



CIVIC CENTER FAMILY HOUSING

1601 CIVIC CENTER DR.
SANTA CLARA, CA 95050

GPA RESUBMISSION 2
05/25/2022



DATE: 02/25/2022

DATE	DESCRIPTION
02/25/2022	PLANNING SUBMITTAL
02/25/2022	SPCL SCHEMATIC DESIGN
03/03/2022	GPA SUBMITTAL
03/10/2022	SPCL DESIGN DEVELOPMENT
04/08/2022	GPA RESUBMISSION 1
05/05/2022	100% DESIGN DEVELOPMENT
05/15/2022	GPA RESUBMISSION 2

DATE: 04/08/2022

DESCRIPTION: GPA RESUBMISSION 1

PROJECT NUMBER: KB / SA
 PROJECT ARCHITECT: SA / AK
 PROJECT ENGINEER: AP
 PROJECT TITLE: CIVIC CENTER FAMILY HOUSING

DATE: 05/25/2022

PROJECT NUMBER: 1827400

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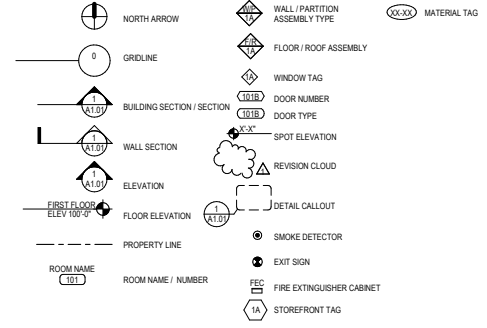
DATE: 05/25/2022

PROJECT NUMBER: 1827400

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SYMBOLS



BUILDING DEPARTMENT INFORMATION

JURISDICTION: SANTA CLARA COUNTY

ZONING: SANTA CLARA CITY MUNICIPAL CODE, ZONING CODE, & BUILDING ORDINANCES

BUILDING: 2019 CALIFORNIA BUILDING CODE

FIRE: 2019 CALIFORNIA FIRE CODE

MECHANICAL: 2019 CALIFORNIA MECHANICAL CODE

ELECTRICAL: 2019 CALIFORNIA ELECTRICAL CODE

PLUMBING: 2019 CALIFORNIA PLUMBING CODE

ENERGY: 2019 CALIFORNIA ENERGY CODE

CODE AS AMENDED AND ADOPTED BY THE STATE BUILDING CODE COUNCIL AND THE CITY OF SANTA CLARA

OCCUPANCY GROUPS: PREDOMINANTLY RESIDENTIAL (R-2), WI SOME (A-3), (B), (S-2) SPACES

OCCUPANCY SEPARATIONS: (PER CBC 508.4) R-2 | A-3: 1-HR B | A-3: 1-HR R-2 | B: 1-HR A-3 | S-2: 1-HR R-2 | S-2: 1-HR

TYPE OF CONSTRUCTION: TYPE IIIA & IA

FIRE PROTECTION: SPRINKLERED PER NFPA 13

ALLOWABLE AREA: TYPE IIIA PORTION: PER 506.2.3. SINGLE-OCCUPANCY, MULTISTORY BUILDINGS (WITH ACCESSORY USES)

AA+TOTAL ALLOWABLE BUILDING AREA: 170,400 SF
 ALLOWABLE AREA PER FLOOR: 85,200 SF

AA+ (AT + (NS X F) X SA
 AA+ 72,000 = (24,000 X 0.55) X 2 + 170,400

IF = F x P - 0.25W30
 IF = (994.6741.85 - 0.25) X 3000 = 0.55

AT = 72,000 (WITHOUT HEIGHT INCREASE)
 NS = 24,000
 F = 594.6'
 P = 741.85
 W = 30
 SA = 2

TYPE I PORTION: UNLIMITED FOR S-2, A-3, B, AND R-2 ACCESSORY

GSF TABLE
 SEE G2.00A FOR BREAKDOWN AND FLOOR PLANS

Name	Construction Type	Area
AREA 'A'	TYPE IA	18408 SF
AREA 'B'	TYPE IA	13227 SF
AREA 'C'	TYPE IIIA	43456 SF
AREA 'D'	TYPE IIIA	53908 SF
		132737 SF

ALLOWABLE HEIGHT: 5 STORES PER TABLE 504.4, TYPE IIIA R-2
 8' PER TABLE 504.3, TYPE IIIA R-2 WITH AREA INCREASE (MAXIMUM STORES AND HEIGHT TO BE MEASURED OVER TYPE I PODIUM)

SPECIAL PROVISIONS:
 CBC 510.4 PARKING BENEATH GROUP R: NUMBER OF TYPE IIIA STORIES TO START ABOVE THE TYPE I GARAGE.
 CBC 510.2 HORIZONTAL BUILDING SEPARATION ALLOWANCE: TYPE I PORTION CONSIDERED A SEPARATE BUILDING FOR THE PURPOSES OF AREA CALCULATIONS.
 CBC 1009.2 HORIZONTAL EXITS: IN BUILDING PROVIDED WITH SPRINKLER SYSTEM, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH HORIZONTAL EXITS.

CBC 31.04 A PEDESTRIAN WALKWAY: BUILDINGS CONNECTED BY PEDESTRIAN WALKWAYS SHALL BE CONSIDERED TO BE SEPARATE STRUCTURES, AND SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE CONSTRUCTION.

CBC 31.04.5.2 ALTERNATIVE SEPARATION: DISTANCE BETWEEN CONNECTED BUILDINGS ARE OVER 10', AND BOTH THE BUILDINGS AND WALKWAY ARE PROVIDED WITH SPRINKLER.

REQUIRED RATING:
 SHAFTS: 2 HOURS
 EXIT STAIR ENCLOSURES: 2 HOURS
 HORIZONTAL EXITS: 2 HOURS

SQUARE FOOTAGE: SEE G2.00A.

EGRESS: SEE CODE SUMMARY SHEET, G2.01 THROUGH G2.05

EMERGENCY ESCAPE AND RESCUE WINDOWS: CBC 1030.1 EXCEPTION 1, RESCUE WINDOWS ARE NOT REQUIRED FOR TYPE IIIA CONSTRUCTION EQUIPPED THROUGHOUT WITH AN APPROVED SPRINKLER SYSTEM.

ACCESSIBILITY: 100% OF THE UNITS ARE ADAPTABLE AND COMPLY WITH 2019 CBC SECTION 11A.
 15% (17) OF THE UNITS HAVE ADDED MOBILITY FEATURES PER 2010 ADA & FHA GUIDELINES.
 5% (6) OF THE UNITS WILL HAVE ADDED COMMUNICATION FEATURES PER 2010 ADA & FHA GUIDELINES.

UNIT WITH MOBILITY FEATURES: TO BE DETERMINED

UNITS WITH COMMUNICATION FEATURES: TO BE DETERMINED.

PROJECT SUMMARY

108 UNITS OF AFFORDABLE FAMILY HOUSING AND ASSOCIATED COMMON SPACES, OPEN SPACE AND WITH ON-GRADE PARKING.

ZONING INFORMATION

PROJECT ADDRESS: 1601 CIVIC CENTER DR, SANTA CLARA, CA 95050
 SANTA CLARA COUNTY

PARCEL INFORMATION: APN: 224-49-006 | 61,409 SF | 1,408 ACRES
 VACANT SINCE LATE 2016 / EARLY 2017
 REFER TO C1.01 FOR EXISTING SITE DIMENSIONS

EXISTING USE: OFFICE BUILDING
 BUILDING SQUARE FOOTAGE: 28,950 sf
 LOT COVERAGE: 15,161 sf | 61,409 sf = 24%

ZONING CLASSIFICATION: EXISTING: O3 GENERAL OFFICE
 PROPOSED: PD PLANNED DEVELOPMENT

GENERAL PLAN: EXISTING: COMMUNITY COMMERCIAL
 PROPOSED: HIGH DENSITY RESIDENTIAL

LAND USE: RESIDENTIAL

LEGAL DESCRIPTION: SEE SURVEY DRAWING FOR DETAILS

ZONING DATA:

CATEGORY	PROPOSED	COMMENTS / STATUS
HEIGHT:	5-stories 5'-9 1/2' along Civic Center Drive, 6'-0" along Lincoln Street 8'-7" along North facade 6'-5" along West facade	
LOT COVERAGE:	37.63547 / 61,409 sf = 62%	
SETBACKS & FRONTAGES:	Lincoln St: 10' sidewalk zone + varied setback (15 to 50') Civic Center Dr. 10' sidewalk zone + 5' setback North Edge: 10' West Edge varies (67'7" to 72') Parking Setback: 6'	
PARKING:	0.76 spaces/unit (at 108 units) Total Parking Provided: 82 Spaces *See parking plan	
BIKE PARKING:	Class 1: 108 spaces Class 2: 8 spaces	
DENSITY:	75.2 DU/ acre	
DEDICATED PARKLAND:	None	

PROJECT TEAM

OWNER
 CHARITIES HOUSING
 1400 PARKNOOR AVE #190
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 KROBINSON@CHARITIESHOUSING.ORG

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 IDA STRUCTURAL ENGINEERS
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 FORMWORK LANDSCAPE ARCHITECTS
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 RJACO@GB-ENG.COM

VICINITY MAP



FEMA MAP



MITHUN, INC. 1827 ADAMS BLVD, SUITE 1000, SAN FRANCISCO, CA 94104
 TEL: 415.774.2500 FAX: 415.774.2501 WWW.MITHUN.COM
 PROJECT NUMBER: 1827400 DATE: 05/25/2022
 PROJECT TITLE: CIVIC CENTER FAMILY HOUSING
 SHEET: G2.00A (1 OF 1)

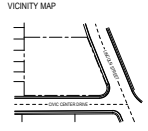


Table with 2 columns: Date and Milestone. Includes dates from 02.28.2021 to 05.15.2022 and milestones like Planning Summary, Schematic Design, etc.

Author: AT
Project Manager: KB / SA
Designer: SA / AK
Project Architect: AP

GREEN POINT RATED CHECKLIST

Version: 1927400
Date: 05/25/2022

Score: G0.03
GPA RESUBMISSION 2
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Civic Center Family Housing - Table with 10 columns: Item, Description, Points, etc. Includes sections for LEED, WELL, and SITES.

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DATE	DESCRIPTION
02.08.2022	PLANNING SUBMITTAL
02.24.2022	1901 SCHEMATIC DESIGN
03.10.2022	GPA SUBMITTAL
03.19.2022	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

DATE	DESCRIPTION
05.14.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
05.25.2022	GPA RESUBMISSION 2



RENDERINGS, COLORS & MATERIALS

PROJECT NUMBER
1927400
DATE
05/25/2022

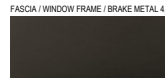
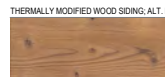
PROJECT NUMBER
G1.02
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LINCOLN ST. (EAST) PERSPECTIVE



STREET TREES ARE REMOVED FROM RENDERING FOR CLARITY

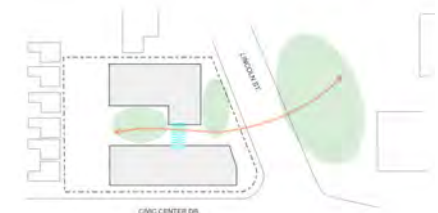
COLORS AND MATERIALS



NARRATIVE

THE DESIGN FOR CIVIC CENTER FAMILY HOUSING CREATES A GATEWAY CONDITION MOVING FROM EL CAMINO REAL TO THE CIVIC CENTER CAMPUS. THE SOUTHERN LEG OF THE BUILDING EXTENDS TOWARDS THE CIVIC CENTER CAMPUS, MAKING IT CLEARLY VISIBLE AS YOU MAKE YOUR WAY FROM EL CAMINO REAL DOWN LINCOLN. IT SERVES AS A WELCOMING POINT OF ORIENTATION, WITH A COMMUNITY ROOM OCCUPYING THE CORNER OF THE GROUND FLOOR. MOVING DOWN LINCOLN, THE REMAINDER OF THE BUILDING PULLS BACK FROM THE STREET, CREATING A LANDSCAPED FORECOURT THAT MIMICS THE CIVIC CENTER CAMPUS OPEN SPACE ACROSS THE STREET.

THE BUILDING IS BROKEN INTO 2 DISTINCT VOLUMES, REDUCING THE APPARENT SCALE OF THE BUILDING. THE VOLUMES ARE CONNECTED BY A BRIDGE THAT PROVIDES A VISUAL CONNECTION BETWEEN THE PRIVATE COURTYARD AND THE PUBLIC REALM.



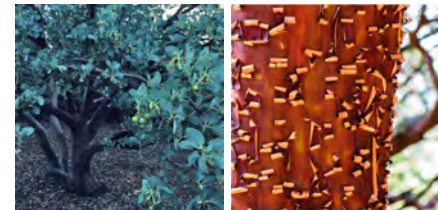
RENEWAL AND RESILIENCE

LAYERS OF BARK OF THE BIG BERRY/ BLUE MANZANITA PEEL ANNUALLY AS AN ADAPTATION FOR PROTECTION AGAINST INSECTS AND PARASITIC ORGANISMS. TANNINS AND OTHER COMPOUNDS PRODUCED IN THE CELLS OF THE OUTER BARK SERVE TO DETER THESE ORGANISMS AND ARE ALSO RESPONSIBLE FOR THE VARIED COLORS AND LAYERED QUALITY OF THE TRUNK AND BRANCHES. THE PHYSICAL EXPRESSION OF THIS SPECIES IS ONE OF CONSTANT RENEWAL AND RESILIENCE, AND APT METAPHOR FOR A NEW COMMUNITY.

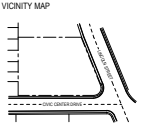
THE FORMAL LANGUAGE AND MATERIAL EXPRESSION OF THIS BUILDING TAKES ITS INSPIRATION FROM THE BLUE MANZANITA, A SPECIES ENDEMIC TO THE SANTA CLARA VALLEY.

THE SIMPLE STUCCO EXTERIOR IS PUNCTUATED BY BALCONIES, WHICH MIMIC THE PEELING BARK AND REVEAL A RICH ACCENT COLOR BENEATH, AS THE LIVING SPACES OF THE INTERIOR TRANSITION TO THE OUTSIDE.

THE BASE OF THE BUILDING IS WRAPPED IN A WARM GRAY STUCCO WITH NATURAL WOOD ACCENT PANELS EMPHASIZING THE PUBLIC PROGRAM ELEMENTS AND MAIN ENTRY, DRAWING PEOPLE AND THE OUTSIDE IN.



MITHUN ARCHITECTURE
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DATE: 05/25/2022

05/25/2022 PLANNING SUBMITTAL
 05/25/2022 190A SCHEMATIC DESIGN
 05/25/2022 GFA SUBMITTAL
 05/25/2022 GFA SUBMITTAL
 05/25/2022 GFA RESUBMISSION 1
 05/25/2022 190A SCHEMATIC DEVELOPMENT
 05/25/2022 GFA RESUBMISSION 2

DATE: 04/08/2022

04/08/2022 GFA RESUBMISSION 1

DATE: 05/25/2022

05/25/2022 GFA RESUBMISSION 2

DATE: 05/25/2022

05/25/2022 GFA RESUBMISSION 2

GROSS AREA CALCS

DATE: 05/25/2022

05/25/2022

G2.00A
 GFA RESUBMISSION 2
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GSF - TYPE I-A

Name	Construction Type	Area
LEVEL 01		
AREA A'	TYPE I-A	18408 SF
AREA B'	TYPE I-A	11860 SF
AREA C'	TYPE I-A	869 SF
AREA D'	TYPE I-A	370 SF
AREA E'	TYPE I-A	328 SF
		31636 SF

GSF - TYPE III-A

Name	Construction Type	Area
LEVEL 02		
AREA C''	TYPE III-A	11862 SF
AREA D''	TYPE III-A	13302 SF
LEVEL 03		
AREA C''	TYPE III-A	11862 SF
AREA D''	TYPE III-A	13466 SF
LEVEL 04		
AREA C''	TYPE III-A	11864 SF
AREA D''	TYPE III-A	13466 SF
LEVEL 05		
AREA C''	TYPE III-A	11862 SF
AREA D''	TYPE III-A	13374 SF
		101102 SF

GSF - TOTAL

Name	Construction Type	Area
AREA A'	TYPE I-A	18408 SF
AREA B'	TYPE I-A	12227 SF
AREA C'	TYPE III-A	47494 SF
AREA D'	TYPE III-A	53608 SF
		132737 SF

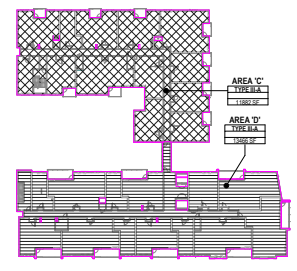
GSF - SUMMARY

PROGRAM	GSF
BOH	4664 SF
CIRCULATION - HORIZONTAL	13314 SF
CIRCULATION - VERTICAL	3146 SF
COMMONS	5802 SF
PARKING	18338 SF
RESIDENTIAL	87460 SF
	132723 SF

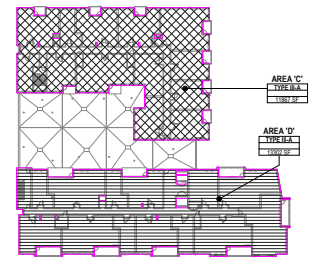
GSF - PER PROGRAM

LEVEL	PROGRAM	GSF
LEVEL 01	BOH	2371 SF
LEVEL 01	CIRCULATION - HORIZONTAL	1174 SF
LEVEL 01	CIRCULATION - VERTICAL	726 SF
LEVEL 01	COMMONS	5802 SF
LEVEL 01	PARKING	18338 SF
LEVEL 01	RESIDENTIAL	3229 SF
LEVEL 02		
LEVEL 02	BOH	573 SF
LEVEL 02	CIRCULATION - HORIZONTAL	2907 SF
LEVEL 02	CIRCULATION - VERTICAL	606 SF
LEVEL 02	RESIDENTIAL	21083 SF
LEVEL 03		
LEVEL 03	BOH	572 SF
LEVEL 03	CIRCULATION - HORIZONTAL	3079 SF
LEVEL 03	CIRCULATION - VERTICAL	606 SF
LEVEL 03	RESIDENTIAL	21073 SF
LEVEL 04		
LEVEL 04	BOH	574 SF
LEVEL 04	CIRCULATION - HORIZONTAL	3079 SF
LEVEL 04	CIRCULATION - VERTICAL	606 SF
LEVEL 04	RESIDENTIAL	21071 SF
LEVEL 05		
LEVEL 05	BOH	574 SF
LEVEL 05	CIRCULATION - HORIZONTAL	3075 SF
LEVEL 05	CIRCULATION - VERTICAL	603 SF
LEVEL 05	RESIDENTIAL	21004 SF

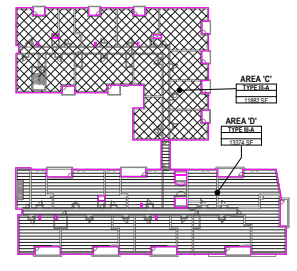
- NOTES:**
- GSF IS MEASURED TO OUTSIDE FACE OF EXTERIOR WALLS, CENTERLINE OF CORRIDOR WALLS, AND CENTERLINE OF PARTITION WALLS.
 - ALL AREAS IN THE SCHEDULE ARE DESIGN DEVELOPMENT LEVEL AND APPROXIMATE IN NATURE.
 - GSF DOES NOT INCLUDE COVERED EXTERIOR AREAS.



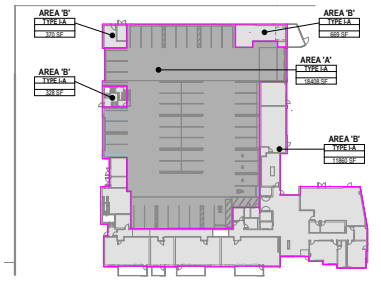
3 LEVEL 03 - GSF AREAS
 1" = 40'-0"



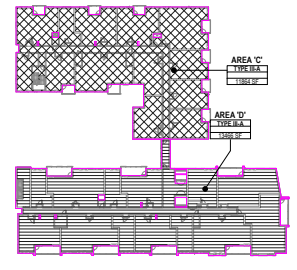
2 LEVEL 02 - GSF AREAS
 1" = 40'-0"



5 LEVEL 05 - GSF AREAS
 1" = 40'-0"

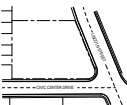


1 LEVEL 01 - GSF AREAS
 1" = 40'-0"



4 LEVEL 04 - GSF AREAS
 1" = 40'-0"

MITHUN, INC. 1927400 05/25/2022 13:59 (PM)
 PROJECT: CIVIC CENTER FAMILY HOUSING, 1601 CIVIC CENTER DR., SANTA CLARA, CA 95050
 SHEET: GFA SUBMITTAL 2
 DATE: 05/25/2022
 TIME: 13:59 PM
 DRAWN BY: JACOB
 CHECKED BY: JACOB
 APPROVED BY: JACOB
 MITHUN, INC. 1927400 05/25/2022 13:59 (PM)



DATE	DESCRIPTION
11.28.2018	PLANNING SUBMITTAL
12.13.2018	SCHEMATIC DESIGN
11.13.2019	GPA SUBMISSION 1
04.28.2020	GPA RESUBMISSION 1
05.21.2020	100% DESIGN DEVELOPMENT
05.21.2020	GPA RESUBMISSION 2

NO. DATE	DESCRIPTION
04.08.2020	GPA RESUBMISSION 1

PROJECT NUMBER
KB / SA
PROJECT LOCATION
SA / AK

PROJECT TITLE

DATE

SCALE

PROJECT NUMBER

PROJECT LOCATION

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DATE

SCALE

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DATE

SCALE

PROJECT NUMBER

PROJECT LOCATION

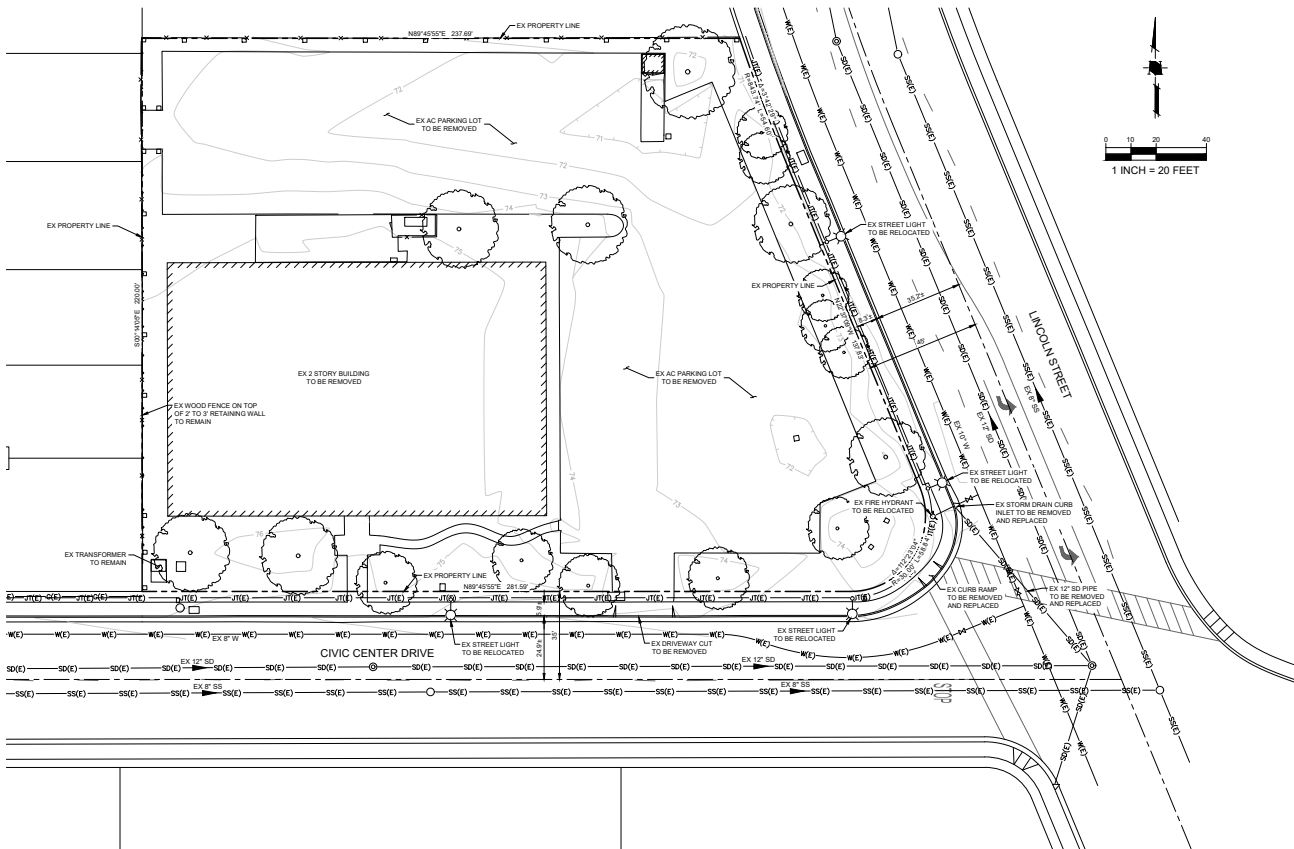
PROJECT TITLE

DATE

SCALE

PROJECT NUMBER

PROJECT LOCATION



LEGEND

PROJECT BOUNDARY	---
PROPERTY LINE	---
CENTERLINE	---
CURB AND GUTTER	---
SIDEWALK	---
DRIVEWAY	---
WHEELCHAIR RAMP	---
TREE	---
SANITARY SEWER	---
SANITARY SEWER MANHOLE	---
SANITARY SEWER CLEAN OUT	---
STORM DRAIN LINE	---
STORM DRAIN MANHOLE	---
STORM DRAIN CURB INLET	---
STORM DRAIN INLET	---
WATER MAIN	---
WATER VALVE	---
WATER METER	---
FIRE HYDRANT	---
ELECTRICIAN	---
PULL BOX	---
JOINT TRENCH	---
GAS	---

- NOTES**
1. ALL EXISTING TREES WITHIN THE PROPERTY TO BE REMOVED.
 2. EXISTING CURB, GUTTER AND ATTACHED SIDEWALK TO BE REMOVED AND REPLACED ALONG THE PROJECT FRONTAGE ON CIVIC CENTER DRIVE.
 3. EXISTING CURB AND GUTTER ALONG THE PROJECT FRONTAGE ON LINCOLN STREET TO BE REMOVED AND REPLACED.
 4. EXISTING ATTACHED SIDEWALK ALONG THE PROJECT FRONTAGE ON LINCOLN STREET TO BE REMOVED AND REPLACED WITH A DETACHED SIDEWALK.

EXISTING CONDITIONS

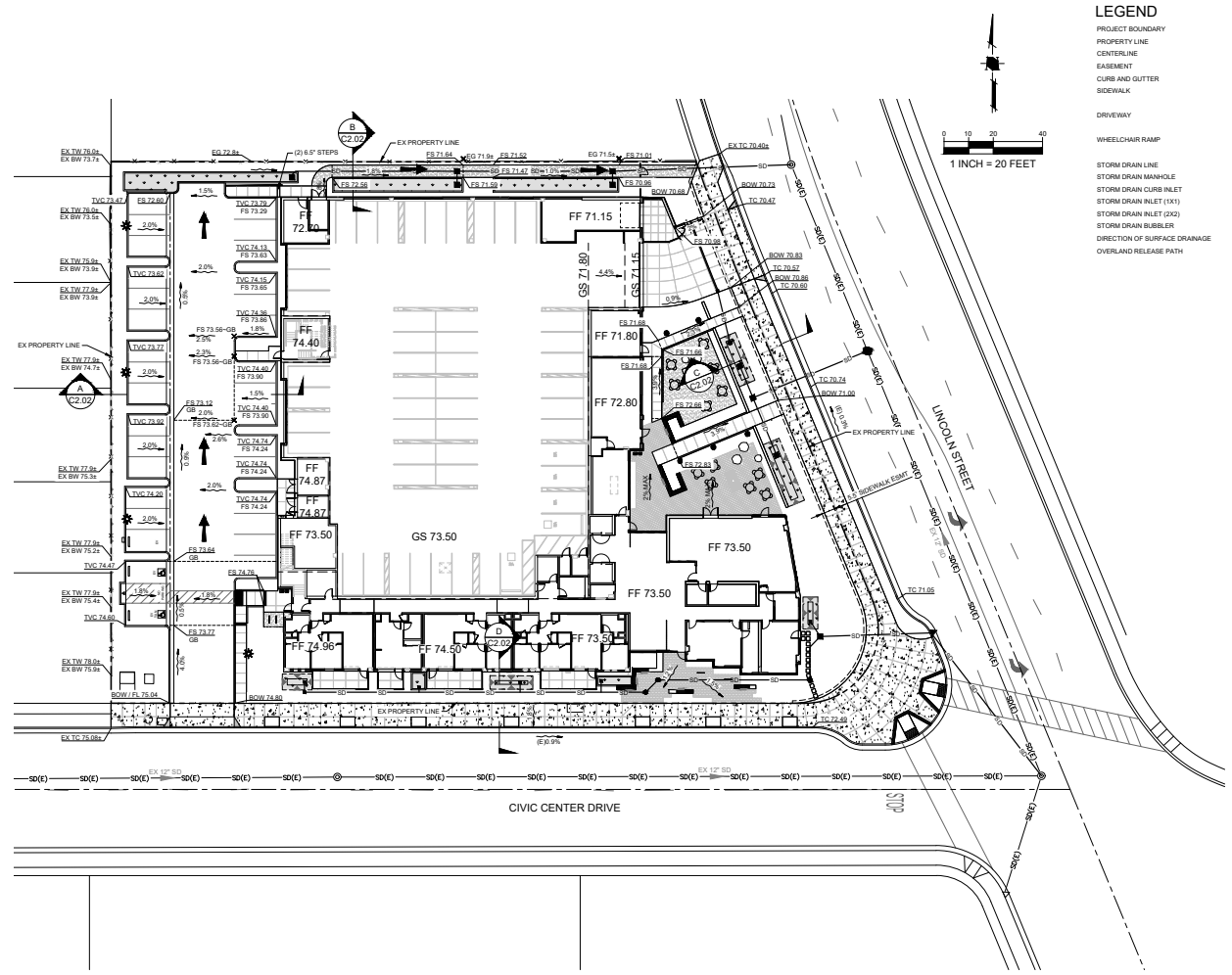
PROJECT NUMBER
1927400

DATE
05/25/2022

PROJECT TITLE
C1.01

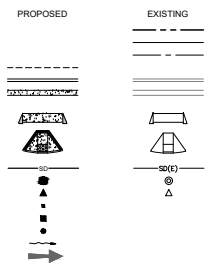
GPA RESUBMISSION 2

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LEGEND

- PROJECT BOUNDARY
- PROPERTY LINE
- CENTERLINE
- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- DRIVEWAY
- WHEELCHAIR RAMP
- STORM DRAIN LINE
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN INLET (EX)
- STORM DRAIN INLET (GX)
- STORM DRAIN BUBBLER
- DIRECTION OF SURFACE DRAINAGE
- OVERLAND RELEASE PATH



DATE	DESCRIPTION
11.28.2018	PLANNING SUBMITTAL
12.13.2018	PRELIMINARY SCHEMATIC DESIGN
11.13.2019	GPA SUBMITTAL
04.28.2020	PRELIMINARY DESIGN DEVELOPMENT
05.28.2020	GPA RESUBMISSION 1
05.28.2020	PRELIMINARY DESIGN DEVELOPMENT
05.28.2020	GPA RESUBMISSION 2

NO.	DATE	DESCRIPTION
01	04.08.2020	GPA RESUBMISSION 1

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01	04.08.2020	GPA RESUBMISSION 1

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01	04.08.2020	GPA RESUBMISSION 1

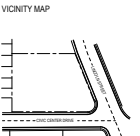
NO.	DATE	DESCRIPTION
01	04.08.2020	GPA RESUBMISSION 1

NO.	DATE	DESCRIPTION
01	04.08.2020	GPA RESUBMISSION 1

NO.	DATE	DESCRIPTION
01	04.08.2020	GPA RESUBMISSION 1

NO.	DATE	DESCRIPTION
01	04.08.2020	GPA RESUBMISSION 1

NO.	DATE	DESCRIPTION
01	04.08.2020	GPA RESUBMISSION 1



DATE	DESCRIPTION
11.28.2024	PLANNING SUBMITTAL
12.13.2024	FINAL SCHEMATIC DESIGN
1.14.2025	GPA SUBMITTAL
11.13.2024	SD DESIGN DEVELOPMENT
11.14.2024	GPA RESUBMISSION 1
12.13.2024	100% DESIGN DEVELOPMENT
12.13.2024	GPA RESUBMISSION 2
12.13.2024	GPA RESUBMISSION 3

NO.	DATE	DESCRIPTION
1	11.28.2024	PLANNING SUBMITTAL
2	12.13.2024	FINAL SCHEMATIC DESIGN
3	1.14.2025	GPA SUBMITTAL
4	11.13.2024	SD DESIGN DEVELOPMENT
5	11.14.2024	GPA RESUBMISSION 1
6	12.13.2024	100% DESIGN DEVELOPMENT
7	12.13.2024	GPA RESUBMISSION 2
8	12.13.2024	GPA RESUBMISSION 3

NO.	DATE	DESCRIPTION
1	11.28.2024	PLANNING SUBMITTAL
2	12.13.2024	FINAL SCHEMATIC DESIGN
3	1.14.2025	GPA SUBMITTAL
4	11.13.2024	SD DESIGN DEVELOPMENT
5	11.14.2024	GPA RESUBMISSION 1
6	12.13.2024	100% DESIGN DEVELOPMENT
7	12.13.2024	GPA RESUBMISSION 2
8	12.13.2024	GPA RESUBMISSION 3

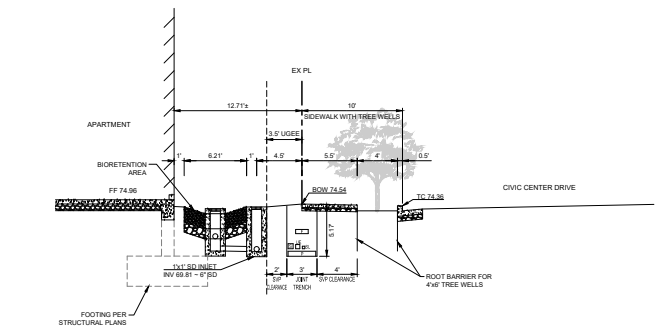
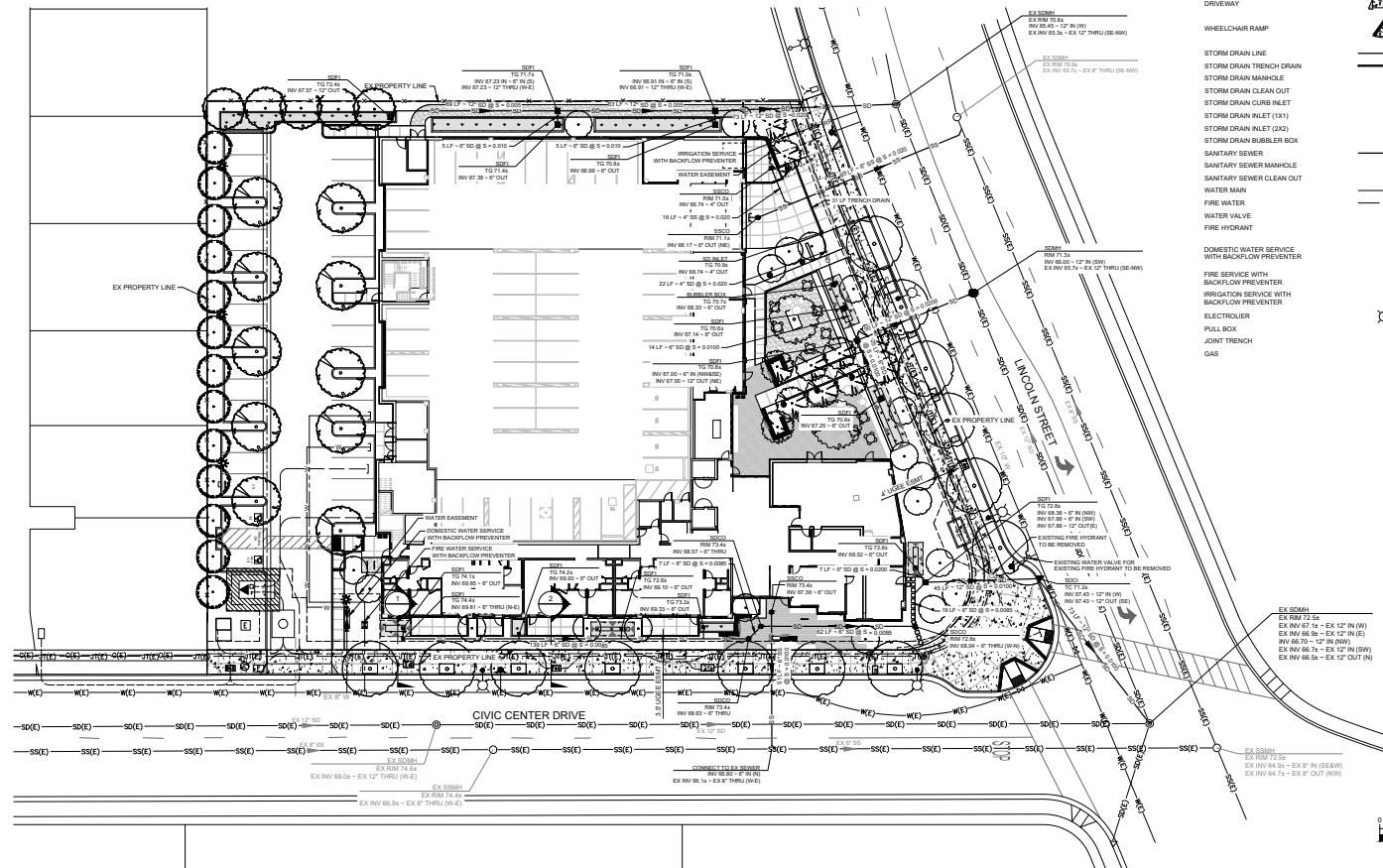
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2	12.13.2024	FINAL SCHEMATIC DESIGN
3	1.14.2025	GPA SUBMITTAL
4	11.13.2024	SD DESIGN DEVELOPMENT
5	11.14.2024	GPA RESUBMISSION 1
6	12.13.2024	100% DESIGN DEVELOPMENT
7	12.13.2024	GPA RESUBMISSION 2
8	12.13.2024	GPA RESUBMISSION 3

THIS
UTILITY PLAN
PROJECT NUMBER
1927400
DATE
05/29/2022

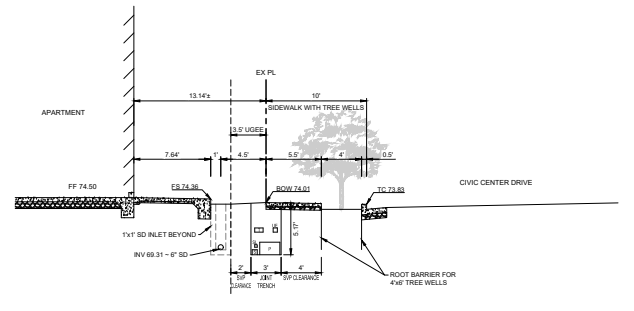
C3.01
GPA RESUBMISSION 2
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LEGEND

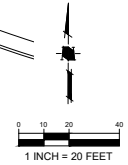
PROPOSED	EXISTING
PROJECT BOUNDARY	PROJECT BOUNDARY
PROPERTY LINE	PROPERTY LINE
CENTERLINE	CENTERLINE
EASEMENT	EASEMENT
CURB AND GUTTER	CURB AND GUTTER
SIDEWALK	SIDEWALK
DRIVEWAY	DRIVEWAY
WHEELCHAIR RAMP	WHEELCHAIR RAMP
STORM DRAIN LINE	STORM DRAIN LINE
STORM DRAIN TRENCH DRAIN	STORM DRAIN TRENCH DRAIN
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
STORM DRAIN CLEAN OUT	STORM DRAIN CLEAN OUT
STORM DRAIN CURB INLET	STORM DRAIN CURB INLET
STORM DRAIN INLET (1X1)	STORM DRAIN INLET (1X1)
STORM DRAIN INLET (2X2)	STORM DRAIN INLET (2X2)
STORM DRAIN BUBBLER BOX	STORM DRAIN BUBBLER BOX
SANITARY SEWER	SANITARY SEWER
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
SANITARY SEWER CLEAN OUT	SANITARY SEWER CLEAN OUT
WATER MAIN	WATER MAIN
FIRE WATER	FIRE WATER
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
DOMESTIC WATER SERVICE WITH BACKFLOW PREVENTER	DOMESTIC WATER SERVICE WITH BACKFLOW PREVENTER
FIRE SERVICE WITH BACKFLOW PREVENTER	FIRE SERVICE WITH BACKFLOW PREVENTER
IRRIGATION SERVICE WITH BACKFLOW PREVENTER	IRRIGATION SERVICE WITH BACKFLOW PREVENTER
ELECTROLUER	ELECTROLUER
PULL BOX	PULL BOX
JOINT TRENCH	JOINT TRENCH
GAS	GAS

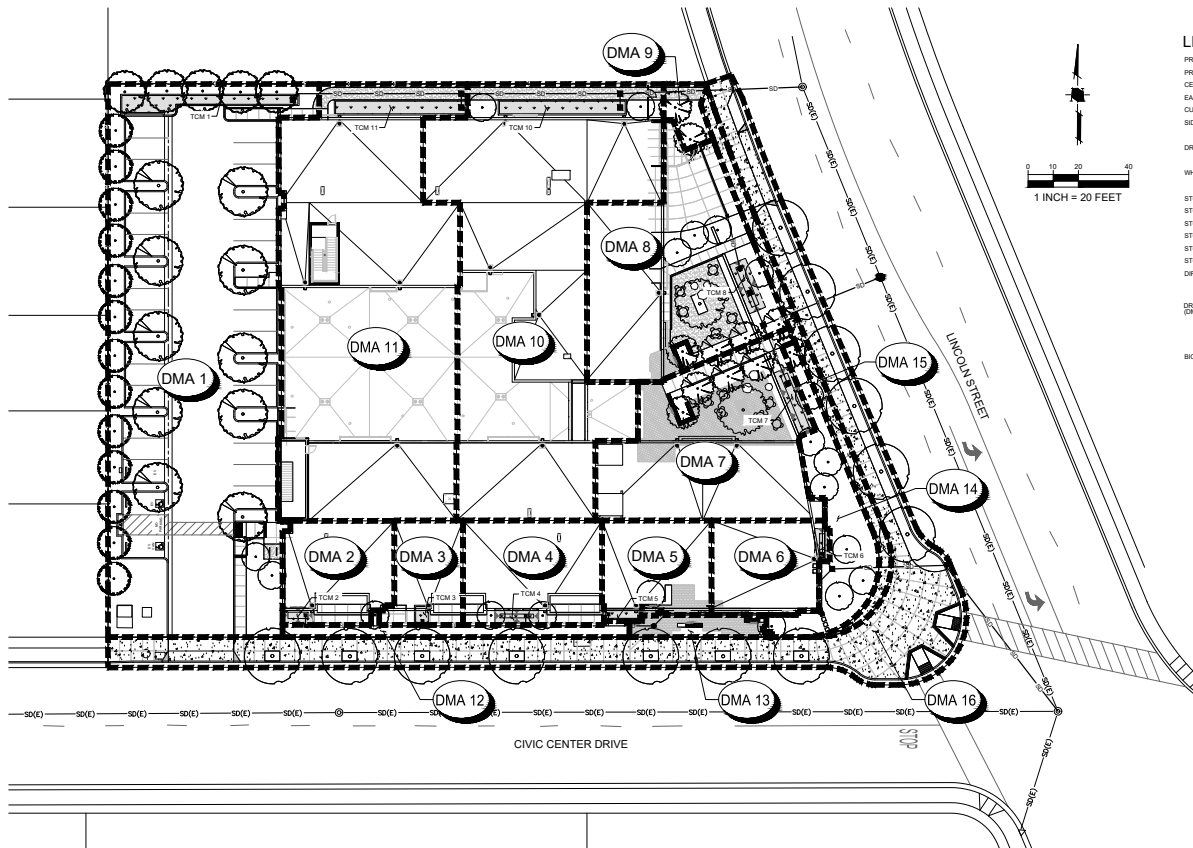


1 SECTION
SCALE: 1" = 5'



2 SECTION
SCALE: 1" = 5'



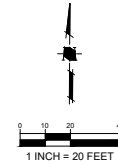
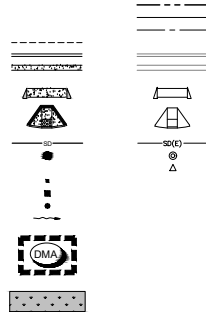


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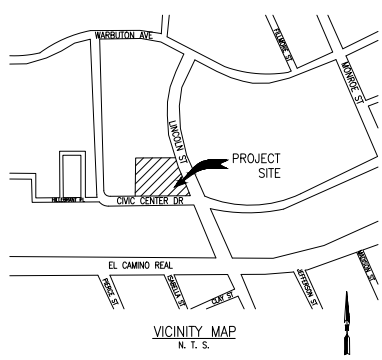
- PROJECT BOUNDARY
- PROPERTY LINE
- CENTERLINE
- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- DRIVEWAY
- WHEELCHAIR RAMP
- STORM DRAIN LINE
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN INLET (X1)
- STORM DRAIN INLET (X2)
- STORM DRAIN BUBBLER
- DIRECTION OF SURFACE DRAINAGE
- DRAINAGE MANAGEMENT AREA (DMA)
- BIORETENTION BASIN

PROPOSED

EXISTING



Line	Flow	Structure	Flow	Structure	Flow	Structure	Flow	Structure	Flow	Structure	Flow	Structure	Flow	Structure	Flow	Structure	Flow	Structure	Flow	Structure
1	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
3	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
4	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
5	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
6	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
7	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0	7.0
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15	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0	15.0
16	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0	16.0



WORK RESPONSIBILITY JOINT TRENCH

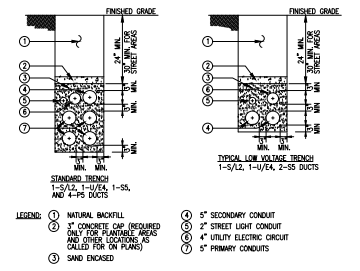
Table with columns for Trenching, Gas Material, Electric Cable, Electric Conduit, Electric Boxes, Electric Transformer Pads, Electric Switchgear & Transformer, Telephone Conduit, Telephone Cable, Telephone Splice Boxes, C.A.T.V. Conduit, C.A.T.V. Splice Boxes, C.L.C. Fiber Conduit, and C.L.C. Fiber Splice Boxes. Includes a legend for 'S' (Supply & Install) and 'I' (Education).

THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

Table listing project plans with columns for Plan Name, Date, and Status (Revised/Approved).

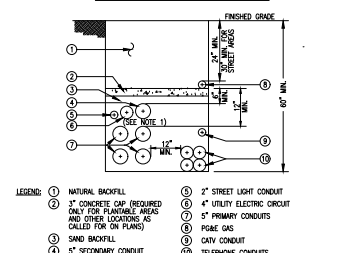
VISION UTILITY PARTNERS is not responsible for any unanticipated changes or performance of other utilities shown are approximate and based on field survey and available utility information. It is the contractor's responsibility to verify the actual location and extent of utilities prior to excavation.

SVP TRENCH SECTIONS

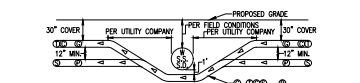


- Legend for trench sections: 1 Natural Backfill, 2 Concrete Cap, 3 Sand Dressed, 4 5" Secondary Conduit, 5 2" Street Light Conduit, 6 4" Utility Electric Circuit, 7 5" Primary Conduits.

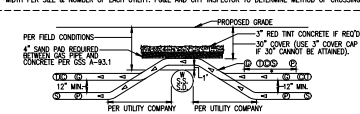
JOINT TRENCH CONFIGURATION



- Legend for joint trench configuration: 1 Natural Backfill, 2 Concrete Cap, 3 Sand Dressed, 4 2" Street Light Conduit, 5 4" Utility Electric Circuit, 6 5" Primary Conduits, 7 Gas, 8 GFCI, 9 2" Secondary Conduit, 10 Telephone Conduits.



*WIDTH PER SIZE & NUMBER OF EACH UTILITY, POSE AND CITY INSPECTOR TO DETERMINE METHOD OF CROSSING.



*WIDTH PER SIZE & NUMBER OF EACH UTILITY, POSE AND CITY INSPECTOR TO DETERMINE METHOD OF CROSSING.

NOTE: TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY POSE INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY POSE SENIOR GAS ENGINEER.

GENERAL NOTES:

- 1. THE PREPARED TRENCH LOCATION IS IN A PUBLIC UTILITY (P.U.) LOCATION.
2. ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM FINAL GRADE.
3. COVER, CLEARANCES, AND SEPARATION SHALL BE AS GREAT AS PRACTICABLE UNDER THE CIRCUMSTANCES...
4. TRENCH DIMENSIONS SHOWN ARE TYPICAL TRENCH SIZES AND CONFIGURATIONS...
5. NON-UTILITY FACILITIES ARE NOT ALLOWED IN ANY JOINT UTILITY TRENCH...
6. WHEN COMMUNICATION DUCTS ARE INSTALLED...
7. PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES...
8. MAINTAIN PROPER SEPARATION BETWEEN POSE FACILITIES AND "NET" UTILITY LINES...
9. SEPARATIONS SHALL BE MAINTAINED AT ADEQUATE TOLERANCE POINTS...
10. PROCEDURES FOR APPROXIMATING NATIVE BACKFILL FOR SHADING OF POSE GAS FACILITIES...
11. FOR SVP ELECTRIC SUBSTRUCTURE BACKFILL REQUIREMENTS...
12. CONTENT NATIVE SOILS ARE PREFERRED TO BE USED FOR SHADING, BEDDING, AND BACKFILLING...
13. THE APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF EXCESS SPOIL AND ASSOCIATED COSTS...
14. CONTRACTOR TO INCREASE GAS METER SPACING AS NECESSARY...
15. CONTRACTOR TO INCREASE GAS METER SPACING AS NECESSARY...

GAS PIPELINE UNDERGROUND WARNING TAPE NOTES:

- 1. A WARNING TAPE IS TO BE INSTALLED IN OPEN TRENCH INSTALLATION...
2. INSTALL 4" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" FROM THE SURFACE...
3. WARNING TAPE SHALL BE HERMETICALLY SEALED...
4. WARNING TAPE SHALL BE STORED IN SUCH A MANNER THAT LIMITS ULTRAVIOLET (UV) EXPOSURE.

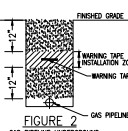


Table titled 'TYPICAL GAS METER REQUIREMENTS*' showing meter type, load, delivery pressure, pad size, and minimum required distance from various structures.

PG&E PM#S:

GAS:

DESIGN CHANGE COMPONENT

ANY CHANGES TO THIS DESIGN MUST BE APPROVED BY:

POSE GAS ADE PHONE NUMBER

CONSTRUCTION NOTES:

- 1. ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH POSE 10 STANDARD 53453 (EFFECTIVE DATE 7-5-2006) AND SUCION VALLEY POWER STANDARD DOCUMENT US-1000.
2. ALL WORK MUST COMPLY WITH POSE SVP TELEPHONE CITY STANDARDS...
3. ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH POSE 10 STANDARD 53453...
4. IF SOIL IS NOT FREE ADE, ADD 4" DEPTH OF TRENCH FOR SAND BEDDING.
5. VERIFY SPURCE BOX DIMENSIONS WITH SUPPLIER(S).
6. THE TRENCHING CONTRACTOR SHALL COORDINATE THE UTILITY COMPANIES' INSTALLATION...
7. CONTRACTOR SHALL MAKE SURE FACILITY WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
8. IF IT IS THE TRENCHING CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE ALL EXISTING FACILITIES...
9. VISION UTILITY PARTNERS ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS...
10. CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS...
11. CONTRACTOR SHALL PROTECT CONSTRUCTION STAGING...
12. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS PRIOR TO START OF WORK...
13. CONTRACTOR SHALL NOTIFY INSPECTORS OF ANY POTENTIAL CONFLICTS PRIOR TO START OF WORK...
14. THIS PLAN IS TO BE USED FOR SOLE PURPOSE OF DESIGNING THE JOINT TRENCH...
15. NOTE: PLANS ISSUED AT THE PRE-CONSTRUCTION MEETING...
16. WATER, SEWER, RAINFALL, SANITARY WASTE, FLEES (INCLUDING DRESS AND GASOLINE), OIL, PROPANE AND OTHER VOLATILE HEAVIER THAN AIR GASES...
17. IN THE EXTRAORDINARY CASE THAT THE MINIMUM THREE FOOT HORIZONTAL SEPARATION CANNOT BE ATTAINED...
18. THE JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHIC SURVEY...
19. THE JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHIC SURVEY AS PROVIDED BY A CIVIL ENGINEER...

SUBSTRUCTURE VERIFICATION STAMP

Form for Substructure Verification Stamp, including fields for Developer, Please Note and Sign, and a signature line.

UTILITY APPROVALS

Table for Utility Approvals with columns for Utility, Approved By, and Date. Includes entries for SVP Electric, PG&E Gas, AT&T (Phone), Comcast (Cable), and City Engineer.

Table for Internal Use Only with columns for Check, Marked, and Date. Includes entries for Check, Marked, and Date.

DEVELOPER: CHARITIES HOUSING 1400 PARKMOOR AVE SAN JOSE, CA 95126 HAI NGUYEN T: 408-550-8314 E: HNGUYEN@CHARITIESHOUSING.ORG

SHEET INDEX

- JT-1 JOINT TRENCH TITLE SHEET
JT-2 JOINT TRENCH COMPOSITE
JT-3 JOINT TRENCH SECTIONS

PROJECT CIVIC CENTER FAMILY HOUSING LOCATION 1601 CIVIC CENTER DR. SANTA CLARA, CA 95050

PREPARED FOR



DATE

Table with columns for Date and Description. Includes entries for 12.28.2020 Planning Submittal, 03.23.2021 100% Schematic Design, 11.19.2021 50% Design Development, 04.08.2022 90% Design Development, 06.09.2022 100% Design Development, 06.25.2022 90% Design Development.

DATE

Table with columns for Date and Description. Includes entries for 04.08.2022 OPA Re-submission 1, 04.08.2022 OPA Re-submission 2.

DATE

Table with columns for Date and Description. Includes entries for 04.08.2022 OPA Re-submission 1, 04.08.2022 OPA Re-submission 2.

DATE

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DATE

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DATE

05/25/2022

JOINT TRENCH TITLE SHEET

21-086

05/25/2022

ORIGINAL SHEET 25 OF 42

JT-1














DESIGN DEVELOPMENT

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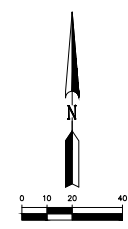
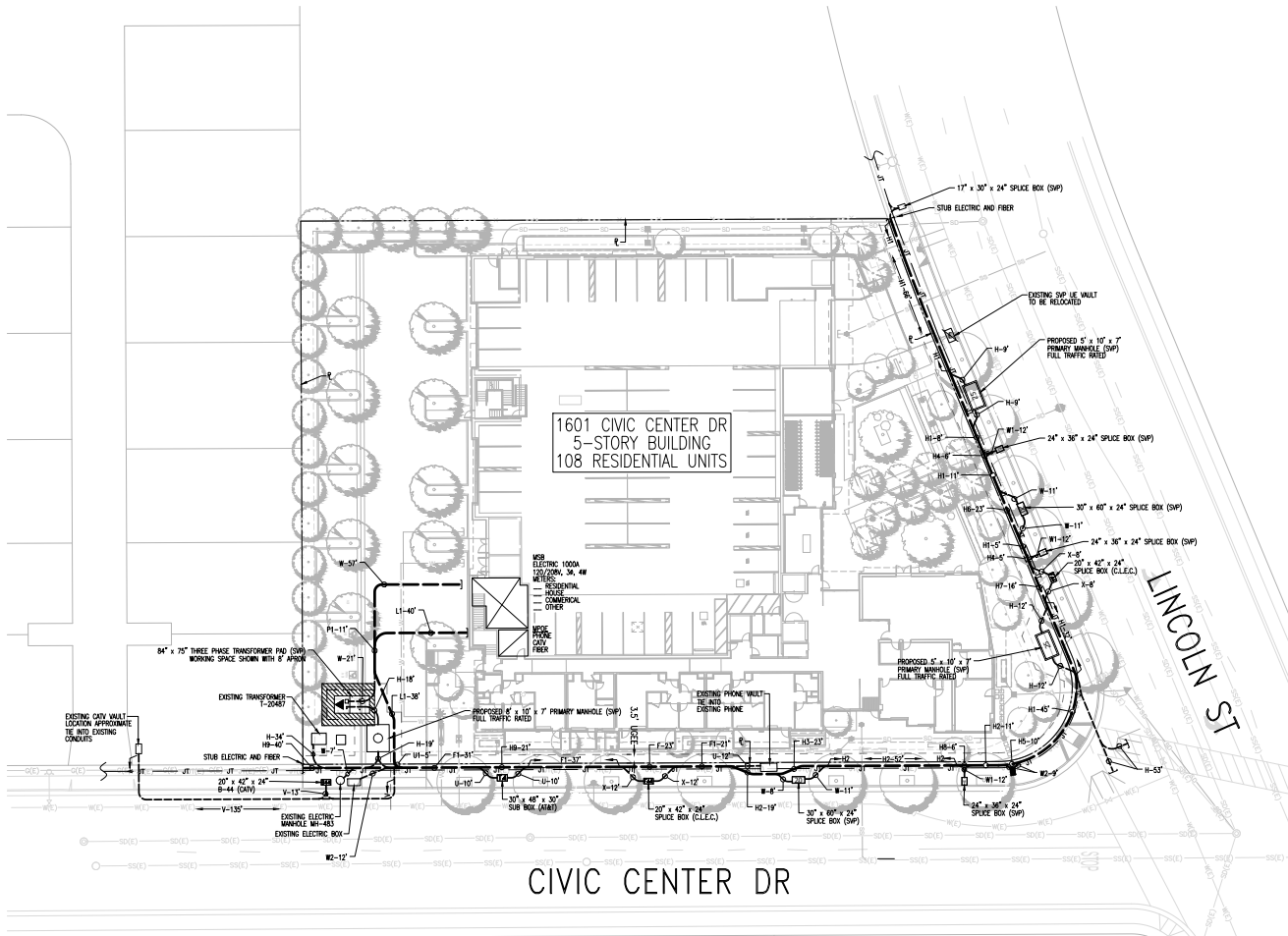
**-PRELIMINARY-
NOT FOR CONSTRUCTION**

NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JT-1)

LEGEND

-  84" x 75" THREE PHASE TRANSFORMER PAD (SVP)
WORKING SPACE SHOWN WITH 8' APRON
 -  PROPOSED 8' x 10' x 7' PRIMARY MANHOLE (SVP)
FULL TRAFFIC RATED
 -  PROPOSED 5' x 10' x 7' PRIMARY MANHOLE (SVP)
FULL TRAFFIC RATED
 -  PROPOSED 30" x 60" x 24" SPLICE BOX (SVP)
 -  PROPOSED 24" x 36" x 24" SPLICE BOX (SVP)
 -  PROPOSED 17" x 30" x 24" SPLICE BOX (SVP)
 -  PROPOSED 30" x 48" x 30" SUB BOX (AT&T)
 -  PROPOSED 20" x 42" x 24" B-44 (CATV)
 -  PROPOSED 20" x 42" x 24" SPLICE BOX (C.L.E.C.)
-
-  JT EXISTING JOINT TRENCH
 -  G EXISTING GAS LINE
 -  E EXISTING ELECTRIC MANHOLE
 -  R EXISTING SVP VAULT TO BE RELOCATED

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A
LICENSED SURVEYOR PRIOR TO CONSTRUCTION.
SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE
SHEET (JT-1) REGARDING EXISTING CONDITIONS.



SHEET INDEX

JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH COMPOSITE
JT-3	JOINT TRENCH SECTIONS

PROJECT
CIVIC CENTER FAMILY HOUSING

LOCATION
**1601 CIVIC CENTER DR.
SANTA CLARA, CA
95050**

PREPARED FOR



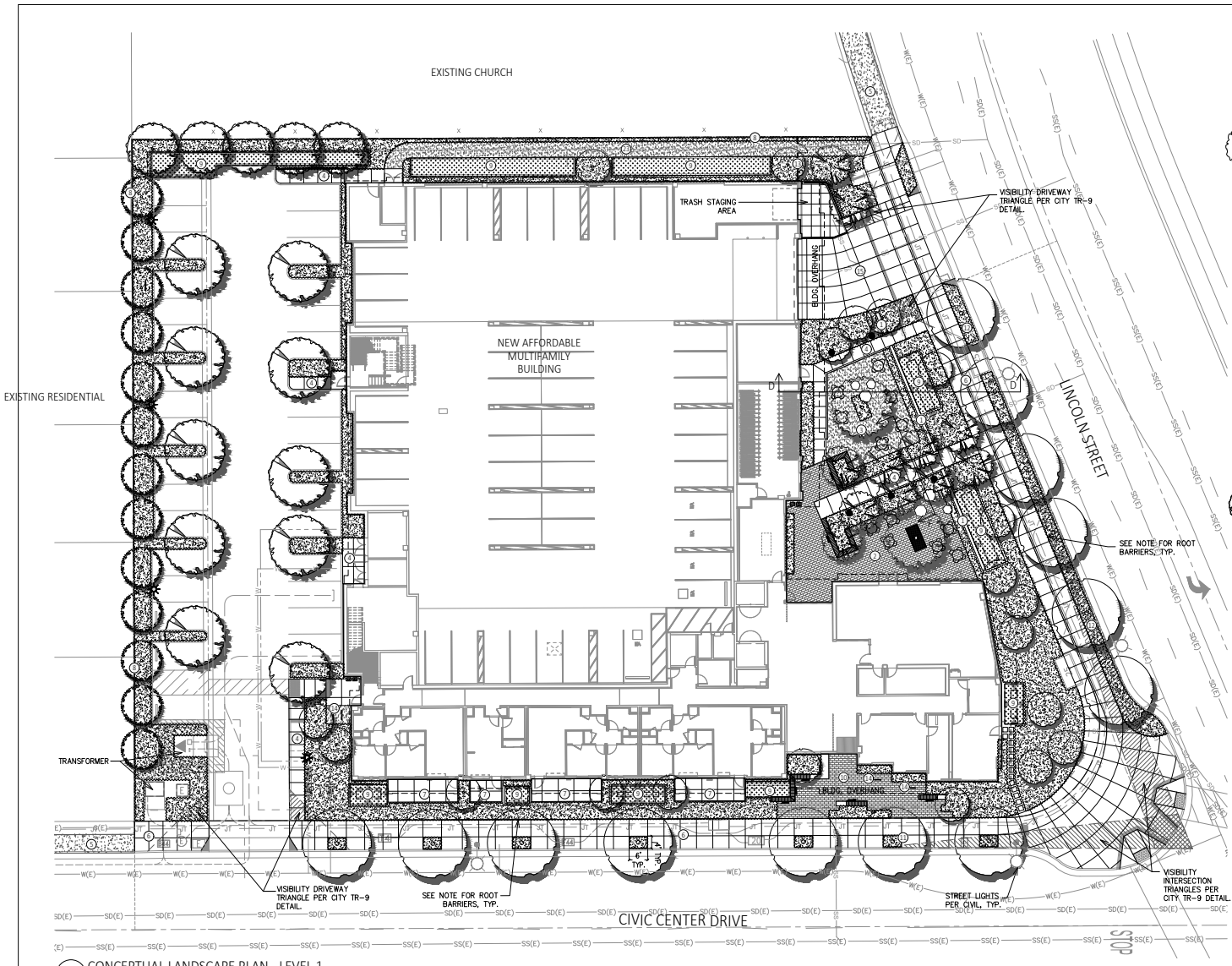

DATE	DESCRIPTION
12.08.2020	PLANNING SUBMITTAL
03.22.2021	100% SCHEMATIC DESIGN
03.22.2021	OPA RE SUBMISSION 1
11.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	OPA RE SUBMISSION 2
05.09.2022	100% DESIGN DEVELOPMENT
05.25.2022	OPA RE SUBMISSION 3

NO.	DATE	REVISION
1	04.08.2022	OPA RE SUBMISSION 1

JOINT TRENCH COMPOSITE

PROJECT NUMBER
21-086
DATE
05/25/2022

JT-2
DESIGN DEVELOPMENT



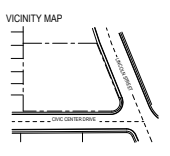
CANDIDATE PLANT LEGEND

SYMBOL	BOTANICAL NAME (COMMON NAME)	MIN. SIZE	WUCOLS	HEIGHT (FT)
PROJECT STREET TREES:				
	LINCOLN STREET: OLEA EUROPAEA "SWAN HILL" (FRUITLESS OLIVE)	36" BOX	V. LOW	30
	CIVIC CENTER DRIVE: CERIS CANADENSIS (EASTERN REDBUD)	36" BOX	MOD	30
ENTRY COURT TREE (SUCH AS):				
	ZELKOVA S. "CITY SPRITE" (DWARF ZELKOVA)	24" BOX	MOD	25
	OLEA EUROPAEA "SWAN HILL" (FRUITLESS OLIVE)	36" BOX	V. LOW	30
	CERIS OCCIDENTALIS (WESTERN REDBUD)	24" BOX	V. LOW	15-20
	PYRUS C. "CAPITAL" (CAPITAL FLOWERING PEAR)	24" BOX	MOD	25-35
LEVEL 2 COURTYARD TREES (SUCH AS):				
	OLEA EUROPAEA "SWAN HILL" (FRUITLESS OLIVE)	36" BOX	V. LOW	30
	AGONIS F. "AFTER DARK" (AFTER DARK PEPPERMINT TREE)	24" BOX	LOW	15-20
	CHITALPA TASHKENTENSIS (CHITALPA)	24" BOX	MOD	20-30
	PITTOSPORIUM TENUIFOLIUM (KOHUHU)	15-GAL	MOD	15-25
	ROBINIA P. "PURPLE ROBE" (PURPLE ROBE LOCUST)	24" BOX	LOW	30-34
	PRUNUS CAROLINIANA (CAROLINA CHERRY)	24" BOX	LOW	15-20
SECONDARY ACCENT TREES (SUCH AS):				
	ACER PALMATUM "RHODE ISLAND RED" (JAPANESE MAPLE)	15-GAL	MOD	6
	ARBUTUS "MARINA" (MARINA MADRONE)	15-GAL	LOW	20-30
	LOPHOSTEMUM CONFERTUS (BRISBANE BOX)	15-GAL	MOD	35-45
	ACACIA STENOPHYLLA (SHOE-STRING ACACIA)	15-GAL	LOW	20-40
	COTINUS COGGYGRIA (SMOKETREE)	15-GAL	LOW	12-15
PARKING AREA TREES (SUCH AS):				
	RHUS LANCEA (AFRICAN SUMAC)	24" BOX	LOW	20-30
	GERERA PARVIFLORA (AUSTRALIAN WILLOW)	24" BOX	MOD	20-35
	PITTOSPORIUM TENUIFOLIUM (KOHUHU)	15-GAL	MOD	15-25
STORMWATER TREATMENT PLANTINGS (SUCH AS):				
	CAREX SPP. (SEDE)	1 GAL	MOD	
	MUHLENBERGIA SPP. (MUHLY)	1 GAL	LOW	
	JUNCUS SPP. (RUSH)	1 GAL	LOW	
	CAREX SUBFUSCA (RUSTY SEDGE)	1 GAL	LOW	
SHRUBS/SUCCULENTS/GROUNDCOVERS/VINES (SUCH AS):				
	LEPTOSPERMUM S. CYS (DW. TEA TREE)	5 GAL	MOD	
	WESTRINGIA FRUTICOSA (COAST ROSEMARY)	5 GAL	LOW	
	RHAMNUS C. "EVE CASE" (DW. COFFEEBERRY)	5 GAL	LOW	
	LOMANDRA LONGIFOLIA "TANIKA" (TANIKIA LOMANDRA)	5 GAL	LOW	
	GREVILLEA NOELLII (NOEL'S GREVILLEA)	5 GAL	LOW	
	ACACIA "COUSIN ITT" (DW. RIVER WATTLE)	5 GAL	LOW	
	ARTOSTAPHYLOS SPP. (MANZANITA)	5 GAL	LOW	
	ASPARAGUS D. "MYERS" (MYER'S FERN)	1 GAL	MOD	
	DIETES BICOLOR (FORTNIGHT LILY)	1 GAL	LOW	
	CHONDROPETALUM TECTORUM (CAPE RUSH)	1 GAL	LOW	
	POLYSTICHUM MUNIUM (WESTERN SWORD FERN)	1 GAL	MOD	
	MYOPORIUM SPP. (CREEPING MYOPORIUM)	1 GAL	LOW	
	LANTANA SELLOWIANA (TRAILING LANTANA)	1 GAL	LOW	
	ERIGERON KARWINSKIANUS (SANTA BARBARA DAISY)	1 GAL	LOW	
	ROSEMARINUS SPP. (ROSEMARY)	1 GAL	LOW	



PROJECT
**CIVIC CENTER
 FAMILY HOUSING**
 LOCATION
**1601 CIVIC CENTER DR.
 SANTA CLARA, CA 95050**

PREPARED FOR



DATE

12.08.2020	PLANNING SUBMITTAL
09.24.2021	GPA APPLICATION SET
04.08.2022	GPA RESUBMISSION 1
05.25.2022	GPA RESUBMISSION 2

NO. DATE

04.08.2022	GPA RESUBMISSION 1
------------	--------------------

DESIGN PARTNER

PROJECT MANAGER

PROJECT ARCHITECT

PROJECT ENGINEER

PROJECT TEAM MEMBERS

CHECK

CONCEPTUAL LANDSCAPE PLAN - LEVEL 1

PROJECT NO.
1927400
 DATE
05/25/2022

PROJECT NO.
L1.0
 GPA RESUBMISSION 2

A CONCEPTUAL LANDSCAPE PLAN - LEVEL 1
 1/16"=1'-0"



UTILITY & TREE PROTECTION NOTES:
 MIN 5' OF SEPARATION IS PROVIDED BETWEEN TREES AND UTILITIES. WHEN LOCATED WITHIN 5' A ROOT BARRIER WILL BE PROVIDED.
 ROOT BARRIERS FOR SIDEWALK PROTECTION WILL BE 16" LONG OR EXTEND TO DRIP LINE OF THE MATURE TREE, AND WILL BE 1.5" DEEP, AND CENTERED ON TREES.

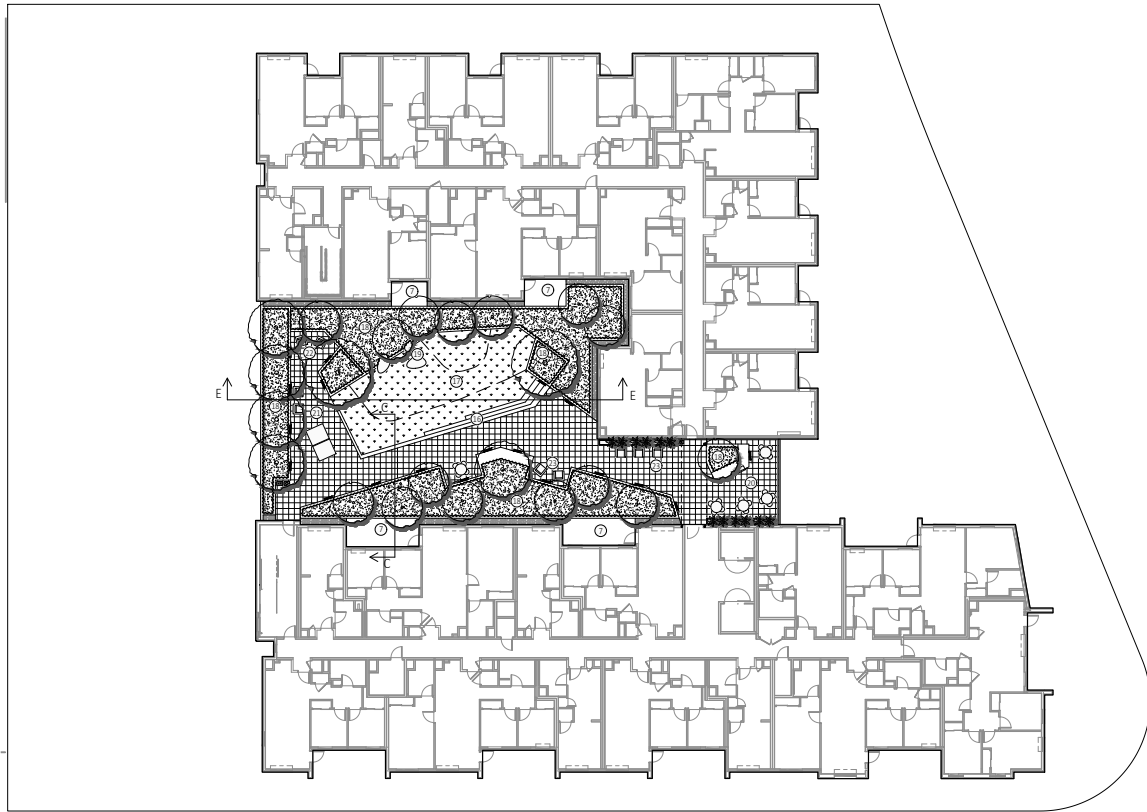
STREET TREES:
 STREET TREES FRONTING THE PROJECT SITE ALONG THE PUBLIC R.O.W. WILL BE COORDINATED WITH STREET DEPARTMENT AND CITY ARBORIST FOR THE TYPE, LOCATION, INSTALLATION AND MAINTENANCE.

CONCEPTUAL SITE LIGHTING KEY

- 12' POLE LIGHT
- BOLLARD LIGHT
- RECESSED STEP LIGHT

LANDSCAPE ELEMENTS KEY

- ① LOW DECORATIVE GARDEN WALL (36" MAX).
- ② ACTIVE FORECOURT WITH ENHANCED PAVING, SEATING, LANDSCAPE BOULDERS & TREE GRATE.
- ③ PASSIVE FORECOURT WITH TREE GRATE, SEATING, LANDSCAPE BOULDERS & SOFTER PAVING MATERIALS (D.G./DECORATIVE PEA-GRAVEL PAVING).
- ④ CONCRETE WALKWAY.
- ⑤ EXISTING PUBLIC SIDEWALK TO REMAIN.
- ⑥ NEW PUBLIC SIDEWALK.
- ⑦ PRIVATE RESIDENT PATIOS.
- ⑧ EXISTING FENCE TO REMAIN.
- ⑨ STORMWATER TREATMENT BASIN- SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- ⑩ PRIMARY ENTRY COURT WITH ENHANCED PAVING AND CONCRETE SEATWALLS WITH WOOD SLATS.
- ⑪ TREE WELLS IN SIDEWALK @ CIVIC CENTER DRIVE.
- ⑫ CONTIGUOUS LANDSCAPED PARKWAY @ LINCOLN STREET.
- ⑬ NEW 6-FT PERFORATED METAL PANEL FENCE (WITH MAINTENANCE ACCESS) TO MATCH TRASH ENCLOSURE AND OTHER BUILDING GUARDRAILS. SEE ARCH. DRAWINGS FOR MORE INFO.
- ⑭ SHORT-TERM BIKE PARKING (QTY: 8 BIKES).
- ⑮ DRIVEWAY.
- ⑯ STEPPED CONCRETE PERIMETER.
- ⑰ RAISED RECREATIONAL AREA WITH SYNTHETIC TURF.
- ⑱ RAISED PLANTERS.
- ⑲ LANDSCAPE BOULDERS OR SMOOTH CONCRETE FAUX BOULDERS.
- ⑳ DINING COURT WITH BBQ COUNTER.
- ㉑ RECREATION AREA WITH OUTDOOR PING PONG TABLE & SEATING.
- ㉒ BREAK-OUT SPACE WITH SEATING.
- ㉓ D.G. PATHWAY (EMERGENCY ACCESS).



A CONCEPTUAL LANDSCAPE PLAN - LEVEL 2
1/16"=1'-0" NORTH

CONCEPTUAL SITE LIGHTING KEY

- 12' POLE LIGHT
- BOLLARD LIGHT
- RECESSED STEP LIGHT

LANDSCAPE ELEMENTS KEY

- | | |
|--|--|
| <ul style="list-style-type: none"> ① LOW DECORATIVE GARDEN WALL (36" MAX). ② ACTIVE FORECOURT WITH ENHANCED PAVING, SEATING, LANDSCAPE BOULDERS & TREE GRATE. ③ PASSIVE FORECOURT WITH TREE GRATE, SEATING, LANDSCAPE BOULDERS & SOFTER PAVING MATERIALS (D.G./DECORATIVE PEA-GRAVEL PAVING). ④ CONCRETE WALKWAY. ⑤ EXISTING PUBLIC SIDEWALK TO REMAIN. ⑥ NEW PUBLIC SIDEWALK. ⑦ PRIVATE RESIDENT PATIOS. | <ul style="list-style-type: none"> ⑧ EXISTING FENCE TO REMAIN. ⑨ STORMWATER TREATMENT BASIN: SEE CIVIL PLANS FOR ADDITIONAL INFORMATION. ⑩ PRIMARY ENTRY COURT WITH ENHANCED PAVING AND CONCRETE SEATWALLS WITH WOOD SLATS. ⑪ TREE WELLS IN SIDEWALK @ CIVIC CENTER DRIVE. ⑫ CONTIGUOUS LANDSCAPED PARKWAY @ LINCOLN STREET. ⑬ NEW 6-FT PERFORATED METAL PANEL FENCE (WITH MAINTENANCE ACCESS) TO MATCH TRASH ENCLOSURE AND OTHER BUILDING GUARDRAILS. SEE ARCH. DRAWINGS FOR MORE INFO. ⑭ SHORT-TERM BIKE PARKING (QTY: 8 BIKES). ⑮ DRIVEWAY. ⑯ STEPPED CONCRETE PERIMETER. ⑰ RAISED RECREATIONAL AREA WITH SYNTHETIC TURF. ⑱ RAISED PLANTERS. ⑲ LANDSCAPE BOULDERS OR SMOOTH CONCRETE FAUX BOULDERS. ⑳ DINING COURT WITH BBQ COUNTER. ㉑ RECREATION AREA WITH OUTDOOR PING PONG TABLE & SEATING. ㉒ BREAK-OUT SPACE WITH SEATING. ㉓ D.G. PATHWAY (EMERGENCY ACCESS). |
|--|--|

LANDSCAPE WATER EFFICIENCY CHECKLIST

IRRIGATION FIGURES

TOTAL AREA: 13829 SF
 STORMWATER AREA: 1689 SF
 ALL OTHER LANDSCAPE AREAS: 12140 SF

MAWA
 (48.4)(0.62)(0.58 x 13829 SF) = 245,662 GAL/YR

ETWU
 (48.4)(0.62)(0.3 x 12140 SF)/0.9 = 123,941 GAL/YR
 (48.4)(0.62)(0.5 x 1689 SF)/0.9 = 28,739 GAL/YR

TOTAL = 152,680 GAL/YR

IRRIGATION DESIGN STATEMENT

THE IRRIGATION SYSTEM WILL BE DESIGNED TO REDUCE THE OVERALL WATER REQUIRED FOR SUPPLEMENTAL IRRIGATION, ALONG WITH THE RESPONSIBLE SELECTION OF PLANT MATERIALS. CURRENT IRRIGATION TECHNOLOGIES WILL BE UTILIZED IN ORDER TO COMPLY BOTH WITH THE STATE AND CITY WATER CONSERVATION ORDINANCES. THESE INCLUDE ET-BASED "SMART" CONTROLLERS, FLOW AND RAIN SENSORS, AND LOW-VOLUME SUB-SURFACE DRIP IRRIGATION AND DEEP-ROOT TREE BUBBLERS.

IRRIGATION EQUIPMENT STANDARDS

- PRESSURIZED MAINLINE PIPING WILL BE CL. 315 PVC & BURIED MINIMUM 18".
- NON-PRESSURIZED LATERALS WILL BE SCH. 40 PVC OR CL. 315 PVC & BURIED MINIMUM 12".
- AN "RP" TYPE BACKFLOW PREVENTER WILL BE INSTALLED NEAR THE PROJECT POINT-OF-CONNECTION.
- SUBSURFACE IN-LINE DRIP IRRIGATION SHALL BE TORO DL2000, NETAFIM, OR APPROVED EQUIVALENT.
- NO OVERHEAD OR SPRAY IRRIGATION WILL BE UTILIZED.

TURF AREA

- NO IRRIGATED LAWN AREAS ARE PLANNED FOR THIS PROJECT.

IRRIGATION DESIGN FOR RECYCLED WATER:

ALL ON-SITE IRRIGATION WILL BE DESIGNED FOR RECYCLED WATER USE AND WILL COMPLY WITH ALL RECYCLED WATER REGULATIONS BY CITY OF SANTA CLARA, SBRW AND DEPARTMENT OF DRINKING WATER.

SEE L1.0 FOR PLANT LEGEND



PROJECT
**CIVIC CENTER
 FAMILY HOUSING**
 LOCATION
**1601 CIVIC CENTER DR.
 SANTA CLARA, CA 95050**

PREPARED FOR



VICINITY MAP



DATE	REVISION
12.08.2020	PLANNING SUBMITTAL
09.22.2021	GPA APPLICATION SET
14.08.2022	GPA RESUBMISSION 1
03.25.2022	GPA RESUBMISSION 2

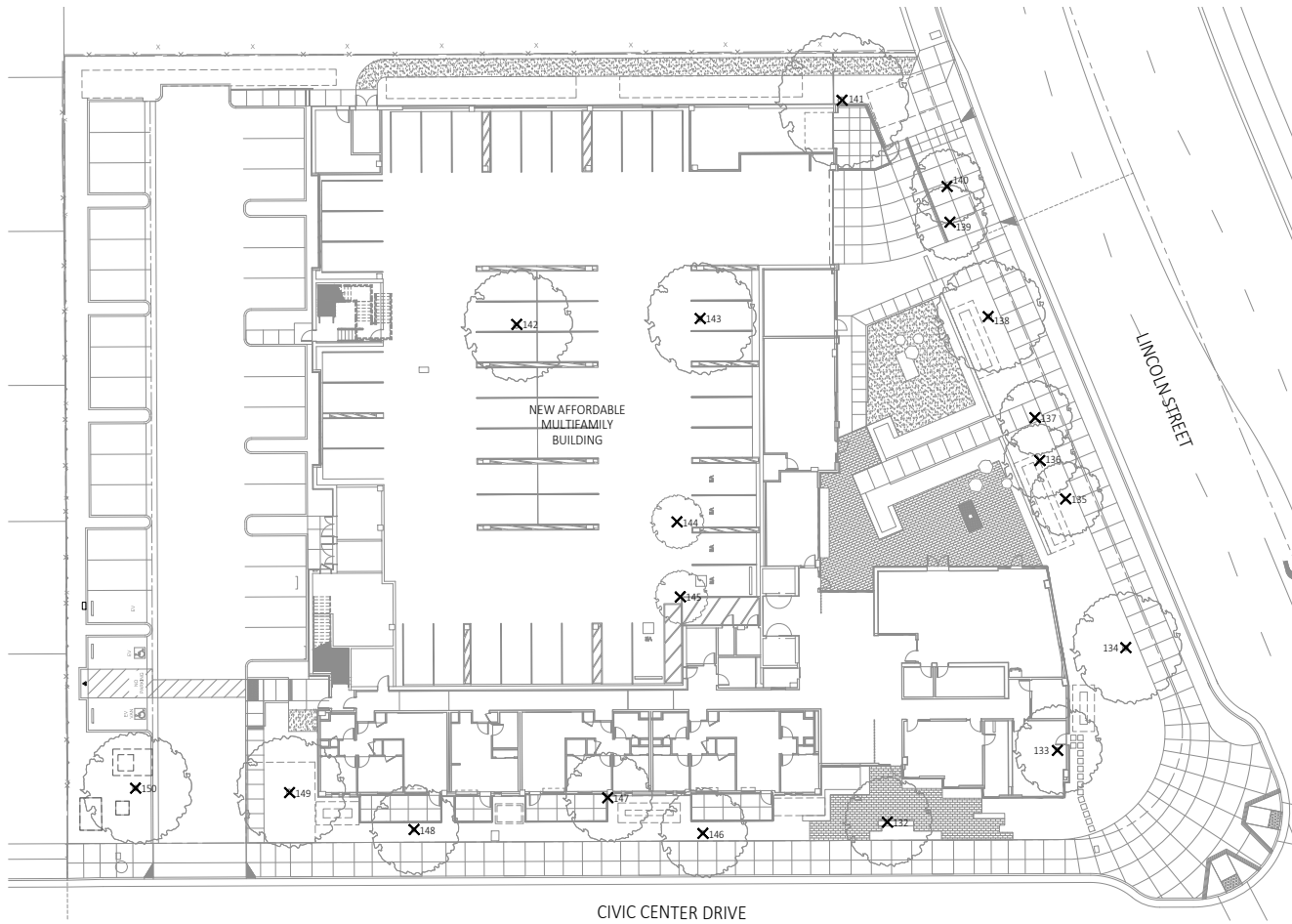
REV.	DATE	REVISION
01	04.08.2022	GPA RESUBMISSION 1

DESIGN PARTNER	
PROJECT MANAGER	
PROJECT ARCHITECT	
PROJECT ENGINEER	
PROJECT TEAM MEMBERS	
CHECK	

TITLE
**CONCEPTUAL LANDSCAPE
 PLAN - LEVEL 2**

PROJECT NUMBER
1927400
 DATE
05/25/2022

PROJECT NUMBER
L2.0
 GPA RESUBMISSION 2



EXISTING TREE LEGEND

#	TREE TYPE	DIA.(N)	PROTECTED?	CONDITION	ACTION
				1-POOR 5-EXCELLENT	
132	OLIVE	15	YES	2	REMOVE
133	OLIVE	11, 7, 7	NO	2	REMOVE
134	OLIVE	16, 9	YES	3	REMOVE
135	SWEETGUM	8	NO	2	REMOVE
136	SWEETGUM	8	NO	2	REMOVE
137	SWEETGUM	8	NO	2	REMOVE
138	OLIVE	16, 9, 5	YES	3	REMOVE
139	SWEETGUM	7	NO	2	REMOVE
140	SWEETGUM	8	NO	3	REMOVE
141	OLIVE	16, 15	YES	3	REMOVE
142	PURPLE LEAF PLUM	11, 7, 7, 4	NO	3	REMOVE
143	OLIVE	13, 10	YES	3	REMOVE
144	AFRICAN FERNPINE	4, 3, 3, 2	NO	3	REMOVE
145	AFRICAN FERNPINE	5, 4	NO	3	REMOVE
146	OLIVE	16	YES	3	REMOVE
147	OLIVE	16, 15	YES	3	REMOVE
148	OLIVE	10, 10, 9	NO	3	REMOVE
149	OLIVE	17, 14	YES	3	REMOVE
150	OLIVE	12, 10, 10, 9	YES	3	REMOVE

EXISTING TREE NOTES

1. INFORMATION CONTAINED HERE IS TAKEN FROM ARBORIST'S REPORT PREPARED BY HORT SCIENCE/BARILETTI CONSULTING (325 RAY ST., PLEASANTON, CA 94566) DATED 03-06-2020.
2. TREE NUMBERING CONVENTION USED SO AS TO ALIGN WITH NUMBERING USED IN ARBORIST'S REPORT.
3. WHERE TREES HAD MORE THAN TRUNK, THE DIAMETERS OF INDIVIDUAL TRUNKS WERE ADDED TOGETHER TO ESTABLISH THE DIAMETER CLASS FOR MITIGATION PURPOSES.
4. TREES IN LEGEND MARKED WITH ASTERISK (*): NOT INCLUDED IN PRELIMINARY ARBORIST'S REPORT.

SUMMARY:

TOTAL TREES REMOVED:-	19
MIN 24" BOX TREES PROVIDED:-	38

*TREES PERMITTED BY THE CITY FOR REMOVAL WILL BE REPLACED AT A MINIMUM 2:1 RATIO WITH 24-INCH BOX SPECIMEN TREES.

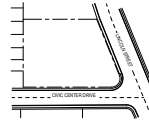


PROJECT
**CIVIC CENTER
 FAMILY HOUSING**
 LOCATION
**1601 CIVIC CENTER DR.
 SANTA CLARA, CA 95050**

PREPARED FOR



VICINITY MAP



DATE	DESCRIPTION
12.08.2020	PLANNING SUBMITTAL
09.22.2021	GPA APPLICATION SET
04.08.2022	GPA RESUBMISSION 1
05.25.2022	GPA RESUBMISSION 2

NO.	DATE	DESCRIPTION
04.08.2022		GPA RESUBMISSION 1

A EXISTING TREE PLAN
 1/16"=1'-0"

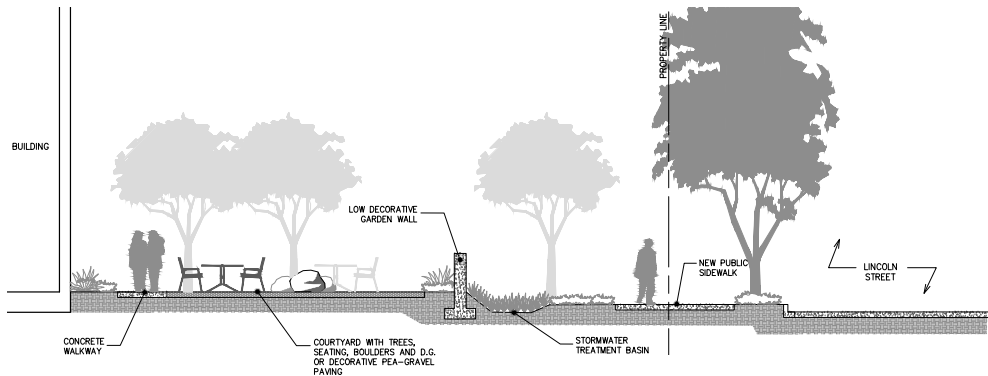
EXISTING TREE KEY

	=PROTECT IN PLACE
	=TO BE REMOVED

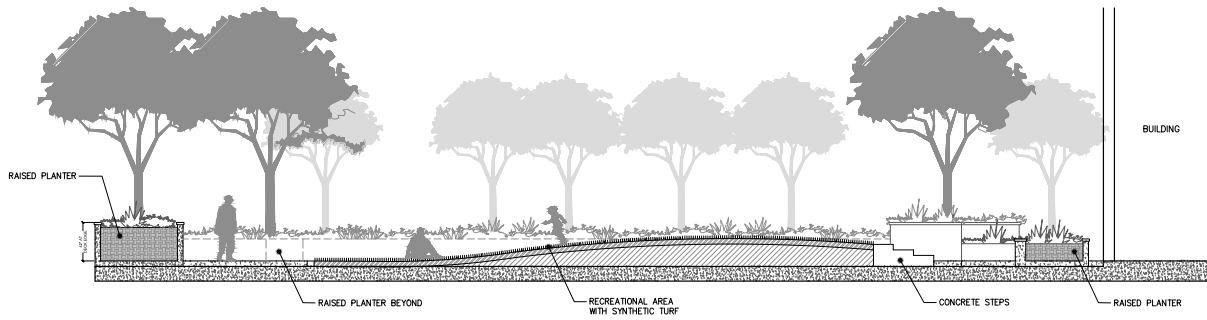
TITLE
EXISTING TREE PLAN

PROJECT NO.
1927400
 DATE
05/25/2022

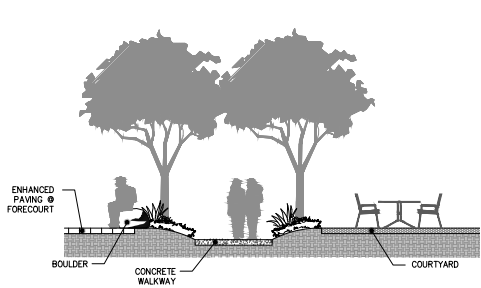
SHEET NUMBER
L3.0
 GPA RESUBMISSION 2



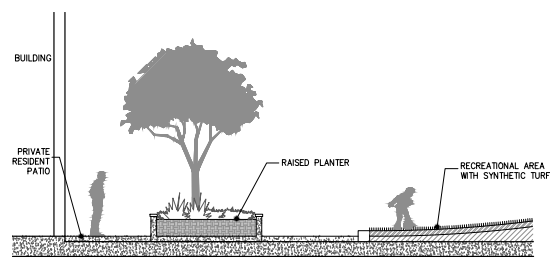
D CROSS-SECTION THROUGH LEVEL 1 COURTYARD
3/16"=1'-0"



E CROSS-SECTION THROUGH LEVEL 2 COURTYARD
3/16"=1'-0"



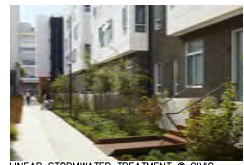
F CROSS-SECTION @ FORECOURT & COURTYARD
3/16"=1'-0"



C CROSS-SECTION THROUGH LEVEL 2 COURTYARD
3/16"=1'-0"



A CONCEPTUAL LIGHTING IMAGERY



LINEAR STORMWATER TREATMENT @ CIVIC CENTER DRIVE FRONTAGE



SEAT WALLS @ ENTRY



LOW DECORATIVE GARDEN WALL SURROUNDED BY PLANTING; IMPLIED BARRIER BUT NOT RESTRICTIVE



DECORATIVE LINEAR UNIT PAVERS



PASSIVE FORECOURT AREA: CASUAL, QUIET, SOFT PAVING MATERIALS



REAL OR FAUX BOULDERS @ LEVEL 2



PERFORATED METAL PANEL FENCE



RAISED RECREATIONAL TURF AREA @ LEVEL 2



BIKE RACK

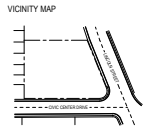
B LANDSCAPE ELEMENT IMAGERY



DATE	ISSUE
12.08.2020	PLANNING SUBMITTAL
08.22.2021	GPA APPLICATION SET
04.08.2022	GPA RESUBMISSION 1
05.25.2022	GPA RESUBMISSION 2

NO.	DATE	REVISION
04.08.2022		GPA RESUBMISSION 1

DESIGN PARTNER	
PROJECT MANAGER	
PROJECT ARCHITECT	
PROJECT DESIGNER	
PROJECT TEAM MEMBERS	
CHECK	



DATE DESCRIPTION

02.08.2021	PLANNING SUBMITTAL
02.23.2021	10% SCHEMATIC DESIGN
03.23.2021	GPA SUBMITTAL
11.19.2021	GPA DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.03.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

DATE DESCRIPTION

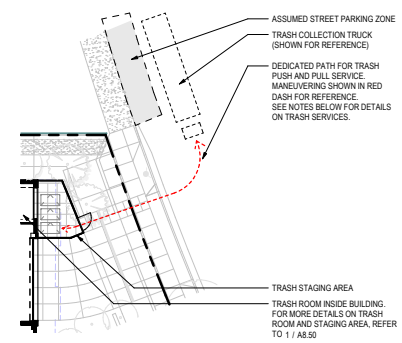
01.04.08.2023	GPA RESUBMISSION 1
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DESIGNER
AT / SA / AK / AP

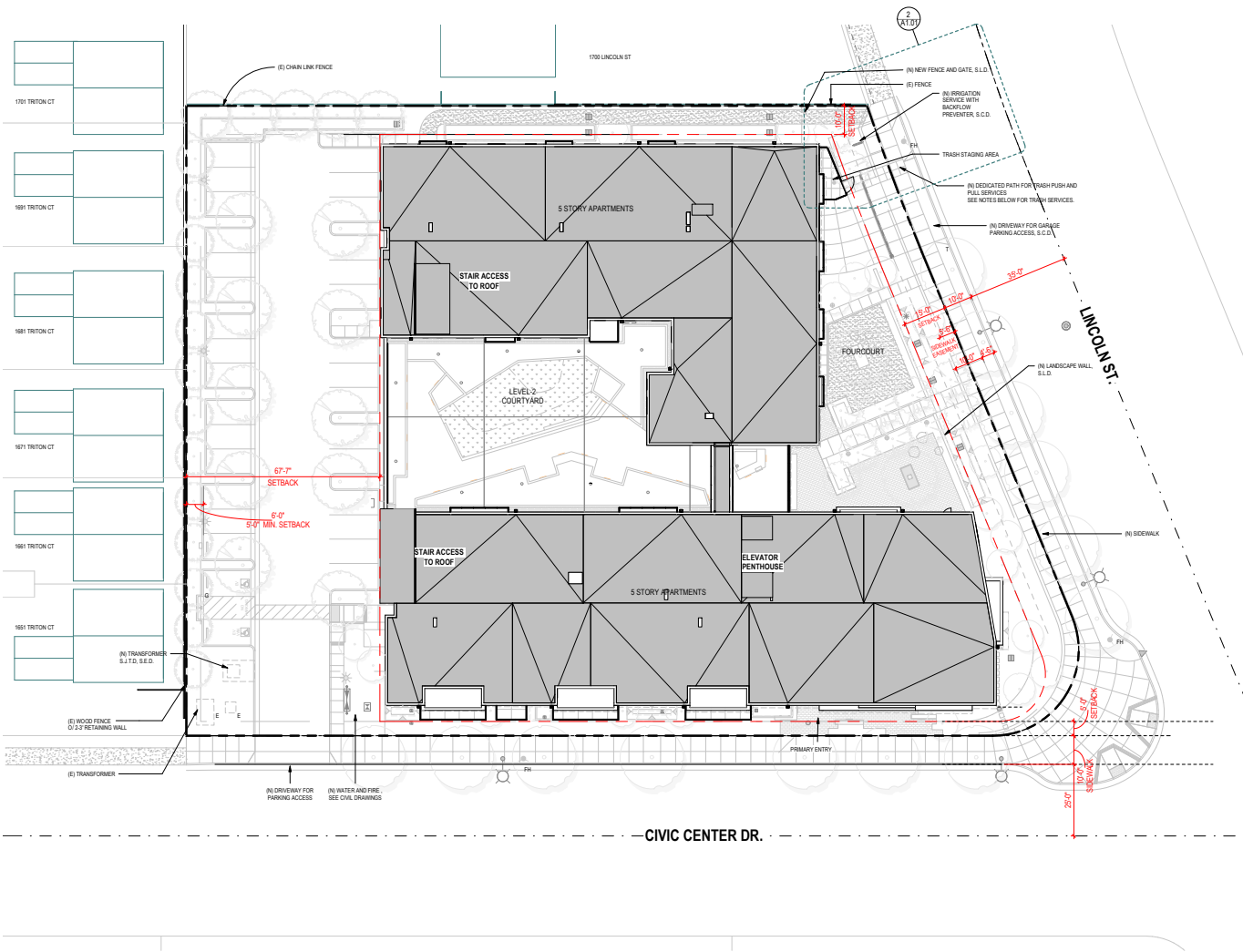
ARCHITECTURAL SITE PLAN

PROJECT NUMBER
1927400
DATE
05/25/2022

SCALE
A1.01
GPA RESUBMISSION 2
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2 SITE PLAN - TRASH COLLECTION
1/16" = 1'-0"



1 SITE PLAN
1/16" = 1'-0"

- NOTES:**
- FOR TRASH PICK UP, PLEASE NOTE THE FOLLOWING:
A. A DEDICATED PATH ADJACENT TO THE GARAGE DRIVEWAY IS PROVIDED FOR PUSH AND PULL SERVICES.
B. COLLECTION TRUCK WILL PARK ON THE STREET AND WORKER WILL ACCESS THE STAGING AREA VIA THE DEDICATED PATH. WILL ROLL THE BINS OUT TO THE STREET TO BE SERVICED BY THE TRUCK, THEN RETURN TO THE STAGING AREA. BINS WILL NOT REMAIN ON THE STREET.
C. COLLECTION FOR RECYCLING AND GARBAGE WILL OCCUR ON SEPARATE DAYS.
D. BINS WILL BE MAXIMUM 3 CUBIC YARD.

LEGEND

	PROPERTY LINE
	SETBACK LINE
	FIRE HYDRANT
	STREET LIGHT
	PROPOSED TREE, SEE LANDSCAPE DRAWINGS



Scale: 1/16" = 1'-0" (1/8" = 1'-0")
Title: 1927400-01-ARCHITECTURAL SITE PLAN
Date: 05/25/2022
Project: CIVIC CENTER FAMILY HOUSING
Location: 1601 CIVIC CENTER DR., SANTA CLARA, CA 95050
Client: CHARITIES HOUSING
Designer: MITHUN
Scale: 1/16" = 1'-0" (1/8" = 1'-0")
Title: 1927400-01-ARCHITECTURAL SITE PLAN
Date: 05/25/2022
Project: CIVIC CENTER FAMILY HOUSING
Location: 1601 CIVIC CENTER DR., SANTA CLARA, CA 95050
Client: CHARITIES HOUSING
Designer: MITHUN



DATE	DESCRIPTION
03.08.2021	PLANNING SUBMITTAL
03.10.2021	10% SCHEMATIC DESIGN
03.11.2021	GPA SUBMITTAL
04.13.2021	50% DESIGN DEVELOPMENT
04.28.2021	GPA RESUBMISSION 1
05.05.2021	100% DESIGN DEVELOPMENT
05.15.2021	GPA RESUBMISSION 2

DATE: 04.08.2022
 PROJECT: CIVIC CENTER FAMILY HOUSING
 SHEET: 1 - LEVEL 1 - GROUND

DESIGNED BY:
 AT
 PROJECT ENGINEER:
 KB / SA
 ARCHITECT CHECKED:
 SA / AK
 ARCHITECT:
 AP
 PROJECT TEAM MEMBER:
 DCS



DATE: 05/25/2022
 PROJECT NUMBER: 1927400
 SHEET: 05/25/2022

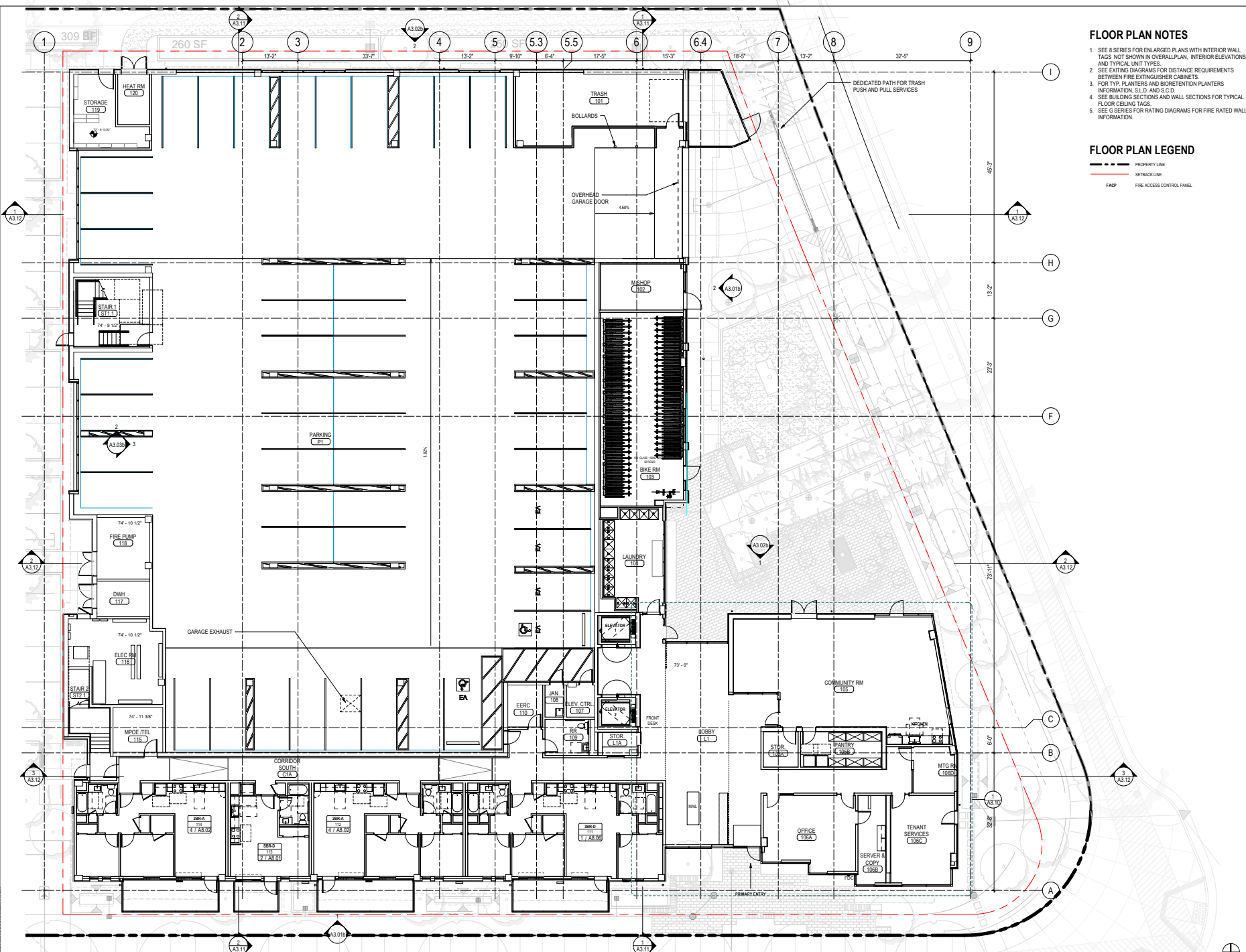
A2.01
 GPA RESUBMISSION 2
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FLOOR PLAN NOTES

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN. INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES.
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS.
- FOR TYP. PLANTERS AND BIKE ENTONION PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS.
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

FLOOR PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



1 LEVEL 1 FLOOR PLAN - GROUND
 1/8" = 1'-0"



MITHUN ARCHITECTS, INC. 1601 CIVIC CENTER DRIVE, SANTA CLARA, CA 95050
 PROJECT: CIVIC CENTER FAMILY HOUSING
 SHEET: 1 - LEVEL 1 - GROUND
 DATE: 05/25/2022
 PROJECT NUMBER: 1927400
 SHEET: 05/25/2022
 © 2016 MITHUN, INC.



FLOOR PLAN NOTES

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS
- FOR TYP. PLANTERS AND BIODEGRADABLE PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

FLOOR PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



1 LEVEL 2 FLOOR PLAN - PODIUM
 1/8" = 1'-0"

MITHUN ARCHITECTURE INC. 1601 CIVIC CENTER DRIVE, SANTA CLARA, CA 95050
 PROJECT NUMBER: 1927400
 DATE: 05/25/2022
 GFA RESUBMISSION 1
 SHEET: A2.02
 PROJECT: CIVIC CENTER FAMILY HOUSING
 LOCATION: 1601 CIVIC CENTER DR., SANTA CLARA, CA 95050
 PREPARED FOR: CHARITIES HOUSING
 VICINITY MAP: [SEE VICINITY MAP]
 DATE: 11/04/2022
 GFA RESUBMISSION 1
 PROJECT NUMBER: AT
 PROJECT OWNER: KB / SA
 ARCHITECT: SA / AK
 PROJECT MANAGER: AP
 LEVEL: LEVEL-2 PODIUM
 PROJECT NUMBER: 1927400
 DATE: 05/25/2022
 PROJECT NORTH
A2.02
 GFA RESUBMISSION 2
 © 2016 MITHUN, INC.



DATE	DESCRIPTION
03.08.2021	PLANNING SUBMITTAL
03.23.2021	10% SCHEMATIC DESIGN
03.31.2021	GPA SUBMITTAL
11.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

DATE	DESCRIPTION
04.08.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
05.25.2022	GPA RESUBMISSION 2



PROJECT NUMBER: 1927400
 DATE: 05/25/2022

A2.03
 GPA RESUBMISSION 2
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FLOOR PLAN NOTES

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS
- FOR TYP. PLANTERS AND BIODECKTOP PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

FLOOR PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



1 LEVEL 3-4 FLOOR PLAN
 1/8" = 1'-0"



MITHUN ARCHITECTURE INC. 1601 CIVIC CENTER DRIVE, SANTA CLARA, CA 95050
 PROJECT NUMBER: 1927400
 DATE: 05/25/2022
 DRAWING TITLE: A2.03
 SHEET NUMBER: 1 OF 1
 SCALE: 1/8" = 1'-0"
 PROJECT: CIVIC CENTER FAMILY HOUSING
 LOCATION: 1601 CIVIC CENTER DR., SANTA CLARA, CA 95050
 PREPARED FOR: CHARITIES HOUSING
 ARCHITECT: MITHUN ARCHITECTURE INC.
 PROJECT MANAGER: [Name]
 DESIGNER: [Name]
 CHECKER: [Name]
 DATE: 05/25/2022
 THIS DRAWING IS THE PROPERTY OF MITHUN ARCHITECTURE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF MITHUN ARCHITECTURE INC.



02.08.2021	PLANNING SUBMITTAL
02.19.2021	10% SCHEMATIC DESIGN
03.10.2021	GPA SUBMITTAL
11.19.2021	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

01.04.2022	GPA RESUBMISSION 1
------------	--------------------

AT	PROJECT ARCHITECT
KB / SA	ARCHITECT
SA / AK	ARCHITECT
AP	PROJECT ARCHITECT

LEVEL-5

PROJECT NO.
 1927400
 DATE
 05/25/2022

A2.05
 GPA RESUBMISSION 2
 © 2016 MITHUN, INC.

FLOOR PLAN NOTES

- SEE 8 SERIES FOR ENLARGED PLANS WITH INTERIOR WALL TAGS NOT SHOWN IN OVERALL PLAN, INTERIOR ELEVATIONS AND TYPICAL UNIT TYPES
- SEE EXITING DIAGRAMS FOR DISTANCE REQUIREMENTS BETWEEN FIRE EXTINGUISHER CABINETS
- FOR TYP. PLANTERS AND BIODECKTOP PLANTERS INFORMATION, S.L.D. AND S.C.D.
- SEE BUILDING SECTIONS AND WALL SECTIONS FOR TYPICAL FLOOR CEILING TAGS
- SEE G SERIES FOR RATING DIAGRAMS FOR FIRE RATED WALL INFORMATION.

FLOOR PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- FACP FIRE ACCESS CONTROL PANEL



1 LEVEL-5 FLOOR PLAN
 1/8" = 1'-0"



PROJECT NORTH

MITHUN ARCHITECTS, INC. 1601 CIVIC CENTER DRIVE, SANTA CLARA, CA 95050
 PROJECT NO. 1927400
 DATE 05/25/2022
 SHEET NO. A2.05
 LEVEL-5 FLOOR PLAN
 © 2016 MITHUN, INC.



1 NORTH ELEVATION - AT FORECOURT/COURTYARD
1/8" = 1'-0"

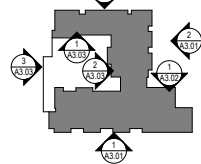


2 NORTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

- | | |
|---|--|
| (A) STUCCO - WHITE | (1) BRAKE METAL PANEL - DARK BRONZE |
| (B) STUCCO - BLUE | (2) DARK BRONZE ALUM. WINDOW W/ SUNSHADE WHERE NOTED |
| (C) STUCCO - LIGHT GREY | (3) DARK BRONZE ANODIZED ALUM. STOREFRONT |
| (2) CEMENT BOARD - DARK GREY | (4) METAL ROLL UP DOOR |
| (3) THERMALLY MODIFIED WOOD SIDING, ALT. CEMENTITIOUS PANEL | (5) PERFORATED METAL PANEL, FENCE / GUARDRAIL |
| (4) NOT USED | (6) (NOT USED) |
| | (7) LOUVERS - PAINTED TO MATCH WINDOW |

KEY



DATE: 03.08.2022
 03.08.2022 PLANNING SUBMITTAL
 03.29.2021 10% SCHEMATIC DESIGN
 11.13.2021 GFA SUBMITTAL
 11.13.2021 50% DESIGN DEVELOPMENT
 04.08.2022 GFA RESUBMISSION 1
 04.08.2022 100% DESIGN DEVELOPMENT
 03.15.2022 GFA RESUBMISSION 2

NO. DATE REVISION

REVISIONS:

AT PROJECT NUMBER
 KB / SA PROJECT ARCHITECT
 SA / AK ARCHITECT
 AP PROJECT TEAM LEADER

DATE:

BUILDING ELEVATIONS

PROJECT NO.
1927400
DATE
05/25/2022

SCALE
A3.02b
GFA RESUBMISSION 2
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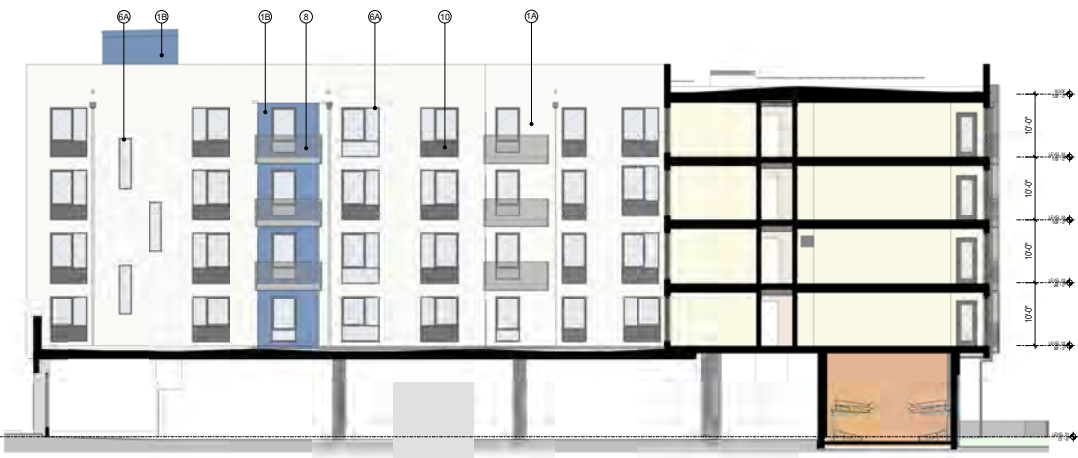
01.18.2022	PLANNING SUBMITTAL
02.14.2022	10% SCHEMATIC DESIGN
03.02.2022	GPA SUBMITTAL
04.13.2022	50% DESIGN DEVELOPMENT
04.28.2022	GPA RESUBMISSION 1
05.18.2022	100% DESIGN DEVELOPMENT
05.18.2022	GPA RESUBMISSION 2

ARCHITECT	AT
PROJECT MANAGER	KB / SA
ARCHITECT	SA / AK
PROJECT MANAGER	AP
DATE	

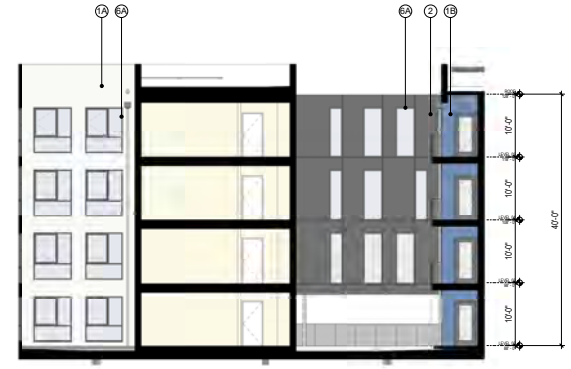
BUILDING ELEVATIONS

PROJECT NO.
1927400
DATE
05/25/2022

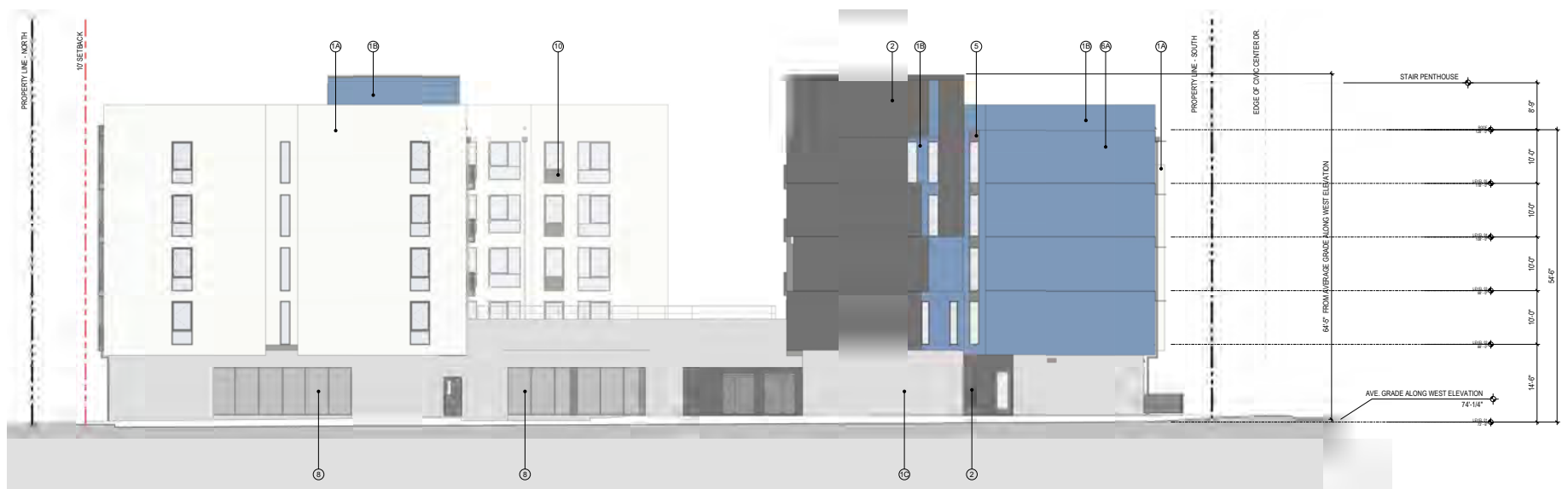
SCALE
A3.03b
GPA RESUBMISSION 2
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2 COURTYARD SOUTH ELEVATION
1/8" = 1'-0"



3 COURTYARD WEST ELEVATION
1/8" = 1'-0"

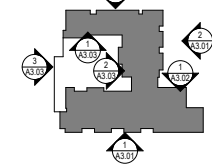


1 WEST ELEVATION
1/8" = 1'-0"

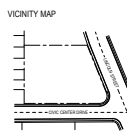
MATERIAL LEGEND

- | | |
|---|--|
| 1A STUCCO - WHITE | 1C BRAKE METAL PANEL - DARK BRONZE |
| 1B STUCCO - BLUE | 1D DARK BRONZE ALUM. WINDOW W/ SUNSHADE WHERE NOTED |
| 1E STUCCO - LIGHT GREY | 1E DARK BRONZE ANODIZED ALUM. STOREFRONT |
| 2 CEMENT BOARD - DARK GREY | 1F METAL ROLL UP DOOR |
| 3 THERMALLY MODIFIED WOOD SIDING, ALT. CEMENTITIOUS PANEL | 2 PERFORATED METAL PANEL; FENCE / GUARDRAIL (NOT USED) |
| 4 NOT USED | 3 LOUVERS - PAINTED TO MATCH WINDOW |

KEY



MITHUN ARCHITECTURE
 1001 MARKET STREET, 4TH FLOOR, SEATTLE, WA 98107
 TEL: 206.623.3344 FAX: 206.623.3345
 WWW.MITHUN.COM
 PROJECT NO. 1927400
 DATE 05/25/2022
 SCALE A3.03b
 SHEET NO. A3.03b
 05/25/2022 2:05:58 PM



DATE: 02/25/2022

02/25/2022 PLANNING SUBMITTAL

03/10/2021 GFA SUBMITTAL

11/19/2020 SDG DESIGN DEVELOPMENT

04/08/2020 GFA RESUBMISSION 1

02/05/2020 SDG DESIGN DEVELOPMENT

03/15/2020 GFA RESUBMISSION 2

02/25/2022

AD

KB / SA

PROJECT NUMBER

SA / AK

DATE

02/25/2022

AD

KB / SA

PROJECT NUMBER

SA / AK

DATE

LEGEND, SYMBOLS, GENERAL NOTES & DRAWING LIST

DATE: 02/25/2022

E0.01
 GFA RESUBMISSION 2
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ABBREVIATIONS	
AC	ABOVE COUNTER
ACC	AMPERES INTERRUPTING CAPACITY
ANN	ANNUNCIATOR
AMP	AMPERE
A OR AMP	AMPERE
AFCI	ARC FAULT CURRENT INTERRUPT
AFR	ARC FUSED FLOOR
APPROX	APPROXIMATELY
ARCH	ARCHITECTURAL
ATS	AUTOMATIC TRANSFER SWITCH
AUTO	AUTOMATIC
AUX	AUXILIARY
AV	AUDIO VISUAL
BLDG	BUILDING
C	CLOCK OR CONDUIT
CAB	CABINET
CAP	CAPACITOR
CAT	CATALO
CB	CIRCUIT BREAKER
CCTV	CLOSED CIRCUIT TELEVISION
CLF	CURRENT LIMITING FUSE
CLD	CEILING
COB	CONCRETE
CONB	CONNECTION
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTACTOR
CONTR	CONTRACTOR
CT	CURRENT TRANSFORMER
DC	DECEBEL
DC	DIRECT CURRENT
DET	DETAIL
DA	DIAMETER
DIAG	DIAGRAM
DM	DIMENSION
DISC	DISCONNECT
DIST	DISTRIBUTION
DM	DIVISION
DM	DAMPEN MOTOR
DN	DOWN
DPST	DOUBLE POLE DOUBLE THROW
DPST	DOUBLE POLE DOUBLE THROW
DWG	DRAWING
DZP	DAYLIGHTING ZONE PRIMARY
DZS	DAYLIGHTING ZONE SECONDARY
EA	EACH
EC	ELECTRICAL CONTRACTOR
ELECT	ELECTRICAL
EL	ELEVATION
EM	EMERGENCY
ENCL	ENCLOSURE
EQUIP	EQUIPMENT
EW	ELECTRIC WATER COOLER
EW	ELECTRIC WATER HEATER
(E)	EXISTING
EOP	EXPOSED
FA	FIRE ALARM
FC	FOOTCANDLE
FRT	FITTING
FIG	FIGURE
FL	FLOOR
FLA	FULL LOAD AMPERE
FLEX	FLEXIBLE
FLUOR	FLUORESCENT
FT	FOOT OR FEET
FUT	FUTURE
GEN	GENERATOR
GFI	GROUND FAULT
GFI	CIRCUIT INTERRUPTER
HGT	HEIGHT
HD	HIGH INTENSITY DISCHARGE
HORIZ	HORIZONTAL
HP	HORSEPOWER
HTR	HEATER
HVAC	HEATING VENTILATION AND AIR CONDITIONING
HV	HIGH VOLTAGE
HZ	HERTZ
IMP	IMPEDANCE
IN	INCH OR INCHES
JB	JUNCTION BOX
KV	KILOVOLT - AMPERE
KWH	KILOWATT HOUR
KG	KILOGRAM
LTG	LIGHTING
MAX	MAXIMUM
MCC	MOTOR CONTROL CENTER
MCP	MOTOR CIRCUIT PROTECTOR
MECH	MECHANICAL
MFD	MOUNTED
MTD	MOUNTED
MTG	MOUNTING
NEUT	NEUTRAL
NC	NORMALLY CLOSED
NC	NOT IN CONTRACT
No	NUMBER
NO	NORMALLY OPEN
NOM	NORMAL
NP	NAMEPLATE
NTS	NOT TO SCALE
OC	1/4" OVER-COUNTER OR BACKSPLASH
OD	OUTSIDE DIAMETER
OL	OVERLOAD
OL	CEILING
P	POLE
PA	PUBLIC ADDRESS
PB	PULL BOX or PUSHBUTTON
PF	POWER FACTOR
PH	PHASE
PL	PILOT LIGHT
PNS	PANEL
PR	PAIR
PR	PRIMARY
PVC	POLYVINYL CHLORIDE
REC	RECESSIBLE or RECEPTACLE
REF	REFERENCE
REG	REGULATOR
REQ	REQUIRED
REV	REVISION
RM	ROOM
RM	REMOVE AND REINSTALL
SCHED	SCHEDULE
SD	SMOKE DETECTOR
SEC	SECONDARY or SECURITY
SN	SOL NEUTRAL
SOL	SOLENOID
SP	SPARE
SPC	SPEC
SPST	SINGLE POLE DOUBLE THROW
SPST	SINGLE POLE SINGLE THROW
SPEC	SPECIFICATION
SUPV	SUPERVISORY
SQFT	SQUARE FOOT
STA	STATION
STD	STANDARD
SUSP	SUSPENDED
SW	SWITCH
SWGR	SWITCHGEAR
SYN	SYNCHRONIZATION
SYST	SYSTEM
SYST	DAYLIGHTING ZONE SKYLIGHT
T	TEL
TEMP	TEMPERATURE
TOL	THERMAL OVERLOAD
TPB	TWISTED PAIR SHELDED
TTC	TELEPHONE TERMINAL CABINET
TV	TELEVISION
(TP)	TYPICAL
UH	UNIT HEATER
UV	UNIT VENTILATOR
V	VOLT
VA	VOLT AMPERE
VERT	VERTICAL
VEST	VESTIBULE
VOLTMETER	VOLTMETER
VORN	VERMIN RESISTANT
VOL	VOLUME
W	WATT
WP	WEATHER PROOF
XP	EXPLOSION PROOF
TR	TRANSFORMER

POWER AND SIGNAL DEVICE LEGEND	
	ELECTRICAL EQUIPMENT
	CONTROL PANEL SURFACE MOUNTED EXAMPLES: LCP, SECURITY, BMS
	CONTROL PANEL RECESSED MOUNTED EXAMPLES: LCP, SECURITY, BMS
	PANELBOARD SURFACE MOUNTED
	PANELBOARD RECESSED MOUNTED
	BUSWAY RISER WITH PLUG IN UNIT
	BUSWAY HORIZONTAL
	CABLE TAP BOX
	STEP DOWN TRANSFORMER
	HEAVY DUTY DISCONNECT SWITCH
	HEAVY DUTY DISCONNECT SWITCH WITH FUSE
	MOTOR STARTER
	COMBINATION MOTOR STARTER/DISCONNECT SWITCH
	VARIABLE FREQUENCY DRIVE
	GENERATOR
	ACCESS CONTROL CARD READER BACK BOX
	MB - 4-INPUT FORMED SHADE CONTROLLER (RFD)
	PS - PROJECTION SCREEN CONTROLLER (PSC)
	THERMAL OVERLOAD/DISCONNECT SWITCH
	BES PUSH BUTTON MUSHROOM TYPE WITH CLEAR LEXAN PROTECTIVE SHIELD COVER
	EPO - EMERGENCY POWER OFF
	MOTOR CONNECTION
	JUNCTION BOX, WALL / CEILING MOUNTED
	J-HOOK PATHWAY
	GROUND BUS BAR
	GROUND ROD
	CIRCUIT BREAKER
	SWITCH AND FUSE
	DRAWOUT TYPE CIRCUIT BREAKER
	DRAWOUT TYPE SWITCH AND FUSE
	CIRCUIT BREAKER IN ENCLOSURE
	CURRENT TRANSFORMER AND KWH METER
	GROUND FAULT PROTECTION RELAY
	SURGE PROTECTIVE DEVICE
	NORMALLY OPEN CONTACT
	NORMALLY CLOSED CONTACT
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH

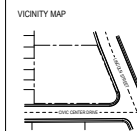
LIGHTING LEGEND	
	LIGHTING FIXTURE DOWNLIGHT, CEILING MOUNTED
	LIGHTING FIXTURE, WALL MOUNTED
	LIGHTING FIXTURE LINEAR, LENGTH AS SHOWN, CEILING MOUNTED
	LIGHTING FIXTURE, LENGTH AS SHOWN, WALL MOUNTED
	EMERGENCY LIGHTING FIXTURE
	WALL WASHER, CEILING MOUNTED
	LIGHTING FIXTURE(S), POLE MOUNTED
	FIXTURE DESIGNATION - LIGHTING FIXTURE TYPE
	INDICATES SWITCH/CONTROL
	INDICATES CIRCUITING
	DZP - DAYLIGHTING ZONE PRIMARY
	SZ - DAYLIGHTING ZONE SKYLIGHT
	EXIT SIGN, WALL MOUNTED SHADING - ILLUMINATED
	EXIT SIGN, WALL MOUNTED FACE ARROWS AS SHOWN
	EXIT SIGN, CEILING MOUNTED SHADING - ILLUMINATED
	EXIT SIGN, CEILING MOUNTED P - PENDANT MOUNTED SHADING - ILLUMINATED FACE ARROWS AS SHOWN
	EXIT SIGN, CEILING MOUNTED P - PENDANT MOUNTED SHADING - ILLUMINATED FACE ARROWS AS SHOWN
	EXIT SIGN, LOW LEVEL, RECESSED IN WALL SHADING - ILLUMINATED FACE ARROWS AS SHOWN
	OCCUPANCY SENSOR, WALL MOUNTED, DUAL OR SINGLE RELAY PER PANEL, SUBSCRIPT(S) INDICATES FIXTURE(S) CONTROLLED
	COMBINATION CAMERA & OCCUPANCY SENSOR, WALL MOUNTED, SUBSCRIPT(S) INDICATES FIXTURE(S) CONTROLLED
	H - INDICATES HALLWAY TYPE SENSOR
	DAYLIGHTING PHOTOCELL, SUBSCRIPT(S) INDICATES LIGHTING CONTROLLED
	OUTDOOR PHOTOCELL SENSOR
	INTEGRATED LUMINAIRE OCCUPANCY SENSOR AND CONTROL UNIT FOR WIRELESS LIGHTING CONTROL SYSTEM, HB - HIGH BAY TYPE
	GATEWAY CONTROLLER FOR WIRELESS CONNECTIVITY
	PLUG LOAD CONTROLLER FOR POWER RECEPTACLES

DATA AND AV DEVICE LEGEND	
	TELEPHONE DATA OUTLET, MOUNT AT 18" AFF TO CENTER OF OUTLET, TYP. LON, PROVIDE DOUBLE-GANG BOX WITH 1" TO ABOVE, ACCESSIBLE CEILING SPACE, PROVIDE PULL CORD
	DATA OUTLET AT CEILING, PROVIDE SINGLE-GANG BOX/SINGLE-GANG MID-RUNG/STRUNG WITH 1" C
	DATA OUTLET, MOUNT AT 18" AFF TO CENTER OF OUTLET, TYP. LON, PROVIDE DOUBLE-GANG BOX/SINGLE-EXTENDED GANG MID-RUNG/STRUNG WITH 1" TO ABOVE, ACCESSIBLE CEILING SPACE
	TELEPHONE OUTLET, "W" INDICATES WALL PHONE, MOUNT AT 48" AFF TO TOP OF OUTLET, LON, PROVIDE SINGLE-GANG BOX/SINGLE-GANG MID-RUNG/STRUNG WITH 1" TO ABOVE, ACCESSIBLE CEILING SPACE
	TELEVISION OUTLET, MOUNT AT 18" AFF TO CENTER OF OUTLET, PROVIDE SINGLE-GANG BOX WITH 1" TO ABOVE, ACCESSIBLE CEILING SPACE

POWER LEGEND	
	SINGLEPLEX RECEPTACLE OUTLET, 120V, 20A, MOUNT AT 18" AFF TO CENTER OF OUTLET, TYP. LON
	DUPLEX RECEPTACLE OUTLET, 120V, 20A, MOUNT AT 18" AFF TO CENTER OF OUTLET, TYP. LON
	QUADPLEX RECEPTACLE OUTLET, 120V, 20A, MOUNT AT 18" AFF TO CENTER OF OUTLET, TYP. LON
	CONTROLLED DUPLEX RECEPTACLE OUTLET, 120V, 20A, TOP HALF SWITCHED VIA OCCUPANCY SENSOR OR VIA TIME SWITCH IN OPEN OFFICE; PLUG LOAD CONTROL, MOUNT AT 18" AFF TO CENTER OF OUTLET, LON
	HALF-CONTROLLED DUPLEX RECEPTACLE OUTLET, 120V, 20A, ONE DUPLEX CONTROLLED, ONE DUPLEX UNCONTROLLED, MOUNT AT 18" AFF TO CENTER OF OUTLET, LON
	COMBINATION 120V/USB DUPLEX RECEPTACLE
	FLOOR MOUNTED POWER OUTLET, FIELD VERIFY EXACT LOCATION AND TYPE, 120V, 20A
	FLOOR MOUNTED POWER QUADPLEX OUTLET, FIELD VERIFY EXACT LOCATION AND TYPE, 120V, 20A
	FLUSH FLOOR MOUNTED POWER OUTLET, FIELD VERIFY EXACT LOCATION AND TYPE, 120V, 20A
	COMBINATION POWER, TELEDATA & AUDIO VISUAL, FLUSH FLOOR MOUNTED SPLIT WIRED DUPLEX OUTLET, FIELD VERIFY EXACT LOCATION AND TYPE, 120V, 20A
	COMBINATION POWER, TELEDATA & AUDIO VISUAL, FLUSH FLOOR MOUNTED HALF-CONTROLLED QUADPLEX OUTLET, FIELD VERIFY EXACT LOCATION AND TYPE, 120V, 20A
	CEILING MOUNTED DUPLEX RECEPTACLE OUTLET, 120V, 20A
	CEILING MOUNTED QUADPLEX RECEPTACLE OUTLET, 120V, 20A
	SPECIAL PURPOSE RECEPTACLE OUTLET, RATING AS INDICATED
	POWER/TELECOM WIREMOLD SURFACE RACEWAY, LENGTH APPROXIMATELY AS SHOWN
	CONTROL SWITCH, SUBSCRIPT(S) INDICATES ASSOCIATED LIGHT FIXTURE(S) / EQUIPMENT CONTROLLED, NO SUBSCRIPT INDICATES ALL LIGHT FIXTURE(S) / EQUIPMENT CONTROLLED INSIDE ROOM, MOUNT AT 42" AFF, TYP. UNLESS OTHERWISE NOTED
	KEYPAD TYPE SWITCH
	THREE WAY SWITCH
	OVERRIDE CONTROL SWITCH, PROVIDE LABEL INDICATING "OVERRIDE LIGHTED CONTROL"
	DIMMER SYSTEM LIGHT CONTROL
	DIMMER SYSTEM LIGHT CONTROL - 3 WAY
	ADA DOOR PUSHPAD
	PUSHBUTTON
	BELL

RECEPTACLE SUBSCRIPT LEGEND	
	C = ABOVE COUNTER
	# = SPECIAL MOUNTING HEIGHT
	D = DEDICATED CIRCUIT
	G = GROUND FAULT CIRCUIT INTERRUPTER
	IG = ISOLATED GROUND
	WP = WEATHERPROOF
	# = SUBSCRIPT(S) INDICATES SWITCH CONTROL
	S = NUMBER INDICATES CIRCUIT NUMBER
	T = TAMPER RESISTANT TYPE OUTLET

MITHUN CONSULTING ENGINEERS, 2351 POWELL STREET, SAN FRANCISCO, CA 94133-3449, TEL: 415.655.4000, FAX: 415.655.4001, WWW.MITHUN.COM
 GUTTMAN & BLAVOET CONSULTING ENGINEERS, 2351 POWELL STREET, SAN FRANCISCO, CA 94133-3449, TEL: 415.655.4000, FAX: 415.655.4001, WWW.GBL-ENGINEERS.COM
 PROJECT NUMBER: SA / AK
 DATE: 02/25/2022
 E0.01
 GFA RESUBMISSION 2
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DATE: 05/25/2022

02.18.2022	PLANNING SUBMITTAL
02.19.2022	10% SCHEMATIC DESIGN
03.10.2022	GPA SUBMITTAL
03.19.2022	50% DESIGN DEVELOPMENT
04.08.2022	GPA RESUBMISSION 1
05.05.2022	100% DESIGN DEVELOPMENT
05.15.2022	GPA RESUBMISSION 2

DATE: 05/25/2022

05.15.2022	GPA RESUBMISSION 1
------------	--------------------

PROJECT NUMBER:
AP
PROJECT NUMBER:
KB / SA
PROJECT NUMBER:
SA / AK
PROJECT NUMBER:
DATE:

PODIUM LEVEL FLOOR PLAN - LIGHTING

PROJECT NUMBER:
1927400
DATE:
05/25/2022

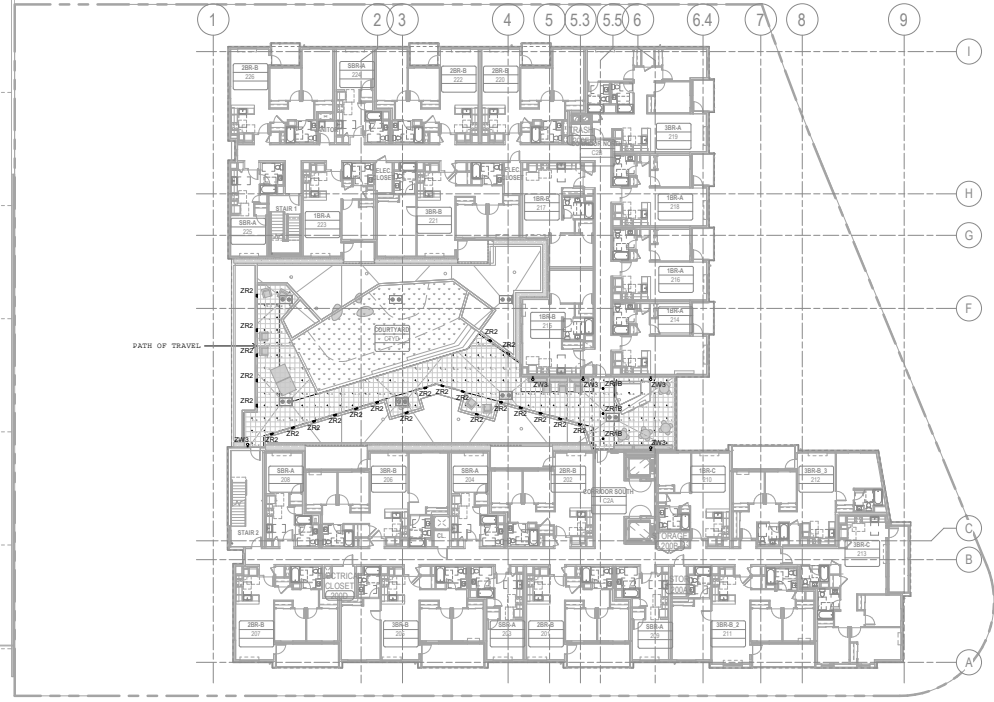
E1.02
GPA RESUBMISSION 2
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Calculation Summary

Code	Section	Area	Volume	Weight	Volume	Weight
Podium Walkway	1	17.84	130.8	21.1	139.40	139.40
Podium Staircase	2	1.14	10.8	1.8	11.67	11.67

CONCRETE SCHEDULE

Code	Section	Area	Volume	Weight	Volume	Weight
1	1	17.84	130.8	21.1	139.40	139.40
2	2	1.14	10.8	1.8	11.67	11.67



1 **PODIUM LEVEL FLOOR PLAN - LIGHTING**
1/8" = 1'-0"

SHEET NOTES:
1. *****

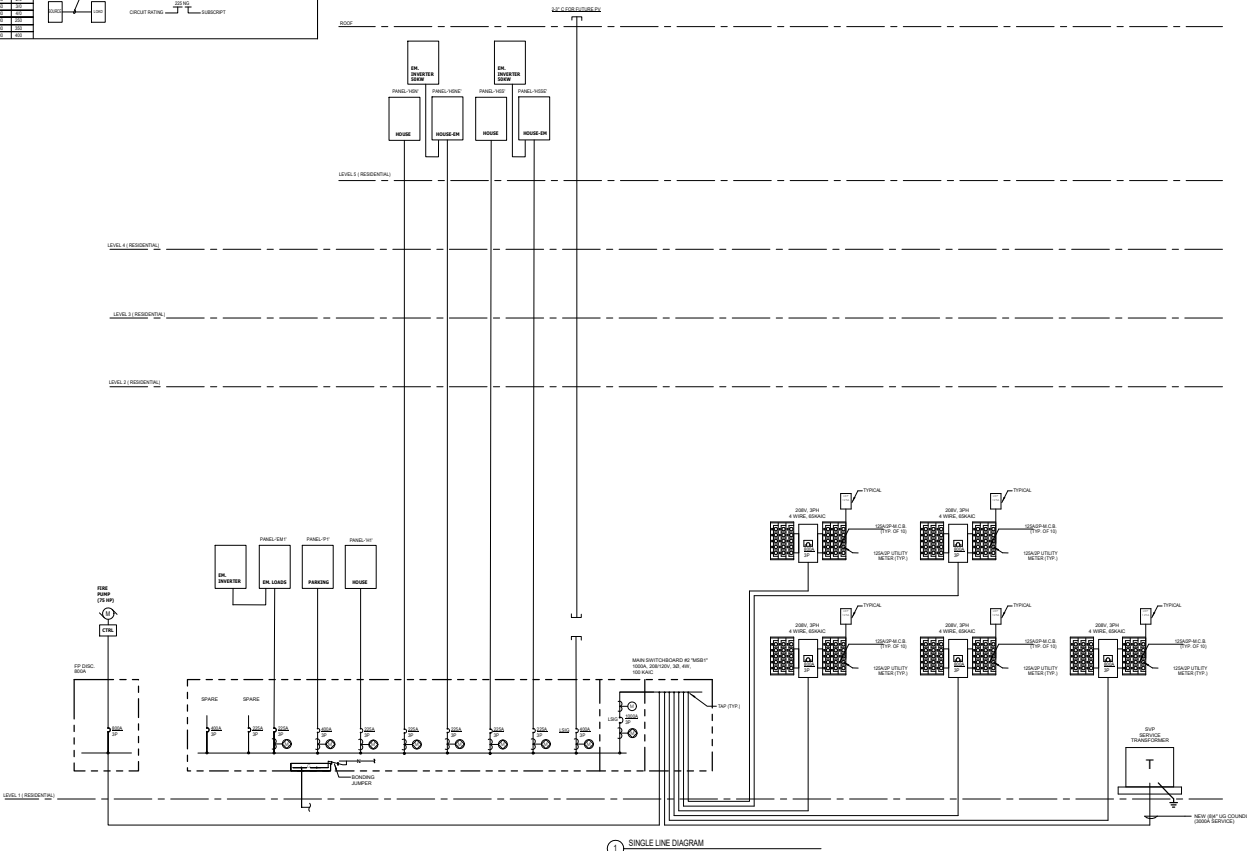
GENERAL NOTES:
1. *****



PROJECT NORTH

MITHUN, INC. 1927400 05/25/2022 E1.02
 CIVIC CENTER FAMILY HOUSING - LIGHTING - PODIUM LEVEL FLOOR PLAN
 PROJECT NUMBER: 1927400
 DATE: 05/25/2022
 SHEET: E1.02
 DRAWN BY: JAC
 CHECKED BY: JAC
 APPROVED BY: JAC
 MITHUN, INC. 1927400 05/25/2022 E1.02

WIRING SCHEDULE - COPPER CONDUCTORS										SUBSCRIPT KEY	
TAG	CIRCUIT	CONDUIT SIZE INCHES								CONDUCTORS PER CONDUIT	
		1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"	3"	4"
100	100	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
101	101	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
102	102	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
103	103	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
104	104	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
105	105	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
106	106	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
107	107	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
108	108	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
109	109	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
110	110	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
111	111	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
112	112	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
113	113	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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117	117	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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119	119	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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121	121	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
122	122	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
123	123	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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129	129	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
130	130	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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142	142	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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144	144	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
145	145	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
146	146	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
147	147	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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153	153	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
154	154	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
155	155	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
156	156	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
157	157	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
158	158	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
159	159	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
160	160	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
161	161	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
162	162	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
163	163	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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165	165	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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167	167	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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169	169	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
170	170	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
171	171	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
172	172	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
173	173	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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178	178	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
179	179	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
180	180	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
181	181	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
182	182	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
183	183	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
184	184	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
185	185	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
186	186	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
187	187	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
188	188	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
189	189	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
190	190	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
191	191	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
192	192	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
193	193	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
194	194	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
195	195	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
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197	197	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
198	198	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
199	199	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
200	200	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2



1 SINGLE LINE DIAGRAM



DATE	DESCRIPTION
12.18.2020	PLANNING SUBMITTAL
02.19.2021	SPCL SCHEMATIC DESIGN
11.19.2021	GPA SUBMITTAL
04.08.2022	GPA RESUBMISSION 1
05.18.2022	100% DESIGN DEVELOPMENT
07.15.2022	GPA RESUBMISSION 2

DATE	DESCRIPTION
01.04.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
01.04.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
01.04.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
01.04.2022	GPA RESUBMISSION 1

DATE	DESCRIPTION
01.04.2022	GPA RESUBMISSION 1

