

# 2165 BRAY AVE NEW RESIDENCE

2165 Bray Ave, Santa Clara, CA 95050

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Your Design Manager & Contract Administrator  
3190 VERDANT WAY, SAN JOSE, CA 95117  
TEL: 408.921.0005  
EMAIL: [tailongke@gmail.com](mailto:tailongke@gmail.com)  
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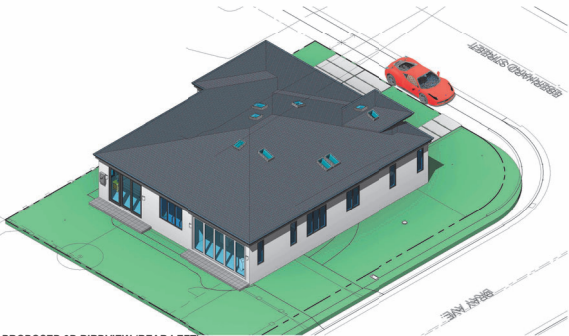


## 2165 BRAY AVE NEW RESIDENCE

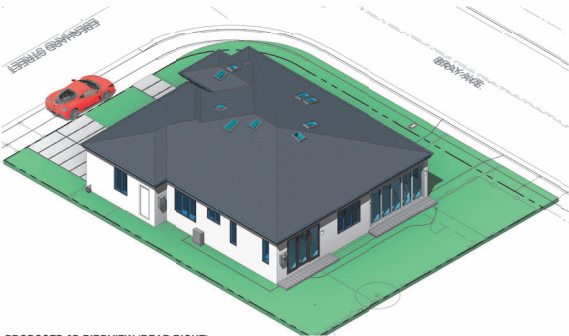
SHUN YE  
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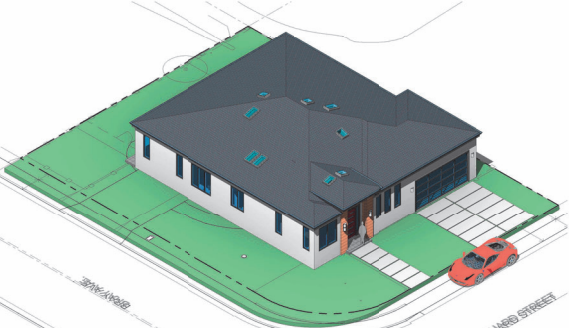
PROPOSED STREET VIEW (FRONT-LEFT)



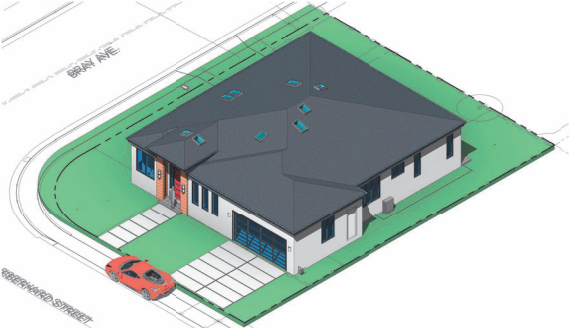
PROPOSED 3D BIRDVIEW (REAR LEFT)



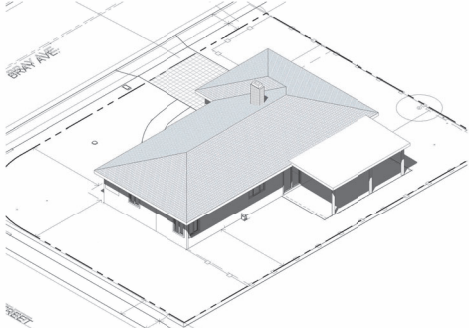
PROPOSED 3D BIRDVIEW (REAR RIGHT)



PROPOSED 3D BIRDVIEW (FRONT LEFT)



PROPOSED 3D BIRDVIEW (FRONT RIGHT)



EXISTING 3D BIRDVIEW (FRONT RIGHT)

No.	Description	Date
1	CLIENT REVIEW v6	12.08.24
2	ISSUED FOR PLANNING REVIEW	01.01.25
3	OWNER REDESIGN v2, DDv11	04.16.25

COVERSHEET  
RENDERING

SCALE	
PROJECT NO	241118
SHEET NUMBER	A0.0

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GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.

2. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STOPPING OF TRUCKS AND MATERIALS ON SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS OBTAINED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

3. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE DESIGN DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.

4. THE GENERAL CONTRACTOR SHALL KNOCK HARMLESS, REINSTATE AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OF SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.

5. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: 2022 CBC, CEC, CMIC, CFC, AND CDE.

6. THE GENERAL CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE UTILITIES INCLUDING PAVED AREAS, HE SHALL MAKE KNOWN ALL EXISTING DAMAGE(S) OR SUPERIOR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY ITEMS IN POOR CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7. GENERAL CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO OTHER COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.

8. ALL NEW INTERIOR PART SHALL USE LOW-VOC VOC/PART. USE LOW-VOC ADHESIVES AND VISC FSC CERTIFIED MATERIALS FOR INTERIOR COLOR, FLOOR WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

9. ALL RESIDENTIAL BUILDINGS, NEW & ADDITION, SHALL COMPLY WITH THE MANUFACTURE REQUIREMENTS OF 2022 CALIFORNIA GREEN BUILDING CODE.

10. THE BUILDING AREAS SHALL BE PLANNED LEGIBLE AND VISIBLE FROM THE PUBLIC STREET. THERE NUMBERS SHALL CONTRAST WITH THIS BACKGROUND.

11. FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SEPARATE PAVEMENT TO AND DURING CONSTRUCTION.

12. TOPSOIL SHALL BE PROTECTED OR SAVED FOR USE AS SPECIFIED. THERE 1. DISPOSAL TOPSOIL SHALL BE STOCKPILES FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION. THERE 2. THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DEMARKED BY FENCING OR TAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA. GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHETHER REDUCING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. GC SHALL MAINTAIN ALL UTILITIES AND CONNECTIONS IN-PROVIDE AT ALL TIMES.

13. IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE DESIGNER BEFORE PROCEEDING.

14. GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

15. WEATHER STRIP ALL EXTERIOR DOORS AND WINDOWS.

16. CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, FLOORS AND NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.

18. GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WEATHERTIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTITUTIONAL COMPLETION.

FIRE PROTECTION NOTES

1. THE BUILDINGS SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NFPA 130 CURRENTLY ADOPTED IN CHAPTER 15.0 OF THE CALIFORNIA BUILDING CODE. AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM (A.F.E.) IS REQUIRED FOR THE ENTIRE BUILDING (EXISTING PLUS ADDITION) INCLUDING GARAGE AND ATTACHED ROOM. AUTOMATIC SPRINKLER SYSTEMS IN ONE AND TWO-FAMILY DWELLINGS AND TOWNHOUSES SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 130.

2. APPROVED ADDITIONS ON BUILDING ELEVATIONS, SHOULD BE PLANNED LEGIBLE AND VISIBLE FROM THE ADJACENT ACCESS STREET OR ROAD FRONTING THE PROPERTY. EACH NUMBER CHARACTER SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2". WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. (CFC 561.2)

3. ROOF COVERINGS TO BE NO LESS THAN CLASS "A" RATED ROOF.

DEFERRED SUBMITTALS

1. FIRE SUPPRESSION SYSTEM TO BE DEFERRED FOR ADDITIONAL SUBMITTAL. THE FIRE SPRINKLER PLAN WILL INDICATE THE PROPOSED AUTOMATIC FIRE SPRINKLER SYSTEM, INCLUDING HOLOGRAPHIC CALCULATIONS AND SPECIFICATIONS, IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA STANDARD 13.0, AS AMENDED BY THE SOUTH COUNTY FIRE AUTHORITY. ALL PLANS SHALL BE REVIEWED BY A CALIFORNIA LICENSED FIRE PROTECTION ENGINEER, OR A FIRE PROTECTION ENGINEER.

2. PREFABRICATED TRUSS DESIGN TO BE SUBMITTED BY TRUSS COMPANY.

3. GAS PIPING (DRAINAGE) COMPLY WITH KTSU LEAKAGE CRACK FREE OF EQUIPMENT AND GAS PIPE DIAMETER AND LENGTH OF EACH PIPE RUN WILL BE A DEFERRED SUBMITTAL BY PLUMBING DESIGN-BUILT CONTRACTOR.

NOTE TO CONTRACTOR:

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE PROJECT DESIGNER (RELATION) AND REQUIRES ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF THEIR OBSERVATIONS AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAULT TO NOTIFY THE PROJECT DESIGNER (RELATION) PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF PROJECT DESIGNER (RELATION). APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE PROJECT DESIGNER (RELATION).

NOTE TO CLIENTS:

PLEASE VERIFY ALL DIMENSIONS, CLIENT RESPONSIBLE FOR ALL MEASUREMENTS, INCLUDING HEIGHT.

SYMBOL

ABBREVIATION

INTERIOR SECTION

SECTION NUMBER

SHEET NUMBER

INTERIOR ELEVATION

ELEVATION NUMBER

SHEET NUMBER

ENLARGED PLAN DETAIL

DETAIL NUMBER

SHEET NUMBER

EXTD NOTE

1

DRAWING REVISIONS:

REVISION NUMBER

REVISION NUMBER

DATE

REVISION NUMBER

DATE

CONTINUING

4

ROOM IDENTIFICATION:

BATHROOM

ROOM NAME

CONC

CONCRETE

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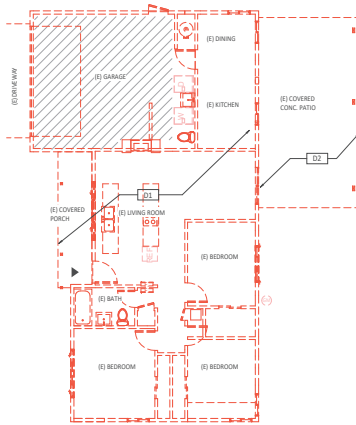
No.	Description	Date
	ISSUED FOR PLANNING REVIEW	01.01.25
	OWNER REDESIGN v2. DDv11	04.16.25

## COVERSHEET PROJECT DATA

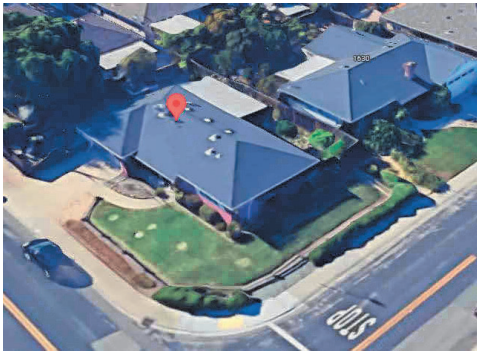
SCALE	As indicated
PROJECT NO	241118
SHEET NUMBER	A0.1







2 EXISTING & DEMO FLOOR PLAN  
1/8" = 1'-0"



VIEW 3 - BIRD VIEW (EXISTING HOUSE)



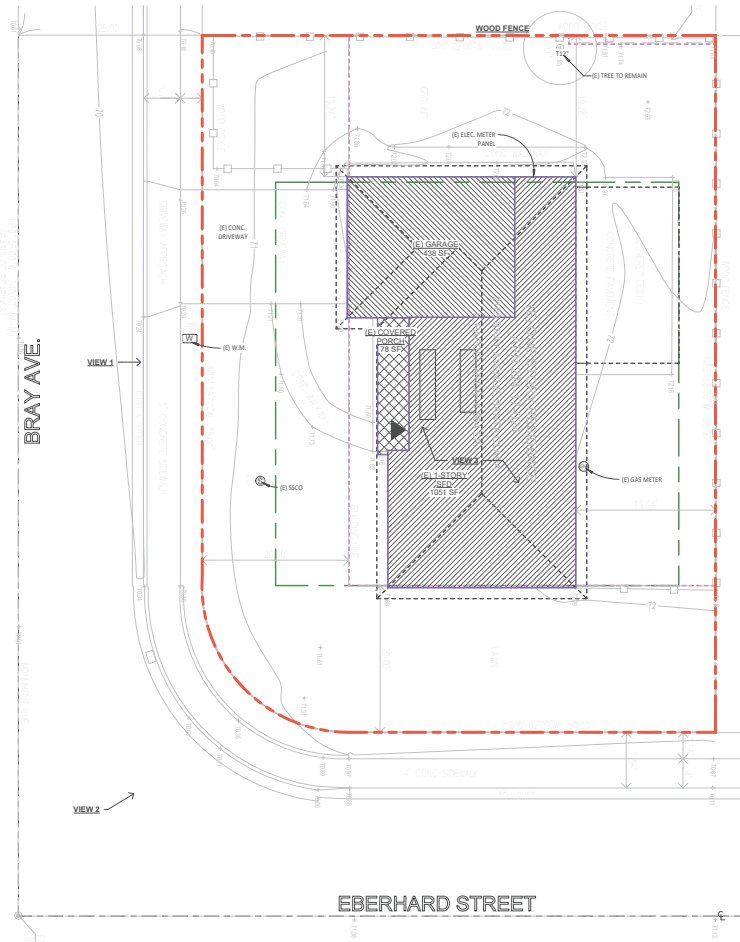
VIEW 1A - FRONT VIEW @ BRAY AVE. (EXISTING HOUSE)



VIEW 2 - CORNER VIEW (EXISTING HOUSE)



VIEW 1B - FRONT VIEW @ EBERHARD ST. (EXISTING HOUSE)



1 EXISTING SITE PLAN  
1/8" = 1'-0"



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1	ISSUED FOR PLANNING REVIEW	01.01.25
2	OWNER REDESIGN v2, DDv11	04.16.25

(E) SITE PLAN, DEMO  
PLAN AND EXISTING  
PHOTOS

SCALE	1/8" = 1'-0"
PROJECT NO	241118
SHEET NUMBER	A1.0

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## A1.1



1 AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.  
2 A WATER BUDGET SHALL BE DEVELOPED FOR LANDSCAPE IRRIGATION.  
3 CONTRACTOR PROVIDE WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN THAT REDUCES THE USE OF POTABLE WATER DOSE NOT EXCEED 65% OF ETO TIMES THE LANDSCAPE AREA.  
4 NO WORK IN FRONT YARD, (C) CONC. CURB CUT, (E) DRIVEWAY, (E) WALKWAY ALL REMAIN.

KEYED NOTES - SITE PLAN	
E1	E1 SANITARY SEWER CLEANKUT
E3	E3 SANITARY SEWER LINE
E4	E4 20" SANITARY SEWER LINE & METER
E7	E7 4" CULVERT, SECURED ON 1" SAND ON APPROVED PLATFORM
F1	F1 RELOCATED GAS METER & SHUT-OFF VALVE
F2	F2 1/2" WATER METER
F3	F3 WATER SHUT-OFF VALVE
F6	F6 1" WATER METER (R&B)
NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAY BE GRAB TO SLASH BLOCKS OR CONNECTIONS THAT DIRECT WATER AWAY FROM THE BUILDING. ("TIE-CHOP" DRAINAGE ARE NOT ALLOWED)	

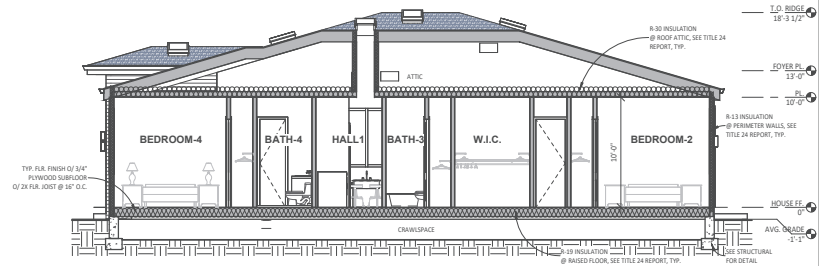




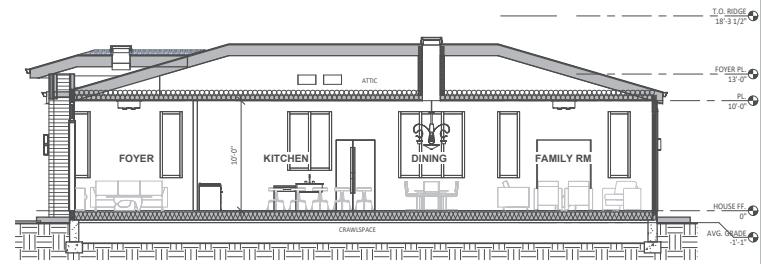


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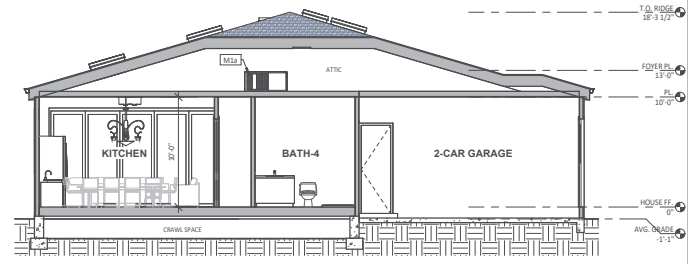
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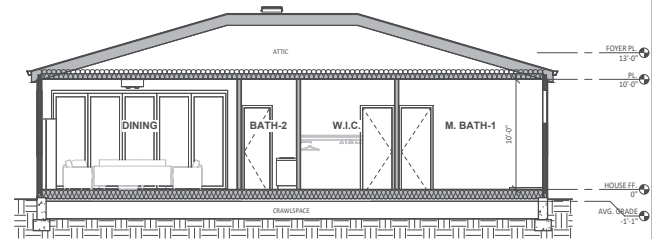
1 SECTION-1  
3/16" = 1'-0"



2 SECTION-2  
3/16" = 1'-0"



3 SECTION-3  
3/16" = 1'-0"



4 SECTION-4  
3/16" = 1'-0"

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	OWNER REDESIGN v2, DDv11	04.16.25

BUILDING SECTIONS & DETAILS		
SCALE	3/16" = 1'-0"	
PROJECT NO	241118	
SHEET NUMBER	A3	



GENERAL NOTES - EXTERIOR ELEVATION

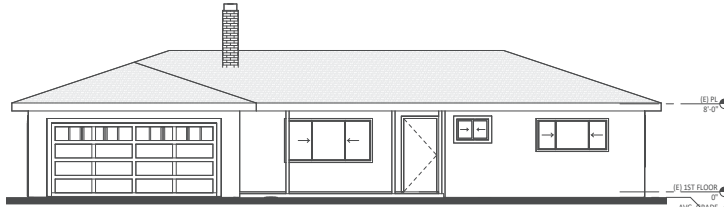
- GENERAL CONTRACTOR TO CONFIRM WALL/ROOFING PAINT COLOR AND TRIM COLOR WITH THE OWNER PRIOR TO ORDERING. MATCH COLOR TO EXISTING.
- GENERAL CONTRACTOR TO CONFIRM THE COLORS OF DOORS AND WINDOWS WITH THE OWNER PRIOR TO CONSTRUCTION.
- ALL WINDOWS TO BE DOUBLE PANEL.
- GENERAL CONTRACTOR TO PROVIDE ATTIC VENTILATION TO BE 1/150 SF OF ITS SPACE, U.O.N.
- GENERAL CONTRACTOR TO PROVIDE UNDERFLOOR VENTILATION TO BE 1/150 SF OF ITS SPACE, U.O.N.

STUCCO WALL NOTES

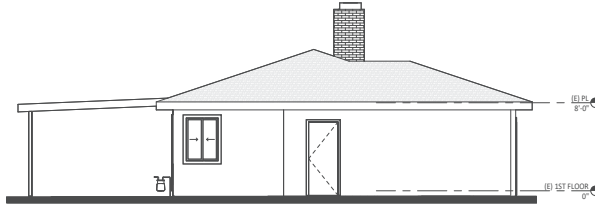
- NOTE ON PLANS THAT THE STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHICH APPLIED OVER METAL LATH OR WIRE LATH (SEE K703.2.2).
- SPECIFY 3 LAYERS OF GRADE "D" PAPER UNDER CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING (SEE K703.7.3).
- PROVIDE WEIR SCREENED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS (SEE K703.7.2.1).



5 (E) FRONT ELEVATION (EAST)  
3/16" = 1'-0"



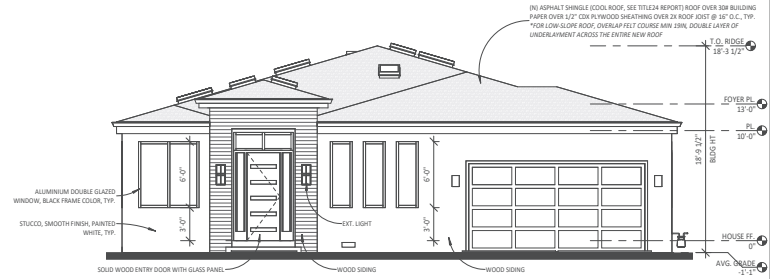
6 (E) LEFT ELEVATION (SOUTH)  
3/16" = 1'-0"



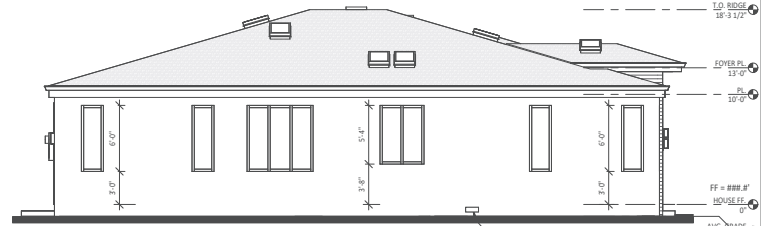
7 (E) REAR ELEVATION (WEST)  
3/16" = 1'-0"



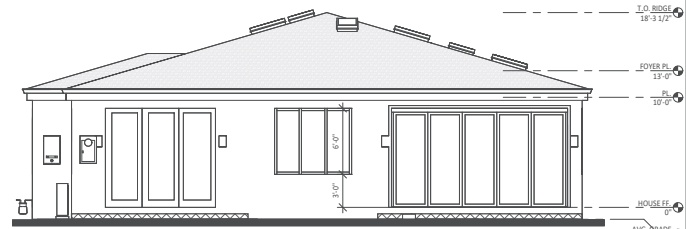
8 (E) RIGHT ELEVATION (NORTH)  
3/16" = 1'-0"



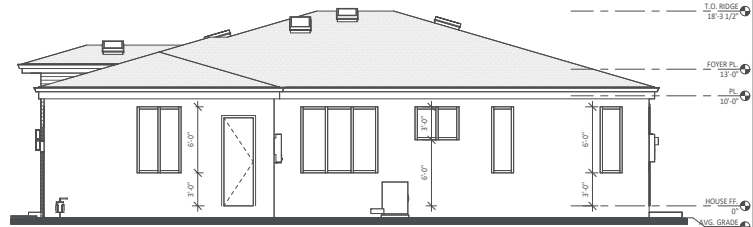
1 PROPOSED FRONT ELEVATION (EAST)  
3/16" = 1'-0"



2 PROPOSED LEFT ELEVATION (SOUTH)  
3/16" = 1'-0"



3 PROPOSED REAR ELEVATION (WEST)  
3/16" = 1'-0"



4 PROPOSED RIGHT ELEVATION (NORTH)  
3/16" = 1'-0"

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EXTERIOR ELEVATIONS

SCALE	3/16" = 1'-0"
PROJECT NO	241118
SHEET NUMBER	A4

$$1/4'' = 1'-0''$$

A5

AL000001.02.04.001

WINDOW SCHEDULE						
TYPE #	W	H	MATERIAL	STYLE	CT	NOTES
C1	0'-6"	0'-0"		CM	1	
C2	2'-0"	0'-0"		CM	9	
C3	4'-0"	0'-0"		CM	1	
C4	0'-0"	0'-0"		CM	1	
C5	2'-0"	0'-0"		CM	2	
C6	4'-0"	1'-0"		CM	1	
C7	4'-0"	0'-0"		CM	1	

16

SKYLIGHT SCHEDULE						
TYPE #	W	L	MATERIAL	STYLE	CT	NOTES
S41	0'-9 1/2"	2'-3 1/2"		FIXED SKYLIGHT	5	
S42	0'-9 1/2"	2'-3 1/2"		FIXED SKYLIGHT	4	

9

DOOR SCHEDULE (HOUSE)							
DR #	W	H	EXTENT	MATERIAL	STYLE	CT	TO ROOM
1	3'-0"	0'-0"	Exterior	WOOD, SOLID	FRONT DOOR WITH GLASS SIDE LIT	1	FOYER
2	10'-0"	0'-0"	Interior	WOOD	MAMA WALL OR SIMILAR	1	FAMILY RM
3	2'-0"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	BEDROOM 2
4	2'-0"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	M BEDROOM 1
5	10'-0"	0'-0"	Exterior	ALUM	SLIDER	1	M BEDROOM 1
6	2'-0"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	M BATH 1
7	2'-0"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	W.I.C.
8	2'-4"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	BATH 2
9	0'-0"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	BATH 3
10	2'-0"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	BEDROOM 3
11	2'-0"	0'-0"	Interior	WOOD, SOLID	SINGLE FLUSH FIRE RATED DOOR	1	2 CAR GARAGE
12	2'-4"	0'-0"	Interior	WOOD	SINGLE FLUSH	1	BATH 4
13	2'-0"	0'-0"	Interior	WOOD	FIRE RATED	1	BEDROOM 4
14	2'-0"	0'-0"	Exterior	WOOD	SINGLE FLUSH	1	2 CAR GARAGE
15	10'-0"	0'-0"	Exterior	STEEL	ROLL UP GARAGE DOOR	1	2 CAR GARAGE

Grand total: 15



2165 BRAY AVE NEW RESIDENCE

SHUN YE  
2165 Bray Ave, Santa Clara, CA 95050

No.	Description	Date
	OWNER REDESIGN v2, DDv11	04.16.25

DOOR WINDOW  
SCHEDULES & DETAILS

SCALE	
PROJECT NO	241118
SHEET NUMBER	A6