

GENERAL NOTES

- ALL WORK DEFINED ON THESE DRAWINGS IS REQUIRED TO COMPLY WITH:
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 RESIDENTIAL CODE (CRC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2022 CALIFORNIA ENERGY CODE (T24E)
 - 2022 CALIFORNIA FIRE CODE
 - AND ALL OTHER APPLICABLE STATE, FEDERAL, AND LOCAL CODES.
- THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE DESIGNER AND SHALL NOT BE USED ON ANY OTHER PROJECT EXCEPT BY WRITTEN AGREEMENT WITH THE DESIGNER.
- THE CONTRACTOR IS RESPONSIBLE FOR:
 - PLANS
 - NOTES
 - DETAILS
 - ELEVATIONS
 - CONSULTANT REPORTS
- SUPPORTING DOCUMENTS PRIOR TO COMMENCEMENT OF ANY WORK THROUGH REVIEW AND FAMILIARITY OF THESE DOCUMENTS IS REQUIRED AND ANY OMBREPRENANCE IN THIS SET OF CONSTRUCTION DOCUMENTS IS TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.
- IF SPECIFICATIONS VARY WITHIN THE SET, THE MOST STRINGENT IS SAID TO APPLY UNLESS CLARIFIED IN WRITING BY THE DESIGNER.
- IF ANY DETAILS ARE NOT TO BE MISSING OR INCOMPLETE, WRITTEN QUESTIONS ARE TO BE DIRECTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY CONTRACT FOR CONSTRUCTION.
- THE GENERAL CONTRACTOR IS REQUIRED TO NOTIFY THE DESIGNER IN WRITING OF:
 - SUBSTITUTION
 - REVISION
 - PROPOSED ALTERNATES
- AT LEAST TWO WEEKS PRIOR TO THE EXPECTED DATE OF ORDER OR INSTALLATION OF SUBSTITUTES IN ORDER TO ALLOW ADEQUATE TIME FOR COORDINATION AND APPROVAL BY THE DESIGNER AND/OR PROFESSIONAL CONSULTANT AS WELL AS THE LOCAL AGENCIES ENFORCING THESE REGULATIONS. THE DESIGNER'S APPROVAL IS REQUIRED SO THE GREATER THE NOTICE THE BETTER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ALL REQUIRED INSPECTIONS.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE, WHERE APPROPRIATE. ALIGNMENTS TO EXISTING WALLS AND FINISHES SHOULD COVER ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR WORKING TO SPECIFICATIONS ON THE JOB SITE AS REFERENCES AT ALL TIMES. THE GENERAL CONTRACTOR AND FRAME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING SHEAR WALL LENGTHS AND HOLD-DOWN LOCATIONS WITH PLUMBING AND MECHANICAL INFRASTRUCTURE. PLUMBING AND SIFTS SHOULD BE FRAMED AS REQUIRED AND WITHIN THE VENTILATION OF OWNER OR DESIGNER.
- THE CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR AND THEIR SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPERTY, THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR AND THEIR SUBCONTRACTORS FURNISHING, INSTALLING, MAINTAINING AND HOLD THE DESIGNER HARMLESS FROM ANY AND ALL LIABILITY (REAL OR ALLEGED) IN CONNECTION WITH THE PERFORMANCE OF THE PROJECT. THE CONTRACTOR'S EXCLUSIVE LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGNER.
- THE GENERAL CONTRACTOR IS REQUIRED TO DESIGNATE A CONTACT PERSON FOR THE PROJECT TO RECEIVE ALL NOTICES AND COMMUNICATIONS. THE CONTACT PERSON'S NAME AND PHONE NUMBER ARE TO BE GIVEN TO THE OWNER AND THE DESIGNER, UNLESS SPECIFIED BY THE OWNER. THE CONTRACTOR IS TO PROVIDE REVISIONS, APPROPRIATE, AND SANCTIONED SUPERVISION ON THE JOB SITE FOR THE DURATION OF THE PROJECT. THE GENERAL CONTRACTOR IS TO PROVIDE AND MAINTAIN A JOB SITE PHONE NUMBER, EMAIL, OR FAX. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE SUPERVISION OF ALL SUBTRADES.
- THE CONTRACTOR SHALL CONFINE THE OPERATIONS TO THE SITE AREAS AS PERMITTED BY THE CITY OF SANTA CLARA. THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION (PER THE REQUEST OF THE OWNER, GENERAL CONTRACTOR, OR DESIGNER) SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE SAID PARTY. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO BIDDING AND CONDUCTING REASONABLE INSPECTION OF EXISTING CONDITIONS FOR PURPOSES OF ACCURATELY ASSESSING THE SCOPE OF WORK, SITE CONDITIONS, AND OVERALL PROJECT INTENT. QUESTIONS ARISING FROM THE SITE VISIT ARE TO BE DIRECTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO BID.
- THESE DRAWINGS ARE INTENDED TO ILLUSTRATE A COMPLETE JOB, UNLESS SPECIFIED. WORK IS TO INCLUDE ALL COMMON AND NECESSARY ACCESS TO UTILITIES (GULLY BODIES, HOLDERS, TOWEL BARS, MIRRORS, ETC.) AS WELL AS ALL COMPONENTS REQUIRED TO COMPLETE CURRENT CODE REQUIREMENTS IN THE JURISDICTION WHERE WORK IS BEING PERFORMED. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING SUB-STRUCTURE INCLUDING FLOOR, WALL, OR CEILING FINISHES TO ASSURE SURFACES ARE PLUMB, LEVEL AND TO WITHSTAND 14' ON 8" MEASUREMENT. CONCREALMENT OF STEEL STRUCTURAL BEAMS, TUBS, BOLTS, AND PROTRUDING ELEMENTS ARE TO BE CONSIDERED AS PART OF THE ROUGH FRAME BEING AND ARE TO BE INCLUDED IN THE CONSTRUCTION, FINISHING, NOTCHING, AND ALTERNATIVE WELDING AND ANY OTHER MEANS MAY BE CONSIDERED PERMISSIVE APPROVAL OF THE STRUCTURAL ENGINEER.
- PERTAINING CERTAIN ITEMS, MATERIALS AND FEATURES REPRESENTED WITHIN THIS SET MAY NOT BE APPROVED AS SHOWN BY THE BUILDING PERMIT. QUESTIONS REGARDING THE SPECIES OF APPROVAL SHALL BE DIRECTED TO THE LOCAL JURISDICTION.
- NOTICE: THIS SET HAS BEEN PRODUCED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. THESE DRAWINGS ARE NOT TO BE CONSIDERED AS BUILDS, NOR INCLUSIVE OF ALL DETAILS DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDRESSING ALL PERMISSIVE CONSTRUCTION ISSUES.
- NOTICE: THESE DRAWINGS ARE NOT TO BE USED IN ANY CONSTRUCTION FOR WHICH BUILDING PERMITS HAVE NOT BEEN OBTAINED. ADDITIONALLY, THE CONTRACTED BUILDERS ARE NOT TO BE CONSIDERED AS BUILDS, NOR INCLUSIVE OF ALL DETAILS DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS PRIOR TO THE BASED ON PLANS THAT HAVE NOT BEEN REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT. THIS SITUATION APPLIES TO ORIGINAL SUBMITTAL DRAWINGS AND REVISIONS. ALL DRAWINGS ARE PRELIMINARY UNTIL A PERMIT IS ISSUED.
- AS PART OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT, THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE REQUIRED FOR COMPLIANCE WITH THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE.
- A BUILDING OPERATIONS MANUAL MUST BE PROVIDED TO THE OWNER PER GREEN BUILDING CODE SECTION 4.10.11.

DEMOLITION NOTES

- THE GENERAL CONTRACTOR IS TO VERIFY ANY EXISTING FEATURES AND FINISHES TO REMAIN PRIOR TO DEMOLITION. MATERIALS, FEATURES, HARDWARE, ETC. WHICH ARE TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL THEY ARE TO BE RE-INSTALLED.
- THE GENERAL CONTRACTOR IS TO VERIFY WITH OWNERS WHETHER REMOVED OR UNUSED DOORS, WINDOWS, FIXTURES, HARDWARE, AND MISCELLANEOUS MATERIALS SHOULD BE SAVED FOR POSSIBLE FUTURE REUSE - OR DISCARDED. THE OWNER SHALL MAKE A LIST OF SUCH ITEMS PRIOR TO DEMOLITION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ITEMS DAMAGED BY DEMOLITION OR REMOVED IN ERROR.
- NO ASBESTOS TESTS WILL BE THE UNDERTAKEN BY ANY PARTY EXCEPT AS ALLOWED BY LAW.
- THE GENERAL CONTRACTOR SHALL PROVIDE VISIBLON SCREENING DURING DEMOLITION TO PROTECT EXISTING RESIDENCE. APPLIANCES AND FURNISHINGS AS APPROPRIATE POSITIVE VERIFICATION IS TO BE PROVIDED FOR DUST CONTROL.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION DEBRIS AND ALL OTHER ORGANIC MATERIAL REMOVAL FROM THE STRUCTURE AND THE SITE, FRAMED AREAS TO BE FREE OF DEBRIS PRIOR TO SHEETROCKING, UNDER FLOOR, AND OTHER AREA SHALL BE LEFT CLEAN AND FREE OF DEBRIS, CUT-OFFS, SCRAP, SAWDUST, ASSOCIATED GARBAGE, ETC.
- THE DESIGN AND INSTALLATION OF ALL TEMPORARY SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL EXISTING FRAMING AND LOAD TRANSFER TO BE FIELD VERIFIED PRIOR TO SHORING ANY PORTION OF THE STRUCTURE.
- ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST UTILITIES JUNCTION. NO ALARM HOTS ARE TO REMAIN AFTER CONSTRUCTION. TEMPORARY POWER FOR THE DURATION

SITE DEVELOPMENT NOTES

- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION
- THE CONTRACTORS SHALL VERIFY THE LOCATION OF ALL PROPERTY BOUNDARIES FOR THE SITE AND VERIFY ALL SETBACK AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. THE OWNER IS RESPONSIBLE FOR PROVIDING A SURVEY AND TITLE REPORT IF REQUIRED BY THE LOCAL JURISDICTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE FURTHER COMMENCEMENT OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING AND SCHEDULING THE PROJECT GEOLOGICAL ENGINEER FOR SITE INSPECTIONS AND OBSERVATION OF EXCAVATIONS, DRILLING, DRAINAGE, BACKFILL, ETC.
- SOIL COMPACT FOR GRADING OR BACKFILLING SHALL BE PLACED IN ACCORDANCE WITH THE SOILS ENGINEER RECOMMENDATIONS. IF THERE IS NO SOILS ENGINEER USE OF 15% WITH 90% COMPACTION.
- TEMPORARY EARTH SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.

FOUNDATION AND CONCRETE NOTES

- FOR GENERAL REFERENCE SEE CRC 2022, CHAPTER 18.
- FOUNDATION VENTS PER CALIFORNIA RESIDENTIAL CODE SECTION R608.1 AND CEC 1203.1 PROVIDE PRESSURE FROM 1.5' FOR EACH 150 SF OF DRAIN IF FOUNDATION AREA, OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MAXIMUM OPENING OF 1/4" (1/8" DIMENSION ON PER SIDE) 120X12" WHERE MOISTURE DUES TO CLIMATE AND GROUNDWATER CONDITIONS IS NOT CONSIDERED EXCESSIVE, AND THE GROUND SURFACE IS COVERED BY 3" CUSTY 1" PAVEMENT RETAINING WALLS. THE REQUIRED NET AREA OF VENT OPENING MAY BE REDUCED TO 1.5' PER 150 SF PROVIDED VENT OPENINGS ARE LOCATED WITHIN 1' OF EACH CORNER OF THE FOUNDATION. 100% APPROVED TO PROVIDE CROSS VENTILATION OF THE SPACE PER 2022 CEC 1203.2.2.
- CRAWL SPACE ACCESS PER 2022 CEC R608.6 AND CEC 1206.1 PROVIDE A MINIMUM OF ONE 18"X24" SQUARE ACCESS TO INSIDE/OUTER AREAS, FINISH DUCTS AND OTHER NON-STRUCTURAL CONSTRUCTION SHALL NOT INTERFERE WITH ACCESSIBLE CLEARANCE TO UNDER FLOOR AREA.
- CRAWL SPACE CLEARANCE PER 2022 CEC SECTION 2504.1. THERE SHALL BE A MINIMUM CLEARANCE OF AT LEAST 18" BETWEEN THE UNDERSIDE OF WOOD FLOOR JOISTS AND THE FINISHED SURFACE OF THE GROUND BENEATH AND AT LEAST 12" BETWEEN THE UNDERSIDE OF ANY OTHER HORIZONTAL FRAMING MEMBERS AND THE FINISHED SURFACE OF THE GROUND, WHERE SUCH CLEARANCE IS NOT PROVIDED, WOOD JOISTS, GIRDERS, SUBFLOORS SHALL BE PRESERVATIVE TREATED, INCLUDING POSTS.
- DECAY PREVENTION PER 2022 CEC SECTION 2506.1.2.2 WOOD FRAMING LASS THAN 1" FROM EXPOSED EARTH SHALL BE NATURALLY DURABLE OR PRESERVATIVE TREATED. PROVIDE 8 INCHES WOOD FRAMING SEPARATION FROM EXPOSED EARTH, OR IF LASS THAN 8 INCHES USE NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD. IF EARTH IS PAVED AT LEAST 18 INCHES WIDE IN ASPHALT OR CONCRETE AND DRAINING WATER FROM THE BUILDING THROUGH SILL MAY BE 6" FROM SURFACE.
- ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. ARE TO BE VERIFIED PRIOR TO FOUNDATION POUR. LOCATIONS OF HOLDINGS, CURBS, STEPS, CURTAINS, PLUMBING, MECHANICAL, ETC. ARE TO BE COORDINATED BY THE GENERAL CONTRACTOR. SHOULD ADDITIONAL CLARIFICATIONS TO THESE DRAWINGS BE REQUIRED, THE CONTRACTOR SHALL CONTACT THE DESIGNER AS EARLY AS POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING FINISHED THICKNESS INFORMATION OR ALLOWANCES. GENERAL CONTRACTOR TO VERIFY PRIOR TO POUR.
- ALL JOINTS TO BE CHAPPED FOR ROUGH SURFACE. SANDBLASTED CLEANING AND REPAIR SHALL BE REQUIRED FOR ALL JOINTS. ALL CONCRETE POUR, COLD JOINTS MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
- REVISIONS AND SUBSTITUTIONS ARE TO BE SUBMITTED TO THE BUILDING DEPARTMENT AND MUST BE APPROVED PRIOR TO CONTINUING WORK.
- SPECIAL INSPECTION WILL BE REQUIRED FOR WATER PROOFING BELOW GRADE. SPECIAL INSPECTION IS REQUIRED FOR ALL STRUCTURAL, ELECTRICAL, ENGINEERING DRAWINGS, AND A PER THE JURISDICTIONAL APPROVAL CHECKLIST.
- SHOULD THE CONTRACTOR ELECT TO USE SHOTCRETE, SPECIAL INSPECTION WILL BE REQUIRED AND THE STRUCTURAL ENGINEER MUST BE GIVEN OPPORTUNITY TO REVIEW REPAIR SUBMITTALS.

KITCHEN NOTES

- VERIFY ALL FIXTURE AND OUTLET LOCATIONS WITH OWNER PRIOR TO INSULATION.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL AN FLOODED AIR GAP FOR THE DISHWASHER ON THE DISCHARGE SIDE AT OR ABOVE THE FLOODED LEVEL OF THE NK DRAIN BOARD, WHICHEVER IS HIGHER.
- PROVIDE HIGH EFFICIENCY LIGHT FIXTURES FOR GENERAL LIGHTING IN THE KITCHEN AND BATHS PER 2022 CEC 724.4 SECTION 7003.
- A 20% WATER REDUCTION IS REQUIRED TO COMPLY WITH 2022 CA GREEN BUILDING STANDARDS CODE (CGSB) CHAPTER 4 SECTION 4.303.
- PER 2022 CEC ARTICLE 214(2)(3), RECEPTACLES ALONG THE COUNTER TOPS SHALL BE SPACED MAXIMUM 4 FEET FROM THE SINKS AND 4 FEET FROM EACH OTHER. SINKS AND OR PENINSULA COUNTER TOPS 12 INCHES OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH 4 FEET OF COUNTER. NO POINT OF THE WALL MAY BE MORE THAN 24 INCHES FROM AN OUTLET. NITCHE OUTLETS SHALL BE:

FLOOR PLAN NOTES

- ALL WORK TO COMPLY WITH THE 2022 CA RESIDENTIAL CODE AND THE 2022 CA BUILDING CODE EXCEPT WHERE SHOWN OTHERWISE.
- VENTILATION PER 2022 CEC SECTION 1203.1. BUILDINGS SHALL BE PROVIDED WITH NATURAL VENTILATION (SECTION 1203.1) OR MECHANICAL VENTILATION PER 2022 CEC. THE MINIMUM OPENABLE AREA OF OCCUPIED SPACE TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL MECHANICAL VENTILATION EXCEPTS ALLOWED FOR WHOLE HOUSE MECHANICAL VENTILATION. MECHANICAL VENTILATION EXCEPTS FOR BATHS, SHOWERS, SINKS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED PER CMC. MINIMUM EXHAUST SHALL BE AS SPECIFIED IN TABLE 4.1.
- LIGHTS PER 2022 CEC SECTION 1205.2. ALL ROOMS INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTENDED GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. OR ARTIFICIAL LIGHT PER 2022 CEC SECTION 1206.2. SEE 2022 CEC SECTION 1206.2 FOR ADJOINING SPACE NATURAL LIGHT MINIMUMS. SEE ALSO DOOR AND WINDOW REQUIREMENTS THIS SHEET SECTION 14.
- ROOM EGRESS - IN ALL ROOMS USED FOR LIVING, DINING, AND SLEEPING PURPOSES (HABITABLE ROOMS) PROVIDE 2 MEANS OF EGRESS.
- SMOKE DETECTORS - INSTALL PER 2022 CEC [F] SECTIONS 907.2.1.2, 907.2.1.3, 907.2.1.4. DETECTORS SHALL BE MOUNTED ON THE CEILING OR HIGH ON WALL IN EACH SLEEPING AREA AND AT POINT LOCATED ADJACENT TO THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA, AND AT LEAST ONE ON EACH LEVEL OF THE BUILDING AS REQUIRED BY THE ABOVE NOTE. 2022 CEC SECTION 907.2.1.4 AND ALL OTHER APPLICABLE CODES. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS AND COMPLY WITH 711.1. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING (110V WARM WIRE) WITH BATTERY BACKUP POWER. SMOKE AND FIRE ALARMS SHALL BE INTERCONNECTED IN SUCH MANNER AS ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS.
- FIRE SPRINKLERS - VERIFY APPLICABLE FIRE SPRINKLER REQUIREMENTS FOR REMODEL. VERIFY CONSTRUCTION PROJECTS WITH THE LOCAL BUILDING AND FIRE DEPARTMENT PRIOR TO CONSTRUCTION. FIRE SPRINKLER DESIGN DRAWINGS ARE TO BE DEFERRED SUBMITTAL BY THE FIRE SPRINKLER CONTRACTOR TO BE APPROVED BY THE FIRE DEPARTMENT AND DESIGNER FOR LOCAL FLOW RATINGS AND MONITORS AS REQUIRED.
- FLAME SPREAD - THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISHED MATERIALS USED ON INTERIORS WALLS AND CEILINGS SHALL MEET REQUIREMENTS OF THE 2022 CEC SECTION 703.2.1.1. INTERIORS WALLS AND CEILINGS FINISHES SHALL MEET CLASS "C" FLAME SPREAD REQUIREMENTS OF TABLE 803.3 OF THE 2022 CEC.
- GARAGE VENTILATION - GARAGES SHALL BE VENTILATED BY A MEANS OF 4"X14" VENTS REQUIRED BY MANUFACTURER'S DETAILS AND SHOP DRAWINGS.
- CORRIDORS AND HALLWAYS - AS REQUIRED BY THE 2022 CEC SECTION 1018.2 (EXCEPTION 3), CORRIDORS OR HALLWAYS WITH A DWELLING UNIT OR REQUIRED OCCUPANCY LOAD LESS THAN 50 SHALL PROVIDE A CLEAR MINIMUM 36" IN WIDTH. SEE 2022 CEC SECTION 1018.2 FOR EXCEPTIONS.
- LANDINGS - PER 2022 CEC SECTION 1005.5 THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH OF THE LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAYS THEY SERVE, OR MORE THAN 48" BY THE STAIRWAY IN A STRAIGHT RUN. DOORS OPENING OUT TO A LANDING SHALL NOT REDUCE THE LANDING TO LESS THAN ONE HALF THE REQUIRED WIDTH OR PROJECT MORE THAN 7" INTO A LANDING. IN GROUP R OCCUPANCIES, A LANDING IS NOT REQUIRED AT THE TOP OF INTERIOR STAIRS PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRS.
- LANDINGS AT EXTERIOR DOORS - PER 2022 SECTION 1006.4 AND SECTION 1009.5.7 LEVEL CHANGES AT EXTERIOR DOORS SHALL NOT EXCEED 12" AT EXTERIOR DOORS AND 7"7" AT INSIDE OR SIDING DOORS, AS MEASURED FROM TOP OF THRESHOLD TO FINISHED SURFACE. PROTECT TO RESIST CORROSION, PULVERIZATION, AND FLASHING TO ACCOMMODATE MANUFACTURER'S DETAILS. ADJUST CURTAIN WALL DETAILS AS REQUIRED. VERIFY WITH MANUFACTURER'S DETAILS AND SHOP DRAWINGS.
- LANDER STAIRS - FIRE PROTECTION PER 2022 CEC 1008.5. WALLS AND SIFTS OF ENCLOSED CLOSET OR STORAGE SPACE UNDER STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/4" FIRE PROTECTION. OR USE 5/8" TYPE "X" PYRNUM BRICK.
- DRAFT STOPPER - PER 2022 CEC SECTION 711.1 DRAFT STOPS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: FLOOR CEILING ASSEMBLIES - WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOORING ASSEMBLY INCLUDING SOFFITS AND INTERIOR-PLUMBING SPACES, DRAFT STOPS SHALL BE INSTALLED SO THAT THE TOTAL OF THE CONCEALED SPACE DOES NOT EXCEED 1.000 SQUARE FEET AND IS DIVIDED TO APPROXIMATELY EQUAL AREA. DRAFT STOPS ARE REQUIRED IN FLOORING ASSEMBLY OF BUILDINGS HAVING MORE THAN ONE DWELLING UNIT AND SHALL BE INSTALLED IN LINE WITH WALL SEPARATING UNITS. DRAFT STOPS ARE REQUIRED AT ATTIC, OVERHANGS, MANARDS, AND SIMILAR CONCEALED SPACES OF BUILDINGS CONTAINING MORE THAN ONE DWELLING UNIT.
- FIRESTOPS - ALL PIPE, WIRE, AND DUCT PENETRATIONS IN WALLS ARE TO BE CAULKED OR BLOCKED WITH APPROVED MATERIALS TO RESIST PASSAGE OF A FLAME. PER R901.1.
- ALL FINISHES ARE TO COMPLY WITH VOC AND FORMALDEHYDE LIMITS SET FORTH IN TABLES 4.204 (1,2,3) AND 4.
- ALL JOINTS AND OPENINGS BETWEEN CONDITIONED AND UNCONDITIONED SPACES ARE TO BE CLOSED OR SEALED.

GENERAL STRUCTURAL NOTES

- SHEAR COMPONENTS - GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING A GENERAL UNDERSTANDING OF SHEAR RESISTING ELEMENTS AND COMPONENTS WITHIN A MEMBER. SHEAR TRANSFER AND HARDWARE IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- NOTE THAT STRUCTURAL DETAILING WITHIN THE STRUCTURAL SHEETS MAY INDICATE HARDWARE, BRACKETED CONNECTIONS AND FASTENERS WITH MAY PROTRUDE FROM THE PLANE OF ROUGH FRAMING. IT IS THE FRAMING CONTRACTOR'S RESPONSIBILITY TO INCLUDE FURRING STRIPS, TAPER STRIPS, FILL WEDGES AND OTHER CONNECTIONS TO BE INSTALLED IN LINE WITH WALL SEPARATING UNITS. STRUCTURAL COMPONENTS, ALTERNATIVE DETAILING, SUCH AS WELDED ROBS IN PLACE OF BOLTED CONNECTIONS, SHALL BE SUBSTITUTED ONLY AS APPROVED BY THE STRUCTURAL ENGINEER.
- LUMBER QUALITY - CONTRACTOR IS RESPONSIBLE FOR REVIEWING LUMBER QUALITY AT THE TIME OF EACH DELIVERY. EXCESSIVE WET, UNUSUALLY CURPED, WARPED OR SPOITY MATERIALS SHALL NOT BE ACCEPTED ON THE JOB SITE. CONTRACTOR IS RESPONSIBLE FOR STORING MATERIALS IN A NEAT, DRY, LEVEL ENVIRONMENT WHERE DAMAGE TO LUMBER IS MINIMIZED.
- STRUCTURAL DRAWINGS, AND DETAILING BY OTHERS ARE INCLUDED AS A PART OF THIS CONTRACT FOR CONSTRUCTION.
- ALL COMPONENTS SHALL BE FASTENED OR NAILED PER TABLE 2304.1.02 UNLESS PROVIDED OTHERWISE BY STRUCTURAL DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DETAILING OF ALL CONNECTIONS. ALL CONNECTIONS SHALL BE INSTALLED PER 2022 CEC SECTION 2304.1.02 AND 2304.1.03 WITH ANY ASSOCIATED SUBTRADES. VERIFY FINISHING AND BLOCKING, RISE/RISE FRAMING WHERE REQUIRED.
- SUPPORT - HANDRAILS AND GUARDRAILS SHALL BE CAPABLE OF SUPPORTING 200LB. CONCENTRATED LOAD AT ANY POINT TO THE TOP RAIL.

DOOR, WINDOW, & SKYLIGHT NOTES

- UNLESS OTHERWISE REQUESTED BY THE OWNER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DOOR AND WINDOW UNITS, ROUGH OPENING CREATION, OPERATIONS, EGRESS CONDITIONS ETC. PRIOR TO FINAL ORDER OF DOORS AND WINDOWS. THE OWNER, CONTRACTOR, ARCHITECT, AND WINDOW MANUFACTURER SHALL BE RESPONSIBLE TO WALK THROUGH THE ENTIRE JOB AND VERIFY EACH UNIT PRIOR TO ORDER.
- ALL NEW EXTERIOR DOORS TO BE WEATHER STRIPPED. SEE TITLE 246 COMPLIANCE MEASURES WITH THIS SET.
- ALL GLAZING AND GLAZING SHALL COMPLY WITH 2019 CBC CHAPTER 24.
- GLAZING - PER 2022 CEC SECTION 2406. ALL GLAZING SHALL CONFORM WITH HUMAN IMPACT REQUIREMENTS. SAFETY-TEMPERED GLASS OR PLASTIC IS REQUIRED AT ALL GLAZED DOORS GLAZING WITHIN 24" OF DOORS. WITHIN 18" OF ANY FLOORS IN BATHS, SHOWERS, HOT TUBS, WHIRLPOOLS SAUNAS, AND STEAM ROOMS. SEE 2022 CEC SECTION 2406.4 FOR HAZARDOUS LOCATIONS. EACH LINE OF SAFETY-TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER. OR BY BUILDING INSPECTOR. AT THEIR DISCRETION, MAY APPROVE A CERTIFICATE.
- EGRESS WINDOWS - PER 2022 CEC SECTION 1028. ALL ESCAPE OR RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET. THE MINIMUM NET CLEAR HEIGHT DIMENSION SHALL BE 20 INCHES. THE NET CLEAR WIDTH SHALL BE 20 INCHES, WHEN WINDOWS ARE PROVIDED AS A MEANS OF EGRESS, ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR PER CEC. 1003A. SEE CEC 1012 FOR OPENING LIMITED EGRESS REQUIREMENTS AND EGRESS OPERATION. WHERE A WINDOW SILL IS LOCATED WITHIN 24 INCHES OF THE FINISHED FLOOR, THE WINDOW MUST BE EQUIPPED WITH A LIMITING DEVICE TO PREVENT THE PASSAGE OF A 4" SPHERE.
- SKYLIGHTS - SHALL COMPLY WITH 2022 CEC SECTION 2405. CONTRACTOR SHALL PROVIDE CMC NUMBERS FOR PRE-FABRICATED GLAZINGS AND ASSEMBLES TO THE BUILDING INSPECTOR FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. INDICATE THE GLAZING TYPE.

ROOF PLAN NOTES

- ATTIC ACCESS - PER 2022 CEC SECTION 1003.1. PROVIDE MINIMUM 30" ACCESS OPENINGS TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30" AND AREA MORE THAN 30 SQ. FT. 30" MINIMUM CLEAR HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT EACH POINT OF THE ACCESS OPENING. MEASURED FROM THE BOTTOM OF CEILING MEMBERS.
- ATTIC AND ENCLOSED RAFTER VENTILATION PER 2022 CEC SECTION 1003.2. THE NET VENTILATING AREA SHALL BE AT LEAST 100% OF THE SPACE AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS. THERE SHALL BE A MINIMUM OF 1" OF CLEAR SPACE FOR VENTING BETWEEN RAFTER SHEATHING AND ATTIC INSULATION. UNVENTED ATTIC SPACE SHALL BE PROTECTED FROM OVERHEATING BY PROVIDING AN EXHAUST FAN (EXHAUST FAN) PERMITTED WHEN ALL CONDITIONS OF CRC SECTION R608.6 ARE MET.
- CONVENTIONAL LOG WOOD FRAMING PER 2022 CHAPTER 23 - SEE 2022 CEC SECTION 2301.1.1. RAFTERS SHALL BE PROTECTED FROM WEATHERING BY INSTALLING CEILING JOISTS ARE NOT PARALLEL TO RAFTERS. EQUIVALENT RAFTER THIS SHALL BE INSTALLED AT STRIPS OF NOT MORE THAN 24" O.C.
- EGRESS PATHS SHALL BE INSTALLED PER 2022 CEC. THE UNBLOCKED LENGTH SHALL NOT BE LESS THAN 6 FEET AND THE CLEAR SLOPE OF THE UNBLOCKED LENGTH SHALL NOT BE LESS THAN 45 DEGREES FROM THE HORIZONTAL.

STAIRWAY, HANDRAIL, & GUARDRAIL NOTES

- STAIRWAYS - STAIRWAYS SHALL MEET EGRESS REQUIREMENTS AS DESCRIBED FOR SPECIFIC TYPE WITH THE 2022 CEC CHAPTER 10. GENERALLY, RESIDENTIAL STAIRWAYS SHALL NOT BE LESS THAN 36" WIDE. THE CLEAR WIDTH SHALL NOT BE LESS THAN 36 INCHES OR GREATER THAN 7.0 INCHES. THE RUN SHALL NOT BE LESS THAN 10 INCHES AS MEASURED HORIZONTALLY BETWEEN VERTICAL PLANES OF THE FOREMOST PROJECTION OF THE ADJACENT TREADS. THE LARGEST RISE AND/OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". FOR CURVED STAIRS, THE MINIMUM TREAD DEPTH (WIDENING) SHALL BE 8 INCHES WITH A MINIMUM 1" TREAD DEPTH AT THE WALK LINE 12" FROM NARROWEST PORTION OF TREAD. SEE 2022 CEC CHAPTER 10 FOR ADDITIONAL INFORMATION AND EXCEPTIONS REGARDING CURVED OR SPIRAL STAIRWAYS AND FOR STAIRWAYS SERVING AN OCCUPANT LOAD FACTOR OF GREATER THAN 1.0. WHEN THE TREAD DEPTH IS LESS THAN 14", A NOBODIS MUST PROVIDE A MINIMUM 3/4" AND A MINIMUM 1/4" PER 100LBS. ANY RADIALS AT THE LEADING EDGE OF THE TREADS MAY NOT EXCEED 9/16".
- MANUFACTURED STAIRS - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND BCC NUMBER OF ANY MANUFACTURED STAIR TO THE BUILDING INSPECTOR FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR TO VERIFY ALL STAIRWAY DETAILS WITH THE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO VERIFY ALL STAIRWAY DETAILS WITH THE ARCHITECT PRIOR TO FRAMING STARTUP. SUBMIT SHOP DRAWINGS BY STARTUP MANUFACTURER'S APPROVAL.
- STAIRWAY HEADROOM - PER 2022 CEC SECTION 1086.2. EVERY STAIRWAY SHALL HAVE A HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM LINE CONNECTING THE EDGE OF THE NOSING. HEADROOM SHALL BE CONTINUOUS TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW. ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING. EXCEPTIONS: SEE EXCEPTION 4 FOR ALLOWABLE 42" ENCROACHMENT AT THROUGH FLOOR OPENING.
- HANDRAILS - PER 2022 CEC SECTION 1012.2. HAND RAILS SHALL BE 34 INCHES TO 38 INCHES ABOVE THE NOSING OF TREADS. ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAIL PROTECTING FROM A WALL SHALL HAVE A CLEAR SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. PER 2022 CEC SECTION 1012.4.
- HANDGRIPS - PER 2022 CEC SECTION 1013.3. CIRCULAR HANDRAILS SHALL BE NOT LESS THAN 1 1/4 INCHES OR MORE THAN 2 INCHES IN DIAMETER AND SHALL HAVE A SMOOTH SURFACE. SUBMIT SHOP DRAWINGS TO THE BUILDING INSPECTOR FOR APPROVAL FOR ADDITIONAL INFORMATION REGARDING ALTERNATIVE (TYPE II) HANDRAIL REQUIREMENTS.
- GUARDRAILS - PER 2022 CEC SECTION 1013.2 AND CEC 9312.2. RESIDENTIAL GUARDRAIL SHALL BE A MINIMUM OF 42 INCHES HEIGHT. OPERABLE GUARD RAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4 INCH DIAMETER GLOBE CANNOT PASS THROUGH. SEE 2022 CEC SECTION 1013.2 FOR EXCEPTIONS 1 AND 2. ALLOWABLE EXCEPTIONS BETWEEN 38 INCHES AND 42 INCHES AND TRIANGULAR OPENINGS.
- SUPPORT - HANDRAILS AND GUARDRAILS SHALL BE CAPABLE OF SUPPORTING 200LB. CONCENTRATED LOAD AT ANY POINT TO THE TOP RAIL.

MECHANICAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL JURISDICTIONAL ORDINANCES. THE WORK IS TO BE DESIGNED AND PROVIDED COMPLETE TO CODE.
- MECHANICAL LAYOUT - LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR GENERAL INTENT ONLY. MECHANICAL CONTRACTOR TO COORDINATE WITH THE DESIGNER. CONTRACTOR TO DESIGN AND INSTALL SUITABLE MECHANICAL DISTRIBUTION SYSTEM PER TITLE 24E.
- MECHANICAL SYSTEM DESIGN - MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROTECTING EXISTING MECHANICAL SYSTEMS. MECHANICAL CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE MECHANICAL DISTRIBUTION SYSTEM PER TITLE 24E.
- HEATING - PER 2022 CEC SECTION 2401. HEATING SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 65 DEGREES FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR.
- FURNACE CLEARANCE - PROVIDE A MINIMUM 6 INCH CLEAR SPACE IN FRONT OF FURNACES. FURNACES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION AND SHALL MEET REQUIREMENTS OF THE 2022 CEC SECTION 910.1. VERIFY ALL CLEARANCE AND INSTALLATION REQUIREMENTS PER 2022 CEC SECTION 304.1 PRIOR TO ORDERING OR INSTALLING EQUIPMENT.
- ATTIC FURNACES - FOR FURNACES INSTALLED IN ATTICS PROVIDE MINIMUM 30"X30" ACCESS OPENING WITH A LEVEL PLATFORM, CONFORMANCE DUPLEX OUTLET, AND AREA LIGHT SWITCHED FROM ATTIC OPENINGS. SEE 2022 CEC SECTION 304.
- FOR STORES WITH INDOOR BARBECUE UNITS, AN EXHAUST DUCT AND FAN HAVING A MINIMUM CAPACITY OF 100CFM PER SQUARE FOOT OF 1000 INTAKE SHALL BE INSTALLED. AS WELL AS THE UNIT AND CENTERS OVER THE LINE. WHEN THE DUCT PENETRATES A CEILING OR FLOOR, IT SHALL BE ENCLOSED IN FIRE-RESISTIVE SHEAT COVERED ON ONE SIDE AS REQUIRED FOR ONE-HOUR FIRE-RESISTIVE CONSTRUCTION. THE DUCT PENETRATED FROM THE SHIRT WITH A MINIMUM 1" GAPANCE, AND TERMINATE MINIMUM 18" ABOVE THE ROOF SURFACE.
- APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORT FOR APPLIANCES SHALL BE DESIGNED AND INSTALLED TO RESIST SUBSTANTIAL VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY THE 2022 CEC SECTION 302.4.
- GARAGE APPLIANCE PROTECTION - GARAGE APPLIANCES WITH GLOW, SPARK, OR FLAME OPENING SHALL HAVE EXHAUST PROTECTED BY ROOF FLOOR SHALL BE PROTECTED FROM AUTO IMPACT. (2022 CEC SECTION 307)

ELECTRICAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL JURISDICTIONAL ORDINANCES.
- ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST JUNCTION. NO DEAD HOTS ARE TO REMAIN AFTER CONSTRUCTION. JUNCTION BOXES MUST BE ACCEPTABLE.
- ALL ELECTRICAL DRAW SHEETS AND CALCULATIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- LOW VOLTAGE OUTLETS AND WIRING TO BE COORDINATED BY THE OWNER. CONTRACTOR TO VERIFY THE LOCATION OF ALL TELEPHONE AND LOW VOLTAGE OUTLETS WITH OWNER PRIOR TO THE INSTALLATION OF SHEATHING.
- ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.
- PER 2022 CEC ARTICLE 680-4(B)(1)(C)(1) AND (2), LIGHTING FIXTURES, LIGHTING OUTLETS AND FANS LOCATED UNDER AN INDOOR SPA OR HOT TUB LESS THAN 7'4" ABOVE THE MAXIMUM WATER LEVEL, SHALL RESIST THE PROTECTION OF AN GROUND FLOOR FLOOR BOARD INTERRUPTER AND INSTALLED AS FOLLOWS:
 - EXCEPTION 1 - LIGHTING FIXTURES MEETING REQUIREMENTS OF ITEMS A OR B BELOW AND PROTECTED BY A GROUND FLOOR CIRCUIT INTERRUPTER SHALL BE PERMITTED TO BE INSTALLED LESS THAN 7'4" ABOVE SPA OR HOT TUB.
 - 2 - RECESSED FIXTURES WITH A GLASS OR PLASTIC LENS AND A NON-METALLIC OR ELECTRICALLY ISOLATED METAL FINISH SUITABLE FOR USE IN DAMP LOCATIONS.
 - 6.2.2 - SURFACE MOUNTED FIXTURES WITH A GLASS OR PLASTIC GLOBE AND A NON-METALLIC BODY OR A METALLIC BODY GLOBE ISOLATED FROM CONTACT AND SUITABLE FOR USE IN DAMP LOCATIONS.
- PER 2022 CEC ARTICLE 210-5(2)(A), RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL. NO WALL SPACE MAY BE MORE THAN 6 FEET FROM AN OUTLET.
- PER 2022 CEC ARTICLE 210-5(2)(C), RECEPTACLES ALONG THE COUNTER TOPS SHALL BE SPACED A MAXIMUM 2 FEET FROM THE SINKS AND 4 FEET ON CENTER. ISLAND OR PENINSULA COUNTER TOPS 12 INCHES OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH 4 FEET OF COUNTER. NO POINT OF THE WALL MAY BE MORE THAN 24 INCHES FROM AN OUTLET. NITCHE OUTLETS SHALL BE AT LEAST TWO SEPARATE CIRCUITS WITH GROUND FAULT CIRCUIT INTERRUPT PROTECTION.
- PER 2022 CEC ARTICLE 210-4(7) AT LEAST ONE WALL-SWITCH CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND AT OUTDOOR ENTRANCES OR EXITS.
- VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSULATION. ALL RECESSED FIXTURES WITH FRAMING, PROVIDE OWNER AN OPPORTUNITY TO WALK AT ROUGHOUT AND INCLUDE RELOCATIONS AS REQUESTED, DECORATIVE FIXTURES ARE TO BE SUPPLIED BY OWNER.
- ELECTRICAL SUBCONTRACTORS IS TO DETERMINE SPECIFIC REQUIREMENTS FOR THE NEW WORK PRIOR TO BID. VERIFY THAT EXISTING SERVICE IS SUFFICIENT TO HANDLE ALL ADDITIONAL LOADS AND NEW SUBSAMPLS AS DIRECTED BY OWNER. ALL CIRCUIT PANELS ARE TO BE LABELED.
- RESIDENTIAL LIGHTING SHALL COMPLY WITH FORM OF-CFR-10-0-10. INSTALLER IS RESPONSIBLE FOR COMPLIANCE AND CERTIFICATION. FIXTURE TYPE, LOCATION, AND WIRING SHALL BE AS SHOWN ON THE DRAWINGS. GENERAL NOTES ONLY. ALL REQUIREMENTS MUST BE MET INDIVIDUALLY FOR EACH INSTALLATION. SPECIFIC TO EACH DEVICE, CONTROL, AND LOCATION.

GENERAL NOTES

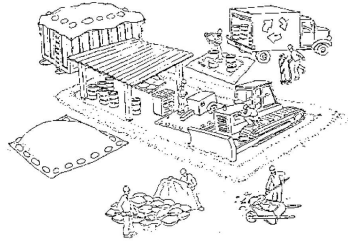
- DATE: 09/23/2024
- DRAWN BY: DW
- REVISIONS:
- PROJECT NO: 2461
- SHEET NO: T-1.1
- 2 of 13

WARRREN DESIGN
SITE: CAMPBELL AVE., CAMPBELL, CA 95008 | P: 408.959.9970
FILLMORE RESIDENCE
NEW RESIDENCE
4435 FILLMORE STREET
SANTA CLARA, CA 95051

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clear it up immediately.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

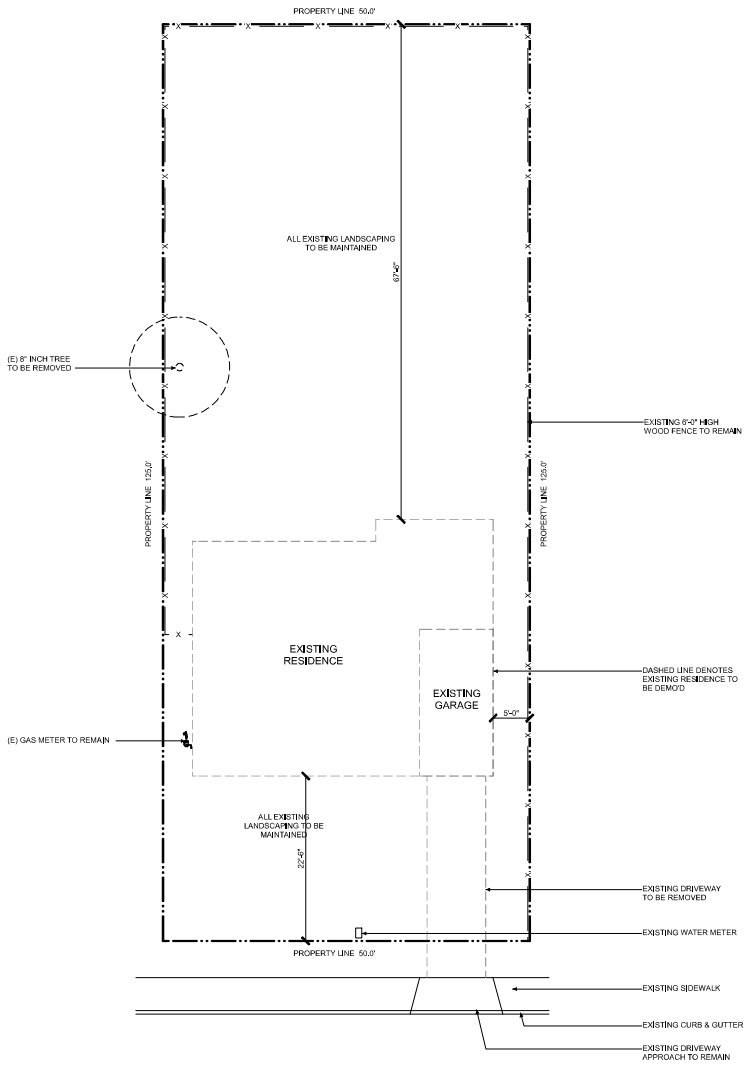


Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

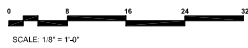


Storm drain polluters may be liable for fines of up to \$10,000 per day!



FILLMORE STREET

Demo Site Plan



WARREN DESIGN

875 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 858.969.8270

DW

These drawings are the property of Warren Design. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design.

FILLMORE RESIDENCE
NEW RESIDENCE
4435 FILLMORE STREET
SANTA CLARA CALIFORNIA

Date: 09/23/2024

Drawn By: DW

Revisions:

- ▲
- ▲
- ▲
- ▲
- ▲

DEMO SITE PLAN

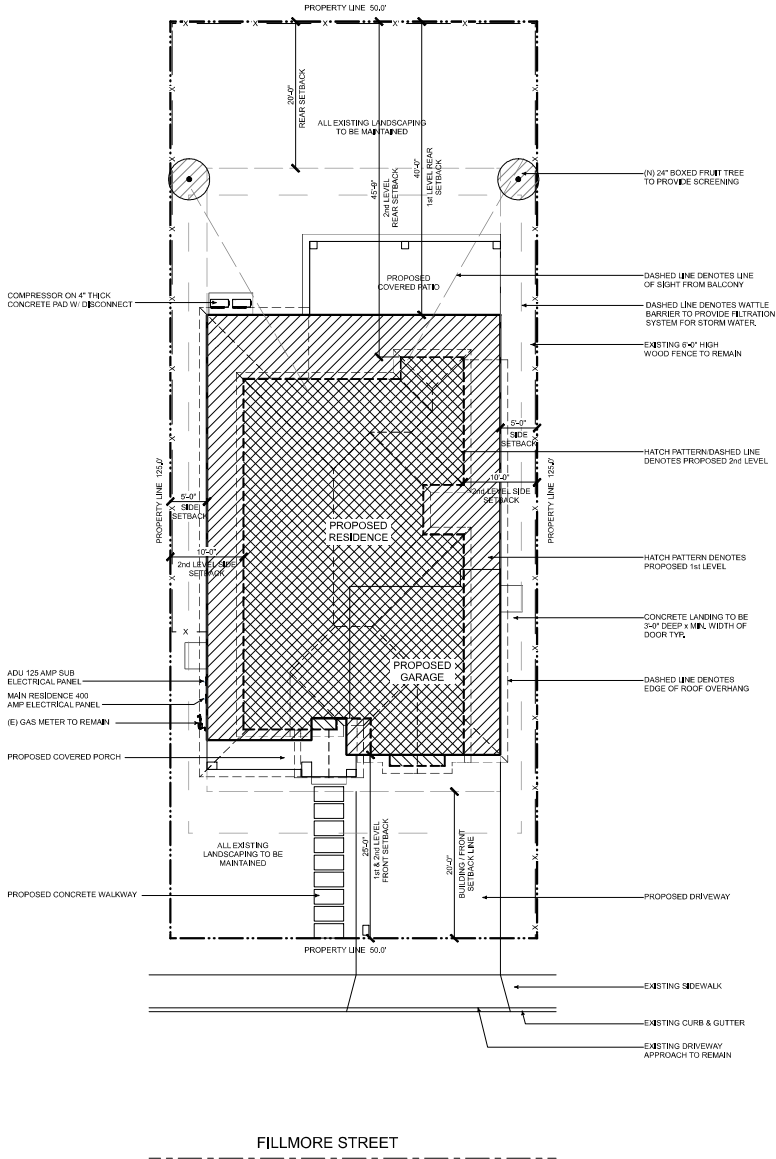
Project No:

2461

Sheet No:

A-1

4 of 13



FILLMORE STREET

Site Plan

SCALE: 1/8" = 1'-0"



- (N) 24" BOXED FRUIT TREE TO PROVIDE SCREENING
- DASHED LINE DENOTES LINE OF SIGHT FROM BALCONY
- DASHED LINE DENOTES WATTLE BARRIER TO PROVIDE FILTRATION SYSTEM FOR STORM WATER
- EXISTING 6' HIGH WOOD FENCE TO REMAIN
- HATCH PATTERN DASHED LINE DENOTES PROPOSED 2nd LEVEL
- HATCH PATTERN DENOTES PROPOSED 1st LEVEL
- CONCRETE LANDING TO BE 3'6" DEEP x MIN. WIDTH OF DOOR TYP.
- DASHED LINE DENOTES EDGE OF ROOF OVERHANG
- PROPOSED DRIVEWAY
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING DRIVEWAY APPROACH TO REMAIN

- COMPRESSOR ON 4" THICK CONCRETE PAD W/ DISCONNECT
- ADU 125 AMP SUB ELECTRICAL PANEL
- MAIN RESIDENCE 400 AMP ELECTRICAL PANEL
- (E) GAS METER TO REMAIN
- PROPOSED COVERED PORCH
- PROPOSED CONCRETE WALKWAY
- ALL EXISTING LANDSCAPING TO BE MAINTAINED

GENERAL NOTES:

- 1 VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
- 2 SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 6'-0" AWAY FROM STRUCTURE FOR DRAINAGE.
- 3 ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM.
- 4 THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10'-0" (CGC 1804.3).
- 5 ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (CGC 1808.7A).
- 6 LEAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE RESISTANCE RATING ON ALL LEAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR SAFE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER CRC SECTION R302 & TABLE R302.1(2).

WASTE MANAGEMENT PLAN:

CONSTRUCTION WASHOUT WATER FROM CONCRETE, MORTAR, TILE, TILING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINE IMPERVIOUS TYP. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN PAINTS, SOLVENTS, GLUES, TANNING COMPOUNDS, FOOD PRODUCTS, OR EASILY RECYCLEABLE DEBRIS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY WAIVED OFF SITE, RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.

OR
WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
3. RECREATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 5 MIL PLASTIC SHEETS, SUITABLY ANCHORED.
5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR / OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

WARREN DESIGN
570 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 858.969.5270

FILLMORE RESIDENCE
NEW RESIDENCE
4435 FILLMORE STREET
SANTA CLARA CALIFORNIA

Date:	09/23/2024
Drawn By:	DW
Revisions:	

SITE PLAN

Project No:	2461
Sheet No:	A-1.1



Front Elevation



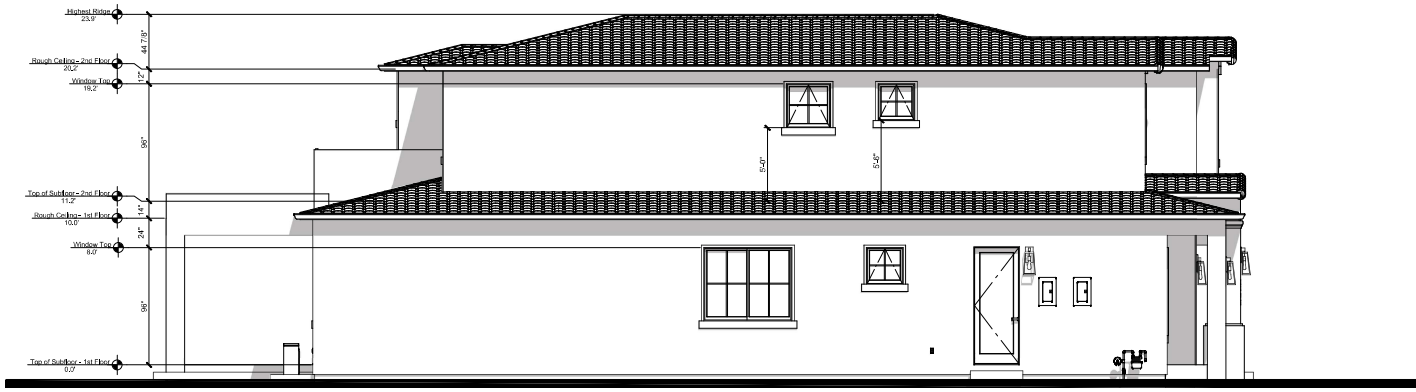
SPANISH TILE ROOFING - COLOR: SAN MATEO BLEND



WINDOW/DOOR FRAMES, SHUTTERS, & GUTTERS - COLOR: DARK BRONZE



STUCCO & SOFFITS - COLOR: PURE WHITE



ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING SHALL BE DONE IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:

- EXTERIOR WINDOWS AND DOORS,
- AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS,
- UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS,
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM,
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS,
- AT BUILT-IN GUTTERS.

WARREN DESIGN
591 E. CAMPBELL AVE., CAMPBELL, CA 95008 P. 866.969.8780

FILLMORE RESIDENCE
NEW RESIDENCE
4435 FILLMORE STREET
SANTA CLARA CALIFORNIA

Date:	09/23/2024
Drawn By:	DW
Revisions:	
	▲
	▲
	▲
	▲

EXTERIOR ELEVATIONS

Project No: 2461
Sheet No: A-4



Rear Elevation



26 GA. G.I. DRIP SCREED WITH MIN. VERTICAL ATTACHMENT FLANGE AT 3/16\"/>



Right Elevation

- ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALIGNED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
- EXTERIOR WINDOWS AND DOORS.
 - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS.
 - AT BUILT-IN GUTTERS.

WARREN DESIGN

591 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 408.696.9290

These drawings are the property of Warren Design. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design.

FILLMORE RESIDENCE

NEW RESIDENCE

4435 FILLMORE STREET

SANTA CLARA CALIFORNIA

Date: 09/23/2024

Drawn By: DW

Revisions:



EXTERIOR ELEVATIONS

Project No: 2461

Sheet No: A-5

9 of 13

ROOF PLAN GENERAL NOTES:

1. ARROWS INDICATE DIRECTION OF ROOF SLOPE.
2. OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (U.N.C.)
3. PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.S.G. TYPICAL.
4. INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
5. INSTALL "COSE" GUTTER W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING.
6. PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.

1st LEVEL ATTIC VENTILATION:

564.17 S.F. OF ATTIC SPACE / 300 = 1.88 S.F.
 1.68 S.F. x 14 SQ. INCHES = 270.72 SQ. INCHES REQ'D
 270.72 SQ. INCHES / 2 = 135.36 SQ. INCHES

135.36 SQ. INCHES REQ'D / 72 SQ. INCHES = 2 - 32"x24" O'HAGEN FLAT ROOF VENTS,
 PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'S (9 SQ. INCHES OF VENTING PER BLOCK)
 135.36 SQ. INCHES REQ'D / 9 SQ. INCHES = 15 FREEZE BLOCKS REQUIRED.
 PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

2nd LEVEL ATTIC VENTILATION:

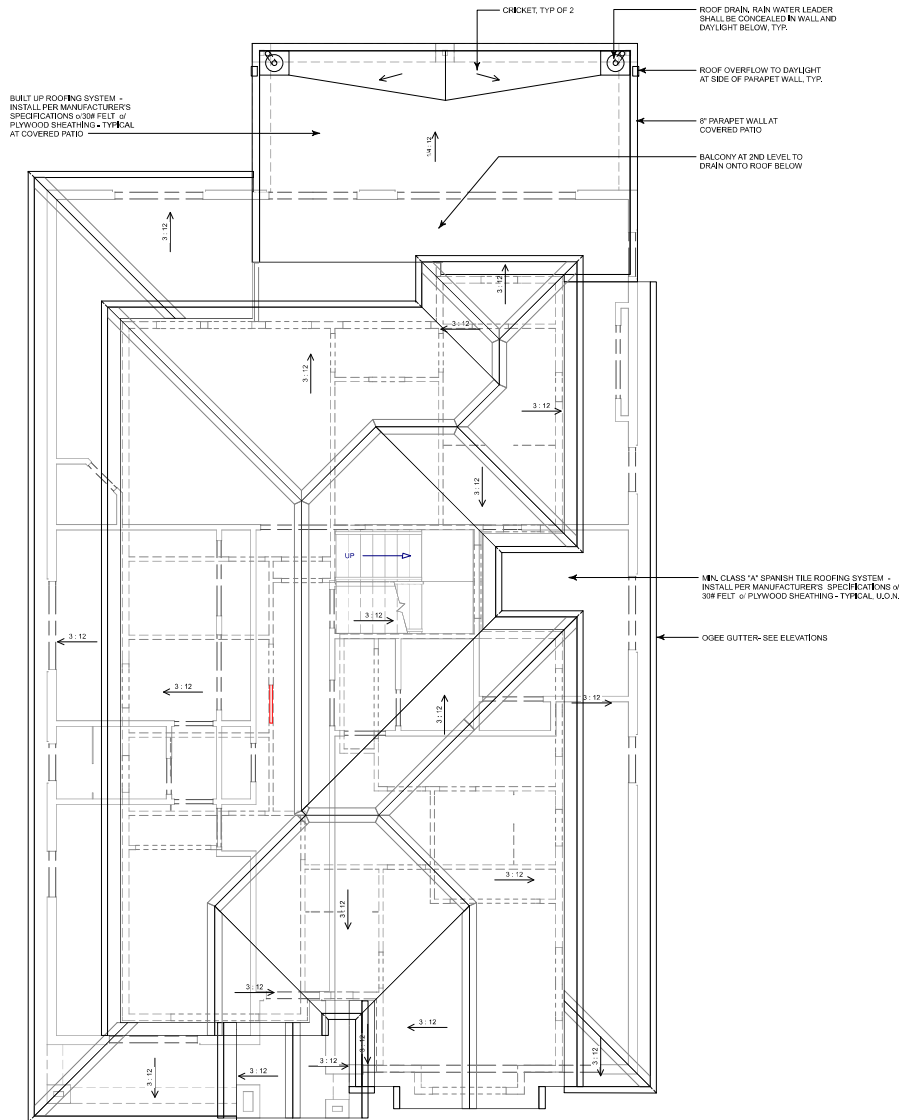
1,493.9 S.F. OF ATTIC SPACE / 300 = 4.98 S.F.
 4.98 S.F. x 14 SQ. INCHES = 717.72 SQ. INCHES REQ'D
 717.72 SQ. INCHES / 2 = 358.86 SQ. INCHES

358.86 SQ. INCHES REQ'D / 72 SQ. INCHES = 5 - 32"x24" O'HAGEN FLAT ROOF VENTS,
 PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'S (9 SQ. INCHES OF VENTING PER BLOCK)
 358.86 SQ. INCHES REQ'D / 9 SQ. INCHES = 40 FREEZE BLOCKS REQUIRED.
 PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

NOTE:
 AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE PER C.S.G.

FOUNDATION VENTILATION:
 8"x16" SIMPSON G.I. FOUNDATION VENTS TO BE EVENLY SPACED AROUND PERIMETER OF FOUNDATION FOR CROSS VENTILATION REQUIREMENTS, WHERE EXISTING VENTS ARE COVERED UP PROVIDE ADDITIONAL VENTS AS NECESSARY. VENTS SHALL NOT BE LOCATED AT SHEARWALLS

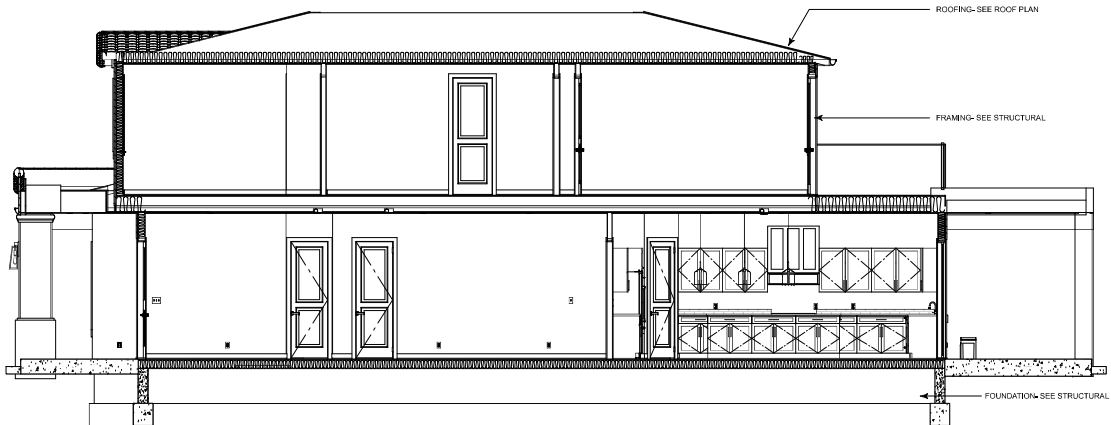
1,801.38 S.F. / 150 S.F. = 12 S.F.
 8"x16" = 72 S.F.
 12 S.F. / 72 S.F. = 17 VENTS MIN. REQ'D



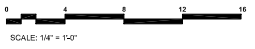
WARREN DESIGN
 591 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 858.969.9290
 DW

FILLMORE RESIDENCE
 NEW RESIDENCE
 4435 FILLMORE STREET
 SANTA CLARA CALIFORNIA

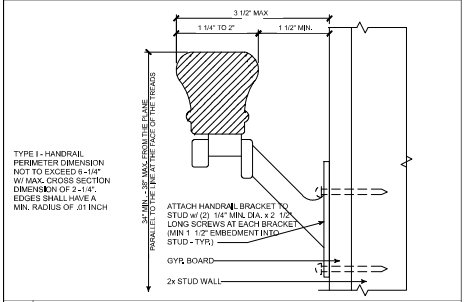
Date:	09/23/2024
Drawn By:	DW
Revisions:	
▲	
▲	
▲	
▲	
▲	
▲	
ROOF PLAN	
Project No:	2461
Sheet No:	A-6
10 of 13	



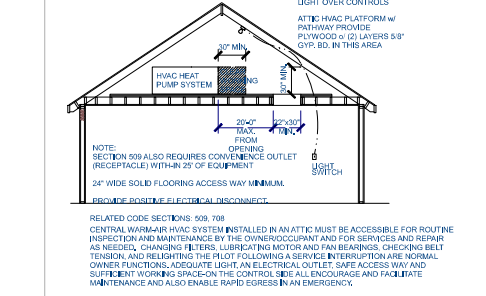
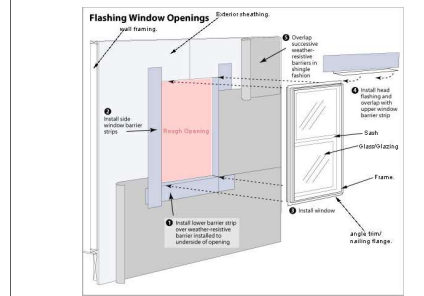
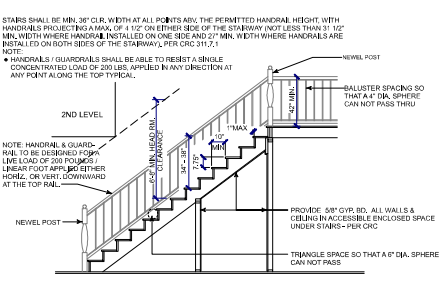
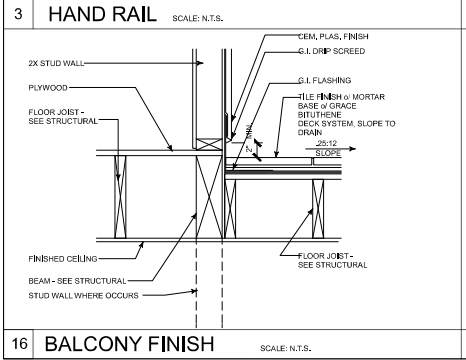
Section A_A



Section B-B



GENERAL NOTES:
 1. ALL SHEARWALLS TO BE FRAMED TO BOTTOM OF ROOF SHEATHING - TYP.
 2. FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC:
 2A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 10' FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 2C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 2D. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 2E. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
 INSULATION REQUIREMENTS:
 WALL INSULATION: R-21
 FLOOR INSULATION: R-19
 ATTIC INSULATION: R-38
 PROVIDE RADIANT BARRIER AT UNDERSIDE OF ROOF AND GABLE END WALLS PER TITLE 24



WARREN DESIGN
 579 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 858.969.5270
 www.warren-design.com

FILLMORE RESIDENCE
 NEW RESIDENCE
 4435 FILLMORE STREET
 SANTA CLARA, CALIFORNIA

Date:	09/23/2024
Drawn By:	DW
Revisions:	
SECTIONS	
Project No:	2461
Sheet No:	A-7
11 of 13	