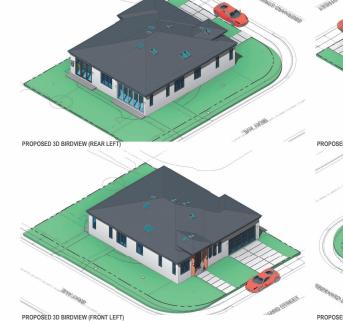
2165 BRAY AVE NEW RESIDENCE

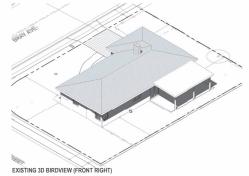
2165 Bray Ave, Santa Clara, CA 95050











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No.	Description	Date
	CLIENT REVIEW v6	12.08.24
	ISSUED FOR PLANNING REVIEW	01.01.25
	OWNER REDESIGN v2, DDv11	04.16.25
	COVERSHEET	
	RENDERING	

SHEET	Δ0.0
PROJECT NO	241118
SCALE	
	PROJECT NO

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2165 BRAY AVE NEW RESIDENCE

WATER UTILITY DEPARMENT REQUIREMENTS

2165 Bray Ave, Santa Clara, CA 95050

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCES PRIOR TO COMMENCING THER

- IT IS THE REPORTED TO THE GENERAL CONTRACTOR AND SEASONATION TO CHECK AND VIEW AND AND SEASONATION OF THE GENERAL CONTRACTOR AND SEASONATION AND SEASONATION OF THE GENERAL CONTRACTOR AND SEASONATION

FIRE PROTECTION NOTES

- THE BILLOMES SHALL BE RESISTED IN AN AMPROVAL AUTOMATIC PRIMILES SYSTEM COMMISSION WITH HE STOTICE OF MAN-THE PRIMILES OF THE PRIMILES OF THE STOTIC OF THE

DEFERRED SUBMITTALS

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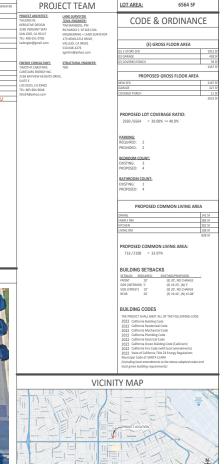
NOTE TO CONTRACTOR:

OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION JRPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A VIEWDESS, IN THE EVENT A DIMENSION IS REQUIRED THAT OFFI MANISON DRIVEN OF THE DEALWAST, THE CONTRACTION AND SEPTILED SEPTILED AND STREET, MANISON DRIVEN OF THE DEALWAST, THE MANISON DRIVEN OF THE OWNER OF THE OWNER OF THE OWNER OF MANISON DRIVEN OF THE OWNER OWNER OF THE OWNER OWN









SCOPE OF WORK

PROJECT DATA

OWNER:

2165 Bray Ave, Santa Clara, CA 95050

CONSTRUCTION TYPE: VB (YES FIRE SPRINKLER)

APN: 224-17-024

ZONING: R1-6I GEN, PLAN; Very Low Densit

FLOOD ZONE: X # OF STORIES: 1 BLDG HEIGHT: 18' - 9 1/2" USE: SFR OCCUPANCY GROUP: R3/U

KERÉATIVE DESIGN 3190 VERDANT WAY, SAN JOSE, CA 95117 TEL: 408 921 0005



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COVERSHEET PROJECT DATA

Description ISSUED FOR PLANNING REVIEW 01.01.25

OWNER REDESIGN v2, DDv11 04.16.25

SCALE As indicated PROJECT 241118 A0.1

FRESH CONCRETE AND MORTAR APPLICATION

- Masons and bricklayers
 Sidewalk construction crews
 Patio construction workers
 Construction inspectors
 General contractors
 Home builders

GENERAL BUSINESS PRACTICES

- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out ornes in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of wushout into the street, storm drains, drainage ditches, or streams.

DURING CONSTRUCTION

Set up and operate small mixers on tarps or heavy plastic drop cloths.

EARTH MOVING ACTIVITIES

Bulldozers, backhoe, a grading machine open
 Dump truck drivers
 Site supervisors
 General contractors
 Home builders
 Developers

DURING CONSTRUCTION

Consider planting temporary vegetation for crossion control on slopes or where construction is not immediately planned.

Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage

Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

GENERAL BUSINESS PRACTICES

Schedule excavation and grading work for dry weather.

Perform major equipment repairs away from the job site.

When refueling or

REST MANAGEMENT PRACTICES FOR THE

When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.

- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- · Never bury waste material.

DETECTING CONTAMINATED SOIL OR

WATCH FOR ANY OF THESE CONDITIONS

STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES

Unusual soil conditions, discoleration, or odor
 Abandoned underground tanks
 Abandoned wells
 Buried barrels, debris, or trash

MOVING ACTIVITIES
Soil excavation and grading
operations loosen large amounts of
soil that can flow or blow into
storm drains if handled improperly.
Soil crodes due to a combination of
decreased soil stability, increased
runoff, and increased flow velocity.
Some of the most effective crosion
control practices reduce the amount

GROUNDWATER

As you know, contaminate

As you know, contaminated groundwater is a common problem in the Santa Clara Valley, it is the Santa Clara Valley, it is a common problem in the Santa Clara Valley, it is a contamination of the Santa Clara Valley and the Santa Clara Valley Santa Valley Santa Valley Santa Valley Santa Clara Valley Santa Valley

STORM DRAIN POLLUTION FROM MASONRY

LANDSCAPING, GARDENING, AND POOL MAINTENANCE

- Gardeners
- Swimming pool/spa service and sepair workers
- General contractors
- Developers

GENERAL BUSINESS PRACTICES

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.

- Protect storm drains with hay sales or other erosion controls

BEST MANAGEMENT PRACTICES FOR THE: POOL/FOUNTAIN/SPA MAINTENANCE LANDSCAPING/GARDEN MAINTENANCE

- Use up pesticides. Rinie containers, and use rirse water as
 - Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a bose to a utility sink or sewer pipe cleanout junction.

OR-

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.

Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use.

Clean up all spills and leaks using "dry" methods (with absor materials and/or rags), or dig up and remove contaminated soil.

appropriately dispose of excess abrasive gravel or sand.

ASPHALT/CONCRETE REMOVAL

Avoid creating excess dust when breaking asphalt or concrete.

After breaking old pavement, be sure to remove all chunks and pieces.

· Shovel or vacuum saw-cut slurry

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storn drains and creeks.

STORM DRAIN POLLUTION FROM ROADWORK in good working ord frequently for leaks.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

POADWORK AND PAVING

BEST MANAGEMENT PRACTICES FOR THE:

Road Care.
 Driveway/sidewalk/parconstruction crews.
 Seal coat contractors:
 Operators of:
 grading equipment
 paving machines
dump trucks
concrete mixers

WHAT CAN YOU DO?

GENERAL BUSINESS PRACTICES

Develop and implement erosion/sediment control plans for embankments.

Check for and repair leaking couloment.

Do not use diesel oil to lubricate equipment or parts.

DURING CONSTRUCTION

Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.

· When refueling or

Schedule excavation and grading work for dry weather.

BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators

SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE

HEAVY EQUIPMENT OPERATION

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.

store in separate container recycle whenever possible

Practice Source Reduction

minimize waste when you order materials. Order only the amount you need to finish the job.

Dispose of all wastes properly.

Many construction materials and

wastes, including solvents, water-based paints, vehicle fluids, broker asphalt and concrete, wood, and

asphalt and concrete, wood, and cleared wegetation can be recycled, (See the references list of recyclers at the back of Blueprint for a Clean Bay). Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

STORM DRAIN POLLUTION FROM

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a

damage caused by your subcontractors or employees.

GENERAL CONSTRUCTION AND SITE SUPERVISION

BEST MANAGEMENT PRACTICES FOR THE: MATERIALS/WASTE/HANDLING

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Construction industry

Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain islets, and bermed if necessary. Make major repairs off site.

Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Ecfore it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.

Keep pollutants off exposed sunfarees. Place trade cans and recycling receptacles around the site to minimize litter.

Clean up leaks, drips, and
 Section of the section of the

Never hose down "dirty"

not contaminate soil or groundwar or leave residue on paved surfaces

Never nose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.

Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.

WHAT CAN YOU DO?

Many landscaping activities decompose soils and increase the likelihood that earth and garden chenicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algoecides should never be discharged to storm drains. These chemicals are toxic

In communities with curbside yard waste recycling, leave elippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.

. Do not place yard waste in

Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials cat litter, and/or rags) where re possible. If you must use water, use just enough to keep the dust down.

- Sweep up spilled dry naterials immediately. Never attempt to wash them away with water or bury them. Use as little water as possible for dust control.
- Clean up spills on dirt areas by digging up and proyerly disposing of contaminated soil.

STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antificeze or other luids on the construction site are common sources of storm water pollution. Present spills and leaks by isolating equipment from runoff channels, and by watching foe leaks and other maintenance problems. Remove

AND ADHESIVES

- BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP

 - Painters
 Paperhangers
 Plasterers
 Graphic artists
 Dry wall crews
 Floor covering
 - Floor covering
 General contra
 Home builders
 Developers
 - Keep all liquid paint products and wastes away from the gutter, stree and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are

- PAINT REMOVAL
- Chips and dust from marin

Recycle/reuse leftover paints whenever possible.

- paints or paints containing lead o tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains.
 Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authorit

PAINTING AND APPLICATION OF SOLVENTS

- For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.

WHAT CAN YOU DO?

- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street or storm drain

BEST MANAGEMENT PRACTICES FOR STORM

WATER POLLUTION PREVENTION

In the Santa Cara valley, storm drains flow directly to local crecks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildisfe dependent on our waterways and for the people who live near polluted streams or baylands. Some common

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Wite District to educate local residents and businesses and fight sorm drain valley.

Note: The property owner and the contractor share ultimate responsibility for the activities that occure on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

- 1. Dial 911 2. Santa Clara Valley Water District Environmental Complianc Division (408) 927-0710.
- Local Pollution Control Agencies Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195
- Santa Clara Valley Water District (408) 927-0710
- San Jose/Santa Clara Water Pollutio Control Dises (408) 945-5300 Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno San Jose, Santa Clara and Saratoga
- Sunnyvale Water Pollution Control Plant (408) 730-7270
- Palo Alto Regional Water Ougity Pato Auto Regional Water Qualty Control Plant (415) 329-2598 Serving East Palo Alto, Los Altos, Los Altos Hills, Montain View, Palo Alto, and Stanford

ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL

- o. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not lo exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of flish chapter shall constitute a separate offense. Every day each such violation continues shall be an additional
- C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Compbell for all esotis, including anterneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Waterouse in violation of this
- D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

- B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in as unn of to exceed \$5000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.

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BLUEPRINT FOR A CLEAN BAY

Description ISSUED FOR PLANNING REVIEW 01.01.25

OWNER REDESIGN v2, DDv11 04.16.25

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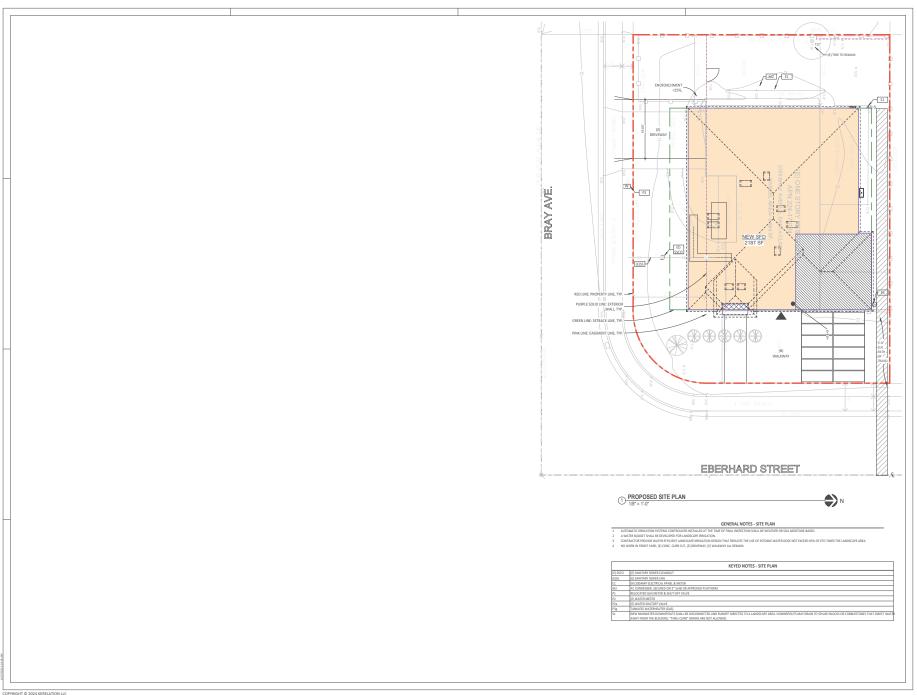
BRAY AVE NEW RESIDENCE

SHUN YE 2165 Bray Ave, Santa Clara, CA 95050

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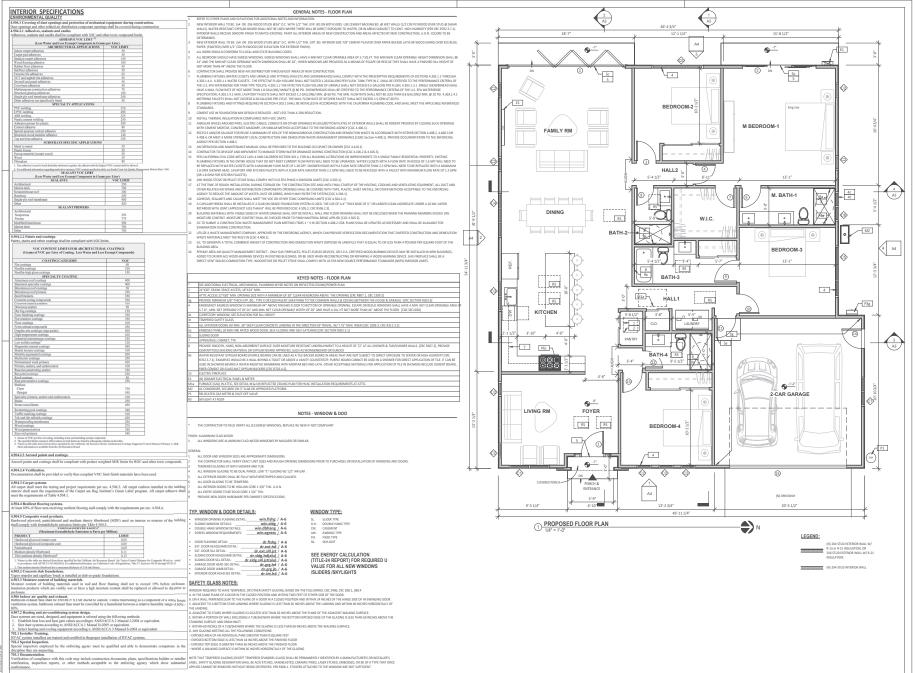
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2165 BRAY AVE NEW RESIDENC

Clara, CA 95050

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SHUN YE 2165 Bray

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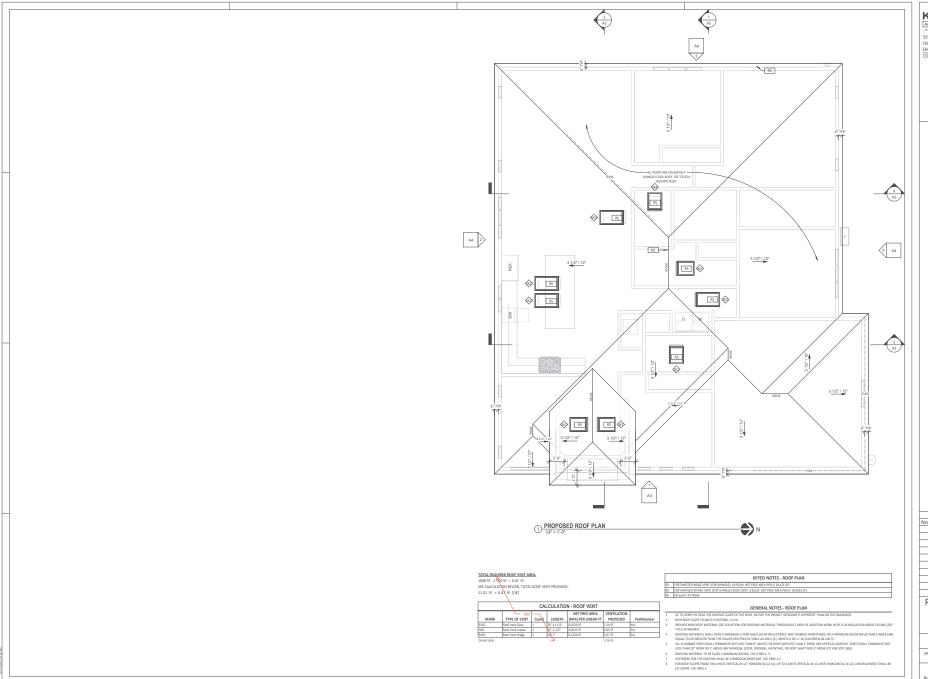
Description

SCALE 1/4" = 1'-0"

PROJECT NO

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PROJECT NO	241118

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No.	Description	Date
	CLIENT REVIEW v6	12.08.24
	ISSUED FOR PLANNING REVIEW	
	OWNER REDESIGN v2, DDv11	04.16.25
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SCALE 3/16" = 1'-0"
PROJECT 241118
SHEET A3



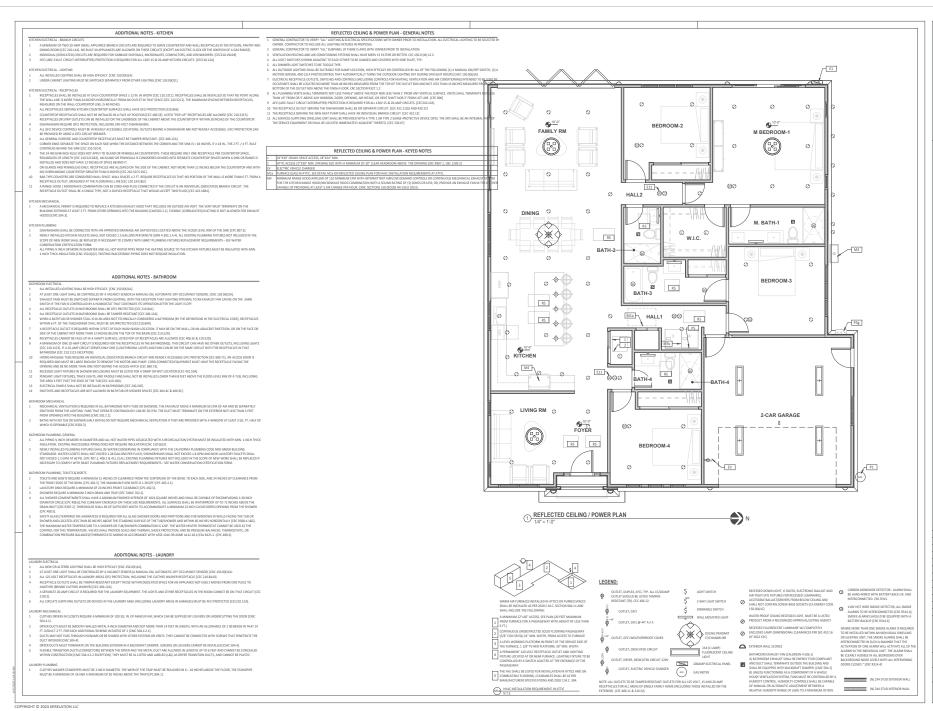
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PROJECT NO	241118
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No. Description Date
CLIENT REVIEW v6 12.08.24
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REFLECTED CEILING & POWER PLANS

SCALE 1/4" = 1'-0"
PROJECT 241118

Α5



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2165 BRAY AVE NEW RESIDENCE

	2165 BRAY AV	
No.	Description	Date
140.		04.16.25
	DOOR WINDOW	,
	DOOK WINDOW	1

SCHEDULES & DETAILS

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PROJECT NO	241118	
SCALE		