

AN ADDITION & REMODEL FOR

JIN RONG LIU

594 SARATOGA AVE., SANTA CLARA 95050

APN# 269-32-001

THIS PROJECT SHALL COMPLY WITH
 CALIFORNIA RESIDENTIAL CODE 2016 CRC
 CALIFORNIA FIRE CODE 2016 CFC
 CALIFORNIA MECHANICAL CODE 2016 CMC
 CALIFORNIA PLUMBING CODE 2016 CPC
 CALIFORNIA ELECTRIC CODE 2016 CEC
 CALIFORNIA ENERGY CODE 2016 EDITION
 CALGREEN CODE 2016 EDITION
 CITY OF SANTA CLARA MUNICIPAL CODE

PROJECT DATA

ASSESSOR'S PARCEL #: 269-32-001
 PROJECT ADDRESS: 594 SARATOGA AVE., SANTA CLARA 95050
 PROPERTY OWNER: MR. & MRS. JINRONG LIU 408888-9357
 PROJECT CONTACT PERSON: TRI HONG (408)29-6083 tthdesign@hotmail.com
 PROJECT SCOPE OF WORK: 314 SQ.FT. ADDITION w/ 1 BEDROOM & 3 BATHROOMS, PROJECT ALSO INCLUDE 706 SQ.FT. REMODEL KITCHEN, GREATROOM AND BATHROOM.
 OCCUPANCY: R-3U
 CONSTRUCTION: V-B
 ZONING: R-1-6L
 EXISTING USE: ONE STORY SINGLE FAMILY RESIDENCE
 PROPOSED USE: ONE STORY SINGLE FAMILY RESIDENCE
 GROSSNET LOT SIZE: 7,419.54 SQ.FT. (0.17 ACRE)
FLOOR AREA CALCULATION:
 LOT COVERAGE 40% MAX.: 0.40 x (7,419.54 SQ.FT.) = 2,967.82 SQ.FT.
 NEW ADDITION: 767.42 SQ.FT.
 EXISTING LIVING: 1,220 SQ.FT.
 PROPOSED LIVING AREA: 1,967.42 SQ.FT.
 EXISTING GARAGE: 512 SQ.FT.
 (E) SUNRM CONVERTED TO COVERED PATIO: 234 SQ.FT.
 NEW PORCH: 24 SQ.FT.
 LOT COVERAGE: 2,757.42 SQ.FT. (37.16%)
 TOTAL REMODEL AREA: 716.29 SQ.FT.
 EXISTING 1 WOOD BURN FIREPLACE.

SETBACKS	REQUIRED	PROPOSED	COMPLIANT
FRONT	20'-0"	20'-0"	YES
LEFT SIDE	5'-0"	±5'-2"	YES
RIGHT SIDE	20'-0"	±17'-0"	NO
REAR	20'-0"	11'-2"	NO

CONSULTANTS LIST

DESIGNER
 TDH DESIGN
 19034 BONNET WAY
 SARATOGA, CA 95070
 408-829-6083
 tthdesign@hotmail.com

STRUCTURAL ENGINEER
 WESLEY LIU ENGINEERING
 7246 SHARON DRIVE #0
 SAN JOSE, CA 95129
 408.973.1639
 wesleyliu@YAHOO.COM

MANUFACTURER CONTACT
 • **Gaf Roofing:**
 (877) 423-7663 www.gaf.com/
 • **Velux Skylight:**
 (800) 688-3359 www.veluxusa.com
 • **Grace Construction Flashing**
 (866) 333-3726 www.gcpat.com

ENERGY CONSULTANT
 CARSTAIRS ENERGY CALC.
 904 EVERT COURT
 PASO ROBLES, CA 93446
 805.904.9046
 timmycarstairs@YAHOO.COM

CIVIL ENGINEER
 LC ENGINEERING
 1291 OAKLAND ROAD
 SAN JOSE, CA 95112
 408.806.7187
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GENERAL NOTES

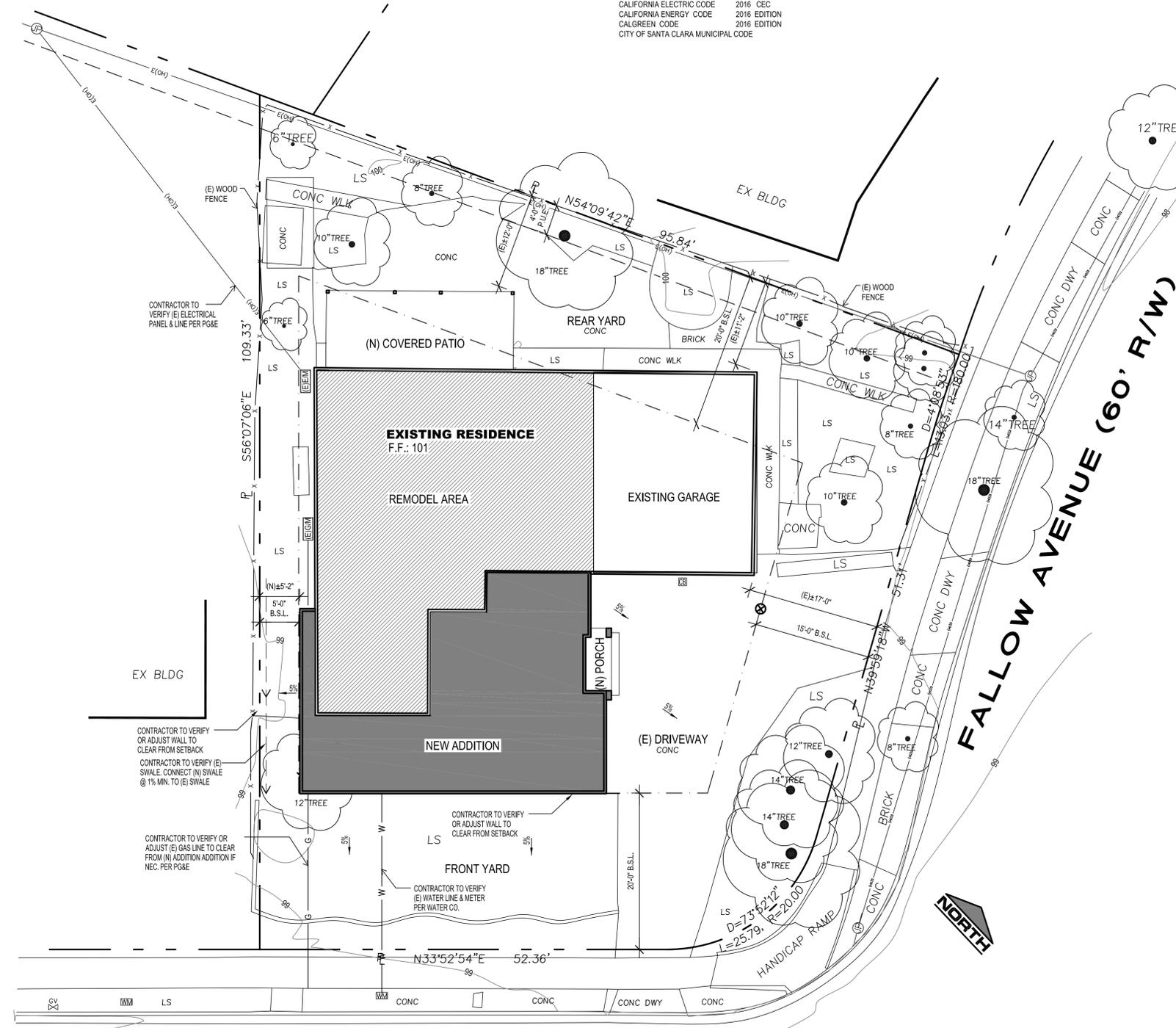
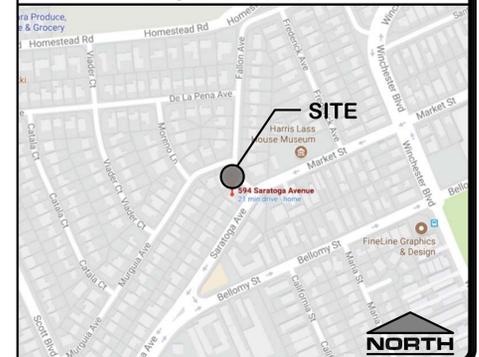
- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF TDH DESIGN PRIOR TO COMMENCING.
- LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE TO BE VERIFIED PRIOR TO CONSTRUCTION BIDDING.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE TITLE 24 ENERGY REPORT QUALITY INSULATION IS REQUIRED PER SUBMITTED ENERGY CALCULATIONS, AND EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) MUST BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
- BUILDER/CONTRACTOR:**
 - RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
 - SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR METHOD & MANNER OF ALL WATERPROOFING, BUILDER/CONTRACTOR SHALL REFER TO SOIL REPORT, GRADING & DRAINAGE PLAN, AND ALL WATERPROOFING WORK TO BE PERFORMED BY NHQ CERTIFIED WATERPROOFING COMPANY.
 - SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHER STRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS BUT FORTH BY THE EXECUTIVE DIRECTOR.
 - SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES.

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VICINITY MAP



SITE PLAN NOTES

- A. GENERAL:**
- SEE OWNER FOR UP-GRADE HARDSCAPE FINISH FOR DRIVEWAY, WALKWAY & PATIO
 - ALL METAL ANCHORS, FASTENERS, CONNECTORS, ETC. THAT WILL BE IN CONTACT WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED GALVANIZED OR OTHER APPROVED CORROSION RESISTANT MATERIAL.
- B. BUILDING SETBACK:**
- CONTRACTOR TO VERIFY BUILDING SETBACK AND ADJUST WALL TO MEET MINIMUM SETBACK.
 - PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LICENSED LAND SURVEYOR OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS COMPLY WITH THE APPROVED PLANS, WHICH NOTE SHALL REPRESENT A CONDITION WHICH MUST BE SATISFIED TO REMAIN IN COMPLIANCE WITH THIS DESIGN REVIEW APPROVAL.
- C. GRADING & DRAINAGE:**
- CONTRACTOR TO VERIFY (E) SWALE, CONNECT (N) SWALE @ 1% MIN.
 - ARROWS INDICATE DIRECTION OF SURFACE DRAINAGE.
 - GROUND IS TO SLOPE AWAY FROM FOUNDATION 5% FOR A DISTANCE OF 10 FT AWAY FROM THE BUILDING; IF 10 FT. CANNOT BE MET, PROVIDE SWALES. PROVIDE 2% SLOPE IF IMPERVIOUS SURFACE IS USED, CRC R401.3. NO CONCENTRATED FLOW ACROSS THE RIGHT-OF-WAY. NO DRAINAGE ONTO NEIGHBORING PROPERTIES. ALL DRAINAGE TO LANDSCAPE.
 - DIRECT ROOF RUNOFF SHALL BE:
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREAS
 - DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS;
 - DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
 - CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES
 - CONNECT ALL DOWNSPOUTS TO 3" SOLID DRAIN LINE AROUND PERIMETER OF HOUSE DRAIN TO CURB OR PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE.
- D. UTILITIES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES @ JOB SITE.
 - THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY PG & E, PACIFIC BELL, & CABLE TV INSTALLATION AS REQUIRED, VALVE BOXES & MANHOLES, & STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
- F. CONSTRUCTION SITE:**
- CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
 - NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
 - A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
 - ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OR THE PROJECT IN A NEAT AND SAFE MANNER.

SARATOGA AVENUE (60' R/W)

SITE PLAN

SCALE: 1/8" = 1'-0"

LEGEND

	EXISTING FLOOR AREA
	REMODEL FLOOR AREA
	ADDITION FLOOR AREA

REVISIONS	BY

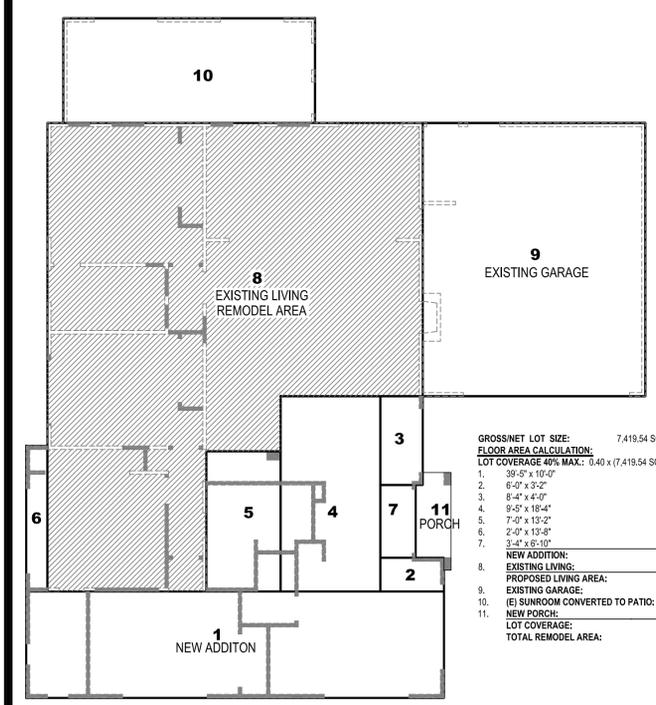
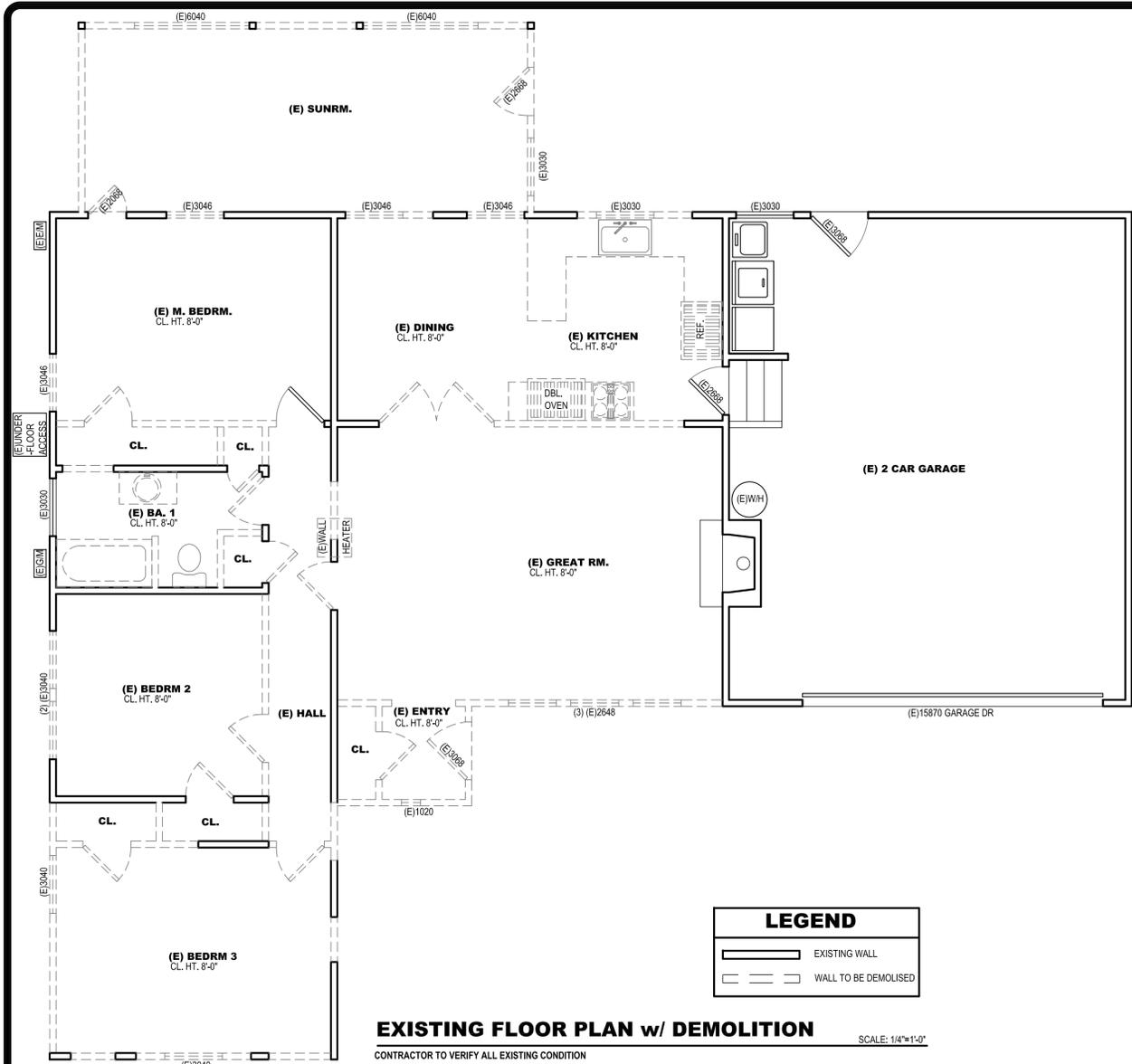
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FINE CUSTOM HOME

 19034 BONNET WAY • SARATOGA, CA 95070
 (408) 829-6083

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GROSS/NET LOT SIZE: 7,419.54 SQ.FT. (0.17 ACRE)

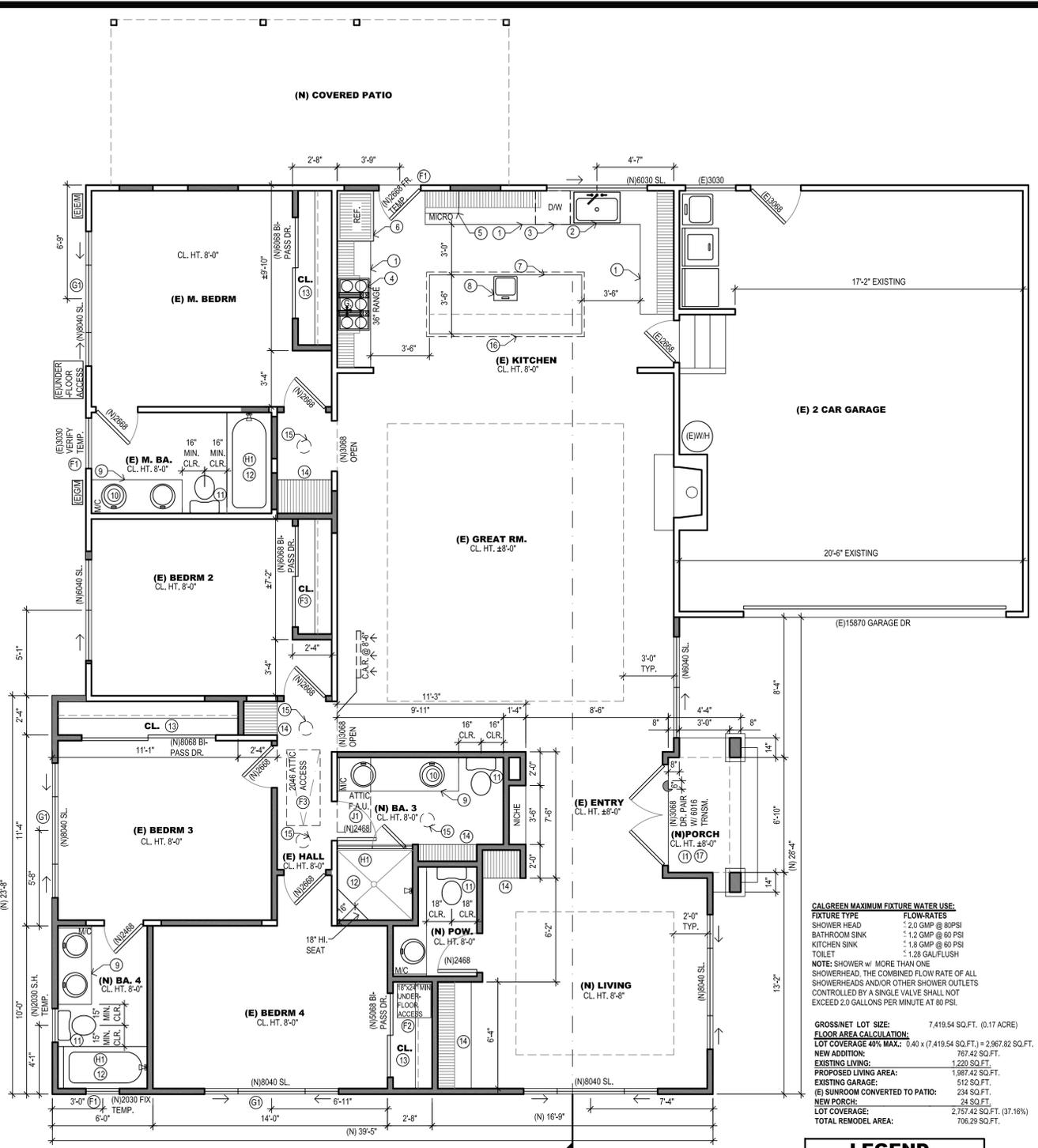
FLOOR AREA CALCULATION:

LOT COVERAGE 40% MAX: 0.40 x (7,419.54 SQ.FT.) = 2,967.82 SQ.FT.

1.	39'-5" x 10'-0"	394.17
2.	6'-0" x 3'-2"	19
3.	6'-4" x 4'-0"	33.33
4.	9'-5" x 18'-4"	172.64
5.	7'-0" x 13'-2"	92.17
6.	2'-0" x 13'-8"	33.33
7.	3'-4" x 6'-10"	23.78
8.	NEW ADDITION:	767.42 SQ.FT.
9.	EXISTING LIVING:	1,220 SQ.FT.
10.	PROPOSED LIVING AREA:	1,987.42 SQ.FT.
11.	EXISTING GARAGE:	512 SQ.FT.
12.	(E) SUNROOM CONVERTED TO PATIO:	234 SQ.FT.
13.	NEW PORCH:	24 SQ.FT.
14.	LOT COVERAGE:	2,757.42 SQ.FT. (37.16%)
15.	TOTAL REMODEL AREA:	706.29 SQ.FT.

FLOOR PLAN NOTES

- F. GENERAL:**
- BUILDER/CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR METHOD & MANNER OF ALL WATERPROOFING.
 - ALL NEW EXTERIOR WALLS WRAP WITH CDX PLYWOOD TYPICAL THROUGHOUT-VERIFY WITH OWNER.
 - ALL NEW EXTERIOR WALLS GREATER THAN 12FT HIGH SHALL BE 2x6.
 - WINDOW, DOOR, SUN TUNNEL & SKYLIGHT SIZE SHOWN ARE FOR DESIGN PURPOSES ONLY, ACTUAL SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.) INSTALLED W/ CERTIFYING LABEL ATTACHED, SHOWING U-VALUE.
- 1. TEMPERED GLAZING REQUIRED:**
- ALL NEW BATHROOM WINDOWS, FRENCH DOOR & SLIDING GLASS DOOR.
 - WHEN EDGE OF GLASS IS LESS THAN 24" FROM DOOR EDGE AND LESS THAN 60" ABOVE GROUND.
 - WHEN GLASS IS MORE THAN 9 SQ. FT. AND EDGE OF GLASS IS LESS THAN 18" ABOVE FLOOR/GROUND AND TOP EDGE IS MORE THAN 36" ABOVE GROUND AND WITHIN 36" OF WALKING SURFACES.
- 2. UNDERFLOOR ACCESS:** 18"x24" MIN. W/ WEATHER-STRIP OR SEAL TO PREVENT DRAFTS.
- 3. ATTIC ACCESS:** 22"x30" MIN. W/ WEATHER-STRIP OR SEAL TO PREVENT DRAFTS.
- G. BEDROOMS:**
- ESCAPE WINDOW OR DOOR:
 - 20-IN MIN. CLEAR WIDTH
 - 24-IN MIN. CLEAR HEIGHT
 - 5.7 SQ. FT. MIN. OPENABLE AREA
 - 5 SQ. FT. MIN. OPEN AREA FOR GRADE-FLOOR OPENINGS.
 - OPENING IS TO BE MEASURED 44 INCHES MAX. ABOVE FINISHED FLOOR.



CALGREEN MAXIMUM FIXTURE WATER USE:

FIXTURE TYPE	FLOW-RATES
SHOWER HEAD	2.0 GMP @ 80PSI
BATHROOM SINK	1.2 GMP @ 60 PSI
KITCHEN SINK	1.8 GMP @ 60 PSI
TOILET	1.25 GAL/FLUSH

NOTE: SHOWER w/ MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.

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EXISTING LIVING: 1,220 SQ.FT.

PROPOSED LIVING AREA: 1,987.42 SQ.FT.

EXISTING GARAGE: 512 SQ.FT.

(E) SUNROOM CONVERTED TO PATIO: 234 SQ.FT.

NEW PORCH: 24 SQ.FT.

LOT COVERAGE: 2,757.42 SQ.FT. (37.16%)

TOTAL REMODEL AREA: 706.29 SQ.FT.

PROPOSED FLOOR PLAN

CONTRACTOR TO VERIFY ALL EXISTING CONDITION

- H. BATHROOMS:**
- TUB/SHOWER:**
 - SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 8 FEET ABOVE THE FLOOR.
 - ANY NEW OR REPLACED MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120° F. ANY NEW OR REPLACED WATER-FILLER VALVE IN BATHTUBS/ WHIRLPOLDS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120° F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS.
 - SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (CPC 408.5, 408.6)
 - WATER-RESISTANT GYPSUM BACKING BOARD NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
 - TEMPERED GLAZING: PROVIDE WITHIN A PORTION OF WALL ENCLINING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET & WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - OUTDOOR:**
 - LANDINGS & THRESHOLDS**
 - THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
 - LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/4" INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
 - 2% MIN. PER FT. SLOPE TO DRAIN. PROVIDE DURADEK TILEDEK WATERPROOFING MEMBRANE FOR BALCONY FLOOR.
- J. APPLIANCES:**
- ATTIC FURNACE:**
 - LOCATE MINIMUM 22X30 ACCESS OPENING WITHIN 20'-0" OF FURNACE.
 - PROVIDE MINIMUM 24" WIDE SOLID FLOORING FROM ACCESS OPENING TO FURNACE WORKING PLATFORM.
 - MINIMUM 30" DEEP WORKING PLATFORM. NOT REQUIRED IF FURNACE CAN BE SERVICED AT ACCESS OPENING.
 - PROVIDE LIGHT, SWITCH & OUTLET @ UNIT.

- KITCHEN:**
- KITCHEN CABINET w/ GRANITE COUNTER TOP
 - SINGLE SINK w/ FOOD DISPOSER
 - DISHWASHER
 - 38" GAS RANGE w/ DECORATIVE HOOD-VENT TO OUTSIDE
 - MICROWAVE OVEN & ESPRESSO MACHINE
 - REFRIGERATOR / FREEZER - PLUMB FOR ICE MAKER
 - ISLAND w/ EATING BAR GRANITE COUNTER TOP & WOOD BRACES
 - VEGETABLE SINK w/ FOOD DISPOSER
- BATHROOM:**
- VANITY w/ MARBLE TOP
 - LAVATORY
 - MARBLE SLAB TUB/SHOWER w/ SEAT (PROVIDE 1 SHAMPOO NICHE)
- OTHER SPACES:**
- CLOSET ORGANIZER
 - BUILT-IN SHELVES/CABINET
 - TUNNEL (TGF 021)
 - SKYLIGHT CEILING OPENING w/ GYP. BD. SHAFT (PROVIDE GLS DIFFUSER @ KITCHEN)
 - CONCRETE SLAB & STEPS. (TILE @ ENTRY PORCH) RISER (MAX. 7.75") & TREAD (MIN. 10")

REVISIONS	BY

EXISTING FLOOR PLAN w/ DEMOLITION & PROPOSED FLOOR PLAN

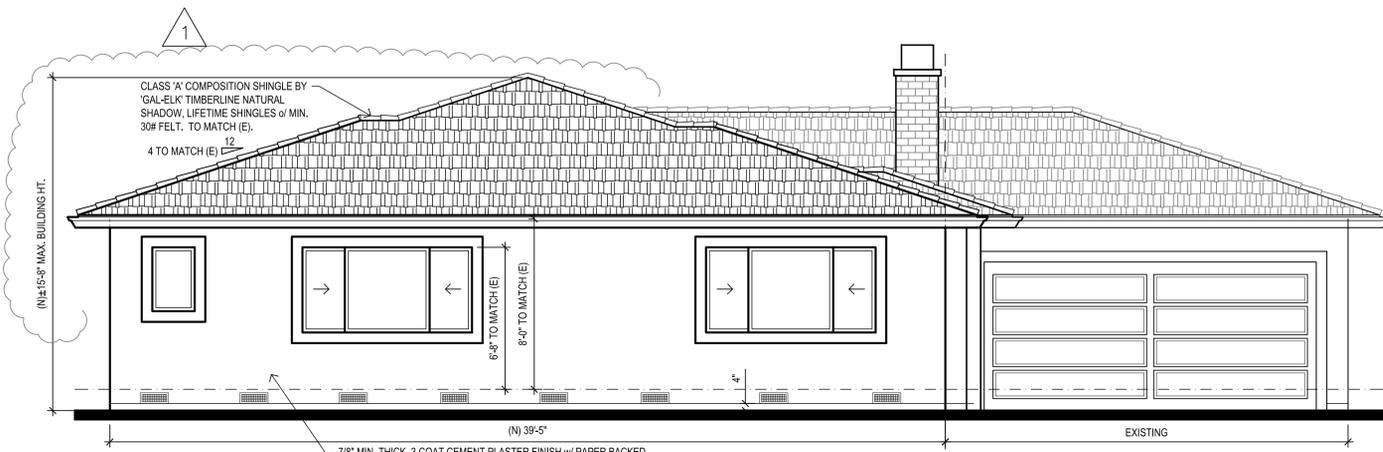
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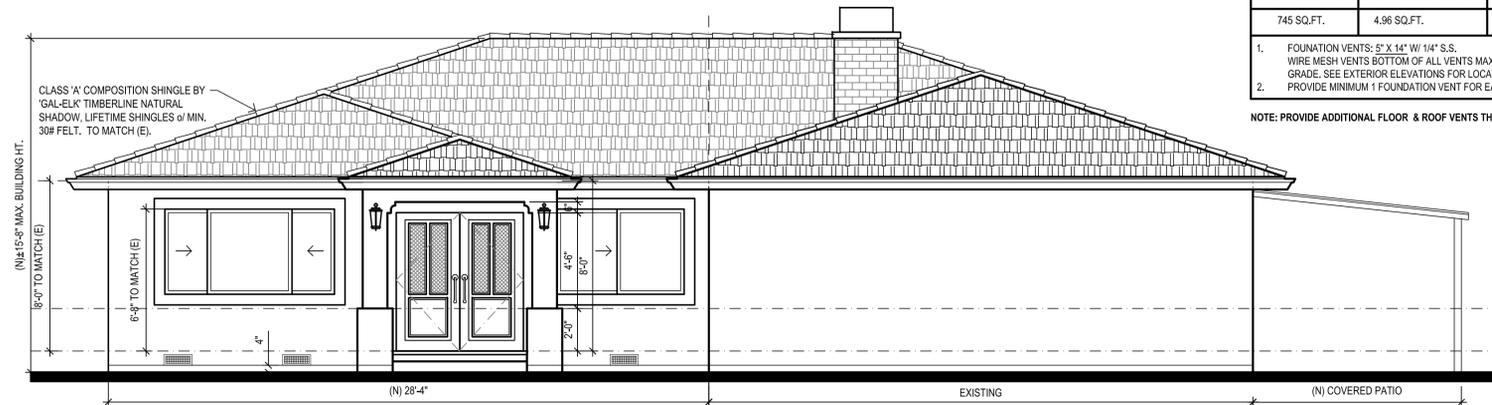
TDH DESIGN

19034 BONNET WAY • SARATOGA, CA 95070
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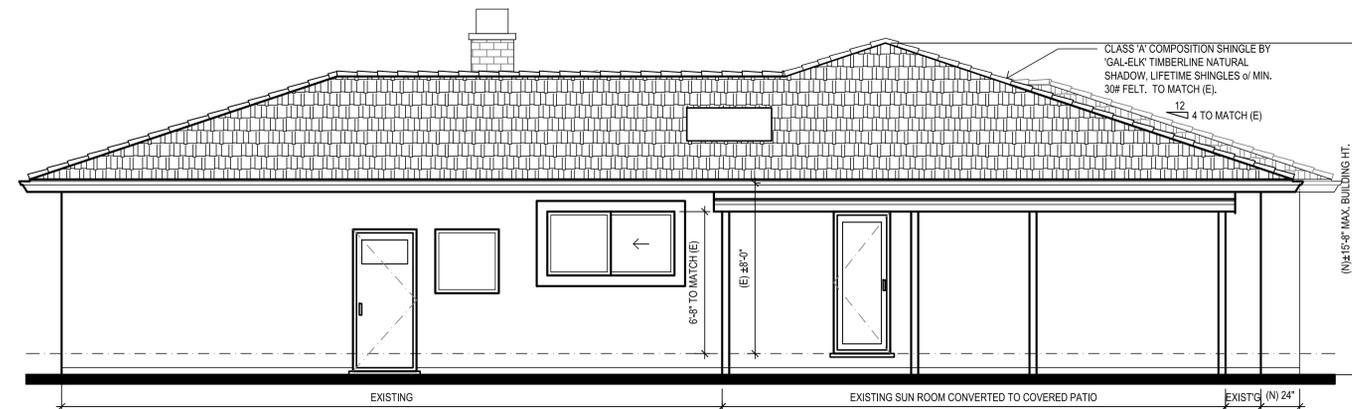
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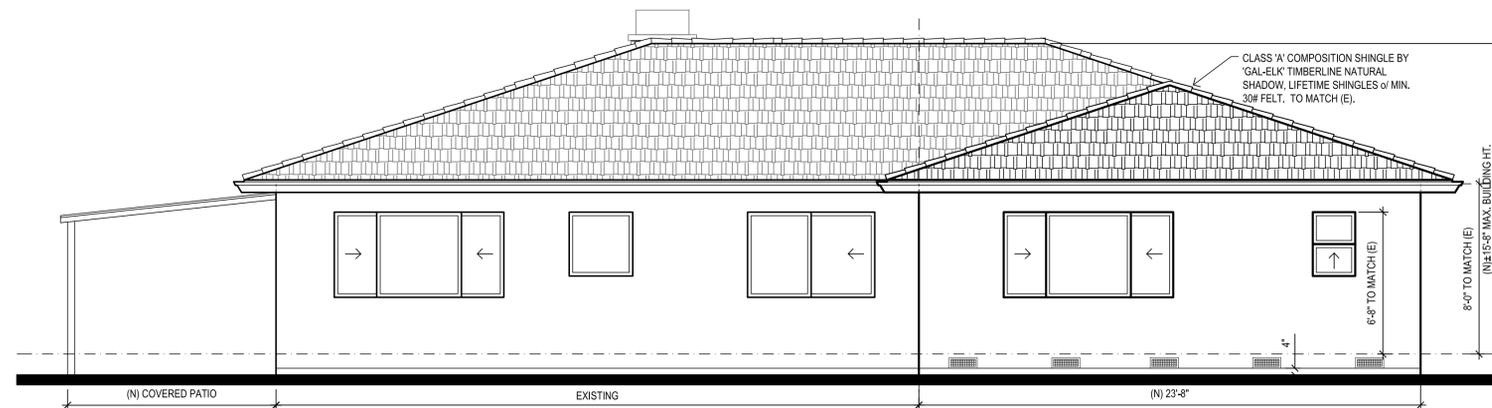
PROPOSED FRONT ELEVATION SCALE: 1/4"=1'-0"



PROPOSED RIGHT SIDE ELEV. SCALE: 1/4"=1'-0"



(E) REAR ELEV. w/ NEW COVERED PATIO SCALE: 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION SCALE: 1/4"=1'-0"

UNDERFLOOR VENT CALC.

UNDERFLOOR AREA	x 1/150 = REQ'D. FREE VENT	MIN. VENTS PROVIDED
745 SQ.FT.	4.96 SQ.FT.	5" x 14" VENT = 0.488 SQ.FT.
		11 VENTS = 5.35 SQ.FT.

- FOUNDATION VENTS: 5" X 14" W/ 1/4" S.S. WIRE MESH VENTS BOTTOM OF ALL VENTS MAX. 12" ABOVE EXTERIOR ADJ. GRADE. SEE EXTERIOR ELEVATIONS FOR LOCATION
- PROVIDE MINIMUM 1 FOUNDATION VENT FOR EACH CAR PARKING.

NOTE: PROVIDE ADDITIONAL FLOOR & ROOF VENTS THAT COVERED BY NEW ADDITION.



EXISTING FRONT PHOTO



EXISTING RIGHT SIDE PHOTO



EXISTING REAR PHOTO



EXISTING LEFT SIDE PHOTO

REVISIONS	BY
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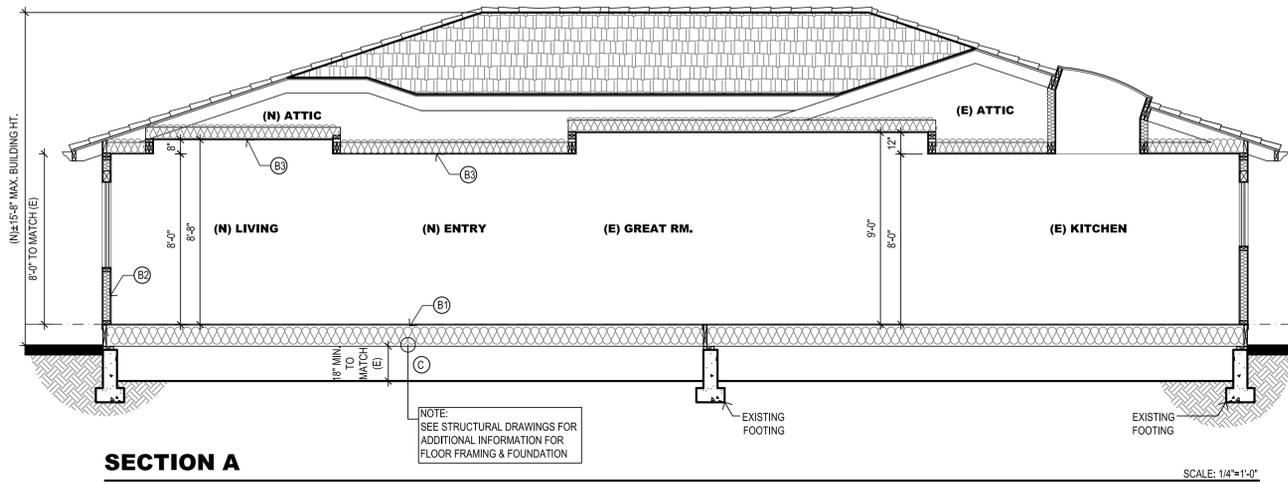
PROPOSED ELEVATIONS & EXISTING HOUSE PHOTOS

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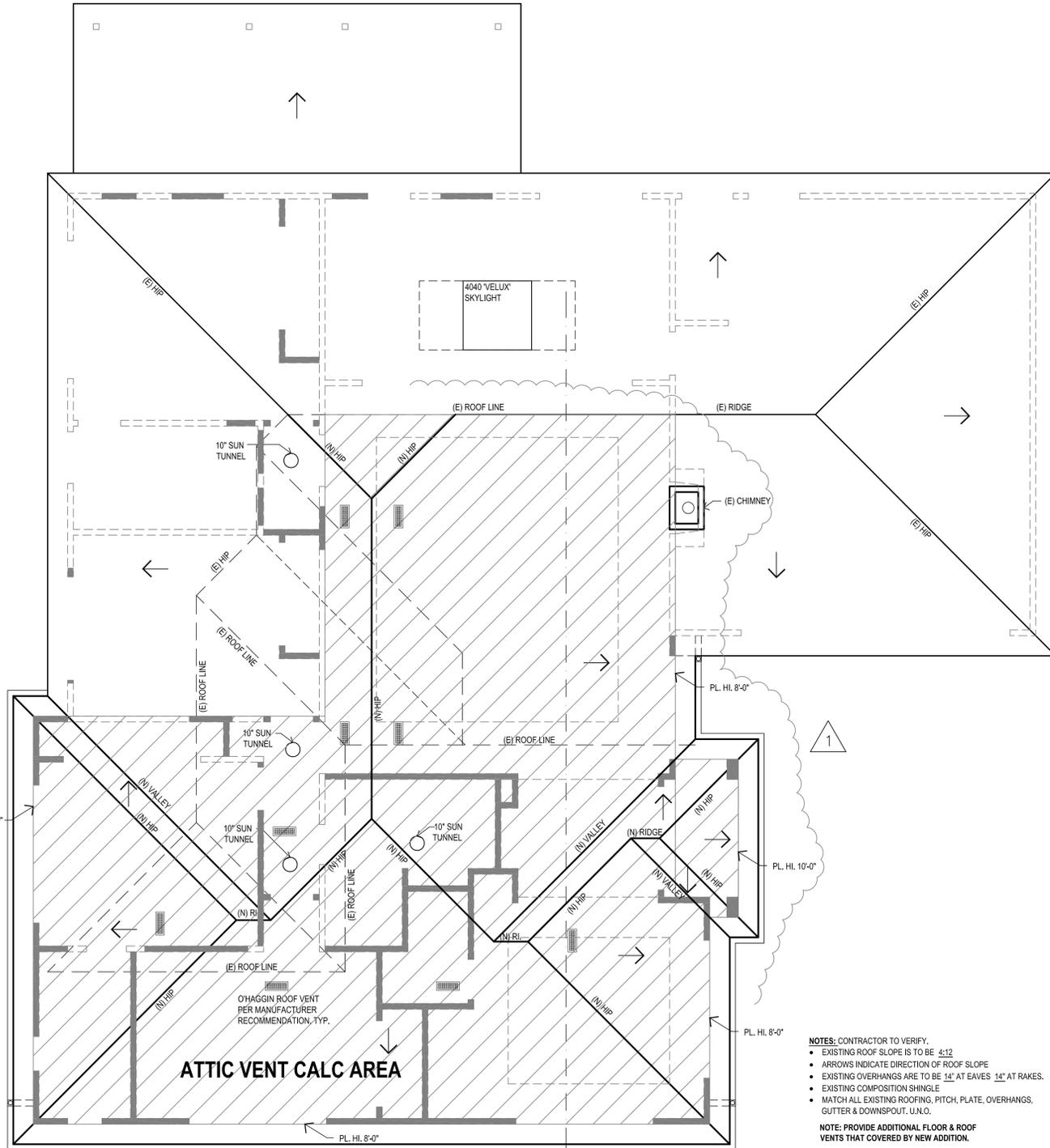
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SECTION A

SECTION NOTES

- A. GENERAL:**
- SEE OWNER FOR UP-GRADE WATERPROOFING SYSTEM
 - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION FOR FLOOR FRAMING & FOUNDATION
 - SEE OWNER FOR UP-GRADE CABINETS AND APPLIANCES FINISH
- B. INSULATION:** PER TITLE 24.
- FLOOR: R-19
 - EXTERIOR WALL: R-13 @ 2x4 STUD WALL
 - CEILING: R-19 @ SLOPE CEILING & R-30 @ FLAT CEILING
- C. CRAWLSPACE:** 16" MINIMUM CLEAR TO MATCH (E).



PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

- NOTES:** CONTRACTOR TO VERIFY.
- EXISTING ROOF SLOPE IS TO BE 4:12 TYP. TO MATCH (E).
 - ARROWS INDICATE DIRECTION OF ROOF SLOPE
 - EXISTING OVERHANGS ARE TO BE 14" AT EAVES 14" AT RAKES.
 - EXISTING COMPOSITION SHINGLE
 - MATCH ALL EXISTING ROOFING, PITCH, PLATE, OVERHANGS, GUTTER & DOWNSPOUT, U.L.O.
- NOTE:** PROVIDE ADDITIONAL FLOOR & ROOF VENTS THAT COVERED BY NEW ADDITION.

ROOF PLAN NOTES

- A. GENERAL:**
- ROOF SLOPE IS TO BE 4:12 TYP. TO MATCH (E).
 - ARROWS INDICATE DIRECTION OF ROOF SLOPE
 - SEE ROOF PLAN FOR PLATE HEIGHT
 - OVERHANGS ARE TO BE 14" AT EAVES 14" AT RAKES TO MATCH (E).
 - SEE MANF. INSTALLATION AND I.C.C. ES-REPORT
 - PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.R.C. TYP.
 - INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED
- B. ROOFING:** CLASS 'A' COMPOSITION SHINGLE BY 'GAL-ELK' TIMBERLINE NATURAL SHADOW, LIFETIME SHINGLES or MIN. 30# FELT, ICC-ESREPORT# ICC-ESR-1475. PROVIDE DOUBLE UNDERLAYMENT FOR ROOF SLOPE BETWEEN 2:12 & 4:12, TO MATCH (E).
- C. FASCIA GUTTER w/ DOWNSPOUTS:** 5" 26 GA. GALV. AS REQUIRED. FIELD VERIFY DOWNSPOUT TO BE CLEAR FROM WINDOW, DOOR, GAS METER, ELECTRICAL METER, WATER HEATER & A.C.
- D. CHIMNEY:**
- 2' ABOVE ANY ROOF/STRUCTURE WITHIN 10' AND NOT LESS THAN 3' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
 - SPARK ARRESTER SHALL BE APPROVED, SCREENED, ACCESSIBLE & REMOVABLE FOR CLEANING
 - WOOD FRAMED w/ 26 GA. GALV. CRICKET & FLASHING.
- E. FLASHING AT ROOF TO WALL CONNECTIONS:** 26 GA. GALV.
- F. SUN TUNNEL:** 10" 'VELUX', (ER_0199)
- G. CRICKET:** 26 GA. GALV. FLASHING

ATTIC VENT CALCULATION

ATTIC SPACE	ATTIC AREA	1/2" = FREE VENT REQD.	1/4" = SQ.IN. REQD.	50% REQD. LOWER ATTIC	LOWER ATTIC EAVE VENT (3) 3" DIA. HOLES @ FREEZE 1 BLOCKING = 21.21 SQ.IN.	UPPER ATTIC COMP. SHINGLE VENT BY OHAGGIN VENT 1 VENT = 72 SQ.IN.
(A)	1,270 SQ.FT.	8.47 SQ.FT.	1,220 SQ.IN.	610 SQ.IN.	29 BLK'G = 615 SQ.IN.	9 VENTS = 648 SQ.IN.
(B)						

@ SHADED AREA

VENT LOCATIONS: SEE MANUFACTURER FOR RECOMMENDATION, TYP.

REVISIONS	BY

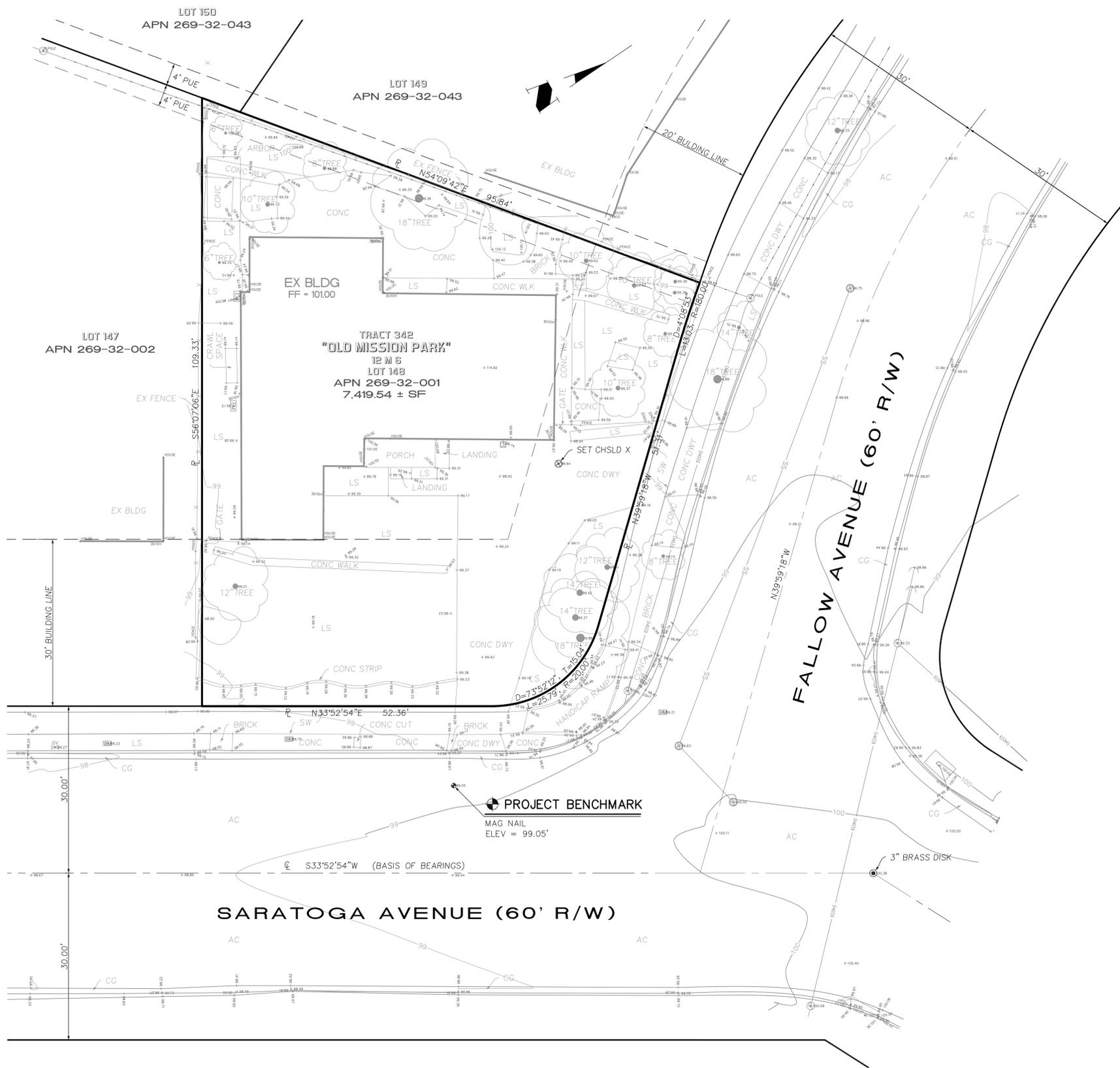
SECTION & ROOF PLAN

AN ADDITION & REMODEL FOR
JIN RONG LIU
 584 SARATOGA AVE., SANTA CLARA 95050
 APN# 288-32-001

FINE CUSTOM HOME
TDH DESIGN
 (408) 829-6033
 19034 BONNET WAY • SARATOGA, CA 95070

DRAWN	LOC HUA
CHECKED	TRI HONG
SIGNATURE	
DATE	SEPT. 2017
SCALE	AS SHOWN
JOB	2217
SHEET	

A-4



LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	⊙	AREA DRAIN
AC	ASPHALT CONCRETE	⊕	BENCHMARK
AD	AREA DRAIN	—	BOUNDARY
AE	ANCHOR EASEMENT	⊞	CATCH BASIN
BB	BUBBLER BOX	⊞	COBBLE ROCK ENERGY DISSIPATOR
BLDG	BUILDING	—	CONCRETE
BLK	BLOCK	—550—	EXISTING CONTOUR AFTER GRADING
BSL	BUILDING SETBACK LINE	—550—	ORIGINAL GROUND PRIOR TO GRADING
BW	BOTTOM OF WALL/BACK OF WALK	—100.46—	DESIGN GRADE
CG	CURB & GUTTER	⊞	DOWNSPOUT WITH SPLASHBLOCK
CLF	CHAIN LINK FENCE	⊞	DRAINAGE EMITTER
CO	SANITARY SEWER CLEANOUT	⊞	DIVERSION VALVE
COP	CURB OPENING	⊞	BACKWATER VALVE
CONC	CONCRETE	—	DRAINAGE SWALE
CSD	COUNTY STANDARD DETAIL	—	EASEMENT LINE
CVE	CONSERVATION EASEMENT	—+101.70—	OR (101.70)
DE	DRAINAGE EMITTER	⊞	EXISTING ELEVATION
DI	DRAINAGE INLET	⊞	EXISTING FENCE
DS	DOWNSPOUT	⊞	EXISTING TREE TO BE REMOVED
DWY	DRIVEWAY	⊞	EXISTING TREE TO REMAIN
EA	EASEMENT	⊞	FOUND IRON PIPE AT PROPERTY CORNER
EB	ELECTRIC BOX	⊞	FIBER ROLLS
ELEV	ELEVATION	⊞	GAS METER
EM	ELECTRIC METER	⊞	GAS VALVE
E(OH)	ELECTRIC OVERHEAD	⊞	GRADE TO DRAIN
E(UG)	ELECTRIC UNDERGROUND	⊞	GUY POLE
EP	EDGE OF PAVEMENT	⊞	GUY WIRE ANCHOR
EX	EXISTING	⊞	HIGH POINT
EVA	VEHICLE ACCESS EASEMENT	⊞	HYDRANT: EXISTING
FC	FACE OF CURB	⊞	HYDRANT: PROPOSED
FD	FOUND	⊞	INLET
FF	FINISH ELEVATION OF SUBFLOOR	⊞	JOINT POLE
FG	GROUND FINISH GRADE	⊞	LIGHTING
FH	FIRE HYDRANT	⊞	LIGHTING POLE
FL	FLOW LINE	⊞	LOW POINT
G	GARAGE SLAB ELEVATION/GAS LINE	⊞	MAIL BOX
GPE	GENERAL PUBLIC EASEMENT	⊞	MONUMENT WELL
GSB	GRADING SETBACK	⊞	OVERLAND FLOW DIRECTION
GM	GAS METER	⊞	PCE BOX
HP	HIGH POINT	⊞	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
INV	INVERT	⊞	PROJECT SITE
LD	LANDING	⊞	ROCK RETAINING WALL
LIP	LIP OF GUTTER	⊞	RIGHT OF WAY
LS	LANDSCAPED AREA	⊞	SANITARY SEWER CLEAN OUT MANHOLE
MAX	MAXIMUM	⊞	SANITARY SEWER MANHOLE
MH	MANHOLE	⊞	STORM DRAIN MANHOLE
MIN	MINIMUM	⊞	SUMP PUMP
MW	MONUMENT WELL	⊞	ELECTRICAL BOX
N&S	NAIL AND SILVER	⊞	TELEPHONE BOX
NTS	NOT TO SCALE	⊞	TELEVISION BOX
OH	OVERHEAD	⊞	TEST PIT
OG	ORIGINAL GROUND	⊞	TOP OF FILL
P	PAVEMENT FINISH GRADE	⊞	TOE OF FILL
PAD	PAD ELEVATION	⊞	TOP OF CUT
PE	PATHWAY EASEMENT	⊞	TOE OF CUT
PEE	PEDESTRIAN EQUESTRIAN EASEMENT	⊞	TOE OF BANK
PERF	PERFORATED	⊞	TOE OF GRATE
PL	PROPERTY LINE	⊞	TREE PROTECTION FENCE
PP	POWER POLE	⊞	TOP OF WALL
PROP	PROPOSED	⊞	TYPICAL
PSE	PUBLIC SERVICE EASEMENT	⊞	USAB
PUE	PUBLIC UTILITY EASEMENT	⊞	USAO
PVMT	PAVEMENT	⊞	USAR
PVC	POLYVINYL CHLORIDE	⊞	VG
R	RADIUS	⊞	W
RW	RETAINING WALL	⊞	WCE
REM	REMOVE	⊞	WLK
R/W	RIGHT OF WAY	⊞	WM
SD	STORM DRAIN	⊞	WOE
SDE	STORM DRAIN EASEMENT	⊞	WV
SE	SLOPE EASEMENT		
SME	SLOPE MAINTENANCE EASEMENT		
SS	SANITARY SEWER/LATERAL		
SSE	SANITARY SEWER EASEMENT		
STA	STATION		
STD	STANDARD CITY DETAIL		
SW	SIDEWALK		
TB	TOP OF BANK		
TC	TOP OF CURB		
TEMP	TEMPORARY		
TOC	TOP OF COVER		
TOE	TOP OF EASEMENT		
TG	TOP OF GRATE		
TPF	TREE PROTECTION FENCE		
TW	TOP OF WALL		
TYP	TYPICAL		
USAB	UTILITY: EXISTING		
USAO	UTILITY: PROPOSED OR NEW		
USAR	UTILITY: PROPOSED OR NEW		
VG	VERTICAL SHORING		
W	WATER		
WCE	WATER METER		
WLK	WATER VALVE		
WM	WALKWAY		
WOE	WIRE CLEARANCE EASEMENT		
WV	WIRE OVERHANG EASEMENT		

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 269-32-001
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF SARATOGA AVENUE AS FOUND MONUMENTED AS S33°52'54"W SHOWN ON TRACT NO. 342 "OLD MISSION PARK", RECORDED IN BOOK 12 OF MAPS, AT PAGE 6, SANTA CLARA COUNTY RECORDS.

SURVEYOR'S STATEMENT

THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

TOM H. MILO
L.S. 6438
10/11/17
DATE



APPLICANT :

ROAD NAME : SARATOGA AVENUE

FILE NO : .

<p>ENGINEERING</p> <p>598 E Santa Clara St, #270 San Jose, CA 95128 Phone: (408) 806-7187 Fax: (408) 583-4006</p>	<p>DESIGNED: 10/10/17</p> <p>DATE: 10/10/17</p>	<p>DATE: 10/10/17</p>	<p>REVISIONS</p>
	<p>CHECKED: 10/10/17</p> <p>SCALE: 1" = 10'</p>	<p>BY: [Signature]</p>	<p>DATE: 10/10/17</p>
<p>BOUNDARY SURVEY AND TOPOGRAPHIC MAP</p> <p>LANDS OF</p> <p>594 SARATOGA AVENUE</p> <p>APN 269-32-001</p>	<p>PROJECT NO.</p>	<p>CONTRACT NO.</p>	<p>FILE NO.</p>
<p>Santa Clara</p> <p>California</p>	<p>1 OF 1</p>	<p>1</p>	<p>1</p>