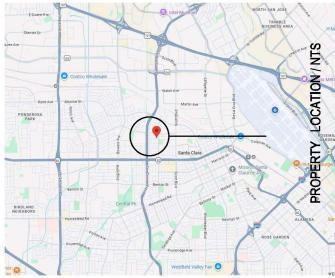


2331 Castro PI Residence

Santa Clara, CA 95050

VICINITY MAP:



PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 224-12-046
 PROJECT TYPE: NEW RESIDENTIAL HOUSE
 PROJECT LOCATION: 2331 CASTRO PI, SANTA CLARA, CA 95050
 ZONING: R1-4L
 OCCUPANCY GROUP: R-3/U
 CONSTRUCTION TYPE: V-B
 NUMBER OF FLOORS: 2
 FIRE PROTECTION: HOUSE & ADU FIRE SPRINKLERS
 UNDER SEPARATE PERMIT
 BEDROOM NUMBER: MAIN HOUSE 4 BEDROOMS
 ADU 2
 BATHROOM NUMBER: MAIN HOUSE 3.5 BATHROOMS
 ADU 1.5
 GARAGE: 2 COVERED ATTACHED
 LOT SIZE: 5942 SQ.FT.
 FLOOR AREA RATIO: 40% (NOT INCLUDING ADU)
 SF OF COMMON LIVING SPACE: 1925 HABITABLE MAIN HOUSE
 ADU HABITABLE SPACE: 756 HABITABLE ATTACHED ADU
 OPEN LANDSCAPE AREA: 3000 SQ.FT.
 EXISTING BUILDING YEAR: 1994

CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL 2025 EDITION
 B. CALIFORNIA BUILDING 2025 EDITION
 C. CALIFORNIA GREEN BUILDING 2025 EDITION
 D. CALIFORNIA MECHANICAL 2025 EDITION
 E. CALIFORNIA PLUMBING 2025 EDITION
 F. CALIFORNIA ELECTRICAL 2025 EDITION
 G. CALIFORNIA ENERGY: 2025 EDITION
 H. CALIFORNIA FIRE: 2025 EDITION
 ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. 2025 EDITION
 I. SANTA CLARA MUNICIPAL CODE 2025 EDITION

PROJECT CONTACT:

OWNER: JENSEN HSU
 2331 CASTRO PI
 SANTA CLARA, CA 95050
 EMAIL: JENSEN1203@GMAIL.COM
 DESIGNER: RAMIN ZOHOOOR
 NILSENE BUILDER INC.
 21080 HOMESTEAD RD,
 #216
 CUPERTINO, CA 95014
 TEL: 408-497-5071
 EMAIL: ZOHOOORRAMIN@GMAIL.COM
 STRUCTURAL: HIEN T. KIM NGUYEN
 SDCOSIGN ENGINEERING
 15 DUBERSTEIN DR
 SAN RAMON, CA 94583
 TEL: 408-993-6906
 EMAIL: SDCOSIGNENG@GMAIL.COM
 BUILDER: NILSENE BUILDER INC.
 21080 HOMESTEAD RD,
 #216
 CUPERTINO, CA 95014
 TEL: 408-499-6935
 EMAIL: nilseneb@gmail.com
 ENERGY: GM DESIGN
 122 WENDY CT,
 UNION CITY, CA 94587
 TEL: 408-565-5044
 EMAIL: gmarin@gm201@gmail.com
 SURVEY: OSUNA ENGINEERING INC.
 1949 O'TOOLE WAY,
 SAN JOSE, CA 95131
 TEL: 408-772-4381
 EMAIL: INFO@OSUNAENGINEERING.COM

DRAWING INDEX:

ARCHITECTURAL PLAN:
 A-00.01: COVER SHEET
 TOPO & BOUNDARY MAP
 A-01: SITE PLAN CONDITIONS
 A-01: FIRST FLOOR PLAN CONDITIONS
 A-02: SECOND FLOOR PLAN CONDITIONS
 A-03: ROOF PLAN CONDITIONS
 A-04: WINDOW & DOOR SCHEDULE
 A-05: PROPOSED ELEVATIONS
 A-06: PROPOSED ELEVATIONS
 A-07: PROPOSED SECTIONS
 A-08: MATERIAL BOARDS
 C0: COVER SHEET
 C1: GRADING AND DRAINAGE PLAN
 C2: UTILITY PLAN
 C3: CONSTRUCTION DETAILS
 C4-C4.2: EROSION AND SEDIMENT CONTROL PLAN
 C5: BEST MANAGEMENT PRACTICES (BMP SHEET)
 C6: CITY STANDARDS

AREA CALCULATION:

EXISTING CONDITION:
 DEMO EXISTING HOUSE FULL STRUCTURAL AT 1108 SQ.FT.
 *** NEW CONDITIONS
 "N" MAIN HOUSE: 1020 SQ.FT (1ST FLR)
 "N" MAIN HOUSE: 905 SQ.FT (2ND FLR)
 "N" ATTACHED ADU FLR: 798 SQ.FT
 "N" ATTACHED GARAGE: 489 SQ.FT
 "N" PORCH & REAR PATIO: 300 SQ.FT
 LOT AREA: 5942 SQF

LOT COVERAGE (NOT INCLUDING ADU)
 $1020+489+300 / 5942 = 1809 / 5942 = 0.304 = 30.4\%$
 LOT COVERAGE (INCLUDING ADU)
 $1020+489+300+798 = 2607 / 5172 = 0.504 = 50.4\%$

SCOPE OF WORK

- DEMO EXISTING SINGLE STORY HOUSE.
- NEW SINGLE FAMILY HOME WITH AN ATTACHED ADU.
- CREATE NEW TWO STORY MAIN HOUSE WITH TOTAL OF 4 BEDROOMS, 3 FULL BATHS AND ONE HALF BATHROOM.
- MAIN HOUSE TO HAVE OPEN CONCEPT KITCHEN, DINING, & FAMILY ROOM SPACE.
- NEW TWO CARS GARAGE.
- SECOND FLOOR WITH THREE BEDROOMS, AND TWO FULL BATHROOMS.
- MAIN HOUSE TO HAVE 400 AMP.
- HEAT PUMP WATER HEATER AND FURNACE FOR THE MAIN HOUSE.
- ATTACHED ADU WITH TWO BEDROOMS, ONE FULL BATHROOM AND ONE HALF BATHROOM.
- OPEN CONCEPT KITCHEN AND LIVING ROOM.
- STACKABLE WASHER & DRYER.
- 200 AMP PANEL CONNECTED TO THE MAIN HOUSE PANEL GROUPED TOGETHER.
- HEAT PUMP FURNACE SERVING THE ADU.
- TANKLESS WATER HEATER SERVING THE ADU.

- * FIRE SPRINKLERS UNDER SEPARATE PERMIT
- * 2.92 kWdc DC PV SYSTEM REQUIRED.
- * EV CHARGER SEPARATE PERMIT

PLUMBING NOTES: (IMPORTANT READ)

All existing non-compliant plumbing fixtures in the dwelling unit shall be replaced with water conserving fixtures as listed in the table below. Note the requirements on plans.

Fixture Type	Non-Compliant (Flow rate over)	Conserving Fixtures (Max flow rate)
Kitchen Faucet	2.2 Gal/min	1.8 Gal/min @ 60 psi
Other Faucets	2.2 Gal/min	1.2 Gal/min @ 60 psi
Shower*	2.5 Gal/min	1.8 Gal/min @ 60 psi
Water Closet	1.6 Gal/flush	1.28 Gal/flush

*Flow rates combined for all showerheads and/or other outlets controlled by a single valve. (CGBCS 4.303, California CIV 1101.41)

PERMIT NOTES:

- Applications for which no permit is issued with 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandoned for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than ONE extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactivation fee shall be approximately 100% of the original permit fee, per CRC R105.5.

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

HERS NOTES:

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT. PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

ADDITIONAL NOTES:

MINIMUM 65 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED PER CALIFORNIA GREEN BUILDING CODE SECTION 4.408.1

New Issues & Attached ADU

2331 Castro PI
Santa Clara, CA 95050

2331 Castro PI,
 Santa Clara, CA 95050

REVISION TABLE:

NO. REVISION RESPONSE
 1. PLANING RESPONSE
 2. PLANING RESPONSE
 3. PLANING RESPONSE
 4. PLANING RESPONSE



NILSENE BUILDER INC.

DESIGNER:
 NILSENE BUILDER INC.
 21080 HOMESTEAD ROAD,
 #216
 CUPERTINO, CA 95014
 TEL: 408-497-5071
 ZOHOOORRAMIN@GMAIL.COM

SHEET TITLE:

COVER SHEET

PROJECT ID: _____ 2028
 DATE: _____
 SCALE: _____
 DRAWN BY: RAMIN ZOHOOOR
 NILSENE BUILDER INC.

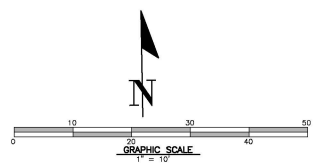
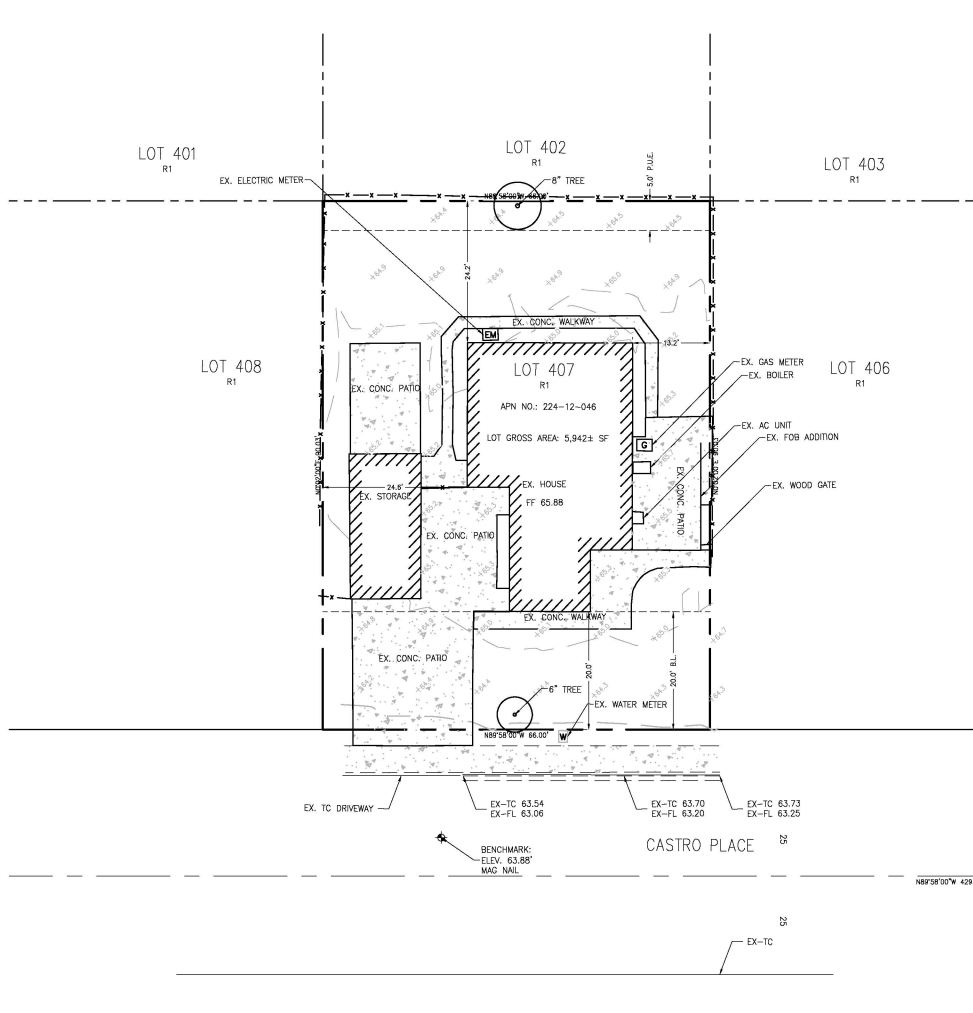
SHEET NUMBER:

A-00.01

OWNERSHIP:
 DESIGNER:
 NILSENE BUILDER INC.
 RAMIN ZOHOOOR
 ZOHOOORRAMIN@GMAIL.COM

D. R. Johnson

- LEGEND**
- 200--- EXISTING CONTOUR LINE
 - 200- NATURAL GRADE CONTOUR LINE
 - ⊙ FOUND CITY MONUMENT BOX, OR AS NOTED
 - BOUNDARY OF PROPERTY SURVEYED
 - () RECORD INFORMATION
 - CENTERLINE
 - △ CURB INLET
 - CURB LINE
 - DRIVEWAY APRON
 - ⊙ ELECTROUCLER
 - FENCE
 - ◆ FIRE HYDRANT
 - FLAT GRATE INLET
 - O.H. PWR OVERHEAD POWER LINE
 - O.H. TEL OVERHEAD TELEPHONE LINE
 - S.S. SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - ▽ SIGN
 - S.D. STORM DRAIN LINE
 - S.D. MANHOLE
 - UTILITY BOX
 - UTILITY POLE
 - WATER LINE
 - W WATER METER
 - WV WATER VALVE
 - EH ELECTRIC METER
 - WH WATER HEATER
 - GAS



BASIS OF BEARINGS
 THE BEARING NORTH 89°58'00" WEST OF THE CENTER LINE OF WARBURTON AVENUE AS SHOWN ON THAT MAP OF TRACT NO 731 FILED FOR RECORD IN BOOK 28 OF MAPS PAGES 16 THROUGH 17, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

- REFERENCES**
- R1 TRACT NO. 1063 46-M-33
 - R2 TRACT NO. 1022 38-M-42
 - R3 TRACT NO. 731 28-M-16

BENCH MARK
 DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE SOUTHERLY CORNER OF LOT AS SHOWN.
 PROJECT BENCHMARK 63.88' (NAVD88 DATUM)

- ABBREVIATIONS**
- APN ASSESSOR'S PARCEL NUMBER
 - AE ANCHOR EASEMENT
 - BM BENCH MARK
 - BL BUILDING LINE
 - CATV CABLE TELEVISION OVERHEAD
 - D CURVE DELTA
 - DRIVY DRIVEWAY
 - DS DOWNSPOUT
 - EX EXISTING
 - FF FINISH FLOOR
 - FL FLOW LINE ELEVATION
 - GF GARAGE FINISH FLOOR
 - IP IRON PIPE
 - L CURVE LENGTH
 - RD REFERENCE DOCUMENT
 - M-M MONUMENT TO MONUMENT
 - O.H. PWR OVERHEAD POWER LINE
 - O.H. TEL OVERHEAD TELEPHONE LINE
 - PCL PARCEL
 - P.M. PARCEL MAP
 - PTN PORTION
 - R RADIUS
 - S.D. STORM DRAIN
 - SS SANITARY SEWER
 - TC TOP OF CURB ELEVATION
 - TEMP. TEMPORARY
 - PUE PUBLIC UTILITY EASEMENT
 - WLE WATER LINE EASEMENT
 - WCE WIRE CLEARANCE EASEMENT


- NOTES:**
1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
 3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
 4. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
 5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER IMPLIED NOR IMPLIED FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 8. RECORD EASEMENTS ARE SHOWN AS INDICATED IN THE TITLE REPORT PROVIDED BY OWNER, PREPARED BY CORNERSTONE TITLE DATED NOVEMBER 1, 2023

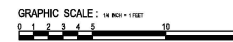
REVISIONS	BY	DATE



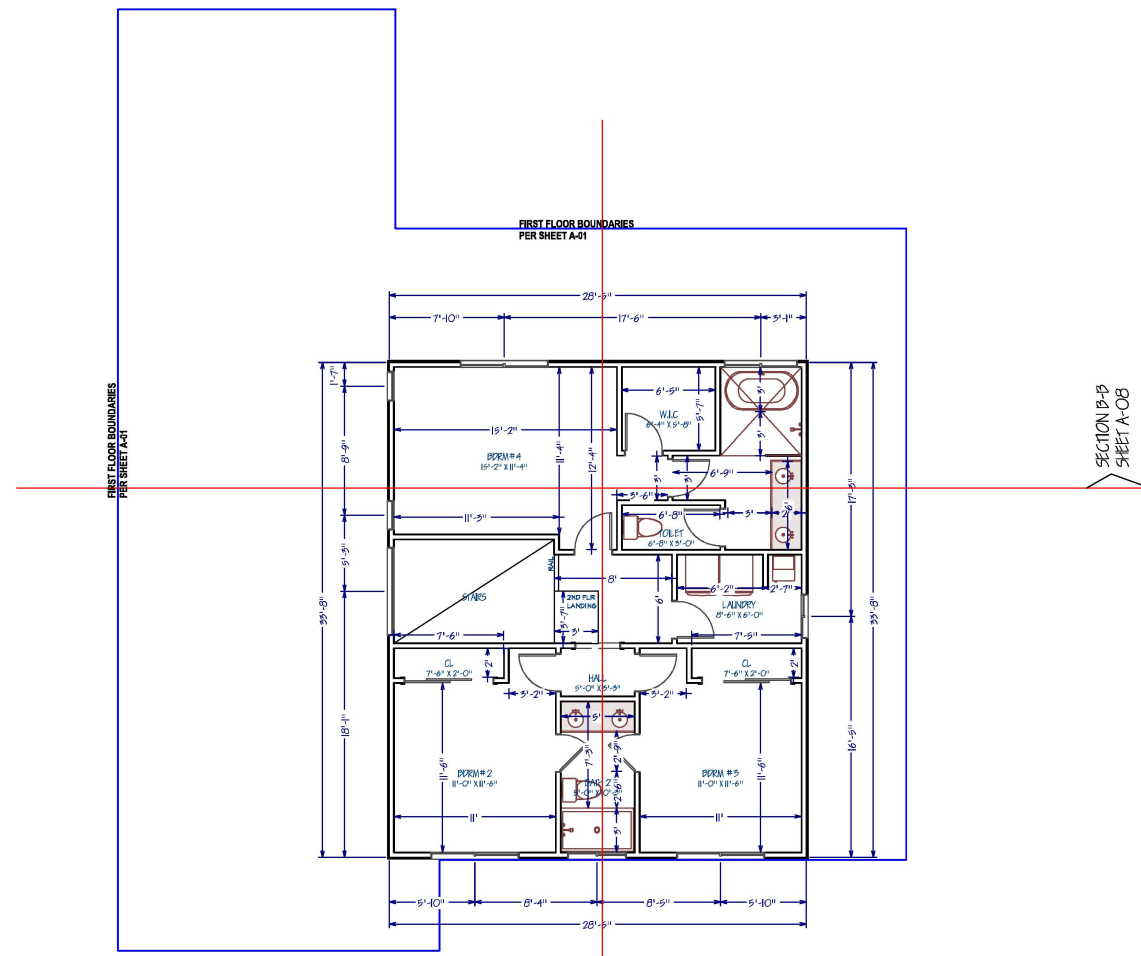
PRELIMINARY SITE SURVEY
 2331 CASTRO PL
 APN: 224-12-046
 SHEET NO. 105 | DRAWN BY: [] | CHECKED BY: [] | DATE: 2-28-25

LEGEND:

-  NEW CONSTRUCTION WALL
2X4 @ 16" O.C. WALL STUDS
OR PER STRUCTURAL DRAWINGS
-  FIRST FLOOR
BOUNDARIES







NORTH



1 PROPOSE FLOOR PLAN
SECOND FLOOR
SC: 1/8" = 1'-0"

New Issues & Attached ADU
**2331 Castro Pl
Santa Clara, CA 95050**
2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:	
	PLANNING RESPONSE PLAN 11/08/2026
	PLANNING RESPONSE PLAN 2/08/2028
	



NBI
NILSENE BUILDER INC.
DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-497-8071
ZOHOCR.RAMING@GMAIL.COM

SHEET TITLE:
**SECOND LEVEL
FLOOR PLAN**



PROJECT ID: _____
DATE: _____ 2028
SCALE: _____
DRAWN BY: RAMIN ZOHOCR
NILSENE BUILDER INC.

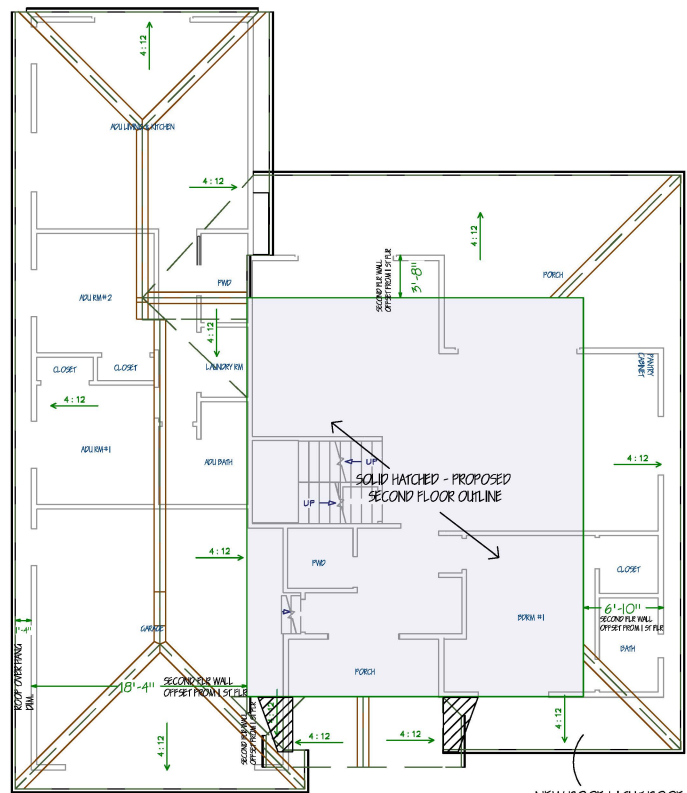
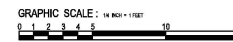
SHEET NUMBER:
A-02

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMING@GMAIL.COM

R. Johnson

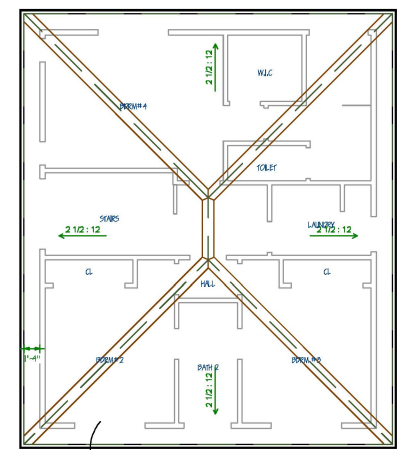
LEGEND:

-  NEW CONSTRUCTION WALL
2X4 @ 16" O.C. WALL STUDS
OR PER STRUCTURAL DRAWINGS
-  SECOND FLOOR
OUTLINE



NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15
UNDERLAYMENT

ROOF PITCHED
AT 4:12
PROPOSE ROOF PLAN
FIRST FLOOR
SC: 1/8" = 1'-0"




NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15
UNDERLAYMENT

ROOF PITCHED
AT 2:5:12
PROPOSE ROOF PLAN
SECOND FLOOR
SC: 1/8" = 1'-0"

New Issues & Attached ADU
**2331 Castro Pl
Santa Clara, CA 95050**
2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:
▲ PLANNING RESPONSE NOV 11 / 08 10:20:28
▲ PLANNING RESPONSE NOV 27 / 08 10:20:28
▲



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-497-8071
ZOHOCR.RAMIN@GMAIL.COM

**ROOF PLAN
CONDITIONS**

PROJECT ID: _____
DATE: _____ 2028
SCALE: _____
DRAWN BY: RAMIN ZOHOCR
NILSENE BUILDER INC.

SHEET NUMBER:
A-03

OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMIN@GMAIL.COM



NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



PROPOSED FRONT ELEVATION
SC: 1/4" = 1'-0"

ELEVATIONS NOTES:

1. STUCCO 7/8" THICK IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER CORROSION RESISTANT METAL LATH OR WIRE LATH PER CRC R703.7.1
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.7.2.1
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.7.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.
7. R703.7.3 Water-resistive barriers. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall comply with Section R703.7.3.1 or R703.7.3.2.

NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



PROPOSED REAR ELEVATION
SC: 1/4" = 1'-0"

VERTICAL GLASS, WALL COVERINGS, ROOF COVERINGS, AND FENESTRATION NOTES:

- a. Glass sloped 15 degrees (0.26 rad) or less from vertical in windows, curtain and window walls, doors and other exterior applications shall be designed to resist the wind loads due to ultimate design wind speed, Vult, in Section 1609 for components and cladding per CBC §2404.1.
- b. Wall coverings, backing materials and their attachments shall be capable of resisting wind loads in accordance with Tables R301.2.1(1) and R301.2.1(2) per Wind Resistance CRC §R703.1.2.
- c. Roof coverings installed on roofs in accordance with Section 1507 that are mechanically attached or adhered to the roof deck shall be designed to resist the design wind load pressures for components and cladding in accordance with Section 1609.5.2 per CBC §1504.4.
- d. Exterior windows and sliding doors shall be tested and labeled per CBC §1709.5.1 and CBC §1709.5.2.
- e. Fenestration Products and Exterior Doors shall meet CEN Section 110.6 Mandatory Requirements listed in the Residential Certificate of Compliance CF1R form.
- f. Labeling per CEN §110.6(a)5A. Fenestration products and exterior doors shall have a temporary label for manufactured fenestration products and exterior doors. The temporary label shall not be removed before inspection by the enforcement agency.

New Issues & Attached ADU

2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:	PLANNING RESPONSE
▲	PLANNING RESPONSE
▲	PLANNING RESPONSE
▲	PLANNING RESPONSE



DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-497-8071
ZOHOOOR.RAMING@GMAIL.COM

SHEET TITLE:

**PROPOSED
ELEVATIONS**

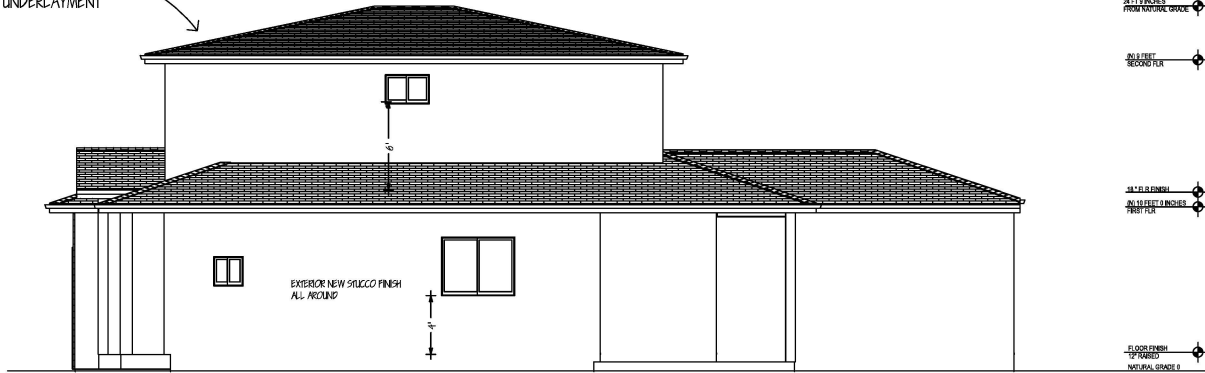
PROJECT ID: _____
DATE: _____ 2028
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR
ZOHOOOR.RAMING@GMAIL.COM
SHEET NUMBER:

A-05

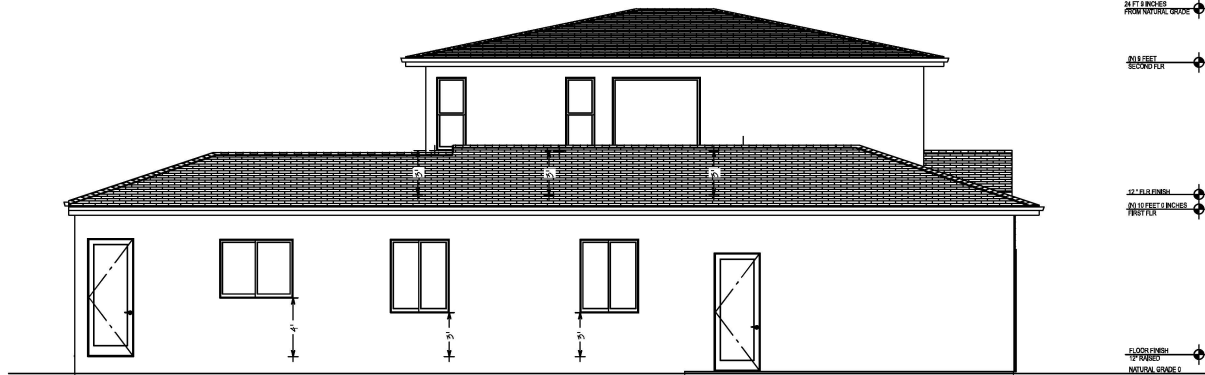
OWNERSHIP:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMING@GMAIL.COM

[Signature]

NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



PROPOSED RIGHT ELEVATION
SC: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
SC: 1/4" = 1'-0"

New Inspec & Attached ADU

2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:
 A PLANING RESPONSE
 A PLANING RESPONSE
 A PLANING RESPONSE
 A PLANING RESPONSE



DESIGNER:
NILSENE BUILDER INC.
2188 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-8071
ZOHOCR.RAMIN@GMAIL.COM

PROPOSED
ELEVATIONS

PROJECT ID: _____
 DATE: _____ 2028
 SCALE: _____
 DRAWN BY: _____ RAMIN ZOHOCR
 SHEET NUMBER: _____ NILSENE BUILDER INC.

A-06

OWNERSHIP:
 DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMIN@GMAIL.COM

[Signature]



INSPIRATION PHOTO
EVES
FASCIA BOARDS AND GUTTER BLACK COLOR



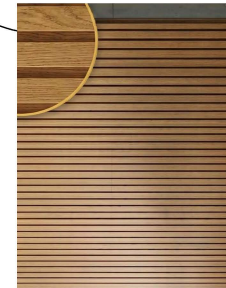
James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish
2X10 FASCIA
JAMES HARDY - WITH ROYAL MOLDING



LIGHT ROOF TILES MIN GLASS 'N'
ON BOTH FIRST AND SECOND FLOOR



Milgard C650 Ultra™
Solar Fiberglass Windows - "black beer color"
*ALL EXTERIOR WINDOWS TO BE FIBER GLASS
**NO WINDOW TRIM PROPOSED
*ALL EXTERIOR DOORS TO BE FIBER GLASS



WPC Exterior Wall Slat Panels Waterproof Outdoor
Composite Siding Cladding 94.5 in x 8.62 in 16.98
sq.ft Light Walnut 3 Pack



EXTERIOR STUCCO
BENJAMIN MOORE
ICEBERG
2142-70
SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES

New Issues & Attached ADU

2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:
▲ PLANNO RESPONSE DATE: 11/08/2028
▲ PLANNO RESPONSE DATE: 11/08/2028
▲ PLANNO RESPONSE DATE: 11/08/2028

NBI
NILSENE BUILDER INC.

DESIGNER:
NILSENE BUILDER INC.
21080 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-497-8071
ZOHOCR.RAMIN@GMAIL.COM

MATERIAL BOARDS

PROJECT ID: _____
DATE: _____ 2028
SCALE: _____
DRAWN BY: RAMIN ZOHOCR
NILSENE BUILDER INC.

SHEET NUMBER:
A-08

OWNER:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMIN@GMAIL.COM

GRADING & DRAINAGE NOTES:

NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

1. ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY. PERMITEE OR REPRESENTATIVE SHALL NOTIFY THE CITY OF SANTA CLARA, DEPARTMENT OF PUBLIC WORKS PROJECT INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
2. APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5-FOOT BUILDING ENVELOPE, AND (C) THE INSTALLATION OF RETAINING STRUCTURES. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. PROPOSED IMPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE, ARE SUBJECT TO REVIEW AND APPROVAL, BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
3. UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
4. IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
5. THE PERMITEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
6. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
7. IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL PURSUANT TO SECTION 70503.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE SANTA CLARA COUNTY CORNER IMMEDIATELY.
8. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY AGRODIST.
9. FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPORT RESULTING FROM PROJECT RELATED EXCAVATION OR LAND CLEARING SHALL BE 100% REUSED AND RECYCLED PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 5.4.6.8.
10. ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. REPORT DATES:
REPORT NUMBER:
SOILS ENGINEERING COMPANY:
CONTACT INFORMATION:
11. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNDESIGNED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
12. PERMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM.
13. ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING.

BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE SOUTHERLY CORNER OF LOT AS SHOWN:
PROJECT BENCHMARK 63.88' (NAVD88 DATUM)

EARTH WORK QUANTITIES

CUT: 28.0 CY
FILL: 28.0 CY
EXPORT: 18.0 CY
IMPORT: 0.0 CY

NOTE: EARTH WORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE. THE PAD OF THE HOUR IS NOT INCLUDED

ABBREVIATIONS

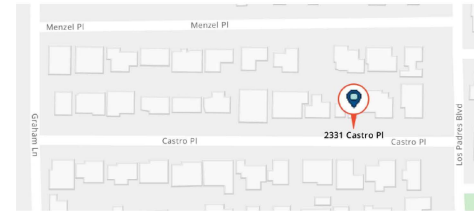
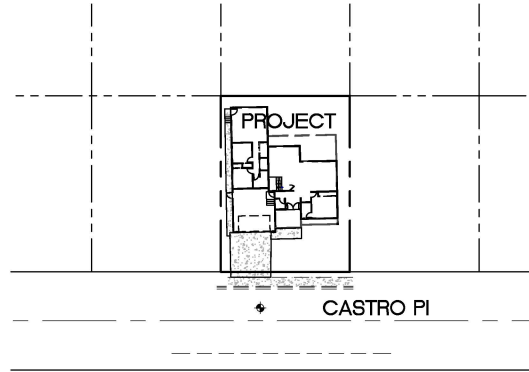
- | | |
|--|--------------------------------------|
| AC = ASPHALT CONCRETE | LP = LOW POINT |
| AD = AREA DRAIN | PAD = PAD ELEVATION |
| AS = ADJACENT GRADE AT FOUNDATION | PCC = PORTLAND CEMENT CONCRETE |
| BC = BEGIN CURVE | PL = PROPERTY LINE |
| BS = BOTTOM OF STAIR | PP = FINISHED GRADE |
| BU = BUBBLE UP | PVC = POLYVINYL CHLORIDE PIPE |
| BVC = BEGIN VERTICAL CURVE | PVI = POINT OF VERTICAL INTERSECTION |
| BWM = BOTTOM OF RETAINED GRADE AT WALL | RCIP = REINFORCED CONCRETE PIPE |
| CB = CATCH BASIN | ROW = RIGHT OF WAY |
| CL = CENTERLINE | S = SLOPE |
| CO = CLEANOUT | SD = STORM DRAIN |
| CS = CROWNOUT WITH SPLASH BOX | SSMH = STORM DRAIN MANHOLE |
| EC = END CURVE | SG = SUBGRADE ELEVATION |
| ELEV. = ELEVATION | SS = SANITARY SEWER |
| EVC = END VERTICAL CURVE | SSMH = SANITARY SEWER MANHOLE |
| EX = EXISTING | STA = STATION |
| F/C = FACE OF CURB | TC = TOP OF CURB |
| FF = FINISHED FLOOR ELEVATION | TF = TOP OF FINISH |
| FI = FIRE HYDRANT | TOW = TOP OF RETAINED GRADE AT WALL |
| FL = FLOW LINE | TS = TOP OF STAIR |
| GB = GRADE BREAK | TW = TOP OF WALL |
| GF = GARAGE FINISH FLOOR | VCP = VITRIFIED CLAY PIPE |
| HP = HIGH POINT | WM = WATER METER |
| HC = HANDBIC UNIT | WV = WATER VALVE |
| HW = HVERT | |

GRADING AND DRAINAGE PLAN

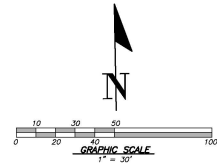
2331 CASTRO PL

SANTA CLARA, CA 95050

APN: 224-12-046



LOCATION MAP



LEGEND

DESCRIPTION	SYMBOL
BANSHEET LINE	---
LEFT LINE	---
EXISTENCE LINE	---
SEWERLINE	---
WALL FENCE	---
PERIMETER FENCE	---
RETAINING WALL	---
DRAINAGE SWAY NUT	---
MANHOLE	---
DROP MANHOLE	---
MONUMENT	---
FIRE HYDRANT	---
ELECTRICIAN	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	---
SANITARY SEWER	---
STREET LIGHT CONDUIT	---
WATER	---
JOINT BOX	---
HOUSE SERVICE	---
SURVEY MONUMENT	---
EXISTING CONDUIT	---
PROPOSED CONDUIT	---
CONCRETE RELEASE	---
DIRECTION OF SURFACE DRAINAGE	---
DE SLOPE AWAY FROM BUILDING	---
DE LINE	---
UNDERGROUND ELECTRICAL LINE	---
UNDERGROUND ELECTRICAL LINE	---
UNDERGROUND WETLAND BOUNDARY	---
ADJACENT GRADE	---
ADJACENT GRADE (NO)	---
ADJACENT PROPERTY (NO)	---
CURTAIN WALL	---
PERVIOUS PAVEMENT	---

SHEET INDEX

COVER SHEET	C0
GRADING AND DRAINAGE PLAN	C1
UTILITY PLAN	C2
CONSTRUCTION DETAILS	C3 - C42
EROSION AND SEDIMENT CONTROL PLAN	C5
BEST MANAGEMENT PRACTICES (BMP SHEET)	C6
CITY STANDARDS	

REGIONS

BY CITY DATE

PROFESSIONAL ENGINEER
No. 70829
Exp. 6-30-27
STATE OF CALIFORNIA

OSUNA ENGINEERING INC.
ENGINEERS & LAND SURVEYORS
1545 S. BASIN AVE., SUITE 100
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info@osuna-engineering.com

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GRADING & DRAINAGE PLAN
COVER SHEET
2331 CASTRO PL
SANTA CLARA, CALIFORNIA
Project No. 1028 | Date: 12/11/2024 | Sheet: 001 of 042

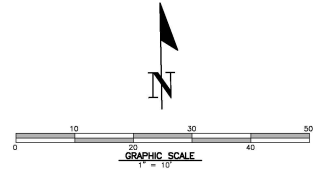
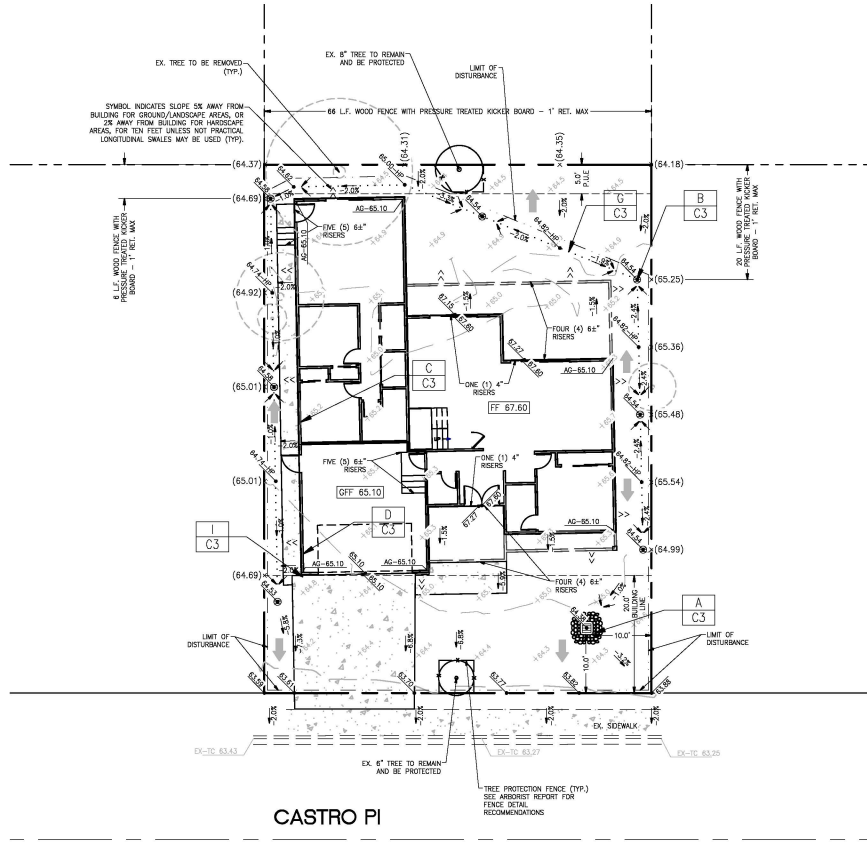
SHEET
C0
OF 8 SHEETS

CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA, CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA, CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA, CALIFORNIA.

CONTRACTOR'S RESPONSIBILITY: THE USER SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT AND THE USER SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND SHALL BE RESPONSIBLE FOR THE COST OF SUCH PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE.

FLOOD_ZONE NOTES:

- FLOOD ZONE DESIGNATION: ZONE AO (DEPTH 1 FEET)
 BASE FLOOD ELEVATION (BFE) CALCULATION:
 $BFE = HAG (BEFORE CONSTRUCTION) + 1' DEPTH$
 $BFE = 65.4 + 1' (DEPTH) = 66.4'$
 CALCULATED BFE = 66.4 FEET (DATUM=NAVD88)
- DESIGN FLOOD ELEVATION (DFE):
 THE CITY REQUIRES ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS IN THE FLOOD ZONE TO MEET THE DESIGN FLOOD ELEVATION (DFE), HEREBY DEFINED AS THE BFE PLUS 1.0 FEET MINIMUM FREEBOARD. PLEASE NOTE THAT THIS ELEVATION IS STIPULATED IN BUILDING CODE ASC24 (FLOOD RESISTANT DESIGN AND CONSTRUCTION) AND IS MORE STRINGENT THAN CRITERIA OUTLINED IN FEMA'S TECHNICAL BULLETIN 3-93 AND 6-93.
 $DFE = BFE + 1'$
 $DFE = 66.4' + 1' = 67.4'$
 DESIGNED FT = $DFE + 0.2' = 67.4' + 0.2' = 67.6'$
- PROJECT TO BE BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.
- ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE (I.E., CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR).
- THE BOTTOM ELEVATION OF ALL APPLIANCES AND MACHINERY SERVICING THE STRUCTURE(S) (METERS, WATER HEATERS, AIR CONDITIONING UNITS, ETC) SHALL BE AT OR ABOVE DFE.
- STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENDOURAGE ONTO ANY NEIGHBORING LOT; RUNOFF MUST BE CONTAINED ON-SITE.
- NO BASEMENTS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE.
- FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE (I.E., CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENING TO 1 SQUARE FOOT OF ENCLOSURE. REFER TO THE ARCHITECTURAL PLANS HEREIN FOR VENT LOCATIONS AND CALCULATIONS.
- FOR SLAB CONSTRUCTION:
 PRIOR TO APPROVAL OF FOUNDATION INSPECTION, A LICENSED SUPERVISOR SHALL VERIFY FOUNDATION ELEVATIONS BY SUBMITTING A SIGNED, STAMPED STATEMENT.
- FOR CRAWLSPACE CONSTRUCTION:
 PRIOR TO APPROVAL OF UNDER FLOOR FRAMING INSPECTION, A LICENSED SUPERVISOR SHALL VERIFY FOUNDATION ELEVATIONS BY SUBMITTING A SIGNED, STAMPED STATEMENT.
- ELEVATION CERTIFICATE AT POST-CONSTRUCTION IS REQUIRED;
 A FINISHED CONSTRUCTION ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.



LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EGREMENT LINE	---
SEWER	---
WOOD FENCE	---
CHAIN LINK FENCE	---
REINFORCING WALL	---
DOWN SPUR INLET	---
AREA DRAIN	---
GRASS PILE	---
MANHOLE	---
PIPE RISER	---
ELECTRICIAN	---
WATER METER	---
AC UNIT	---
SWIMMING POOL	---
STORM DRAIN	---
DOWNSPUT SPIDER	---
DIRECT LIGHT CONDUITS	---
WATER	---
JOINT TRENCH	---
HOUSE SERVICE	---
SLURRY DRAIN	---
EXISTING CONDUIT	---
PROPOSED CONDUIT	---
OVERHEAD RELEASE	---
DIRECTION OF SERVICE DRAINAGE	---
18" DRAIN WITH FLOW BACKFLOW	---
USE LINE	---
THERMAL ELECTRICAL LINE	---
UNDERGROUND ELECTRICAL LINE	---
DUMPSTER W/SPILLWAY BOX	---
ALBERTS DRAIN	---
MANHOLE AND PILE	---
APPROXIMATE FENCE (AO)	---
EXISTING DRIVE	---
PROPOSED DRIVE	---

ABBREVIATIONS

AC = ASPHALT CONCRETE	LP = LOW POINT
AD = AREA DRAIN	PAE = PAD ELEVATION
AG = ADJACENT GRADE AT FOUNDATION	POC = PORTLAND CEMENT CONCRETE
BC = BEGIN CURVE	PL = PROPERTY LINE
BS = BOTTOM OF STAIR	PV = PAVEMENT GRADE
BU = BUBBLE UP	PWC = POT-HOLE CONCOURSE PIPE
BVC = BEGIN VERTICAL CURVE	PVI = POINT OF VERTICAL INTERSECTION
BWM = BOTTOM OF RETAINED GRADE AT WALL	RCR = REINFORCED CONCRETE PIPE
CB = CATCH BASIN	ROW = RIGHT OF WAY
CL = CENTERLINE	S-GRA = SLOPE
CO = CLEANOUT	SD = STORM DRAIN
DS = DOWNSPOUT WITH SPLASH BOX	SDMH = STORM DRAIN MANHOLE
EC = END CURVE	SE = SURFACE ELEVATION
ELEV = ELEVATION	SS = SANITARY SEWER
EVC = END VERTICAL CURVE	SSMH = SANITARY SEWER MANHOLE
EX = EXISTING	STA = STATION
F/C = FACE OF CURB	TC = TOP OF CURB
FF = FINISHED FLOOR ELEVATION	TF = TOP OF FENCE
FL = FINE FINISH	TW = TOP OF RETAINED GRADE AT WALL
FL = FLOW LINE	TS = TOP OF STAIR
GB = GRADE BREAK	TW = TOP OF WALL
GFT = GRADE FINISH FLOOR	WCP = WATERED CLAY PIPE
HP = HIGH POINT	WM = WATER METER
HC = HANDICAP UNIT	WV = WATER VALVE
INV = INVERT	

REGIONAL
 CITY DATE
 BR CITY DATE

PROFESSIONAL ENGINEER
 OSCAR OSUNA
 P.E. 70829 EXP. 6-30-27

NBI
 NILSSON BUILDER INC.

OSUNA ENGINEERING INC.
 Planning | Grading | Civil Engineering
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 1545 S. GARDEN ST., SUITE 200, ANAHEIM, CA 92805
 (714) 932-8888
 info@osunaengineering.com

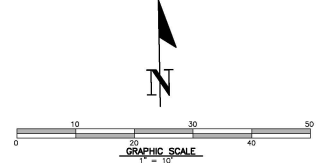
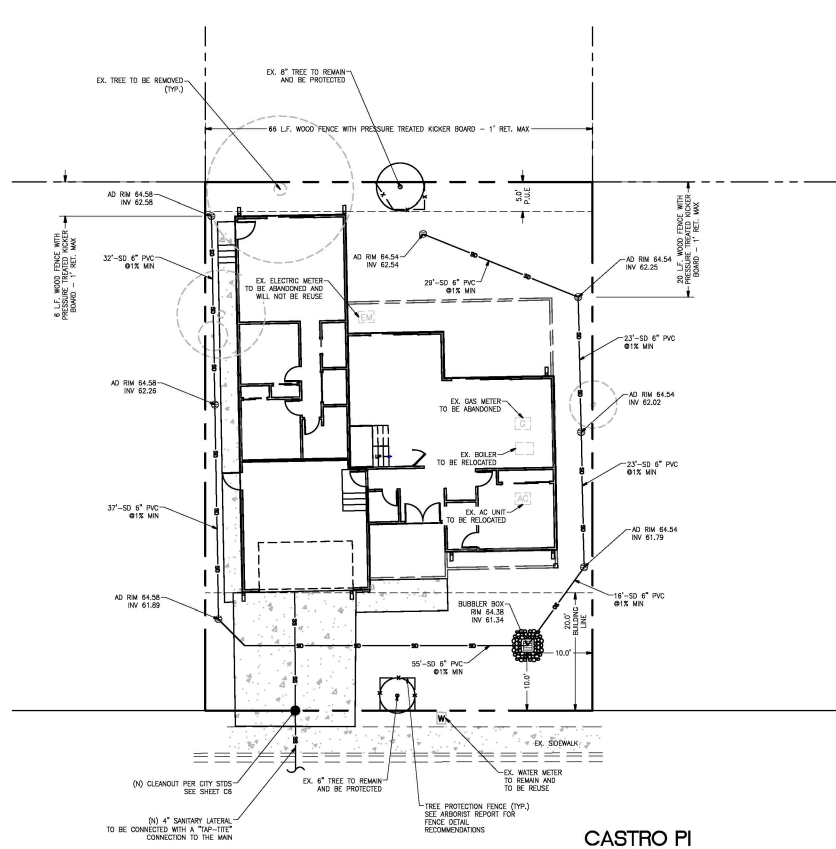
GRADING & DRAINAGE PLAN
 2331 CASTRO PI
 CIVIL ENGINEER
 Oscar Osuna
 Project No. 2025 | Date: 11/21/2025 | Sheet: 8 of 8

SHEET
C1
 OF 8 SHEETS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.

ABBREVIATIONS

AC = ASPHALT CONCRETE	LP = LOW POINT
AD = AREA DRAIN	PAD = PAD ELEVATION
AG = ADJACENT GRADE AT FOUNDATION	PCC = PORTLAND CEMENT CONCRETE
BC = BEGIN CURVE	PL = PROPERTY LINE
BS = BOTTOM OF STAIR	PG = PAVEMENT GRADE
BU = BUBBLE UP	PVC = POLYVINYL CHLORIDE PIPE
ENC = BEGIN VERTICAL CURVE	PH = POINT OF VERTICAL INTERSECTION
BNW = BOTTOM OF RETAINED GRADE AT WALL	RCP = REINFORCED CONCRETE PIPE
CB = CATCH BASIN	RM = RIGHT OF WAY
CL = CENTERLINE	S-100'S = SLOPE
CO = CLEANOUT	SD = STORM DRAIN
DS = DOWNSPOUT WITH SPLASH BOX	SSMH = STORM SEWER MANHOLE
EC = END CURVE	SE = SUBGRADE ELEVATION
ELEV = ELEVATION	SS = SANITARY SEWER
EVC = END VERTICAL CURVE	SSMH = SANITARY SEWER MANHOLE
EXT = EXISTING	STR = STATION
F/C = FACE OF CURB	TC = TOP OF CURB
FE = FINISHED FLOOR ELEVATION	TF = TOP OF FENCE
GB = GRADE BREAK	TRW = TOP OF RETAINED GRADE AT WALL
HL = HIGH POINT	TS = TOP OF STAIR
HC = HANDICAP UNIT	TW = TOP OF WALL
HW = HWY	VCP = VITRIFIED CLAY PIPE
	WM = WATER METER
	WV = WATER VALVE



LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
SEGMENT LINE	---
SEWER	---
WOOD FENCE	---X---
DRAIN LINE FENCE	---X---
REMAINING WALL	---X---
DRAINAGE SWALE	---X---
AREA DRAIN	⊕
DRIP PALET	⊕
PERMITS	⊕
FIRE HYDRANT	⊕
ELECTRICAL	⊕
WATER METER	⊕
PE WHF	⊕
SANITARY SEWER LATERAL	⊕
STORM DRAIN	⊕
SANITARY SEWER	⊕
STREET LIGHT CONDUITS	⊕
WATER	⊕
JOINT TRENCH	⊕
HOUSE SERVICE	⊕
SEWER DRAIN	⊕
EXISTING CONDUIT	⊕
PROPOSED CONDUIT	⊕
OVERHEAD RELEASE	⊕
DIRECTION OF SERVICE DRAINAGE	→
18\"/>	
LOT LINE	---
INDOOR ELECTRICAL LINE	---
UNDERGROUND ELECTRICAL LINE	---
UNDERGROUND ELECTRICAL LINE	---
EXISTING DRIVE	---
PROPOSED DRIVE	---
PROPOSED DRIVE	---
PROPOSED DRIVE	---

REVISIONS

NO.	DATE	BY	CITY	DATE

Raymond Oscar Osuna
 PROFESSIONAL ENGINEER
 No. 70829 Exp. 6-30-27
 STATE OF CALIFORNIA

NBI
 NIELSEN BUILDER INC.

OSUNA ENGINEERING INC.
 Planning | Design | Construction Management

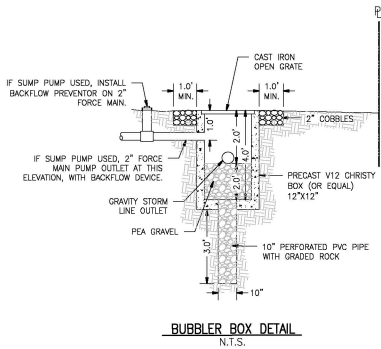
OSUNA ENGINEERING INC.
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GRADING & DRAINAGE PLAN
UTILITY PLAN
2331 CASTRO PI

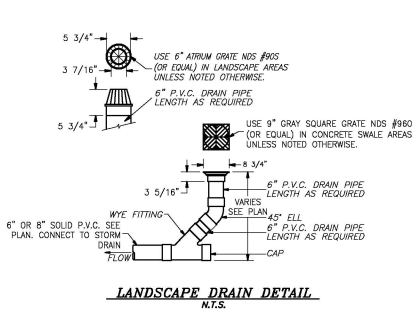
DATE: 04/24/24
 PROJECT NO.: 2331-025 | DRAWING: [T-01] (Sheet 02) of 08 | 3/27/24

SHEET
02
 OF 8 SHEETS

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.

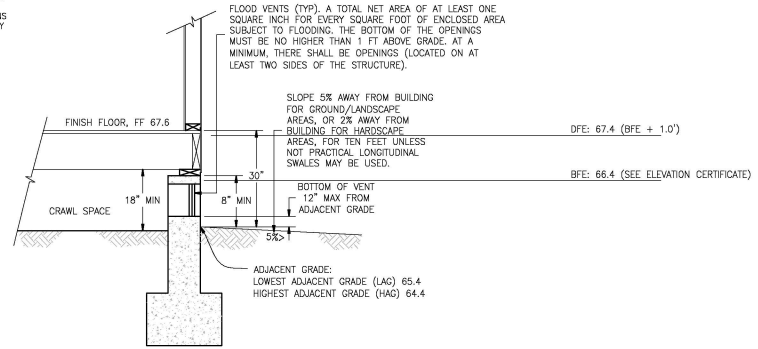


BUBBLER BOX DETAIL
N.T.S.



LANDSCAPE DRAIN DETAIL
N.T.S.

NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND FT DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY THE ENGINEER BEFORE MAKING ANY CHANGES.



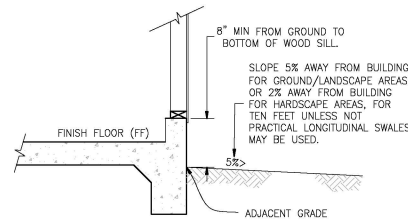
N.T.S.

A BUBBLER BOX DETAIL

B AREA DRAIN DETAIL

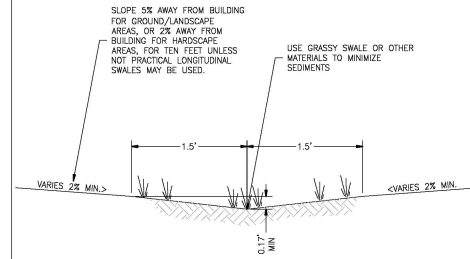
C TYPICAL FOUNDATION/FF/GROUND SECTION

NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND FT DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY THE ENGINEER BEFORE MAKING ANY CHANGES.



N.T.S.

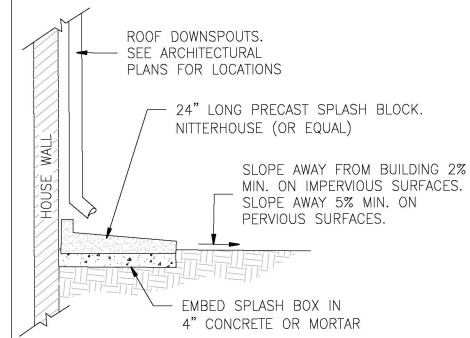
D TYPICAL FOUNDATION/GFF/GROUND SECTION



N.T.S.

D TYPICAL FOUNDATION/GFF/GROUND SECTION

G EARTHEN SWALE DETAIL



SPLASH BLOCK/DOWNSPOUT DETAIL
N.T.S.

I SPLASH BLOCK/DOWNSPOUT DETAIL

REVISIONS	BY	DATE



Osuna
OSCAR OSUNA
RCE 70829 EXP. 6-30-27

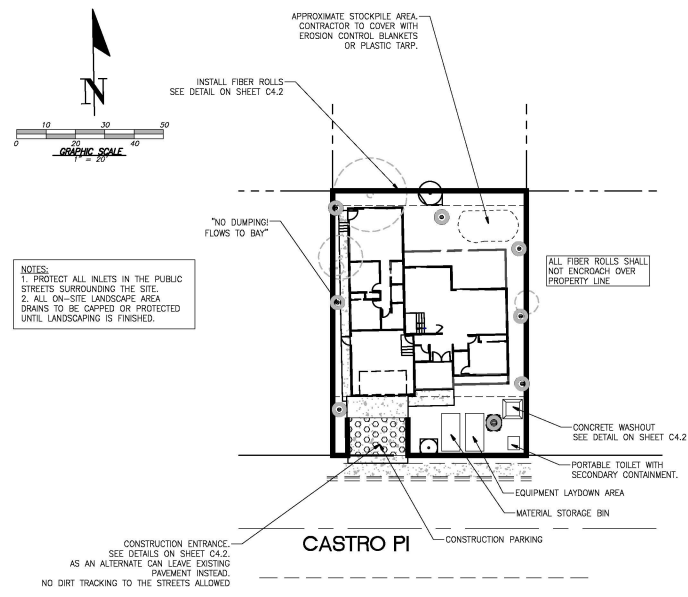


OSUNA ENGINEERING INC.
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Tel: (408) 721-1000
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Info: info@osunaeng.com

GRADING & DRAINAGE PLAN
CONSTRUCTION DETAILS
2331 CASTRO PI
SHEET C3
OF 8 SHEETS

CONTRACTOR'S RESPONSIBILITY TO PROTECT ADJACENT PROPERTIES FROM EROSION AND SEDIMENTATION DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.



LEGEND

PROPOSED	DESCRIPTION
---	SITE BOUNDARY
▨	STABILIZED CONSTRUCTION ENTRANCE 2"-3" ROCK (MIN)
○	FIBER ROLL
□	INLET PROTECTION
■	CONCRETE WASHOUT

EROSION & SEDIMENT CONTROL NOTES

- NOT USED
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAD WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
- ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES

- SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
- REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.

<p>GRADING & DRAINAGE PLAN</p> <p>EROSION CONTROL PLAN</p> <p>2331 CASTRO PI</p> <p>OSUNA, OSCAR PROJECT NO. 1028 Designer: JAH Checker: CGJ Date: 3/27/24</p>	<p>OSUNA ENGINEERING INC. Planning Consulting Civil Engineering</p> <p>1445 CALIFORNIA STREET SAN JOSE, CA 95128 (408) 777-0000 info@osuna-engineering.com</p>										
<p>SHEET</p> <p>C4.1</p> <p>OF 8 SHEETS</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>CITY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	BY	CITY	DATE					
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