









SITE/BLDG INFORMATION		5
<p>TWO-STORY REAR ADDITION AND REMODEL. EXISTING ONE STORY 2 BR / 1 BATH SINGLE FAMILY RESIDENCE TO BE CONVERTED TO A 5 BR / 3 1/2 BATH SINGLE FAMILY RESIDENCE. NEW ENTRY PORCH, NEW ATTACHED GARAGE, RECONFIGURE INTERIOR, NEW WINDOWS, DOORS AND MECHANICAL/PLUMBING.</p> <p>PARCEL IS WITHIN 200' OF HISTORIC PROPERTIES. SEE AD.1 FOR MAP.</p>		

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		EXISTING	PROPOSE	CHANGE	
AREAS					
TOTAL LOT AREA	(² ft)	6250	NC	NC	-
FLOOR AREA	(² ft)	1150	2967	(+1817)	-
BLDG FOOTPRINT	(² ft)	1408	2000	(+592)	-
LOT COVERAGE (FOOTPRINT / LOT AREA)	(%)	22.5%	32.0%	(+9.5%)	40.0%

NOTE: N.C. = NO CHANGE SEE 10,14,15/A0.0 FOR AREA DIAGRAM		
LAND USE & ZONING		7

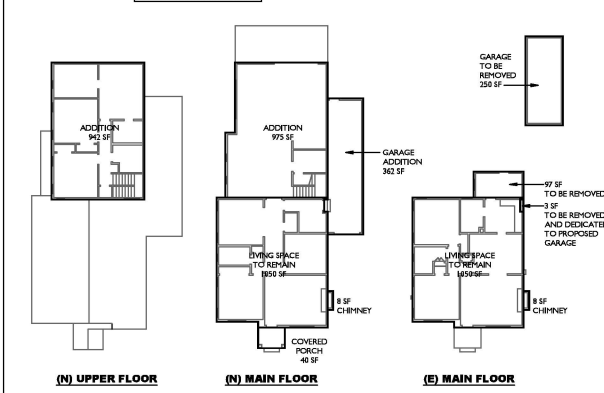
(TYPICAL, UNLESS OTHERWISE NOTED PER SHEET NOTES)		NORTH ARROW	
	ELEVATION TAG		DELTA TAG / CLOUD
	ROOM NAME TAG		WINDOW TAG
			DOOR TAG
			STEP / CHANGE IN HT TAG
			DATUM POINT REFERENCE
			ALIGN FINISH SURFACES

STAMPS AND APPROVALS		1.
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	CONTACT LIST	1
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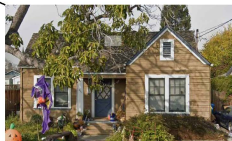
<u>PROPOSED AREA CALCULATIONS</u>		<u>EXISTING AREA CALCULATIONS</u>	
MAIN FLOOR +	2025 SF	MAIN FLOOR +	1150 SF
UPPER FLOOR +	342 SF	HOUSE -	1150 SF
TOTAL LIVING SPACE =	2367 SF	CHIMNEY -	8 SF
HOUSE -	1590 SF	GARAGE -	750 SF
COVERED PORCH -	40 SF	TOTAL FOOTPRINT =	1408 SF
CHIMNEY -	8 SF		
GARAGE -	360 SF		
TOTAL FOOTPRINT =	2008 SF		
COVERAGE = 2000 / 6250 = 32.0%		COVERAGE = 1408 / 6250 = 22.5%	



1/16" = 1'

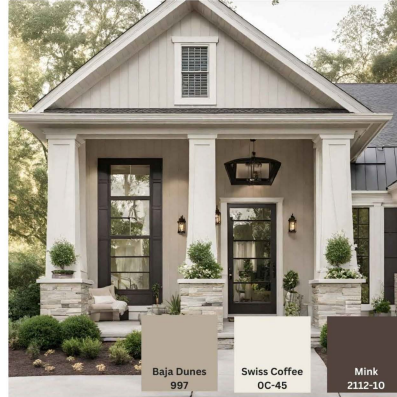
AREA DIAGRAMS

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PINK = MILLS ACT PROPERTIES
ORANGE = HISTORIC RESOURCES
YELLOW = PARCELS WITHIN 300' OF HISTORIC PROPERTIES

NEARBY HISTORIC HOUSES 3



PAINT COLORS
'BAJA DUNES' SIDING, 'SWISS COFFEE' TRIM AND PORTS, 'MINK' DOOR



PAINTED SIDING AND
PAINTED WOOD TRIM
TO MATCH EXISTING



CLAD WOOD WINDOWS WITH
SIMULATED DIVIDED LIGHTS,
COLOR: WHITE
(BILD-WIN OR EQ.)

PROPOSED COLORS AND MATERIALS 4



RENDERING 2



642 PARK COURT
STREET ELEVATION



642 PARK COURT
BACK ELEVATION



642 PARK COURT
NEIGHBOR TO LEFT



642 PARK COURT
NEIGHBOR TO RIGHT

PHOTOS OF HOUSE AND NEIGHBORS 1

SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

REVISIONS		ISSUES
NO.	DATE	DESCRIPTION
1	04.07.2025	PLANNING SUBMITTAL

PROJECT:
RESIDENTIAL
REMODEL
642 PARK COURT
SANTA CLARA, CA

ARCHITECT OF RECORD:



CONSULTANTS:

SHEET DESCRIPTION:
RENDERING
AND PHOTOS

JOB NUMBER: 2024.043

SCALE:

DATE: 01.15.2025

DRAWN BY: SPF

CHECKED BY: SRG

CAD TITLE: A00.03 - COVER SHEET.dwg

SHEET NUMBER:

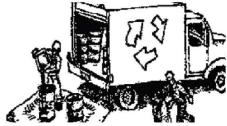
A0.1

OF XX SHEETS

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials, Waste, and Sediment Management



Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- ❑ Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

Non-Hazardous Materials and Dust Control

- ❑ Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- ❑ Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- ❑ Use captured water from other activities (e.g., testing fire lines) for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

Waste Management

- ❑ Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site – clean with dry methods, clean offsite or replace dumpster.
- ❑ Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- ❑ Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Equipment Management & Spill Control



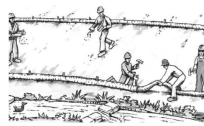
Vehicle and Equipment Maintenance

- ❑ Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ❑ Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- ❑ Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- ❑ Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.
- ❑ Ensure all subcontractors working onsite are implementing appropriate BMPs.

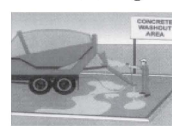
Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board and the local agency: 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
- ❑ Store materials onsite, not in the street.

Concrete Management & Dewatering



Concrete Management

- ❑ Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- ❑ Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- ❑ Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- ❑ Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- ❑ Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- ❑ Divert water originating from offsite away from all onsite disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- ❑ For additional information, refer to the CASQA's Construction Stormwater BMP Handbook, Fact Sheet NS-2 "Dewatering Operations."

Paving/Asphalt Work



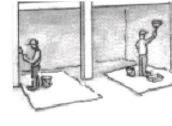
Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ When construction is complete, remove all covers from storm drain inlets and manholes.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ When making saw cuts, use as little water as possible.
- ❑ Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
- ❑ Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.
- ❑ If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.
- ❑ For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.
- ❑ For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead-based paint removal requires a state-certified contractor.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



**Santa Clara Valley
Urban Runoff**

Pollution Prevention Program

February 2024

SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

REVISIONS			ISSUES
NO.	DATE	DESCRIPTION	
1	04.07.2025	PLANNING SUBMITTAL	

PROJECT:
**RESIDENTIAL
REMODEL**
642 PARK COURT
SANTA CLARA, CA

ARCHITECT OF RECORD:



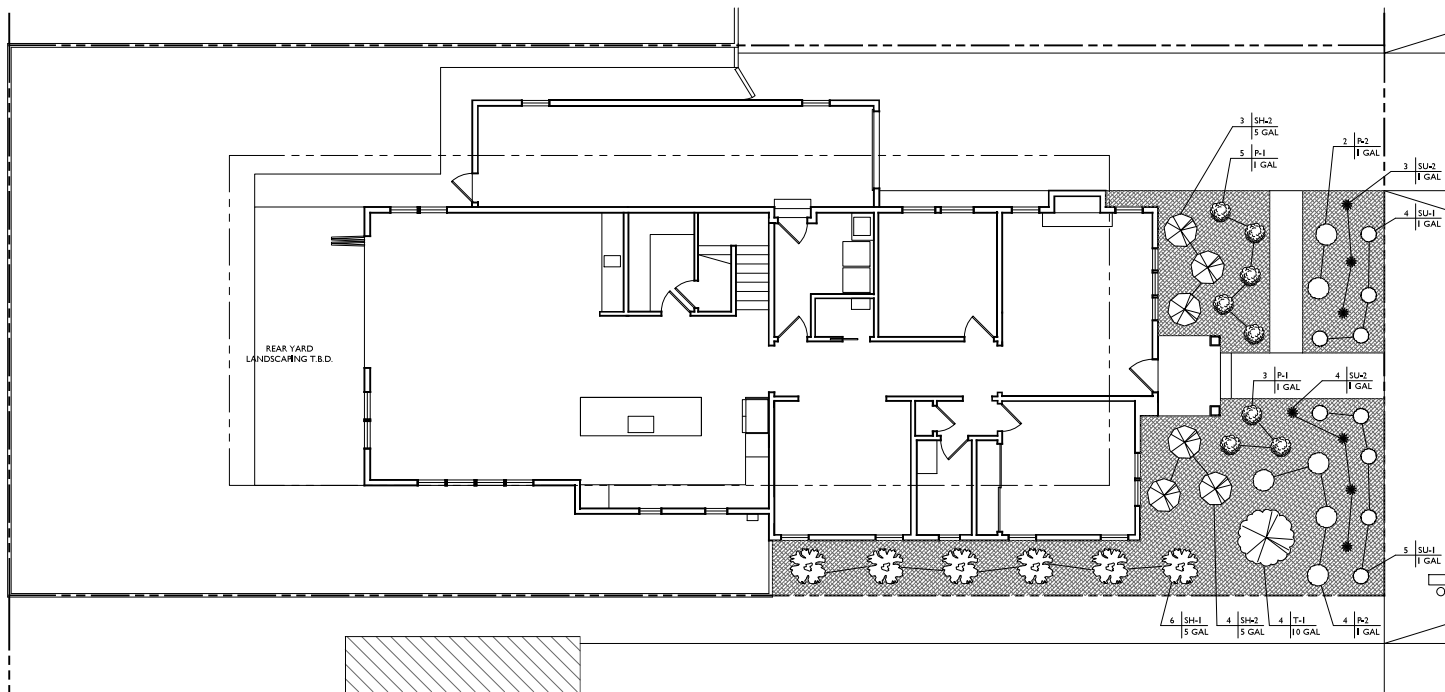
CONSULTANTS:

SHEET DESCRIPTION:
**BEST
MANAGEMENT
PRACTICES**

JOB NUMBER:	2024.043
SCALE:	
DATE:	01.15.2025
DRAWN BY:	SFF
CHECKED BY:	SRG
CAD TITLE:	A00.03 - BMP.dwg
SHEET NUMBER:	

A0.3

OF XX SHEETS



- PROTECTION**
1. PROTECT EXISTING TREES, IF APPLICABLE, FROM CONSTRUCTION ACTIVITIES. PROTECT TREE ROOTS FROM COMPACTION. DO NOT STORE MATERIALS UNDER TREES.
- GENERAL**
1. PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THE TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN.
 2. PLANTS STORED ON SITE SHALL BE WATERED DAILY.
 3. PLANT AND WATER WITHIN THIRTY MINUTES OF REMOVAL FROM FLATS OR CONTAINERS.
 4. PLANT TREES AND SHRUBS FIRST, THEN GROUND-COVER PLANTS.
 5. HAND WATER INDIVIDUAL PLANTS DEEPLY AND THOROUGHLY IMMEDIATELY AFTER PLANTING.
- MULCH**
1. AFTER PLANTING IS COMPLETE, MULCH ALL PLANTED AREAS IN A 3" LAYER OF ECO MULCH.
- SITE CLEANUP**
1. REMOVE ALL SURPLUS MATERIAL AND DEBRIS FROM THE SITE UPON COMPLETION OF THE WORK.

SYMBOL	CODE	TYPE	SCIENTIFIC NAME	COMMON NAME
	T-1	TREE	HETEROMELES ARBUTIFOLIA	TOYON
	SH-1	SHRUB	CEANOTHUS	CALIFORNIA LILAC
	SH-2	SHRUB	CELTUS 'SUNSET'	ROCK ROSE
	P-1	PERENNIAL	EPILOBELIUM CANUM	CALIFORNIA FUSCIA
	P-2	PERENNIAL	SALVIA SPATHACEA	HUMMINGBIRD SAGE
	SU-1	SUCCULENT	SENACIO MANDRALECAE	BLUE CHALK STICKS
	SU-2	SUCCULENT	ECHEVERIA ELEGANS	ECHEVERIA
		MULCH		

SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

REVISIONS:		ISSUES:
NO.	DATE	DESCRIPTION
1	04/07/2025	PLANNING SUBMITTAL

PROJECT
RESIDENTIAL REMODEL
842 PARK COURT
SANTA CLARA, CA



CONSULTANTS:

SHEET DESCRIPTION:
PROPOSED LANDSCAPE PLAN

JOB NUMBER: 2204043
SCALE: AS NOTED
DATE: 01.10.2025
DRAWN BY: SPF
CHECKED BY: SRG
CAD FILE: 00 - LANDSCAPE PLAN 3-16 SCALE.dwg
SHEET NUMBER:

L1.0
OF XX SHEETS

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PROJECT:
**RESIDENTIAL
REMODEL**
642 PARK COURT
SANTA CLARA, CA

ARCHITECT OF RECORD:



CONSULTANTS:

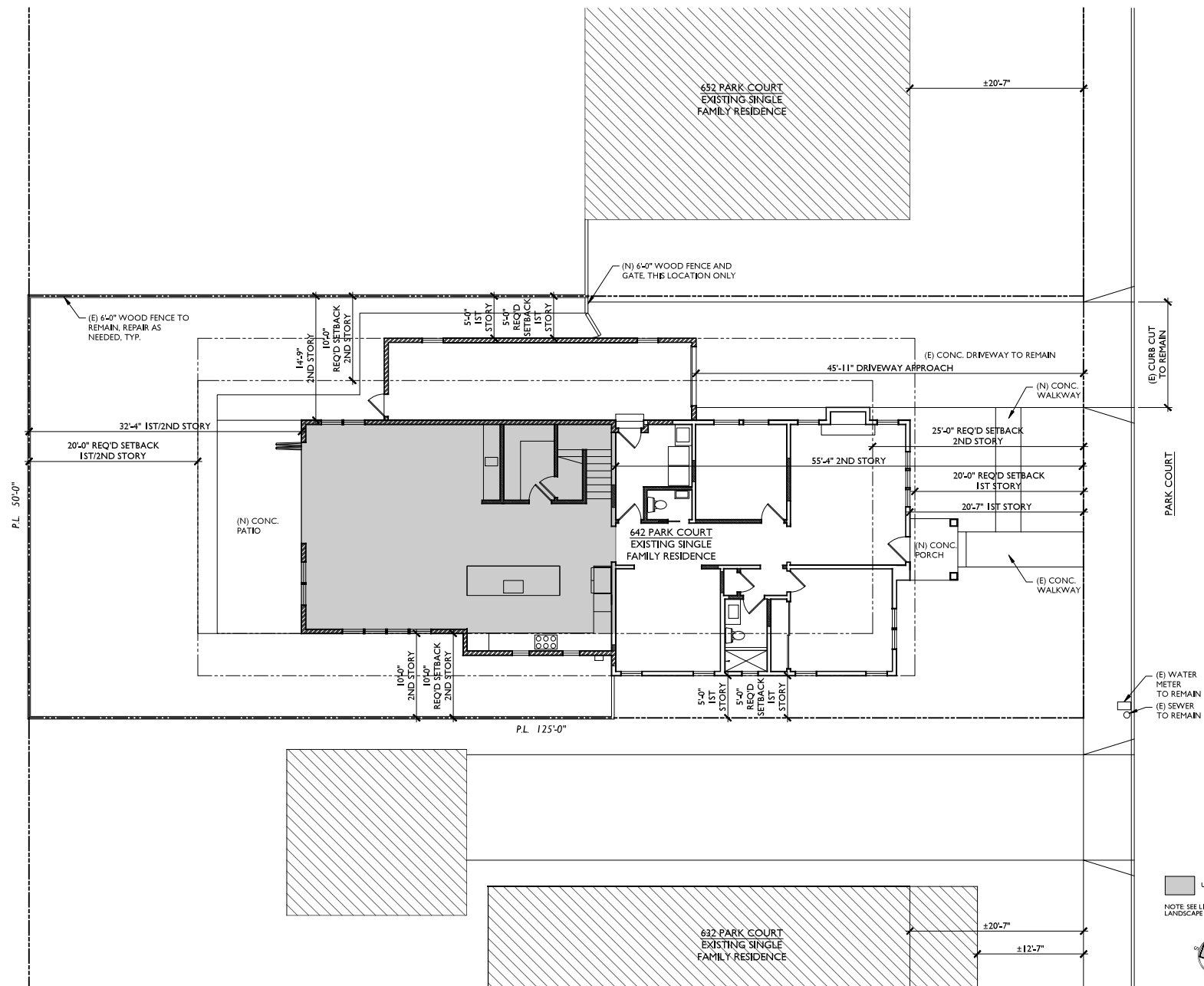
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PROPOSED SITE PLAN

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SCALE:	AS NOTED
DATE:	01.10.2025
DRAWN BY:	SPF
CHECKED BY:	SRG
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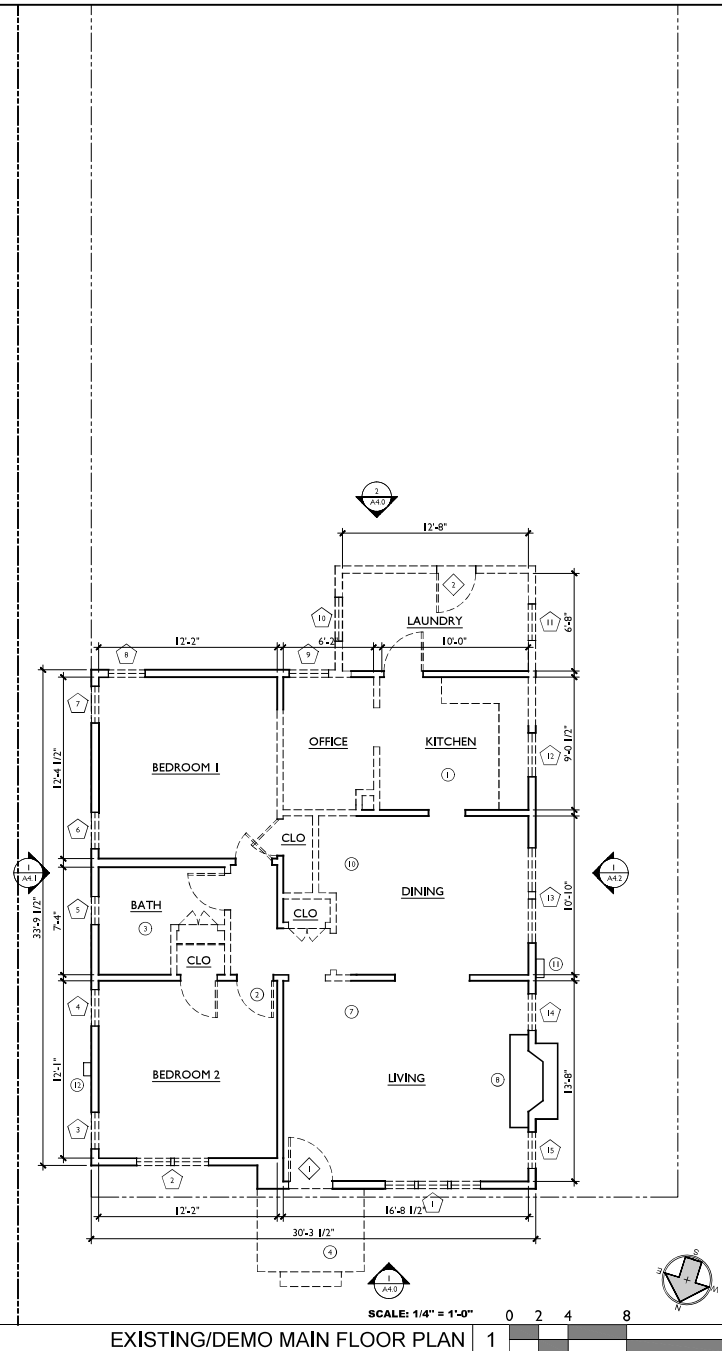
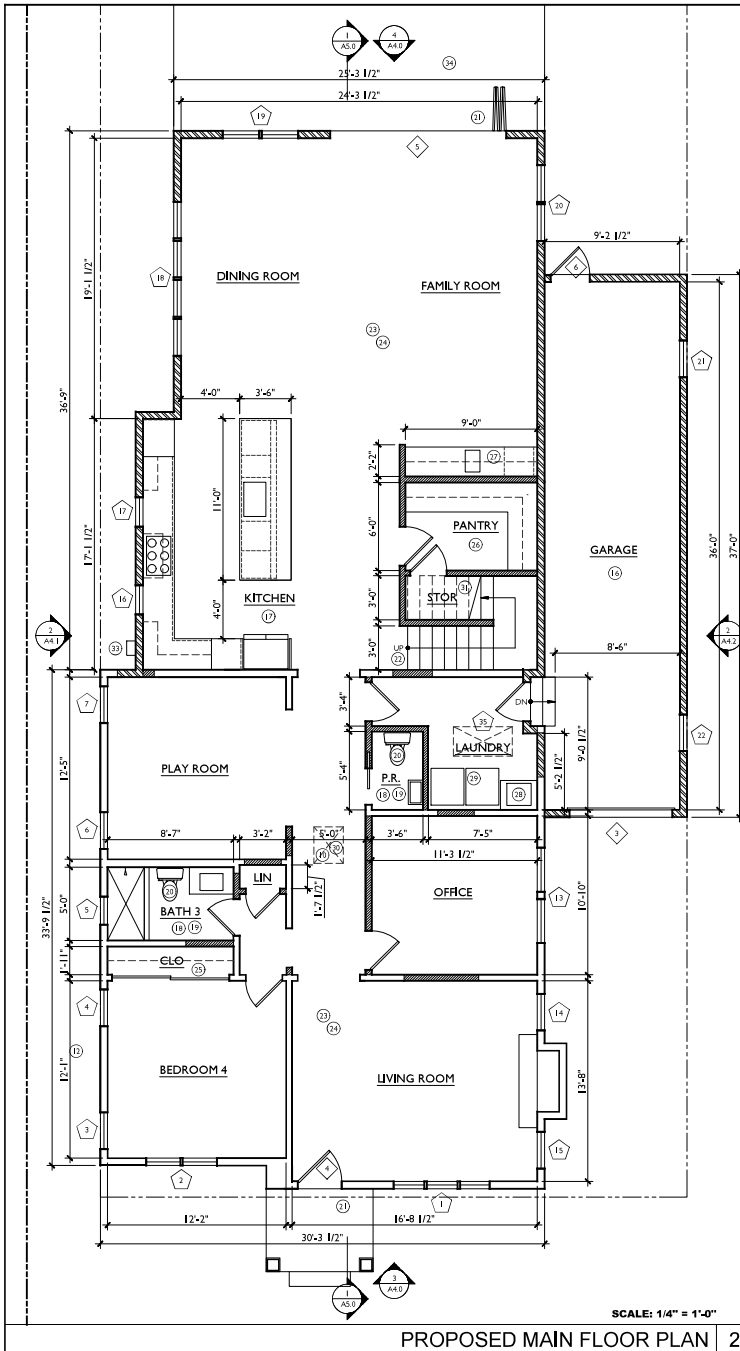
A1.1

OF XX SHEETS



SCALE: 3/16" = 1'-0"

PROPOSED SITE PLAN	1
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- (1) KITCHEN CABINETS, COUNTERTOPS, FINISHES, APPLIANCE AND FIXTURES TO BE REMOVED.
- (2) (E) INT DRS TO BE REMOVED, TYP.
- (3) (E) BATHROOM VANITY, FINISHES AND FIXTURES TO BE REMOVED.
- (4) (E) CONCRETE PORCH SLAB TO BE REPLACED IN KIND.
- (5) (E) ROOF TO BE REMOVED THIS AREA.
- (6) (E) ROOFING MATERIAL TO BE REMOVED, TYP.
- (7) (E) INTERIOR FINISHES TO BE REMOVED, TYP.
- (8) (E) CHIMNEY AND FIREPLACE TO BE RESTORED.
- (9) (E) WATER HEATER TO BE REMOVED.
- (10) (E) FAU IN CRAWLSPACE TO BE REPLACED, TO SERVE EXISTING HOUSE.
- (11) (E) GAS METER TO BE REMAIN, AUTOMATIC SHUTOFF AS REQ'D.
- (12) (E) ELECTRICAL METER TO REMAIN, UPGRADE TO 200 AMP.
- (13) (E) EXTERIOR FINISHES TO BE REPAIRED/REPLACED AND PAINTED.
- (14) NOT USED.
- (15) NOT USED.
- (16) (N) I-HR WALLS & 10'-0" DOOR RATED @ GARAGE.
- (17) (N) KITCHEN (N) (N) CABINETS, COUNTERTOPS, SINK, 30" DEEP, 36" GAS COOKTOP, 30" DEEP, WALL OVENS, 24" DBWASHER AND FIXTURES.
- (18) (N) TILE FLOORING.
- (19) (N) BATHROOM CABINETS, COUNTERTOPS, FIXTURES, & BATHTUB OR SHOWER W/ TILE SURROUND, SEE 910/AB & BATHROOM ON 400.1 FOR ADDITIONAL REQUIREMENTS.
- (20) PROVIDE CLEARANCES OF 15" ON EA. SIDE OF TOILET AND 24" IN FRONT OF TOILET AND VANITY.
- (21) 30" DEEP LANDING AT ALL EXT. DRG TYP.
- (22) (N) STAIR TREADS/RISSERS TO MATCH FLOORING, TYP. SEE 310/AB FOR STAIR REQUIREMENTS.
- (23) (N) INTERIOR WD BASEBOARD & TRIM, TYP.
- (24) (N) ENGINEERED WD FLOORING, TYP U.O.N.
- (25) (N) POLE AND/OR ADJUSTABLE SHELVING.
- (26) (N) CABINETS AND COUNTERTOPS.
- (27) (N) CABINETS W/ WHITE FRIDGE AND SINK.
- (28) (N) LAUNDRY SINK.
- (29) (N) WASHER/GAS DRYER LOCATION, VENT DRYER TO EXTERIOR, LOUVERED DOORS AS REQ'D.
- (30) (N) 24X36 ATTIC ACCESS.
- (31) ENCLOSURE UNDER STAIRS TO BE I-HR RATED.
- (32) (N) FAU IN (N) ATTIC, TO SERVE ADDITION.
- (33) (N) INSTANTANEOUS GAS WATER HEATER.
- (34) (N) CONC. PORCH/PATIO SLAB.
- (35) (N) LOW PROFILE VENTS.
- (36) (N) ROOF THIS AREA.
- (37) (N) GUTTERS/DOWNSPOUTS TIED INTO (N) PERIMETER DRAIN.
- (38) (N) CLASS A ASPHALT ROOFING MATERIAL OVER 2 LAYERS 15# BLDG PAPER.
- (39) (N) EXTERIOR WINDOW AND DOOR TRIM TO MATCH (E).
- (40) (N) TRIM PAINTED.
- (41) (N) HOUSE NUMBERS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY, SEE A0.1 FOR REQ'TS.
- (42) (N) BEING TO MATCH (E), OVER 3 LAYERS 15# BLDG PAPER.
- (43) (N) POSTS, PAINTED TO MATCH TRIM.
- (44) (N) TRIM, PAINTED TO MATCH TRIM.

KEY NOTES

1. DIMENSIONS ARE TO FINISH U.O.N.
 2. SEE A0.1 FOR GENERAL NOTES.
- (E) DOOR TAG, SEE 3/A2.2
 (W) WINDOW TAG, SEE 3/A2.2
 NEW SQUARE FOOTAGE SHOWN SHADED

SHEET NOTES

SYMBOL	WALL HEIGHT	LOCATIONS / DESCRIPTION	DETAIL
(E)	(E)	WALL	
(N)	(N)	EXTERIOR WALL	
(N)	(N)	INTERIOR PARTITION WALL	
(N)	(N)	DEMO WALL	
(N)	(N)	2X4 I-HOUR RATED WALL	

WALL LEGEND

SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

NO.	DATE	DESCRIPTION
0	04/07/2025	PLANNING SUBMITTAL

PROJECT
**RESIDENTIAL
REMODEL**
842 PARK COURT
SANTA CLARA, CA

ARCHITECT OF RECORD:



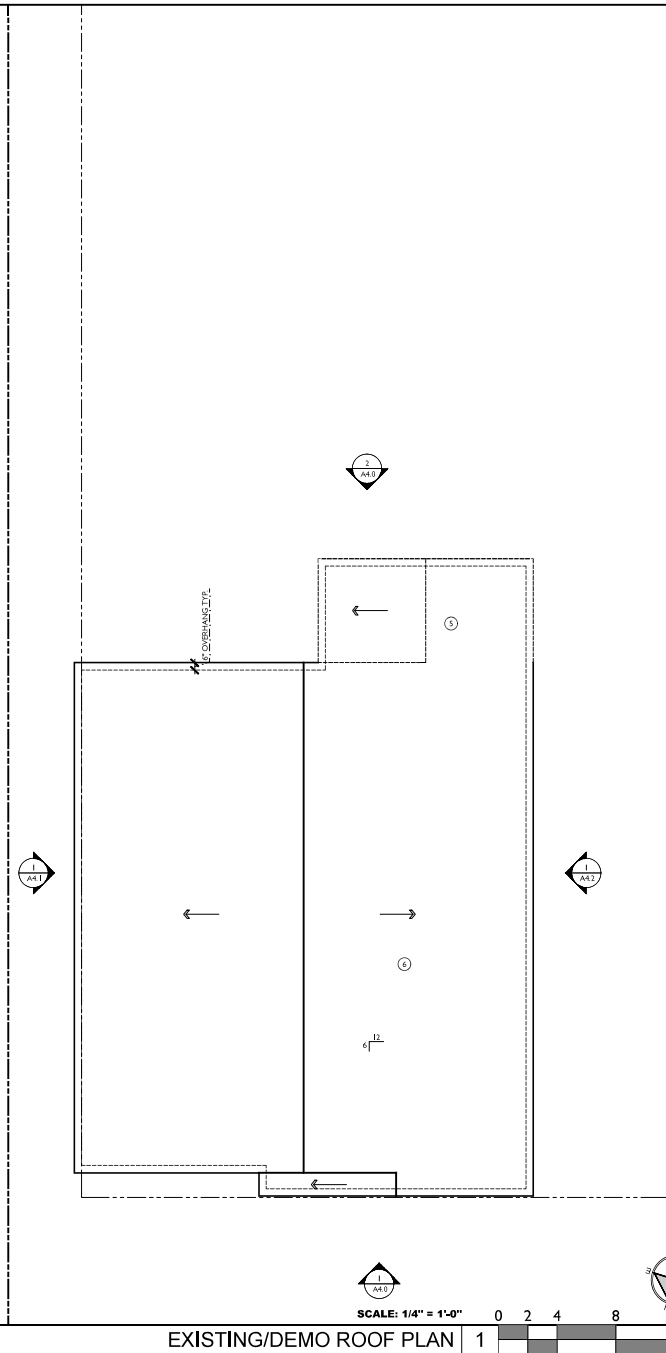
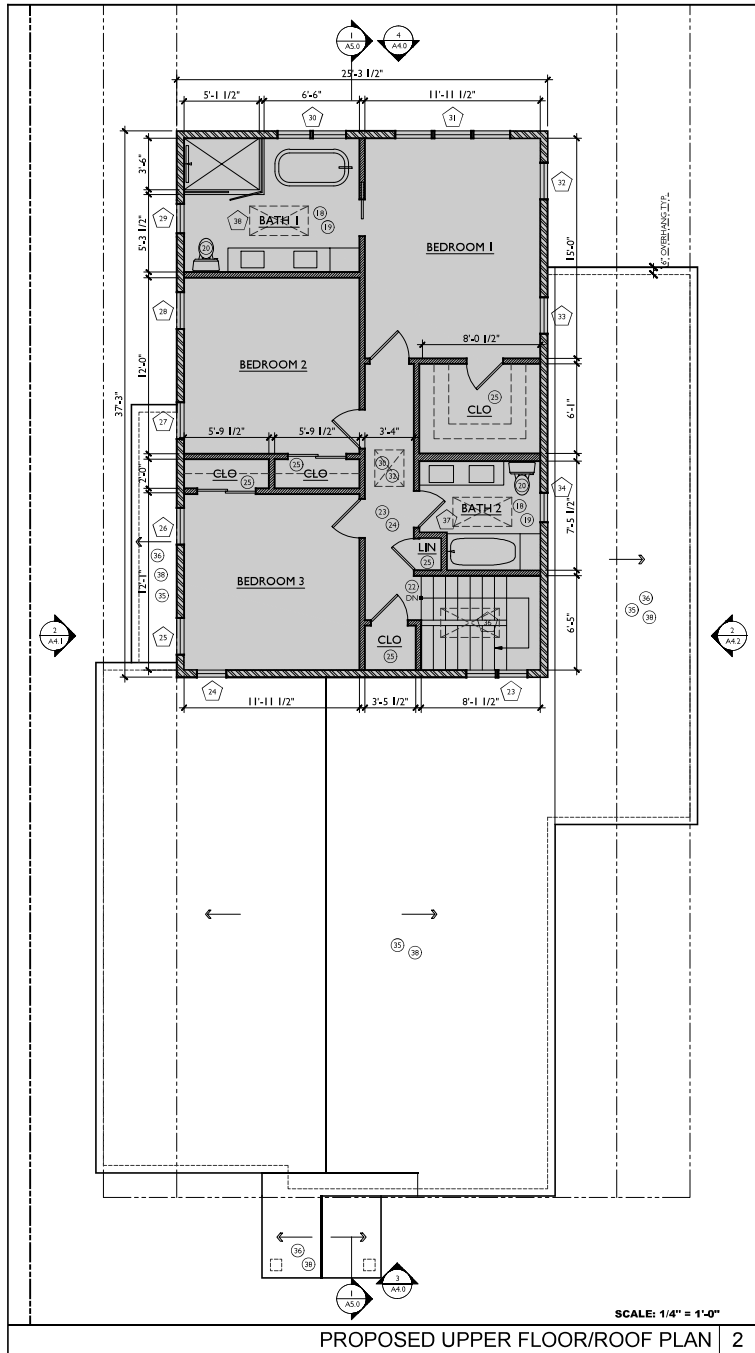
CONSULTANTS:

SHEET DESCRIPTION:
**EXISTING/DEMO
AND PROPOSED
MAIN FLOOR
PLANS**

JOB NUMBER:	2504043
SCALE:	AS NOTED
DATE:	04.10.2025
DRAWN BY:	SPF
CHECKED BY:	SRG
CAD TITLE:	A02.00 - FLR PLAN 1-4 SCALE.dwg
SHEET NUMBER:	

A2.0

OF XX SHEETS



- (1) KITCHEN CABINETS, COUNTERTOPS, FINISHES, APPLIANCE AND FIXTURES TO BE REMOVED.
- (2) BATH 1 TO BE REMOVED, TYP.
- (3) BATHROOM VANITY, FINISHES AND FIXTURES TO BE REMOVED.
- (4) CONCRETE PORCH SLAB TO BE REPLACED IN KIND.
- (5) ROOF TO BE REMOVED THIS AREA.
- (6) ROOFING MATERIAL TO BE REMOVED, TYP.
- (7) INTERIOR FINISHES TO BE REMOVED, TYP.
- (8) CHIMNEY AND FIREPLACE TO BE RESTORED.
- (9) WATER HEATER TO BE REMOVED.
- (10) FAU IN CRAWLSPACE TO BE REPLACED, TO SERVE EXISTING HOUSE.
- (11) GAS METER TO REMAIN, AUTOMATIC SHUTOFF AS REQ'D.
- (12) ELECTRICAL METER TO REMAIN, UPGRADE TO 200 AMPS.
- (13) EXTERIOR FINISHES TO BE REPAIRED/REPLACED AND PAINTED.
- (14) NOT USED.
- (15) NOT USED.
- (16) 1-HR WALLS & 30-MIN DOOR RATED @ GARAGE.
- (17) KITCHEN (N) (N) CABINETS, COUNTERTOP, SINK, 30" DEEP GAS COOKTOP, 30" DBL. WALL OVENS, 24" DBH WASH. AND FIXTURES.
- (18) TILE FLOORING.
- (19) BATHROOM CABINETS, COUNTERTOPS, FIXTURES, & BATHTUB OR SHOWER W/ TILE SUBFLOOR, SEE 9.10/AB.8 AND BATHROOMS ON 404.1 FOR ADDITIONAL REQUIREMENTS.
- (20) PROVIDE CLEARANCES OF 15" ON EA. SIDE OF TOILET AND 24" IN FRONT OF TOILET AND VANITY.
- (21) 30" POST LANDING AT ALL EXT. DRG. TYP.
- (22) STAIR TREADS/RIERS TO MATCH FLOORING, TYP. SEE 9.10/AB.8 FOR STAIR REQUIREMENTS.
- (23) INTERIOR WD BASEBOARD & TRIM, TYP.
- (24) ENGINEERED WD FLOORING, TYP. U.O.N.
- (25) POLE AND/OR ADJUSTABLE SHELVING.
- (26) CABINETS AND COUNTERTOPS.
- (27) CABINETS W/ WINE FRIDGE AND SINK.
- (28) LAUNDRY SINK.
- (29) WASHER/GAS DRYER LOCATION, VENT DRYER TO EXTERIOR, LOUVERED DOORS AS REQ'D.
- (30) 24X36 ATTIC ACCESS.
- (31) ENCLOSURE UNDER STAIRS TO BE 1-HR RATED.
- (32) FAU IN (N) ATTIC TO SERVE ADDITION.
- (33) INSTANTANEOUS GAS WATER HEATER.
- (34) CONC. PORCH/PATIO SLAB.
- (35) LOW PROFILE VENTS.
- (36) ROOF THIS AREA.
- (37) GUTTER/DOWNSPOUTS TIED INTO (N) PER-METER DRAIN.
- (38) CLASS A ASPHALT ROOFING MATERIAL OVER 2 LAYERS 15# BLDG PAPER.
- (39) EXTERIOR WINDOW AND DOOR TRIM TO MATCH (E).
- (40) TRIM, PAINTED.
- (41) HOUSE NUMBERS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY, SEE A0.1 FOR REQ'TS.
- (42) TRIM TO MATCH (E), OVER 3 LAYERS 15# BLDG PAPER.
- (43) POSTS, PAINTED TO MATCH TRIM.
- (44) TRIM, PAINTED TO MATCH TRIM.

KEY NOTES

1. DIMENSIONS ARE TO FINISH U.O.N. SEE A0.1 FOR GENERAL NOTES.
2. DOOR TAG, SEE 3/A2.2.
3. WINDOW TAG, SEE 3/A2.2.
4. NEW SQUARE FOOTAGE SHOWN SHADDED.

SHEET NOTES

SYMBOL	WALL HEIGHT	LOCATIONS / DESCRIPTION	DETAIL
(E)	(E)	WALL	
SEE ELEVATIONS	(N)	EXTERIOR WALL	
FULL	(N)	INTERIOR PARTITION WALL	
SEE PLAN	(N)	DEMO WALL	
*****	(N)	2X4 1-HOUR RATED WALL	

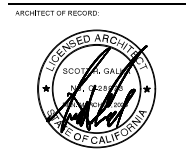
WALL LEGEND

SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

NO.	DATE	DESCRIPTION
1	04/07/2025	PLANNING SUBMITTAL

PROJECT
**RESIDENTIAL
REMODEL**
842 PARK COURT
SANTA CLARA, CA



CONSULTANTS:

SHEET DESCRIPTION:
**EXISTING/DEMO
AND PROPOSED
UPPER FLOOR
AND ROOF PLANS**

JOB NUMBER: 2204043
SCALE: AS NOTED
DATE: 01.10.2025
DRAWN BY: SPF
CHECKED BY: SRG
CAD TITLE: A02.00 - FLR PLAN 1-4 SCALE.dwg
SHEET NUMBER:

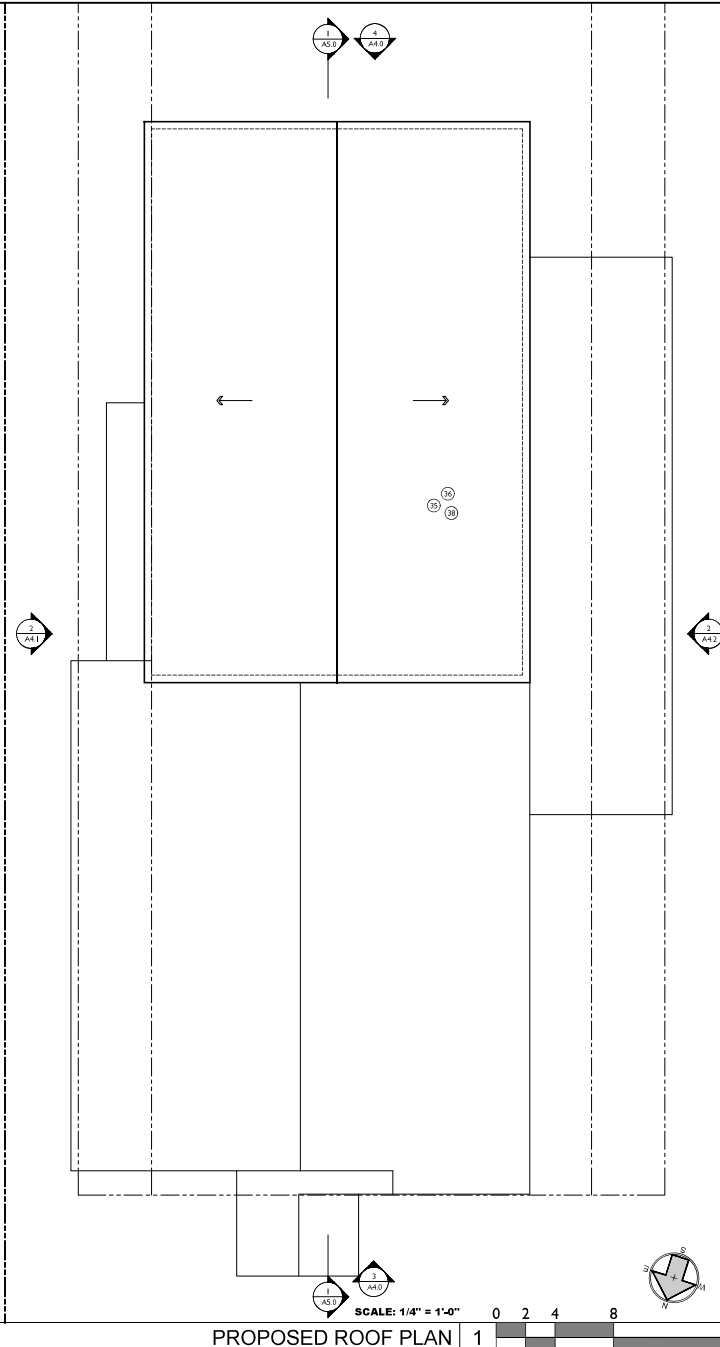
A2.1

OF XX SHEETS

	(E) LOCATION	(N) LOCATION	(E) WINDOW TYPE	(N) WINDOW TYPE	(E) WINDOW MATERIAL	(N) WINDOW MATERIAL	(E) SIZE (W x H)	(N) SIZE (W x H)	MULTIPLE GLAZES	TEMPER	EGRESS	NOTES						
1	LIVING	LIVING	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
	LIVING	LIVING	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
	LIVING	LIVING	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
2	BEDROOM 2	BEDROOM 4	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
	BEDROOM 2	BEDROOM 4	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
3	BEDROOM 2	BEDROOM 4	DH	CSMT	WOOD	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
4	BEDROOM 2	BEDROOM 4	DH	CSMT	WOOD	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	YES	TO FIT IN (E) OPENING						
5	BATH	BATH 3	DH	CSMT	VINYL	VINYL	1-11'x3'-4"	1-11'x3'-4"	YES	YES	-	TO FIT IN (E) OPENING						
6	BEDROOM 1	PLAYROOM	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
7	BEDROOM 1	PLAYROOM	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
8	BEDROOM 1	-	DH	-	VINYL	-	2-4'x6'-4"	-	-	-	-	-						
9	OFFICE	-	DH	-	VINYL	-	2-4'x3'-4"	-	-	-	-	-						
10	LAUNDRY	-	DH	-	VINYL	-	2-4'x3'-4"	-	-	-	-	-						
11	LAUNDRY	-	DH	-	VINYL	-	2-4'x3'-4"	-	-	-	-	-						
12	KITCHEN	-	DH	-	WOOD	-	2-4'x3'-4"	-	-	-	-	-						
13	DINING	OFFICE	DH	CSMT	WOOD	CLAD WOOD	3-4'x4'-5"	3-4'x4'-5"	YES	-	-	TO FIT IN (E) OPENING						
	DINING	OFFICE	DH	CSMT	WOOD	CLAD WOOD	3-4'x4'-5"	3-4'x4'-5"	YES	-	YES	TO FIT IN (E) OPENING						
14	LIVING	LIVING	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
15	LIVING	LIVING	DH	CSMT	VINYL	CLAD WOOD	2-4'x6'-4"	2-4'x6'-4"	YES	-	-	TO FIT IN (E) OPENING						
16	-	KITCHEN	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	8'-4" HEAD HT						
17	-	KITCHEN	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	8'-4" HEAD HT						
18	-	DINING	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	8'-4" HEAD HT						
-	DINING	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-	8'-4" HEAD HT						
-	DINING	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-	8'-4" HEAD HT						
-	DINING	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-	8'-4" HEAD HT						
19	-	DINING	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	8'-4" HEAD HT						
-	DINING	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-	8'-4" HEAD HT						
20	-	LIVING ROOM	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	8'-4" HEAD HT						
-	LIVING ROOM	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-	8'-4" HEAD HT						
21	-	GARAGE	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-						
22	-	GARAGE	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-						
23	-	STAIR	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-						
-	STAIR	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-	-						
24	-	BEDROOM 3	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	-	-	-						
25	-	BEDROOM 3	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-						
26	-	BEDROOM 3	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	YES	-						
27	-	BEDROOM 2	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-						
28	-	BEDROOM 2	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	YES	-						
29	-	BATH 1	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	YES	-	-						
30	-	BATH 1	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	YES	-	-						
-	BATH 1	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	YES	-	-	-						
31	-	BEDROOM 1	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-						
-	BEDROOM 1	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-	-						
-	BEDROOM 1	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-	-						
32	-	BEDROOM 1	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	-	-						
33	-	BEDROOM 1	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	-	YES	-						
34	-	BATH 2	-	CSMT	-	CLAD WOOD	-	2-4'x3'-4"	YES	YES	-	-						
35	-	LAUNDRY	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	YES	-	-						
36	-	STAIR	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	YES	-	-						
37	-	BATH 2	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	YES	-	-						
38	-	BATH 1	-	CSMT	-	CLAD WOOD	-	2-4'x6'-4"	YES	YES	-	-						
WINDOW SCHEDULE NOTES 1. ALL NEW WINDOWS TO BE DOUBLE FRAME CLAD WOOD. 2. CONFIRM ROUGH OPENING DIMENSIONS WITH WINDOW MFR. 3. WINDOWS INSTALLED AND FINISHED IN ACCORDANCE WITH MFR INSTRUCTIONS. 4. WINDOWS TO BE DESIGNED TO RESIST WIND LOADS. 5. ANCHOR GLASS ASSEMBLIES IN ACCORDANCE TO MFR INSTRUCTIONS FOR DESIGN PRESSURE. 6. THIRD PARTY PERFORMANCE TESTING AND LABELING REQUIRED. 7. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING. 8. SEE PLANS AND ELEVATIONS FOR LOCATION OF EGRESS WINDOWS. 9. SEE A-1 FOR EGRESS AND GLAZING REQUIREMENTS. 10. HEAD HEIGHT = 7'-0" U.O.N. IN SCHEDULE. 11. TYP. SKYLIGHT TO BE VELUX FCH 2246 OR EQ. WATERPROOFED. 12. SEE L331A-1 FOR WINDOW DETAILS.																		
WINDOW SCHEDULE 3																		
	LOCATION	FIN. SIZE (W x H)	OPERATION	GLAZING	HARDWARE	NOTES												
1	ENTRY	2-4'x6'-4"	SWING	YES	-	(E) TO BE REMOVED												
2	LAUNDRY	2-4'x6'-4"	SWING	YES	-	(E) TO BE REMOVED												
3	GARAGE	8'-4'x3'-4"	SECTIONAL	YES	-													
4	ENTRY	2-4'x6'-4"	SWING	YES	-	TO FIT IN (E) OPENING												
5	FAMILY	12'-4'x8'-4"	SLIDER	YES	-													
6	GARAGE	2-4'x6'-4"	SWING	YES	-													
DOOR SCHEDULE NOTES 1. ALL DOORS TO BE 1-3/4" THICK, U.O.N. AND ALL GLAZING TO BE TEMPERED. 2. SEE PLAN FOR SWING DIRECTION. 3. DIMENSIONS ARE FINISH DIMENSIONS. ALL ROUGH OPENINGS SHALL BE VERIFIED. 4. CONTRACTOR SHALL SUBMIT SHOP DWGS FOR ARCHITECT APPROVAL PRIOR TO FABRICATION. 5. SEE A-1 FOR OTHER REQUIREMENTS. 6. INTERIOR DOORS TO HAVE SINGLE KICK PANEL.																		
DOOR SCHEDULE 2																		

WINDOW SCHEDULE 3																		
	LOCATION	FIN. SIZE (W x H)	OPERATION	GLAZING	HARDWARE	NOTES												
1	ENTRY	2-4'x6'-4"	SWING	YES	-	(E) TO BE REMOVED												
2	LAUNDRY	2-4'x6'-4"	SWING	YES	-	(E) TO BE REMOVED												
3	GARAGE	8'-4'x3'-4"	SECTIONAL	YES	-													
4	ENTRY	2-4'x6'-4"	SWING	YES	-	TO FIT IN (E) OPENING												
5	FAMILY	12'-4'x8'-4"	SLIDER	YES	-													
6	GARAGE	2-4'x6'-4"	SWING	YES	-													
DOOR SCHEDULE NOTES 1. ALL DOORS TO BE 1-3/4" THICK, U.O.N. AND ALL GLAZING TO BE TEMPERED. 2. SEE PLAN FOR SWING DIRECTION. 3. DIMENSIONS ARE FINISH DIMENSIONS. ALL ROUGH OPENINGS SHALL BE VERIFIED. 4. CONTRACTOR SHALL SUBMIT SHOP DWGS FOR ARCHITECT APPROVAL PRIOR TO FABRICATION. 5. SEE A-1 FOR OTHER REQUIREMENTS. 6. INTERIOR DOORS TO HAVE SINGLE KICK PANEL.																		
DOOR SCHEDULE 2																		

DOOR SCHEDULE 2												
------------------------	--	--	--	--	--	--	--	--	--	--	--	--



1. KITCHEN CABINETS, COUNTERTOPS, FINISHES, APPLIANCE AND FIXTURES TO BE REMOVED.

2. (E) INT ORS TO BE REMOVED. TYP.

3. (E) BATHROOM VANITY, FINISHES AND FIXTURES TO BE REMOVED.

4. (E) CONCRETE PORCH SLAB TO BE REPLACED IN KIND.

5. (E) ROOF TO BE REMOVED THIS AREA.

6. (E) ROOFING MATERIAL TO BE REMOVED. TYP.

7. (E) INTERIOR FINISHES TO BE REMOVED. TYP.

8. (E) CHIMNEY AND FIREPLACE TO BE RESTORED.

9. (E) WATER HEATER TO BE REMOVED.

10. (E) FAU IN CRAWLSPACE TO BE REPLACED. TO SERVE EXISTING HOUSE.

11. (E) GAS METER TO BE REMAIN. AUTOMATIC SHUTOFF AS REQD.

12. NOT USED.

13. NOT USED.

14. (N) 1-1/4" WALLS & 16-1/2" DOOR RATED @ GARAGE.

15. (N) KITCHEN (N) (N) CABINETS, COUNTERTOPS, SINK, 30" DEEP GAS COOKTOP, 30" DBL. WALL OVENS, 24" DISHWASHER AND FIXTURES.

16. (N) TILE FLOORING.

17. (N) BATHROOM CABINETS, COUNTERTOPS, FIXTURES & BATHTUB OR SHOWER W/ TILE SURROUND. SEE 9.10A.8 AND BATHROOMS ON 440.1 FOR ADDITIONAL REQUIREMENTS.

18. PROVIDE CLEARANCES OF 15" ON EA. SIDE OF TOILET AND 24" IN FRONT OF TOILET AND VANITY.

19. 30"x30" LANDING AT ALL EXT. DR. TYP.

20. (N) STAIR TREADS/RIERS TO MATCH FLOORING. TYP. SEE 31A.1.1 FOR STAIR REQUIREMENTS.

21. (N) INTERIOR WD BASEBOARD & TRIM. TYP.

22. (N) ENGINEERED WD FLOORING. TYP U.O.N.

23. (N) POLE AND/OR ADJUSTABLE SHELVING.

24. (N) CABINETS AND COUNTERTOPS.

25. (N) CABINETS W/ WHITE FRIDGE AND SINK.

26. (N) LAUNDRY SINK.

27. (N) WASHER/GAS DRYER LOCATION. VENT DRYER TO EXTERIOR. LOUVERED DOORS AS REQD.

28. (N) 24X36 ATTIC ACCESS.

29. ENCLOSURE UNDER STAIRS TO BE 1-HR. RATED.

30. (N) FAU IN (N) ATTIC. TO SERVE ADDITION.

31. (N) INSTANTANEOUS GAS WATER HEATER.

32. (N) CONC. PORCH/PATIO SLAB.

33. (N) LOW PROFILE VENTS.

34. (N) ROOF THIS AREA.

35. (N) GUTTERS/DOWNSPOUTS TIED INTO (N) PERIMETER DRAIN.

36. (N) CLASS A ASPHALT ROOFING MATERIAL OVER 2 LAYERS 15# FIBER PAPER.

37. (N) EXTERIOR WINDOW AND DOOR TRIM TO MATCH (E).

38. (N) TRIM PAINTED.

39. (N) HOUSE NUMBERS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. SEE A-1.1 FOR REQTS.

40. (N) BEING TO MATCH (E). OVER 3 LAYERS 15# BLDG PAPER.

41. (N) POSTS PAINTED TO MATCH TRIM.

42. (N) TRIM PAINTED TO MATCH TRIM.

KEY NOTES

1. DIMENSIONS ARE TO FINISH U.O.N. SEE A-1.1 FOR GENERAL NOTES.

2. WINDOW TAG. SEE 31A.2.

3. WINDOW TAG. SEE 31A.2.

4. NEW SQUARE FOOTAGE SHOWN SHADED.

SHEET NOTES

SYMBOL	WALL HEIGHT	LOCATIONS / DESCRIPTION	DETAIL
(E)	(E)	WALL	
SEE ELEVATIONS	(N)	EXTERIOR WALL	
FULL	(N)	INTERIOR PARTITION WALL	
SEE PLAN	(N)	DEMO WALL	
SEE PLAN	(N)	2X4 1-HOUR RATED WALL	

SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

REVISIONS: ISSUES:

NO.	DATE	DESCRIPTION
1	04/07/2025	PLANNING SUBMITTAL

PROJECT: **RESIDENTIAL REMODEL**
842 PARK COURT
SANTA CLARA, CA

ARCHITECT OF RECORD:

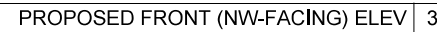
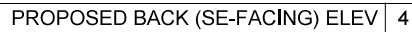
CONSULTANTS:

SHEET DESCRIPTION:
PROPOSED ROOF PLAN AND SCHEDULES

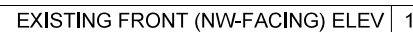
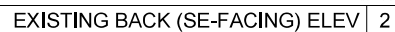
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SCALE: **AS NOTED**
DATE: 04/10/2025
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CHECKED BY: SRG
CAD TITLE: A02.00 - FLR PLAN 1-4 SCALE.dwg
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A2.2

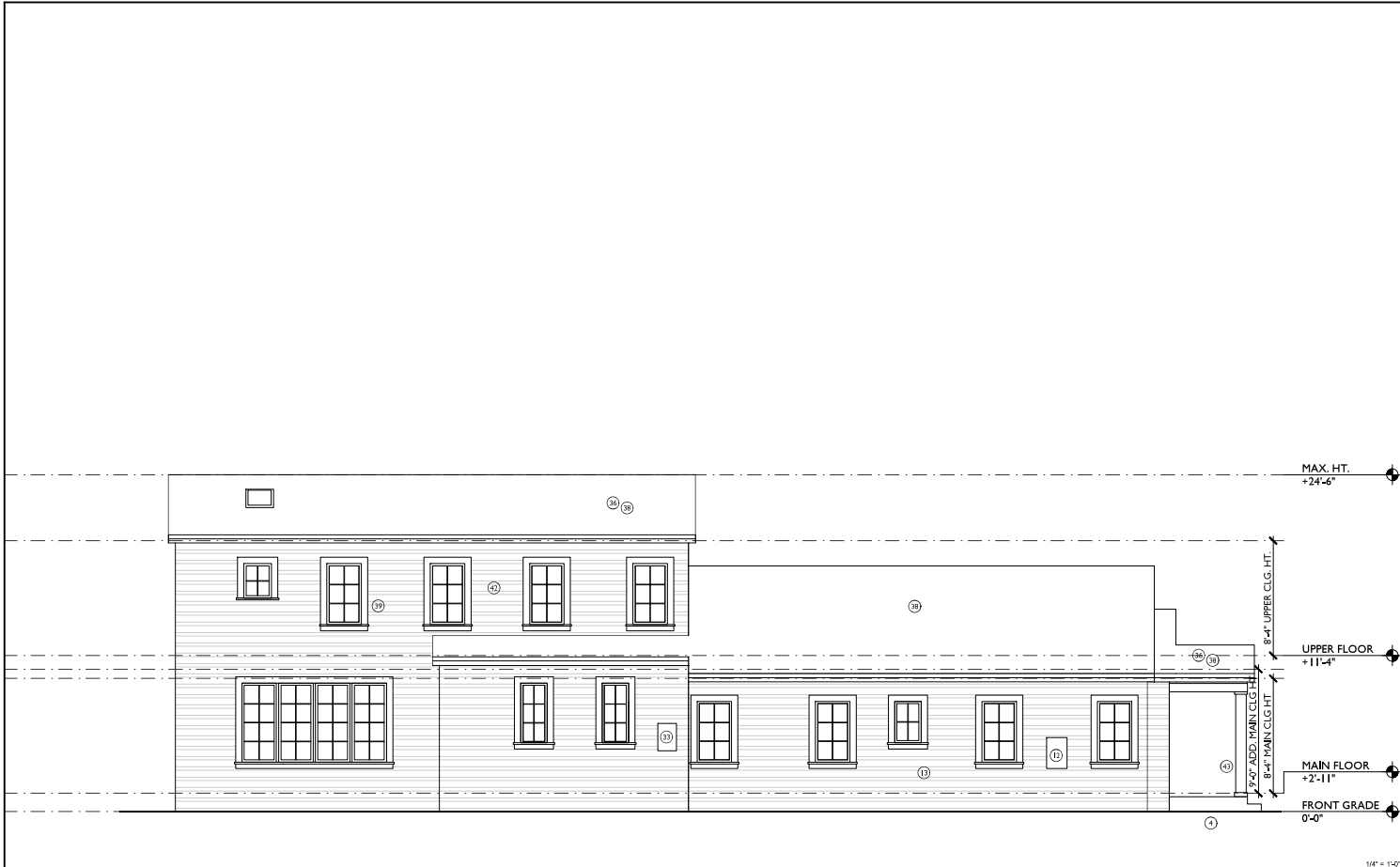
OF XX SHEETS



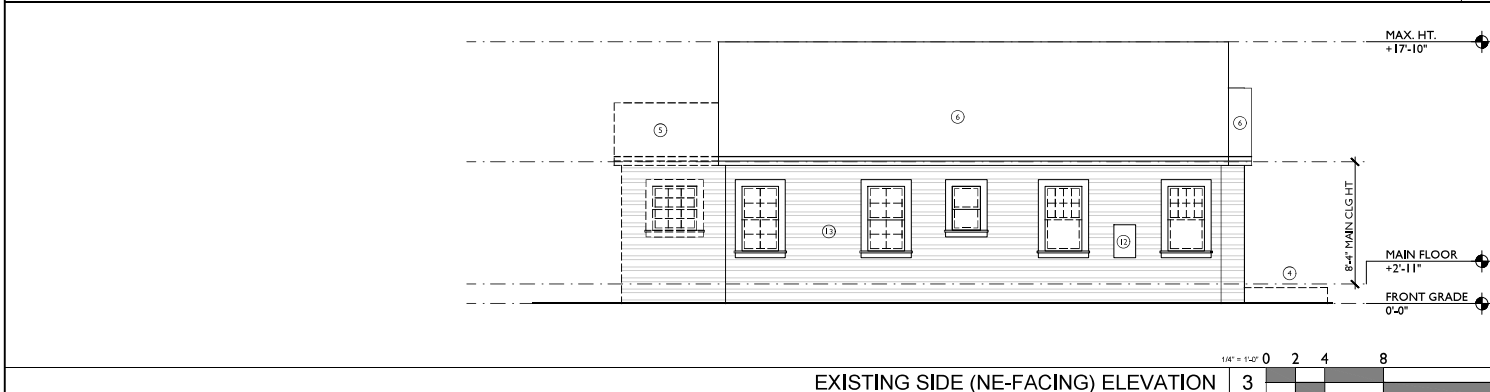
- KEYNOTES



- # A4.0



PROPOSED SIDE (NE-FACING) ELEVATION 3



EXISTING SIDE (NE-FACING) ELEVATION 3

- (1) (E) KITCHEN CABINETS, COUNTERTOPS, FINISHES, APPLIANCE AND FIXTURES TO BE REMOVED.
- (2) (E) KIT DRS TO BE REMOVED, TYP.
- (3) (E) BATHROOM VANITY, FINISHES AND FIXTURES TO BE REMOVED.
- (4) (E) CONCRETE PORCH SLAB TO BE REPLACED IN KIND.
- (5) (E) ROOF TO BE REMOVED THE AREA.
- (6) (E) ROOFING MATERIAL TO BE REMOVED, TYP.
- (7) (E) INTERIOR FINISHES TO BE REMOVED, TYP.
- (8) (E) CHIMNEY AND REPLACE TO BE RESTORED.
- (9) (E) WATER HEATER TO BE REMOVED.
- (10) (E) FAU IN CRAWLSPACE TO BE REPLACED, TO SERVE EXISTING HOUSE.
- (11) (E) GAS METER TO BE REMAIN, AUTOMATIC SHUTOFF AS REQD.
- (12) (E) ELECTRICAL METER TO REMAIN, UPGRADE TO 200 AMPS.
- (13) (E) EXTERIOR FINISHES TO BE REPAIRED/REPLACED AND PAINTED.
- (14) NOT USED.
- (15) NOT USED.
- (16) (N) 1-HR WALLS & AND 30-MIN DOOR RATED @ GARAGE.
- (17) (N) KITCHEN W/ (N) CABINETS, COUNTERTOPS, SINK, 36" REF, 36" GAS COOKTOP, 30" DBL WALL OVENS, 24" DISHWASHER AND FIXTURES.
- (18) (N) TILE FLOORING.
- (19) (N) BATHROOM CABINETS, COUNTERTOPS, FIXTURES, & BATHTUB OR SHOWER W/ TILE SURROUND, SEE 18 DASH AND BATHROOMS ON KNOX FOR ADDITIONAL REQUIREMENTS.
- (20) PROVIDE CLEARANCES OF 15" ON EA. SIDE OF TOILET AND 24" IN FRONT OF TOILET AND VANITY.
- (21) 30"x30" LANDING AT ALL EXT. DRS TYP.
- (22) (N) STAIR, TREADS/RISERS TO MATCH FLOORING, TYP. SEE 31A-B FOR STAIR REQUIREMENTS.
- (23) (N) INTERIOR WD BASEBOARD & TRIM, TYP.
- (24) (N) ENGINEERED WD FLOORING, TYP U.O.N.
- (25) (N) POLE AND/OR ADJUSTABLE SHELVING.
- (26) (N) CABINETS AND COUNTERTOPS.
- (27) (N) CABINETS W/ WINE FRIDGE AND SINK.
- (28) (N) LAUNDRY SINK.
- (29) (N) WASHER/GAS DRYER LOCATION, VENT DRYER TO EXTERIOR, LOUVERED DOORS AS REQD.
- (30) (N) 3/4"X6" ATTIC ACCESS.
- (31) ENCLOSURE UNDER STAIRS TO BE 1-HR RATED.
- (32) (N) FAU IN (N) ATTIC, TO SERVE ADDITION.
- (33) (N) INSTANTANEOUS GAS WATER HEATER.
- (34) (N) CONC. PORCH/PATIO SLAB.
- (35) (N) LOW PROFILE VENTS.
- (36) (N) ROOF THE AREA.
- (37) (N) GUTTERS/DOWNSPOUTS TIED INTO (N) PERIMETER DRAIN.
- (38) (N) CLASS A ASPHALT ROOFING MATERIAL OVER 2 LAYERS 15# BLDG PAPER.
- (39) (N) EXTERIOR WINDOW AND DOOR TRIM TO MATCH (E).
- (40) (N) TRIM, PAINTED.
- (41) (N) HOUSE NUMBERS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. SEE A-B I FOR RIGHTS.
- (42) (N) SIDING TO MATCH (E), OVER 2 LAYERS 15# BLDG PAPER.
- (43) (N) POSTS, PAINTED TO MATCH TRIM.
- (44) (N) TRIM, PAINTED TO MATCH TRIM.

SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

REVISIONS:		ISSUES:
NO.	DATE	DESCRIPTION
1	04.07.2025	PLANNING SUBMITTAL

PROJECT
**RESIDENTIAL
REMODEL**
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SANTA CLARA, CA



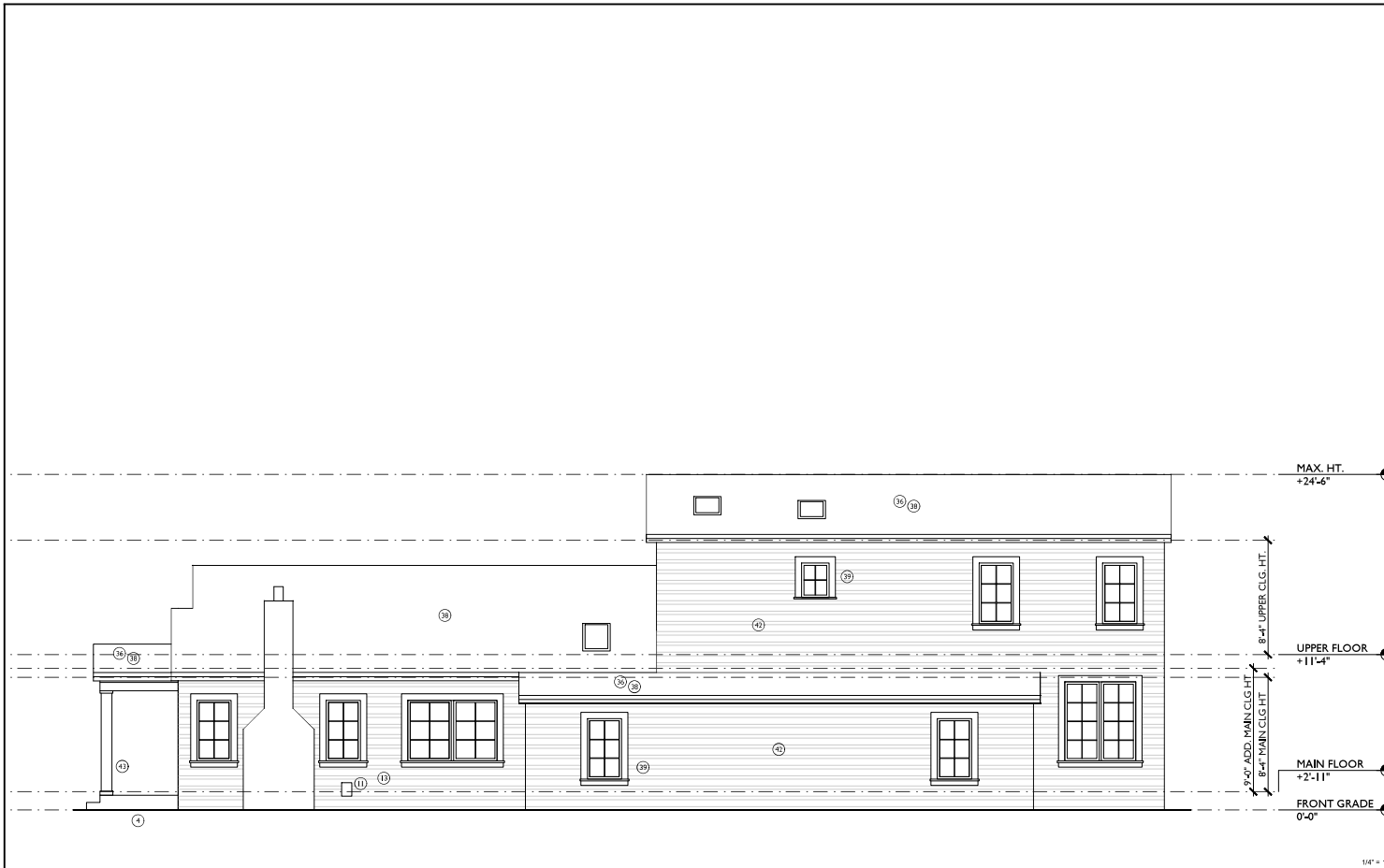
CONSULTANTS:

SHEET DESCRIPTION:
**EXISTING/DEMO
AND PROPOSED
EXTERIOR
ELEVATIONS**

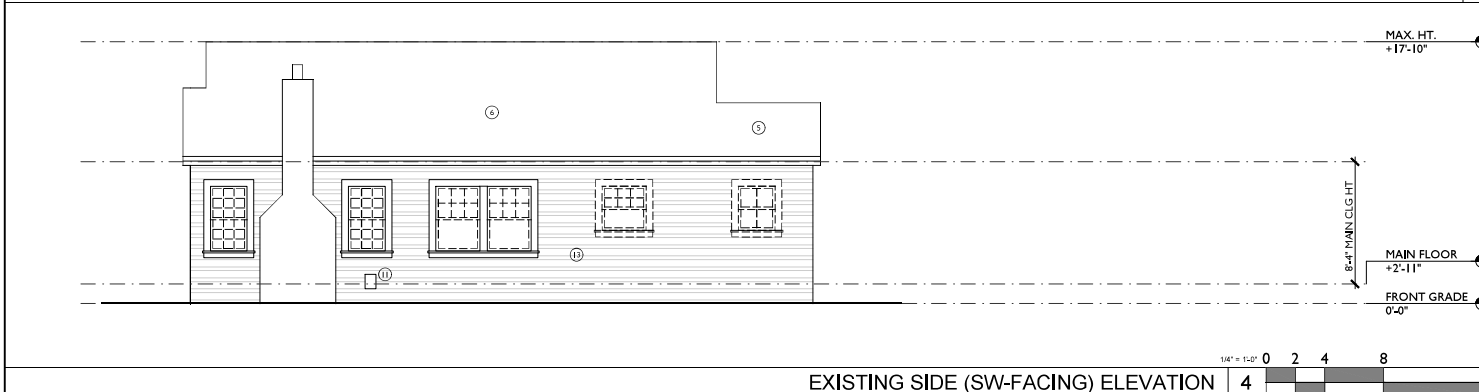
JOB NUMBER: 2024.043
SCALE: AS NOTED
DATE: 01.10.2025
DRAWN BY: SPF
CHECKED BY: SRG
A0860-ELEVATIONS AND SECTIONS 1/4 SCALE.dwg
SHEET NUMBER:

A4.1
OF XX SHEETS

SHEET NOTES



PROPOSED SIDE (SW-FACING) ELEVATION 1



EXISTING SIDE (SW-FACING) ELEVATION 4

- (1) (E) KITCHEN CABINETS, COUNTERTOPS, FINISHES, APPLIANCE AND FIXTURES TO BE REMOVED.
- (2) (E) INT. DRS TO BE REMOVED, TYP.
- (3) (E) BATHROOM VANITY, FINISHES AND FIXTURES TO BE REMOVED.
- (4) (E) CONCRETE PORCH SLAB TO BE REPLACED IN KIND.
- (5) (E) ROOF TO BE REMOVED THE AREA.
- (6) (E) ROOFING MATERIAL TO BE REMOVED, TYP.
- (7) (E) INTERIOR FINISHES TO BE REMOVED, TYP.
- (8) (E) CHIMNEY AND REPLACE TO BE RESTORED.
- (9) (E) WATER HEATER TO BE REMOVED.
- (10) (E) FAU IN CRAWLSPACE TO BE REPLACED, TO SERVE EXISTING HOUSE.
- (11) (E) GAS METER TO BE REMAIN, AUTOMATIC SHUTOFF AS REQ'D.
- (12) (E) ELECTRICAL METER TO REMAIN, UPGRADE TO 200 AMPS.
- (13) (E) EXTERIOR FINISHES TO BE REPAIRED/REPLACED AND PAINTED.
- (14) NOT USED.
- (15) NOT USED.
- (16) (N) 1-HR WALLS & AND 30-MIN DOOR RATED @ GARAGE.
- (17) (N) KITCHEN W/ (N) CABINETS, COUNTERTOPS, SINK, 36" REF, 36" GAS COOKTOP, 30" DBL WALL OVENS, 24" DISHWASHER AND FIXTURES.
- (18) (N) TILE FLOORING.
- (19) (N) BATHROOM CABINETS, COUNTERTOPS, FIXTURES, & BATHTUB OR SHOWER W/ TILE SUBGROUND, SEE 18 DASH AND BATHROOMS ON KNOX FOR ADDITIONAL REQUIREMENTS.
- (20) PROVIDE CLEARANCES OF 15" ON EA. SIDE OF TOILET AND 24" IN FRONT OF TOILET AND VANITY.
- (21) 30"x30" LANDING AT ALL EXT. DRS TYP.
- (22) (N) STAIR, TREADS/RISERS TO MATCH FLOORING, TYP. SEE 31A.M.I. FOR STAIR REQUIREMENTS.
- (23) (N) INTERIOR WD BASEBOARD & TRIM, TYP.
- (24) (N) ENGINEERED WD FLOORING, TYP. U.O.N.
- (25) (N) POLE AND/OR ADJUSTABLE SHELVING.
- (26) (N) CABINETS AND COUNTERTOPS.
- (27) (N) CABINETS W/ WINE FRIDGE AND SINK.
- (28) (N) LAUNDRY SINK.
- (29) (N) WASHER/GAS DRYER LOCATION, VENT DRYER TO EXTERIOR, LOUVERED DOORS AS REQ'D.
- (30) (N) 3/4"X6" ATTIC ACCESS.
- (31) ENCLOSURE UNDER STAIRS TO BE 1-HR RATED.
- (32) (N) FAU IN (N) ATTIC, TO SERVE ADDITION.
- (33) (N) INSTANTANEOUS GAS WATER HEATER.
- (34) (N) CONC. PORCH/PATIO SLAB.
- (35) (N) LOW PROFILE VENTS.
- (36) (N) ROOF THE AREA.
- (37) (N) GUTTERS/DOWNSPOUTS TIED INTO (N) PERIMETER DRAIN.
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- (43) (N) POSTS, PAINTED TO MATCH TRIM.
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ARCHITECT OF RECORD:



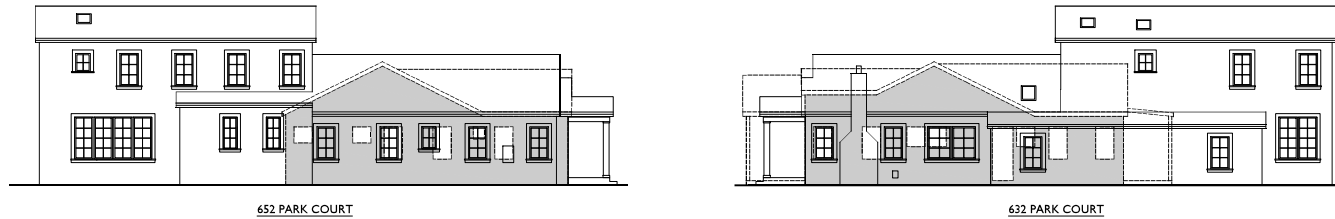
CONSULTANTS:

SHEET DESCRIPTION:
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SECTION
AND WINDOW
DIAGRAM**

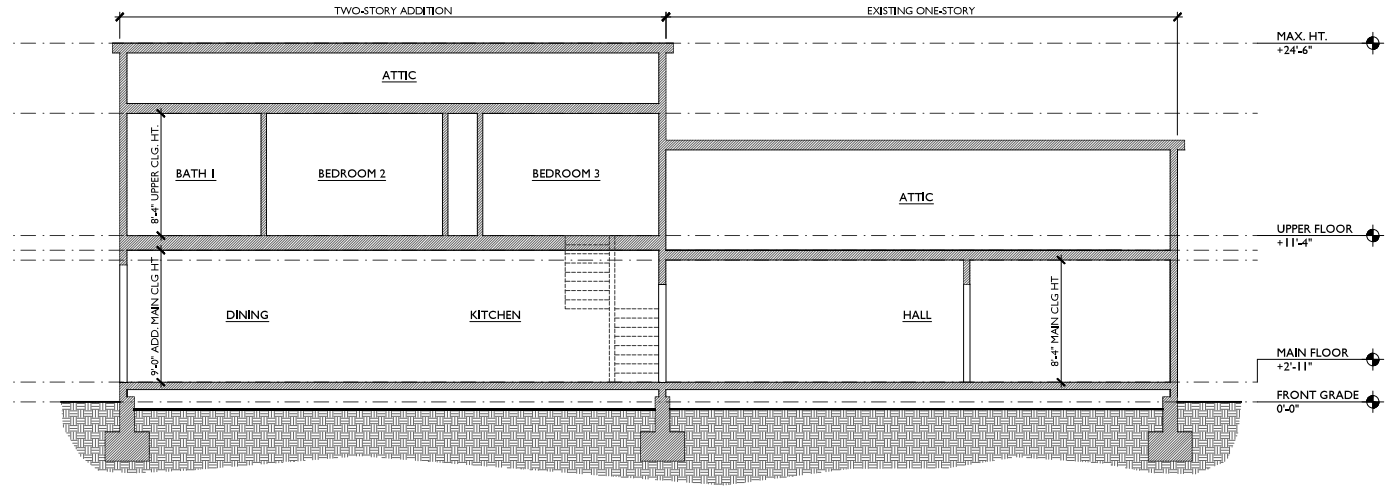
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A5.0

OF XX SHEETS



NEIGHBORING WINDOW DIAGRAMS 3



PROPOSED DIAGRAMMATIC SECTION 1

1/4" = 1'-0" 0 2 4 8