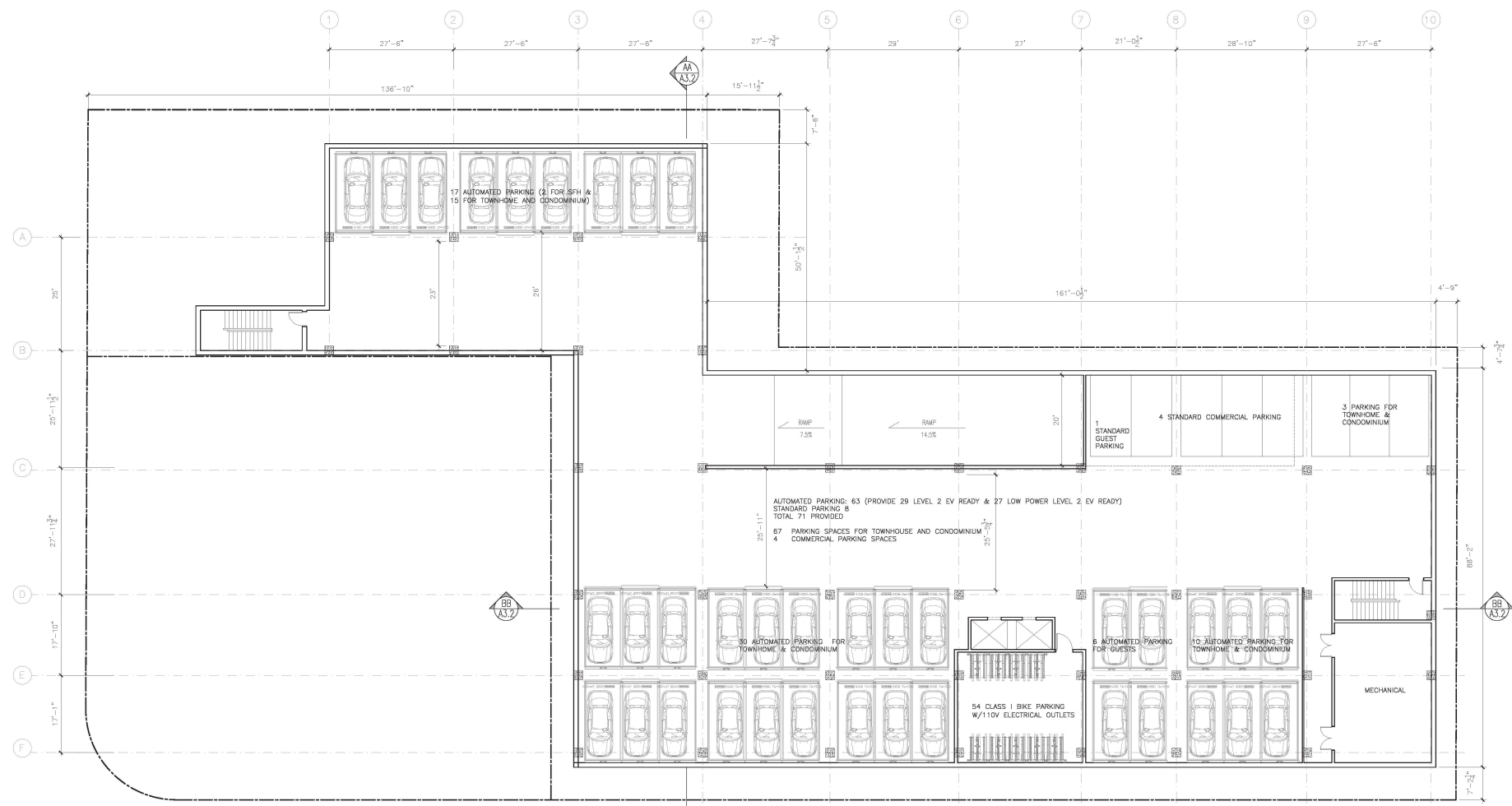
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 DATE: 05/17/2023
 SCALE: 1/16"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

PROJECT :

**SANTA CLARA
DOWNTOWN**
945 RICHMOND ST
SANTA CLARA, CA 95050
&
1811 RICHMOND RD.
SANTA CLARA, CA 95050

GENERAL NOTES :

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- ALL NOTES AND DIMENSIONS ARE THE PROPERTY OF SCDC.
- THESE PLANS AND SPECIFICATIONS ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND ARE SUBJECT TO CHANGE WITHOUT NOTICE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.



1 PROPOSED BASEMENT PLAN SCALE: 1/16"=1'-0"

PARKING ANALYSIS			
RESIDENTIAL			
	REQUIRED	PROVIDED	NOTE
TOWNHOME	NOT REQUIRED PER AB 2087	0	57 PROVIDED IN BASEMENT, 4 IN PROVIDED ON GROUND FLOOR, TOTAL 60 PROVIDED. 7 OF THE 60 SPACES ARE ALLOCATED FOR GUEST PARKING.
CONDOMINIUM	NOT REQUIRED PER AB 2087	0	
1341 RICHMOND RD	NOT REQUIRED PER AB 2087	0	
1341 RICHMOND RD	NOT REQUIRED PER AB 2087	0	
TOTAL FOR RESIDENTIAL		60	
VAN ACCESSIBLE	1	1	PROVIDED ON GROUND FLOOR AS PART OF RESIDENTIAL PARKING
ACCESSIBLE	1	1	
REQUIRED LEVEL 2 EV READY (TOTAL 50 UNITS)	1 FOR EACH FIRST 20 UNITS	20	
	1 FOR EACH SUBSEQUENT 10 UNITS	9	
TOTAL NUMBER OF LEVEL 2 EV READY	27	27	PROVIDED BY AUTOMATED PARKING SYSTEM IN BASEMENT
TOTAL NUMBER OF LOW POWER LEVEL 2 EV READY	27	27	
SINGLE FAMILY HOUSE			
930 RICHMOND ST	NOT REQUIRED PER AB 2087	0	2-CAR GARAGE ON GROUND
930 RICHMOND ST	NOT REQUIRED PER AB 2087	0	1-CAR GARAGE ON GROUND
REQUIRED CLASS 1 PER CITY COMMENTS	54	54	PROVIDED IN BASEMENT WITH 100V OUTLETS
REQUIRED CLASS 1 PER CITY COMMENTS	4	6	PROVIDED ON GROUND FLOOR
COMMERCIAL			
	REQUIRED	PROVIDED	NOTE
TOTAL COMMERCIAL PARKING PROVIDED	NOT REQUIRED PER AB 2087	0	5 PROVIDED ON GROUND FLOOR, 4 IN BASEMENT
VAN ACCESSIBLE	1	1	PROVIDED ON GROUND FLOOR
CLEAN AIR VEHICLES	1	1	PROVIDED ON GROUND FLOOR
VAN IC EVS	1	1	PROVIDED ON GROUND FLOOR
REQUIRED CLASS 1 PER CITY COMMENTS	1	1	GROUND FLOOR NEXT TO PARKING
REQUIRED CLASS 1 PER CITY COMMENTS	4	6	PROVIDED ON GROUND FLOOR
COMBINED TOTAL AUTOMOBILE PARKING SPACES		61	
COMBINED TOTAL BIKE PARKING SPACES		66	
NOTES			
1. OF THE AUTOMOBILE PARKING SPACES 56 OF THE 61 PARKING SPOTS ARE EV READY.			
2. ELECTRIC BIKE CHARGING IS AVAILABLE IN THE BASEMENT BIKE PARKING AREA WHICH CONTAINS 54 BIKES.			
3. ELECTRIC BIKE CHARGING WILL ALSO BE AVAILABLE AT BOTH THE CLASS 1 AND CLASS 8 BIKE PARKING AREA ON THE GROUND FLOOR FOR AN ADDITIONAL 12 BIKE PARKING SPACES.			

SHEET NAME :

**PROPOSED
BASEMENT PLAN**

REVISIONS	BY

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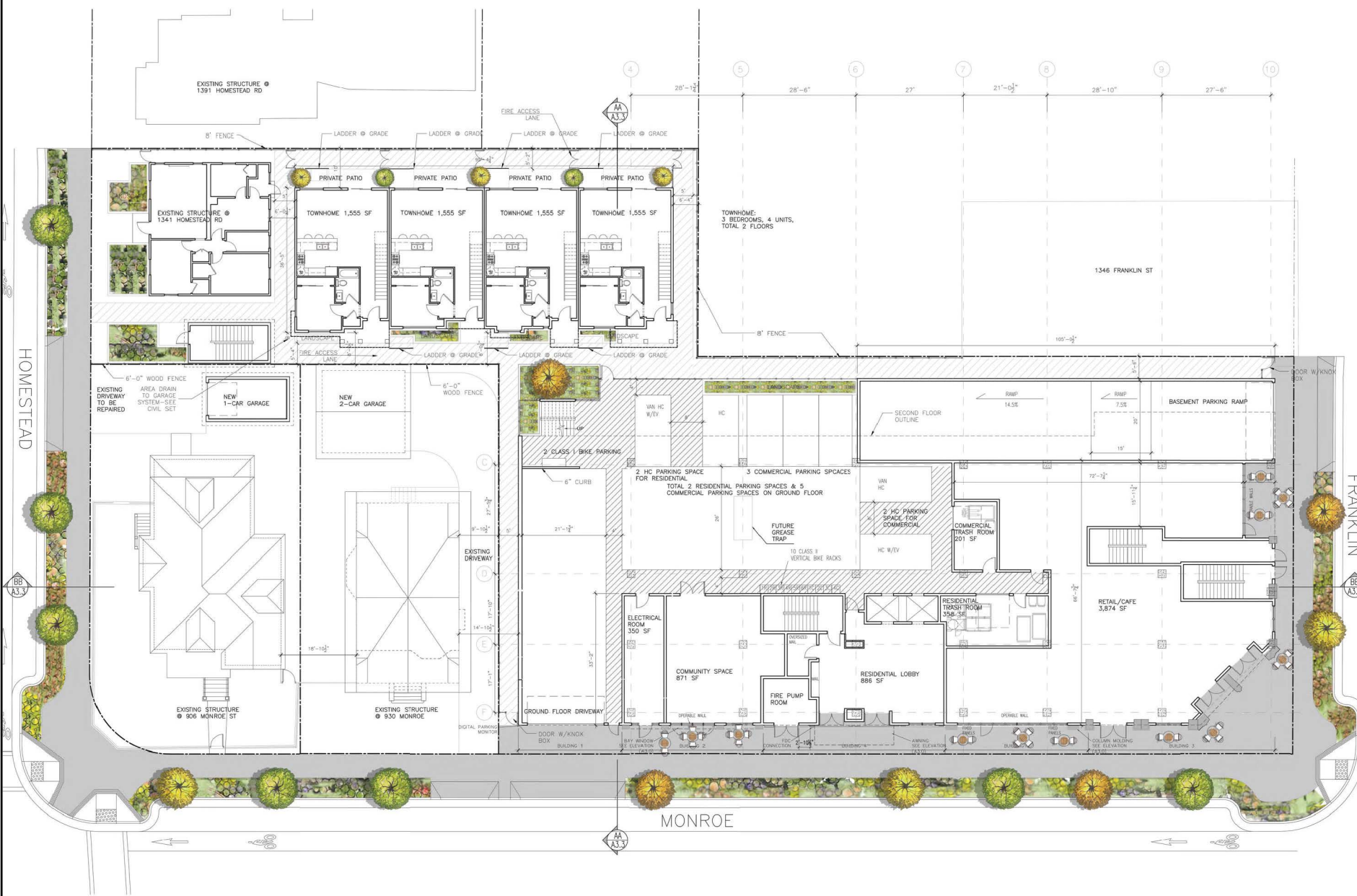
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DATE: 05/17/2023

SCALE: 1/16"=1'-0"

JOB No.: 19.16.07

SHEET No.:



1 PROPOSED 1ST FLOOR PLAN

SCALE: 1/8"=1'-0"

SHEET NAME :

PROPOSED
1ST FLOOR PLAN

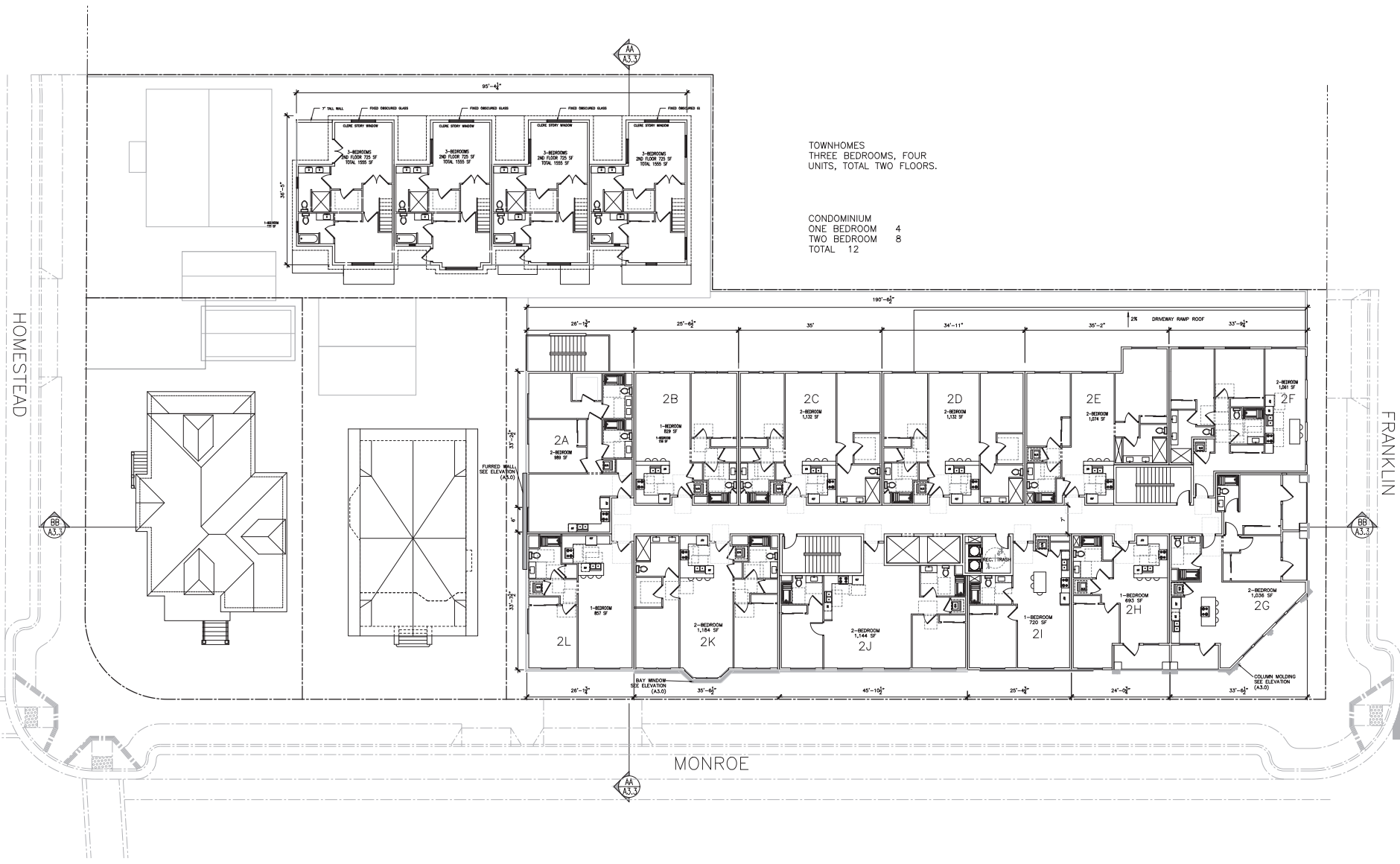
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SCALE:	1/8"=1'-0"
JOB No.:	18.10.07
SHEET No.:	

PROJECT :

SANTA CLARA DOWNTOWN
WASHINGTON/HOMESTEAD ST
 SANTA CLARA, CA 95050
 &
 1541 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
 1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
 2. THIS SHEET IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 3. APPROVED BY ARCHITECT: SALVATORE CARUSO



TOWNHOMES
 THREE BEDROOMS, FOUR
 UNITS, TOTAL TWO FLOORS.

CONDOMINIUM
 ONE BEDROOM 4
 TWO BEDROOM 8
 TOTAL 12

1 PROPOSED 2ND FLOOR PLAN SCALE: 1/8"=1'-0"

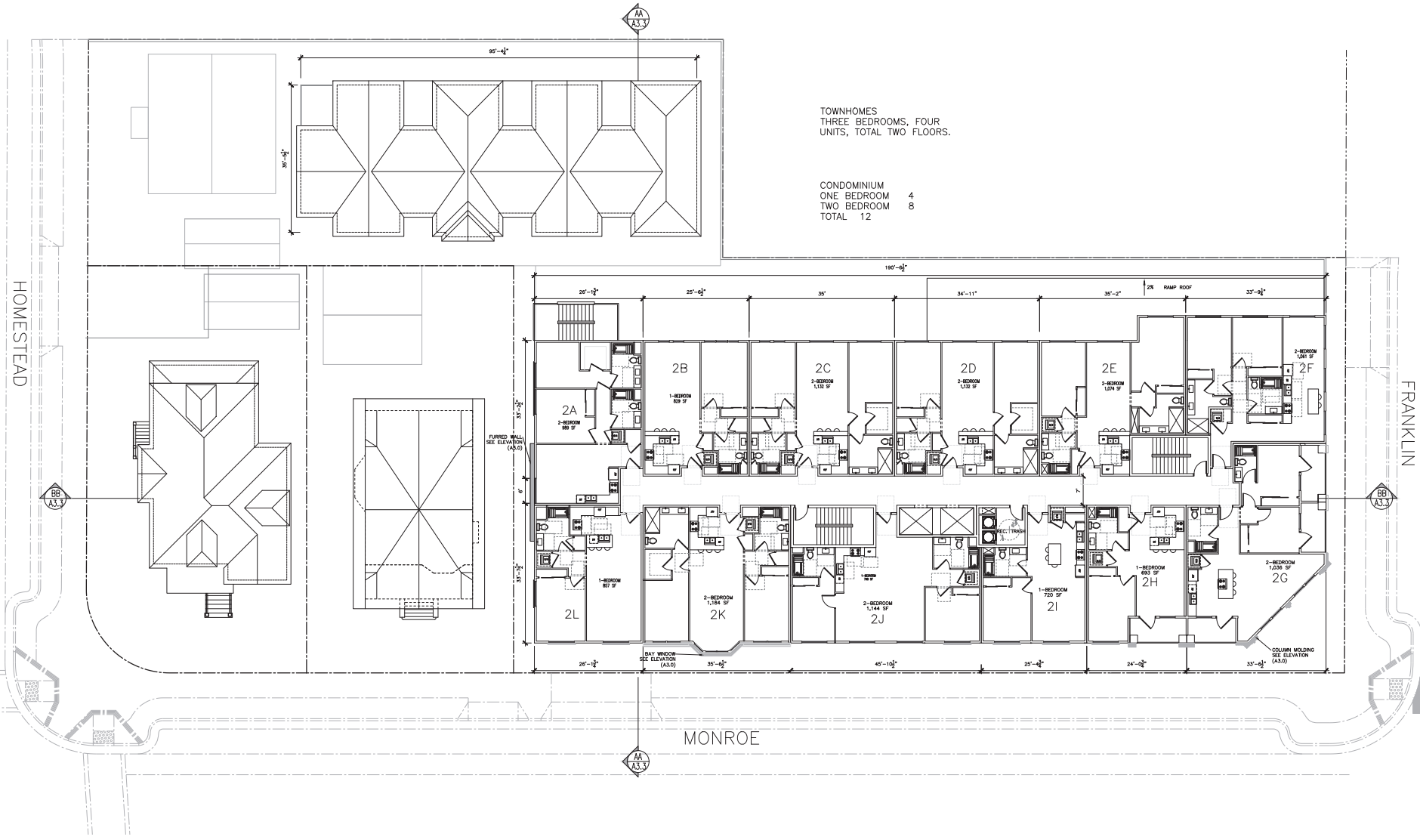
SHEET NAME :

PROPOSED 2ND FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

GENERAL NOTES:
 1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
 2. THIS SHEET IS FOR INFORMATION ONLY. THE ARCHITECT'S FIRM SHALL BE RESPONSIBLE FOR THE PROJECT'S DESIGN AND CONSTRUCTION.
 3. THE USER SHALL BE RESPONSIBLE FOR THE PROJECT'S DESIGN AND CONSTRUCTION.
 4. APPROVED BY ARCHITECT: SALVATORE CARUSO



TOWNHOMES
 THREE BEDROOMS, FOUR
 UNITS, TOTAL TWO FLOORS.

CONDOMINIUM
 ONE BEDROOM 4
 TWO BEDROOM 8
 TOTAL 12

1 PROPOSED 3RD FLOOR PLAN

SCALE: 1/8"=1'-0"

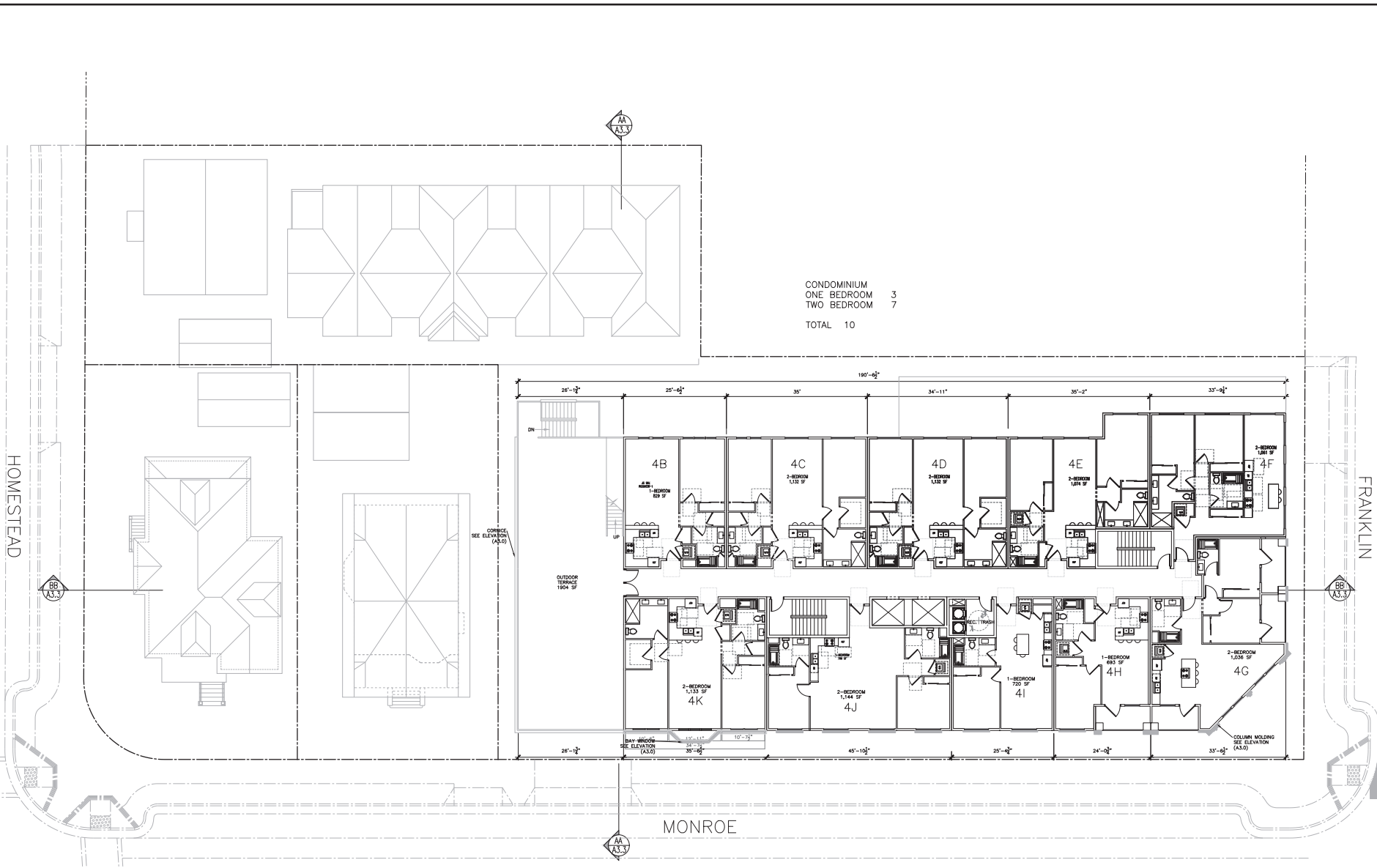
SHEET NAME:
 PROPOSED
 3RD FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

PROJECT:
SANTA CLARA DOWNTOWN
 WASHINGTON MONROE ST
 SANTA CLARA, CA 95050
 1511 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES:
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 2. THIS SHEET IS FOR INFORMATION ONLY. THE ARCHITECT'S FIRM IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS SHEET.
 3. THIS SHEET IS FOR INFORMATION ONLY. THE ARCHITECT'S FIRM IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS SHEET.
 4. APPROVED BY: SALVATORE CARUSO, ARCHITECT



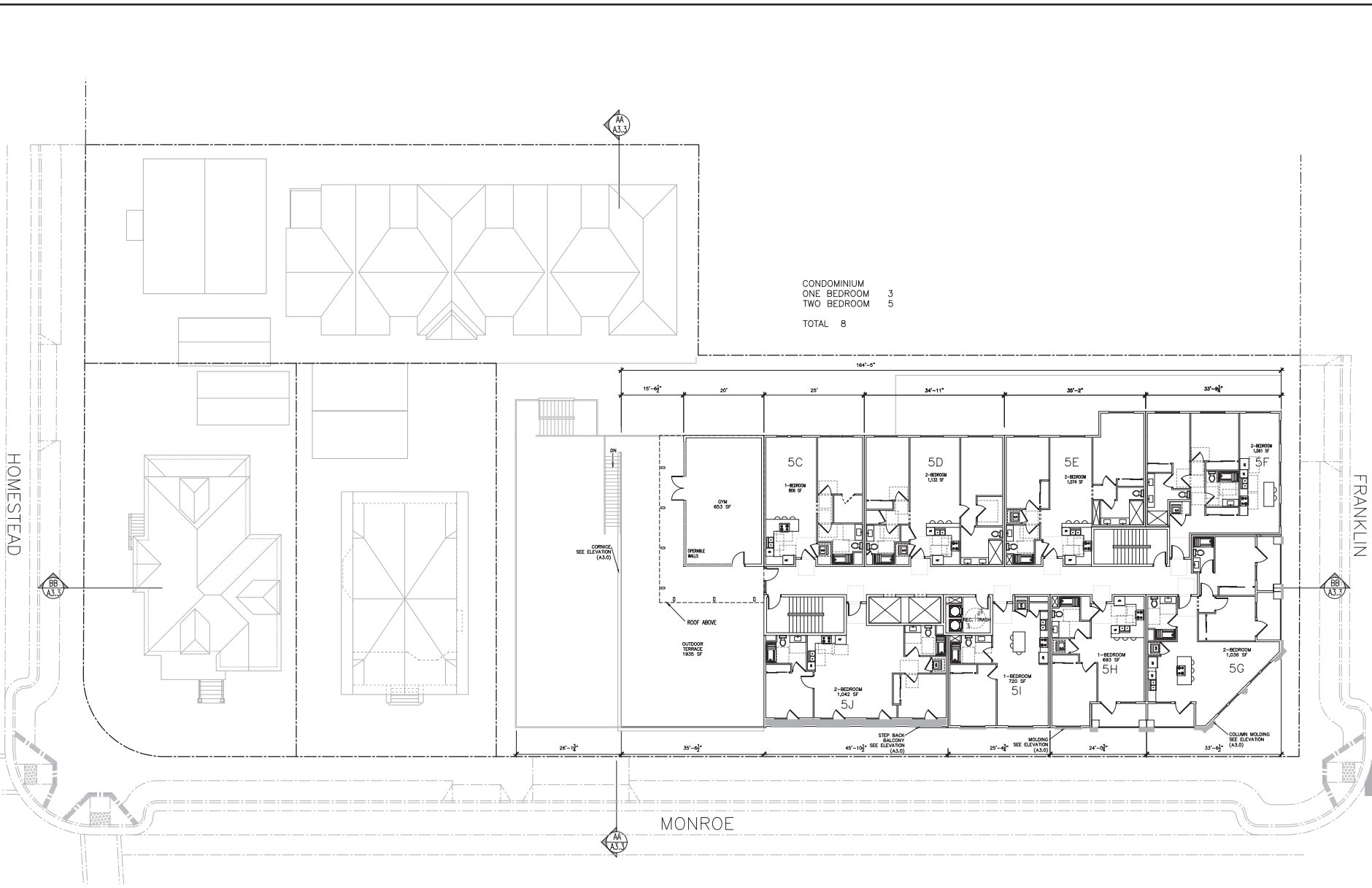
CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 7
 TOTAL 10

1 PROPOSED 4TH FLOOR PLAN SCALE: 1/8"=1'-0"

SHEET NAME:
 PROPOSED
 4TH FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:



CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 5
 TOTAL 8

1 PROPOSED 5TH FLOOR PLAN SCALE: 1/8"=1'-0"

SHEET NAME:
PROPOSED 5TH FLOOR PLAN

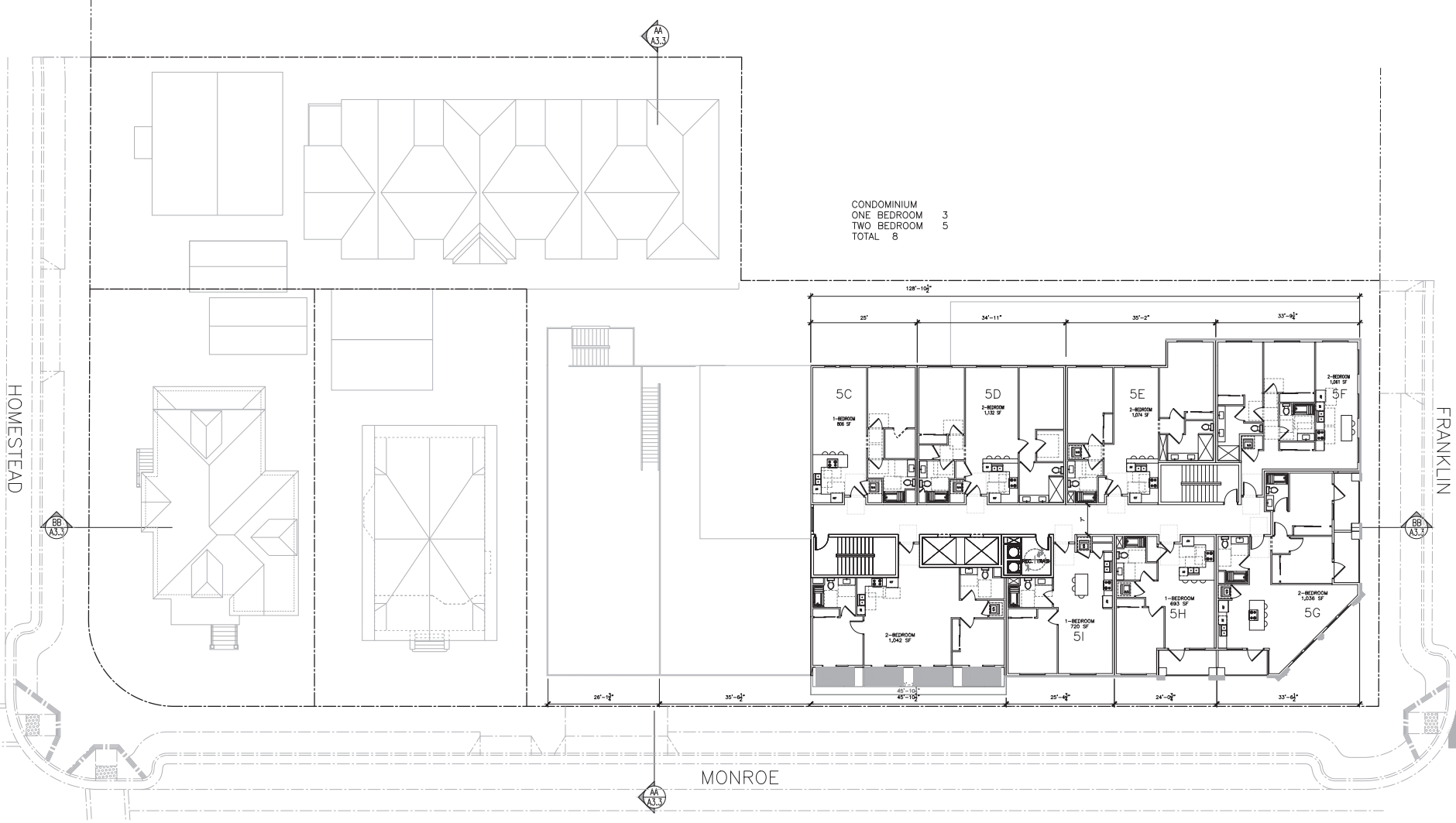
REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE: 1/8"=1'-0"
 SCALE: 19.10.07
 SHEET No.:

PROJECT:
SANTA CLARA DOWNTOWN
 1541 HOMESTEAD RD. SANTA CLARA, CA 95050

GENERAL NOTES:
 1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
 2. THIS SHEET IS FOR INFORMATION ONLY. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.
 3. THIS SHEET IS FOR INFORMATION ONLY. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.
 4. APPROVED BY: [Signature]

CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 5
 TOTAL 8



1 PROPOSED 6TH FLOOR PLAN SCALE: 1/8"=1'-0"

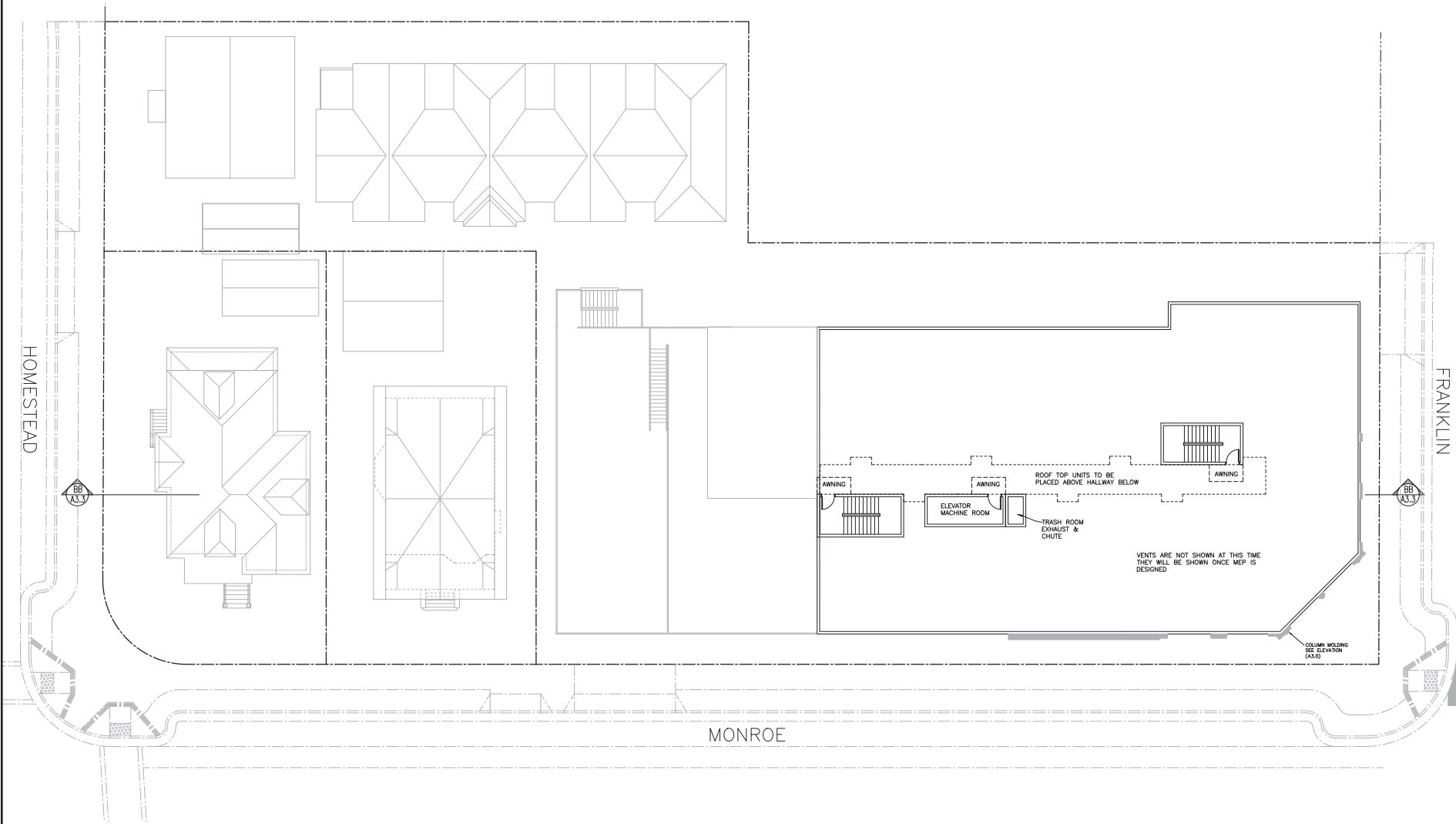
SHEET NAME:
 PROPOSED 6TH FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:

PROJECT :
SANTA CLARA DOWNTOWN
WASHINGTON BROTHERS ST
 SANTA CLARA, CA 95050
 1541 HOMESTEAD RD.
 SANTA CLARA, CA 95050

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 3. APPROVED BY ARCHITECT SALVATORE CARUSO



1 PROPOSED ROOF PLAN

SCALE : 1/8"=1'-0"

SHEET NAME :
PROPOSED ROOF PLAN

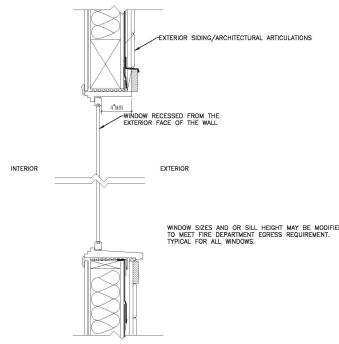
REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE: 1/8"=1'-0"
 SCALE: 19.10.07
 SHEET No.:



3 PROPOSED EAST ELEVATION (MONROE)

SCALE: 1/8"=1'-0"



5 PROPOSED GARAGE ELEVATION (906 MONROE)

SCALE: 1 1/2"=1'-0"



1 PROPOSED NORTH ELEVATION (FRANKLIN)

SCALE: 1/8"=1'-0"



SHEET NAME :

PROPOSED ELEVATIONS

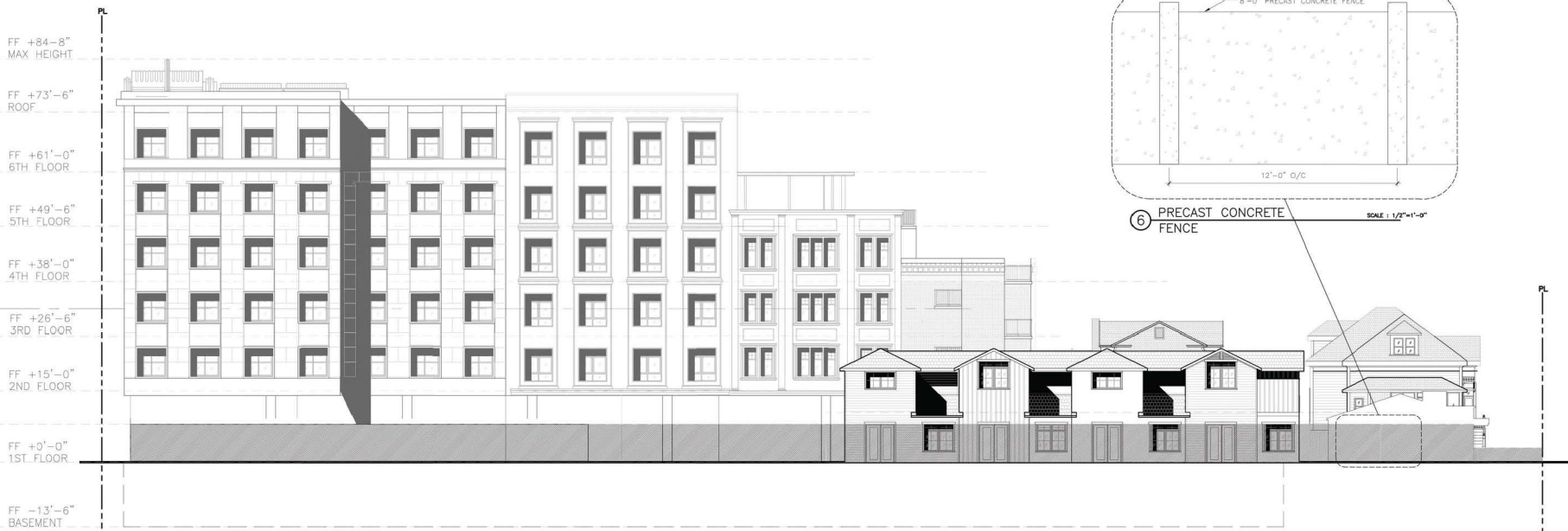
REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/8"=1'-0"
JOB No.:	18.10.07
SHEET No.:	

PROJECT :

**SANTA CLARA
 DOWNTOWN**
3400/3410/3420 HOMESTEAD ST
 SANTA CLARA, CA 95050
 &
 1341 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
 1. THIS SHEET IS PART OF A SET OF ARCHITECTURAL DRAWINGS.
 2. THE SHEET IS NOT TO BE USED SEPARATELY FROM THE PROJECT'S OTHER DRAWINGS.
 3. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND DATA PROVIDED ON THIS SHEET.
 4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 5. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 6. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



④ PROPOSED WEST ELEVATION SCALE : 1/8"=1'-0"



① PROPOSED SOUTH ELEVATION (HOMESTEAD) SCALE : 1/8"=1'-0"



SHEET NAME :

PROPOSED ELEVATIONS

REVISIONS	BY

CHECKED:	DATE: 05/17/2023
SCALE: 1/8"=1'-0"	
JOB NO: 18.10.07	
SHEET NO:	

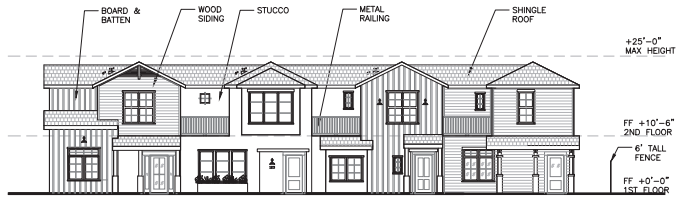
PROJECT :
SANTA CLARA DOWNTOWN
 345 CALIFORNIA AVENUE, SUITE 100
 SANTA CLARA, CA 95050
 1541 BURNSTED DRIVE
 SANTA CLARA, CA 95050

GENERAL NOTES :
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 4. APPROVED BY ARCHITECT: SALVATORE CARUSO

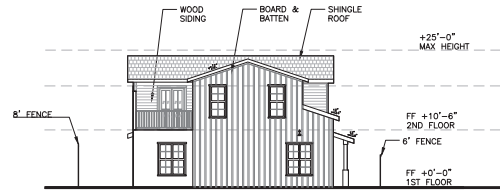
SHEET NAME :
PROPOSED TOWNHOME ELEVATIONS

REVISIONS	BY

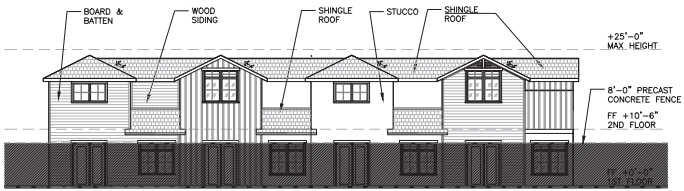
DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 18.10.07
 SHEET No.:



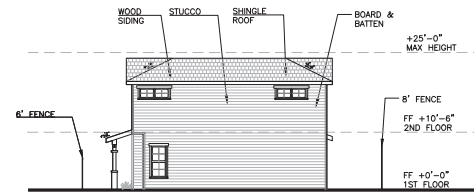
① TOWNHOMES PROPOSED EAST ELEVATION SCALE : 1/8"=1'-0"



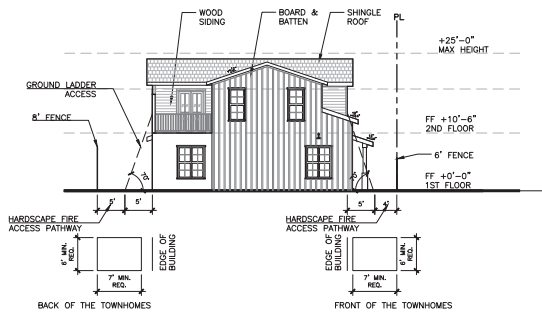
② TOWNHOMES PROPOSED SOUTH ELEVATION SCALE : 1/8"=1'-0"



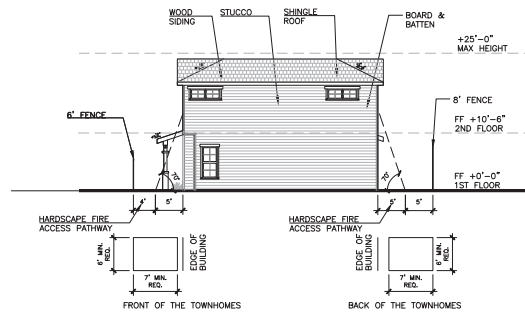
③ TOWNHOMES PROPOSED WEST ELEVATION SCALE : 1/8"=1'-0"



④ TOWNHOMES PROPOSED NORTH ELEVATION SCALE : 1/8"=1'-0"

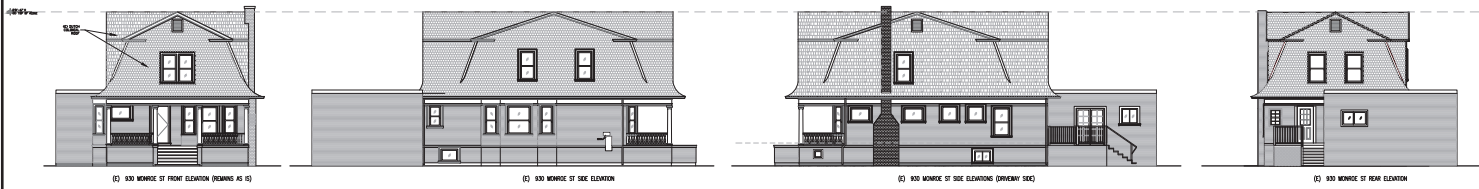


⑤ FIRE DEPARTMENT GROUND LADDER ACCESS SCALE : 1/8"=1'-0"

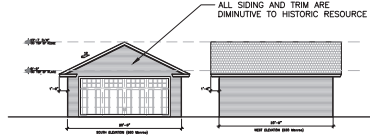


⑥ FIRE DEPARTMENT GROUND LADDER ACCESS SCALE : 1/8"=1'-0"

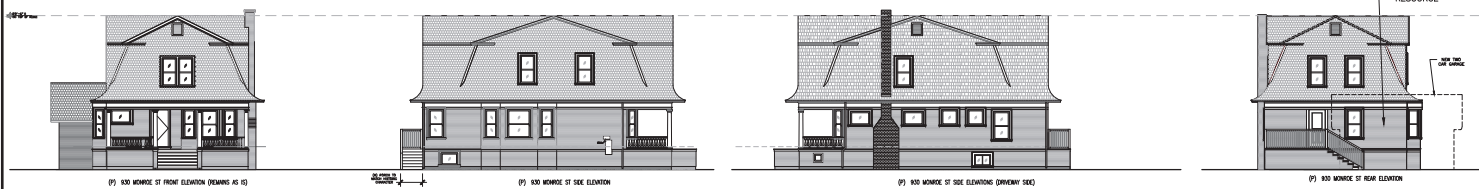
930 MONROE ST
 ELEVATIONS



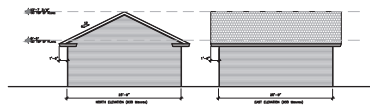
③ 930 MONROE ST
 EXISTING ELEVATIONS
 SCALE: 1/8"=1'-0"



⑥ 930 MONROE ST
 TWO CAR GARAGE ELEVATIONS
 SCALE: 1/2"=1'-0"

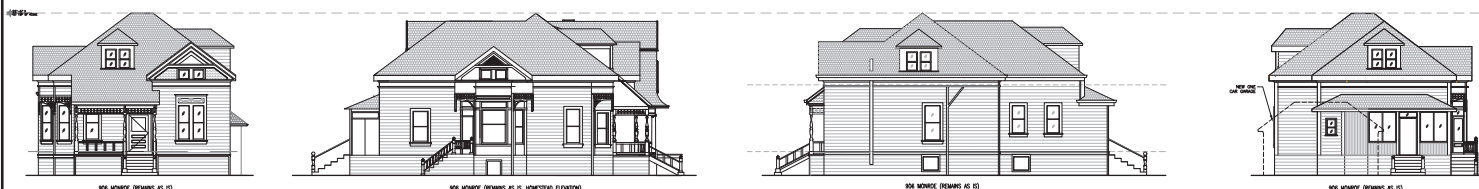


③ 930 MONROE ST
 PROPOSED ELEVATIONS
 SCALE: 1/8"=1'-0"

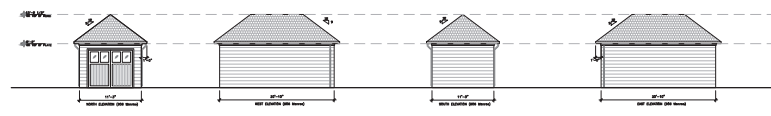


⑥ 930 MONROE ST
 TWO CAR GARAGE ELEVATIONS
 SCALE: 1/2"=1'-0"

906 MONROE ST
 ELEVATIONS



③ 906 MONROE ST
 EXISTING & PROPOSED ELEVATIONS
 SCALE: 1/8"=1'-0"

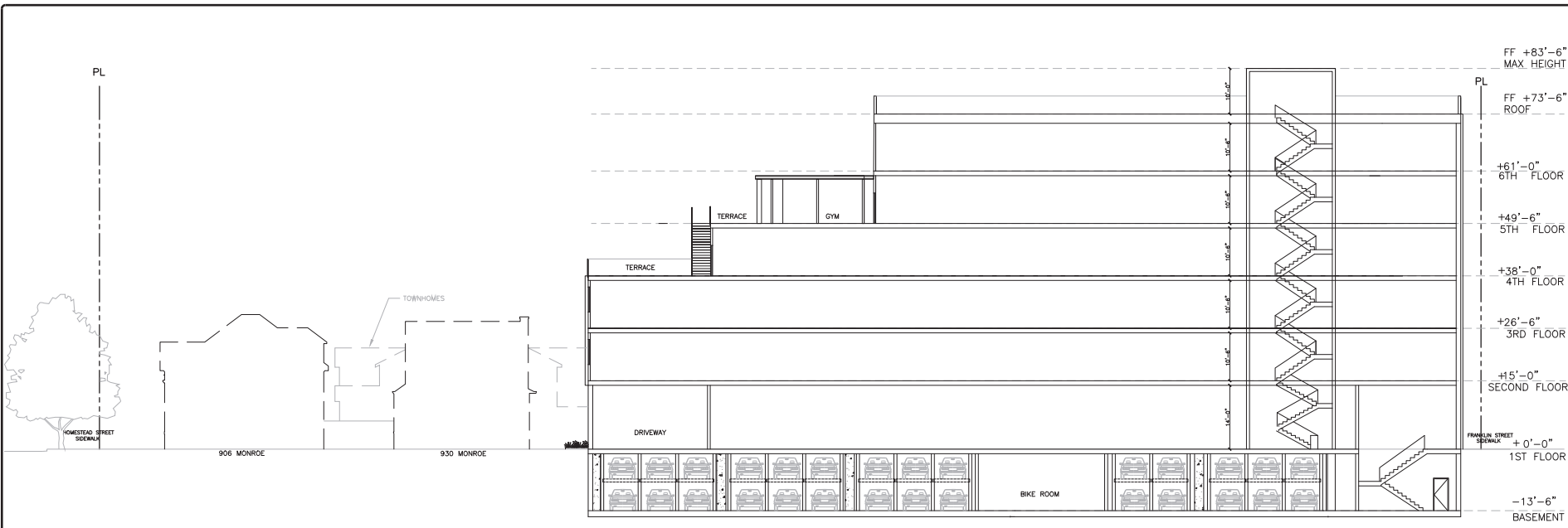


⑥ 906 MONROE ST
 ONE CAR GARAGE ELEVATIONS
 SCALE: 1/2"=1'-0"

SHEET NAME:
 EXISTING & PROPOSED
 ELEVATIONS
 HISTORIC HOMES

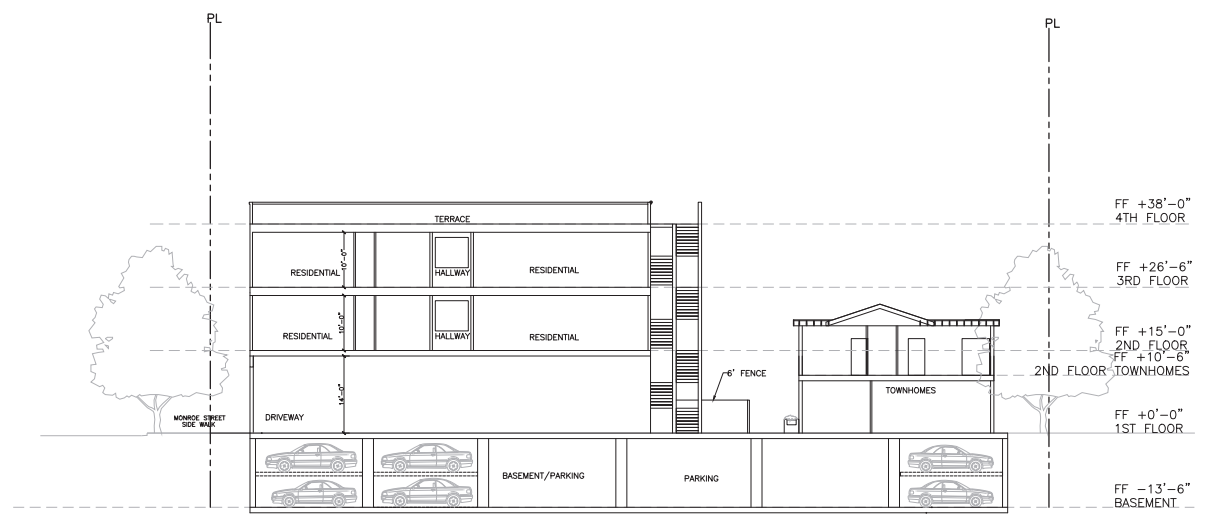
REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:



PROPOSED SECTION B-B

SCALE : 1/8"=1'-0"



PROPOSED SECTION A-A

SCALE : 1/8"=1'-0"

SHEET NAME :

SECTIONS

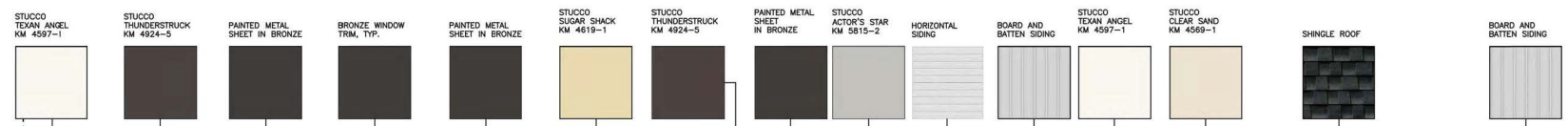
REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/8"=1'-0"
JOB No.:	19.10.07
SHEET No.:	

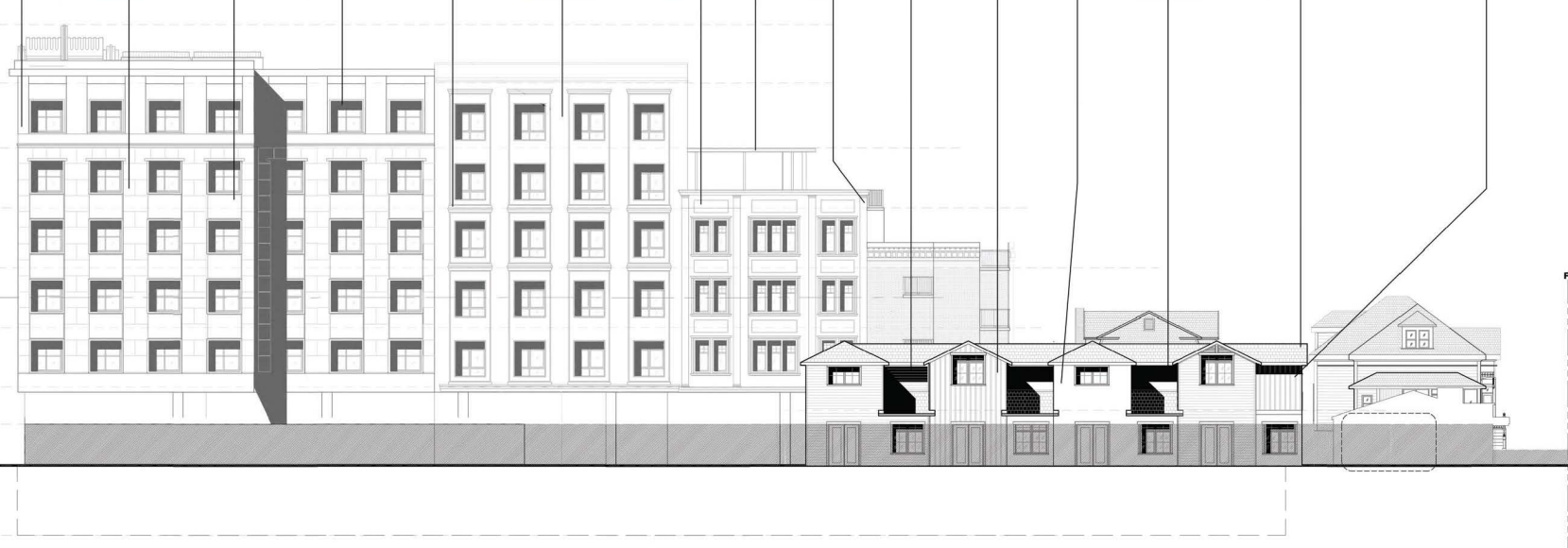


② PROPOSED EAST ELEVATION (MONROE)

SCALE : 1/8"=1'-0"



FF +84'-8" MAX HEIGHT
 FF +73'-6" ROOF
 FF +61'-0" 6TH FLOOR
 FF +49'-6" 5TH FLOOR
 FF +38'-0" 4TH FLOOR
 FF +26'-6" 3RD FLOOR
 FF +15'-0" 2ND FLOOR
 FF +0'-0" 1ST FLOOR
 FF -13'-6" BASEMENT



① PROPOSED WEST ELEVATION

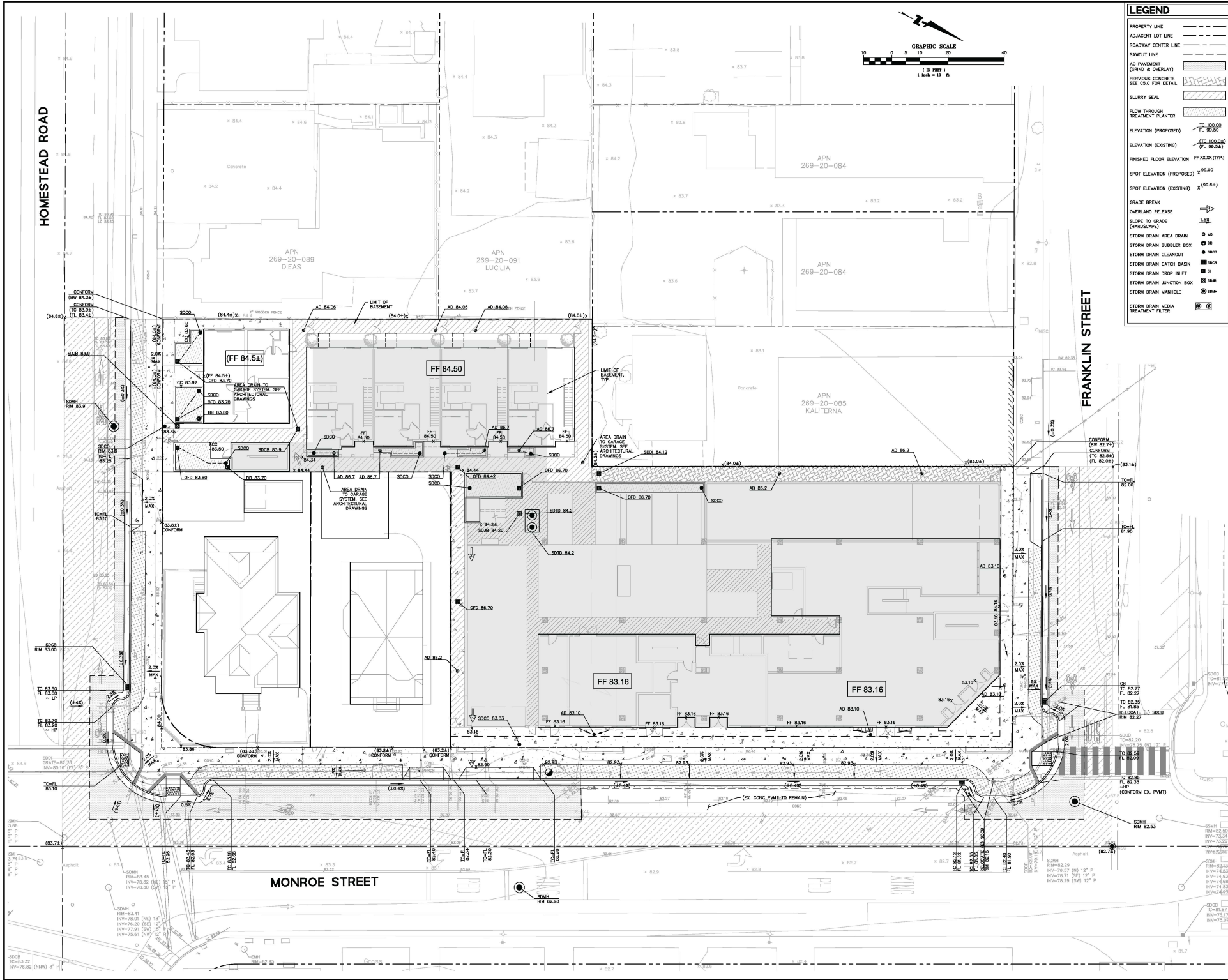
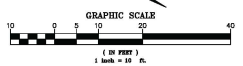
SCALE : 1/8"=1'-0"

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/8"=1'-0"
JOB No.:	18.10.07
SHEET No.:	

LEGEND

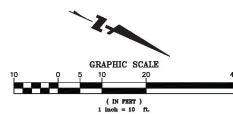
- PROPERTY LINE
- ADJACENT LOT LINE
- ROADWAY CENTER LINE
- SCARCUT LINE
- AC PAVEMENT (ORING & OVERLAY)
- PERVIOUS CONCRETE (SEE C.O. FOR DETAIL)
- SLURRY SEAL
- FLOW THROUGH TREATMENT PLANTER
- ELEVATION (PROPOSED) \times 99.00
- ELEVATION (EXISTING) \times 99.00
- FINISHED FLOOR ELEVATION FF XXXX (TYP.)
- SPOT ELEVATION (PROPOSED) \times 99.00
- SPOT ELEVATION (EXISTING) \times (99.56)
- GRADE BREAK
- OVERLAND RELEASE
- SLOPE TO GRADE (HARDSCAPE) 1.5%
- STORM DRAIN AREA DRAIN \odot 40
- STORM DRAIN BUBBLER BOX \odot 80
- STORM DRAIN CLEANOUT \odot 8000
- STORM DRAIN CATCH BASIN \odot 8000
- STORM DRAIN DROP INLET \odot 80
- STORM DRAIN JUNCTION BOX \odot 8000
- STORM DRAIN MANHOLE \odot 8000
- STORM DRAIN MEDIA TREATMENT FILTER \odot 8000



MONROE STREET

HOMESTEAD ROAD

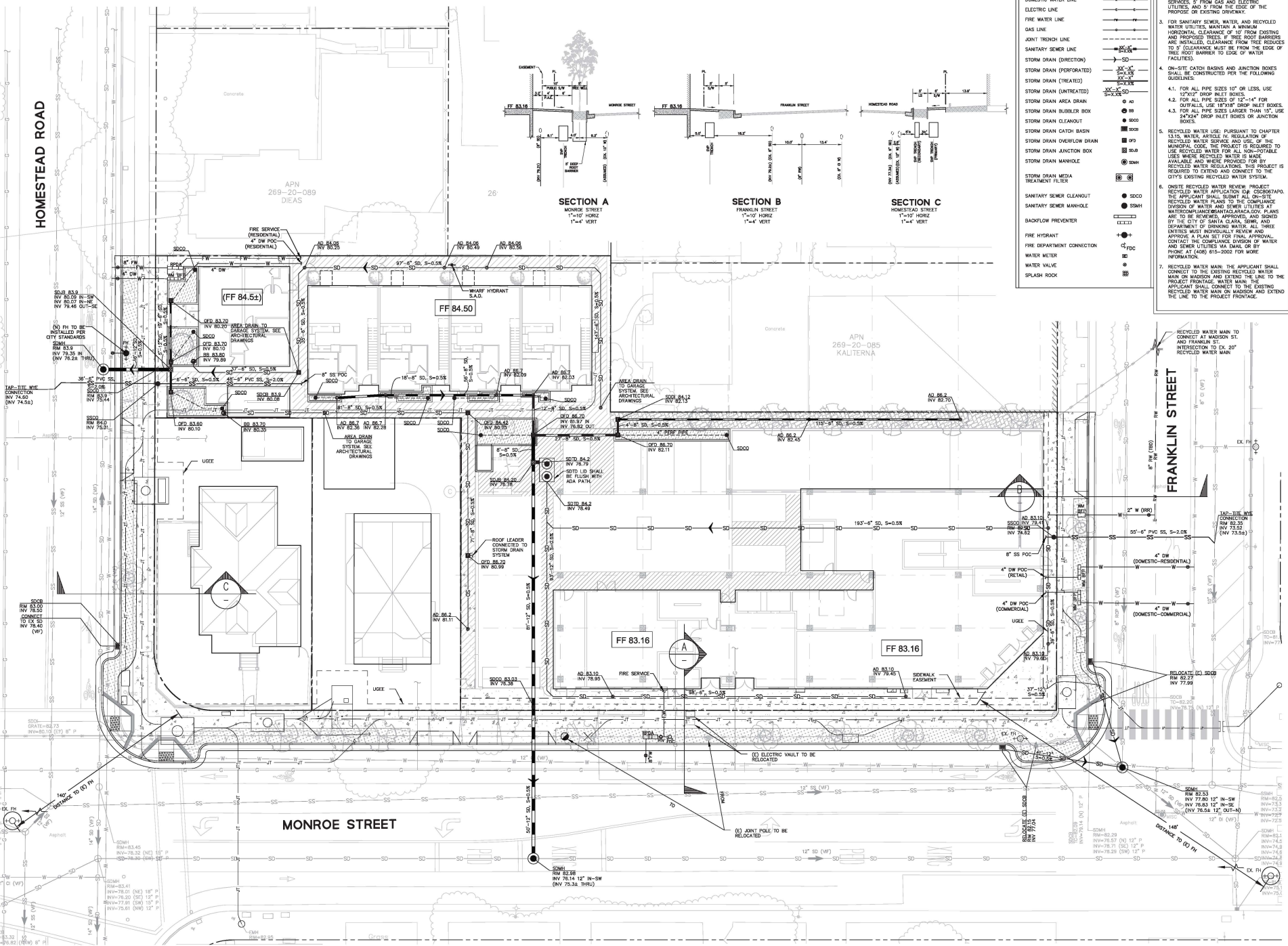
FRANKLIN STREET



LEGEND

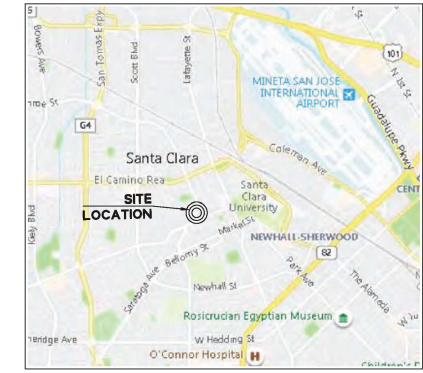
PROPERTY LINE	---
ADJACENT LOT LINE	---
ROADWAY CENTER LINE	---
ELEVATION	RM 500.00 INV 500.00
COMMUNICATION LINE	---
DOMESTIC WATER LINE	---
ELECTRIC LINE	---
FIRE WATER LINE	---
GAS LINE	---
JOINT TRENCH LINE	---
SANITARY SEWER LINE	---
STORM DRAIN (DIRECTION)	SD
STORM DRAIN (PERFORATED)	SD
STORM DRAIN (TREATED)	SD
STORM DRAIN (UNTREATED)	SD
STORM DRAIN AREA DRAIN	SD
STORM DRAIN BUBBLER BOX	SB
STORM DRAIN CLEANOUT	SC
STORM DRAIN CATCH BASIN	SCB
STORM DRAIN OVERFLOW DRAIN	SDO
STORM DRAIN JUNCTION BOX	SDJ
STORM DRAIN MANHOLE	SDM
STORM DRAIN MEDIA TREATMENT FILTER	SDM
SANITARY SEWER CLEANOUT	SSCO
SANITARY SEWER MANHOLE	SSMH
BACKFLOW PREVENTER	BP
FIRE HYDRANT	FH
FIRE DEPARTMENT CONNECTION	FDC
WATER METER	WM
WATER VALVE	WV
SPLASH ROCK	SR

- UTILITY NOTES**
- EXISTING WATER AND SEWER SERVICES TO BE ABANDONED PER WATER AND UTILITIES STANDARDS.
 - FOR WATER SERVICES, MAINTAIN A MINIMUM OF 12" OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES: 10' FROM SANITARY SEWER UTILITIES, 10' FROM RECYCLED WATER UTILITIES, 5' FROM FIRE AND OTHER WATER UTILITIES, 5' FROM ABANDONED WATER SERVICES, 5' FROM GAS AND ELECTRIC UTILITIES, AND 5' FROM THE EDGE OF THE PROPOSED OR EXISTING DRIVEWAY.
 - FOR SANITARY SEWER, WATER AND RECYCLED WATER UTILITIES, MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TREES. IF TREE ROOT BARRIERS ARE INSTALLED, CLEARANCE FROM TREE ROOTS TO 5' (CLEARANCE MUST BE FROM THE EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES).
 - ON-SITE CATCH BASINS AND JUNCTION BOXES SHALL BE CONSTRUCTED PER THE FOLLOWING GUIDELINES:
 - FOR ALL PIPE SIZES 10" OR LESS, USE 15"X12" DROOP INLET BOXES.
 - FOR ALL PIPE SIZES OF 12"-14" FOR OUTFALLS, USE 18"X18" DROOP INLET BOXES.
 - FOR ALL PIPE SIZES LARGER THAN 15", USE 24"X24" DROOP INLET BOXES OR JUNCTION BOXES.
 - RECYCLED WATER USE PURSUANT TO CHAPTER 13.15, WATER ARTICLE 16, REGULATION OF THE MUNICIPAL CODE, THE PROJECT IS REQUIRED TO MAKE RECYCLED WATER USE AVAILABLE AND WHERE PROVIDED FOR BY RECYCLED WATER REGULATIONS, THIS PROJECT IS REQUIRED TO EXTEND AND CONNECT TO THE CITY'S EXISTING RECYCLED WATER SYSTEM.
 - ON-SITE RECYCLED WATER REVIEW PROJECT RECYCLED WATER APPLICATION (RWA) COORDINATOR. THE APPLICANT SHALL SUBMIT AN ON-SITE RECYCLED WATER PLAN TO THE COMPLIANCE DIVISION OF WATER AND SEWER UTILITIES A WATER RESOURCE MANAGEMENT PLANS BY THE CITY OF SANTA CLARA, 906, 930, 940, & 950 MONROE STREET. ALL THREE DIVERSITY MUST INDIVIDUALLY REVIEW AND APPROVE A PLAN FOR FINAL APPROVAL. CONTACT THE COMPLIANCE DIVISION OF WATER AND SEWER UTILITIES FOR MORE INFORMATION. PHONE: AT (408) 615-2002 FOR MORE INFORMATION.
 - RECYCLED WATER MAIN: THE APPLICANT SHALL CONNECT TO THE EXISTING RECYCLED WATER MAIN ON MADISON AND EXTEND THE LINE TO THE INTERSECTION TO EX 20" RECYCLED WATER MAIN.

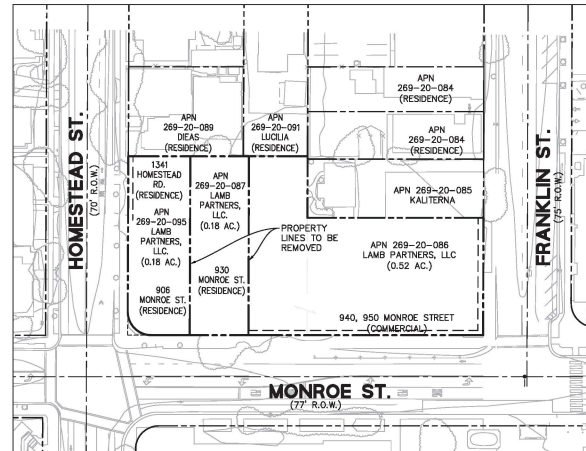


VESTING TENTATIVE MAP MONROE STREET FOR CONDOMINIUM PURPOSES

906, 930, 940 & 950 MONROE STREET AND 1341 HOMESTEAD STREET CITY OF SANTA CLARA, CALIFORNIA 95050 PLN2020-14457



VICINITY MAP
NTS



LOCATION MAP
SCALE: 1"=50'-0"

PROJECT SUMMARY:

1. OWNER/SUBVIDER: LAMB PARTNERS LLC, 535 MIDDLEFIELD RD, SUITE 190, MENLO PARK, CA 94025
2. MAP PREPARED BY: BKF ENGINEERS CONSULTING ENGINEERS, 1730 N. FIRST STREET, SUITE 600, SAN JOSE, CA 95110, (408) 467-9100, CONTACT: PATRICK CHAN, P.E. (LICENSE # CB3189)
3. GEOTECHNICAL ENG.: CORNERSTONE EARTHROUP, 1255 OAKMEAD PARKWAY, SUNNYVALE, CA 94085, (408) 245-4420, CONTACT: MAURA F. RUFFATTO, P.E.
4. APN: 269-20-086/087/095
5. GENERAL PLAN USE: COMMUNITY MIXED-USE
6. EXISTING LAND USE: COMMERCIAL AND RESIDENTIAL USE
7. PROPOSED LAND USE: MIXED-USE (RESIDENTIAL, MULTI-FAMILY AND COMMERCIAL/RETAIL-RESTAURANT)
8. EXISTING ZONING: HT-HISTORICAL COMBINING (906 MONROE ST. AND 1341 HOMESTEAD ST., APN 269-20-095); O2-GENERAL OFFICE (930 MONROE ST., APN 269-20-087); O2-COMMUNITY COMMERCIAL (940-950 MONROE ST., APN 269-20-086);
9. REZONING: PLANNED DEVELOPMENT
10. NO. OF EXISTING LOTS: 3
11. TOTAL ACREAGE: 0.88 ACRES (38,217-SF)
12. SOIL TYPE: SILTY CLAY LOAM/SANDY LOAM
13. DEPTH TO GROUNDWATER: 12-FT
14. FLOOD ZONE ELEVATION: ZONE X
15. NUMBER OF STORY: 1 LEVEL OF BASEMENT TOWNHOMES; 2 STORIES (ABOVE GRADE) CONDOMINIUM; 6 STORIES (ABOVE GRADE)
16. OCCUPANCY GROUP: R-2 (5 STORIES OF RESIDENTIAL, 2 STORIES OF RESIDENTIAL), A-2 (GROUND LEVEL) AND S-2 (PARKING AT BASEMENT LEVEL)
17. TYPE OF CONSTRUCTION: TOWNHOMES: V-A CONDOMINIUM: I-A FOR BASEMENT AND GROUND LEVEL, V-A FOR UPPER FLOORS
18. AUTOMATIC FIRE SPRINKLER: YES
19. PROPOSED HEIGHT: 74'-0"
- NO. OF CONDOMINIUM UNITS PROPOSED: 60 CONDOMINIUM UNITS PROPOSED
 LOT 1- 55 RESIDENTIAL CONDOMINIUM UNITS
 1 CONDOMINIUM UNIT FOR ALL FLOOR COMMON AREAS
 2 BASEMENT PARKING GARAGE CONDOMINIUM UNITS
 3 RETAIL CONDOMINIUM UNITS
 LOT 2- (E) SINGLE FAMILY HOME
 LOT 3- (E) SINGLE FAMILY HOME

NOTES:

1. THE FILING OF THIS VESTING TENTATIVE MAP IS CONCURRENT TO THE PLANNED DEVELOPMENT REZONING AND THE PLANNED DEVELOPMENT PERMIT PLN2020-14457. THOSE PLANS AND STANDARDS WILL BE INCLUDED IN THIS SUBMITTAL.
2. THIS MAP PROVIDES FOR THE CREATION OF TWO SEPARATE LOTS FOR SINGLE FAMILY RESIDENTIAL AND A SINGLE, DEVELOPABLE LOT TO BE FURTHER SUBDIVIDED VIA SEPARATE RESIDENTIAL CONDOMINIUM MAP INTO 60 CONDOMINIUM UNITS.
3. UTILITY DEDICATIONS: THE ON-SITE STORM DRAIN, SANITARY SEWER, AND WATER SYSTEMS WILL BE PRIVATELY MAINTAINED.
4. ANY EXISTING WELL(S) ON THE SUBJECT PROPERTY: TBD.
5. ANY POTENTIALLY DANGEROUS AREAS WITHIN AND ADJACENT TO THE PROPOSED SUBDIVISION AND ON LANDS IMMEDIATELY ADJACENT THERETO: NONE.
6. NO EXISTING PUBLIC OR PRIVATE EASEMENTS OF UTILITY, DRAINAGE, SEWER, PARKING ACCESS AND OTHER PURPOSES.

BASIS OF BEARINGS:

THE BEARING OF S66°10'43"W ALONG THE CENTER LINE OF FRANKLIN STREET, BETWEEN MADISON STREET AND MONROE STREET AS SHOWN HEREON, AND AS SHOWN ON BOOK 442 OF MAPS, PAGE 26.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY IS BENCHMARK A-9, FOUND AT BENTON STREET AND MONROE STREET, SE CORNER, TOP OF LETTER "C" IN WORD "CAL" ON TOP OF CATCH BASIN HOOD.

ELEVATION = 78.21 FEET (NAVD88 DATUM)

UTILITY COMPANY:

1. ELECTRICITY: SILICON VALLEY POWER
2. GAS: PG&E
3. WATER AND SEWER: CITY OF SANTA CLARA, WATER AND SEWER DEPARTMENT
4. GARBAGE: MISSION TRAIL WASTE SYSTEM (CLEAN GREEN)
5. RECYCLING: RECOLOGY SILICON VALLEY

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- STREET CENTER LINE

SHEET INDEX

SHEET	DESCRIPTION
TM-1	TITLE SHEET
TM-2	SITE PLAN/MAP SHEET

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AC	ASPHALT CONCRETE	LG	LIP OF GUTTER
AD	AREA DRAIN	MH	MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	MON	MONUMENT
BDDG	BUILDING	(N)	NORTH/NEW
BM	BENCH MARK	N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
BW	BACK OF WALK/ BOTTOM OF WALL	N.G.V.D.	NATIONAL GEODETICS VERTICAL DATUM
C&G	CURB & GUTTER	NO. #	NUMBER
C	CENTERLINE	NTS	NOT TO SCALE
CON	CONCRETE	P.A.E.	PUBLIC ACCESS EASEMENT
CR	CURB RETURN	PCC	PORTLAND CEMENT CONCRETE
CVC	CENTER OF VERTICAL CURVE	PL	PROPERTY LINE
DIA	DIAMETER	PT	POINT
DWG	DRAWING	PV	PAVEMENT
EOR	END OF CURB RETURN ELEVATION	R	RADIUS
EP	EDGE OF PAVEMENT	RCR	REINFORCED CONCRETE PIPE
EVC	END VERTICAL CURVE	RT	RIGHT
EX	EXISTING	R/W	RIGHT OF WAY
F/C	FACE OF CURB	(S) OR S.	SOUTH
FT	FEET	STD	STANDARD
LT	LEFT	SW	SIDEWALK
L	LENGTH	S.W.E.	SIDEWALK EASEMENT
LF	LINEAR FEET	TYP.	TYPICAL
		UGEE	UNDERGROUND ELECTRICAL EASEMENT
		VF	VERIFY IN FIELD
		W/	WITH
		W.U.E.	WEST WATER UTILITY EASEMENT

CERTIFICATES & APPROVALS

1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95110
408-467-9100



VESTING TENTATIVE MAP
 906, 930, 940, & 950 MONROE STREET
 TITLE SHEET
 SANTA CLARA COUNTY
 CALIFORNIA

SANTA CLARA

No.	Revision

Date: 3/29/2023	
Drawn By: NOTED	
Checked By: M	
Approved: PC	
Job No: 20200003	

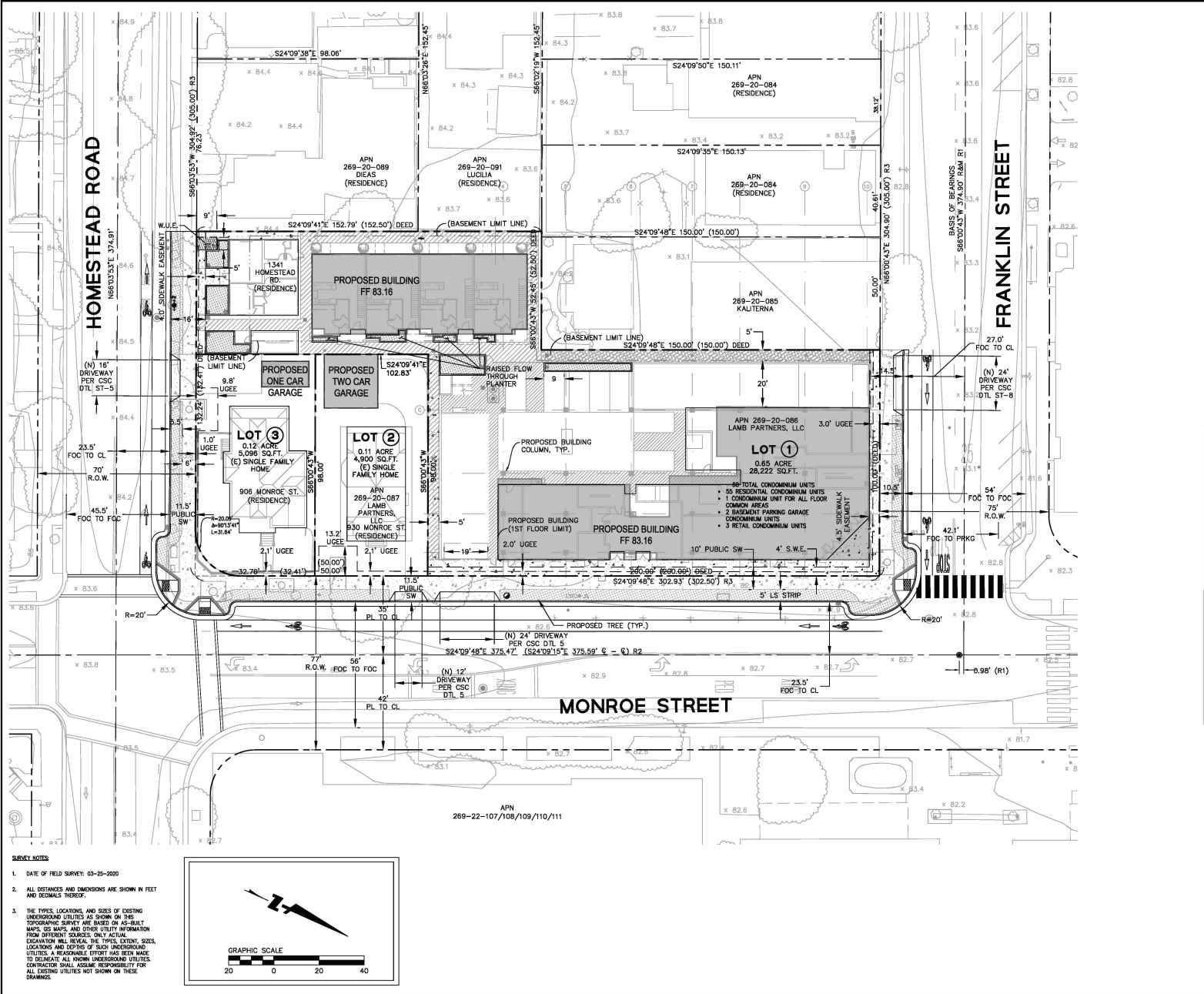
Drawing Number:
TM-1
1 of 2

1730 N. FIRST STREET
SUITE 600 CA 95110
SAN JOSE, CA
408-467-9100



VESTING TENTATIVE MAP
906, 930, 940, & 950 MONROE STREET
SITE PLAN/MAP SHEET
CALIFORNIA
SANTA CLARA COUNTY

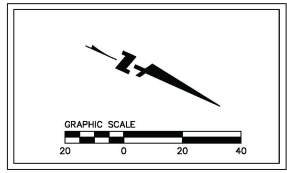
Revisions	No.	Date	By
		3/29/2023	AS NOTED
			Checked: M
			Approved: PC
			Job No: 20190603
Drawing Number:			
TM-2			
2 of 2			



LEGEND

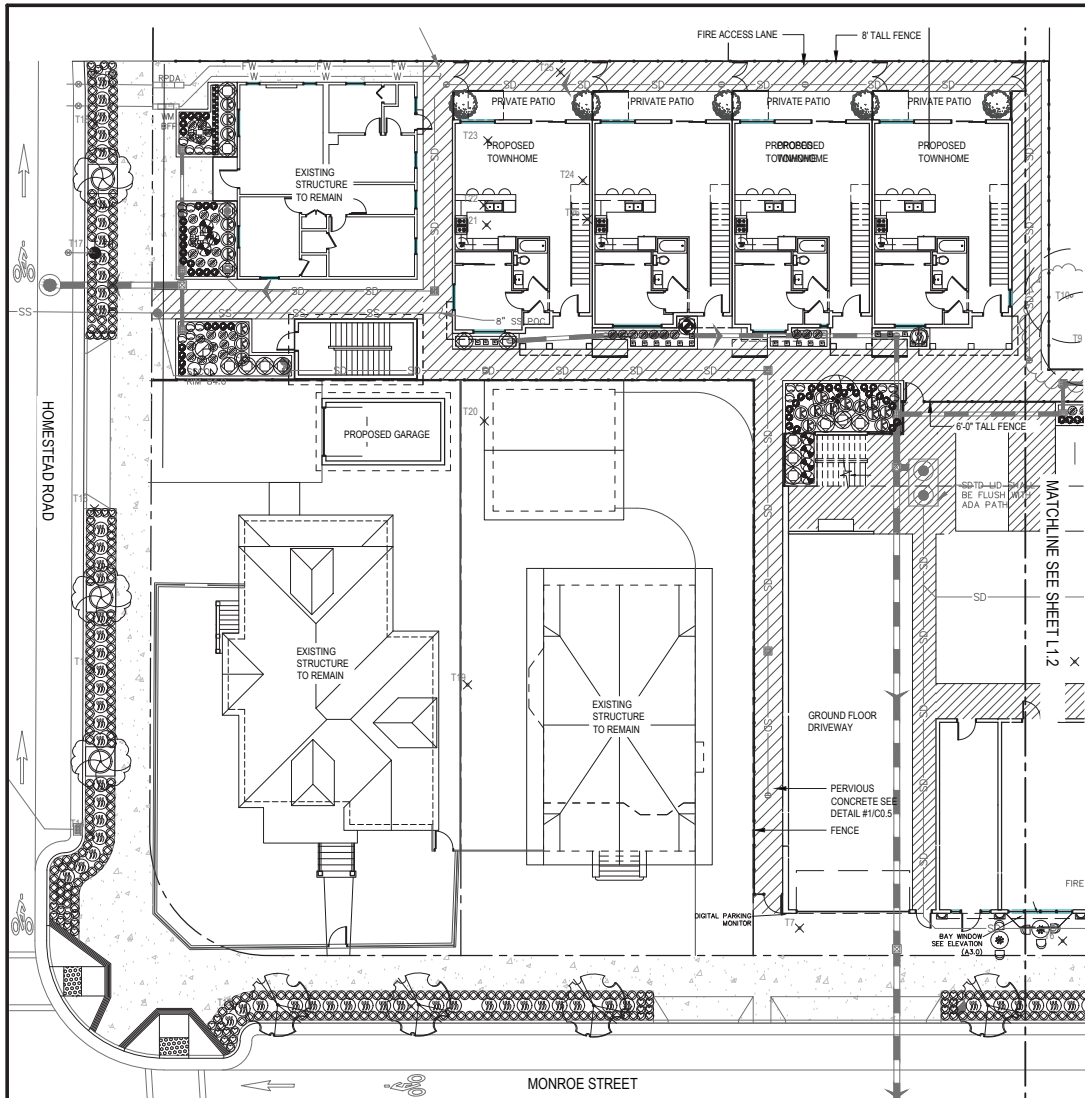
- BOUNDARY LINE
- LOT LINE
- EASIMENT LINE
- ROADWAY CENTER LINE
- BUILDING WALL LINE
- FENCE LINE
- DRIVEWAY
- EXISTING DRIVEWAY
- SIDEWALK
- OVERHEAD LINE
- COMMUNICATION LINE
- ELECTRICAL LINE
- GAS LINE
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- ELEVATION
- BOLLARD
- COMMUNICATION BOX
- ELECTRIC BOX
- FIRE HYDRANT
- GAS METER
- GUY WIRE
- JOINT POLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- STORM DRAIN CATCH BASIN
- STORM DRAIN DROP INLET
- STORM DRAIN MANHOLE
- STREET LIGHT BOX
- SURVEY IRON PIPE
- SURVEY STREET MONUMENT
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL BOX
- UNKNOWN MANHOLE
- WATER METER
- WATER VALVE
- CONTOUR LINE
- CONCRETE SIDEWALK/PAVEMENT
- WATER UTILITY EASIMENT
- TRUNCATED DOME (AT CURB RAMP)
- DRIVEWAY
- VERTICAL CURB & GUTTER
- OVERLAND RELEASE
- GROUND ELEVATION (PER AERIAL SURVEY)
- EXISTING TREE CANOPY (PER AERIAL SURVEY)

- SURVEY NOTES**
- DATE OF FIELD SURVEY: 03-29-2020
 - ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - THE TYPES, LOCATIONS, AND SIZES OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE BASED ON AS-BUILT MAPS, GIS MAPS, AND OTHER UTILITY INFORMATION FROM DIFFERENT SOURCES. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, DEPTHS, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO REVEAL ALL KNOWN UNDERGROUND UTILITIES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES NOT SHOWN ON THESE DRAWINGS.



CERTIFICATES & APPROVALS

No.	Date	By



SITE TREES				
NAME	COUNT	SIZE	WOODS	NOTES
AMBITUS UNICO - STANDARD	9	L	36"	
CERCIS OCCIDENTALIS - MULTI	1	VL	24"	STANDARD - MULTI TRUNK
LAGERSTROEMIA X 'MUSKOGEE'	4	L	24"	STANDARD

TOTAL: 14 - 24" BOX TREES PROVIDED.

OFFSITE PLANTING LEGEND				
NAME	COUNT	SIZE	WOODS	NOTES
AGAPANTHUS BABY PETE	510	10	L	18" O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
FRAGARIA VESCA	73	10	M	
LOMANDRA LONGIFOLIA BREEZE	112	10	L	

TREE MITIGATION						
TREE #	DIAMETER	MATURE HEIGHT	RATIO	BOTANICAL NAME	COMMON NAME	REMOVE OR RETAIN
T1	28"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T2	12"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T3	12"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T4	11"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T5	8"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T6	21"	N/A	3:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T7	20"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T8	6"	25'	N/A	DIOSPYROS KAKI	PERSIMMON	RETAIN
T9	6"	15'	N/A	CITRUS SPP.	CITRUS	RETAIN
T10	6"	25'	N/A	DIOSPYROS KAKI	PERSIMMON	RETAIN
T11	28"	N/A	4:1	CATALPA BIGNONIODES	COMMON CATALPA	REMOVE
T12	8', 8', 5'	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T13	4', 4', 3', 3'	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T14	4', 4', 4'	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T15	4', 4', 4'	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T16	12"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T17	11"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T18	4', 3', 3'	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T19	4"	N/A	2:1	PRUNUS SPP.	PLUM	REMOVE
T20	8', 8', 7', 7'	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T21	10', 9'	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T22	12', 7', 5'	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T23	8', 6"	N/A	2:1	CITRUS SPP.	CITRUS	REMOVE
T24	11"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T25	8"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T26	6"	N/A	2:1	MALUS SPP.	APPLE	REMOVE

TOTAL: ALL 21 TREES TO BE REMOVED CAN BE REMOVED WITHOUT A PERMIT



FTP PLANTING LEGEND				
NAME	COUNT	SIZE	WOODS	NOTES
ACHILLEA MILLEFOLIUM LA LINA*	80	10	M	
CALAMAGROSTIS X ACUTIFLORA KARL FGERSTER	20	10	L	SUCCULENT
CAREX DIVULSA	54	10	L	C. TIBULICOLA HORT.
CHONDROPETALUM TECTORUM EL CAMPO*	17	50	M	LOW WATER ACCORDING TO L.A. EXPERIENCE
HEMEROCALLIS 'TOYON'	2	10	M	18" O.C.
IRIS DOUGLASSIANA	20	10	L	
LIMONIA CALIFORNICA	17	10	L	
LOMANDRA LONGIFOLIA 'BREEZE' S	1	50	L	
MAHONIA AQUIFOLIUM	2	50	L	
PENSTEMON X GLOKKNODES 'MIDNIGHT'	7	10	L	LOW WATER ACCORDING TO L.A. EXPERIENCE
SAMBUCUS MEXICANA	1	50	L	
SEDUM AUTUMN JOY*	12	10	L	

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

PLANTING
PLAN

DESIGN

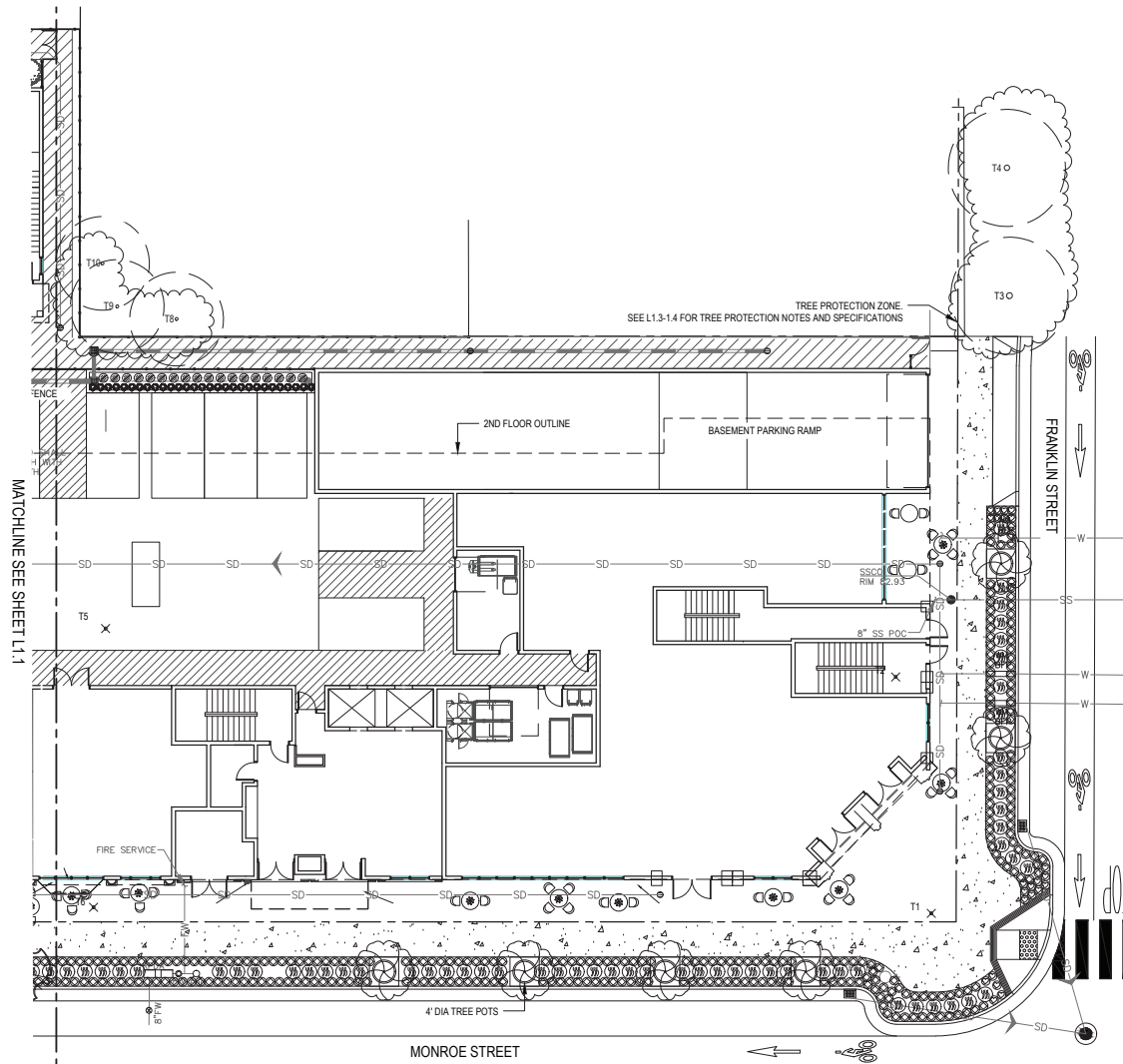
PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 08/03/2023
DESIGN BY: RJD
DRAWN BY: GEM/MO
SCALE: 1"=10'-0"



MATCHLINE SEE SHEET L1.1

TREE PROTECTION ZONE
SEE L1.3-1.4 FOR TREE PROTECTION NOTES AND SPECIFICATIONS

MONROE STREET

FRANKLIN STREET

SITE TREES				
NAME	COUNT	WUCOLS	SIZE	NOTES
AMBITUS UNICO - STANDARD	9	L	30"	
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T19	4"	N/A	2:1	PRUNUS SPP.	PLUM	REMOVE
T20	8", 8", 7", 7"	N/A	2:1	LIQUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T21	10", 9"	N/A	2:1	LIQUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T22	12", 7", 5"	N/A	2:1	LIQUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
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EXISTING TREE TO BE REMOVED
 EXISTING TREE TO BE RETAINED

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RUS DOUGLASSIANA	20	10	L	
LIMONIA CALIFORNICUM	17	10	L	
LOMANDRA LONGIFOLIA 'BREEZE' S	1	50	L	
MAHONIA AQUIFOLIUM	2	50	L	
PENSTEMON X GLOKINODES 'MIDNIGHT'	7	10	L	LOW WATER ACCORDING TO L.A. EXPERIENCE
SAMBUCUS MEXICANA	1	50	L	
BEDUM AUTUMN JOY*	12	10	L	

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
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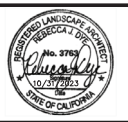
PLANTING
PLAN

DESIGN

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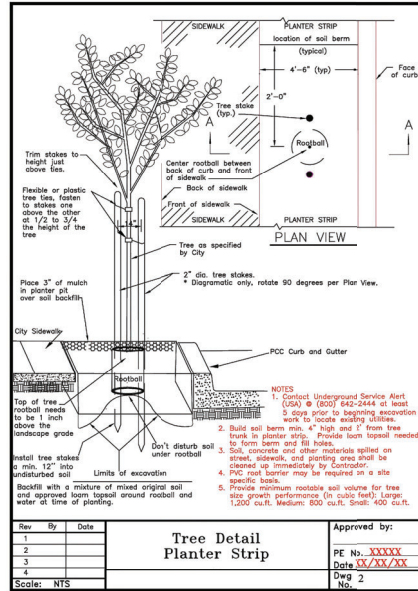
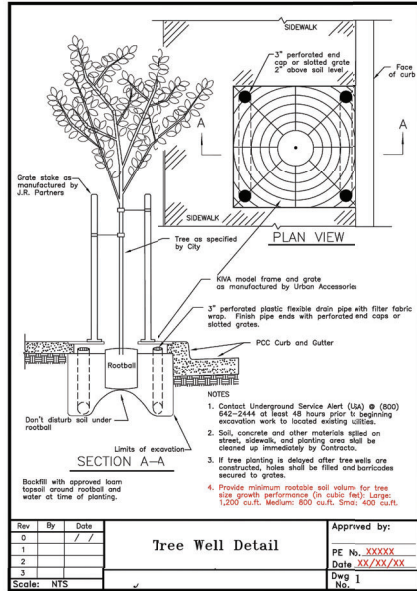
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DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 08/03/2023
DESIGN BY: RJD
DRAWN BY: GEM/MO
SCALE: 1"=10'-0"

L1.2



**CITY OF SANTA CLARA
ARBORIST NOTES**

I. GENERAL

- No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-815-3080).
- No cutting of any part of private trees, including roots, shall be done without direct supervision of an international society of arboriculture (ISA) certified arborist.
- When construction occurs within the drip line of existing trees, contractor shall pile the soil on the side away from the tree. When this is not possible, place soil on plywood tarp, or 4"-5" thicked of mulch. This is to help prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
- Backfill open trenches quickly within hours of excavation when they occur within the drip line of existing trees. If this is not possible and the weather is hot, dry, or windy, contractor must keep root ends moist by covering them with wet burlap. If the temperature is 80°F or greater, the burlap must be inspected every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°F, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can dry out and die in 10-15 minutes. Larger roots can succumb in an hour or less under unfavorable weather conditions.
- When roots 2" or larger are required to be cut, shovels by hand near the roots and prune the roots with an industry-approved pruning tool. Roots that are accidentally broken should be pruned two inches from the damaged end. Crushed or torn roots are more likely to allow decay to begin. Sharply cut roots produce a flush of new roots helping the tree to recover from its injury.
- Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
- A clear system of flagging must be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such system from the city arborist or arborist employed by city.
- Materials, equipment, temporary buildings, fuel, paints and other construction items shall not be placed within the drip line of existing trees.



**CITY OF SANTA CLARA
ARBORIST NOTES**

- Fence all trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fencing shall be placed at the drip line of existing trees or, if possible, 1.5 times the radius of the drip line out from the trunk of the tree. A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 8.5"x11" and clearly state "warning - tree protection zone this fence shall not be removed without approval from the city arborist/project arborist". Fences shall be 6-foot tall chain link or equivalent, as approved by the city arborist or arborist employed by city. Fences shall remain until all grading and construction work is completed. In addition, wrap all trees with straw waddle up to the first main branch, and then wrap snow fencing around the waddle on all trees in the construction zone to protect them from bark damage caused by the work.
- No trenching shall be done within the drip line of existing trees without the approval of the city arborist or arborist employed by city. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside the drip line of the tree involved. Exceptions may be allowed if, in the opinion of the city arborist or arborist employed by city, the impact of trenching on the tree will be negligible.
- All cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
- Grading should not create drainage problems for trees by channeling water into them, or creating sunken areas.
- All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade at the base of existing trees shall not be modified. If a grade increase is necessary, dry wells should be used.
- When trenching is allowed, the contractor must first cut roots with a vermeer root cutter prior to any trenching to avoid dragging or pulling of roots.
- Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the



**CITY OF SANTA CLARA
ARBORIST NOTES**

- Contractor. The city arborist or arborist employed by city shall determine the replacement species, size, quantity, and spacing.
- Place 4"-5" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
- Bore pits are not allowed within the drip line of any tree.

II. BORING

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 5" DBH, the installation must be made by boring. The beginning and ending distance of the bore from the face of the tree in any direction is determined by the diameter of the tree as specified by the accompanying table:

When the tree diameter at 4 1/2 feet is:	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:
0-2 inches	1 foot
3-4 inches	2 feet
6-8 inches	5 feet
10-14 inches	10 feet
15-19 inches	12 feet
over 19 inches	15 feet

Tree diameter	(minimum) depth of bore
9 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

III. TREE PROTECTION

- Contractor shall tag and identify existing trees which are to remain within the project limits and on the public right-of-way prior to start of work. Protect all tagged trees at all times from damage by the work. Treatment of all minor damage to tagged trees shall be performed by an ISA certified arborist or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently



**CITY OF SANTA CLARA
ARBORIST NOTES**

- Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protection and maintenance. The payment amount shall be in accordance with the following schedule of values, using "tree caliper" method established in the most recent issue of the "guide for establishing values of trees and other plants", prepared by the council of tree and landscape architects.

7 inches	\$ 2,400
8 inches	\$ 3,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$ 10,000
16 inches	\$ 11,000
17 inches	\$ 12,000
18 inches and over: Add for each caliper inch	\$ 1,200

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

ARBORIST NOTES
+
WIRE WALL TRELLIS

DESIGN

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 08/03/2023
DESIGN BY: RJD
DRAWN BY: GEM,MO
SCALE: NTS

L1.3

Appendix H - TREE PROTECTION GUIDELINES AND RESTRICTIONS

Protecting Trees During Construction:

- 1) Before the start of site work, equipment or materials move in, clearing, excavation, construction, or other work on the site, every tree to be retained shall be securely fenced off as delineated in approved plans. Such fences shall remain continuously in place for the duration of the work undertaken in connection with the development.
- 2) If the proposed development, including any site work, will encroach upon the tree protection zone, special measures shall be utilized, as approved by the project arborist, to allow the roots to obtain necessary oxygen, water, and nutrients.
- 3) Underground trenching shall avoid the major support and absorbing tree roots of protected trees. If avoidance is impractical, hand excavation undertaken under the supervision of the project arborist may be required. Trenches shall be consolidated to service as many units as possible. Boring/tunneling under roots should be considered as an alternative to trenching.
- 4) Concrete or asphalt paving shall not be placed over the root zones of protected trees, unless otherwise permitted by the project arborist.
- 5) Artificial irrigation shall not occur within the root zone of native oaks, unless deemed appropriate on a temporary basis by the project arborist to improve tree vigor or mitigate root loss.
- 6) Compaction of the soil within the tree protection zone shall be avoided.
- 7) Any excavation, cutting, or filling of the existing ground surface within the tree protection zone shall be minimized and subject to such conditions as the project arborist may impose. Retaining walls shall likewise be designed, sited, and constructed to minimize their impact on protected trees.
- 8) Burning or use of equipment with an open flame near or within the tree protection zone shall be avoided. All brush, earth, and other debris shall be removed in a manner that prevents injury to the tree.
- 9) Oil, gas, chemicals, paints, cement, stucco or other substances that may be harmful to trees shall not be stored or dumped within the tree protection zone of any protected tree, or at any other location on the site from which such substances might enter the tree protection zone of a protected tree.
- 10) Construction materials shall not be stored within the tree protection zone of a protected tree.

Project Arborist Duties and Inspection Schedule:

The project arborist is the person(s) responsible for carrying out technical tree inspections, assessment of tree health, structure and risk, arborist report preparation, consultation with designers and municipal planners, specifying tree protection measures, monitoring, progress reports and final inspection. A qualified project arborist (or firm) should be designated and assigned to facilitate and insure tree preservation practices. Healthy trees should perform the following inspections:

Inspection of site. Prior to equipment and materials move in, site work, demolition, and/or construction, and tree removal. The project arborist will meet with the general contractor, architect/engineer, and owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

Inspection of site. During excavation or any activities that could affect trees. Inspect site during any activity within the Tree Protection Zones of preserved trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.

Final Inspection of Site. Inspection of site following completion of construction. Inspect for tree health and make any necessary recommendations. Kurt Fouts shall be the Project Arborist for this project. All scheduled inspections shall include a brief Tree Monitoring report, documenting activities and provided to the City Arborist.

Tree Protection Fencing

Tree Protection fencing shall be installed prior to the arrival of construction equipment and materials. Fence shall be comprised of six-foot chain link fence mounted on eight-foot tall, 1 and 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced on a minimum of 10-foot centers. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

A final inspection by the City Arborist at the end of the project will be required prior to removing any tree protection fencing.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Tree Work Standards and Qualifications

All tree work, removal, pruning, planting, shall be performed using industry standards of workmanship as established in the Best Management Practices of the International Society of Arboriculture (ISA) and the American National Standards Institute series Safety Requirements in Arboriculture Operations ANSI Z133-2017.

Contractor licensing and insurance coverage shall be verified.

During tree removal and clearance, sections of the Tree Protection Fencing may need to be temporarily dismantled to complete removal and pruning specifications. After each section is completed, the fencing is to be re-installed.

Trees to be removed shall be cut into smaller manageable pieces consistent with safe arboricultural practices, and carefully removed so as not to damage any surrounding trees or structures. The trees shall be cut down as close to grade as possible. Tree removal is to be performed by a qualified contractor with valid City Business/ State Licenses and General Liability and Workman's Compensation Insurance.

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

ARBORIST NOTES

DESIGN

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 08/03/2023
DESIGN BY: RJD
DRAWN BY: GEM,MO
SCALE: NTS

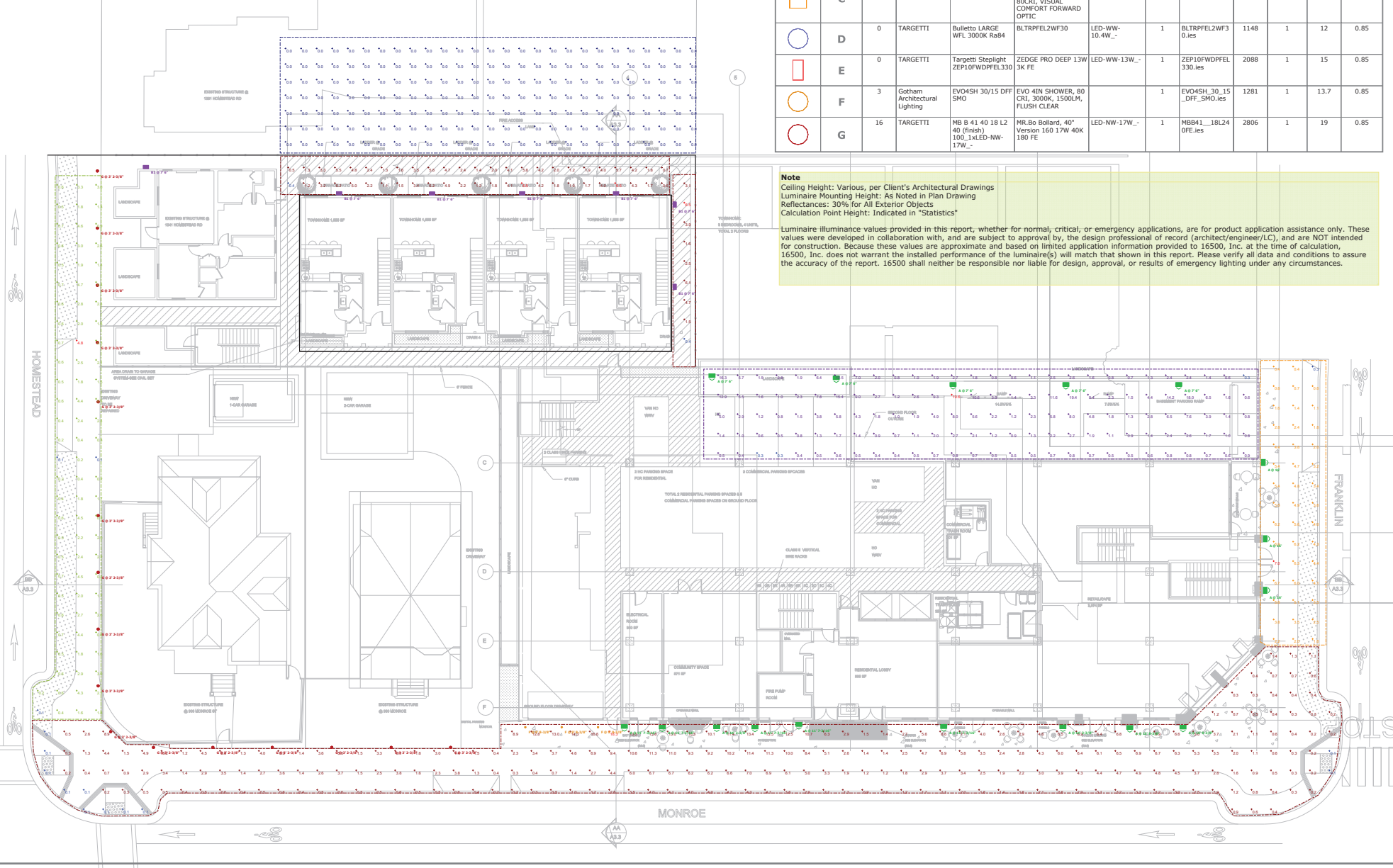
L1.4

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Fifth Floor Terrace	+	2.3 fc	10.8 fc	0.0 fc	N/A	N/A
Ground All	+	0.8 fc	20.3 fc	0.0 fc	N/A	N/A
Neighbours property floor	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Parking and Ramp West Floor	+	3.1 fc	19.6 fc	0.3 fc	65.3:1	10.3:1
Private Patio walkway floor	+	3.1 fc	6.5 fc	0.4 fc	16.3:1	7.8:1
Sidewalk floor	+	3.4 fc	6.5 fc	0.4 fc	16.3:1	8.5:1
Walkalong Homestead floor	+	1.5 fc	4.8 fc	0.1 fc	48.0:1	15.0:1
Walkalong Monroe Floor	+	3.5 fc	18.3 fc	0.1 fc	183.0:1	35.0:1
Walkway along Franklin	+	3.6 fc	7.0 fc	0.3 fc	23.3:1	12.0:1
4th Floor Terrace floor	+	2.3 fc	10.4 fc	0.1 fc	104.0:1	23.0:1

Schedule												
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Lumen Multiplier	Wattage	Light Loss Factor
⊗	A	17	Lithonia Lighting	WDGE2 LED P3 30K 80CRI VF	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	WDGE2_LED_P3_30K_80CRI_VF.ies	3015	1	22.55	0.85
⊕	B	6	Lithonia Lighting	WDGE2 LED P2 30K 80CRI VW	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1	WDGE2_LED_P2_30K_80CRI_VW.ies	1997	1	14.53	0.85
⊖	B1	7	Lithonia Lighting	WDGE2 LED P1 30K 80CRI VW	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1	WDGE2_LED_P1_30K_80CRI_VW.ies	1241	1	9.81	0.85
⊙	C	0	Lithonia Lighting	WDGE2 LED P2 30K 80CRI VF	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	WDGE2_LED_P2_30K_80CRI_VF.ies	1947	1	14.53	0.85
⊚	D	0	TARGETTI	Bulleto LARGE WFL 3000K Ra84	BLTRPFEL2WF30	LED-WW-10.4W_-	1	BLTRPFEL2WF30.ies	1148	1	12	0.85
⊠	E	0	TARGETTI	Targetti Steplight ZEP10FWDPFEL330	ZEDGE PRO DEEP 13W 3K FE	LED-WW-13W_-	1	ZEP10FWDPFEL330.ies	2088	1	15	0.85
⊙	F	3	Gotham Architectural Lighting	EVO4SH 30/15 DFF SMO	EVO 4IN SHOWER, 80 CRI, 3000K, 1500LM, FLUSH CLEAR		1	EVO4SH_30_15_DFF_SMO.ies	1281	1	13.7	0.85
⊙	G	16	TARGETTI	MB B 41 40 18 L2 46 (finish)	MR.Bo Bollard, 40" Version 160 17W 40K 180 FE	LED-NW-17W_-	1	MBB41__18L24_0FE.ies	2806	1	19	0.85

Note
 Ceiling Height: Various, per Client's Architectural Drawings
 Luminaire Mounting Height: As Noted in Plan Drawing
 Reflectances: 30% for All Exterior Objects
 Calculation Point Height: Indicated in "Statistics"

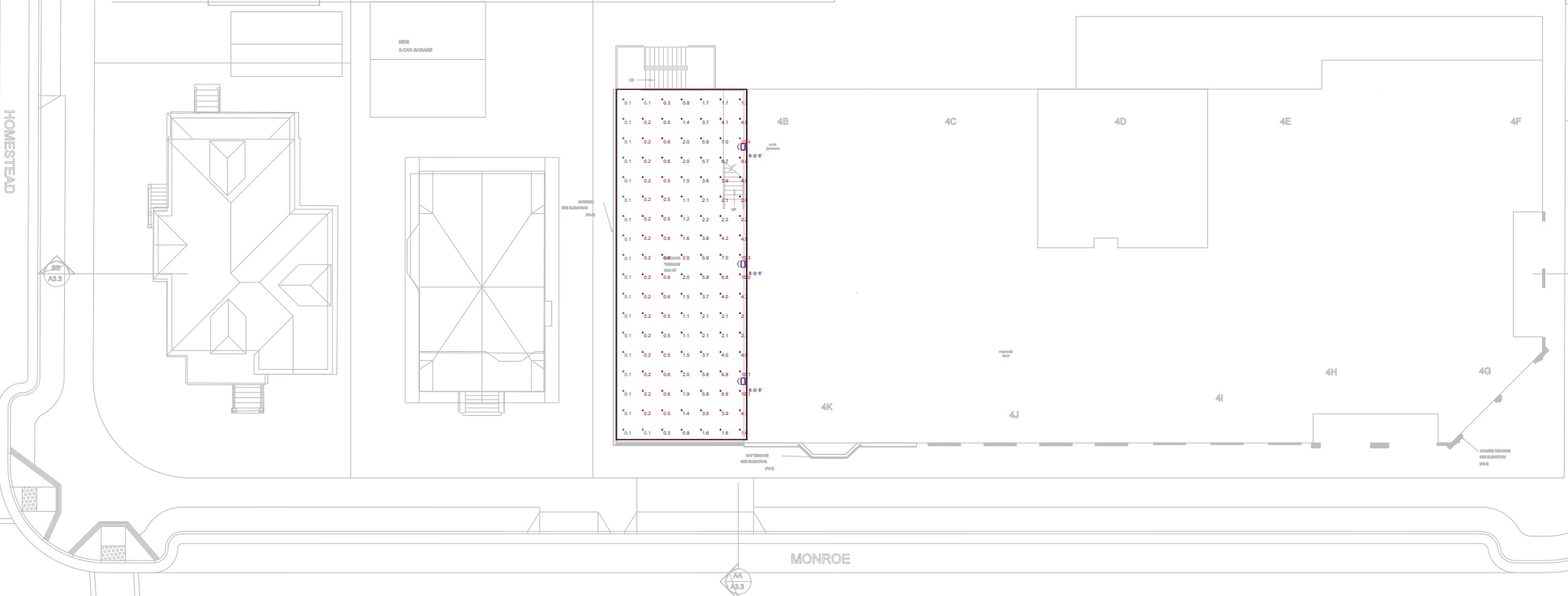
Luminaire illuminance values provided in this report, whether for normal, critical, or emergency applications, are for product application assistance only. These values were developed in collaboration with, and are subject to approval by, the design professional of record (architect/engineer/LC), and are NOT intended for construction. Because these values are approximate and based on limited application information provided to 16500, Inc. at the time of calculation, 16500, Inc. does not warrant the installed performance of the luminaire(s) will match that shown in this report. Please verify all data and conditions to assure the accuracy of the report. 16500 shall neither be responsible nor liable for design, approval, or results of emergency lighting under any circumstances.



Project: Santa Clara Downtown, Monroe Street
 PC#20-14810
 Client: Salvatore Caruso Design Corporation

HOMESTEAD

CONDOMINIUM
ONE BEDROOM 8
TWO BEDROOM 7
TOTAL 10



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Fifth Floor Terrace	+	2.3 fc	10.8 fc	0.0 fc	N/A	N/A
Ground All	+	0.8 fc	20.3 fc	0.0 fc	N/A	N/A
Neighbours property floor	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Parking and Ramp West Floor	+	3.1 fc	19.6 fc	0.3 fc	65:3:1	10:3:1
Private Patio walkway floor	+	3.1 fc	6.5 fc	0.4 fc	16.3:1	7.8:1
Sidewalk floor	+	3.4 fc	6.5 fc	0.4 fc	16.3:1	8.5:1
Walkalong Homestead floor	+	1.5 fc	4.8 fc	0.1 fc	48.0:1	15.0:1
Walkalong Monroe Floor	+	3.5 fc	18.3 fc	0.1 fc	183.0:1	35.0:1
Walkway along Franklin	+	3.6 fc	7.0 fc	0.3 fc	23.3:1	12.0:1
4th Floor Terrace floor	+	2.3 fc	10.4 fc	0.1 fc	104.0:1	23.0:1

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	A	17	Lithonia Lighting	WIDGE2 LED P3 30K 80CRI VF	WIDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC.		3015	0.85	22.55
	B	6	Lithonia Lighting	WIDGE2 LED P2 30K 80CRI VW	WIDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC.		1997	0.85	14.53
	B1	7	Lithonia Lighting	WIDGE2 LED P1 30K 80CRI VW	WIDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC.		1241	0.85	9.81
	C	0	Lithonia Lighting	WIDGE2 LED P2 30K 80CRI VF	WIDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC.		1947	0.85	14.53
	D	0	TARGETTI	Bulleto LARGE FL 20 degree 3000K Ra84 12W	BLTRPFEL2F30	LED-WW-10.4W_-	1148	0.85	12
	D	0	TARGETTI	Bulleto LARGE MFL 30 degree 3000K Ra84 12W	BLTRPFEL2MF30	LED-WW-10.4W_-	1148	0.85	12
	D	0	TARGETTI	Bulleto LARGE WFL 3000K Ra84	BLTRPFEL2WF30	LED-WW-10.4W_-	1148	0.85	12
	E	0	TARGETTI	Targetti Steplight ZEPL0FWDFEL330	ZEDGE PRO DEEP 13W 3K FE	LED-WW-13W_-	2088	0.85	15
	E	0	TARGETTI	Targetti Steplight ZEPL0FWDFEL330	ZEDGE PRO WIDE 13W 3K FE	LED-WW-13W_-	2088	0.85	15
	F	0	ERCO GmbH	34743023_V03	Lightmark Bollard luminaire	LED 6W warm white	333	0.85	8
	F	3	Gotham Architectural Lighting	EVO4SH 30/15 DFF SMO	EVO 4IN SHOWER, 80 CRI, 3000K, 1500LM, FLUSH CLEAR		1281	0.85	13.7
	G	16	TARGETTI	MR.Bc Bollard, 40" Version 160 17W-17W_-	MR.Bc Bollard, 40" Version 160 17W	LED-NW-17W_-	2806	0.85	19

Ceiling Height: Varies
Luminaire Mounting Height: As noted
Calculation Point Height: As noted

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NOTES

- 1. All lighting calculations are based on the provided data and assumptions.
- 2. The lighting calculations are based on the provided data and assumptions.
- 3. The lighting calculations are based on the provided data and assumptions.
- 4. The lighting calculations are based on the provided data and assumptions.
- 5. The lighting calculations are based on the provided data and assumptions.
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- 8. The lighting calculations are based on the provided data and assumptions.
- 9. The lighting calculations are based on the provided data and assumptions.
- 10. The lighting calculations are based on the provided data and assumptions.

4th
sixteen5hundred

Project: Santa Clara Downtown, Monroe Street I
PC#20-14810
Client: Salvatore Caruso Design Corporation



AMERICAN TRASH MANAGEMENT
 1900 POWELL STREET, SUITE 890
 EMERYVILLE, CALIFORNIA 94608
 P: 415.292.5400
 F: 415.292.5410
 SBROWN@TRASHMANAGE.COM

CONSULTANT

SALVATORE CARUSO

ARCHITECT

LAMB PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

MONROE STREET

PROJECT

STAGING DETAILS
 RESIDENTIAL & COMMERCIAL

DRAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN CM	TR0.3
APPROVED SB	
DATE 11/05/21	
SCALE 1/32"=1'-0"	

- GENERAL NOTES.**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
 - ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.
- PLAN CHECK NOTES.**
- MANAGEMENT STAFF SHALL PROVIDE DESIGNATED RECYCLING RECEPTACLE IN MAIL ROOM FOR RESIDENTIAL DISPOSAL OF UNWANTED MAIL, AS WELL AS A DESIGNATED WASTE RECEPTACLE FOR BATTERIES, PAINT, FLUORESCENT BULBS, OR ANY OTHER HAZARDOUS MATERIAL BANNED FROM LANDFILL THAT REQUIRES SPECIAL HANDLING.
 - MANAGEMENT STAFF SHALL PROVIDE SIGNAGE IN ALL TRASH VESTIBULES THAT EXPLICITLY DETAILS PROPER DISPOSAL OF WASTE, RECYCLING, AND COMPOST.

LEGEND:

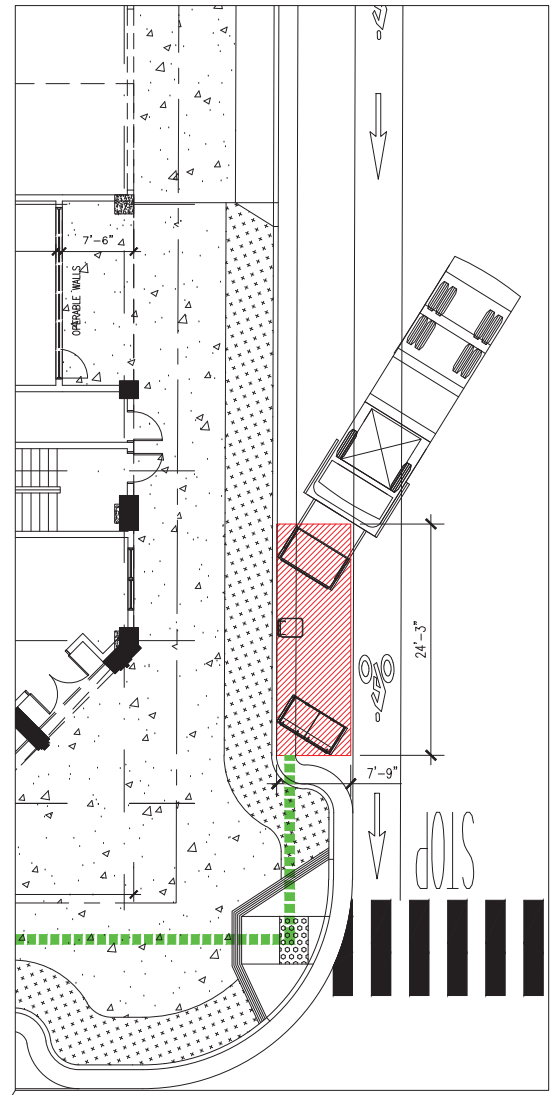
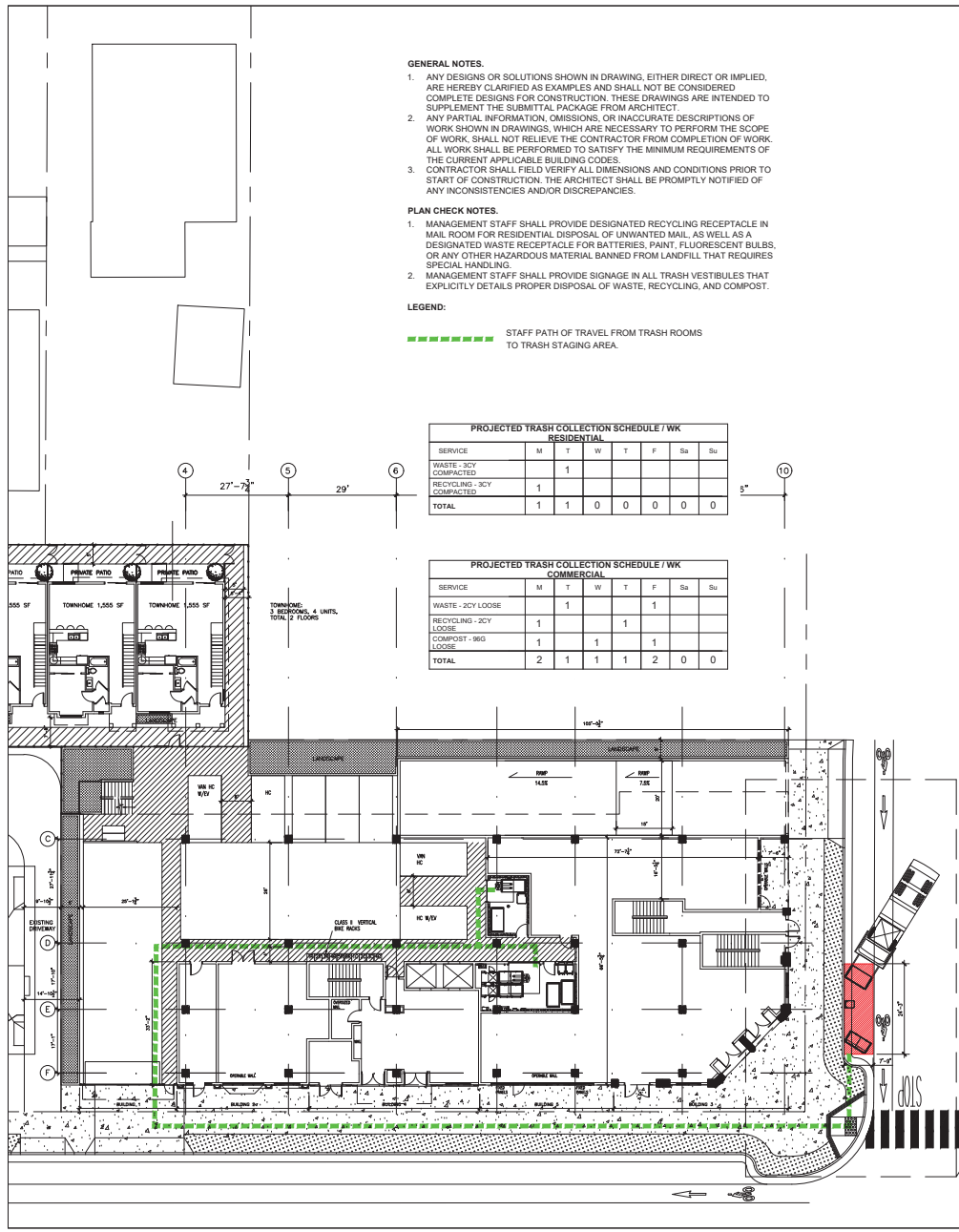
----- STAFF PATH OF TRAVEL FROM TRASH ROOMS TO TRASH STAGING AREA.

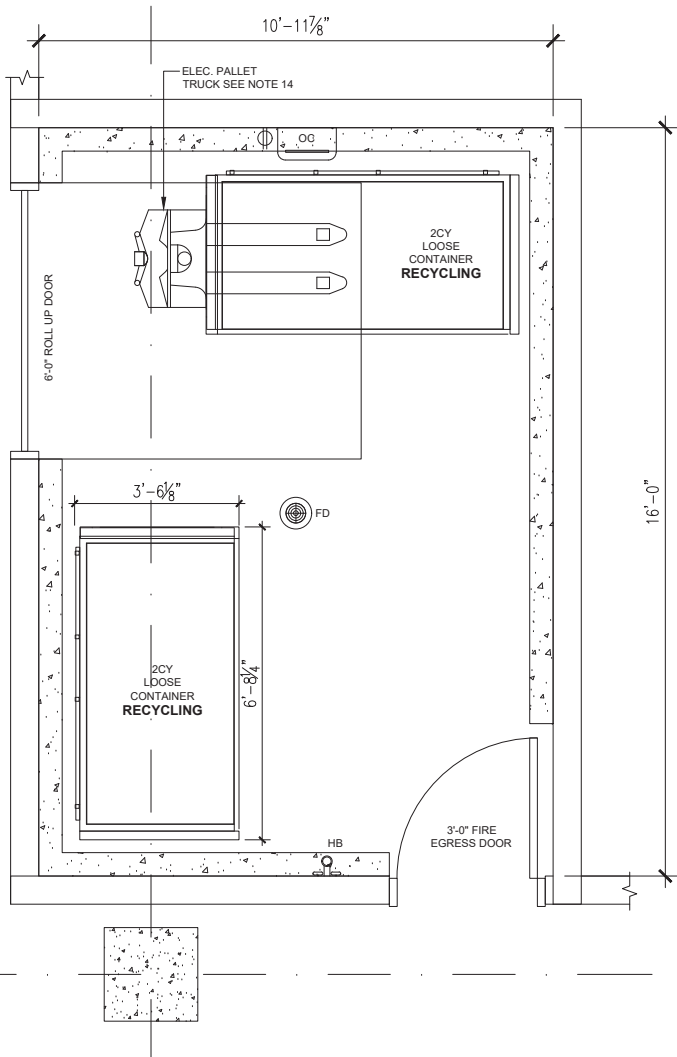
**PROJECTED TRASH COLLECTION SCHEDULE / WK
RESIDENTIAL**

SERVICE	M	T	W	T	F	Sa	Su
WASTE - JCY COMPACTED	1						
RECYCLING - JCY COMPACTED	1						
TOTAL	1	1	0	0	0	0	0

**PROJECTED TRASH COLLECTION SCHEDULE / WK
COMMERCIAL**

SERVICE	M	T	W	T	F	Sa	Su
WASTE - JCY LOOSE	1				1		
RECYCLING - JCY LOOSE	1			1			
COMPOST - 96G LOOSE	1		1		1		
TOTAL	2	1	1	1	2	0	0





COMMERCIAL TRASH COLLECTION ROOM
LEVEL 1

SHEET NOTES:

COMMERCIAL TRASH ROOM

- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 11-1/4"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
- 6'-0" ROLL UP DOOR AND 3FT EXIT DOOR.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.
- (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

GENERAL NOTES:

- ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
- OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

PROJECTED TRASH COLLECTION SCHEDULE / WK
COMMERCIAL

SERVICE	M	T	W	T	F	Sa	Su
WASTE - 2CY LOOSE			1		1		1
RECYCLING - 2CY LOOSE	1			1			1
TOTAL	1	0	1	1	1	0	2



AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 890
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM

CONSULTANT

SALVATORE CARUSO

ARCHITECT

LAMB PARTNERS

OWNER / DEVELOPER

NO. DATE ISSUE / REVISION ISSUED BY

MONROE STREET

PROJECT

RETAIL TRASH COLLECTION ROOM

DRAWING TITLE

PROJECT NO.

DRAWING NO.

DRAWN CM

APPROVED SB

DATE 11/05/21

SCALE 3/8"=1'-0"

TR1.1

