



Meeting Date: November 7, 2018

File No.: PLN2018-13469

Location: 3533 Gibson Court, an 8,112 square foot lot, located at the north end of Gibson Court, approximately 85 feet north of Gibson Avenue; APN: 296-19-012; property is zoned Single-Family Residential (R1-6L).

Applicant: LNX Architecture, Inc.

Owner: Ming and Ping Sun

Request: **Architectural Review** of the proposed demolition of an existing 1,292 square foot one-story three bedroom and two bathroom house with an attached two-car garage, and new construction of a proposed 2,766 square foot two-story, three bedroom, three and one-half bathroom residence with an attached two car garage and an attached 697 square foot two-bedroom accessory dwelling unit.

CEQA Determination: Categorically Exempt per CEQA Section 15303 – New Construction or Conversion of Small Structures

Project Planner: Jeff Schwilk, AICP, Associate Planner

Project Data

Lot Size: 8,112 sq.ft	Existing Floor Area (sq.ft.)	Addition (sq.ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,292	n/a	1,466
Garage	402	n/a	412
Covered Porches	0	n/a	300
ADU	0	n/a	697 (2 bdrm.)
Second Floor	1,300	n/a	1,300
Gross Floor Area	1,694	n/a	3,954
Lot Coverage	1,694 / 8,112= 21%	n/a	2,875 / 8,112 = 35%
2nd:1st Floor Coverage			1,300/2,654 = 49%
F.A.R.	1,694 / 8,112= 0.23	n/a	3,875 / 8,112 = 0.48
Bedrooms/Baths	3 / 2	n/a	3 / 3.5

Points for consideration for the Architectural Committee

1. The project site was developed with the existing patio-style tract house built in 1958.
2. The project site is located in the Fairmede subdivision of the City – a subdivision of patio-style single family homes.
3. The project site and surrounding neighborhood are not currently designated as architecturally or historically significant.
4. 300-foot neighborhood notice was distributed for this project review. No public comments have been received as of the date of this report preparation.
5. There are no active City Code enforcement cases for this property.
6. While second story additions to patio-style homes in neighborhoods of patio homes are discouraged by the City's recently adopted Single Family Design Guidelines, the Guidelines do provide direction for increased neighborhood compatibility in the design of second-story additions to these homes.
7. The City's single family design guidelines recommend that second-floor side and rear walls be stepped in at least three to five feet from the ground-floor walls below to minimize building massing –

more if second-floors have a greater than 35% footprint over the ground floor. The applicant is proposing to address the building massing through a combination of a stepping back second floor walls at least 3 feet from ground floor walls below, and further by breaking up the second floor building walls through additional step-ins along the side and rear walls at least every 25 feet.

8. The City's design guidelines support 8-foot or 9-foot ceiling heights. The project proposes 9-foot ceiling heights for both floors, and a higher proposed vaulted ceiling space over the front living room.
9. The City's design guidelines encourage low-pitched roofs or flat roof styles with heavy fascia boards for patio homes.

Findings

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The project provides two covered parking spaces in a new attached two-car garage.
 - The property is served by existing infrastructure adequate in size and capacity to support the proposed use.
2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
3. *That the design and location of the proposed development is such that it is not in keeping with the character of the neighborhood and could be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
 - While the proposed project design incorporates several measures intended to be compatible the neighborhood character, including a lower sloped 3:12 roof pitch, elevated side wall windows on the second floor, and horizontal roof lines along the street frontage, the overall design does not incorporate enough features to make it compatible with the patio-style architecture of homes in the neighborhood.
 - Properties adjoining the project site along the rear and side property lines are all one-story patio-style homes.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
 - The project would be subject to the California Building Code and City Code requirements.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*
 - The proposed project design does not incorporate enough of architectural design features identified in the City's Design Guidelines for Patio Homes to make it consistent with the adopted City Single Family Residential Guidelines as a new two-story house.

Architectural Committee Project Review

Address: 3533 Gibson Court

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- Staff recommends that consideration be given to the following redesign measures intended to bring the architectural design of the new two-story house into further conformance with the City's Design Guidelines for Patio Homes:
 - 1) Further flatten and simplify the first and second story roof pitch design on the house and front porch to remove most roof ridges, and add heavy/larger roof eave fascia boards.
 - 2) Reduce or remove the proposed vaulted ceiling space over the front living room.

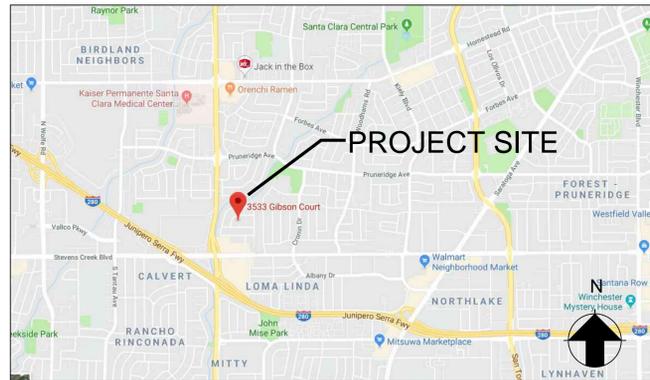
Conditions of Approval (If Approved):

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans and elevations.
- 2) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 3) Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 4) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 5) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.
- 6) The proposed two car garage shall remain open and accessible for two parking spaces.

NEW HOME : 3533 GIBSON CT., SANTA CLARA, CA 95051



VICINITY MAP



PROJECT DIRECTORY

Owner : MING SUN & PING SUN
 Address: 3533 GIBSON CT.
 SANTA CLARA, CA 95051
 Email: maxsun@google.com,
 yangping97@gmail.com
 Phone #: 650 318 7809

Architect: LNX Architecture inc.
 Address: 6710 Corte Snata Maria,
 Pleasanton, CA 94566
 Responsible Person: Lin, Yuan, Architect
 Phone#: 925 357 5801
 Email: yuanlinco@163.com

PROJECT INFO.

LOCATION: 3533 GIBSON CT. SANTA CLARA, CA 95051
 ZONING: R-1-16
 LOT SIZE: 8112 SF
 (E) BUILDING AREA: 1292 SF
 (E) GARAGE AREA: 402 SF
 (E) BUILDING FOOT PRINT: 1694 SF

(N) 1ST FLOOR MAIN HOUSE: 1466 SF
 (N) ADU AREA ON 1ST FLOOR: 697 SF
 (N) 2ND FLOOR AREA: 1300 SF
 (N) TOTAL LIVING AREA: 3463 SF
 (N) GARAGE AREA: 412 SF
 (N) COVERED FRONT PORCH : 79 SF
 (N) COVERED CORNER PORCH : 156 SF
 (N) COVERED SIDE PATIO : 65 SF

(N) TOTAL BUILDING FOOT PRINT: 2875 SF
 LOT COVERAGE: 35.3 %
 FAR: 42.7 %
 2ND/1ST FL. RATIO: 45.2 %
 CONSTRUCTION TYPE: TYPE V/B; SPRINKLERED

SCOPE OF WORK:
 Demolish existing 1-story house with 3 bedroom and 2 car garage. home size 1292 sf.
 Build a new 2-story house with 3 bedrooms and 2-car garage plus a 2-bedroom ADU on the 1st floor.
 Install new furnace, tankless water heater and AC for both the main house and ADU
 Install new fire sprinkler system, permit separately.

CODE COMPLIANCE:

2016 CBC,CMC,CPC,CEC, CRC
 2016 CAL GREEN STANDARDS
 2016 CALIFORNIA ENERGY CODE
 CITY CODES AND ORDINANCES

DRAWING DIRECTORY

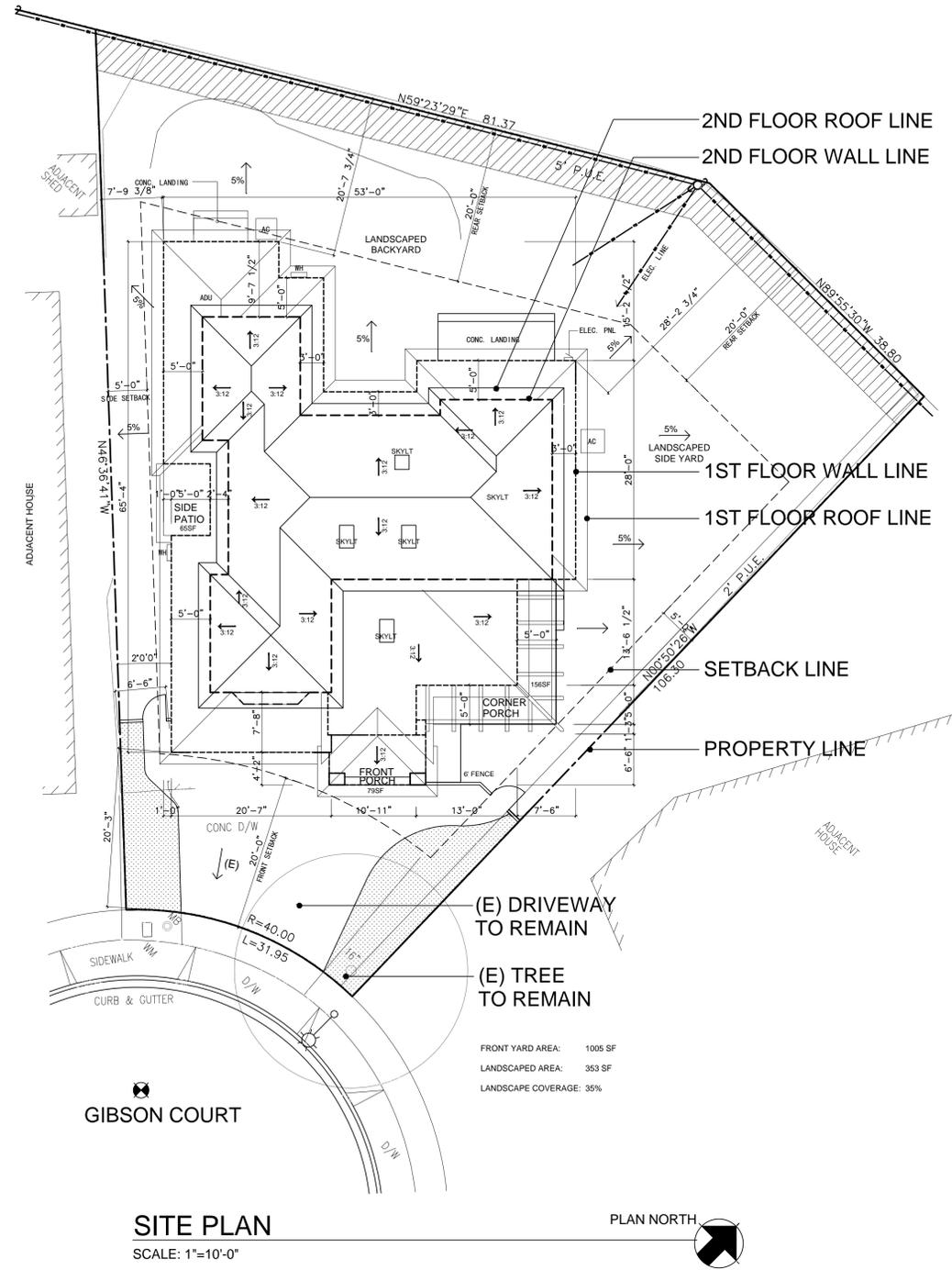
- A-1.1 COVER SHEET AND SITE PLAN
- A-1.2 DEMO PLAN, (E) ELEVATIONS & NEIGHBORHOOD IMAGES
- A-2.1 PROPOSED FLOOR PLANS
- A-3.1 PROPOSED ELEVATIONS

ABBREVIATIONS

- &: And
- @: At
- ABV: Above
- AC: Air Conditioning, Acoustical
- ADH: Adhesive
- ADJ: Adjust, Adjustable, Adjacent
- AF: Above Finished Floor
- AGA: American Gas Association
- ALT: Alternate, Alteration; Altitude
- BR: Bedroom
- CLG: Ceiling
- CLO.: CLEAN-OUT
- CSMT: CASEMENT
- DTL. DETAIL
- E: EXISTING
- ELEC.: ELECTRICAL
- GA: Gauge, Gage
- GAL: Gallon
- GC: General Contractor
- GFCl: Ground Fault Circuit Interrupted
- GLZ: Glaze
- GPH: Gallons Per Hour
- GVL: Gravel
- GYP: Gypsum
- GYP BD: Gypsum Board
- INSTL.: Install
- N: NEW
- PNL.: PANEL
- S.D.: STRUCTURAL DRAWING
- SH: SINGLE HUNG
- U.O.N.: Unless Otherwise Noted
- V.C.T.: Vinyl Composition Tile
- V.I.F.: VERIFY IN FIELD
- VERT: Vertical
- VYL: Vinyl
- WD: Wood
- WDW: Window
- W.P.M: Water Proofing Membrane
- WT: Weight
- YD: Yard

GRAPHIC SYMBOL LEGEND

- WORK POINT, CONTROL POINT OR DATUM POINT INDICATION
- DETAIL NUMBER
- DETAIL CUT INDICATOR
- SHEET LOCATION
- DETAIL AREA CUT
- ELEVATION VIEW
- ELEVATION NUMBER
- SHEET LOCATION
- BUILDING SECTION LETTER
- SHEET LOCATION
- FULL BUILDING SECTION
- PARTIAL BUILDING SECTION
- REVISION NUMBER
- AREA OF REVISION
- PROJECT AND TRUE NORTH
- WINDOW AND DOOR SIZE TAG: 3'-0"X5'-0"
- SHEET NOTES TAG
- DOOR TAG, SEE WINDOW/DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW/DOOR SCHEDULE



SITE PLAN

SCALE: 1"=10'-0"

SITE PLAN NOTES

1. SEE GENERAL NOTES ON A2.1 FOR ADDITIONAL INFORMATION
2. THE SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND LIMITED SITE PLAN LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY IN FIELD ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES AND SETBACKS, EASEMENTS, UTILITIES AND SUBSTRUCTURES. SITE SPECIFIC SOILS REPORTS AND CIVIL DRAWINGS SHALL TAKE PRECEDENCE OVER NOTES AND DETAILS ON THIS SET OF DOCUMENTS.
3. THIS PLAN IS NOT A GRADING AND DRAINAGE OR EROSION CONTROL PLAN. CONSULT A CIVIL ENGINEER FOR SUCH INFORMATION.
4. DISPLACED TOP SOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION
5. ALL GRADING, SITE PREPARATION, PLACEMENT AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH THE COUNTY OF SANTA CLARA, GRADING ORDINANCE AND ALSO UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.
6. AT A MINIMUM, THE PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO STREET (OR OTHER SUITABLE DISCHARGE POINT DETERMINED BY THE CIVIL ENGINEER AND/OR LOCAL GOVERNING AUTHORITY), VIA A NON-CORROSIVE DEVICE.
7. ALL FOUNDATION PERIMETER AND ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DISCHARGE SYSTEM.
8. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO THE BUILDING, STRUCTURES, OR UTILITY BOXES.
9. SEE LANDSCAPE OR CIVIL DRAWINGS FOR ALL SITE AND HARDSCAPE DRAINAGE.
10. WATER SHOULD BE PREVENTED FROM PONDING ANYWHERE ON THE LOT PARTICULARLY NEAR THE HOUSE. WATER FROM DOWN SPOUTS AND YARD DRAINS SHOULD BE CONNECTED TO TIGHTLINE PIPES THAT CARRY THE WATER TO AVAILABLE DISCHARGE FACILITIES. REFER TO A-4 CALGREEN CHECKLIST.
11. CRAWL SPACES SHOULD BE GRADED IN SUCH A WAY THAT WATER WHICH MAY STILL ENTER THE CRAWL SPACE FLOWS TO A LOW POINT WHERE IT CAN BE PIPED BENEATH THE PERIMETER FOUNDATION (GRADE BEAM OR "T" FOOTING) AND DISCHARGED.
12. AT ALL RETAINING WALLS, LANDSCAPE WALLS OR CLOSE PROXIMITY TO STRUCTURES, PROTECTIVE SUB DRAINAGE SHALL BE INSTALLED BENEATH THE FILLS IN THE SWALE AREAS. THE SUB DRAINS SHOULD CONSIST OF A BLANKET OR TRENCH FILLED WITH CLASS TWO PERMEABLE MATERIAL AND HAVING A WIDTH OF AT LEAST 18 INCHES. THE SUB DRAINS SHOULD HAVE A VERTICAL HEIGHT OF 4 FEET AND SHOULD BE INSTALLED AT THE BACK OF THE LOWEST ELEVATION POSSIBLE TO PERMIT DAYLIGHT DRAINAGE ON THE PROPERTY (OR TO AN APPROVED DISCHARGE SYSTEM). ENDS OF PIPES SHALL BE RIP RAPPED SO THEY WILL NOT BECOME BLOCKED IN THE FUTURE. SLD. AND SEE CIVIL AND LANDSCAPE PLUS SEE DETAILS FOR ANY REQUIRED WATERPROOFING ALONG THE VERTICAL FACE OF ANY BURIED WALLS.



REVISIONS

PROJECT NAME

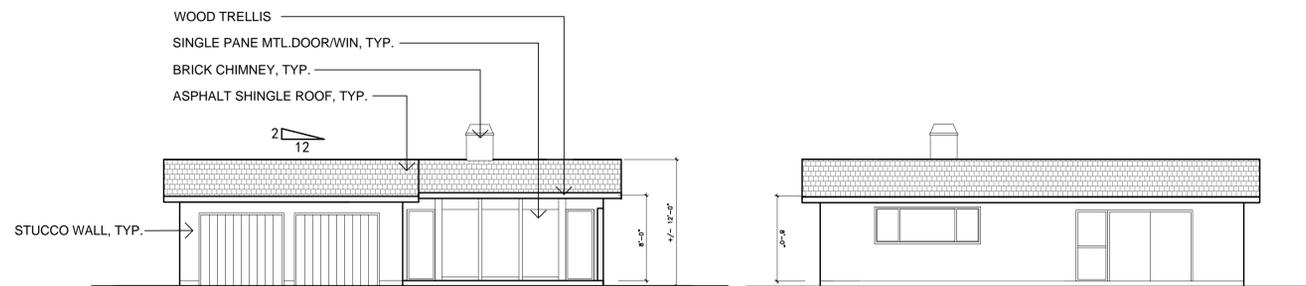
3533 GIBSON COURT, SANTA CLARA, CA
 A NEW HOME PROJECT
 OWNER: MING SUN, TEL: 650 318 7809

DATE: 08/06/2018
 SCALE: AS SHOWN
 SHEET NAME

COVER SHEET & SITE PLAN

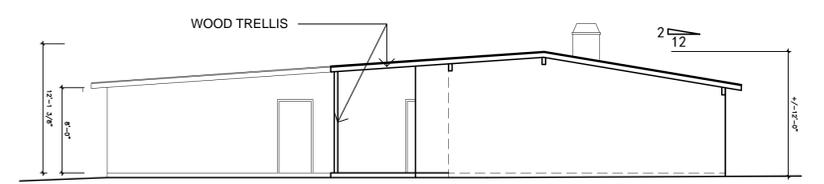
SHEET NO.

A-1.1

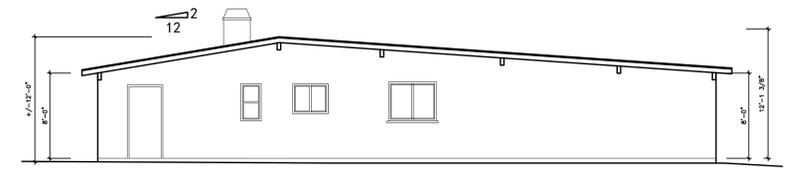


EXISTING FRONT ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"

EXISTING REAR ELEVATION (EAST)
SCALE: 1/4"=1'-0"



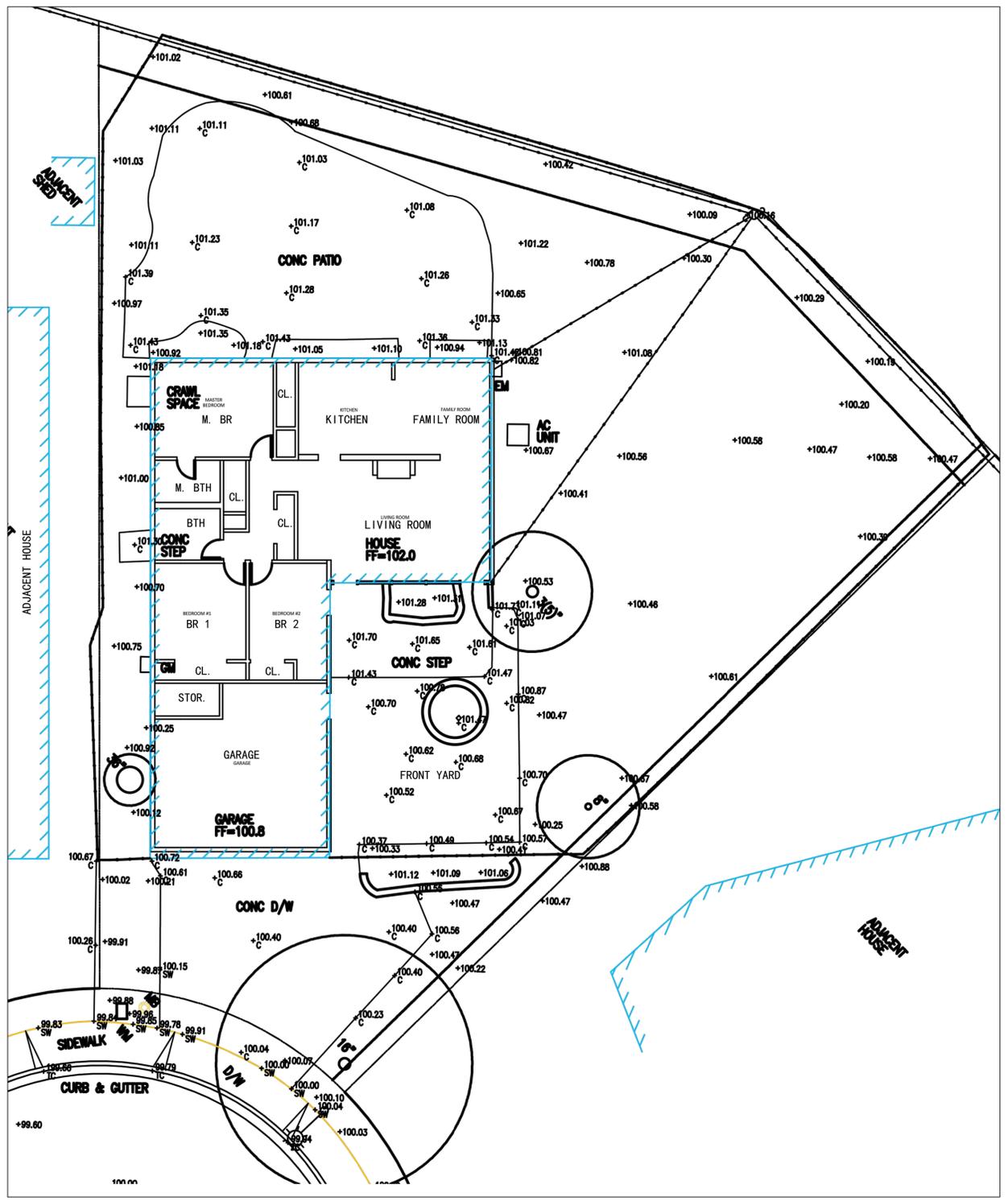
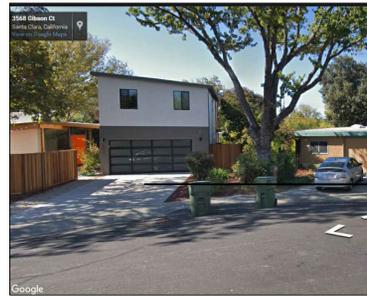
EXISTING BACK ELEVATION (NORTH)
SCALE: 1/4"=1'-0"



EXISTING SIDE ELEVATION (WEST)
SCALE: 1/4"=1'-0"



NEIGHBORHOOD IMAGES



NOTE:
DEMOLISH EXISTING 1-STORY HOUSE WITH 3 BEDROOMS,
2 BATHS AND A 2-CAR GARAGE

1 EXISTING/DEMOLITION SITE PLAN/FLOOR PLAN
SCALE: 1/8"=1'-0"



REVISIONS

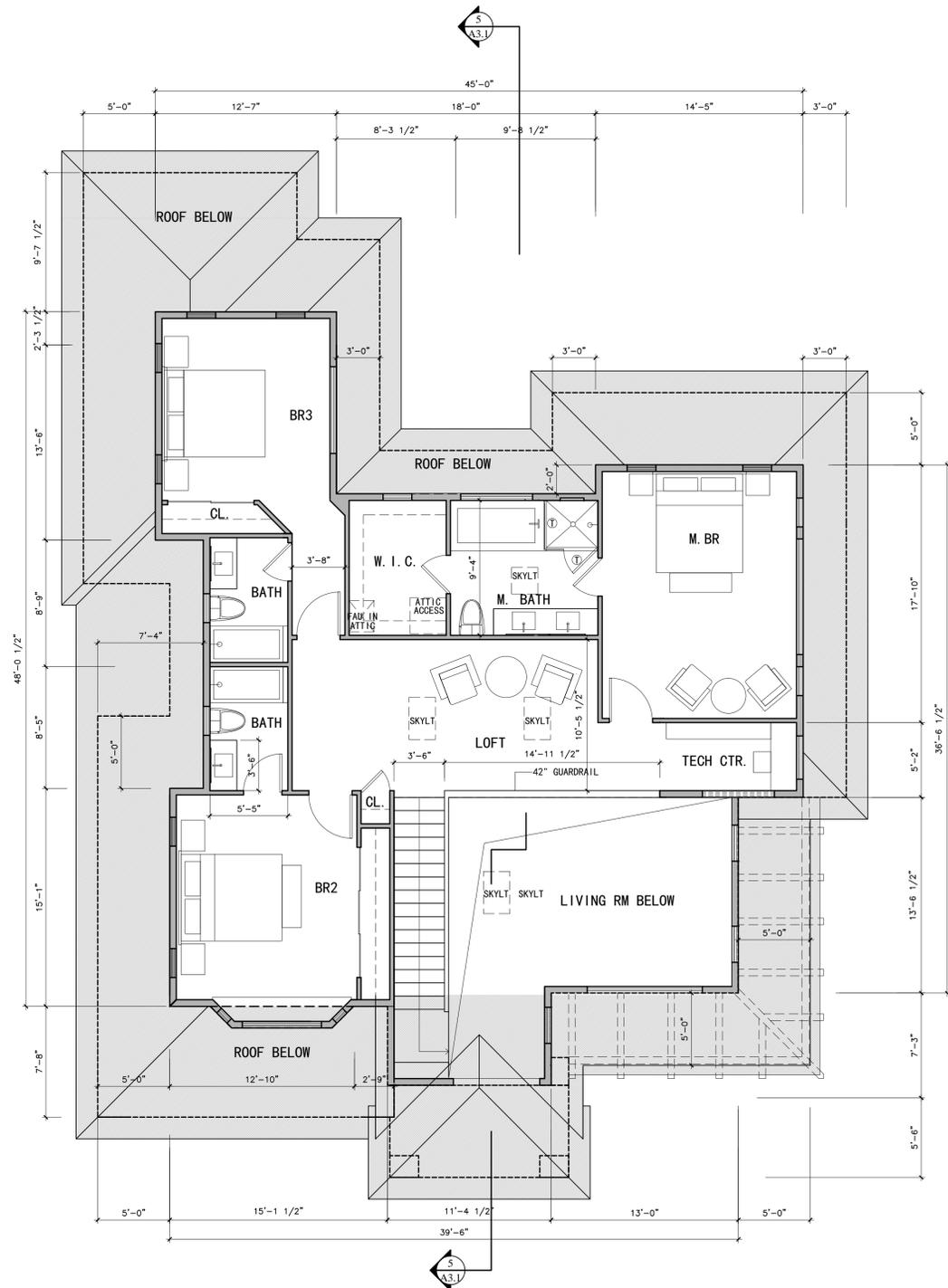
PROJECT NAME

3533 GIBSON COURT, SANTA CLARA, CA
A NEW HOME PROJECT
OWNER: MING SUN, TEL: 650 318 7809

DATE: 08/06/2018
SCALE: AS SHOWN
SHEET NAME
DEMO PLAN &
(E) ELEVATIONS
NEIGHBORHOOD
IMAGES
SHEET NO.

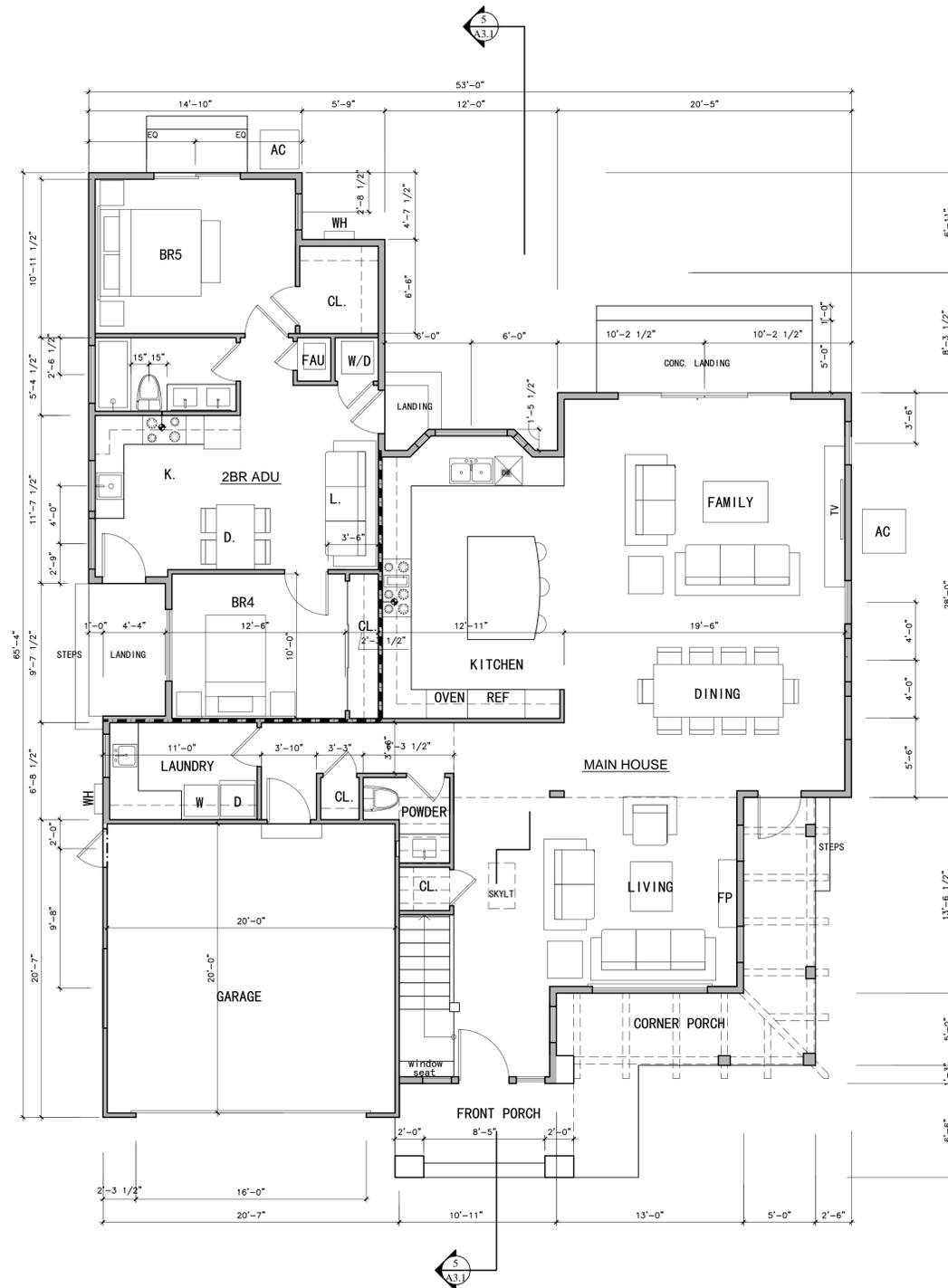
LEGEND

- 1ST FLOOR LINE BELOW
- ===== NEW WALL
- ▨ ROOF BELOW



2 PROPOSED 2ND FLOOR PLAN
SCALE: 3/16"=1'-0"

2ND FL. LIVING AREA: 1300 SF



1 PROPOSED 1ST FLOOR PLAN
SCALE: 3/16"=1'-0"

MAIN HOUSE 1ST FL. LIVING AREA: 1466 SF
ADU AREA: 697 SF
GARAGE AREA: 412 SF
TOTAL LIVING AREA FOR 1ST & 2ND FL.: 3463 SF



REVISIONS

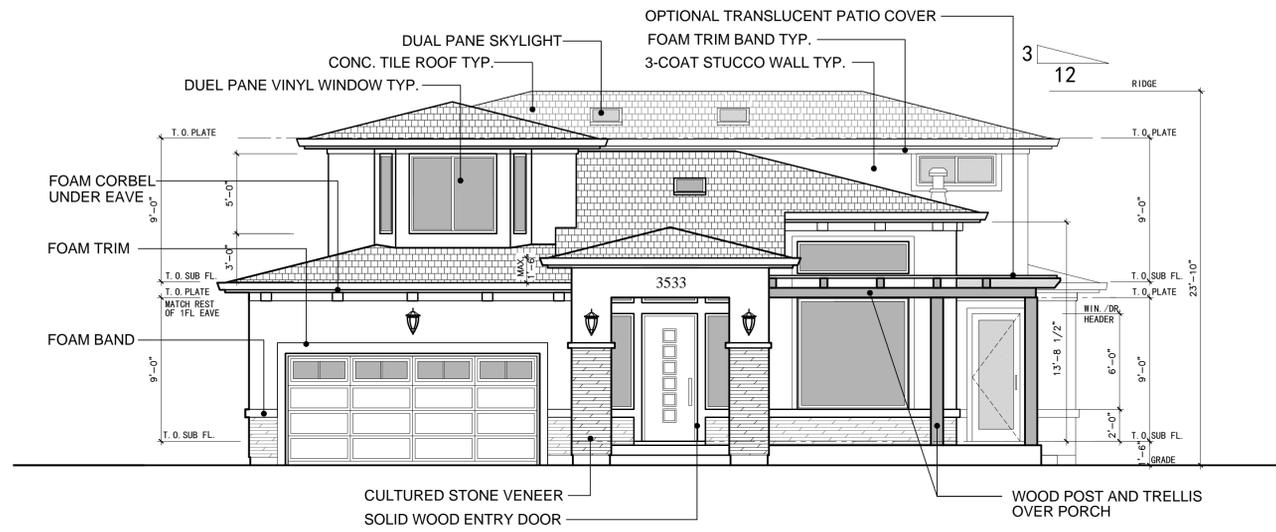
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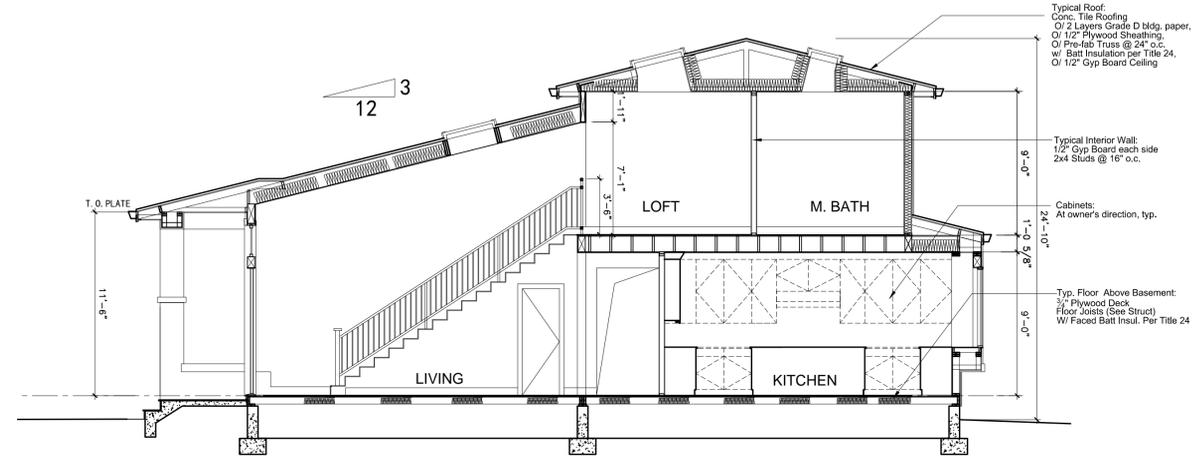
DATE: 08/06/2018
SCALE: AS SHOWN
SHEET NAME

PROPOSED FLOOR PLANS

SHEET NO.



1 FRONT ELEVATION(SOUTH EAST)
SCALE: 3/16"=1'-0"



5 BUILDING SECTION
SCALE: 3/16"=1'-0"



2 SIDE ELEVATION (NORTH EAST)
SCALE: 3/16"=1'-0"



3 SIDE ELEVATION (SOUTH WEST)
SCALE: 3/16"=1'-0"



4 REAR ELEVATION (NORTH WEST)
SCALE: 3/16"=1'-0"

REVISIONS

PROJECT NAME

3533 GIBSON COURT, SANTA CLARA, CA
A NEW HOME PROJECT
OWNER: MING SUN, TEL: 650 318 7809

DATE: 08/06/2018
SCALE: AS SHOWN
SHEET NAME

BUILDING
ELEVATIONS

SHEET NO.