







PROPOSED COLORS AND MATERIALS 4



PROJECT: RESIDENTIAL REMODEL 642 PARK COURT SANTA CLARA, CA

NO. DATE ① 04,07,2025

ARCHITECT OF RECORD:



OAKLAND, CALIFORNIA 5 1 0 . 5 5 0 . 5 3 1 4

RENDERING 2



642 PARK COURT STREET ELEVATION



642 PARK COURT BACK ELEVATION



632 PARK COURT NEIGHBOR TO LEFT



652 PARK COURT NEIGHBOR TO RIGHT

CHECKED BY:

CAD TITLE:

SCALE: DATE:

RENDERING AND PHOTOS

PHOTOS OF HOUSE AND NEIGHBORS

NEARBY HISTORIC HOUSES 3

A0.1 OF XX SHEETS

GENERAL

I. INSPECTOR SHALL TEST ALL RIPING AND ALL ELECTRICAL BEFORE COVER OR CONCEALMENT.

2. DO NOT INSTALL ELECTRICAL PANES LARGER THAN IS SQUARE INCHES IN RATED FRE WAILS. NEVER INSTALL ELECTRICAL PANELS IN CLOSET, MAINTAIN A CLEARANCE OF 36" IN FRONT OF THE PANELS, (CEC. 110.26)

BESTEAL PARES IN CLOSET IMMETAIN A CLEARANCE OF SE' IN FORTH OF THE PARES. I. CEC 11230

A SHALL BE NOT ALLD (A) IN DACH SEEPING BAARS
A SHALL BE NOT ALLD (A) IN DACH SEEPING BOOK (B) OUTSIDE EACH SEPART SELEPING ARE IN THE IMMEDIATE
CHINTY OF THE RESOCKING, (C) OUTSIDE STORY OF THE DAMBLING ENCLIDES BARDENIN AND HARTIFALE
VIDITY OF THE RESOCKING (C) OUTSIDE STORY OF THE DAMBLING ENCIDENCY
SHOULD BE STORY OF THE STORY

ALARM REQUIRED BY SECTION R314.3

NEW SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH MANNER THAT THE ACTIVATION OF ONE ALARM WILL
ACTIVATE ALL OF THE ALARM'S HALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE
LEVELS WITH ALL INTERVENING DOORS CLOSED, FER DES SEC. 997.2 10.3 AND CER 215.1.1.3 15.1.2 cc. 81.14.1.2

LINES WITH ALL INTERVENING DOORS CLOSED RRS (CE. SEC. 997, 18.3 AND OCK (2015.1.1.315.1.2. CC. 3144, 3145 SERJET LOCARITOR REQUIREDWING FOR DOORS CLAWFRIGHT REPERCICE, 19.18.3 SERJET LOCARITOR REPORT OF THE PROPERTY OF THE CONTROL OF THE CONTROL OF THE PROPERTY OF THE PROPERTY OF THE CONTROL OF THE PROPERTY OF THE

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A CARBON MONOGE ALARMS ARE TO BE BRITALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA

A CARBON MONOGE ALARMS ARE TO BE BRITALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA

IN THE BRITALET WICHIT OF THE SEROCOMS AND ON PERFY LEVEL OF A DWELLING UNIT.

8. WHERE PROBE THAN ONE CABBON MONOGE ALARMS IN REQUIRED. THE ALARM SHALL BE INTECONNECTED IN TRANSIT THAT THE ACTIVATION OF ONE ALARMS HALL CHATTER ALARMS IN THE INTECONNECTED IN TRANSIT THAT THE ACTIVATION OF ONE ALARMS HALL CHATTER ALARMS IN THE INTECONNECTED IN THE ALARMS IN THE INTECONNECTED IN THE

CRC 8157

CARCO MONODE ALARHS SMALL SE POWERED BY BUILDING WIBING CURRENT WITH BATTERY BACKUP.

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UGHTING

I. ALL INDOOR AND OUTDOOR FIXTURES TO BE HIGH EFFICACY (NO EXCEPTIONS) PER TABLE 150.0-A. CEC SECTION

(SDB (I))

RECESSED LIGHT PICTURES IN INSULATED CRILINGS SHALL BE APPROVED, LISTED, ZEROCLEARANCE INSULATION
COVER (I) THE ARP-TIGHT (ASTYPELES) AND SEALED WITH A GASKET OR CALLKED SETWEEN HOUSING AND
CURRIG (SCE) SIGN STATE OF THE ARROYM CRARGES LANDERY ROOMS AND UTILITY ROOMS WITH
ALL PERHAMENTLY INSTALLED LUMPHARES IN BATTHROOM CRARGES LANDERY ROOMS AND UTILITY ROCKS WITH

ALL PRIVAINING INSTALLED LIMINABILE IN BUTHINGOM, GARGES LUMBOR ROOMS, AND UTILITY ROOMS WILL WARM A RIMMON OF OSE RIGHT BUTHINGS IN LIMINABILE RICH ROOMS AND SHALL BE CONTROLLED IN A VACANCY REPORT OF THE RESEARCH ROOMS OF THE R

A BIOTOCELL AND MOTION SENDIO OR A PROTOCONTROL AND AUTOMATE THE SWITCH CONTROL OR AUTOMATE. THE CLOCK OR AND SERVICE PROCESSING TO CONTROL STRIP AUTOMATE AUTOMATE OF THE CONTROL STRIP OF THE CONTROL O

10. LIGHTING IN HABITABLE SYMUS SHALL FIRE MALE AND A STATE OF THE MERCHANGE AND CRUITS

1. 8 RECEPTACLES ON 120 VOIL 15 AND 20 AMP CIRCUITS SHALL BE TAMPER RESISTANT, EXCEPT WHEN LOCATED

MORE THAN A ABOVE THE FLOOR, WITHIN CABINETS OR CURSOARDS, ON WHEN PART OF A LUMBAARE ON

BATHROOM, AT KITCHEN COUNTRITOR, AND GARAGE EXCEPT FOR BINGLE OUTLET RECEPTACES IN GARAGE 
MULTION PRODUCT ATTAINMENT PRESENT AND CARAGE EXCEPT FOR BINGLE OUTLET RECEPTACES IN GARAGE 
PRODUCE CONBINATION IT THE ACT AND TENENT ATTAINMENT AT ALL RECEPTACE IN ALL BESTOROOM CINHAGE 
PRODUCT CONBINATION IT THE ACT AND TENENT ATTAINMENT AND ALL RECEPTACE OUTLETS AND TENENT AND THE ACT AND THE AND THE ACT AND THE ACT

CIRCUIT 2 (6.1 (c)(2)

14. ONE 120 VOLT, 20 AMPREE BRANCH CIRCUIT SHALL BE INSTALLED TO SUPPLY RECEPTACLE OUTLETS IN GARAGE AND SHALL HAVE NO OTHER OUTLETS OTHER THAN READILY ACCESSIBLE OUTDOOR RECEPTACLE OUTLETS.

KITCHENS:

I. PROVIDE RECEPTACLE OUTLETS AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", LOCATED SO THAT NO POINT MODITE RECEPTACE COLITERS AT EACH RECHEN COUNTES SINCE WIDES THAN 12", LOCATE BUS THAN 10 AND ALL ACKNOWN THE COLOR WALL RECHEN WALLE MORE THAN 14" RECHEN ARE CREATED AND ALL ACKNOWN THE COLOR ACKNOWN THAN 16 AND ALL ACKNO

ALL LUMBANDES IN KTICHEN SIMILE BEHSE HERCKY WID DECEPTION. NOTE 1940 HERCKY FACE DEPREDORY
THE CALL/POWN BENEST COMMISSION (A) FOR LAND WATTO BE USE THE MIND OF BEHSELD FOR WATT. (B)
HIS OFF BEHSELD FOR

10.23 AND 20A 125V RECEPTACLES SUPPLYING A DISHWASHER OR GARBAGE DISPOSAL MUST BE READILY CCESSIBLE AND GFCI PROTECTED PER CEC 210.8 (D)

BATHROOMS

BATHROOMS ROUGE AT LEGT ONE RECEIPTACE OUTET SUPPLIED BY AT LEGT ONE DAMPHIER BRANCH CRUTTINE RECEIPTACE RECEIPTACE OF THE THE PROPERTY OF THE BRANCH CRUTTINE RECEIPTACE RE

RECEPTALES, (CEC. ART 464.11)

RECENSED LIMITATION AS HIGH EFFECACY (I.E. FLUORESCENT).

BATHROOM LIGHT INCLUSION SUCCESSION SUCCESSIO

RECEPTACES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL OR BE ACCESSIBLE FROM WITHIN THESE AREAS

RRIGATION REQUIREMENTS:

I RRIGATION CONTROLLERS SHALL BE WEATHER OR SOIL MOBTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN REPONSE TO CHANGES IN PLANTS NEEDS AS WEATH-CONDITIONS CHANGE

CONDITIONS CHANGE
WATHER BASE RAIN CONTROLLERS WITHOUT INTEGRAL RAIN SENGORS OR COMMUNICATION
SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL HALL HAVE A SEPARATE WRED OR WIRELESS RAIN
SENSOR WHICH CONNECTS AND COMMUNICATES WITH THE CONTROLLERS. SOIL MOISTURE BASEL
OCNTROLLERS ARE NOT REQUIRED TO HAVE RAIN INPUT

#### IRRIGATION NOTES

MECHANICAL REQUIREMENTS:

GAS VENTS SHALL TERMINATE NOT LESS THAN 2' ABOVE THE HIGHEST POINT WHERE THEY PASS
GAS VENTS SHALL TERMINATE NOT LESS THAN 2' ABOVE THE HIGHEST POINT WHERE THEY PASS
GAS VENTS SHALL TERMINATE NOT LESS THAN ANY PORTION OF A BUILDING WINN IF. GAS VENTS SMALLER THAN 12" IN DIAMETER MAY TERMINATE AT LEAST I" ABOVE THE ROOFS UP TO A & PITCH & AT LEAST B" FROM ANY PORTION OF THE BUILDING. FOR HIGHER ROOF PITCHES REFER TO RIGURE 8-2, CMS 802,62.

RGURE 8-2: CMC 802.6.2 RESIDENTIAL HYAC SYSTEMS BOTH (E) & NEW. & PARTS THEREOF SHALL BE INSPECTED IN ACCORDAN WI ACCA 4 QM THE OWNER OR THE OWNER'S DESIGNATED AGENT SHALL BE RESPONSIBLE FOR THE VACCA 4 QM THE OWNER OR THE OWNER'S DESIGNATED AGENT SHALL BE RESPONSELE FOR TO INTENANCE OF MECHANICAL SYSTEMS & EQUIPMENT. TO DETERMINE COMPLIANCE WITHIS SECTION, THE AHJ SHALL BE PERMITTED TO CAUSE AN HOX SYSTEM TO BE REINSPECTED. CMC

: THROOM CONTAINING A BATHTUB, SHOWER OR TUBISHOWER COMBINATION SHALL BE IANICALLY VENTILATED (ENERGY STAR COMPLIANT) TO THE OUTSIDE FOR PURPOSES OF H CONTROL IN ACCORDANCE WITHE 2019 CA. MECHANICAL CODE: CHAPTER 4: 8 THE 2013 CGBSC CH.
DMSION 4.5. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING HUMIDITY
CONTROL INTEGRATED LIGHTING OF EXHAUST FANS SHALL BE CONTROLLED INDEPENDENTLY PROV

CONTROL IN BOARD E UNE HIND OF EXPLAID TARD SHALL BE CONTROLLED INDEPENDENT HE.

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:HAPTER 7) /ENT CLOTHES DRYER TO OUTSIDE OF BUILDING (NOT TO UNDERFLOOR AREA). VENT LENGTH SHAI

HAVE A MAXIMUM LENGTH OF 14" AND BE EQUIPPED WITH A BACKBRAFT DAMPER, WITHOUT SCREEN INCLUDING TWO 90-DORDER BLOWS AND A MINIMUM DIAMETER OF 4". YENT DISCHARGE LOCATION TO BE MINIMUM 3-0" FROM ANY OPENING INTO THE BULLDING PER CHC 502.2. DRYPRS IN CLOSETS: 100 SQ IN MAKEUP AR OPENING SHALE BEINCORPORATED INTO DR TYPE. (CMC 50431 8 7053 34); A 4" DIA MOSTURE EXHAUST DUCT OF RIGID METAL W/ SMOOTH INTERIOR SHALL E INSTALLED.

instruleu. Sega min, sheet steel, ducts shall be used in garage & ducts penetrating the walls & Ceilings separating the garage from the dwelling, ducts may have no openings into t

GARAGE
GA 14 ANUAL D-2014 OR EQUAL: SELECT HEATING/COOLING EQUIPMENT IN ACCORDANCE W/ ANSI/ACC/

PARADULE, DISIN OR BOULD, SEET HEATING-COUNTS EQUIPMENT IN ACCORDANCE WA ASSUCCE. MACE STATULES BY ME. BE TRAINED AND CENTRIED IN THE ROSCAPINE PRINCE STATES AND EQUIPMENT OF A RECOGNIZED THAN INCIDENT COUNTS. OR THE INCIDENT COUNTS. OR THAN INCIDENT

INCHES HER OHENING.
INTERIOR SPACE MAY BE USED AS A SOURCE FOR COMBUSTION AIR PROVIDED THE VOLUME OF THE SPACE IS EQUAL TO OR GREATER THAN 50 CU. FT / 1000 BTU PER HOUR.

MOISTURE CONTENT OF BUILDING MATERIALS

"IF CHANGE MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED, WALL AND FLOOR

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MCISTURE CONTENT SHALL BE DETERMINED WITH ETHIER A PROBETYPE OR CONTACT. TYPE MOISTURE METER EQUIVALENT MEGTINE VERHICATION METHODS MAY BE APPROVED BY THE THE METER EQUIVALENT MEGTINE WERE APPROVED BY THE THE METHOD MET INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES, WET-APPLIED INSULATION PRODUCTS SHALL POLLOW THE MANUFACTURERS DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

BUILDING OFERATION AND MAINTENANCE
AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA
ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE POLLOWING SHALL BE PLACED IN
THE BUILDING.

DIRECTIONS TO THE CWINER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. THE FOLLOWING CONTROL OF THE LIFE CYCLE OF THE STRUCTURE. THE FOLLOWING CHARGERS, WATER-HEATING A. P. CAUTHERT FOR A PERMISSION ENCLUSION WATER-ASWIND DOWLES AND SYSTEMS, HAVE SYSTEMS, ENCOUGH OF THE STRUCTURE OF THE S EVEL IN THAT RANGE.
INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.

WHICH CONSERVE WATER.
INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING.

WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO.

CAILAING, PAINTING, GRADING AROUND THE BUILDING, ETC.

INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.

A COPY OF ALL SPECIAL INSPECTIONS (VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS (CALFORNING AGERE BUILDING STANDARDS) CODE.

WHERE 5 OR MORE MULTIFAMILY DWELLING UNITS ARE CONSTRUCTED ON A BUILDING SITE, PROVIDE READ ACCESSIBLE AREA(S) THAT SERVES ALL BUILDINGS ON THE SITE AND BIDENTHEED FOR THE DEPOSITING, TOTAGAGE AND COLOTION OF NON-MARZADOUS MATERIALS FOR RESPCLING, NUCLUPING IAT A MINIMUM, APER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTER, AND METALS, OR MEET A LAWPUL TRANCED LOCAL RECOLUTION DEDIFICATE; IM MORE RESTRICTED.

#### GENERAL

F WATER STIRRY MIRROR SWILL A CREATER SHALL BE INSTITUTED BERICES SECTION 150 0 W. ALL HOT WATER SUMMENT MINIS 30% AS GREATER SHALL BE INSUCILED FAR CECLEGE IRON 1,000 (1) MINISTRUMENT ARE INFORMATION, INSULCIAINON, SPACE HEATING, SPACE COODLING, WATER HEATING, ETC. SHALL MEET CA.
BNERGY COMMISSION STANDARDS
PER R319. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDIN

FIR RITH BUILDINGS SHALL HAVE APPROVED ADDRESS INJECTION SUBJECT ON SUBJECT OF A MAPPIOUR BUILDING INFORMATION AND THE ANALY EXCILING A WHILE PROFIT HER THAT OR ADD. INCOME AND THE ANALY EXCILING A WHILE PROFIT HER THAT OR ADD. IN ADDRESS ON A LITHAUET INFORMATION AND THE ANALY PROFIT OF A MAPPIOUR AND THE ANALY PROFIT OF ANALY PROFIT OF A MAPPIOUR AND THE ANALY PROFIT OF ANALY PROFIT OF A MAPPIOUR AND THE ANALY PROFIT OF ANALY PROFIT OF A MAPPIOUR AND THE ANALY PROFIT OF ANALY P

PROVIDE A 37/36" LANCING CONTIDE ALL SOT DEL MADRICE SHALL NOT BE HORE THAN 13/41" COMB THAT THE THERSHOLD FOR HOMOWARDS, DEL SON HOMETENAN LIFE OR COLTAMONACIONE DEL THE THE THE THE THE CONTINUE OF THE COLTAMONACION DEL THE THE THE CONTINUE OF THE CONTI

FI. CAPACITY RECYCLE AND/OR SALVAGE A MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION

NACTE AND AND SALVANDA A PRINTION DAY OF THE PROVIDENCE AND COUNT IN AND DEPOLITION AND DEPOLITION WASTE NOT A PROJUBLE TO SOLD AND CLEARING DEBRIS UPON REQUEST, VERIFICATION OF COMPLIANCE WY CODES MAY INCLUDE CONSTRUCTION DOCUMENTS PLANS. SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO RUDG. DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WY 2022 CODE REQWITS

## FRAMING: ALL EXT WALLIFLRIROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE

ALL EXT WALLER RECOF FRANKS SPACES OFFERS UP DUBBING THE COURSE OF REFOODS SHALL BE REQUIRED WAS APPLICATED. THE PROPERTY OF THE PROJECT OF RESTAURCH THE PROJECT OF RESTAURCH S A FOR THE LOCATION OF ALL EAVY & CONNECT WITH.

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A LOCATIONS.

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DIT WALLS WHILL'S OF ADJACENT ROPERTY LINE OF WINT'S WHICH THE STRUCTURE BE GUIPPED W. AN AUTOMATIC RESPONSAILES STRESS SHALL BE HAR ATION.

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FROMETY LINE OR WIN'S WHICH THE STRUCTURE BE GUIPPED W. AN AUTOMATIC RES STRESS SHALL BE HAR ATION.

## FRAMING RESTORATION: I. NATURALLY DURABLE WD OR PRESERVATIVE TREATED WD, PER AWPA U I, SHALL BE REQUIRED IN THE

TORALLY DURABLE WID ON PRESERVATIVE TREATED WID. PER AWYA (), SHALL BE REQUIRED IN THE LLOWING LOCATIONS (8317): THAN 18" OR 12", RESPECTIVELY, TO THE EXPOSED GROUND WID FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY & ARE LESS THAN 8" FROM THE

EXPOSED GROUND.
SILLS & SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT W/THE GROUND.

SILDS SERVENCING. COMERTE OF MANDETS USE BRANDES.

UNESS SERVANTE OF AN IMPROVISION CHARGE STATE AND IN THE MOUNTAIN CHARGE.

UNESS SERVANTE OF AN IMPROVISION CHARGE STATE AND INTERPROVING A CLEARANCE OF LISS THAN IS FROM THE GROUND ON SERVENCE AND INTERPROVING THE CHARGE STATE OF THE

ALL EASTERES USED FOR ATTACHMENT OF SIDING SHALL BE CORROSION-RESISTANT. (R703.4): CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT OPENINGS & INTERSECTIONS/ATTACHMENTS.

# BATHROOMS: I. DIMENSION ON THE PLANS THE 30-INCH CLEAR WIDTH FOR WATER CLOSET SPACE & 24-INCH CLEARANCE IN

DRESIGN ON THE PLAST THE SANCH CLEAR WIDTH FOR WAILS CLUZE! SPACE A EMPORTACIONNAME. ROUTE OTHER WAYS CLEAR SHAPE OF LOS OF SANCH CLEAR SHAPE OF SANCH ON THE WAILS CLEAR SHAPE OF SANCH ON SANCH SHAPE CLEAR SHAPE OF SANCH SHAPE CLEAR SHAPE CLEAR SHAPE OF SANCH SHAPE CLEAR SHAPE CLEAR SHAPE S

THEMPOSTATIL, OR COMBINATION RESIDER BRAINNETHEMPOSTATIL PHILING VALVE CONTROLS FER CH.

SECTION 4083.

SAFETY GLAZING IN WALLS ENCLOSING TUBS/SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE
GLAZING LESS THAN 40° ABOVE A STANDING SURFACE. (CRC SEC R308.4 TEM 5).

#### PLUMBING FIXTURE REQUIREMENTS:

LRIGMP (6) 80 PSI RESIDENTIAL MAX 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI KITCHEN FAUCETS 1.8 GPM @ 60 PSI

FIXTURE TYPE	BRANCH SIZE	FIXTURE UNITS
SHOWER	1/2"	2.0
LAVATORY	1/2"	1.0
WATER CLOSET	1/2"	2.5
KITCHEN SINK	1/2"	1.5
DISHWASHER	1/2"	1.5
HOSE BIBB	1/2"	2.5

WATER HEATING - 120 VOLT RECEPTACLE < 3 FT., CAT III OR IV VENT AND GAS SUPPLY LINE CAPACITY OF A' LEAST 200,000 BTU/HOUR

LEAST 200,000 BTU-HOUR
PUMPING CONTRACTOR TO PROVIDE A SINGLE LINE DWG OF THE GAS LINE TO EACH GAS FIRED APPLIANC
GAS PRE-SEING TO BE NICLUDED PRE TABLE [2] (2) (2) 20) F CPC.
WATER HAMMER ARRESTORS SHALL BE PROVIDED AT ALL APPLIANCES THAT HAVE QUICK ACTING VALVES. 2)

CPC 409 10 WHERE A COMBINED SPACE AND WATER-HEATING APPLICATION REQUIRES WATER FOR SPACE HTG AT THE DECEMBENG 109\* A THERRODISTANCE MADAGE VALUE BY ACCOMPANCE WAS ARE IN IT SHALL BE NOTALLED TO THE PROPERTY OF THE PROPER

## PLUMBING NOTES | 4

ALL GAZINE IN DOORS SHALL BE TEMPRED (T = TEMPRED GLAS)

ALL GAZINE IN DOORS SHALL BEAR AN APPROVED LABE SHOWNED THE SATING FOLLOWED BY THE LETTER "S.

THE NAME OF THE MANUSCRIPM, AND STEEL BEDOWNED THE SATING FOLLOWED BY THE LETTER "S.

THE NAME OF THE STEEL BY THE SATING FOLLOWED STATES TO THE STEEL STEEL STEEL STEEL STATES TO SATING SHOWNED STATES TO SECTION THE SATING FOLLOWED STATES TO SATING SHOWNED STATES TO SECTION THE SATING FOLLOWING STATES TO SECTION THE SATING STATES OF THE SATING STATES TO SECTION THE SATING STATES OF THE SATING STAT

ACCEPTABLE AT INCLEMENTATION IN THE THAT PROSPERS AND STREET TO COMMANY LANDINGS FIRST FROM THE REPORT AND THE PROSPERS AND THE TOP OF AN INTERIOR STARWAY, PROVIDED THE DOOR DOES IN SHARE ONE THE POTENTE.

GRESS NOTES:

BISCAPE & RESCUE OPENINGS RECYD FOR ALL SLEEPING ROOMS, BASEMENTS & HABITABLE ATTICS.

WDW OPENING HEIGHT MAX 44 INL ABV FLR

MIN 20 INL WIDE & 24 INL HIGH. 5.7 SQ FT CLEAR OPENING

LIGHT & VENTEATION;

1. MARTINE ROOM INTUINAL USE OF OPENINGS FM MS OF ROOM AREA
MARTINE ROOM INSTITUAL VENTEATION OFFNINGS ME HER FROOM AREA
MARTINE ROOM INSTITUAL VENTEATION OFFNINGS ME HER PROOM AREA
ENTEROOM HAS 13 CAUSE FOOT WOME, MAKE OF WOW OFFNINE
DESCRIPTION NOT REQUEST ARRIFICAL USE HE RECH VENTEATION PROVIDED
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SAFETY GLASS REQUIREMENTS: TEMPRED GLASS REQUIRES PRIMANENT ETCHED LABEL L. ONLY ONE LITE REQ FULL LABEL IN MULTIPANE WDW W/ LITES < ONE SQ FT. L. LAMINATED GLASS DOES NOT REQUIRE LABEL

ICOLATIONS REQUIRING SHETTY CLASS.

1. GAIRAI IN PANINGER ISHOLD, OR SILINGE OBS.

2. SIDELITE WHERE GAIRS IS 4 NIN. ARC OF DR BOOR 8 ANY PART OF GLASS.

3. SIDELITE WHERE GAIRS IS 4 NIN. ARC OF DR BOOR 8 ANY PART OF GLASS.

3. CHAZING IN AN INNOVIDUAL, OR PAREAL FAND, THAT MEETS ALL OF THE FOLLOWING CONDITIONS.

A. THE BOTTOED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF.

3. THE BOTTOED FOCE OF GALAZINIS ISS THAN IP ASOC PHETE FLOOR.

C. THE TOE BOOR OF GLAZINIS ISS THAN IP ASOC PHETE FLOOR.

C. THE TOE BOOR OF GLAZINIS GREATER THAN 95 AND OF THE FLOOR.

THE PANE OF THE GLAZINIS.

DELLOW GLASS. NG 460 IN HORIZONTAL OF BOTTOM STAIR LANDING & <36 IN, ABY LANDING. <u>EXCEPTIONS:</u> INTERVENING GUARD MIN 18 IN FROM GLASS, SOLID WALL 34 IN, TO 36 IN, BELOW GL GLAZIN

# AFACTOR NEW AND IOR REPLACEMENT FENETRATIONS (IE WDWS, SYTLICHTS, EXT DRs) WI GLAZED AREA OF > NEW AND IOR REPLACEMENT FENETRATIONS (IE WDWS, SYTLICHTS, EXT DRs) WI GLAZED AREA OF > NEW ALC OF THE DR. AREA SHALL HAVE A LIFACTOR OF 0 40 OR LESS (CES. SEC. 152(8), TABLE 151C), HAVIEL LIFACTOR (0.28) FOR FENETRATION AND SYTLICHTS

CODE FOR OPENINGS AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUROF THE HAVE EQUIPMENT, ALL DUCT AND OTHER RELATED ARR DISTRIBUTION COMPONENTS OF COMPONENTS WILL BE COVERED WITH THE RASTICS. SHEET HERTALS OR OTHER PRIHODS ACCEPTABLE TO BHICKEND AGENCY TO REDUCE AMOUNT O WATER, DUST OR DEBS THAT MAY ENTER THE SYSTEM AND START OF THE S

ADHER'S SAGANTS, AD CAUSS USED ON THE ROBORT SHALL FOLLOW COCA, AND REGONAL AR EQUILITION OF AN EQUILITY HANGESTED INTERT STRANGED, 202 DCC 45-921. ASSOCIATION OF AN EXPLORATION OF A STRANGED SHALL BE STRANGED AND CONTROL MAD CONTRO

# POLLUTANT CONTROL

BLDG - BUILDING
CLR - CLEAR
CO - CENTRE OF
C-TOP - COUNTRETOP
CAB - CABINET
CLG - CELING
DM - DIMENSION DIMENSIONS
DR - DOOR; DOORS
EA - EACH
E ELEC - ELECTRICAL
ED - EDOLAL LAV - LAVATORY

MAX - MAXIMUM

MECH - MECHANICAL

MIN - MINMUM

MERG - MANUFACTURE

O.C. - ON-CENTER

PLMB - PRUMBING

FTD - PRINTED

RO - ROLLIGH ORBINING DEMO
NEW (ADDITION)
REMODEL (WIN SCOPE)
RELOCATE
REMODEL
FOUNDATION WALL DIMS
DIMS O.C. TO OPENINGS
PERIMETER WALL DIMS - ROUGH OPENING REQ'D - REQUIRED SIM. - SIMILAR ELEC - ELECTRICAL
EQ. = EQUAL
EXT - ENTERIOR
FAU - FORCED AR UNIT
F.F. - FINISH FLOOR
FT - FEET; FOOT
HR - HOUR
HT - HEIGHT
IN - INICH: INICH: IS

REVISIONS: ISSUES:() DATE DESCRIPTION 04.07.2025 PLANNING SUBMITTAL

OAKLAND, CALIFORNIA

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RESIDENTIAL REMODEL 642 PARK COURT SANTA CLARA, CA



CONSULTANTS

## GENERAL NOTES

JOB NUMBER:	2024,043
SCALE:	AS NOTED
DATE:	01.10.2025
DRAWN BY:	SPF
CHECKED BY:	SRG
CAD TITLE:	A00.01 - GENERAL NOTES dwg

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# **Construction Best Management Practices (BMPs)**

Construction projects are required to implement year-round stormwater BMPs.

#### Materials, Waste, and Sediment Management



#### Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks

#### Non-Hazardous Materials and Dust Control

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- ☐ Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- ☐ Use captured water from other activities (e.g., testing fire lines) for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

#### Hazardous Materials

- □ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

#### Waste Management

- □ Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner undermeath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site clean with five methods, clean offsite or replace dumpster.
- Place portable toilets and hand wash stations away from storm drains. Make sure
  they are equipped with containment pans (secondary containment) and are in
  good working order. Check frequently for leaks.
- ☐ Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging)
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

#### Equipment Management & Spill Control



#### Vehicle and Equipment Maitenan

- Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite

#### Spill Prevention and Control

- ☐ Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- Sweep up spilled dry materials immediately.
   Never attempt to "wash them away" with water or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

## Earthmoving



#### Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- □ Prevent sediment from migrating offsite and protect storm drin inlets, drinage courses and creeds by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include sit! fences, gravel bags, fifter rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- □ Remove existing vegetation only when necessary Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.
- Ensure all subcontractors working onsite are implementing appropriate BMPs.

#### Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the <u>Regional</u>. <u>Water Quality Control Board</u> and the local agency 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them offs othey are not disturbed by construction activities.

#### Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
- ☐ Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
- $\hfill \square$  Store materials onsite, not in the street.

### Concrete Management & Dewatering



#### Concrete Manageme

- ☐ Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- ☐ Wash out concrete equipment/mixers/rucks offsite, or onsite only in designated washout containers/area where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- ☐ Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirf areas, or the sanitary sewer.

#### Dewatering

- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- ☐ Divert water originating from offsite away from all onsite disturbed areas.
- □ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- □ In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- ☐ For additional information, refer to the CASQA's Construction Stormwater BMP Handbook, Fact Sheet NS-2 "Dewatering Operations."

## Paving/Asphalt Work



#### Pavin

- Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- When construction is complete, remove all covers from storm drain inlets and manholes.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.

## Sawcutting & Asphalt/Concrete Removal

- ☐ Protect storm drain inlets during saw
- When making saw cuts, use as little water as possible.
   Residue from saw cutting, coring and
- grinding operations shall be picked up by means of a vacuum device.

  Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible.
  Sawcutting residue should not be left on
- ☐ If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

#### Painting & Paint Removal



#### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.
- ☐ For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.
- ☐ For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- drop cloths and uspose of as trash.

  Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead- based paint removal requires a state-certified contractor.

Storm drain polluters may

be liable for fines of up to

\$10,000 per day!

Santa Clara Valley

**Pollution Prevention Program** 

**Urban Runoff** 

#### PROJECT: RESIDENTIAL REMODEL

642 PARK COURT SANTA CLARA, CA



OAKLAND, CALIFORNIA

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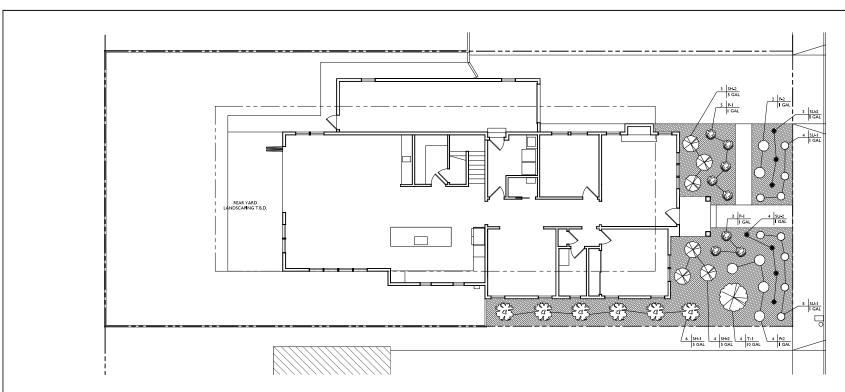
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MANAGEMENT PRACTICES

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PROTECTION

1. PROTECT EXISTING TREES, IF APPLICABLE FROM CONSTRUCTION ACTIVITIES. PROTECT TREE ROOTS FROM COMPACTION. DO NOT STORE MATERIALS UNDER TREES.

- GENERAL

  I. PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THE TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFED FOREMAN.

  2. PLANTS STORED ON SITE SHALL BE WATERED DILLY.

  3. PLANT SAN WITE WITHOUT HIM PHONE OF REMOVE SHOTH EATS OR CONTAINERS.

  4. PLANT SAN WITE WITHOUT SHOTH PHONE OF REMOVE SHATTS.

  5. PLANT BOW WITHOUT SHATTS DEPLY AND THOROUGHLY PMEDIATELY AFTER PLANTING.

## $\frac{\text{MULCH}}{I.} \quad \text{AFTER PLANTING IS COMPLETE, MULCH ALL PLANTED AREAS IN A 3" LAYER OF ECO MULCH.}$

## SITE CLEAN-UP

I. REMOVE ALL SURPLUS MATERIAL AND DEBRIS FROM THE SITE UPON COMPLETION OF THE WORK.

SYMBOL	CODE	TYPE	SCIENTIFIC NAME	COMMON NAME
	т-і	TREE	HETEROMELES ARBUTIFOLIA	ΤΟΥΟΝ
	SH-I	SHRUB	CEANOTHUS	CALIFORNIA LILAC
	SH=2	SHRUB	CISTUS 'SUNSET'	ROCK ROSE
0	P-I	PERENN <b>J</b> AL	EPILOBILIUM CANUM	CALIFORNIA FUSCIA
	P-2	PERENNIAL	SALVIA SPATHACEA	HUMMINGBIRD SAGE
0	SU-I	SUCCULENT	SENACIO MANDRALISCAE	BLUE CHALK STICKS
*	SU-2	SUCCULENT	ECHEVERR <b>I</b> A ELEGANS	ECHEVERRIA
		MULCH		

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PROJECT: RESIDENTIAL REMODEL 642 PARK COURT SANTA CLARA, CA

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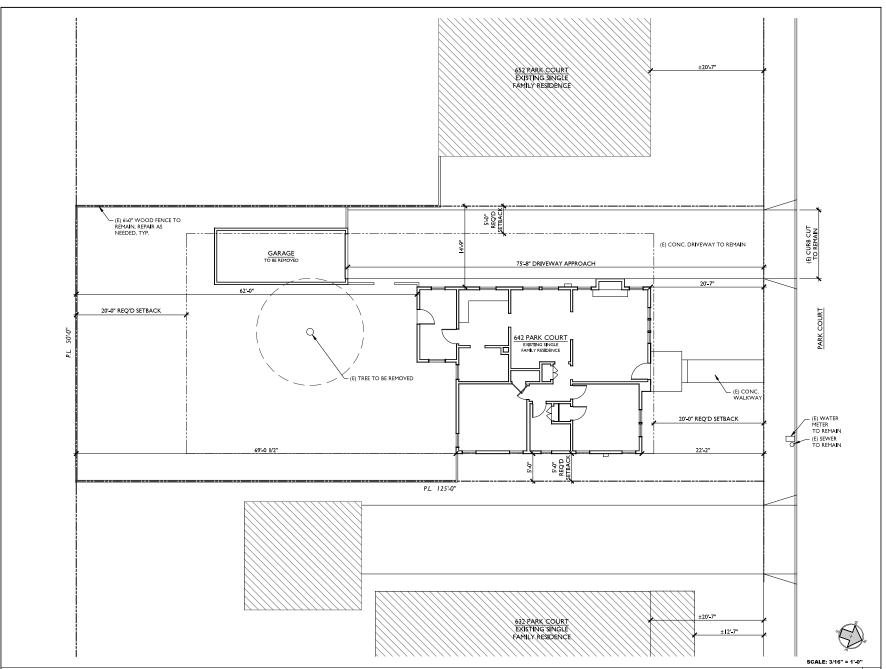


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## **PROPOSED** LANDSCAPE PLAN

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ARCHITECT OF RECORD



CONSULTANTS

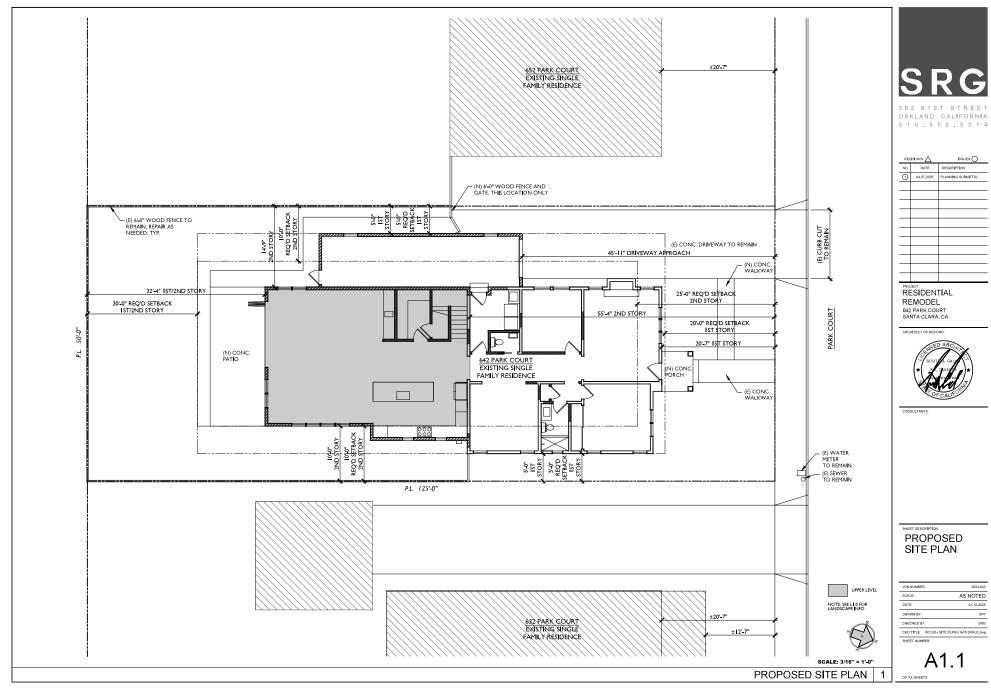
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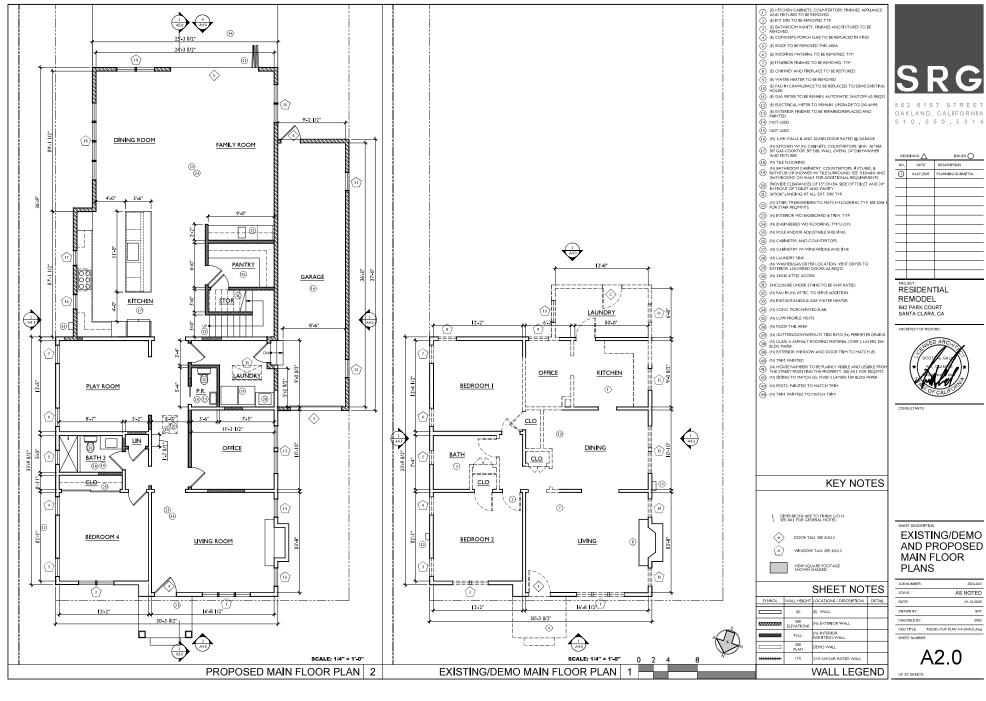
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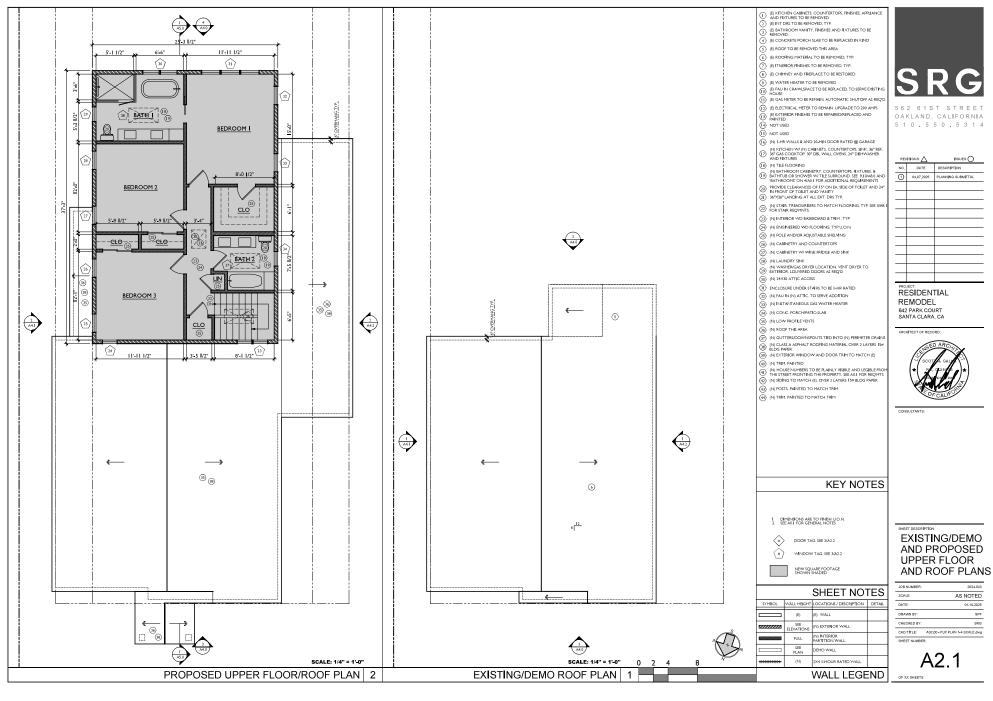
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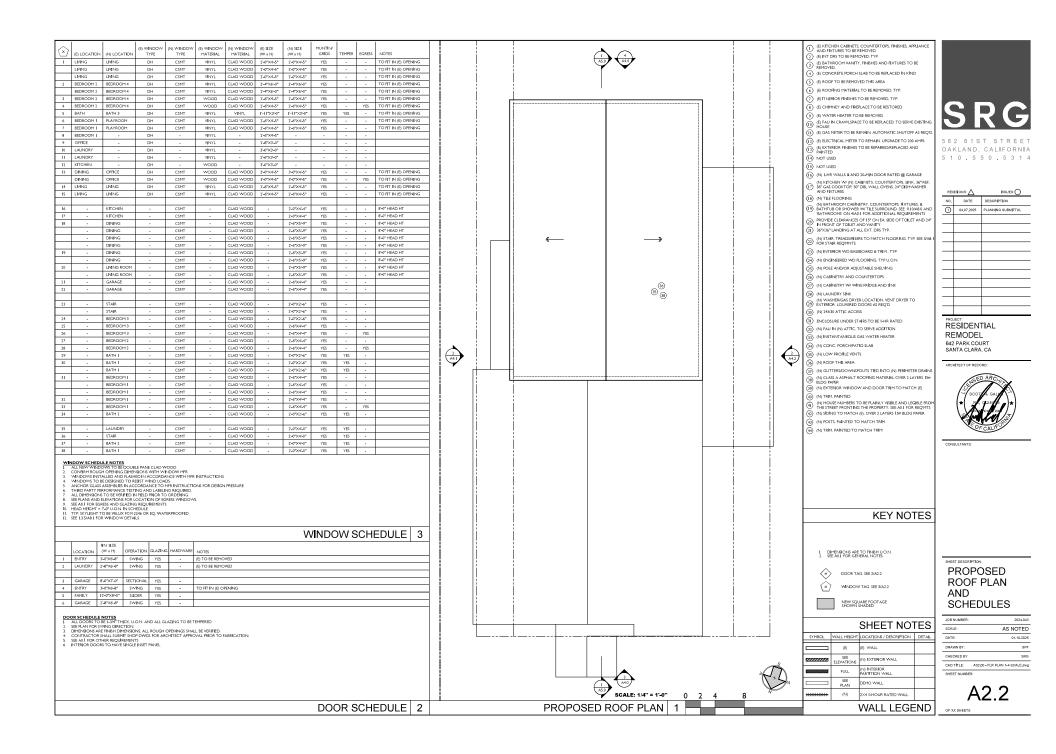
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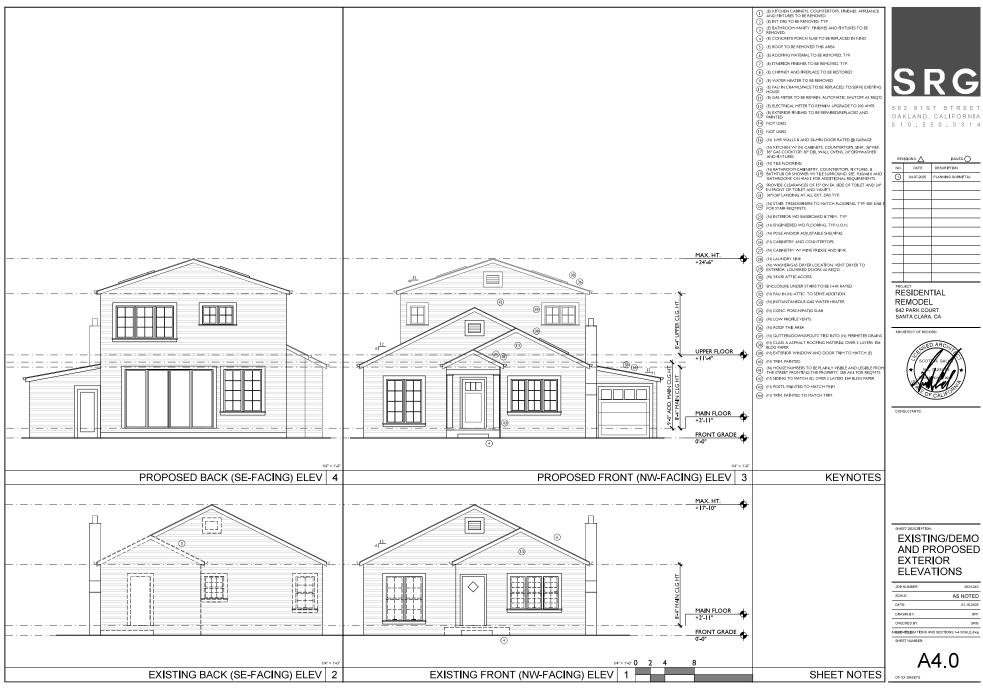
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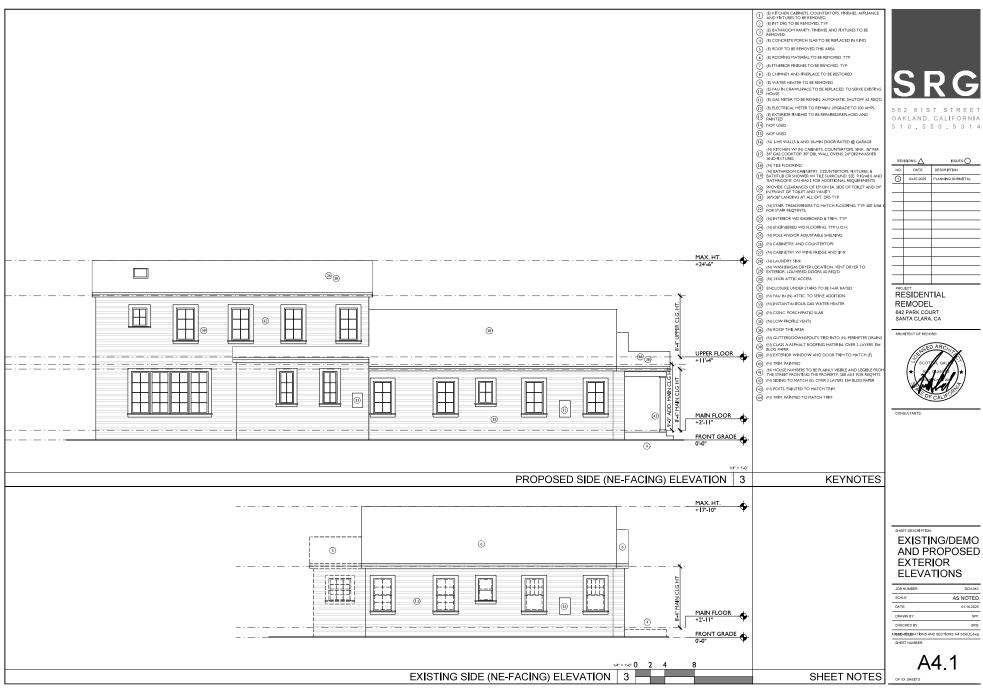
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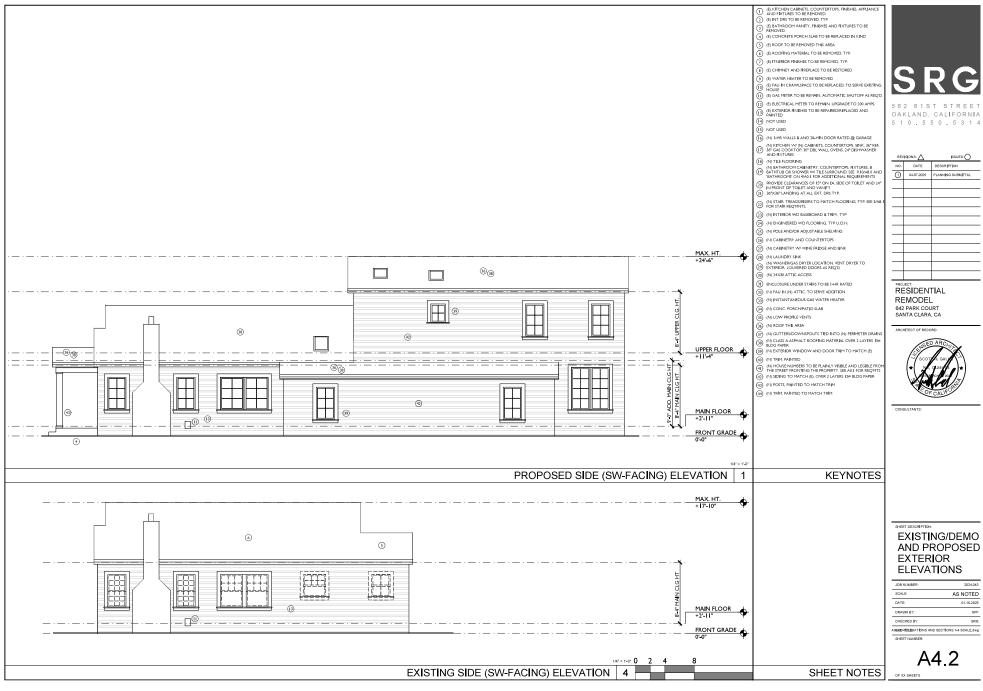
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PROJECT: RESIDENTIAL REMODEL 642 PARK COURT SANTA CLARA, CA

ARCHITECT OF RECORD



CONSULTANT

SHEET DESCRIPTION:

## DIAGRAMMATIC SECTION AND WINDOW DIAGRAM

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