



# City of Santa Clara

## Meeting Agenda

### Development Review Hearing

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**Wednesday, July 6, 2022**

**3:00 PM**

**Virtual Meeting**

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Pursuant to California Government Code section 54953(e) and City of Santa Clara Resolution 22-9096, the Development Review Hearing meeting will be held by teleconference only. No physical location will be available for this meeting; however, the City of Santa Clara continues to provide methods for the public to participate remotely:

• Via Zoom:

o <https://santaclaraca.zoom.us/j/92950218717> or o Phone: 1 (669) 900-6833  
Webinar ID: 929 5021 8717

Public Comments prior to meeting may be submitted via email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

The Development Review Officer, staff, and applicants will be participating remotely.

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

#### **CALL TO ORDER AND ROLL CALL**

**22-907** [Declaration of Procedures](#)

#### **REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES**

## **PUBLIC PRESENTATIONS**

*[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]*

## **CONSENT CALENDAR**

Consent Calendar items may be enacted, approved, or adopted by the action of the Development Review Hearing Officer unless requested to be removed by anyone for discussion or explanation. If any member of the staff, the applicant, or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Development Review Hearing during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

- 1.A 22-456** [Action on a proposed reclassification of the portion of the existing residence as the attached Accessory Dwelling Unit \(ADU\), and first and second-floor additions resulting in a new 3,416 square-foot two-story house at 3875 Eastwood Circle.](#)

**Recommendation:** Approve the **Architectural Review** for the proposed reclassification of a portion of the existing 2,185 square-foot residence as the attached Accessory Dwelling Unit (ADU), and a 1,154 square-foot first floor and a 1,041 square-foot second-floor addition resulting in a new 3,416 square-foot two-story house with three bedrooms and two and a half bathrooms with the existing 400 square-foot 2-car garage to remain for the property located at 3875 Eastwood Drive, subject to conditions.

- 1.B 22-799** [Action on a 161 square-foot first floor addition, new 1,327 square-foot second story, and interior remodel to an existing one-story single-family residence at 3674 Macintosh Street.](#)

**Recommendation:** Approve the 161 square-foot first floor addition, new 1,327 square-foot second story, and interior remodel to an existing 2,002 square-foot with 3 bedroom / 3 bath residence resulting in a 5 bedroom / 4.5 bath home with 3,012 square-foot living area and 478 square-foot attached garage area, subject to conditions.

- 1.C 22-847 [Action on a 515 square-foot first floor addition and a 1,520 square-foot second floor addition to an existing 1,390 square-foot residence at 3283 Geneva Drive.](#)

**Recommendation:** Approve the proposed addition to an existing single-family residence resulting in a 4 bedroom and 4.5 bathrooms two-story residence at 3283 Geneva Drive, subject to conditions.

- 1.D 22-851 [Action on a 510 square-foot addition to an existing one-story 2,019 square-foot residence at 421 Rosemont Drive](#)

**Recommendation:** Approve the 510 square-foot addition to a single-family residential home, subject to conditions.

- 1.E 22-852 [Action on a proposed 459 square-foot first floor and 458 square-foot second story addition to an existing 2,738 square-foot two-story residence at 2369 Gianera Street](#)

**Recommendation:** Approve the second story addition of 458 square feet and a proposed first floor addition of 459 square feet to a single-family residence, subject to conditions.

## **GENERAL BUSINESS**

*The following items from this Development Review Hearing agenda will be scheduled for further review following the conclusion of hearings and recommendations by the Development Review Hearing. Please contact the Planning Division office for information on the schedule of hearings for these items.*

2. 22-846 [Action on a 478 square-foot second floor addition to an existing 2,435 square-foot 4 bedroom and 2.5-bathroom residence at 460 Muriel Court.](#)

**Recommendation:** Approve the proposed addition to an existing single-family residence resulting in a 4-bedroom and 3.5 bathroom two-story residence at 460 Muriel Court, subject to conditions.

3.     **22-876**     [Architectural Review of a multi-family development with up to 1,100 multi-family residential units, up to 2,000 square feet of amenity space and a 2.0-acre public park on a 13.3-acre site bounded by Freedom Circle to the west, Mission College Boulevard to the north, San Tomas Aquino Creek to the east and Highway 101 to the south \(3905 Freedom Circle\); APNs: 104-40-021 & 104-40-036](#)

**Recommendation:**   **Approve** the Architectural Review of a multi-family development with up to 1,100 multi-family residential units, up to 2,000 square feet of amenity space and a 2.0-acre public park on a 13.3-acre site.

### **ADJOURNMENT**

*The next regular scheduled meeting is on Wednesday, July 27, 2022 at 3 p.m.*

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

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22-907

Agenda Date: 7/6/2022

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### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Declaration of Procedures



The Hearing Officer for this agenda will be Development Review Officer, AICP, Gloria Sciara on behalf of and delegated by the Director of Community Development Andrew Crabtree.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

**If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.**

**The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.**



## Agenda Report

22-456

Agenda Date: 7/6/2022

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Action on a proposed reclassification of the portion of the existing residence as the attached Accessory Dwelling Unit (ADU), and first and second-floor additions resulting in a new 3,416 square-foot two-story house at 3875 Eastwood Circle.

**File No.(s):** PLN21-15374

**Location:** 3875 Eastwood Circle, a 14,563 square foot lot located on the west side of Eastwood Circle, about 175 feet north of Bellwood Drive; APN: 101-26-002; the property is zoned Single-Family (R1-6L).

**Applicant:** Yousef Al-Shehabi

**Owner:** Yousef Al-Shehabi

**Request:** **Architectural Review** for the proposed reclassification of a portion of the existing 2,185 square-foot residence as the attached Accessory Dwelling Unit (ADU), and a 1,154 square foot first floor and a 1,041 square foot second-floor addition resulting in a new 3,416 square foot two-story house with three bedrooms and two and a half bathrooms, with the existing 400 square foot 2-car garage to remain. The proposed attached 964 square foot ADU is subject to staff level review and approval.

#### Project Data

The Project Data Table is included as Attachment 1.

#### Points for Consideration

- The proposed project is located in a neighborhood with a mixture of architectural styles with one or two-story homes located throughout the immediate neighborhood.
- Approximately 964 square feet of the existing home is converted to an Accessory Dwelling Unit (ADU), which is subject to staff level review and approval.
- The new two-story house is positioned towards the rear of the existing house.
- The proposed second-floor area is 28% of the first-floor area and is proposed to the rear of the property, reducing the potential adverse visual impact on the neighborhood.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

#### Findings supporting the Staff Recommendation

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*

- The development provides the required two covered parking spaces.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The development provides the minimum required driveway length per the Planned Development approval.
2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
- The development is consistent with the existing single-family residential design. There is no expansion of the parking or intensification of use that would cause increased traffic congestion or hazard.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create an increase in traffic.
3. *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The proposed project is compatible with adjacent residential properties and generally consistent with the City's Design Guidelines, in that the project maintains the existing two-story character of the neighborhood.
  - The development is a two-story residence that is in scale with the appearance of the existing neighborhood in that the second story is set back from the rear wall line.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health safety and general welfare.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*
- The development preserves the neighborhood character with a two-story addition that is compatible in scale and character with the single-family housing type along Atherton Drive.

### **Conditions of Approval**

- 1) This Architectural approval Permit (PLN21- 15374) shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer.
- 2) Prior to the issuance of a Building Permit, the development of the site and all associated improvements shall conform to the approved plans with File No. **PLN21- 15374**, on file with the

Community Development Department, Planning Division.

- 3) The developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 4) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 5) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.
- 6) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.

### **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301-Existing Facilities, in that the project is limited to a small addition to the existing single-family residence.

### **PUBLIC CONTACT**

On June 23, 2022, a notice of public hearing of this item was posted in three conspicuous places within 300 feet of the project site and mailed to property owners within 300 feet of the project site. The planning Staff has not received any public comments for this application at the time of preparation of this report.

### **RECOMMENDATION**

**Approve the Architectural Review** for the proposed reclassification of a portion of the existing 2,185 square-foot residence as the attached Accessory Dwelling Unit (ADU), and a 1,154 square-foot first floor and a 1,041 square-foot second-floor addition resulting in a new 3,416 square-foot two-story house with three bedrooms and two and a half bathrooms with the existing 400 square-foot 2-car garage to remain for the property located at 3875 Eastwood Drive, subject to conditions.

Prepared by: Nimisha Agrawal, Associate Planner, Community Development

Approved by: Lesley Xavier, Planning Manager, Community Development

### **ATTACHMENTS**

1. Project Data
2. Development Plans

**Project Data**

<b>Lot Area: 14,563 sq. ft.</b>				
	<b>Existing Floor Area (sq. ft.)</b>	<b>Reclassified (sq. ft.)</b>	<b>Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	2,185	964	1,154	2,375
<b>Second Floor</b>	-	-	1,218	1,041
<b>Garage</b>	400		-	400
<b>Porch</b>	23	23	17	17
<b>ADU</b>	-	-	964	964
<b>ADU Porch</b>		23	-	23
<b>Second Floor to first floor ratio</b>	-			1,041/3,739= 27.8%
<b>Gross Floor Area</b>	2,608		1,506	4,820
<b>F.AR.</b>	2,608/14,563= .18			4,820/14,563= .33
<b>Lot Coverage</b>	2,185/14,563 = 17.8%		-	2,792/14,563 = 19.1%
<b>Bedrooms/Baths</b>	3 Bedrooms 2 Baths		.5 Bath	3 Bedrooms 2.5 Baths

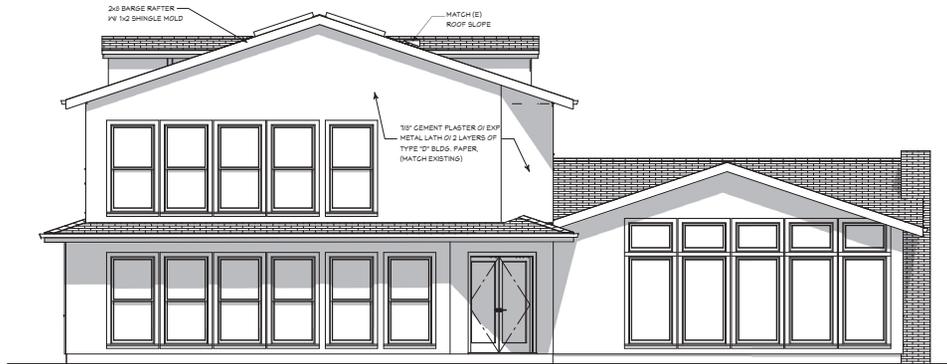
**\*ADU not counted towards the maximum allowed building coverage**



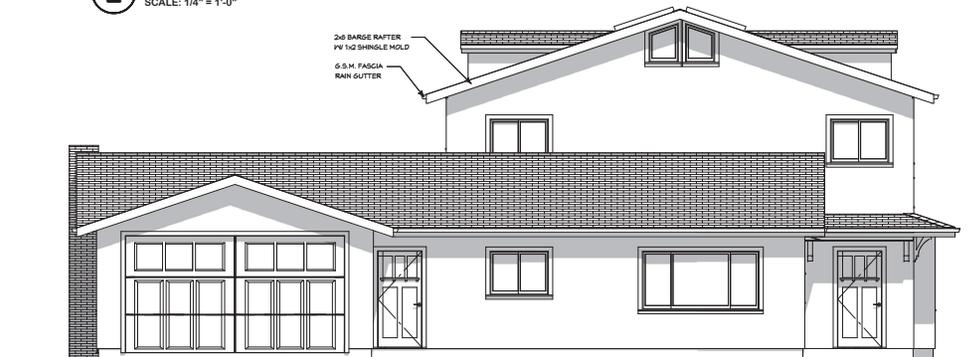








**2 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



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SYM	REVISIONS	DATE
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SUBMITTAL DATE

ISSUE DATE

*Gil Dominguez*

ELEVATIONS & RENDERINGS

**SHEHABI RESIDENCE**  
ADDITION REMODEL  
3875 EASTWOOD CIR.  
SANTA CLARA, CA 95054  
APN: 101-26-001

DRAWN BY:	DATE:
GD	05/02/2021
SCALE:	JOB NO.:
NOTED	G - 0221

SHEET

**A2.1**  
OF



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SYM	REVISIONS	DATE
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SUBMITTAL DATE

ISSUE DATE

*Gil Dominguez*

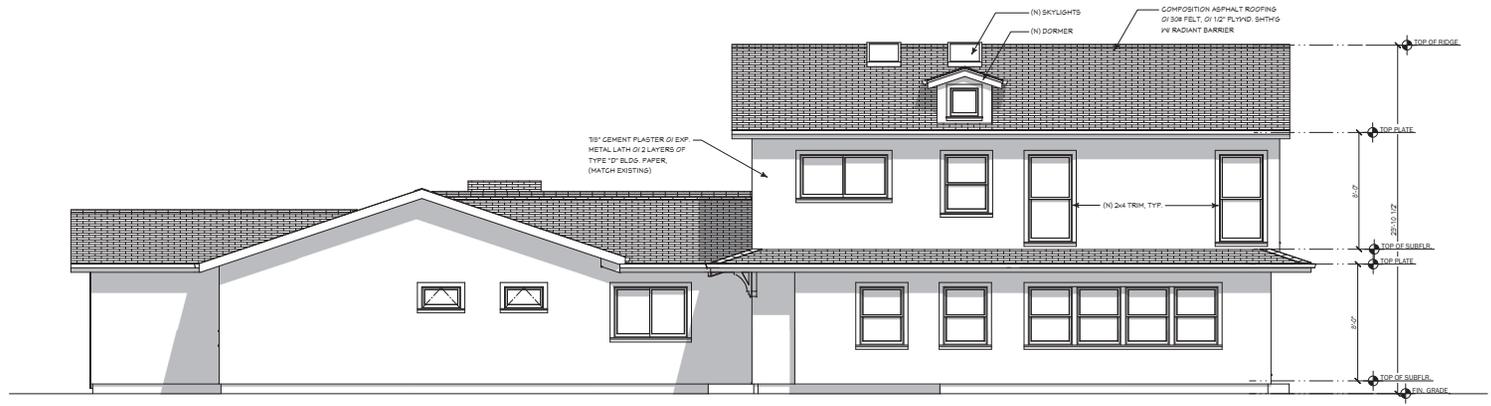
ELEVATIONS

**SHEHABI RESIDENCE**  
 ADDITION REMODEL  
 3875 EASTWOOD CIR.  
 SANTA CLARA, CA 95054  
 APN: 101-26-001

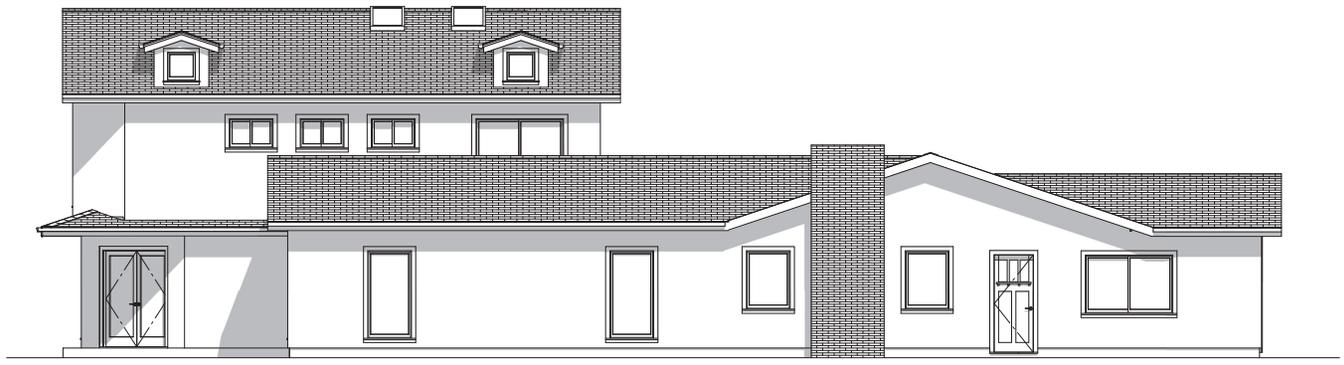
DRAWN BY: DATE:  
 GD 05/02/2021  
 SCALE: JOB NUM:  
 NOTED: G-0221

SHEET

**A2.2**  
 OF



**4 RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**3 LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



## Agenda Report

22-799

Agenda Date: 7/6/2022

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Action on a 161 square-foot first floor addition, new 1,327 square-foot second story, and interior remodel to an existing one-story single-family residence at 3674 Macintosh Street.

**File No.(s):** PLN22-00168

**Location:** 3674 Macintosh Street, a 6,129 square-foot lot located on the west side of Macintosh Street, approximately 260 feet north of Laurie Avenue; APN: 101-22-039; the property is zoned Single-Family Residential (R1-6L).

**Applicant:** Arbel Design

**Owner:** Tony Wong and Cindy Nguyen

**Request:** Architectural Review of a 161 square foot first floor addition, new 1,327 square-foot second story, and interior remodel to an existing 2,002 square foot with 3 bedroom / 3 bath residence resulting in a 5 bedroom / 4.5 bath home with 3,012 square foot living area and 478 square foot attached garage area.

#### Project Data

The Project Data Table is included as Attachment 2.

#### Points for Consideration

- The project includes a 161.63 square foot first floor addition and a 1,327.21 square foot second floor addition resulting in a two-story single-family residence with five bedrooms and four and a half bathrooms.
- The proposed second story addition is stepped back five feet from the front and side of the first floor, but does not provide any step back from the rear and is flush with the first floor.
- Window orientation is also consistent with the City's Design Guidelines in that egress windows on the second floor are oriented to the front and rear elevations. While the second story windows oriented on the right (northwest) and left (southeast) side elevations are five feet above the second floor.
- The project complies with the R1-6L development standards. The proposal is generally consistent with the City's Design Guidelines as the residence reflects a contemporary design in building form, exterior building materials, and architecture.
- The proposed exterior will be consistent with the existing residence in material with asphalt shingle roofing and stucco siding.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.
- There are no active code enforcement cases for this property.

## **Findings**

- 1) *That any off-street parking area, screening strips and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The proposal provides the required two covered parking spaces within the 478.64 square-foot garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
  
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The proposed two-story residence resulting in five bedrooms and four and a half bathrooms would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
  
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences with contemporary tract home style architecture.
  - The project complies with the R1-6L development standards for new construction.
  - The proposed second story addition does not provide three to five feet rear step-back consistent with the City's Single-Family Design Guidelines.
  
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or*

*working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The proposed project is generally consistent with the City's Residential Design Guidelines and compatible scale and character with the housing types that are typical in the neighborhood.

### **Conditions of Approval**

- 1) Permit Expiration. This Architectural Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer.
- 2) Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans with File No. **PLN22-00168**, on file with the Community Development Department, Planning Division.
- 3) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 4) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 5) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

### **ENVIRONMENTAL REVIEW**

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities in that the project is limited to a small addition to the existing single-family residence.

**PUBLIC CONTACT**

On June 23, 2022, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Public comments received on this item are attached to this report.

**RECOMMENDATION**

**Approve** the 161 square-foot first floor addition, new 1,327 square-foot second story, and interior remodel to an existing 2,002 square-foot with 3 bedroom / 3 bath residence resulting in a 5 bedroom / 4.5 bath home with 3,012 square-foot living area and 478 square-foot attached garage area, subject to conditions.

Prepared by: Meha Patel, Assistant Planner, Community Development

Approved by: Lesley Xavier, Planning Manager, Community Development

**ATTACHMENTS**

1. Development Plans
2. Project Data

## SCOPE OF WORK

- 1- DESIGNING THE EXISTING 1st FLOOR AND NEW 2nd FLOOR ADDITION .
- 2- DESIGNING THE 1st FLOOR REMODELING
- 3- MOVING THE EXISTING 1st FLOOR FURNACE FROM ATTIC TO UTILITY ROOM & ADDING THE 2nd FLOOR FURNACE IN THE HALLWAY CLOSET
- 4- UPGRADING THE EXISTING ELECTRICAL SERVICE TO 200 AMP
- 5- MOVING THE SIDE YARD LAUNDRY TO THE 1st FLOOR UTILITY ROOM
- 6- UPGRADING THE EXISTING TANKLESS WATER HEATER PER TITLE 24
- 7- REMOVING THE LEFT SIDE YARD SHED STORAGE
- 8- REMOVING THE SHADING STRUCTURE ON THE RIGHT SIDE YARD
- 9- REMOVING TUB FROM THE GARAGE RESTROOM
- 10- REPLACING THE 1st FLOOR DINING ROOM EXTERIOR DOOR WITH A WIDER NEW ONE
- 11- REMOVING THE 1st FLOOR GARAGE FRONT ELEVATION BRICKS
- 12- REMOVING FIRE PLACE
- 13- MOVING FRONT YARD WATER SOFTNER
- 14- REMOVING CMU FENCES IN THE RIGHT OF WAY
- 15- INSTALLING EVC IN THE GARAGE
- 16- LEGALIZING EVC ON THE RIGHT SIDE YARD- GARAGE WALL
- 17- INSTALLING A SEPARATE WATER METER
- 18- SPECIAL INSPECTIONS / HERS INSPECTIONS

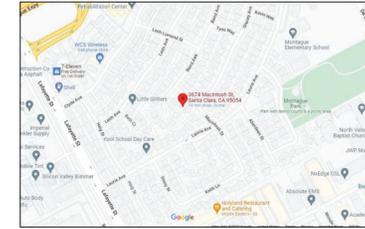
## PROJECT INFORMATION

ASSESSOR'S PARCEL NO. (APN)	101-22-039
ZONING DISTRICT	R1- 6L
OCCUPANCY GROUP	R-3/U
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	FULLY SPRINKLERED
NUMBER OF STORIES	2
GARAGE PARKING SPACE	2
SLOPE AT BUILDING'S EDGE	0
AVERAGE SLOPE OF ENTIRE SITE	0
LOT AREA	6129 SF
BUILDING MAXIMUM HEIGHT	24'
MAXIMUM ALLOWED LOT COVERAGE	%40
MAXIMUM ALLOWED BUILDING HEIGHT	25'
MINIMUM REQUIRED 1st FLOOR FRONT SETBACK	20'
MINIMUM REQUIRED REAR SETBACK	20'
MINIMUM REQUIRED SIDE SETBACK	5'

## FAR, COVERAGE, 2nd FLOOR RATIO

<b>FAR</b>	
(E) RESIDENCE:	1474.99 SF
(E) GARAGE	478.64 SF
(E) ENTRY COVERED PORCH	48.75 SF
(E) 1st FLOOR AREA	2002.38 SF
(P) 1st FLOOR ENTRY ADDITION	161.63 SF
(P) 1st FLOOR TOTAL AREA	2164.01 SF
(P) 2nd FLOOR (ADDITION) TOTAL AREA	1327.21 SF
(P) 1st FLOOR & 2nd FLOOR ADDITION	1488.84 SF
(P) HOUSE TOTAL AREA	3491.22 SF
(P) 1st FLOOR REMODELING AREA	357.05 SF
(P) INSIDE DEMOLITION AREA	357.05 SF
<b>LOT COVERAGE</b>	
(E) LOT AREA	6129 SF
(P) 1st FLOOR TOTAL AREA	2164.01 SF
(E) SHED STORAGE 1:	99 SF
(P) 2164.01+99= 2263.01 SF / 6129 SF	36.9% < %40
<b>2nd FLOOR AREA / 1st FLOOR AREA RATIO</b>	
1327.21 SF / 2164.01 SF	61.3%

# CINDY NGUYEN & TONY WONG 2nd FLOOR ADDITION & REMODELING 3674 MACINTOSH St. SANTA CLARA CITY, CA 95054



VICINITY MAP



PARCEL MAP

## BUILDING CODES

- 2019 CA Fire (2018 IFC)
- CBC 2019 California Building Code
- CRC 2019 California Residential Code
- CPC 2019 California Plumbing Code
- CEC 2019 California Electrical Code, Title 24
- CMC 2019 California Mechanical Code
- Building Energy Efficiency Standards 2019
- CALGreen 2019 Code California Green

## DRAWINGS INDEX

ARCHITECTURE	
A1.1	COVER SHEET
A1.2	NEIGHBORHOOD
A2.1	(E) SITE PLAN
A2.2	(P) SITE PLAN
A3.1	(E) 1st FLOOR PLAN
A3.2	(E) ELEVATIONS
A4.1	(P) DEMOLITION PLAN
A4.2	(P) 1st FLOOR PLAN
A4.3	(P) 2nd FLOOR PLAN
A4.4	FLOOR PLAN DIAGRAM
A4.5	(P) ELEVATIONS-1
A4.6	(P) ELEVATIONS-2
A4.7	(P) ELEVATIONS MATERIALS

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PROJECT TITLE

**CINDY NGUYEN & TONY WONG  
2nd FLOOR ADDITION & REMODELING  
3674 MACINTOSH St. SANTA CLARA  
CITY, CA 95054**

DRAWING TITLE

**COVERSHEET**

DATE

**03-22-22**

ENGINEER

DESIGNER

**ARBEL TOUMEH**

DRAWN

**ARBEL TOUMEH**

APPROVED

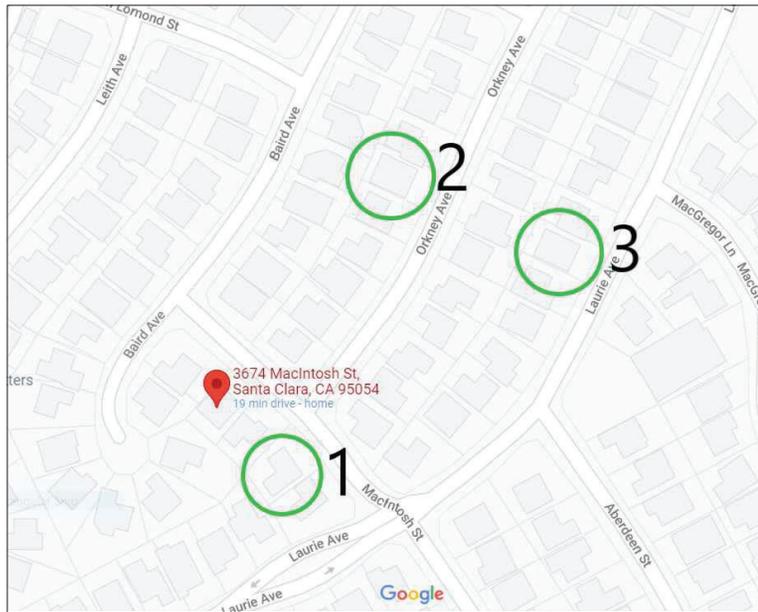
FILE NO.

**110-AR-00**

SHEET NO.

**A-1.1**

# THE 2 STORY SINGLE FAMILY HOUSES IN THE SUBJECT PROPERTY NEIGHBORHOOD (3 CASES)



KEY PLAN



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PROJECT TITLE

**CHDY NGUYEN & TONY WONG  
2674 MACINTOSH ST. SANTA CLARA  
CITY, CA 95054**

DRAWING TITLE

**NEIGHBORHOOD  
TWO STORY HOUSES**

DATE

**03-22-22**

ENGINEER

DESIGNER

**ARBEL TOUMEH**

DRAWN

**ARBEL TOUMEH**

APPROVED

FILE NO.

**110-AR-00**

SHEET NO.

**A-1.2**



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PROJECT TITLE  
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2nd FLOOR ADDITION  
3874 MACINTOSH ST. SANTA CLARA  
CITY, CA 95054**

DRAWING TITLE  
**(E) SITE PLAN**

DATE  
**03-22-22**

ENGINEER

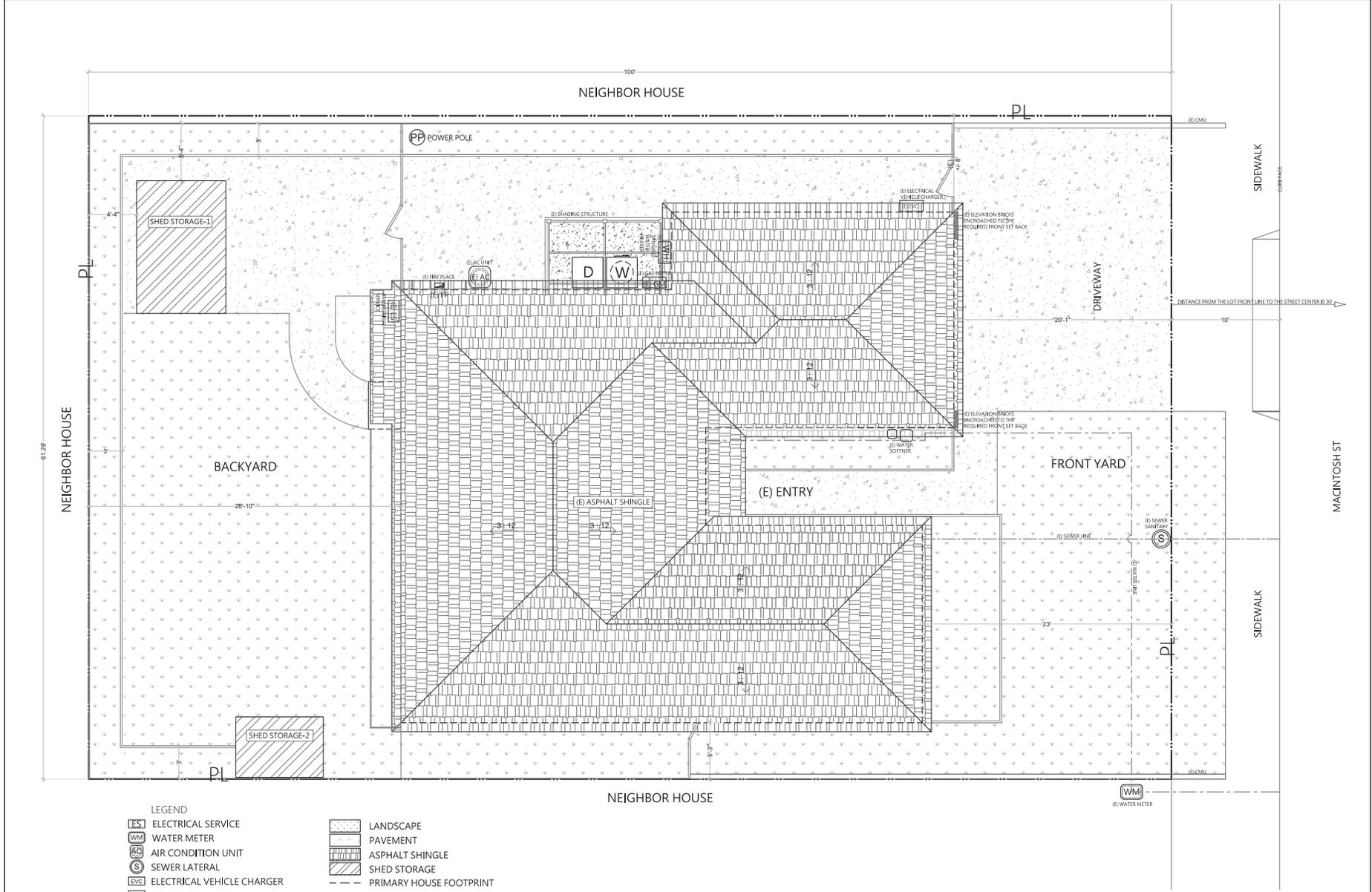
DESIGNER  
**ARBEL TOUMEH**

DRAWN  
**ARBEL TOUMEH**

APPROVED

FILE NO.  
**110-AR-00**

SHEET NO.  
**A-2.1**

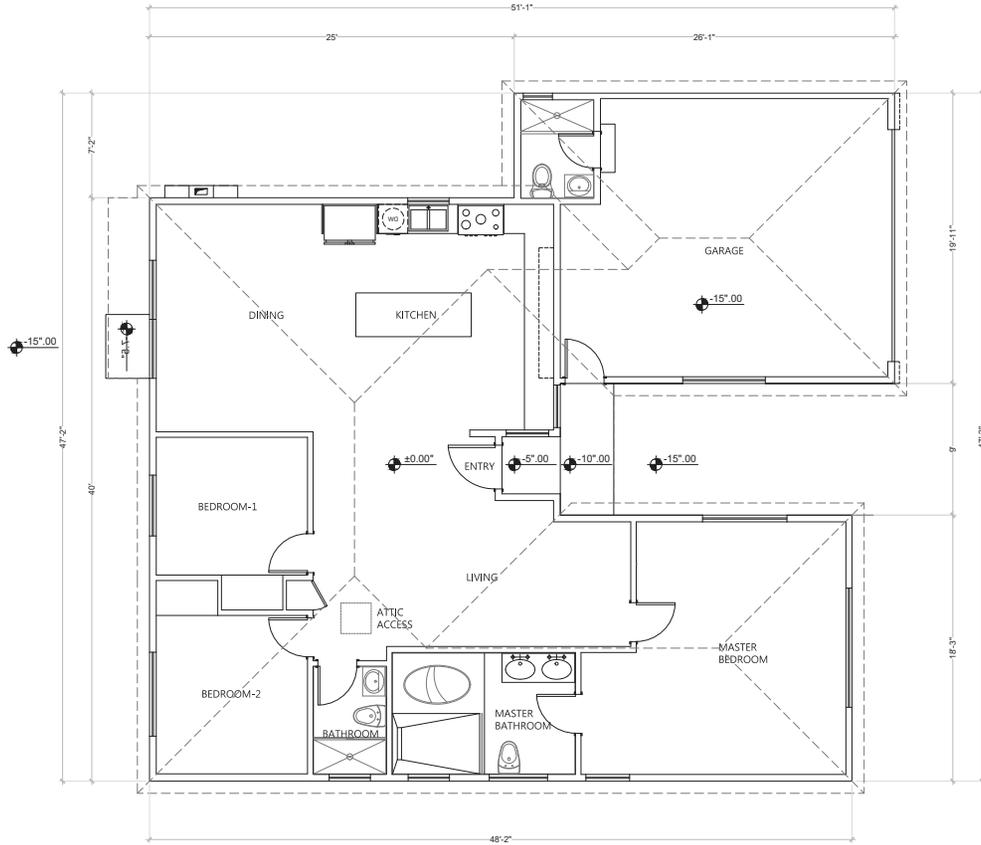


- LEGEND
- [ES] ELECTRICAL SERVICE
  - [WM] WATER METER
  - [AC] AIR CONDITION UNIT
  - [S] SEWER LATERAL
  - [EVC] ELECTRICAL VEHICLE CHARGER
  - [FP] FIRE PLACE
  - [WH] WATER HEATER
  - [GM] GAS METER
  - [PP] POWER POLE
  - [CMU] CEMENT MASONRY UNIT

- [Landscape Pattern] LANDSCAPE
- [Pavement Pattern] PAVEMENT
- [Asphalt Shingle Pattern] ASPHALT SHINGLE
- [Shed Storage Pattern] SHED STORAGE
- [Dashed Line] PRIMARY HOUSE FOOTPRINT

**(E) SITE PLAN**  
SC: 1/4"=1'





**(E) 1st FLOOR PLAN**  
 SC: 1/4" = 1'

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PROJECT TITLE  
**CINDY NGUYEN & TONY WONG  
 2nd FLOOR REVISIONS  
 3874 MACINTOSH St. SANTA CLARA  
 CITY, CA 95054**

DRAWING TITLE  
**(E) 1st FLOOR PLAN**

DATE  
**03-22-22**

ENGINEER

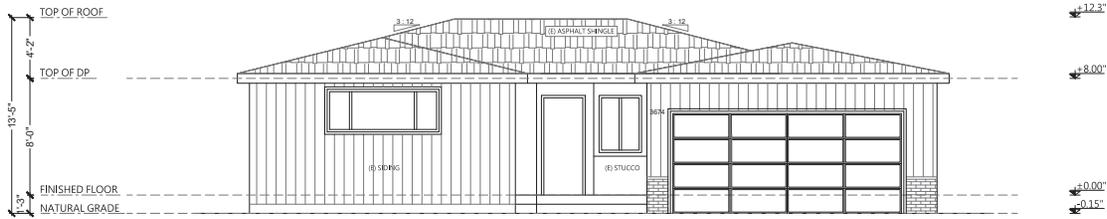
DESIGNER  
**ARBEL TOUMEH**

DRAWN  
**ARBEL TOUMEH**

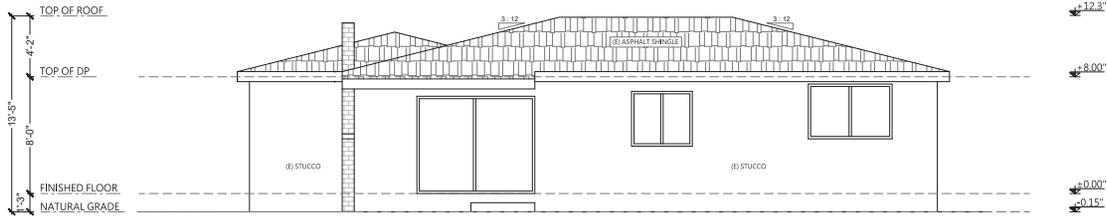
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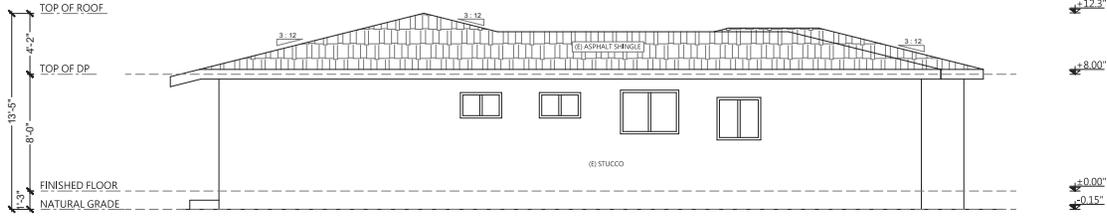
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**A-3.1**



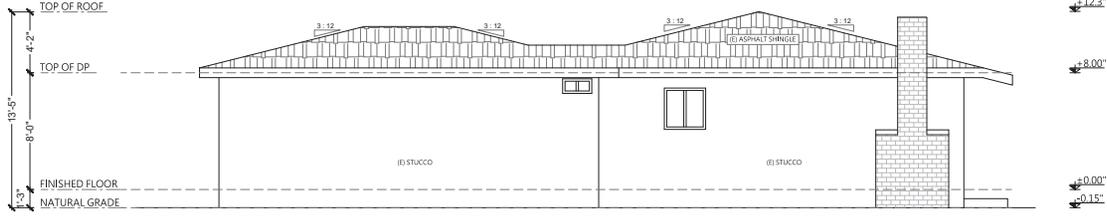
**(E) FRONT ELEVATION**  
SC:1/4"=1'



**(E) REAR ELEVATION**  
SC:1/4"=1'



**(E) LEFT ELEVATION**  
SC:1/4"=1'



**(E) RIGHT ELEVATION**  
SC:1/4"=1'



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Los Gatos CA 95032

PROJECT TITLE

**CINDY NGUYEN & TONY WONG**  
2nd FLOOR  
3874 MACINTOSH ST. SANTA CLARA  
CITY, CA 95054

DRAWING TITLE

**(E) ELEVATIONS**

DATE

**03-22-22**

ENGINEER

DESIGNER

**ARBEL TOUMEH**

DRAWN

**ARBEL TOUMEH**

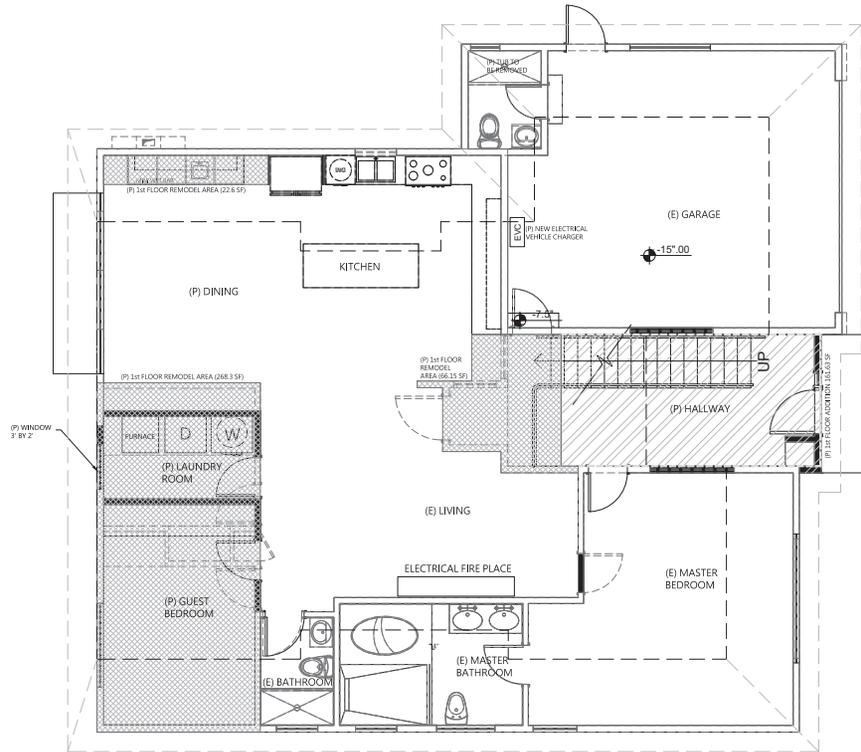
APPROVED

FILE NO.

**110-AR-00**

SHEET NO.

**A-3.2**



- TO BE REMOVED WALLS & CLOSETS
- ===== EXISTING WALLS
- ===== NEW WALLS
- ////// 1st FLOOR ADDITION AREA (161.63 SF)
- ##### 1st FLOOR REMODELING AREA (357.05 SF)
- - - - 2nd FLOOR FOOTPRINT

**(P) 1st FLOOR DEMOLITION PLAN**

SC: 1/4" = 1'

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PROJECT TITLE

**CINDY NGUYEN & TONY WONG  
2nd FLOOR REMODELING  
3874 MACINTOSH ST. SANTA CLARA  
CITY, CA 95054**

DRAWING TITLE  
**(P) 1st FLOOR  
DEMOLITION PLAN**

DATE  
**03-22-22**

ENGINEER

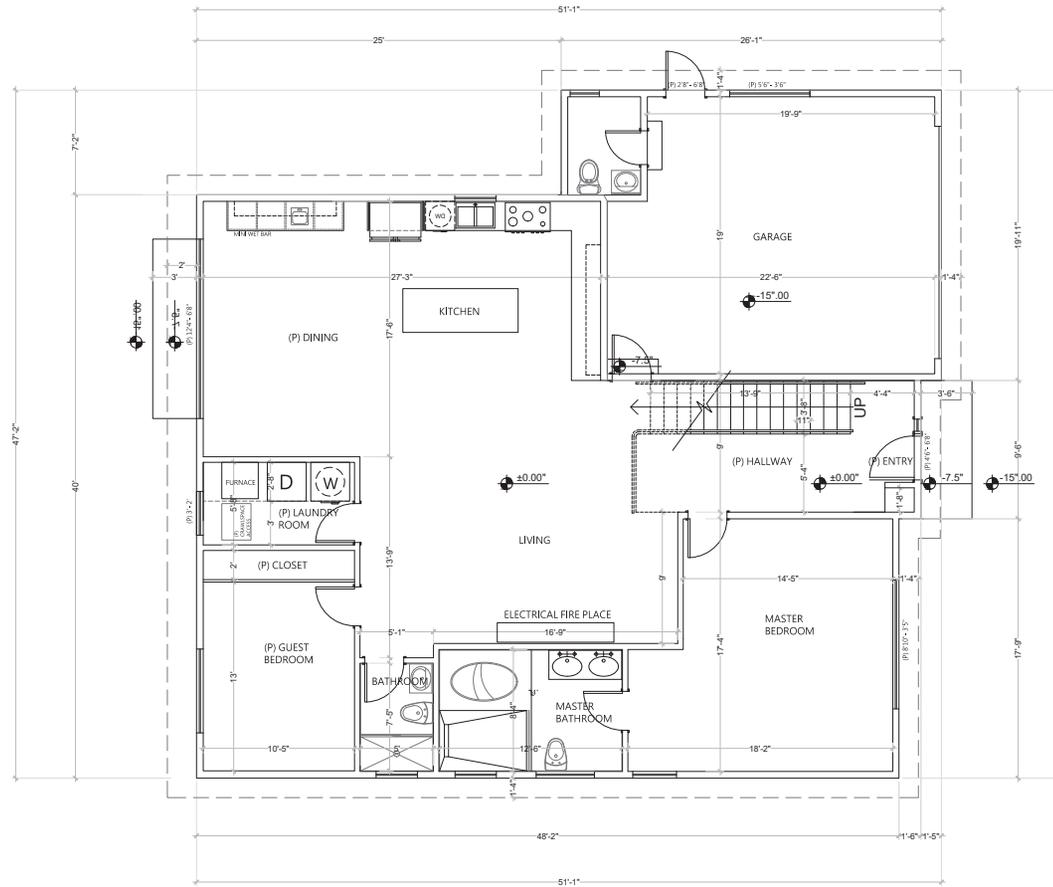
DESIGNER  
**ARBEL TOUMEH**

DRAWN  
**ARBEL TOUMEH**

APPROVED

FILE NO.  
**110-AR-00**

SHEET NO.  
**A-4.1**



**(P) 1st FLOOR PLAN**

SC: 1/4" = 1'

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PROJECT TITLE

**CINDY NGUYEN & TONY WONG**  
2nd FLOOR PLAN  
3874 MACINTOSH ST. SANTA CLARA  
CITY, CA 95054

DRAWING TITLE

**(P) 1st FLOOR PLAN**

DATE

**03-22-22**

ENGINEER

DESIGNER

**ARBEL TOUMEH**

DRAWN

**ARBEL TOUMEH**

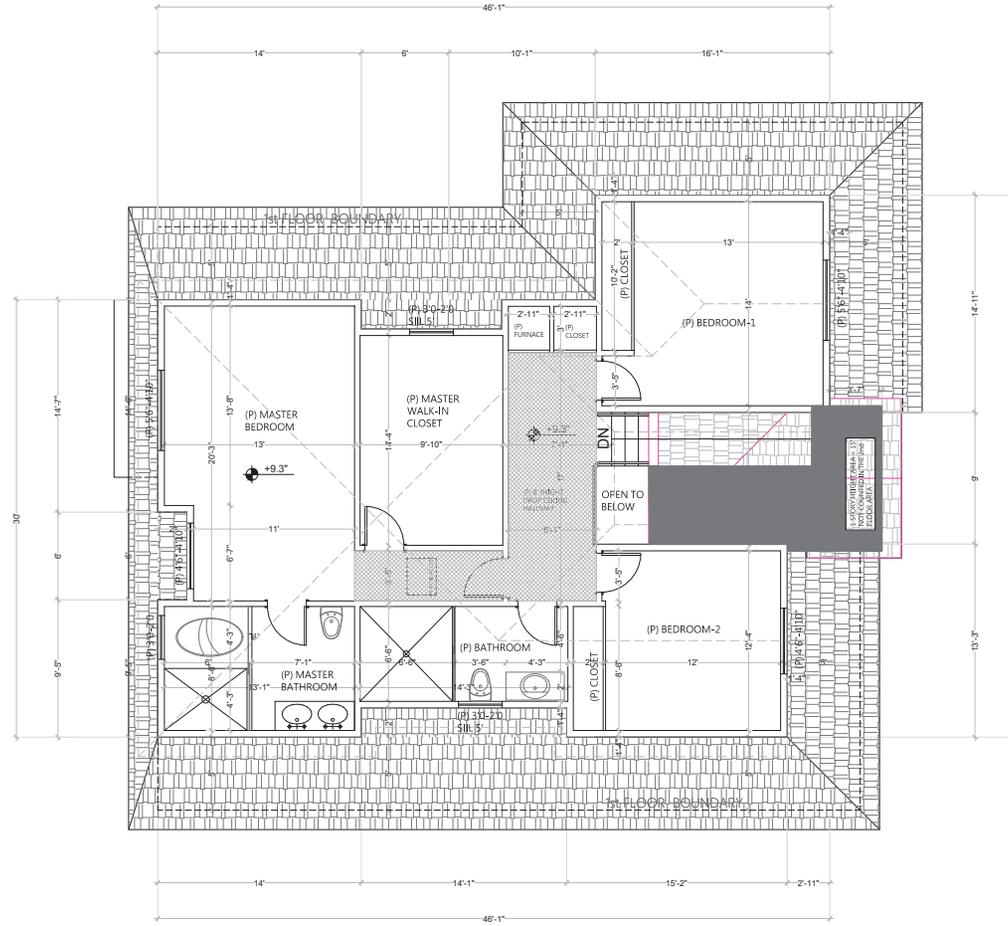
APPROVED

FILE NO.

**110-AR-00**

SHEET NO.

**A-4.2**



- 1 STORY HEIGHT AREA < 15'  
NOT COUNTED IN THE 2nd  
FLOOR AREA
- 8' DROP CEILING AREA

**(P) 2nd FLOOR ADDITION PLAN (1327.21 SF)**  
 SC:1/4"=1'

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PROJECT TITLE  
**CINDY NGUYEN & TONY WONG  
 2nd FLOOR ADDITION  
 3874 MACINTOSH ST. SANTA CLARA  
 CITY, CA 95054**

DRAWING TITLE  
**(P) 2nd FLOOR  
 ADDITION PLAN**

DATE  
**03-22-22**


ENGINEER

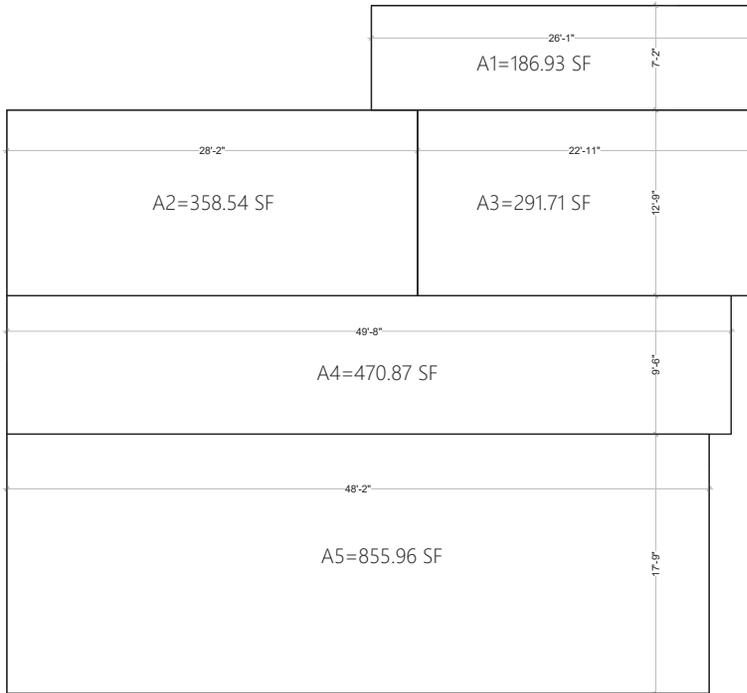
DESIGNER  
**ARBEL TOUMEH**

DRAWN  
**ARBEL TOUMEH**

APPROVED

FILE NO.  
**110-AR-00**

SHEET NO.  
**A-4.3**

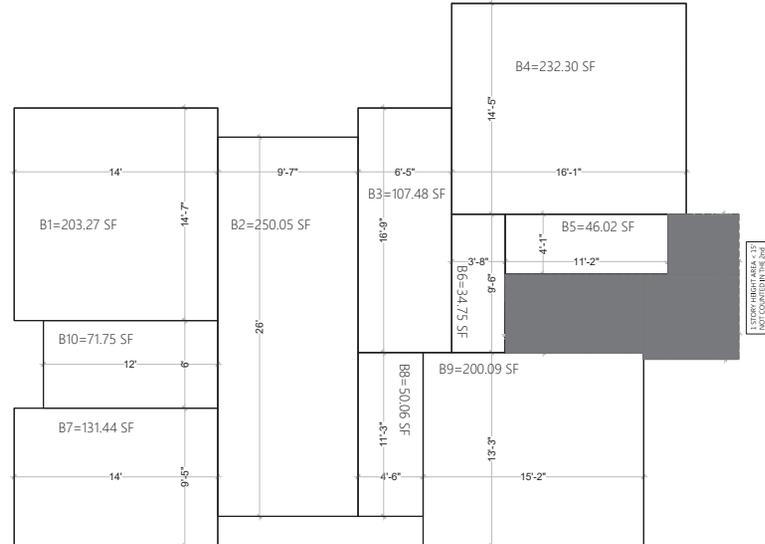


**(P) 1 st FLOOR AREA**

GARAGE AREA (A1+A3) = 478.64 SF  
 HABITABLE AREA (A2+A4+A5) = 1685.37 SF

1st FLOOR AREA = 2164.01 SF

TOTAL HOUSE AREA = 2164.01 SF + 1327.21 SF = 3491.22 SF



**(P) 2nd FLOOR AREA**

HABITABLE AREA = (B1 TO B10) = 1327.21 SF  
 LESS THAN 15' HEIGHT AREA = (C1+C2+C3) = 108.56 SF  
 (NOT COUNTED IN THE 2nd FLOOR AREA)

2nd FLOOR AREA = 1327.21 SF

**FLOOR AREA DIAGRAM**

SC: 1/4"=1'



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PROJECT TITLE

**CINDY NGUYEN & TONY WONG**  
 2nd FLOOR AREA DIAGRAM  
 3874 MACINTOSH St. SANTA CLARA  
 CITY, CA 95054

DRAWING TITLE

**FLOOR AREA DIAGRAM**

DATE

**03-22-22**

ENGINEER

DESIGNER

**ARBEL TOUMEH**

DRAWN

**ARBEL TOUMEH**

APPROVED

FILE NO.

**110-AR-00**

SHEET NO.

**A-4.4**



**(E) FRONT ELEVATION**

SC:1/4"=1'



**(E) REAR ELEVATION**

SC:1/4"=1'

ELEVATION MATERIALS  
WALLS: SOFT STUCCO  
WINDOWS: VINYL OR FIBERGLASS  
ROOF: ASPHALT SHINGLE

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PROJECT TITLE

CINDY NGUYEN & TONY WONG  
2nd FLOOR APARTMENT  
3874 MACINTOSH ST. SANTA CLARA  
CITY, CA 95054

DRAWING TITLE

(P) ELEVATIONS 2

DATE

03-22-22

ENGINEER

DESIGNER

ARBEL TOUMEH

DRAWN

ARBEL TOUMEH

APPROVED

FILE NO.

110-AR-00

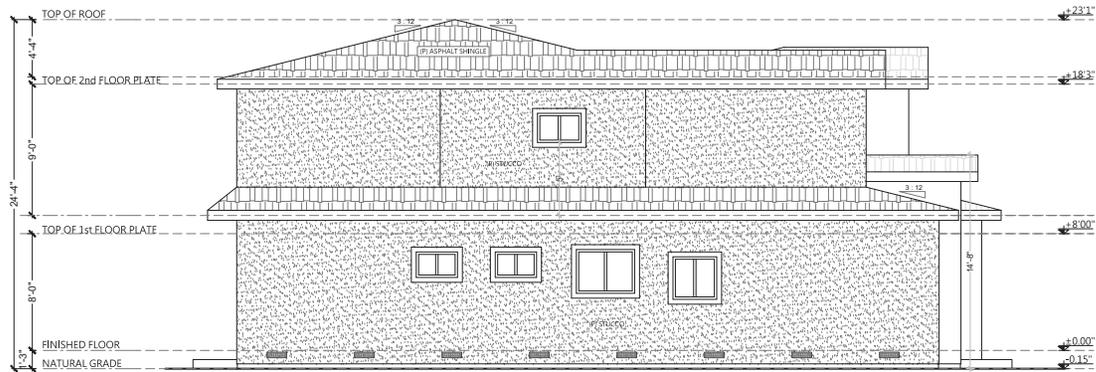
SHEET NO.

**A-4.5**



**(E) RIGHT ELEVATION**

SC: 1/4" = 1'



**(E) LEFT ELEVATION**

SC: 1/4" = 1'

ELEVATION MATERIALS  
 WALLS: SOFT STUCCO  
 WINDOWS: VINYL OR FIBERGLASS  
 ROOF: ASPHALT SHINGLE

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 Los Gatos CA. 95032

PROJECT TITLE

CINDY NGUYEN & TONY WONG  
 2nd FLOOR ADDITION  
 3874 MACINTOSH ST. SANTA CLARA  
 CITY, CA 95054

DRAWING TITLE

(P) ELEVATIONS 1

DATE

03-22-22

ENGINEER

DESIGNER

ARBEL TOUMEH

DRAWN

ARBEL TOUMEH

APPROVED

FILE NO.

110-AR-00

SHEET NO.

**A-4.6**



**(P) ELEVATION MATERIALS & COLORS**

SC: 1/4"=1'



DET. 1 - BEHR, WHITE NO. 270 OR SIMILAR COLOR OF THE WHITE STUCCO ELEVATION SURFACES



DET. 2 - BEHR, DEEP BASE NO. 67 OR SIMILAR COLOR OF THE DARK GRAY STUCCO ELEVATION SURFACES



DET. 3 - MILGERD OR SIMILAR CASEMENT WINDOWS WITH BARS VINYL OR FIBERGLASS & DARK GREY COLOR



DET. 6 - Left-Hand Single Lite Dilworth Decorative Black Fiberglass or Similar



DET. 4 - OWENS CORNING ESTATE GRAY SHINGLE ROOF OR SIMILAR SHINGLE ROOF SAMPLE



DET. 4 - OWENS CORNING ESTATE GRAY SHINGLE ROOF OR SIMILAR SHINGLE ROOF TEXTURE



DET. 5 - Bay View Collection Bronze 9.5" High Outdoor Wall Light Minka Lavery / Style # 94593 OR SIMILAR EXTERIOR WALL LIGHTING



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PROJECT TITLE

CINDY NGUYEN & TONY WONG  
2nd FLOOR  
3874 MACINTOSH St. SANTA CLARA  
CITY, CA 95054

DRAWING TITLE  
**(P) ELEVATIONS MATERIALS & COLORS**

DATE  
**03-22-22**

ENGINEER

DESIGNER  
**ARBEL TOUMEH**

DRAWN  
**ARBEL TOUMEH**

APPROVED

FILE NO.  
**110-AR-00**

SHEET NO.  
**A-4.7**

## Attachment 2: Project Data

### 3674 Macintosh Street

<b>Lot Area: 6,129 sq. ft.</b>				
	<b>Existing Floor Area (sq. ft.)</b>	<b>Remodel Area (sq. ft.)</b>	<b>Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	1,474.99	357.05	161.63	1,685.37
<b>Second Floor</b>				1,327.21
<b>Garage</b>	478.64			478.64
<b>Covered Porch</b>	48.75	48.75		
<b>Shed(s)</b>	46 + 99 = 145		- 46	99
<b>Gross Floor Area</b>	2,147.38			3,590.22
<b>Lot Coverage</b>	$2,147.38 / 6,129 = 35\%$			$2,263.01 / 6,129 = 36.9\%$
<b>F.A.R.</b>	$2,147.38 / 6,129 = 0.35$			$3,590.22 / 6,129 = 0.59$
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	N/A			$1,327.21 / 2,164.01 = 61.3\%$
<b>Bedrooms/ Baths</b>	3 / 3			5 / 4.5



## Agenda Report

22-847

Agenda Date: 7/6/2022

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Action on a 515 square-foot first floor addition and a 1,520 square-foot second floor addition to an existing 1,390 square-foot residence at 3283 Geneva Drive.

**File No.:** PLN2021-15029

**Location:** 3283 Geneva Drive, a 6,012 square-foot lot located at the southeast corner of Pruneridge Avenue and Geneva Drive; APN: 296-03-031; the property is zoned Single-Family Residential (R1-6L).

**Applicant:** Megan Miner

**Owner:** Bhuvaneshwari Jayaraman

**Request:** **Architectural Review** of a 515 square foot first floor addition and a 1,500 square foot second floor addition to an existing 1,390 square foot 3- bedroom, 2-bathroom, one-story residence resulting in a 3,405 square-foot, 4-bedroom (+2 potential bedrooms) 4.5 -bathroom, two-story residence with an existing attached two-car garage to remain.

#### Project Data

The Project Data Table is included as Attachment 2.

#### Points for Consideration

- The project includes a 515 square-foot first floor addition and a 1,520 square-foot second floor addition resulting in a two-story single-family residence with 4 bedrooms, a music room, gym, and 4.5-bathrooms. The music room and gym could be utilized as potential bedrooms.
- The proposed second floor addition provides a setback of five feet from the front and sides of the first story walls and more than five feet from the rear of the first story wall.
- The proposed addition to the residence will match the existing residence in material, with composition shingle roofing and stucco siding.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

#### Findings

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The development provides the required two car covered parking spaces.

- The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The development provides the minimum required driveway length of twenty feet between the parking and any street right-of-way line.
2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
- The proposed new residence resulting in 4-bedrooms and 4.5-bathrooms would not create traffic congestion or hazards
  - The project includes a condition to maintain the garage clear and unobstructed for parking of two vehicles.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create an increase in traffic.
3. *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The proposed development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*
- The proposed addition includes stucco siding and composition shingles roofing to match the existing residence.
  - The proposed project is compatible in scale and character of the residential structures present in the neighborhood.

### **Conditions of Approval**

- 1) Permit Expiration. This Architectural Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer.
- 2) Prior to the issuance of a Building Permit, the development of the site and all associated improvements shall conform to the approved plans with File No. **PLN2021-15029**, on file with the

Community Development Department, Planning Division.

- 3) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 4) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 5) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.
- 6) The garage shall always be maintained clear and free for parking of two vehicles. It shall not be used only for storage.

### **ENVIRONMENTAL REVIEW**

Categorical Exemption per CEQA 15301 (e)(1), Existing Facilities.

### **PUBLIC CONTACT**

On June 23, 2022, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning staff has not received public comments for this application.

### **RECOMMENDATION**

**Approve** the proposed addition to an existing single-family residence resulting in a 4 bedroom and 4.5 bathrooms two-story residence at 3283 Geneva Drive, subject to conditions.

Prepared by: Tiffany Vien, Associate Planner, Community Development Department

Approved by: Lesley Xavier, Planning Manager, Community Development Department

### **ATTACHMENTS**

1. Development Plan
2. Project Data



# A REMODEL FOR Gaddamraja & Jayaraman

3283 GENEVA AVE, SANTA CLARA, CA 95051

REVISIONS	BY

THE PLAN, SPEC AND OTHER NOTES OF THIS DRAWING ARE THE PROPERTY OF THE ARCHITECT. NO PARTS OF THIS DRAWING, PLAN OR SPEC SHALL BE LOANED, REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

*Megan Minter*

**MM HOME DESIGNS**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
MMHOMEDESIGNS@GMAIL.COM - 408.398.0951

A Project for:  
**Gaddamraja & Jayaraman**  
3283 GENEVA AVE SANTA CLARA, CA 95051  
Bhuvaneshwari Jayaraman & Seshasayee Gaddamraja

DATE	MM
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DATE	Wednesday, June 15, 2023
SCALE	AS SHOWN
TITLE	
PAGE:	1 / 14
COVER SHEET	

### NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MM HOME DESIGNS. ANY REQUESTS FOR ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MM HOME DESIGNS. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF BRACKETS, OVERSPANS AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MM HOME DESIGNS. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLAN IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MM HOME DESIGNS. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLAN OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MM HOME DESIGNS.

### SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 24 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE THINGS YOU ARE NOT EXPECTING

### SCOPE OF WORK

ADDITION OF 515 TO THE LOWER FLOOR, CONVERSION OF 40 SQFT OF GARAGE TO REMOTE LIVING, ADD 50 SQFT PORCH, ADD 1500 SQFT UPPER AND REMOVE ENTIRE ROOF TO BUILD WALLS ON LOWER UP TO NEW 9'-6" TOTAL FLOOR HEIGHT. UPDATE ELECTRICAL AND PLUMBING THROUGHOUT

### ANALYSIS

ASSESSOR'S PARCEL #	296-03-031
LOT AREA:	6,012 S.F.
ZONING:	R1-6L
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY RATING:	R-3, U
EXISTING USE:	SINGLE FAMILY RES.
SLOPE OF LOT	FLAT LOT
EXISTING	
EXISTING LIVING:	1390 S.F.
EXISTING GARAGE:	450 S.F.
TOTAL EXISTING	1840 S.F.
PROPOSED	
LOWER LIVING ADDITION	515 S.F.
UPPER LIVING ADDITION	1,500 S.F.
GARAGE CONVERTED TO LIVING	40 S.F.
COVERED PORCH ADDITION	50 S.F.
TOTAL SQUARE FOOTAGE	3,945 S.F.
LOT COVERAGE	
PROPOSED LOWER LIVING TOTAL	1,905 S.F.
GARAGE CONVERTED TO LIVING	40 S.F.
PROPOSED GARAGE TOTAL	410 S.F.
PROPOSED PORCH TOTAL	50 S.F.
TOTAL FOOTPRINT SQUARE FOOTAGE 40%	2,405 S.F.
ALLOWABLE LOT COVERAGE	40%
UPPER TO LOWER - 62%	
PROPOSED LOWER LIVING TOTAL	1,945 S.F.
GARAGE TOTAL	410 S.F.
COVERED PORCH ADDITION	50 S.F.
TOTAL SQUARE FOOTAGE	2,405 S.F.
UPPER LIVING ADDITION	1,520 S.F.

### DRAWING SCHEDULE

COVERSHEET	1
SITE PLAN	2
BLUE PRINT FOR CLEAN BAY	3
CAL GREEN	4
CAL GREEN 2	5
EXISTING FLOORPLAN	6
PROPOSED FLOORPLANS	7
EXTERIOR ELEVATIONS	8
EXISTING ELEVATIONS	9
EXISTING & NEW ROOF PLAN	10
ELECTRICAL PLAN	11
NOTES	12
DETAILS	13
DETAIL SHEET 2	14

### GENERAL NOTES

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BRIDGED TO THE ATTENTION OF MICHELLE MONROE DESIGN PRIOR TO COMMENCING.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES IN 3% TO 4% AWAY FROM STRUCTURES FOR POSITIVE DRAINAGE @ LANDSCAPED AREA & SLOPE GRADE 2% MIN. @ PAVED AREAS.

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.C.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIVEWAY OR ANY DRIVEWAY PROTECTED ZONES ON SITE.

ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. MIN. 4" HIGH X 1" WIDE PER C.R.C. 236.

DUCT OPENINGS, TO BE COVERED AND PROTECTION OF MECHANICAL EQUIPMENT TO BE PROVIDED DURING CONSTRUCTION

VOC COMPLIANCE - CARBEN, SEALANTS, ADHESIVES, SHALL BE COMPLIANT WITH MFR LIMITS FOR SOC AND OTHER COMPONENTS (TABLE 4.304-1)

PAINTS AND COATINGS COMPLIANT WITH VOC LIMITS (TABLE 4.304-3)

AEROSOLS AND COATINGS SHALL BE COMPLIANT WITH MFR LIMITS FOR SOC AND OTHER TOXIC COMPONENTS

VERIFICATION AND DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS

VOC COMPLIANCE - CARPET & CARPET SYSTEMS

80% FLOOR AREA RECEIVING RESILIENT FLOORING MEET VOC EMISSION LIMITS PER CHS

PARTICLEBOARD, MDF, HARDWOOD FLOORING COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (TABLE 4.304-5)

MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE

BATHROOM EXHAUST FANS SHALL TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL

ANULOUS BRACKETS AROUND PIPES, PLASTIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLAYS AT 3" INTERVALS SHALL BE PROTECTED AGAINST THE RAINFALL OF ROOFERS BY COILING BRICK OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE INSPECTING AGENCY.

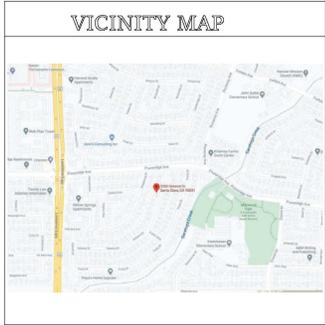
CONSTRUCTION WASTE MANAGEMENT

RECYCLE AND/OR SAVE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE BY ACCORDANCE WITH ONE OF THE FOLLOWING:

1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, OR
2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2, OR
3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.2, OR
4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.2.

OPERATION AND MAINTENANCE MANUAL

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

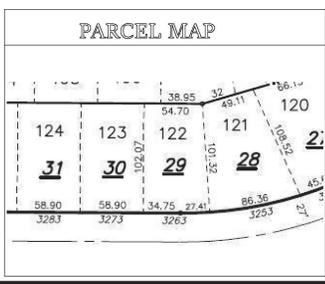


### APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

- 2016 CALIF. FIRE CODE
- 2016 CALIF. BLDG CODE
- 2016 CALIF. RESIDENTIAL CODE
- 2016 CALIF. MECH. CODE
- 2016 CALIF. PLUMB'G CODE
- 2016 CALIF. ELEC. CODE
- 2016 CALIF. ENERGY CODES
- 2016 CALIF. GREEN BUILDING CODES

ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.



### PERSONAE

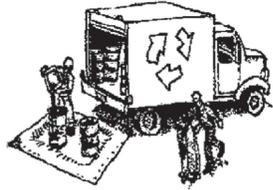
<b>OWNER</b>	<b>DESIGNER</b>
Gaddamraja & Jayaraman 3283 GENEVA AVE SANTA CLARA, CA 95051	MM HOME DESIGNS MEGAN MINTER 18488 PROSPECT RD. #15 SARATOGA, CA 95070 (408) 398-0951
Bhuvaneshwari Jayaraman	



# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



### Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area, (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



### Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

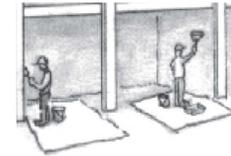
### Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.



**Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program**

## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

REVISIONS	BY
Wednesday, June 16, 2010	

THE PLANS, SPECIFICATIONS AND OTHER DOCUMENTS OF THIS PROJECT ARE THE PROPERTY OF THE CONTRACTOR. NO PARTS OF THIS DOCUMENT, PRINTED OR UNPRINTED, SHALL BE LOANED, REPRODUCED OR IN ANY MANNER COPIED, REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE CONTRACTOR. PENALTY FOR VIOLATION SHALL BE \$500.00 PER DAY.

*Megan Moore*

**MM HOME DESIGNS**  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
MMHOMEDESIGNS@GMAIL.COM - 408.396.0951

A Project for:  
**Gaddamraja & Jayaraman**  
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Bhuvaneshwari Jayaraman & Seshasayee Gaddamraja

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BLUE PRINT FOR CLEAN BAY

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



A = ARCHITECT  
C = CONTRACTOR

# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

## CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

**301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in the application checklist contained in this code. Voluntary green building measures are also included in the application checklist and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

**301.1.1 Additions and alterations [RCS].** The mandatory provisions of Chapter 3 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to a portion within the specific area of the addition or alteration.

**Notes:** On or after January 1, 2024, residential buildings undergoing permitted alterations, additions, or improvements shall require nonpoint-source slaking features with water-conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a certificate of completion, certificate of occupancy or final permit approval by the local building department. See CMC Code Section 1101.1, et seq., for the definition of a nonpoint-source plumbing fixture, type of residential buildings affected and other important enforcement dates.

**301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS [HCD]** The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by letters to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no letter will be used.

### SECTION 302 MIXED OCCUPANCY BUILDINGS

#### ABBREVIATION DEFINITIONS: 302.1 MIXED OCCUPANCY BUILDINGS

302.1.1 **Definition:** A building that is used for two or more purposes that are not specifically identified in the California Building Code. The following table lists the purposes that are included in the definition of mixed occupancy buildings.

HCD	Department of Housing and Community Development
CSO	California State Office of Statewide Construction
PS&S	Division of the State Architect, Structural Safety
DL	Division of the State Architect, Landmarks and Historic Preservation
LR	Low Rise
HR	High Rise
AA	Additions and Alterations

## CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

### DIVISION 4.1 PLANNING AND DESIGN

#### SECTION 4.102 DEFINITIONS

**4.102.1 DEFINITIONS:** The following terms are defined in Chapter 2 (and are included here for reference):

**WRENCH DRAIN.** A trench, hole or other depressed area formed by roof, gravel, fragments of bricks or similar porous materials used to collect or channel drainage to runoff.

**FATHLES.** Wastes are used to reduce sediment in runoff. Wastes are either constructed of natural plant materials such as hay, straw or similar natural shaped in the form of tubes and placed on a downflow slope. Wastes are also used for pretreatment and filter media.

#### 4.102 SITE DEVELOPMENT

**4.102.1 PREVENTION AND USE OF AVAILABLE NATURAL RESOURCES** shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion control shall comply with this section.

**4.102.2 STORM WATER DRAINAGE AND RETENTION CONSTRUCTION.** Projects which disturb one or more acres of land and are not part of a larger common plan of development which is total disturbs one acre or more, shall include storm water drainage and retention construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property and erosion and retain runoff on the site:

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection pipes, outfall pipes and/or similar disposal methods, water shall be filtered by at least a filter system, with or without media approved by the enforcing agency.
3. Construction with a readily eroded storm water management ordinance.

**Notes:** Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil, or visit: [https://www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.htm](https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.htm)

**4.102.3 GRADING AND PAVING.** Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to avoid water entering buildings. Examples of methods to manage surface water flows, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. Porous slabs
4. Water retention gardens
5. Other water measures which help keep surface water away from buildings and in a groundwater recharge.

**Exception:** Additions and alterations not affecting the drainage paths.

**4.102.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 4.102.4.1, 4.102.4.2, 4.102.4.3, 4.102.4.4 to be installed in accordance with the California Electrical Code, Article 625.

**Exception:** EV charging for existing buildings, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:

- 1.1 Where there is no commercial power supply.
- 1.2 Where there is evidence substantiating that installing the required equipment will alter the local utility service to the homeowner or the driveway by more than \$400.00 per meter of utility line.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

**4.102.4.1 New one- and two-family dwellings and townhouses with attached private garages.** For each dwelling unit, install a water-reducing or water-conserving 20/20/60 non-brush circuit breaker. The receptacle shall be installed in the main service or sub-panel and shall terminate into a fused circuit, bus or other enclosure in close proximity to the proposed location of the EV charger. Enclosures are required to be constructed of enclosed, inaccessible or concealed steel and systems. The service panel and/or sub-panel shall provide capacity to install a 40-ampere dedicated branch circuit and capacity required to permit installation of a branch circuit overcurrent protective device.

**4.102.4.2 Electric vehicle charging stations (EVCS).** When EV chargers are installed, EV spaces required by Section 4.102.2.2, Item 3, shall comply with at least one of the following options:

1. The EV space shall be located adjacent to or across the parking space meeting the requirements of the California Building Code, Chapter 11B, to be used by the EV charger, but not the accessible parking space.
2. The EV space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

**Exception:** Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.102.4.2, Item 3.

**Notes:** Electric vehicle charging stations serving public housing are required to comply with the California Building Code, Chapter 11B.

**4.102.4.2.2 Electric vehicle charging space (EV space) dimensions.** The EV space shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).
2. The minimum width of each EV space shall be a least 8 feet (2438 mm).
3. One in every two EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle, 4.5-foot (1371 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
- a. Surface slope for this EV space and the aisle shall not exceed 1% vertical in 48 inches horizontal (2.083 percent) in any direction.

**4.102.4.3 Single EV space required.** Install a label (raised or otherwise) of approximately a 2020-volt dedicated branch circuit. The receptacle shall not be less than three sizes (nominal 1-inch thick) diameter. The receptacle shall extend to the main service or sub-panel and shall terminate into a fused circuit, bus or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the receptacle location and specify the receptacle location. The service panel and/or sub-panel shall provide capacity to install a 40-ampere minimum branch circuit. Required receptacles and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

**4.102.4.4 Multiple EV spaces required.** Construction documents shall indicate the receptacle location and specify the receptacle location. The receptacle shall extend to the main service or sub-panel and shall terminate into a fused circuit, bus or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the receptacle location and specify the receptacle location. The service panel and/or sub-panel shall provide capacity to install a 40-ampere minimum branch circuit. Required receptacles and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

**4.102.4.5 Identification.** The service panel or sub-panel circuit directory shall identify the overcurrent protective device (OCPD) required for each EV charging purpose as "EV CAPABLE" in accordance with the California Electrical Code, Article 625.

**4.102.4.6 New hardscape and materials.** All newly constructed hardscape and materials shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

**Notes:**

1. Construction documents are intended to demonstrate the project's capability and capacity for installing future EV charging.
2. There is no requirement for EV spaces to be constructed or installed until EV chargers are installed for use.

**4.102.4.7 Electric vehicle charging spaces (EV space) locations.** Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

## DIVISION 4.2 WATER EFFICIENCY AND CONSERVATION

**4.201 INDOOR WATER USE**

**4.201.1 WATER-CONSERVING PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures (water closets and urinals) and flush valves (toilets and showerheads) shall comply with the sections 4.203.1.1, 4.203.1.2, 4.203.1.3, and 4.203.1.4.

**Notes:** All nonpoint-source plumbing fixtures in any residential new property shall be replaced with water-conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a certificate of completion, certificate of occupancy, or final permit approval by the local building department. See CMC Code Section 1101.1, et seq., for the definition of a nonpoint-source plumbing fixture, type of residential buildings affected and other important enforcement dates.

**4.201.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

**Notes:** The effective flush volume of dual flush toilets is defined as the composite, average flush volume of low-flush and one-half flush.

**4.203.1.2 Urinals.** The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.3 gallons per flush.

**4.203.1.3 Showerheads.**

**4.203.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate that does not exceed 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

**4.203.1.3.2 Multiple Showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow one shower outlet to be in operation at a time.

**Notes:** A hand-held shower shall be considered a showerhead.

**4.203.1.4 Faucets.**

**4.203.1.4.1 Residential Lavatory Faucets.** The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The maximum flow rate of residential lavatory faucets that do not have 0.9 gallons per minute at 20 psi.

**4.203.1.4.2 Lavatory Faucets in Common and Public Use Areas.** The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwelling or sleeping units) in residential buildings shall not exceed 1.5 gallons per minute at 80 psi.

**4.203.1.4.3 Metering Faucets.** Metering faucets which installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

**4.203.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi.

**Notes:** When competing faucets are unavailable, aerators or other means may be used to achieve reduction.

**4.203.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Title 1701 of the California Plumbing Code.

**NOTE:** THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

#### TABLE 4.303.1 MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 80 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 80 PSI
KITCHEN FAUCETS	1.8 GPM @ 80 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/USH
URINALS	0.125 GAL/FLUSH

#### 4.304 OUTDOOR WATER USE

**4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.** Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

**NOTES:**

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 22, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: <http://www.water.ca.gov/>

**4.304.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for the recycling, storage and collection of non-hazardous materials for recycling, including but not limited to paper, corrugated cardboard, glass, plastics, organic waste, and metals, or more than a weekly enacted local recycling ordinance. From residents.

**Exception:** Rural jurisdictions may not apply for the installation in Public Resources Code Section 42649.2 (a)(2)(A) as they are not required to comply with the organic waste portion of the ordinance.

## DIVISION 4.2 ENERGY EFFICIENCY

### 4.201 GENERAL

**4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to issue mandatory standards.

## DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

**4.303 INDOOR WATER USE**

**4.303.1 WATER-CONSERVING PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures (water closets and urinals) and flush valves (toilets and showerheads) shall comply with the sections 4.203.1.1, 4.203.1.2, 4.203.1.3, and 4.203.1.4.

**Notes:** All nonpoint-source plumbing fixtures in any residential new property shall be replaced with water-conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a certificate of completion, certificate of occupancy, or final permit approval by the local building department. See CMC Code Section 1101.1, et seq., for the definition of a nonpoint-source plumbing fixture, type of residential buildings affected and other important enforcement dates.

**4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

**Notes:** The effective flush volume of dual flush toilets is defined as the composite, average flush volume of low-flush and one-half flush.

**4.303.1.2 Urinals.** The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.3 gallons per flush.

**4.303.1.3 Showerheads.**

**4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate that does not exceed 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

**4.303.1.3.2 Multiple Showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow one shower outlet to be in operation at a time.

**Notes:** A hand-held shower shall be considered a showerhead.

**4.303.1.4 Faucets.**

**4.303.1.4.1 Residential Lavatory Faucets.** The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The maximum flow rate of residential lavatory faucets that do not have 0.9 gallons per minute at 20 psi.

**4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.** The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwelling or sleeping units) in residential buildings shall not exceed 1.5 gallons per minute at 80 psi.

**4.303.1.4.3 Metering Faucets.** Metering faucets which installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

**4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi.

**Notes:** When competing faucets are unavailable, aerators or other means may be used to achieve reduction.

**4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Title 1701 of the California Plumbing Code.

**NOTE:** THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

#### TABLE 4.303.1 MAXIMUM FIXTURE WATER USE

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#### 4.304 OUTDOOR WATER USE

**4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.** Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

**NOTES:**

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 22, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: <http://www.water.ca.gov/>

**4.304.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for the recycling, storage and collection of non-hazardous materials for recycling, including but not limited to paper, corrugated cardboard, glass, plastics, organic waste, and metals, or more than a weekly enacted local recycling ordinance. From residents.

**Exception:** Rural jurisdictions may not apply for the installation in Public Resources Code Section 42649.2 (a)(2)(A) as they are not required to comply with the organic waste portion of the ordinance.

## DIVISION 4.5 ENVIRONMENTAL QUALITY

### 4.501 GENERAL

**4.501.1 SCOPE.** The provisions of this chapter shall outline measures of reducing the quality of air contaminants that are outdoor, including but not limited to, dust, noise, and odors, and shall be in addition to any other applicable provisions of the California Building Code, and other applicable codes and regulations.

#### SECTION 4.602 DEFINITIONS

**4.602.1 DEFINITIONS:** The following terms are defined in Chapter 2 (and are included here for reference):

**APPROPRIATE PRODUCTS.** Appropriate products include vinylwood, aluminum, solid aluminum and door cores, not including furniture, fixtures and equipment (FFFE) not considered base building elements.

**COMPOSITE WOOD PRODUCTS.** Composite wood products include hardwood plywood, particleboard and medium-density fiberboard (MDF). Composite wood products include but are not limited to: particleboard, medium-density fiberboard (MDF), oriented strand board, glass laminated fiber, reconstituted wood, veneer or paper topped lumber, as is specified in California Code of Regulations (CCR), Title 17, Section 90120.1.

**DIRECT-VENT APPLIANCE.** A heating/cooling appliance with a sealed combustion system that draws air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

**DISCLAIMER:** THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AN AREA OF COMPLIANCE WITH THE 2019 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN CODE). DUE TO THE VARIANCES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND IS NOT INTENDED TO BE USED TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE FULL CODE.

**DATE:** Wednesday, June 15, 2020

**SCALE:** AS SHOWN

**JOB NO.:**

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**CAL GREEN 2**

## DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

**4.402 ENHANCED DURABILITY AND REDUCED MAINTENANCE**

**4.402.1 ROOFING PROFILES.** Annual spans across public, semi-public, public, or other settings in addition to public shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar material against the following actions:

**4.402.2 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING**

**4.402.2.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 percent of the on-site construction and demolition waste in accordance with either Section 4.402.2.1.1, 4.402.2.1.2, or 4.402.2.1.3, or more than one stringent local construction and demolition waste management ordinance.

**Exceptions:**

1. Excavated soil and land-clearing debris.
2. Alternative waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with the laws do not exist or are not located reasonably close to the site.
3. The enforcing agency may waive the requirements of this section when installed collection bins located in areas beyond the local boundaries of the enforcement facility.

**4.402.2.2 CONSTRUCTION WASTE MANAGEMENT PLAN.** Submit a construction waste management plan in compliance with Items 1 through 3. The construction waste management plan shall be updated as necessary and shall be available during construction to enforcement by the enforcing agency.

**4.402.2.3 Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse or the project or salvage for future use or sale.**

**4.402.2.4 Specify construction and demolition waste materials to be sorted on-site (source separated) or high-mix (single stream).**

**4.402.2.5 Identify diversion facilities where the construction and demolition waste material collected will be sent.**

**4.402.2.6 Identify construction methods employed to reduce the amount of construction and demolition waste generated.**

**4.402.2.7 Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not both.**

**4.402.2.8 WASTE MANAGEMENT COMPANY.** Utilize a waste management company approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material collected from the landfill complies with Section 4.402.1.

**Notes:** The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

**4.402.4 WASTE STRAIN REDUCTION ALTERNATIVE (WASRA).** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 million lbs. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.402.1.

**4.402.4.1 WASTE STRAIN REDUCTION ALTERNATIVE.** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 million lbs. per square foot of the building area, shall meet a minimum 50% construction waste reduction requirement in Section 4.402.1.

**4.402.5 DOCUMENTATION.** Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.402.1, Items 1 through 5, Section 4.402.3 or Section 4.402.4.

**Notes:**

1. Sample forms found in "A Guide to the California Green Building Standards Code (CALGreen)" located at [www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.htm](http://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.htm) may be used to assist in documenting compliance with this section.
2. Construction documents shall include a copy of the project's waste management plan (WMP) and a copy of the project's waste management plan (WMP) and a copy of the project's waste management plan (WMP).

#### 4.410 BUILDING MAINTENANCE AND OPERATION

**4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compiled text, web-based document or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
  - a. Equipment and appliances, including water-heating and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
  - b. Roof and yard drainage, including gutters and downspouts.
  - c. Storm conditioning systems, including condensate and air flow.
  - d. Landscape irrigation systems.
  - e. Water reuse systems.
3. Information from local utility water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and facilities.
4. Public transportation and/or carpool options available in the area.
5. Operational manual on the power transfer of an inverter or power transfer from a solar charge controller to an inverter or power transfer from a solar charge controller to an inverter.
6. Information about water conservation landscape and irrigation design which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of checking water at least 5 feet away from the foundation.
8. Information on required maintenance measures, including, but not limited to, caulking, painting, grading near the building, and other maintenance programs available.
9. Information about state water energy and in-house programs available.
10. A copy of all local inspection notifications received by the enforcing agency or this code.

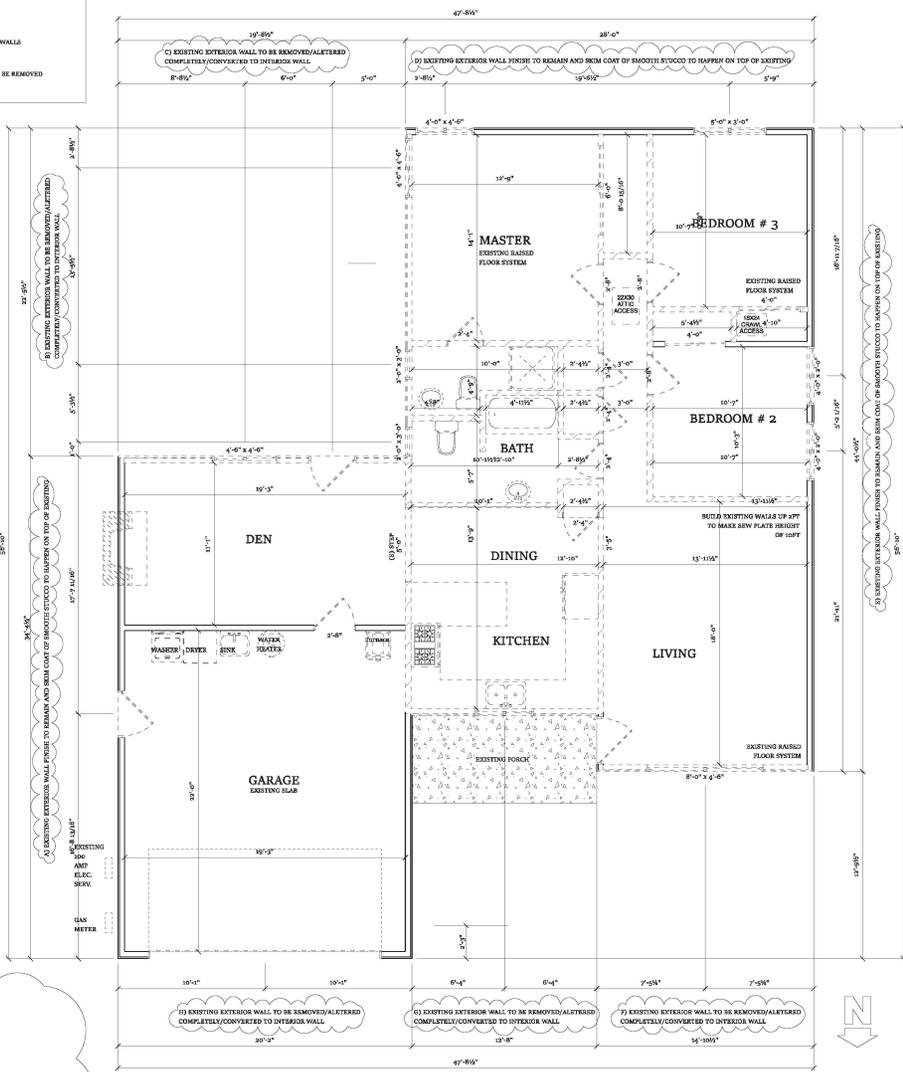
**4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for the recycling, storage and collection of non-hazardous materials for recycling, including but not limited to paper, corrugated cardboard, glass, plastics, organic waste, and metals, or more than a weekly enacted local recycling ordinance. From residents.

**Exception:** Rural jurisdictions may not apply for the installation in Public Resources Code Section 42649.2 (a)(2)(

**LEGEND**

— EXISTING WALLS

- - - - - WALLS TO BE REMOVED



EXISTING TO REMAIN

A) 34.375  
D) 28.000  
E) 44.041  
H) 20.166

**TOTAL TO REMAIN: 126.582**

EXISTING TO BE ALTERED

B) 25.458  
C) 19.708  
F) 14.875  
G) 12.666

**TOTAL TO BE ALTERED: 72.707**

TOTAL TO REMAIN: 126.582  
+  
TOTAL TO BE ALTERED: 72.707  
=  
TOTAL EXISTING WALLS: 199.28

$126.582 / 199.28 = 64\%$  OF EXISTING WALLS TO REMAIN

$72.707 / 199.28 = 36\%$  OF EXISTING WALLS TO BE ALTERED

REVISIONS	BY

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*Megan Stone*

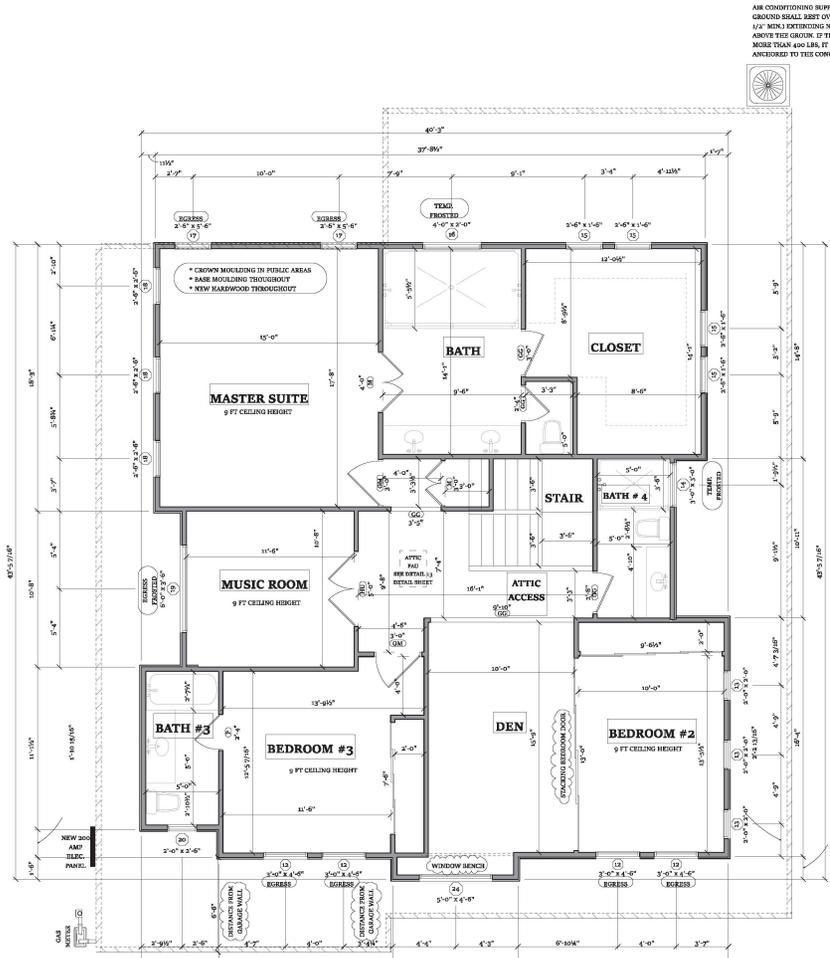
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MMHOMEDESIGNS@GMAIL.COM - 408.396.0951

A Project for:  
**Gaddamraja & Jayaraman**  
3283 GENEVA AVE SANTA CLARA, CA 95051  
Bhuvaneshwari Jayaraman & Seshasayee Gaddamraja

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CHECKED	MM
DATE	Wednesday, June 15, 2023
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JOB NO.	
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**DEMO PLAN**  
SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLAN



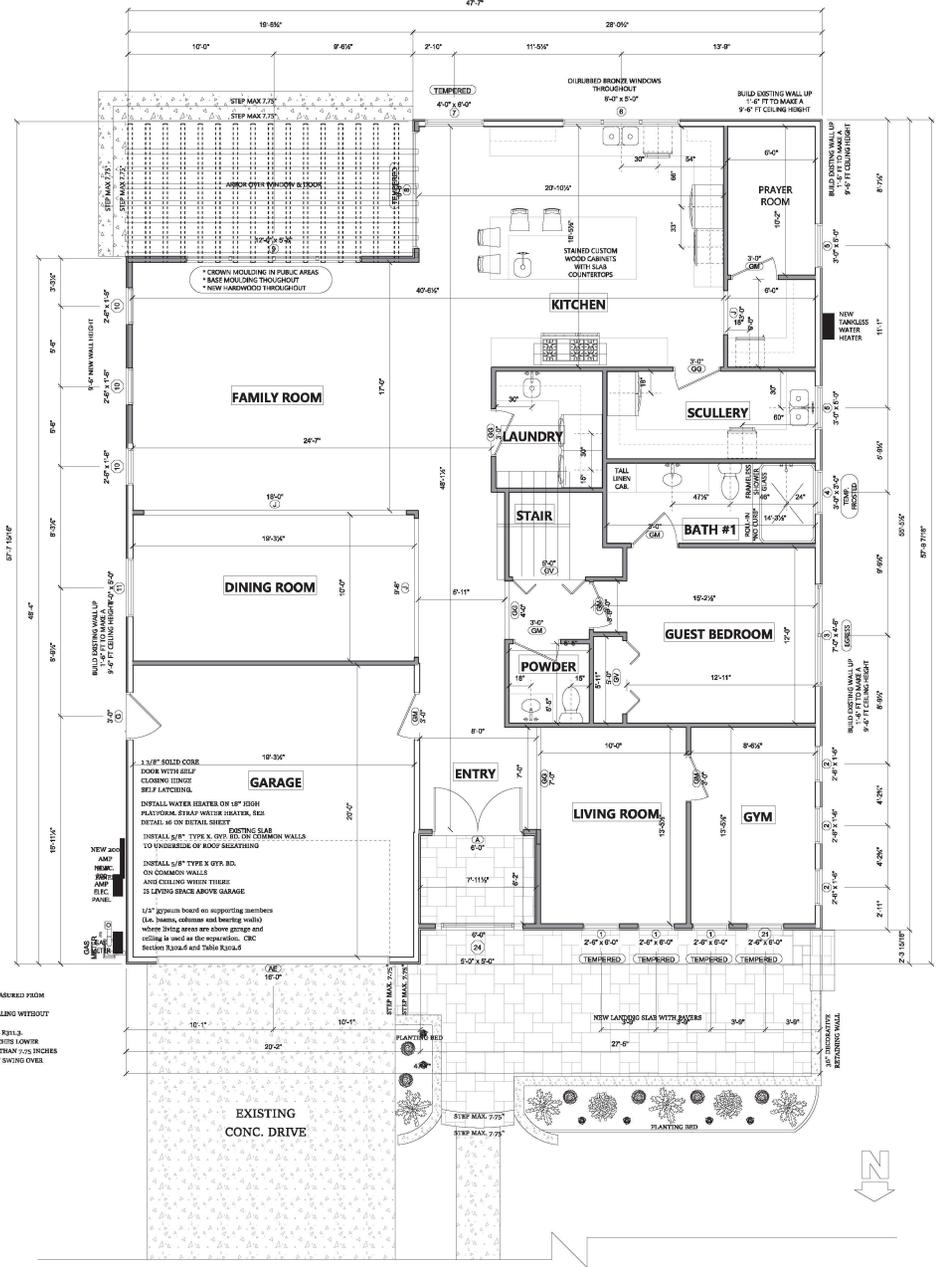
ALL CONCRETING REPORTED FROM THIS GRADING SHALL REST OVER CONCRETE IS 1/2" MIN. EXTENDING NO LESS THAN 3" ABOVE THE GRADE. IF THIS WEIGHT IS MORE THAN 400 LBS, IT SHALL BE ANCHORED TO THE CONCRETE SLAB.

**\* NOTE TO CONTRACTOR \***  
 THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MICHAEL MENZER DESIGN AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MICHAEL MENZER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MICHAEL MENZER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MICHAEL MENZER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MICHAEL MENZER DESIGN. ALL DETAILS TO BE VERIFIED AND MAINTAINED ABOVE ALL PLANS AND DIMENSIONS.



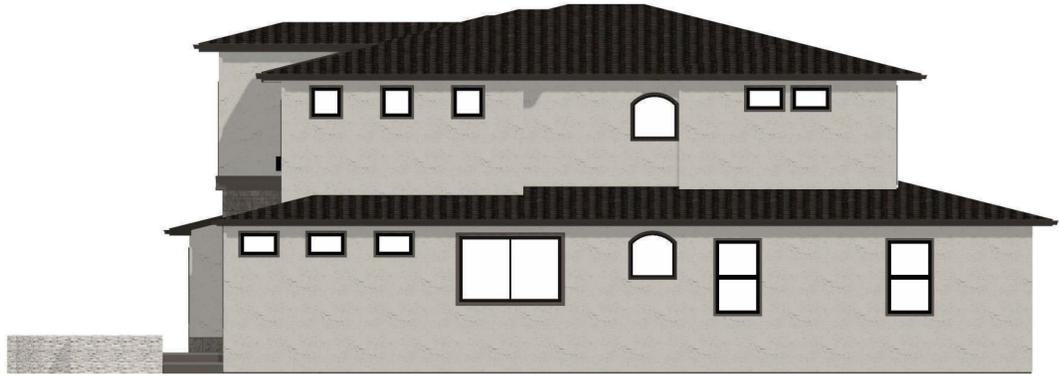
A) DOOR SHALL HAVE A MINIMUM CLEAR HEIGHT OF 78 INCHES, MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE DOOR.  
 B) DOOR SHALL BE READILY OPERABLE FROM THE INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.  
 C) A SLOPE AT THE EXTERIOR LANDING SHALL NOT EXCEED 2% (CFC 241.1).  
 D) LANDING AT THE EXTERIOR DOOR SHALL NOT BE MORE THAN 16 INCHES LOWER THAN THE TOP OF THE THRESHOLD. LANDING SHALL NOT BE MORE THAN 9/32 INCHES LOWER THAN THE TOP OF THE THRESHOLD WHERE DOOR DOES NOT SWING OVER THE LANDING. (CFC 241.1.4)

**PROPOSED UPPER**  
 SCALE: 1/4" = 1'-0"

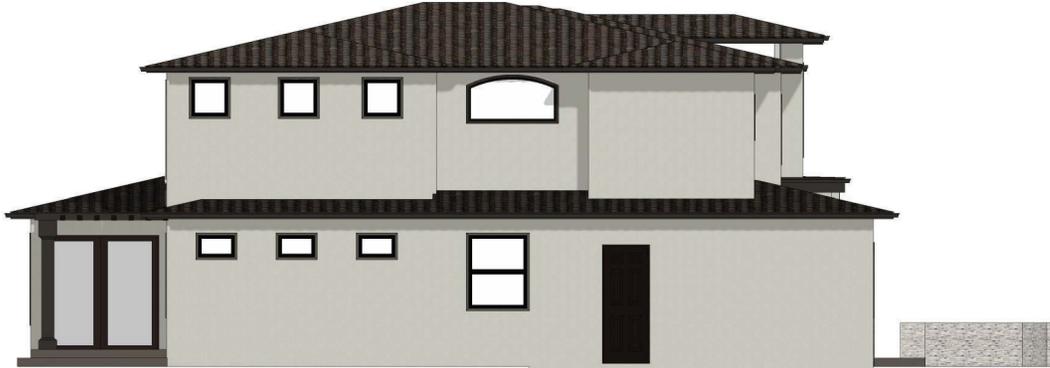


**PROPOSED LOWER 6-21**  
 SCALE: 1/4" = 1'-0"

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<p>A Project for:  <b>Gaddamraja &amp; Jayaraman</b>        3283 GENEVA AVE SANTA CLARA, CA 95051        Bhuvaneshwari Jayaraman &amp; Seshasaye Gaddamraja</p>	
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DATE	Wednesday, June 15, 2023
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PROPOSED FLOORPLANS	



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS	BY

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*Megan Stone*

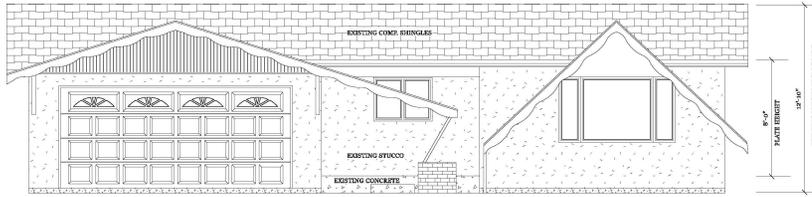
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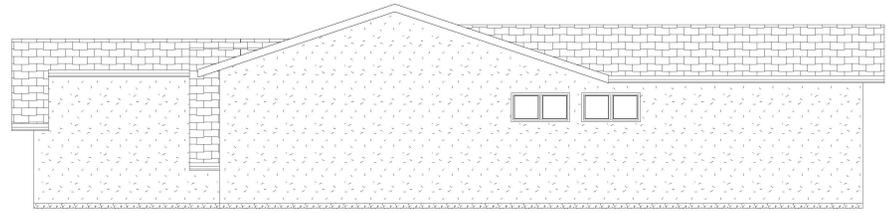
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EXTERIOR ELEVATIONS



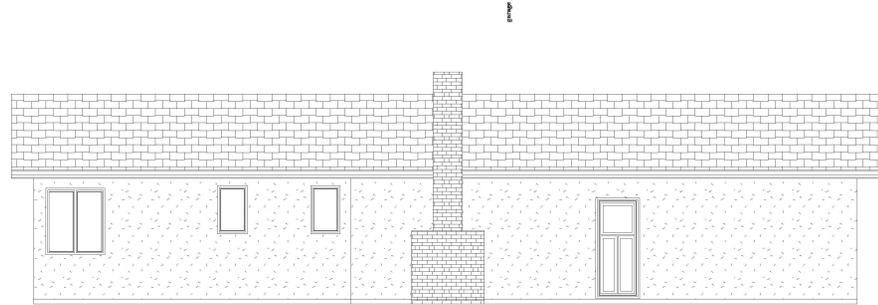
**EXISTING FRONT**



**EXISTING RIGHT**



**EXISTING REAR**



**EXISTING LEFT**

**EXISTING ELEVATIONS**  
SCALE: 1/4" = 1'-0"

REVISIONS	BY

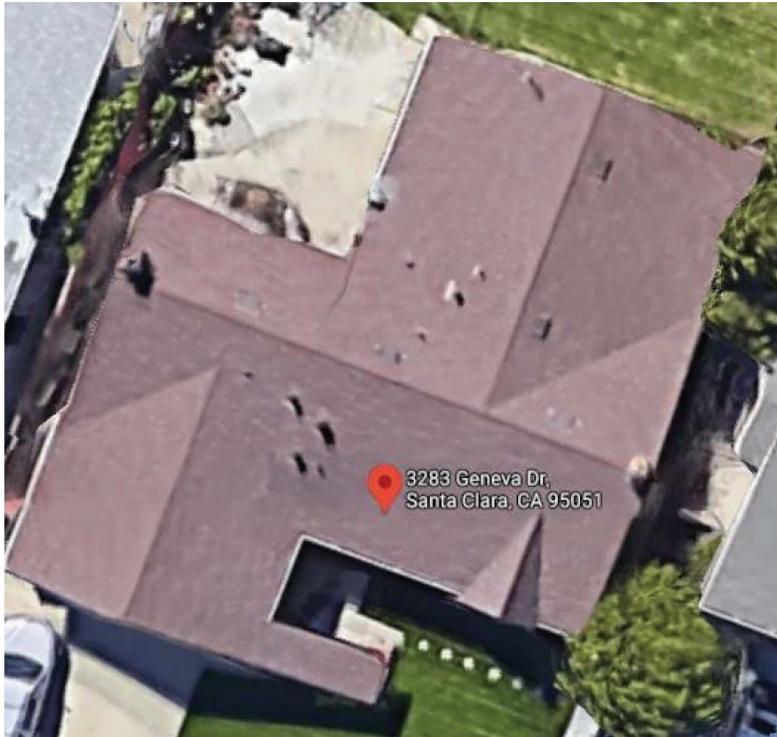
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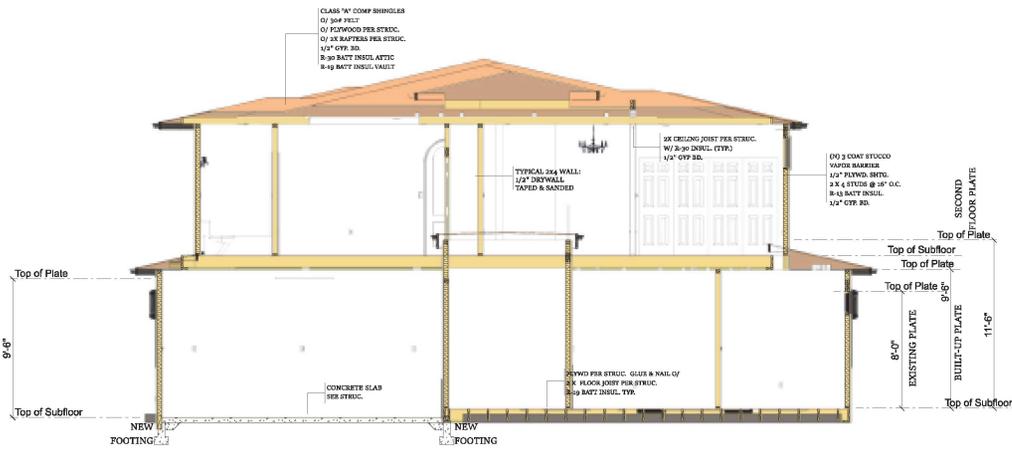
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EXISTING ROOF TO BE REMOVED ENTIRELY



**CROSS SECTION A**  
SCALE: 1/4" = 1'-0"



**TOP ELEVATION**  
SCALE: 1/4" = 1'-0"

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*Megan M...*

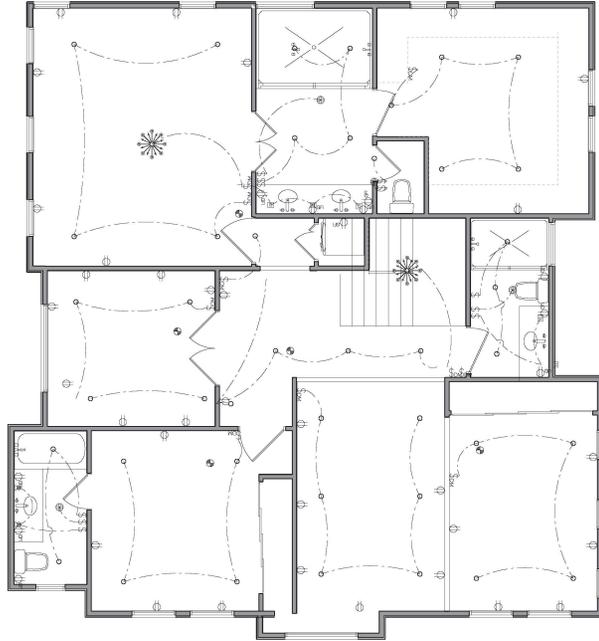
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ELECTRICAL	COUNT	SYMBOL
can light drench	42	☉
ceiling classic	2	☼
pendant cube	5	☼
dimmer switch	10	⊞
fan	4	⊞
outlet	33	⊞
outlet gfi	11	⊞
smoke detector	5	⊞
switch	11	⊞
light 1	2	⊞



UPPER ELECTRICAL  
SCALE: 1/4" = 1'-0"

ELECTRICAL	COUNT	SYMBOL
midsize photo switch	2	⊞
can light drench	59	☉
ceiling classic	3	☼
fluorescent light 2 x 4	2	☼
pendant cube	6	☼
avstar metro CW1910	16	⊞
cable tv outlet	2	⊞
co detector	1	⊞
dimmer switch	22	⊞
fan	3	⊞
outlet	36	⊞
outlet 220v	1	⊞
outlet gfi	49	⊞
outlet wp	5	⊞
smoke detector	1	⊞
switch	6	⊞



LOWER ELECTRICAL  
SCALE: 1/4" = 1'-0"

REVISIONS	BY
Wednesday, June 16, 2021	

THE PLANS, SPEC AND OTHER DOCUMENTS OF THIS PROJECT, BEING HEREBY FOR THE RECORD. PLAN SHALL BE IN LIVES, WHICH IS IN FULL FOR ALL THESE PLANS, INCLUDING THE ELECTRICITY THEREBY WHICH SHALL BE IN FULL.

*Megan Stone*



MM HOME DESIGNS  
18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
MMHOMEDESIGNS@GMAIL.COM - 408.356.0951

A Project for:  
**Gaddamraja & Jayaraman**  
3283 GENEVA AVE SANTA CLARA, CA 95051  
Bhuvaneshwari Jayaraman & Seshasayee Gaddamraja

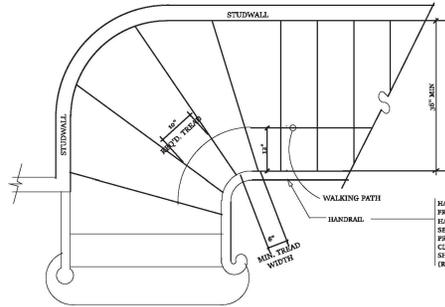
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CHECKED	MM
DATE	Wednesday, June 16, 2021
SCALE	AS SHOWN
JOB NO.	

PAGE:	11 / 14
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ELECTRICAL PLAN

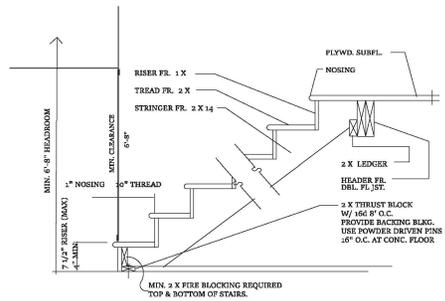






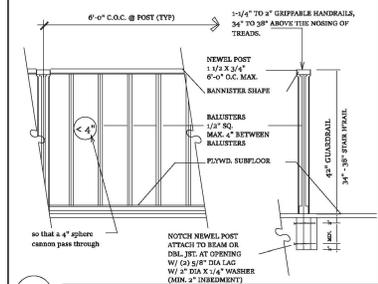
HANDRAIL - SHALL HAVE MIN & MAX HEIGHTS FROM TOP OF TREAD @ NOSE OF 36" & 38" HANDRAILS SHALL HAVE EITHER A CROSS SECTION DIA. BETWEEN 1 1/4" TO 2" OR SHALL PROVIDE EQUIVALENT GRASPABILITY. CLEAR SPACE BETWEEN HANDRAIL & WALL SHALL BE A MIN. OF 1-1/2" INCHES. (BDR. 89C1 110R.5)

WINDING STAIR TREAD

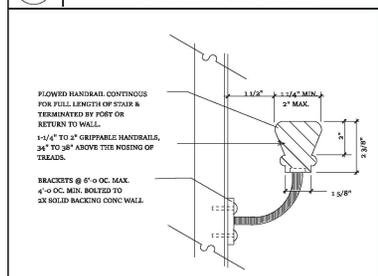


2 X THRUST BLOCK W/ 180° O.C. PROVIDE BACKING BLDG. USE POWDER DRIVEN PINS 18" O.C. AT CONC. FLOOR

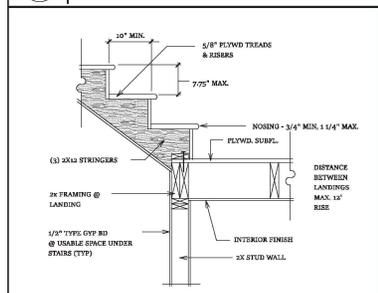
5 STAIR DETAIL



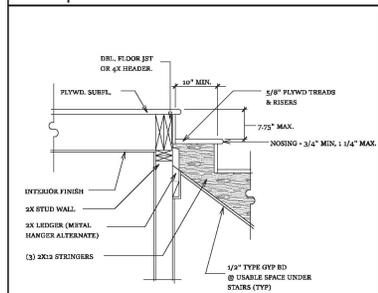
1 GUARDRAIL BALUSTRADE



2 HANDRAIL



3 STRINGER @ LANDING



4 STRINGER @ HEADER

REVISIONS	BY

THE MAIN, LOCAL AND DISTRICT OFFICES OF THIS ARCHITECTURE AND DESIGN FIRM ARE LOCATED AT THE FOLLOWING ADDRESSES: 18488 PROSPECT RD., SUITE 15, SARATOGA, CA 95070

*Megan Stone*

**MM HOME DESIGNS**  
 18488 Prospect Rd. Suite 15, Saratoga, CA 95070  
 MMHOMEDESIGNS@GMAIL.COM - 408.396.0951

A Project for:  
**Gaddamraja & Jayaraman**  
 3283 GENEVA AVE SANTA CLARA, CA 95051  
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 14 / 14  
 DETAIL SHEET 2

**3283 Geneva Drive Project Data**

	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	1,390	515	1,905
<b>Second Floor</b>	n/a	1,520	1,520
<b>Porch</b>	n/a	50	50
<b>Garage</b>	450	-40	410
<b>Garage converted to Living</b>	n/a	40	40
<b>Gross Floor Area</b>	1,840		3,925
<b>Lot Coverage</b>	1,840/6,012=31%		2,405/6,012=40%
<b>F.A.R.</b>	1,840/6,012=0.31		3,925/6,012=0.65
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	n/a		1,520/2,315=66%
<b>Bedrooms/Baths</b>	4 / 2		4 / 4.5
<b>Flood Zone</b>	X		X



Agenda Report

22-851

Agenda Date: 7/6/2022

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**REPORT TO DEVELOPMENT REVIEW HEARING**

**SUBJECT**

Action on a 510 square-foot addition to an existing one-story 2,019 square-foot residence at 421 Rosemont Drive

**File No.(s):** PLN22-00132

**Location:** 421 Rosemont Drive, a 6,013 square foot lot near the corner of Clinton Avenue and Rosemont Drive; APN: 293-03-020; property is zoned Single Family Residential (R1-6L).

**Applicant:** Fernando Gutierrez

**Owner:** Ajay And Shanti Aggarwal Trustee

**Request:** **Architectural Review** for a 510 square-foot addition to an existing single-family residence, including two bedrooms and one bathroom for a total of five bedrooms and three bathrooms totaling 2,405 square feet with an existing attached two-car garage to remain

**Project Data**

The Project Data Table is included as Attachment 1.

**Points for consideration**

- The project includes a 510 square-foot single story addition to the front of the existing residence resulting in a five-bedroom and three bathroom single-story residence.
- A neighborhood notice was distributed to properties within a 300-foot radius of the subject site for this project review.
- There are no active code enforcement cases for this property.

**Findings**

1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*

- The proposal provides the required two covered parking spaces with a proposed two car garage.
- The required parking spaces are not located in the required front yard or side yard landscaped areas.
- The proposed project provides areas surfaced with all-weather materials for parking of vehicles.

- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The proposed addition would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed addition is to be located outside of the required setbacks and will conform to all zoning requirements. Furthermore, the proposed addition includes two front facing bay-windows that are not in keeping with the general character of the neighborhood, however the bay-windows would not be detrimental to the harmonious development.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
  - The project proposes a residential design that is compatible in scale with the housing types that are typical in the neighborhood as the proposed design of the single-family residence will have similar massing and height to the adjacent properties.

### **Conditions of Approval**

- 1) Permit Expiration. This Architectural Permit shall automatically be revoked and terminated if *not* used within two years of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer.
- 2) Prior to the issuance of a Building Permit, the development of the site and all associated improvements shall conform to the approved plans with File No. PLN22-00132, on file with the Community Development Department, Planning Division.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall

conform to the California Department of Water Resources Water Efficient Landscape Ordinance.

- 5) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 6) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 7) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.
- 8) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.

### **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301-Existing Facilities, in that the project is limited to a small addition to the existing single-family residence.

### **PUBLIC CONTACT**

On June 23, 2022, a notice of public hearing of this item was posted within 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application.

### **RECOMMENDATION**

**Approve** the 510 square-foot addition to a single-family residential home, subject to conditions.

Prepared by: Daniel Sobczak, Assistant Planner, Community Development Department  
Approved by: Lesley Xavier, Planning Manager, Community Development Department

### **ATTACHMENTS**

1. Development Plans
2. Project Data

**ABBREVIATIONS**

<b>&amp;</b> AND	<b>A</b> ANGLE	<b>H.B.</b> HOSE BIBB	<b>H</b>
<b>&gt;</b> STEP	<b>AT</b> AT	<b>HDR.</b> HEADER	
<b>CL</b> CENTERLINE	<b>CL</b> CENTERLINE	<b>HDRWD.</b> HARDWOOD	
<b>Ø</b> DIAMETER OR ROUND	<b>Ø</b> DIAMETER OR ROUND	<b>HORIZ.</b> HORIZONTAL	
<b>#</b> POUND OR NUMBER	<b>#</b> POUND OR NUMBER	<b>HR.</b> HOUR	
<b>(U)</b> EXISTING	<b>(U)</b> EXISTING	<b>HT.</b> HEIGHT	
<b>A.B.</b> ANCHOR BOLT	<b>A.B.</b> ANCHOR BOLT	<b>HVAC.</b> HEATING, VENTILATING, AIR CONDITIONING	
<b>ABOVE</b>	<b>ABOVE</b>	<b>HSL</b> HORIZONTAL SLIDER	
<b>ACOUS.</b> ACOUSTICAL	<b>ACOUS.</b> ACOUSTICAL	<b>I</b> INSULATION	
<b>ADJ.</b> ADJUSTABLE	<b>ADJ.</b> ADJUSTABLE	<b>INT.</b> INTERIOR	
<b>AF.</b> ABOVE FINISH FLOOR	<b>AF.</b> ABOVE FINISH FLOOR	<b>M</b> M	
<b>AGGR.</b> AGGREGATE	<b>AGGR.</b> AGGREGATE	<b>MAX.</b> MAXIMUM	
<b>ALUM.</b> ALUMINUM	<b>ALUM.</b> ALUMINUM	<b>M.A.</b> MEDICINE CABINET	
<b>APPROX.</b> APPROXIMATE	<b>APPROX.</b> APPROXIMATE	<b>MECH.</b> MECHANICAL	
<b>ARCH.</b> ARCHITECT	<b>ARCH.</b> ARCHITECT	<b>MEMB.</b> MEMBRANE	
<b>ASPH.</b> ASPHALT AWN AWNING	<b>ASPH.</b> ASPHALT AWN AWNING	<b>MFR.</b> MANUFACTURER	
<b>BD.</b> BOARD	<b>BD.</b> BOARD	<b>MIN.</b> MINIMUM	
<b>BLDG.</b> BUILDING	<b>BLDG.</b> BUILDING	<b>MISC.</b> MISCELLANEOUS	
<b>BLK.</b> BLOCK	<b>BLK.</b> BLOCK	<b>N</b> NORTH	
<b>BLK'G</b> BLOCKING	<b>BLK'G</b> BLOCKING	<b>(N)</b> NEW	
<b>BLT.</b> BOLT	<b>BLT.</b> BOLT	<b>NUM.</b> NUMBER	
<b>BM</b> BEAM	<b>BM</b> BEAM	<b>N.T.S.</b> NOT TO SCALE	
<b>BOT.</b> BOTTOM	<b>BOT.</b> BOTTOM	<b>O</b> OVER	
<b>CAB.</b> CABINET	<b>CAB.</b> CABINET	<b>OP'N.</b> ON CENTER	
<b>CEM.</b> CEMENT	<b>CEM.</b> CEMENT	<b>OP'N'G.</b> OPPOSITE	
<b>CER.</b> CERAMIC	<b>CER.</b> CERAMIC	<b>P</b> PLATE	
<b>C.G.</b> CORNER GUARD	<b>C.G.</b> CORNER GUARD	<b>PLAM.</b> PLASTIC LAMINATE	
<b>CL</b> CENTER LINE	<b>CL</b> CENTER LINE	<b>PLAS.</b> PLASTER	
<b>CLG.</b> CEILING	<b>CLG.</b> CEILING	<b>PLYWD.</b> PLYWOOD	
<b>CL'G</b> CALL KING LN CLOSET	<b>CL'G</b> CALL KING LN CLOSET	<b>PLUMB.</b> PLUMBING	
<b>C.O.</b> CLER CLEAR	<b>C.O.</b> CLER CLEAR	<b>PL</b> PROPERTY LINE	
<b>COL</b> COLUMN	<b>COL</b> COLUMN	<b>P.T.</b> POINT	
<b>CON.</b> CONCRETE	<b>CON.</b> CONCRETE	<b>PREFAB</b> PREFABRICATED	
<b>CON.</b> CONNECTION	<b>CON.</b> CONNECTION	<b>R</b> RISER	
<b>CLO.</b> CONTINUOUS	<b>CLO.</b> CONTINUOUS	<b>RAD.</b> RADIUS	
<b>CSMT</b> CASEMENT	<b>CSMT</b> CASEMENT	<b>REF.</b> REFRIGERATOR	
<b>DBL</b> DOUBLE	<b>DBL</b> DOUBLE	<b>REIN'</b> REINFORCED	
<b>DEPT.</b> DEPARTMENT	<b>DEPT.</b> DEPARTMENT	<b>REQD.</b> REQUIRED	
<b>D.F.</b> DRINKING FOUNTAIN	<b>D.F.</b> DRINKING FOUNTAIN	<b>RM.</b> ROOM	
<b>DET.</b> DETAIL	<b>DET.</b> DETAIL	<b>R.O.</b> ROUGH OPENING	
<b>DIA.</b> DIAMETER	<b>DIA.</b> DIAMETER	<b>RWD.</b> REDWOOD	
<b>DNM.</b> DIMENSION	<b>DNM.</b> DIMENSION	<b>S</b> SOUTH	
<b>DISP.</b> DISPENSER	<b>DISP.</b> DISPENSER	<b>SCSC</b> SOLID CORE SELF CLOSING	
<b>DL</b> DIVIDED LIGHT	<b>DL</b> DIVIDED LIGHT	<b>SEC.</b> SECTION	
<b>DN.</b> DOWN	<b>DN.</b> DOWN	<b>SO.FT.</b> SQUARE FEET	
<b>DR.</b> DOOR	<b>DR.</b> DOOR	<b>SHLV.</b> SHELVES	
<b>DS.</b> DOWNSPOUT	<b>DS.</b> DOWNSPOUT	<b>SHWR.</b> SHOWER	
<b>(E)</b> EXISTING	<b>(E)</b> EXISTING	<b>SHT.</b> SHEET	
<b>E.A.</b> EXPANSION JOINT	<b>E.A.</b> EXPANSION JOINT	<b>SIM.</b> SIMILAR	
<b>EL</b> ELEVATION	<b>EL</b> ELEVATION	<b>STOR.</b> STORAGE	
<b>ELEC.</b> ELECTRICAL	<b>ELEC.</b> ELECTRICAL	<b>STRUC.</b> STRUCTURAL	
<b>ELEV.</b> ELEVATOR	<b>ELEV.</b> ELEVATOR	<b>SUSP.</b> SUSPENDED	
<b>EMER.</b> EMERGENCY	<b>EMER.</b> EMERGENCY	<b>S.S.D.</b> SEE STRUCTURAL DRAWINGS	
<b>ENCL.</b> ENCLOSED	<b>ENCL.</b> ENCLOSED	<b>T</b> TOWEL BAR	
<b>EQ.</b> EQUAL	<b>EQ.</b> EQUAL	<b>T.O.C.</b> TOP OF CURB	
<b>EQPT.</b> EQUIPMENT	<b>EQPT.</b> EQUIPMENT	<b>TEL</b> TELEPHONE	
<b>EXT.</b> EXTERIOR	<b>EXT.</b> EXTERIOR	<b>T.O.W.</b> TOP OF WALL	
<b>F</b>	<b>F</b>	<b>T&amp;G</b> TONGUE AND GROOVE	
<b>F.A.</b> FIRE ALARM	<b>F.A.</b> FIRE ALARM	<b>T.O.P.</b> TOP OF PARAPET	
<b>F.D.</b> FLOOR DRAIN	<b>F.D.</b> FLOOR DRAIN	<b>T.P.D.</b> TOILET PAPER DISPENSER	
<b>FDN.</b> FOUNDATION	<b>FDN.</b> FOUNDATION	<b>T.V.</b> TELEVISION	
<b>F.A.</b> FIRE EXTINGUISHER	<b>F.A.</b> FIRE EXTINGUISHER	<b>TYP.</b> TYPICAL	
<b>F.F.</b> FINISH FLOOR	<b>F.F.</b> FINISH FLOOR	<b>U</b> UNLESS OTHERWISE NOTED	
<b>FG</b> FIXED GLASS	<b>FG</b> FIXED GLASS	<b>VERT.</b> VERTICAL	
<b>F.G.</b> FINISH GRADE	<b>F.G.</b> FINISH GRADE	<b>W</b> WEST	
<b>FIN</b> FINISH	<b>FIN</b> FINISH	<b>WD.</b> WOOD	
<b>F.O.C.</b> FACE OF CONCRETE	<b>F.O.C.</b> FACE OF CONCRETE	<b>WH.</b> WATER HEATER	
<b>F.O.W.</b> FACE OF WALL	<b>F.O.W.</b> FACE OF WALL	<b>WO</b> WITHOUT	
<b>F.O.S.</b> FACE OF STUDS	<b>F.O.S.</b> FACE OF STUDS		
<b>FRM'G</b> FRAMING	<b>FRM'G</b> FRAMING		
<b>F.S.</b> FULL SIZE	<b>F.S.</b> FULL SIZE		
<b>FTD.</b> FOOTING	<b>FTD.</b> FOOTING		
<b>FURR.</b> FURRING	<b>FURR.</b> FURRING		
<b>FUT.</b> FUTURE	<b>FUT.</b> FUTURE		
<b>G</b>	<b>G</b>		
<b>GALV.</b> GALVANIZED	<b>GALV.</b> GALVANIZED		
<b>GL</b> GLASS	<b>GL</b> GLASS		
<b>GYP.</b> GYPSUM	<b>GYP.</b> GYPSUM		

**GENERAL NOTES**

- THE INTENT OF THESE DRAWINGS IS TO SHOW ALL NECESSARY ITEMS TO COMPLETE THIS STRUCTURE. TYPICAL DETAILS & NOTES WITHIN THESE DRAWINGS APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE. ALL WORK & CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, AND SAFETY REQUIREMENTS FOR ITEMS, METHODS, AND/OR MATERIALS NOT SHOWN, THE MINIMUM REQUIREMENTS OF THE CURRENT UNIFORM BUILDING CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, NATIONAL ELECTRIC CODE, AND ALL OTHER LOCAL STATE AND MUNICIPAL CODES AND ORDINANCES SHALL GOVERN.
- HZR HOME DESIGNERS IS NOT RESPONSIBLE FOR FABRICATION, ERECTION AND/OR SAFETY. THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY REGULATIONS.
- THE CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, DESIGNER, ENGINEER, AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS AND EMPLOYEES FROM ALL LIABILITY CLAIMS, LOSSES, OR DAMAGES ARISING OR SAID TO ARISE FROM THE PERFORMANCE OF WORK DESCRIBED HEREIN.
- WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN THE PREPARATION OF THESE PLANS, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THEREFORE, THE DIMENSIONS AND SPECIFICATIONS OF THESE PLANS SHALL BE VERIFIED BY THE OWNER/CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HZR HOME DESIGNERS.
- THESE PLANS HAVE BEEN DRAWN TO COMPLY WITH THE CLIENTS SPECIFICATIONS, AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE SHALL BE DONE AT THE CLIENTS EXPENSE.
- ALL WORK SHALL BE THE BEST OF THEIR RESPECTIVE TYPES, AND CONTRACTORS SHALL BE RESPONSIBLE FOR OBSERVANCE OF ALL STATE, COUNTY, AND LOCAL BUILDING CODES.
- FIRE, VANDALISM, AND THEFT INSURANCE BY OWNER, PUBLIC LIABILITY, AND WORKMAN'S COMPENSATION INSURANCE BY CONTRACTOR.
- THE JOB SHALL BE LEFT BROOM CLEAN, WITH WINDOWS AND FIXTURES WASHED, AND ALL DEBRIS REMOVED BY CONTRACTOR.
- THE CONTRACTOR SHALL GIVE THE DESIGNER 48 HRS. NOTICE MINIMUM WHEN SITE OBSERVATIONS ARE NECESSARY.
- ANY AND ALL ENGINEERING AND SURVEY WORK REQUIRED IN CONNECTION WITH THIS PROJECT SHALL BE BY SEPARATE CONTRACT BETWEEN OWNER/CONTRACTOR AND THE ENGINEER OF HIS CHOICE.
- WHEN DISCREPANCIES ARISE BETWEEN ENGINEERING SPECIFICATIONS AND ARCHITECTURAL SPECIFICATIONS, THE ENGINEER'S SPECIFICATIONS SHALL GOVERN.
- THESE PLANS, SPECIFICATIONS, DETAILS, AND DESIGNS ARE THE SOLE PROPERTY OF HZR HOME DESIGNERS. CONSTRUCTION IS LIMITED TO A ONE TIME USE ON THE PROPERTY NAMED HEREIN. THESE PAGES MAY NOT BE DISPLAYED, COPIED, OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF HZR HOME DESIGNERS.

**WASTE MANAGEMENT PLAN**

NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE RIGHT-OF-WAY. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS IN SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER. NO FOOD SCRAPS IN TRASH PILE. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER. THE PROJECT SHALL HAVE A SIGNATURE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:00 AM TO 7:00 PM. EXCAVATIONS CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS, CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSHS OFFICE (510) 794-2521

R401.3 DRAINAGE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDING R300.2 CRC

**DRAWING INDEX:**

**ARCHITECTURAL PLANS:**

A-0	COVER SHEET AND SITE PLAN
A-1	EXISTING & DEMOLITION FLOOR PLAN
A-1.1	EXISTING ELEVATIONS
A-2	PROPOSED FLOOR PLAN
A-2.1	PROPOSED ELEVATIONS
A-3	ELECTRIC FLOOR PLAN
A-4	ARCHITECTURAL DETAILS
CG-1	CALGREEN
CG-2	CALGREEN

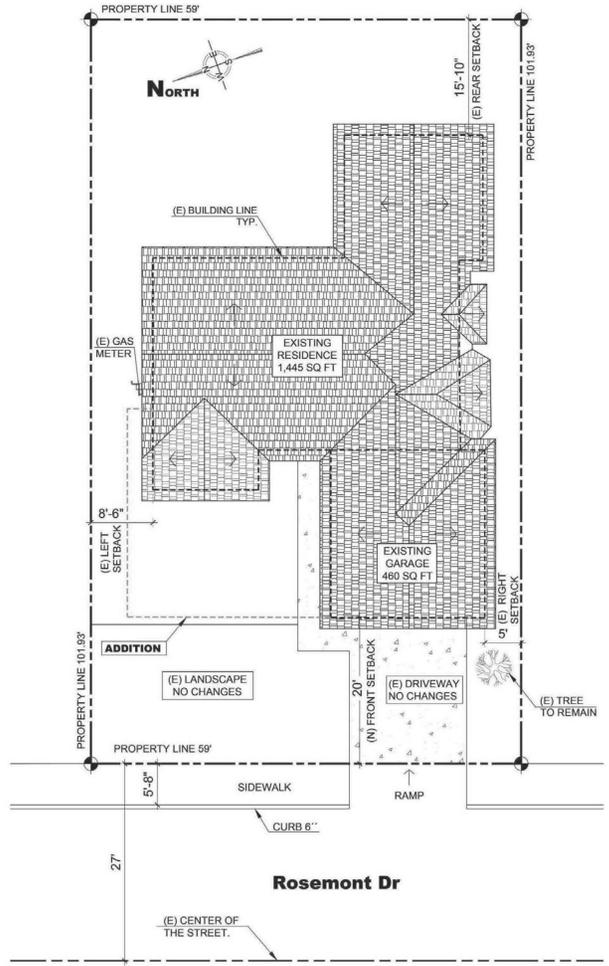
**ENERGY REPORT:**

T-24 ENERGY

**CODE REFERENCE:**

**THE FOLLOWING CODES SHALL APPLY TO WORK REQUIRED BY THIS PROJECT**

2019 California Residential Code- CRC
2019 California Plumbing Code CPC
2019 California Mechanical Code CMC
2019 California Electrical Code CEC
2019 California Referenced Standards Code
2019 California Energy Code
2019 California Fire Code



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

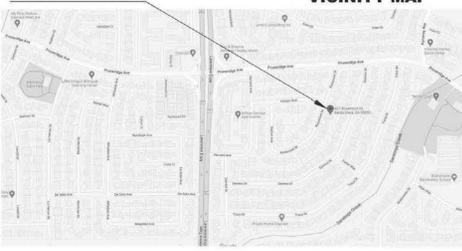
**ELEMENTS TO REMAIN:**

- (E) GAS METER TO REMAIN
- (E) ELECTRIC METER/PANEL
- (E) LANDSCAPE PROTECT WHERE POSSIBLE

**PROJECT SITE**



**PROJECT SITE**



**PROJECT INFORMATION:**

- APN: 296-03-020
- Type of Construction: V/B
- Occupancy Group: R-3

**SITE AREA:**

<b>LOT SIZE:</b> 6013 Sq. Ft.
<b>EXISTING LIVING AREA:</b> 1,445 SQ FT
<b>EXISTING GARAGE:</b> 460 SQ FT
<b>PROPOSED ADDITION:</b> 500 SQ FT
<b>TOTAL:</b> 2405 SQ FT

**COVERAGE AREA = 2505/ 6013= 0.399= 40%**

**PROJECT ADDRESS:**

421 Rosemont Dr  
Santa Clara, CA 95051

**SCOPE OF WORK:**

500 SQ FT. ADDITION  
TWO BEDROOM, A FULL BATH,  
MASTER BATH REMODEL  
& KITCHEN REMODEL



**GENERAL NOTES:**

**REVISIONS**

No.	Revision	Date
1		05/27/2022

**PROJECT:**

421 Rosemont Dr  
Santa Clara, CA 95051

**RESIDENTIAL ADDITION**

**SHEET TITLE:**

**COVER SHEET AND SITE PLAN**

**DRAWN:** C.O.A

**DATE:** 05/27/2022

**SCALE:** AS NOTED

**JOB No.** 40

**SHEET No.**

**A-0**



3D DESIGN

**GENERAL NOTES:**

**CONSTRUCTION NOTES:**

ALL WORK TO BE IN CONFORMANCE WITH 2019 CBC, CRC, CFC, CMC, CPC, CEC, AND 2019 CALIFORNIA ENERGY CODE AND 2019 CALIFORNIA GREEN, BUILDINGS CONSERVATION. THESE CODES, AS WELL AS THE STATE AND LOCAL AMENDMENT TO THEM. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION. VERIFY LOCATION GRADES A MIN. OF 4% FOR 5'-0" AWAY\* FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREA & SLOPE GRADE 2% MIN. @ PAVED AREAS.

1. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS
2. SHALL BE PLACED IN THE RIGHT-OF-WAY. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS IN SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED
3. AND PLACED IN THE CONTAINER.
4. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
5. CAP OFF EXISTING AND RELOCATE AFFECTED WATER SUPPLY, DRAIN, VENTS AND WASTE LINES AS REQUIRED
6. REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGE OR REMOVED DURING CONSTRUCTION
7. REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGE OR REMOVED DURING CONSTRUCTION
8. CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALL ARE REMOVED AND WHERE IMPORTANT SUPPORT IS REQUIRED
9. ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION

**REVISIONS**

No.	Description	Date
1		05/27/2022

**PROJECT:**  
421 Rosemont Dr  
Santa Clara,  
CA 95051

**RESIDENTIAL ADDITION**

**SHEET TITLE:**

**EXISTING & DEMOLITION FLOOR PLAN**

**DRAWN:** C.O.A

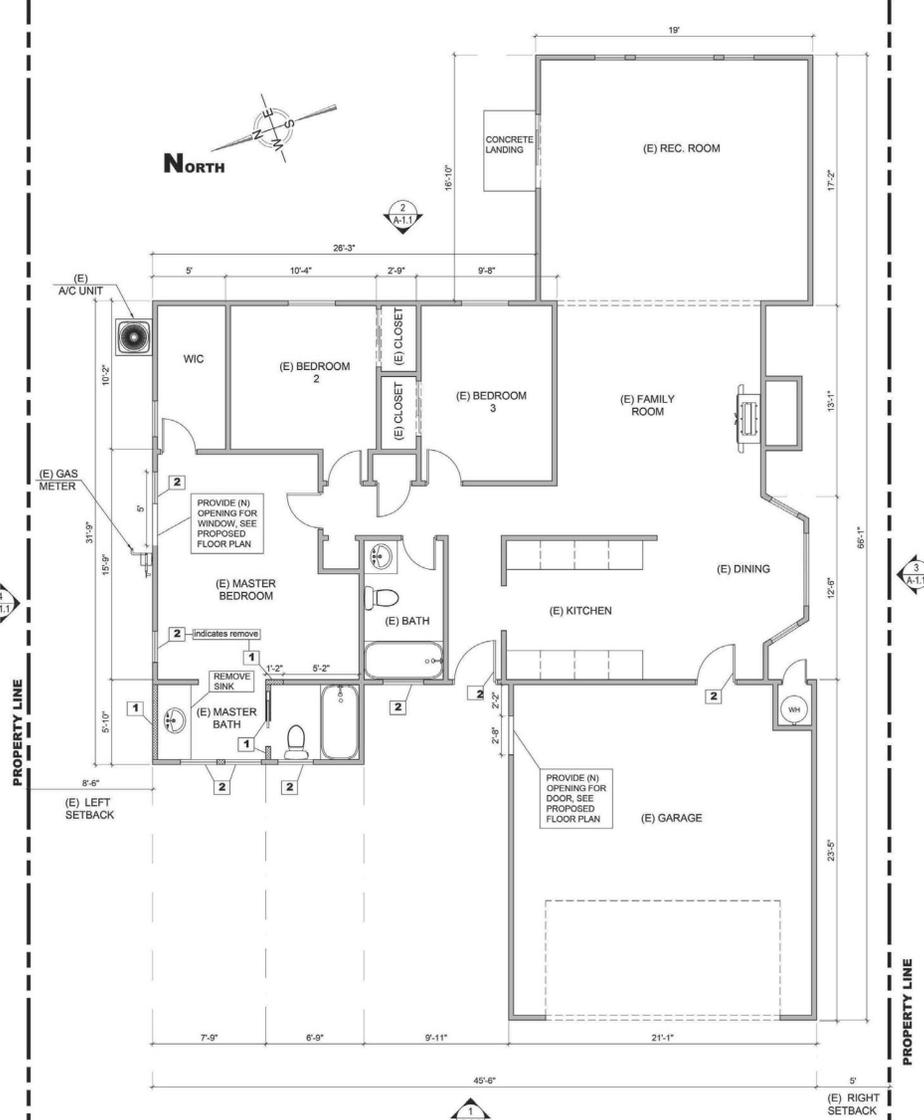
**DATE:** 05/27/2022

**SCALE:** AS NOTED

**JOB No.:** 40

**SHEET No.:**

**A-1**



**1 EXISTING FLOOR PLAN**  
SCALE: 1: 1/4"

**DRAWING LEGEND**

- (E) WALL TO REMAIN
- (E) WALL TO BE DEMO

**ELEMENTS TO REAMIN:**

- (E) GAS METER TO REMAIN
- (E) ELECTRIC METER/PANEL
- (E) LANDSCAPE PROTECT WHERE POSSIBLE

**DEMOLITION ACTIONS:**

- 1 (E) INTERIOR/EXTERIOR WALLS TO BE DEMOLISHED
- 2 (E) WINDOW/DOOR TO BE REMOVED.



PROPERTY LINE

PROPERTY LINE

(E) LEFT SETBACK

(E) RIGHT SETBACK



3D DESIGN

GENERAL NOTES:

REVISIONS

No.	Description	Date
1		05/27/2022

PROJECT:

421 Rosemont Dr  
Santa Clara,  
CA 95051

RESIDENTIAL  
ADDITION

SHEET TITLE:

EXISTING  
ELEVATIONS

DRAWN: C.O.A

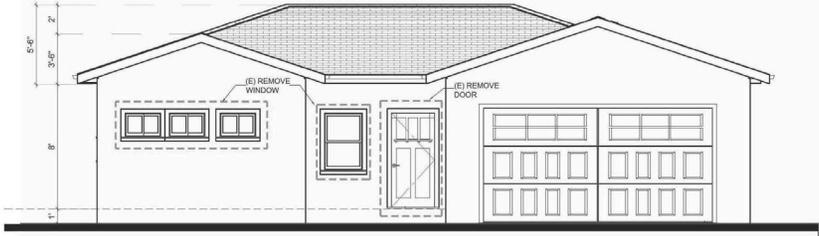
DATE: 05/27/2022

SCALE: AS NOTED

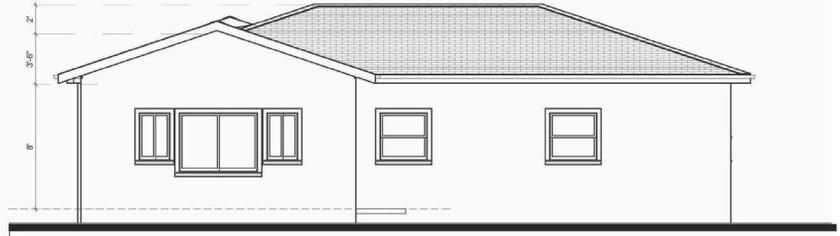
JOB No. 40

SHEET No.

A-1.1



1 EXISTING ELEVATIONS FRONT  
SCALE: 1: 1/4"



2 EXISTING ELEVATIONS REAR  
SCALE: 1: 1/4"



3 EXISTING ELEVATIONS RIGHT  
SCALE: 1: 1/4"



4 EXISTING ELEVATIONS LEFT  
SCALE: 1: 1/4"



3D DESIGN

**GENERAL NOTES:**

**CONSTRUCTION NOTES:**

- ALL WORK TO BE IN CONFORMANCE WITH 2019 CBC, CRC, CFC, CMC, CPC, CEC AND 2019 CALIFORNIA ENERGY CODE AND 2019 CALIFORNIA GREEN BUILDINGS CONSERVATION. THESE CODES, AS WELL AS THE STATE AND LOCAL AMENDMENT TO THEM, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION. VERIFY LOCATION GRADES A MIN. OF 4% FOR 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREA & SLOPE GRADE 2% MIN. @ PAVED AREAS.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS IN SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
  - ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
  - CAP OFF EXISTING AND RELOCATE AFFECTED WATER SUPPLY, DRAIN, VENTS AND WASTE LINES AS REQUIRED.
  - REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGE OR REMOVED DURING CONSTRUCTION.
  - REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGE OR REMOVED DURING CONSTRUCTION.
  - CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALL ARE REMOVED AND WHERE IMPORTANT SUPPORT IS REQUIRED.
  - ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION.

**GENERAL WINDOW NOTES:**

- PROVIDE TEMPERED SAFETY GLASS AT ALL BATH AND SHOWER LOCATIONS AND FOR ALL WINDOWS WITHIN 18" OF GROUND AND FINISHED FLOOR OR WITHIN 24" OF EITHER EDGE OF DOOR FRAME AND IN WALLS ENCLOSEING STAIRWAYS OR LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE, PER UBC 2406.4
  - ALL EXTERIOR GLASS TO BE DOUBLE GLAZING LOW-E GLASS
  - ESCAPE WINDOWS MUST HAVE A NET CLEAR OPERABLE AREA OF 5.7 SF. A CLEAR OPERABLE HEIGHT OF 24" AND A CLEAR OPERABLE WIDTH OF 20". THE SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE FINISHED FLOOR.
  - SAFETY GLAZING SHALL BE PROVIDED IN HAZARDOUS LOCATIONS PER SECT. 2408 OF THE UBC, WHICH INCLUDES GLAZING:
- IN INGRESS & EGRESS DOORS, FIXED OR SLIDING PANELS OF SLIDING DOORS, STORM DOORS, AND ALL UNFRAMED SWINGING DOORS.
  - IN TUB & SHOWER DOORS OR ENCLOSURES
  - IN ANY PORTION OF THE SHOWERS, TUBS, SAUNA, OR STEAM ROOM THAT IS LESS THAN 60" FROM STANDING SURFACE.
  - ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
  - IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING REQUIREMENTS:
    - AREA GREATER THAN 9 SF.
    - BOTTOM EDGE LESS THAN 18" ABOVE FLOOR.
    - TOP EDGE GREATER THAN 38" ABOVE FLOOR
    - WALKING SURFACES WITHIN 30" HORIZONTALLY OF THE PLANE OF GLAZING

**ALL WINDOWS**

V-FACTOR 0.30  
SHGC 0.23

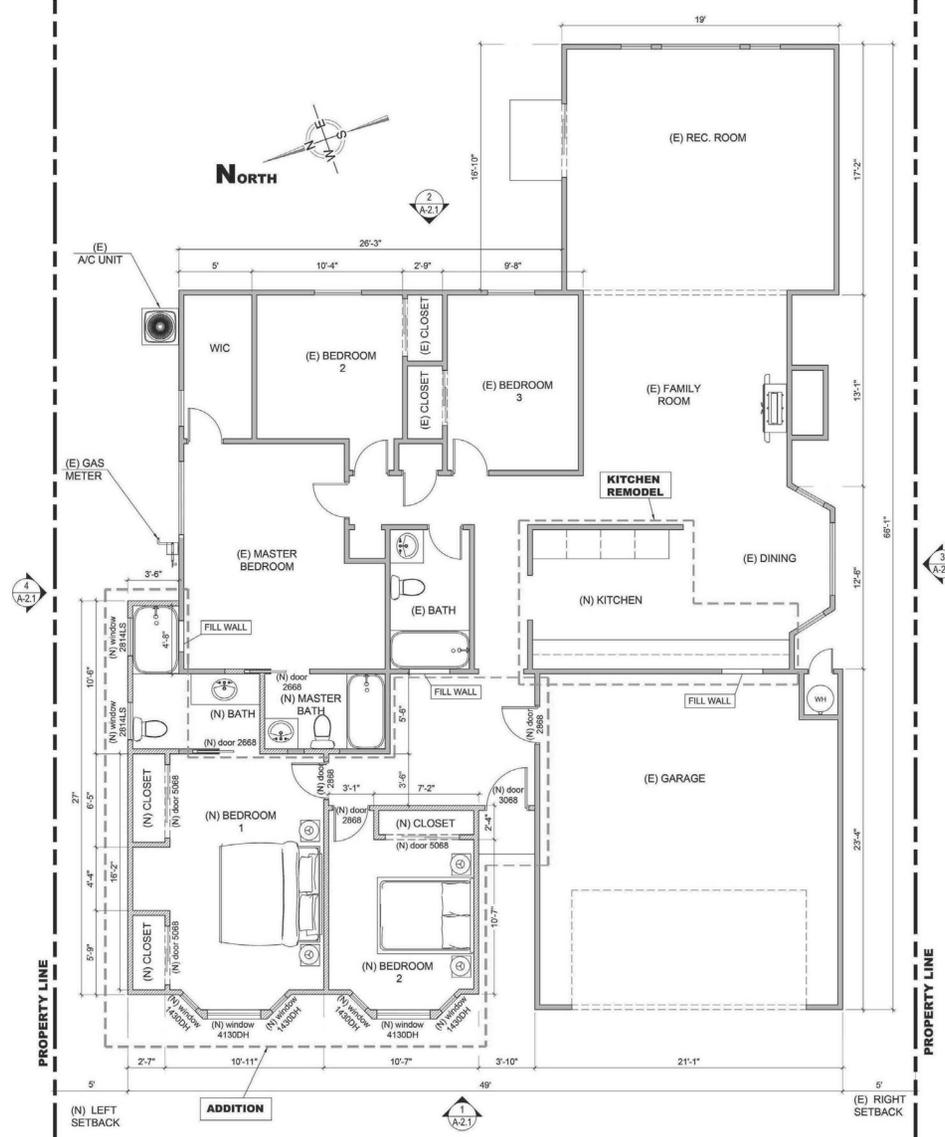
**ELEMENTS TO REMAIN:**

- (E) GAS METER TO REMAIN
- (E) ELECTRIC METER/PANEL
- (E) LANDSCAPE PROTECT WHERE POSSIBLE

**DRAWING LEGEND**

- (E) EXISTING WALL TO REMAIN
- (N) NEW WALL

- ⊙ — INDICATE DETAIL
- ⊙ — INDICATE ELEVATION



**1 PROPOSED FLOOR PLAN**  
SCALE: 1:1/4"

**REVISIONS**

No.	Description	Date
1		05/27/2022

**PROJECT:**  
**421 Rosemont Dr**  
**Santa Clara,**  
**CA 95051**

**RESIDENTIAL ADDITION**

**SHEET TITLE:**

**PROPOSED FLOOR PLAN**

**DRAWN:** C.O.A

**DATE:** 05/27/2022

**SCALE:** AS NOTED

**JOB No.:** 40

**SHEET No.:**

**A-2**

## Attachment 2: Project Data

### 421 Rosemont Drive

<b>Lot Size:</b> 6,013 sq. ft.			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	1445	500	1608
<b>Second Floor</b>	n/a	n/a	n/a
<b>Garage</b>	460	n/a	460
<b>ADU</b>	n/a	n/a	n/a
<b>Covered Patio</b>	n/a	n/a	n/a
<b>Gross Floor Area</b>	1905	500	2405
<b>Lot Coverage</b>	$1905/6013 = 31.7\%$	500	$2405/6013 = 39.9\%$
<b>F.A.R.</b>	$1905/6013 = .317$	500	$2405/6013 = .399$
<b>Bedrooms/Baths</b>	n/a	2 bedrooms	5 bedroom 3 bathrooms



## Agenda Report

22-852

Agenda Date: 7/6/2022

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Action on a proposed 459 square-foot first floor and 458 square-foot second story addition to an existing 2,738 square-foot two-story residence at 2369 Gianera Street

**File No.(s):** PLN22-00301

**Location:** 2369 Gianera Street, a 7,840 square foot lot located near the corner of Lakeshore Drive and Gianera Street; APN: 104-05-057; property is zoned Single-Family Residential (R1-6L)

**Applicant:** Samah Nasser

**Owner:** Hasan Khanzada And Asma Khan

**Request:** **Architectural Review** for a proposed 459 square-foot first floor and 458 square-foot second story addition to an existing two-story, single-family residence, for a total of five-bedrooms and five-bathrooms, totaling 3,420 square feet with an existing attached two-car garage to remain.

#### Project Data

The project data table is included as Attachment 1.

#### Points for Consideration

- The proposed project includes a 459 square-foot first floor and 458 square-foot second story addition to an existing two-story residence. The resulting residence will have five-bedrooms and five-bathrooms, totaling 3,420 square feet. The existing two-car garage will remain in place.
- The proposed addition to the existing second story provides step backs of over five feet, consistent with the Single-Family Design Guidelines. Portions of the existing second story are not stepped back from the first floor.
- The proposed rear balcony has a depth of four feet, consistent with the Single-Family Design Guidelines and includes a privacy screen to limit impacts to adjacent neighbors.
- The proposed addition to the residence will match the existing residence in material, with composition shingle roofing and white stucco finish.
- A neighborhood notice was distributed to properties within a 300-foot radius of the subject site for this project review.
- There are no active code enforcement cases for this property.

#### Findings

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a*

*part of the proposed development, in that;*

- The proposal provides the required two covered parking spaces with a proposed two car garage.
- The required parking spaces are not located in the required front yard or side yard landscaped areas.
- The proposed project provides areas surfaced with all-weather materials for parking of vehicles.

2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*

- The proposed addition would not create traffic congestion or hazards.
- Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.

3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*

- The proposed addition is to be located outside of the required setbacks and will conform to all zoning requirements. Furthermore, the proposed additions is in keeping with the general character of the neighborhood and would not be detrimental to the harmonious development.
- The proposed rear balcony has a depth of four feet, consistent with the Single-Family Design Guidelines and includes a privacy screen to limit impacts to adjacent neighbors.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*

- The project proposes a residential design that is compatible in scale with the housing types that are typical in the neighborhood as the proposed design of the single-family residence will have similar massing and height to the adjacent properties.

### **Conditions of Approval**

1) Permit Expiration. This Architectural Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extensions

thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer.

- 2) Prior to the issuance of a Building Permit, the development of the site and all associated improvements shall conform to the approved plans with File No. PLN22-00301, on file with the Community Development Department, Planning Division.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 6) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 7) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.
- 8) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.

## **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301-Existing Facilities, in that the project is limited to a small addition to the existing single-family residence.

## **PUBLIC CONTACT**

On June 23, 2022, a notice of public hearing of this item was posted within 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application.

## **RECOMMENDATION**

**Approve** the second story addition of 458 square feet and a proposed first floor addition of 459 square feet to a single-family residence, subject to conditions.

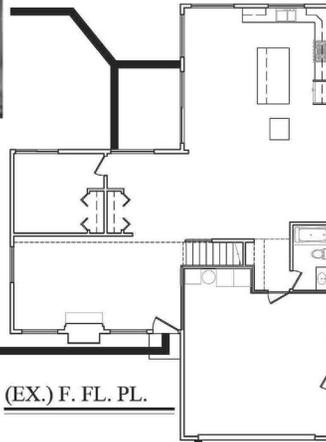
Prepared by: Daniel Sobczak, Assistant Planner, Community Development  
Approved by: Lesley Xavier, Planning Manager, Community Development

## **ATTACHMENTS**

1. Development Plans
2. Project Data







(EX.) F. FL. PL.



**N&A DESIGNS GROUP**

Designer: Samah Nasser  
 Address: 4223 OAK KNOLL DR., DUBLIN CA 94586  
 Email: nadesignsgroup@gmail.com  
 Phone: (908) 644-0769

SAMAH NASSER  
*samah nasser*

Notes

OWNER INFORMATION:  
 NAME: HASAN KHANZADA  
 ADDRESS: 2384 SHANERA ST-SANTA CLARA, CA  
 EMAIL: HASANKHANZADA@GMAIL.COM  
 PH#: 910-428-7911

No.	Revisions/Comments	Date

Key Plan

Project: ADDITION & ALTERATION Project No.:

Location: 2384 SHANERA ST-SANTA CLARA, CA

Project title: HASAN KHANZADA RESIDENCE

Drawing title: EXISTING PHOTOS

Approves	Date

Drawn By: SN Date: 5-24-2022

Checked By: Scale:

CAJ Title:

Sheet Drawing No.











## Attachment 2: Project Data

### 2369 Gianera Street

<b>Lot Size:</b> 7,840 sq. ft.			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	1840	224	2064
<b>Second Floor</b>	898	458	1356
<b>Garage</b>	n/a	n/a	n/a
<b>ADU</b>	n/a	n/a	n/a
<b>Covered Patio</b>	0	235	235
<b>Second Floor Balcony</b>	39	5	44
<b>Gross Floor Area</b>	2738	682	3420
<b>Lot Coverage</b>	$1975/7840 = 25\%$	235	$2595/7840 = 30.5\%$
<b>Bedrooms/Baths</b>	n/a	3 bedrooms 3 bathrooms	5 bedroom 5 bathrooms
<b>ADU Bedrooms/Baths</b>	n/a	n/a	n/a
<b>Flood Zone</b>	X		



## Agenda Report

22-846

Agenda Date: 7/6/2022

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Action on a 478 square-foot second floor addition to an existing 2,435 square-foot 4 bedroom and 2.5 -bathroom residence at 460 Muriel Court.

**File No.:** PLN22-00216

**Location:** 460 Muriel Court, a 11,019 square-foot lot to the southwest corner of Muriel Court and Luther Drive; APN: 294-31-025; the property is zoned Single-Family Residential (R1-6L).

**Applicant:** Mark Neil Bayong

**Owner:** Jeremy Roberts

**Request:** **Architectural Review** of a 478 square foot second floor addition to an existing 2,435 square foot 4-bedroom, 2.5-bathroom, two-story residence resulting in a 2,913 square foot 4-bedroom, 3.5-bathroom, two-story residence with an existing attached two-car garage to remain.

#### Project Data

The Project Data Table is included as Attachment 2.

#### Points for Consideration

- The project includes a 478 square-foot second floor addition resulting in a two-story single-family residence with 4-bedrooms and 3.5-bathrooms.
- The proposed extension of the second floor does not provide side step backs from the first story wall. However, the lot is uniquely shaped, and the addition still provides more than a 20-foot setback from neighboring residences and will not pose a privacy impact.
- The proposed addition to the residence will match the existing residence in material, with composition shingle roofing and vertical vinyl siding.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

#### Findings

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The development provides the required two car covered parking spaces.
  - The required parking spaces are not located in the required front yard or side yard

landscaped areas.

- The development provides the minimum required driveway length of twenty feet between the parking and any street right-of-way line.
2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
- The proposed new residence resulting in 4-bedrooms and 3.5-bathrooms would not create traffic congestion or hazards
  - The project includes a condition to maintain the garage clear and unobstructed for parking of two vehicles.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create an increase in traffic.
3. *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The proposed development is a two-story residence that is consistent with the scale and design similar to that of the existing surrounding neighborhood, which consists of both one- and two-story residences.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*
- The proposed addition includes vertical vinyl siding and composition shingles roofing to match the existing residence.
  - The proposed project is compatible in scale and character of residential structures present in the neighborhood.

### **Conditions of Approval**

- 1) Permit Expiration. This Architectural Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer.
- 2) Prior to the issuance of a Building Permit, the development of the site and all associated improvements shall conform to the approved plans with File No. **PLN22-00216**, on file with the Community Development Department, Planning Division.

- 3) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 4) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 5) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.
- 6) The garage shall always be maintained clear and free for parking of two vehicles. It shall not be used only for storage.

### **ENVIRONMENTAL REVIEW**

Categorical Exemption per CEQA 15301 (e)(1), Existing Facilities, in that the project is limited to a small addition to the existing single-family residence.

### **PUBLIC CONTACT**

On June 23, 2022, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning staff has not received public comments for this application.

### **RECOMMENDATION**

**Approve** the proposed addition to an existing single-family residence resulting in a 4-bedroom and 3.5 bathroom two-story residence at 460 Muriel Court, subject to conditions.

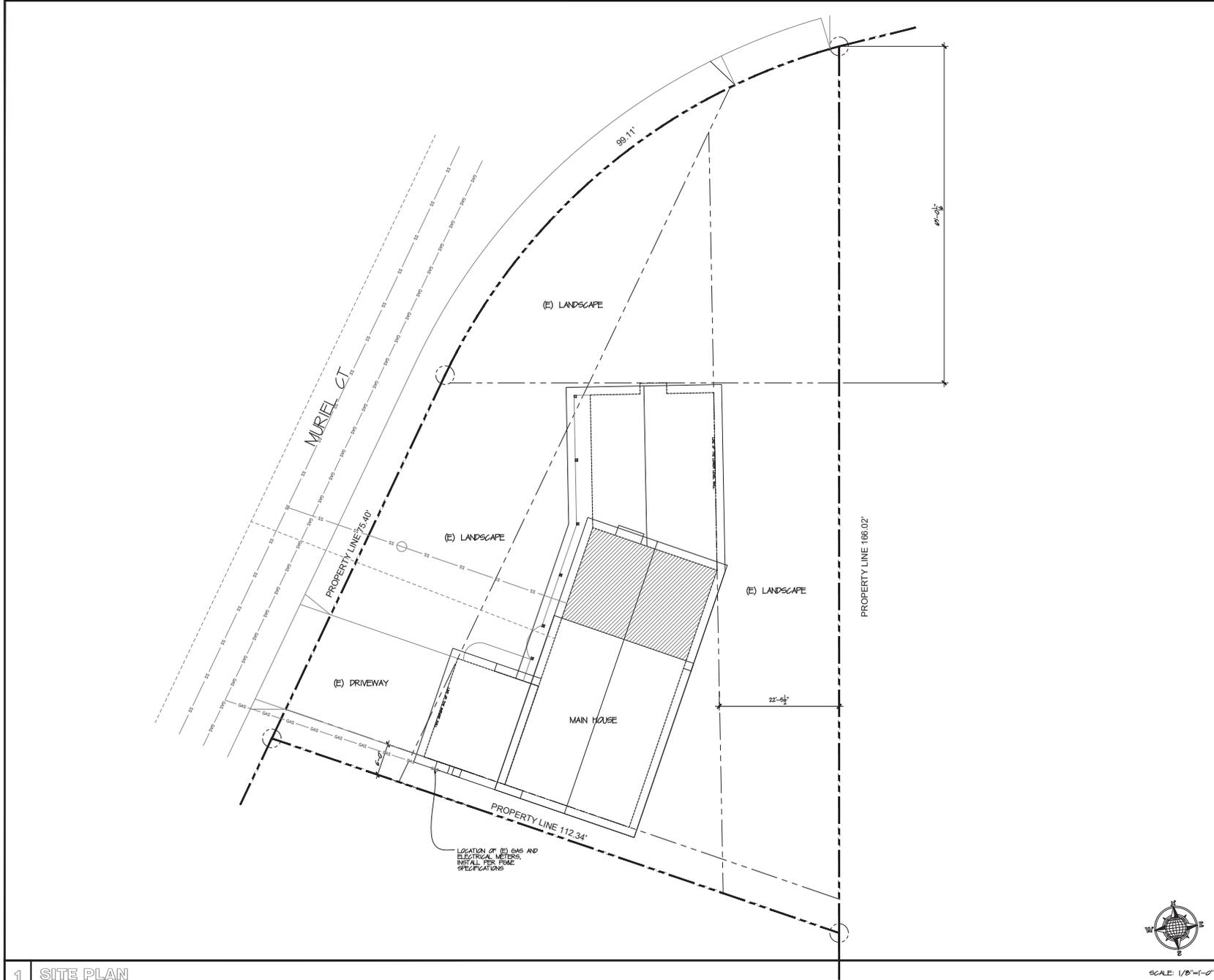
Prepared by: Tiffany Vien, Associate Planner, Community Development Department

Approved by: Lesley Xavier, Planning Manager, Community Development Department

### **ATTACHMENTS**

1. Development Plan
2. Project Data





**NOTE**

- SEE STRUCTURAL DRAWINGS FOR FOUNDATION PLAN AND DETAILS
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL DATUM PRIOR TO COMMENCEMENT OF CONSTRUCTION
- DRIVEWAY APPROACHES PER COUNTY STANDARD SEAL. THE DRIVEWAY APPROACH SHALL CONFORM TO COUNTY STANDARD SLOPES OF LESS THAN 5% GRADE WITHIN 10 FEET OF THE EDGE OF PAVEMENT, OR TO THE RIGHT OF WAY, WHICHEVER IS GREATER.

**CALGREEN NOTES:**

CGA. STORM WATER MANAGEMENT  
 A. CONTRACTOR TO PROVIDE RETENTION BASINS OF SUFFICIENT SIZE TO RETAIN WATER ON SITE.  
 B. WHERE STORM WATER IS CONVEYED TO THE PUBLIC DRAINAGE SYSTEM PROVIDE BARRIER OR WALL.  
 C. CONFORMANCE TO LOCAL STORM WATER ORDINANCE.

ADDITION GREATER THAN 50% OF EXISTING SQUARE FOOTAGE. ALL OVERHEAD UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRICAL, FIBER, AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND.



**ROBERTS RESIDENCE**  
 460 MURIEL CT,  
 SANTA CLARA, CA 95051

**LEGEND**

- PROPERTY LINE - - - - -
- SETBACK LINE - - - - -
- GAS LINE - GAS - GAS - GAS
- SEWER LINE - SS - SS - SS
- WATER LINE - - - - -
- NEW ADDITION

**REVISIONS**

NO.	DESCRIPTION



**ROBERTS RESIDENCE**  
 460 MURIEL CT,  
 SANTA CLARA, CA 95051

**SITE PLAN**

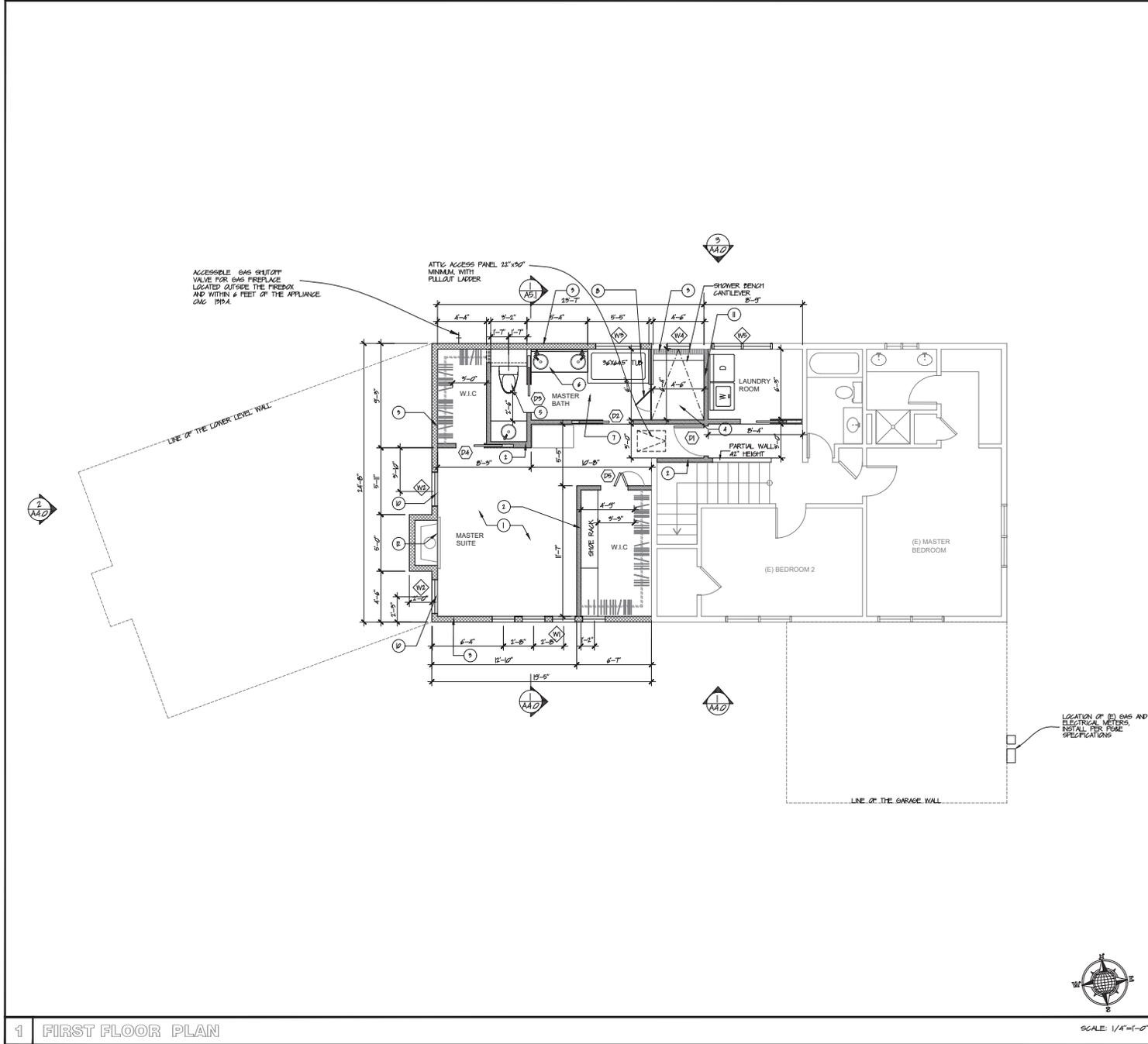
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**KEYNOTES**

- ① FLOORING TO BE SELECTED BY OWNER
- ② INTERIOR WALLS 2x4 @ 24" O.C. 1/2" SHEET ROCK EA. SIDE SMOOTH FINISH R-19 INSULATION
- ③ EXTERIOR WALLS 8" CEMENT PLASTER FINISH - TREE COAT SMOOTH PLASTER FINISH OVER STUCCO LATH OVER 2 LAYERS GRADE 19' BUILDING PAPER
- ④ SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 12' (6 FT) (CAG 4502/3). (N) JACKOZI TUB PROVIDE ACCESS PANEL FOR JACKOZI TUB CONTROL. MIN. AREA OF 100A SQIN FOR SHOWER (SUNKEN TUB OR EQUAL)
- ⑤ WATER CLOSET WITH 120 GPM
- ⑥ VANITY W/ MIRROR & M/C WITH MAX. FLOW RATE: 1.2 GPM AT 60 PSI (MINIMUM SHALL NOTE BE LESS THAN 0.8 GPM AT 20 PSIG) (CAG SECTION 4302/4)
- ⑦ BATHROOM FLOOR/WALL CERAMIC TILES TO BE SELECTED BY OWNER CERAMIC TILES ON CEMENT BOARD SUBSTRATE ON BATHROOM WALLS SURROUNDING TUBS AND SHOWERS. A SMOOTH, HARD, NON-ABSORBENT SURFACE CERAMIC TILES ON BATHROOM WALLS OVER A MOISTURE RESISTANT UNDERLAYMENT CEMENT, FIBER CEMENT, OR GLASS MATT GYPSUM BACKER TO A HEIGHT OF 12" ABOVE THE DRAIN INLET. SEE DETAIL 11/10/0
- NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOUR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
- ⑧ SHOWER DOOR MUST BE AT LEAST 22" WIDE, CFC 416
- ⑨ TRENCH DRAIN
- ⑩ EGRESS WINDOW COMPLIANCE W/ IRC R502: MIN. OPENING AREA = 5.7 SQ. FT. FOR GRADE LEVEL AND 5.7 SQ. FT. FOR ALL LEVELS ABOVE GRADE. MIN. OPENING HEIGHT = 20" (0'-2") MIN. OPENING WIDTH = 20" (1'-0") BEDROOM EMERGENCY EGRESS OPENING IS TO BE MEASURED 4" ABOVE FINISH FLOOR
- ⑪ PREVER VENT TO OUTSIDE WITH A MAXIMUM LENGTH OF 16'-0" EQUIPPED WITH A BACK DRAFT DAMPER INCLUDING TWO 30 DEGREE ELBOWS AND A MINIMUM PIPE DIAMETER OF 4"
- ⑫ PROVIDE GAS SUPPLY FOR FIREPLACE UNIT OR ELECTRICAL HEATING IS WITH ELECTRICAL SYSTEM WITH HEAT TAPED NEW DRESS VENT GAS APPLIANCE FIREPLACE UNIT 3/4" PRE-PAD I.C.D. APPROVED OR EQUAL. W/1 FIREPLACE W/ 1" TILE OR BRICK SURROUND & HEARTH FINISH & INSTALL PER MANUFACTURER.

**GENERAL NOTES**

- WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS MAKE & MODEL NUMBER SHALL BE CALLED OUT PER SUPPLIERS AND/OR OWNERS SPECIFICATIONS WINDOWS TO BE DUAL-PANED (UNO)
- ALL HEADERS SHALL BE @ 6'-8" WHERE CEILING IS 8'-0"
- ALL EXTERIOR DOORS SHALL BE AT LEAST 1 7/8" THICK
- ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFELY TEMPERED
- PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AS REQUIRED
- OPENINGS AROUND GAS VENTS, DUCTS & PIPING @ EACH FLOOR SHALL BE FIRE STOPPED
- PROVIDE A.C./D.C. SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AROUND COMMON ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL
- GREEN BUILDING ITEM
  - PROVIDE FLOW RESTRICTOR ON 3 FAUCETS
  - PROVIDE FLOW RESTRICTOR ON 2 SHOWERHEADS - PROVIDE CHLORINE FILTER ON SHOWER HEAD

**FLOOR PLAN KEY NOTES**

- (E) WALLS TO REMAIN
- (M) VERTICAL VENT. SEND TO MATCH EXISTING
- (N) INTERIOR WALLS 2x4 @ 24" O.C. 1/2" SHEET ROCK EA. SIDE SMOOTH FINISH WITH BATT INSULATION

NOTE ON PLANS THAT ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET-METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OF DURING CONSTRUCTION OF THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT. (CAG/SEC SECTION 4504)

NOTE: PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 10% MOISTURE CONTENT. (CAG/SEC SECTION 4503)

SMOKE ALARMS AT THE FOLLOWING LOCATIONS: (1) ALL BEDROOMS (2) HALLWAYS LEADING TO BEDROOMS (3) ABOVE TOPS OF STAIRS AND (4) AT LEAST ONE AT EVERY LEVEL. (CAG SECTION R903)

CARBON MONOXIDE ALARMS AT THE FOLLOWING LOCATIONS: (1) HALLWAYS LEADING TO BEDROOMS AND (2) AT LEAST ONE AT EVERY LEVEL. (CAG SECTION R901A)

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FLOOR PLAN

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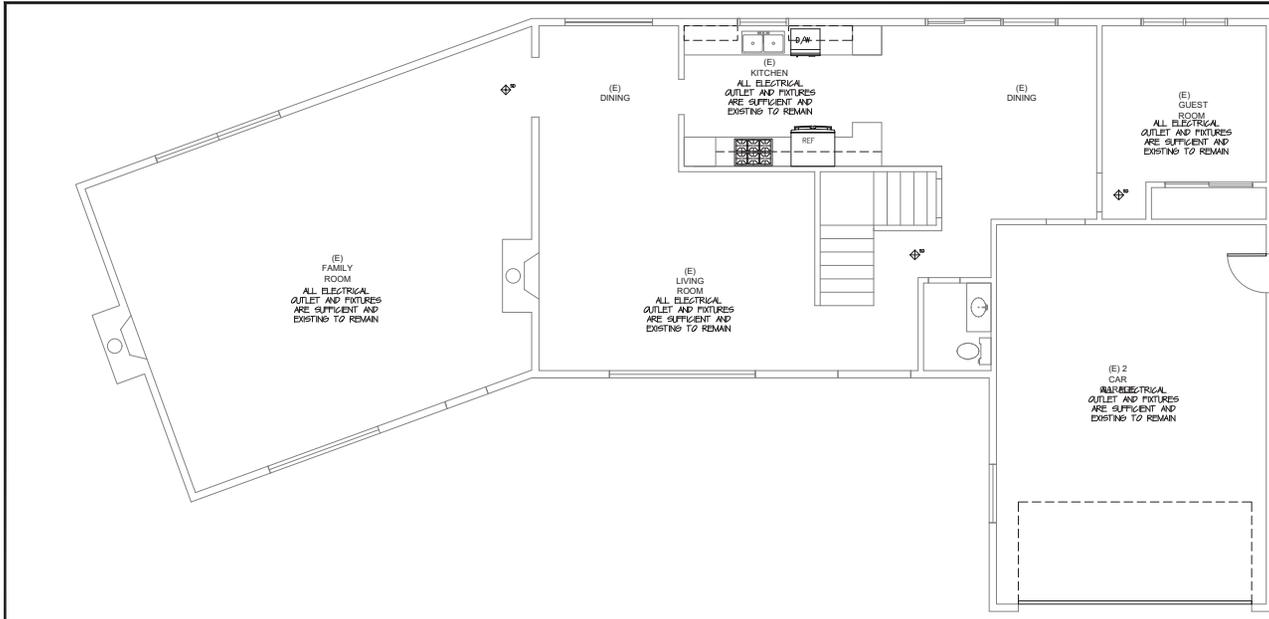
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SCALE: 1/4"=1'-0"



D. ONE FIXTURE IN THE LAUNDRY ROOM CONTROLLED BY A VACANCY SENSOR OR OCCUPANCY SENSOR PROVIDED THE OCCUPANCY SENSOR THAT IS INITIALLY PROGRAMMED LIKE A VACANCY SENSOR (MANUAL-ON OPERATION) CEC 902(K) 21

E. SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JWB (UNTIL APPENDIX B) COMPLIANT LAMPS. JWB COMPLIANT LIGHT SOURCES MUST BE MARKED AS JWB-ONLY OR JWB-SCREW-FIT (JWB-420-2" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES)

F. ALL JWB COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTIONS CLOSETS LESS THAN 10 SF AND HALLWAYS) CEC 902(K) 22

- CEILING RECESSED DOWNLIGHT LUMINAIRES
- LED LUMINAIRES WITH INTEGRAL SOURCES
- FIN-BASED LED LAMPS (1. SQUARE-HECT.)
  - 6-1/4" DIA. RECESSED LED LIGHT SOURCES

G. ANY NIGHT LIGHTS, STEPS LIGHTS, AND PATH LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR. CEC 902(K) 23

H. COMPLETED OMR-LTS-01-E FORM MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

I. INTERIOR LIGHTING FIXTURES AND/OR CONTROLS SHALL COMPLY WITH MANDATORY LIGHTING REQS.

J. ALL EXHAUST FANS TO BE SEPARATELY SWITCHED FROM THE LIGHTING SYSTEM.

K. BATHROOM EXHAUST FANS SHALL BE MINIMUM 50 CFM PER TABLE 51 OF ASHRAE 62.2. CONTRACTOR SHALL VERIFY ALL POWER.

L. REQUIREMENTS OF ALL APPLIANCES PRIOR TO OUTLET INSTALLATION 200 AMP ELECTRICAL PANEL IN LAUNDRY AREA

M. ALL RECEPTACLE OUTLETS TO BE TAMPER

N. RESISTANCE PER CEC 40011

O. PROVIDE LIGHT SOURCES INTEGRAL TO DRAWERS, CABINETS, AND LINEN CLOSETS MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR. CEC 902(K) 24

P. ALL OUTDOOR LIGHTINGS AS HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING ACCORDANCE WITH CEC 902(K) 25

- PHOTOCONTROL AND MOTION SENSOR
- PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
- HISTORICAL TIME SWITCH CONTROL
- ENERGY MANAGEMENT CONTROL SYSTEM

CONTRACTOR TO COORDINATE WITH OWNER & CABINET MANUFACTURER TO VERIFY DIMENSIONS AT SITE BEFORE FABRICATING CABINETS. SUBMIT SHOP DRAWINGS TO OWNER AS REQUIRED.

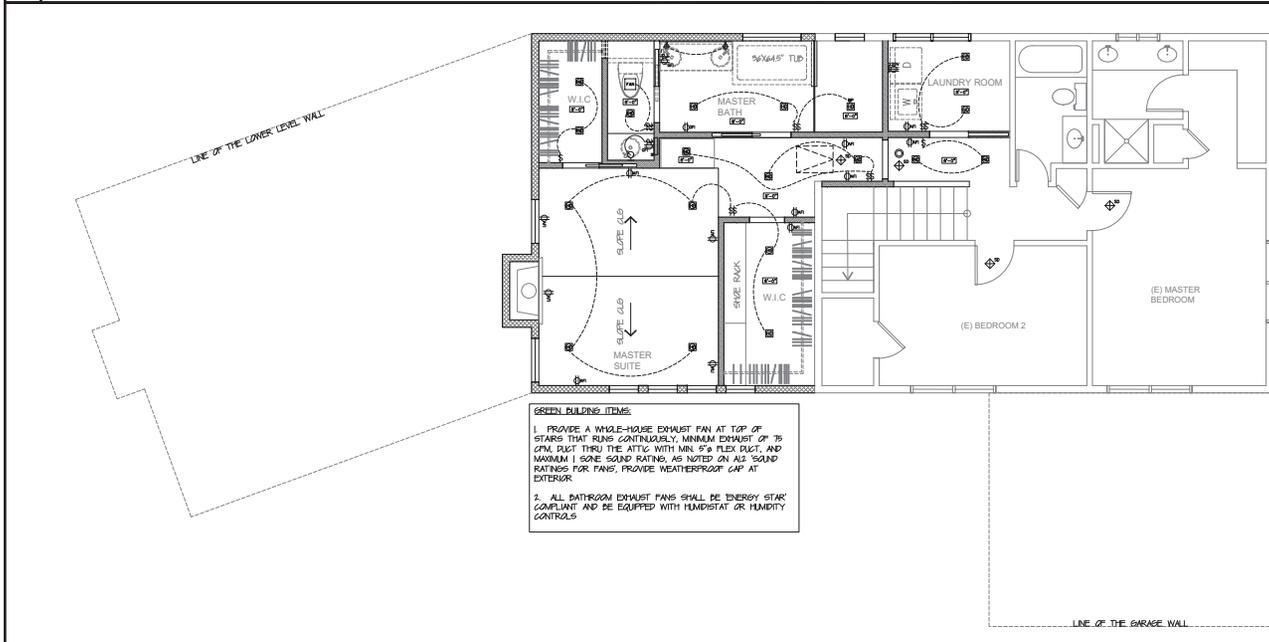
CONTRACTOR TO COORDINATE WITH OWNER & CABINET MANUFACTURER FOR SELECTION OF ALL FINISHES, HARDWARE AND INSTALLATIONS.

SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.

- ### ELECTRICAL SYMBOLS
- ⊠ DUPLEX WALL OUTLET
  - ⊠ 1/2 SWITCHED WALL OUTLET
  - ⊠ FOUR-PLEX WALL OUTLET
  - ⊠ DUPLEX FLOOR OUTLET
  - ⊠ 200 VOLT WALL OUTLET
  - ⊠ 80 VOLT WALL OUTLET
  - ⊠ GRAB BUILT CIRCUIT INTERRUPT
  - ⊠ ARC-FULT CIRCUIT INTERRUPT
  - ⊠ SWITCHED OUTLET
  - ⊠ WATERPROOF GFI OUTLET
  - ⊠ SINGLE POLE SWITCH
  - ⊠ THREE-WAY SWITCH WITH DIMMER
  - ⊠ FOUR-WAY SWITCH
  - ⊠ DIMMER SWITCH
  - ⊠ AIR SWITCH
  - ⊠ VACANCY SENSOR
  - ⊠ RECESSED LIGHT FIXTURE
  - ⊠ HIGH EFFICACY LIGHT FIXTURE
  - ⊠ RECESSED HIGH EFFICACY WATERPROOF LIGHT FIXTURE
  - ⊠ RECESSED SPOTLIGHT FIXTURE HIGH EFFICACY
  - ⊠ PENDANT OR SURFACE LIGHT FIXTURE HIGH EFFICACY
  - ⊠ HIGH EFFICACY WALL MOUNTED FIXTURE
  - ⊠ UNDER CABINET FLUORESCENT STRIP FIXTURE
  - ⊠ JUNCTION BOX, CEILING OR WALL MOUNTED, SIZED PER CODE TABLE AND TAG WIRING, PROVIDE FILE AND CONNECTION TO EQUIPMENT
  - ⊠ SMOKE DETECTOR
  - ⊠ EXHAUST FAN
  - ⊠ EXHAUST FAN WITH FLUORESCENT LIGHT
  - ⊠ DOOR CHIME
  - ⊠ SPEAKERS
  - ⊠ CEILING FAN WITH HIGH EFFICACY FIXTURE
  - ⊠ CARBON MONOXIDE ALARM
  - ⊠ VENT

1 FIRST FLOOR ELECTRICAL AND REFLECTED CEILING PLAN EXISTING

SCALE: 1/4"=1'-0"



Q. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL

R. HISTORICAL TIME SWITCH CONTROL

S. ENERGY MANAGEMENT CONTROL SYSTEM

CABINET MANUFACTURER TO VERIFY DIMENSIONS AT SITE BEFORE FABRICATING CABINETS. SUBMIT SHOP DRAWINGS TO OWNER AS REQUIRED.

CONTRACTOR TO COORDINATE WITH OWNER & CABINET MANUFACTURER FOR SELECTION OF ALL FINISHES, HARDWARE AND INSTALLATIONS.

SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.

1. HVAC SYSTEM SHALL BE DESIGNED AND INSTALLED ACCORDING TO ACCA MANUAL J & S

2. USE MASTIC ON ALL DUCT JOINTS AND SEAMS

3. VENTILATION HEATING AND AIR CONDITIONING SYSTEM SHALL HAVE MERV 10 FILTERS OR BETTER. CEC 902(M) 10

4. PROTECT DUCTS DURING CONSTRUCTION AND CLEAN ALL DUCTS BEFORE OCCUPANCY.

M. ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY PANS, ETC.) MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SCREENTH OR ATTIC VENTS. CEC 902(L) 1

N. BATHROOM EXHAUST FANS MUST BE ENERGY STAR COMPLIANT. MUST BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. CEC 902(L) 4504

NO TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY PANS, ETC.) MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SCREENTH OR ATTIC VENTS. CEC 902(L) 1

P. FIELD VERIFY A BACKWATER VALVE IS INSTALLED. TOWN CODE SECTION 400222 REQUIRES AN APPROVED BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE FLOOD LEVEL RINGS LESS THAN 18" ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE. CEC 902(L) 2

Q. 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. CEC 902(L) 2 & 902(L) 1

R. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF ROBBENTS BY CLOSING SUCH OPENINGS WITH GEMENT MORTAR, CONCRETE, MASONRY, OR SIMILAR ACCEPTABLE METHODS. CEC 902(L) SECTION 4001

S. ALL LIGHTING AS HIGH EFFICACY (I.E. FIN-BASED GFL FLUORESCENT WITH P54 SOCKETS OTHER THAN LUMINAIRES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 902-2-A

T. ONE FIXTURE IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR OR OCCUPANCY SENSOR PROVIDED THE OCCUPANCY SENSOR THAT INITIALLY PROGRAMMED LIKE A VACANCY SENSOR (MANUAL-ON OPERATION) CEC 902(K) 21

U. ONE FIXTURE IN THE GARAGE CONTROLLED BY A VACANCY SENSOR OR OCCUPANCY SENSOR PROVIDED THE OCCUPANCY SENSOR THAT IS INITIALLY PROGRAMMED LIKE A VACANCY SENSOR (MANUAL-ON OPERATION) CEC 902(K) 21

- ### ELECTRICAL NOTES
- VERIFY THE LOCATION OF ALL FIXTURES WITH THE OWNER PRIOR TO RISE-UP
  - THESE DRAWINGS ARE DIAGRAMMATIC AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS
  - PROVIDE ELECTRICAL SERVICE AS REQUIRED TO ALL MECHANICAL UNITS AND APPLIANCES
  - PROVIDE CABLE AND TELEPHONE OUTLETS WHERE DIRECTED BY THE OWNER
  - ALL SHALL BE LUMINAIRES IN KITCHEN SHALL BE HIGH EFFICACY
  - SMOKE DETECTORS SHALL BE BOX WITH BATTERY BACKUP WHICH ARE ALDLE IN ALL BEDROOMS AND HALLWAYS LEADING TO BEDROOMS
  - ALL SMOKE DETECTORS SHALL BE CONNECTED THROUGHOUT THE HOUSE TO GO OFF AT THE SAME TIME
  - A DEDICATED 20 AMP CIRCUIT SHALL SUPPLY THE B202 BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTABLES, LIGHTS, PANS, ETC.
  - ALL EXTERIOR OUTLETS MUST BE WITHIN 18" OF FINISHED GRADE AND GFCI PROTECTED
  - MINIMUM BRANCH CIRCUIT SHALL BE INSTALLED PER CEC ART. 305 (2) (3)-(5)
  - ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SLEEPING PORCHES, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FULT CIRCUIT INTERRUPTER. CEC 902(L) 1
  - LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES ARE TO BE LABELED "SUITABLE FOR DAMP LOCATIONS"
  - ALL RECESSED LIGHT FIXTURES SHALL BE I-RATED OR FIXTURES NOT IDENTIFIED FOR CONTACT WITH INSULATION SHALL HAVE ALL RECESSED PARTS SPACED AT LEAST 1/2" FROM COMBUSTIBLE MATERIALS AND 3" FROM THERMAL INSULATION
  - ALL EXTERIOR LIGHTS MOUNTED TO THE BUILDING ARE TO BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL
  - LANDSCAPE LIGHTING IS EXEMPT
  - PROVIDE A GROUNDING ELECTRODE SYSTEM PER CEC SECTION 90250
  - INTERIOR ROOMS (EX. LIVING, DINING, BEDROOM, HALLWAYS, AND CLOSETS GREATER THAN 10 SF) SHALL BE HIGH EFFICACY OCCUPANCY SENSORS OR ON A DIMMER SWITCH PER TITLE 24 MARS, 17. 109 CEC CODE SECTION 902(K)
  - 209 CEC CODE SECTION 902(K)

1 2ND FLOOR ELECTRICAL AND REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"

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EXPIRES 06-30-2025

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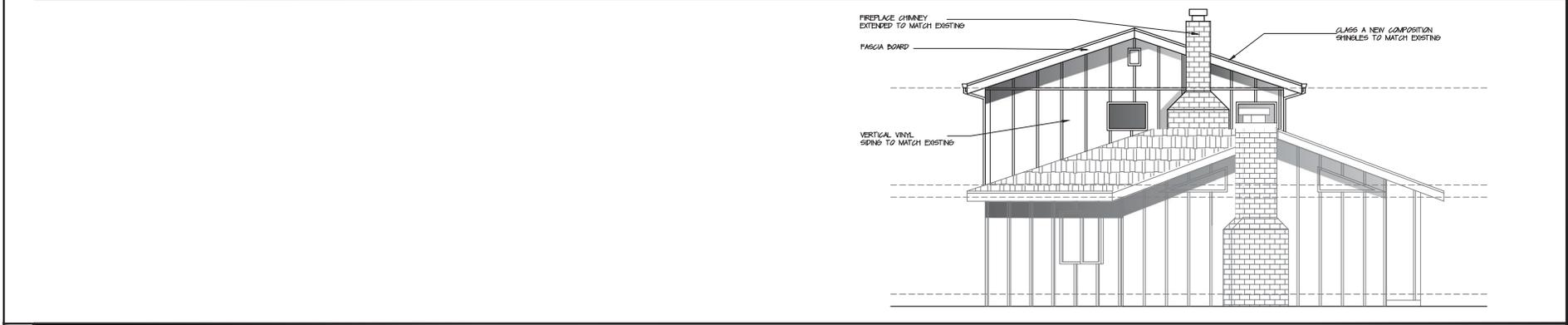






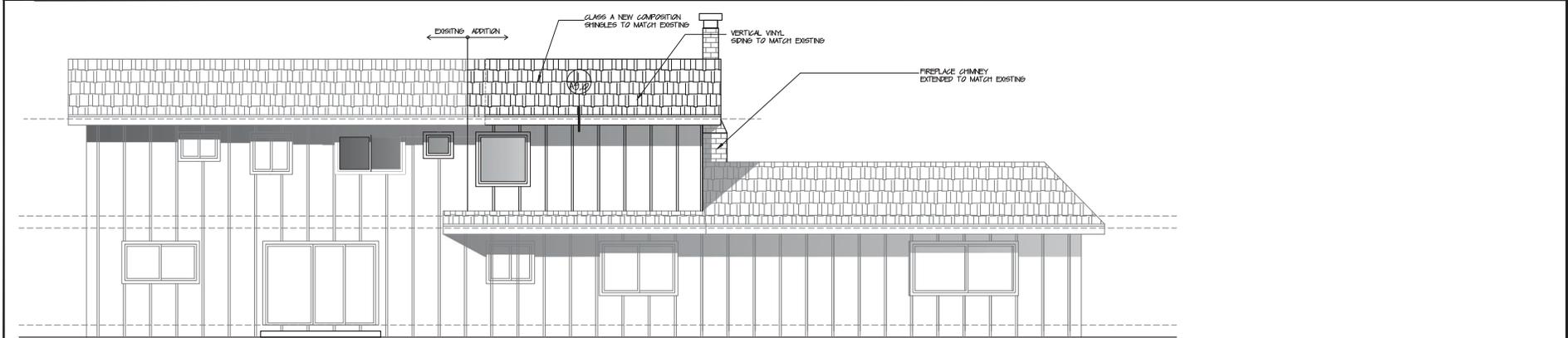
1 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



1 WEST ELEVATION

SCALE: 1/4"=1'-0"



3 NORTH ELEVATION

SCALE: 1/4"=1'-0"

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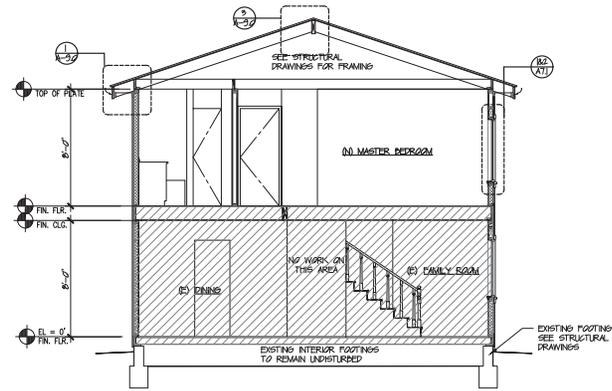
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1

SECTION EAST-WEST

SCALE: 1/4"=1'-0"

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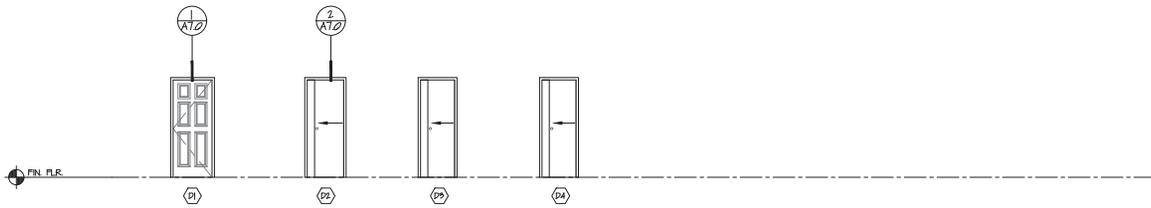
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**DOOR SCHEDULE**

NO.	SIZE		THK. INCH	DOOR		FRAME	DETAILS (SEE SHEET A-7D)			REMARKS
	W	H		DOOR TYPE	MATERIAL		HEAD	JAMB	SILL	
D1	2'-0"	6'-0"	1 3/8"	SECTIONAL PANEL	H.G.	WOOD	1	1	-	INT. SWING
D2	2'-0"	6'-0"	1 3/8"	SECTIONAL PANEL	H.G.	WOOD	2	-	-	SLIDING POCKET DOOR
D3	2'-0"	6'-0"	1 3/8"	SECTIONAL PANEL	H.G.	WOOD	2	-	-	SLIDING POCKET DOOR AT BATHROOM
D4	2'-0"	6'-0"	1 3/8"	SECTIONAL PANEL	H.G.	WOOD	2	-	-	SLIDING POCKET DOOR AT CLOSET

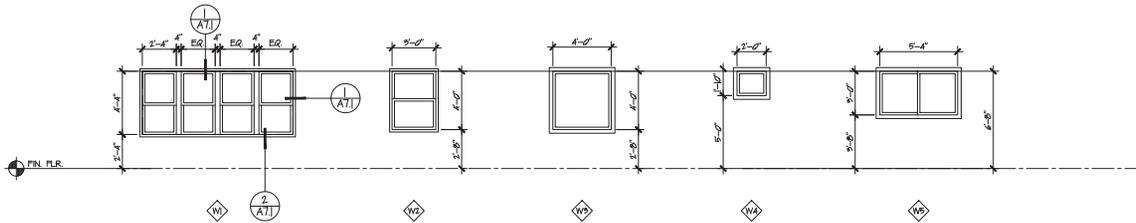
**DOOR SCHEDULE NOTES:**

- CONTRACTOR SHALL VERIFY ALL DOOR SIZES AND ROUGH OPENINGS IN FIELD PRIOR TO ORDERING
- VERIFY ALL DOOR STYLES AND HARDWARE WITH OWNER PRIOR TO ORDERING
- ALL EXTERIOR SWING DOORS SHALL HAVE SILL EXTENDERS
- ALL GLAZING IN DOORS SHALL BE DOUBLE PANE SAFETY GLAZING

**ABBREVIATIONS**

ALUM. ALUMINUM	INT. INTERIOR
ALUM. ALUMINUM CLAD WOOD	SG.W. SOLID CORE WOOD
PDL. PDL	TEMP. TEMPERED
ENB. ENCASED	THK. THICK
EXT. EXTERIOR	EQ. EQUAL
GLS. GLASS	
HM. HOLLOW METAL	
H.G. HOLLOW CORE	

**DOOR TYPES**



**WINDOW SCHEDULE**

NO.	WINDOW TYPE	FRAME	GLAZING	PANE	DETAILS (SEE SHEET A-7D)			REMARKS
					HEAD	JAMB	SILL	
W1	SINGLE HUNG	ALUM.	-	PDL.	1	1	2	SEE NOTE NO. 1, 6, 8
W2	SINGLE HUNG	ALUM.	-	PDL.	1	1	2	SEE NOTE NO. 3, 4, 6, 7, & 9
W3	FIXED	ALUM.	-	PDL.	1	1	2	SEE NOTE NO. 3, 6, 7, & 9
W4	FIXED	ALUM.	-	PDL.	1	1	2	SEE NOTE NO. 3, 6, 7, & 9
W5	SLIDER	ALUM.	-	PDL.	1	1	2	SEE NOTE NO. 3, 4, 6, 7, & 9

**WINDOW SCHEDULE NOTES:**

- ALL WINDOWS SHALL BE AS MANUFACTURED BY ANDERSEN WINDOWS OR EQUAL. VERIFY ALL WINDOW STYLES AND HARDWARE WITH OWNER PRIOR TO ORDERING. ALL GLAZING SHALL BE INSULATED WITH A LOW E COATING. COLOR: VERIFY WITH OWNER.
- CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING
- ALL GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLAZING PER CODE
- ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH SCREENS
- BATHROOM WINDOWS SHALL HAVE OBSCURE GLASS. VERIFY WITH OWNER
- SEE DETAIL 21/- WINDOW TYPES FOR WINDOW OPERATION
- PROVIDE TEMPERED GLASS IN THE FOLLOWING LOCATIONS:
  - GLAZING, OPERABLE OR INOPERABLE, ADJACENT TO A DOOR AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN 24" OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 40 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  - GLAZING IN FIXED PANELS WHICH HAVE A GLAZED AREA IN EXCESS OF 2 SQ. AND THE LOWEST EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING.
- GLAZING IN ALL WINDOWS IN WALLS ADJACENT TO BATH TUBS.
  - GLAZING IN ALL WALLS ENCLOSED STARWAY AND STARWAY LANDINGS LESS THAN 60" ABOVE ANY POINT OF THE WALKING SURFACE.
- ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 57 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NO MORE THAN 44" ABOVE THE FLOOR.
- PROVIDE 1/2"x2 1/2" STEEL PLATES FOR HORIZONTAL MULLIONS

**WINDOW TYPES**

**REVISIONS**

THE BLACK MT. CIL.  
480 MURIEL CT.  
SANTA CLARA, CA 95051  
408-742-1722



**ROBERTS RESIDENCE**  
480 MURIEL CT.  
SANTA CLARA, CA 95051

**SCHEDULES**  
FILE NO.

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Date: -  
Scale: AS NOTED  
Drawn: CL Check: CL  
Job: 2021-05-DPRRMD  
Sheet

**A-6.0**

REVISIONS

178 BLACK MT. CRL.  
 448-742-7322  
  
 www.elmbuilding.com

REGISTERED ARCHITECT  
 C-32574  
 EXPIRES 06-30-2024  
 STATE OF CALIFORNIA

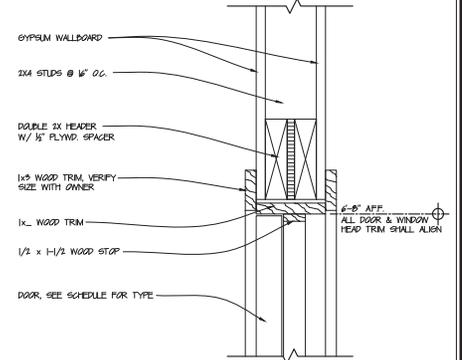
ROBERTS RESIDENCE  
 460 MURIEL CT.  
 SANTA CLARA, CA 95051  
 NOT FOR CONSTRUCTION

DOOR DETAILS  
 FILE NO.

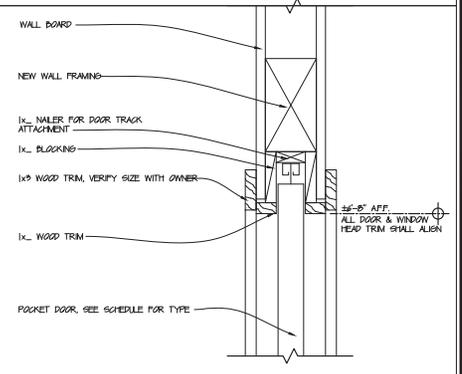
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Date  
 Scale  
 3"=1'-0"  
 Drawn MSB Check  
 Job 2021-05-DPRRMD  
 Sheet

A-7.0

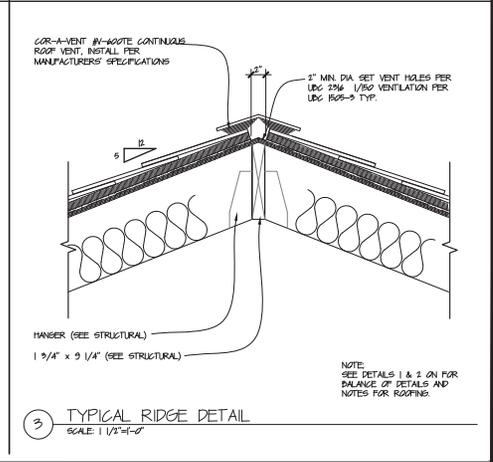
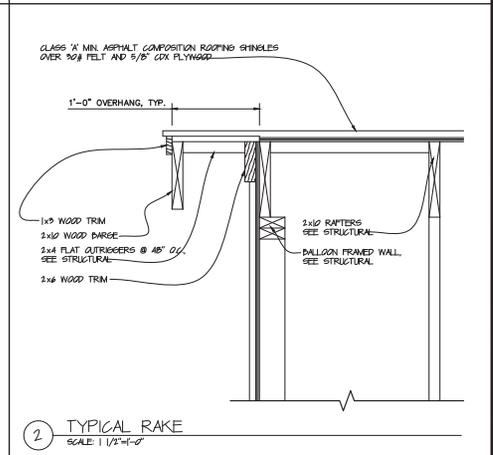
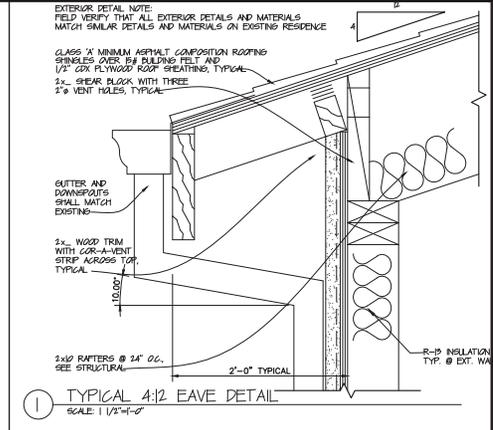
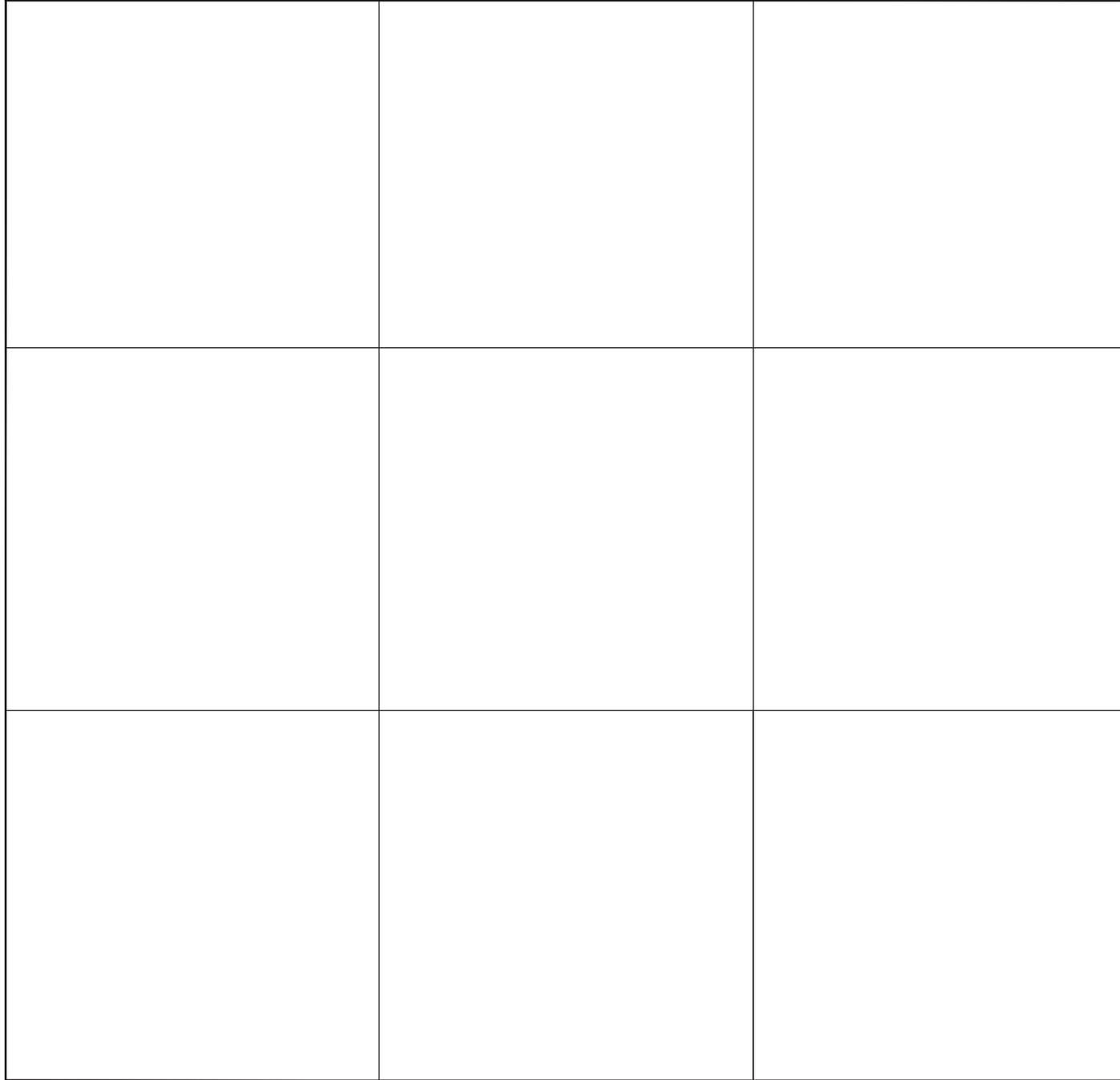


1 INTERIOR DOOR HEAD (JAMB SIMILAR)  
 SCALE: 3/4"=1'-0"



2 INTERIOR POCKET DOOR DETAIL (JAMB SIMILAR)  
 SCALE: 3/4"=1'-0"





REVISIONS

178 BLACK MT. CRL.  
444 792 1722

**elmb**  
S T U D I O  
www.elmbstudio.com

REGISTERED ARCHITECT  
C-32574  
Period: 06-30-2021

ROBERTS RESIDENCE  
460 MURIEL CT.  
SANTA CLARA, CA 95051

NOT FOR CONSTRUCTION

DETAILS

FILE NO.

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Date: -  
Scale: 1 1/2"=1'-0"  
Drawn: CL MD  
Check: MD  
Job: 2021-05-DPRRMD  
Sheet: A-9.0





CERTIFICATE OF COMPLIANCE

Project Name: 460 Muriel Residence
Calculation Date/Time: 2022-03-27 11:31:11-07:00
Input File Name: 460\_Muriel\_addition\_v2018019

CFR-PRF-01E

(Page 10 of 11)

Table with 4 columns: HVAC - FAN SYSTEMS, Name, Type, Fan Power (Watts/CFM), Name. Includes entries for Fan 01 and Fan 02.

Table with 4 columns: HVAC AIR SYSTEMS - HEAT VERIFICATION, Name, Verified Fan Watt Draw, Required Fan Efficiency (Watts/CFM). Includes entry for Fan 01.



Registration Number: 422-PD-0042070-000-0000000000
Report Version: 2022-10-20
Scheme Version: v20200902

Registration Date/Time: 2020-02-20 10:51
HEB Provider: CHEERS
Report Generated: 2022-03-27 11:31-02

CFR-PRF-01E

(Page 11 of 11)

CERTIFICATE OF COMPLIANCE

Project Name: 460 Muriel Residence
Calculation Date/Time: 2022-03-27 11:31:11-07:00
Input File Name: 460\_Muriel\_addition\_v2018019

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I, the undersigned, hereby certify that this Declaration of Compliance is accurate and complete.

Signature of Author: Igor Pichko
Signature Date: 03/27/2022

Registration Number: 422-PD-0042070-000-0000000000
Report Version: 2022-10-20
Scheme Version: v20200902

Registration Date/Time: 2020-02-20 10:51
HEB Provider: CHEERS
Report Generated: 2022-03-27 11:31-02



RESPONSIBLE PERSON'S DECLARATION STATEMENT

I, the undersigned, hereby certify that this Declaration of Compliance is accurate and complete.

Signature of Responsible Person: Mark Neel Bayog
Signature Date: 03/27/2022

Registration Number: 422-PD-0042070-000-0000000000
Report Version: 2022-10-20
Scheme Version: v20200902

Registration Date/Time: 2020-02-20 10:51
HEB Provider: CHEERS
Report Generated: 2022-03-27 11:31-02

Notes: updated by Zander New Energy Rating Systems, Inc. (ZNERES). The design applicant is prohibited from using the content of this report for any other project.

Registration Number: 422-PD-0042070-000-0000000000
Report Version: 2022-10-20
Scheme Version: v20200902

Registration Date/Time: 2020-02-20 10:51
HEB Provider: CHEERS
Report Generated: 2022-03-27 11:31-02

Notes: updated by Zander New Energy Rating Systems, Inc. (ZNERES). The design applicant is prohibited from using the content of this report for any other project.

Registration Number: 422-PD-0042070-000-0000000000
Report Version: 2022-10-20
Scheme Version: v20200902

Registration Date/Time: 2020-02-20 10:51
HEB Provider: CHEERS
Report Generated: 2022-03-27 11:31-02

2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards may comply with all applicable mandatory measures, regardless of the compliance approach used. Review the applicable section for more information. Exceptions must apply. (01/20/20)

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Fenestration, Decorative Gas Appliances, and Lighting.

2019 Low-Rise Residential Mandatory Measures Summary

Requirements for Ventilation and Indoor Air Quality:

Table with 2 columns: Measure ID and Measure Description. Includes sections for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment, and Lighting Measures.

2019 Low-Rise Residential Mandatory Measures Summary

Clearances: Air conditioner and heat pump outdoor units must have a clearance of at least five feet from the outlet of any dryer.

Table with 2 columns: Measure ID and Measure Description. Includes sections for Electrical, Heating, Cooling, and Ventilation.

2019 Low-Rise Residential Mandatory Measures Summary

Interior Switches and Controls: An energy management control system (EMCS) may be used to comply with control requirements if it provides control of the specified controls according to 150.0002.

Table with 2 columns: Measure ID and Measure Description. Includes sections for Electrical, Heating, Cooling, and Ventilation.

460 Muriel Residence
460 Muriel Ct., Santa Clara, CA 95051



**Not for Construction**  
*Please Refer to Submittals*

**REVISIONS**

DATE	COMMENT

DATE: 12/1/2021  
 DRAWN: P.S.  
 SCALE: AS SHOWN  
 JOB #: 21-142

**1st FLOOR FRAMING & FOUNDATION PLAN**

SHEET **S-1**

**FOUNDATION NOTES**

FLOOR FRAMING (LOADS):	NOT DESIGNED TO SUPPORT RADIANT FLOORS
EXTERIOR CEILING & PORCHES & DECKS (FINISH MATERIAL):	NOT DESIGNED TO SUPPORT STUCCO ON CEILING
BALCONY & DECK (FINISH MATERIAL):	NO DECKS / NO BALCONYS

**PRIOR TO BEGINNING ANY CONSTRUCTION:** CONTRACTOR / BUILDER SHALL FIELD VERIFY ALL EXISTING CONDITIONS SHOWN ON THE FRAMING PLANS & FOUNDATION PLAN (MEMBER SIZES, SPAN, DIRECTION, ETC.) IF THERE ARE ANY DISCREPANCIES, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.

ALL OF THE DIMENSIONS WERE PROVIDED TO THE ENGINEER BY THE OTHERS. REFER TO THE ARCHITECTURAL PLANS FOR DIMENSIONS. PLEASE FIELD VERIFY THE DIMENSIONS OF THE EXISTING STRUCTURE. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER & ARCHITECT / DESIGNER.

ANY DISCREPANCIES BETWEEN STRUCTURAL & ARCHITECTURAL PLANS, MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER & ARCHITECT / DESIGNER. THE ENGINEER MUST APPROVE ALL CHANGES OR MODIFICATIONS FROM THE STRUCTURAL DRAWINGS, PRIOR TO CONSTRUCTION.

FIELD VERIFY THE EXISTING FOUNDATION: IF THE NEW EXISTING FOUNDATION SYSTEMS DO NOT MATCH (TYPE OF FOUNDATION SYSTEM OR EMBEDMENT / DEPTH), CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.

PROVIDE #5 T18 DOUELS TYPICAL AT (N) TO (E) FOUNDATION. EMBED 5" WITH "SET-XP" EPOXY AND EXTEND 24" INTO NEW FOOTING.

THE INSTALLATION FOR THE EXPOSED RETROFIT HOLDOWN ANCHOR BOLTS MUST BE SPECIAL INSPECTED BY THE ENGINEER OF RECORD BEFORE THEIR INSTALLATION. SIMPSON "SET-XP" EPOXY MUST BE USED FOR ALL RETROFIT HOLDOWN ANCHOR BOLTS. SEE DETAIL S242.

GIRDERS WITH A SPAN MORE THAN 7'-0" O.C. MUST HAVE A 2X6 DFH SCABBED TO THE SIDE OF THE GIRDER NAILED 1/4" @ 12" @ 10" STAGGERED.

MUDSILL ANCHOR BOLTS: USE 5/8" A.B., EMBEDDED 7" MIN. INTO THE CONCRETE WITH A 2X6 PLATE WASHER. (PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDES WITH THE SHEATHING). FOR 2X6 & 3X6 MUDSILLS, THE MINIMUM DISTANCE BETWEEN FACE OF CONCRETE TO CENTER LINE OF A.B. SHALL BE 2" 3/4".

MUDSILL ANCHOR BOLT SPACING SHALL BE 4'-0" O.C. MAX. UNLESS NOTED OTHERWISE. SEE SHEAR WALL SCHEDULE. EACH PIECE OF MUDSILL MUST HAVE A MINIMUM OF 2 ANCHOR BOLTS, LOCATED NEAR THE ENDS, AND NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS FROM EACH END. SEE DETAIL S242 FOR RETROFIT MUDSILL ANCHOR BOLTS, AS REQUIRED.

THE SPECIFICATION FOR MACHINE BOLTS, ANCHOR BOLTS, HARDWARE, & FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD, MUST COMPLY WITH THE CORROSION RESISTANCE REQUIREMENTS, FOR THE TYPE OF DECKAY RESISTANT (OR TREATED) WOOD USED. (USE HOT-DIPPED ZINC-COATED GALVANIZED OR STAINLESS STEEL ANCHOR BOLTS & HARDWARE, OR PRESSURE TREATED WOOD PLATES, TYP.).

ALL HOLDOWN ANCHOR BOLTS SHALL BE IN PLACE, PRIOR TO CALLING THE FOUNDATION INSPECTION.

HOLDOWNS SHALL BE INSTALLED ON 4X MIN. POSTS U.N.O. HO2 MAY BE INSTALLED ON DOUBLE STUDS U.N.O., NAILED TOGETHER WITH 10# @ 6" O.C., STAGGER. (POSTS SUPPORTING BEAMS MUST BE THE SIZE SPECIFIED IN MEMBER CHART)

FOR SUPERIOR WITH FLOOR JOISTS @ 16" O.C.):  
 USE 5/8" (MIN.) TONGUE-AND-GROOVE EXPOSURE 1, APA FLOOR SPAN RATINGS OF 16" O.C. SPACING.  
 - BLYWOOD: USE APA RATED SINGLE FLOOR GRADE, OR BETTER  
 - OSB: USE APA STRUCTURAL OR EXPOSURE-1 OR BETTER.

INSTALL WITH THE EXPOSED GRAN PERPENDICULAR TO THE JOISTS. USE EXTERIOR WOOD GLUE (AT ALL SUPPORTS), MINIMUM WIDTH = 24". NAIL WITH 10# @ 6" O.C. @ EDGE AND 10" O.C. IN FIELD.

GIRDER FOOTINGS ARE EQUALLY SPACED, U.N.O. SEE PLAN  
 PROVIDE DOUBLE JOISTS UNDER HALLS PARALLEL WITH JOISTS AND BLOCKS UNDER WALLS PERPENDICULAR TO JOISTS.

PROVIDE COMPRESSION BLOCKS UNDER POSTS FROM ABOVE. THE COMPRESSION BLOCKS MUST BE FULL HEIGHT WITH JOIST BLOCKS. THEY MUST BE AT LEAST THE SAME WIDTH AS POST ABOVE, AND BE AT LEAST 12" LONG, U.N.O.  
 (AT T.J. FLOOR JOISTS, USE TIRESTRAND OR PARALLAM BLOCKS)

THE FLOOR MUST BE SHORED BEFORE STORING SHEET ROCK.

EXTERIOR PONT WALLS MUST BE SHEATHED AS SHEAR WALL TYPE 7, U.N.O.  
 FOR LATERAL BRACING AND HOLDOWN DETAILS SEE SHEET LD.

THE FRAMING & FOUNDATION DETAILS PROVIDED, SHALL BE USED WHERE APPLICABLE.

HALLS WITH TOP PLATE HEIGHT LESS THAN (OR EQUAL) 9'-4" SHALL HAVE 2X4 DF2 STUDS @ 16" O.C. (UNLESS NOTED OTHERWISE) SEE PLAN & NOTES BELOW

HALLS WITH TOP PLATE HEIGHT GREATER THAN 9'-4" (14'-6" MAX.) SHALL HAVE 2X4 DF2 STUDS @ 16" O.C.  
 (OR DOUBLE 2X4 DF2 STUDS @ 16" O.C. (U.N.O.))

HALLS WITH TOP PLATE HEIGHT GREATER THAN 14'-6" (18'-0" MAX.) SHALL HAVE 2X6 DF2 STUDS @ 16" O.C. (U.N.O.)

PROVIDE UNDER FLOOR VENTILATION WITH NET AREA NOT LESS THAN 1 SQ. FT. PER 150 SQ. FT. OF UNDER-FLOOR AREA. (PER CBC 1203.3) LOCATE VENTS BELOW WINDOWS IF POSSIBLE, SO THEY DO NOT OCCUR BELOW SHEAR WALLS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

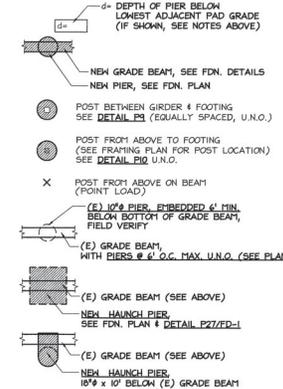
**SOIL NOTES**

- NO SOIL REPORT HAS PROVIDED FOR THIS PROJECT. THIS FOUNDATION PLAN WAS DESIGNED USING THE RECOMMENDATIONS PROVIDED IN THE 2009 C.B.C. 1803.3.1.4 (ALLOWABLE SKIN FRICTION= 1/6 x 1500 ALLOWABLE BEARING = 250 psf)
- IT IS ASSUMED THAT THE SITE IS SUITABLE TO SUPPORT A SINGLE FAMILY RESIDENCE ON CONVENTIONAL SPREAD FOOTINGS.
- IT IS ALSO ASSUMED THAT THE SITE IS RELATIVELY FLAT, STABLE, AND HAS GOOD DRAINAGE. (FLATLAND GRADING PROVIDED BY OTHERS)
- IT IS ASSUMED THAT THE SITE DOES NOT HAVE HIGHLY EXPANSIVE SOIL, UNDOCUMENTED FILLS, OR NON-COMPACTED FILLS.
- IT SHALL BE VERIFIED THAT PREVIOUS / EXISTING STRUCTURES ON THE SITE WERE BUILT USING SIMILAR FOUNDATION SYSTEMS & HAVE PERFORMED WELL (MINIMAL CRACKING & SETTLEMENT).
- IF SOIL OR FOUNDATION PROBLEMS ARE DISCOVERED DURING FOUNDATION EXCAVATIONS, THEY MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE WORK CAN CONTINUE. A SOIL ENGINEER THAT NEED TO BE CONSULTED BY THE OWNER, AND THE FOUNDATION DESIGN MAY NEED TO BE REDESIGNED.

CONTRACTOR / BUILDER SHALL READ, UNDERSTAND, AND FOLLOW ALL PLANS, NOTES, AND DETAILS CONTAINED IN THE STRUCTURAL DRAWINGS.

**PIER LEGEND**

- ALL NEW PIERS SHALL HAVE A MIN. 16" DIAMETER
- EMBED NEW PIERS 12" BELOW NEAREST ADJACENT PAD GRADE U.N.O. (SEE NOTE BELOW)
- IN ADDITION TO THE DEPTH GIVEN ON PLANS, ALL PIERS SHALL HAVE A MINIMUM EMBEDMENT OF 6" INTO NATIVE UNDISTURBED SOIL.



- ALL PIERS SHALL BE SPACED AT LEAST 3 x PIER Ø, APART (CENTER TO CENTER).
- THE PIER TOPS SHOULD NOT BE ALLOWED TO MUSHROOM OUT OR HAVE SPILLAGE AT THE SIDE OF THE GRADE BEAMS.
- THE SOIL ENGINEER SHALL BE PRESENT DURING PIER DRILLING ACTIVITIES AND SHALL SUBMIT A LETTER TO THE BUILDING DEPARTMENT TO VERIFY THE FINAL PIER DEPTH.

Builder shall field verify prior to any demo or construction:

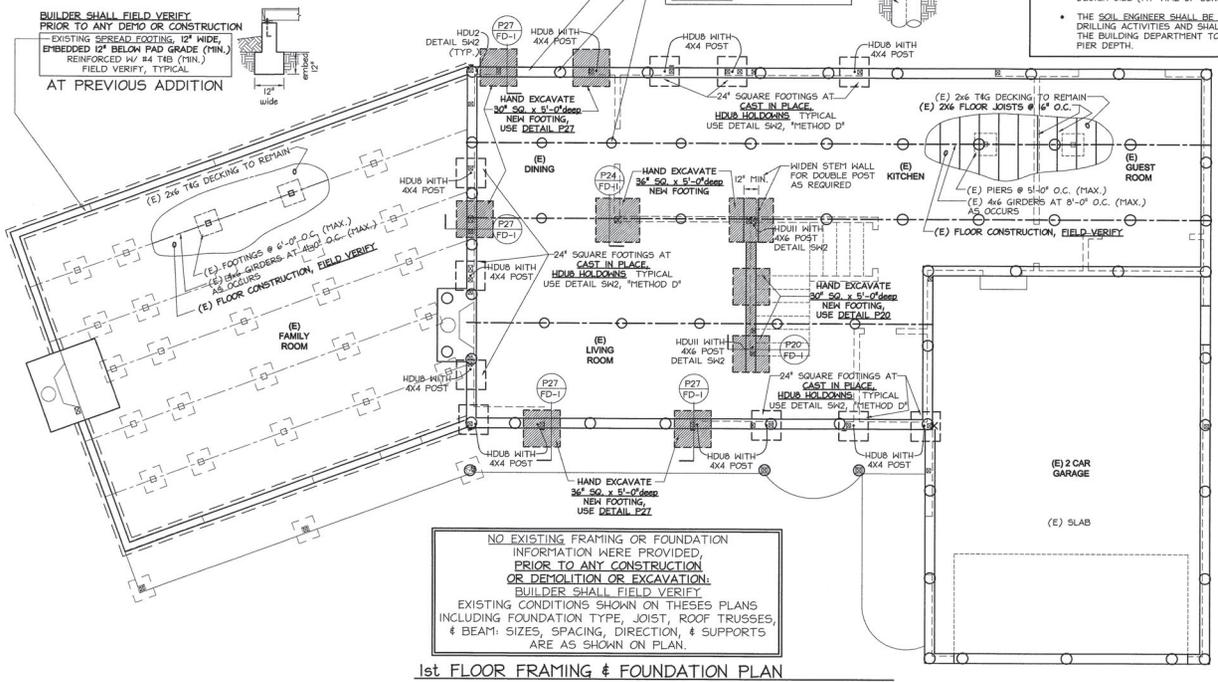
EXISTING GRADE BEAM, 8" WIDE x 16" DEEP (MIN.) REINFORCED W/ #4 T18 (MIN.) FIELD VERIFY, TYPICAL

EXISTING 10" PIERS @ 6" O.C. MAX. EMBEDDED 6" IN BELOW BOTTOM OF GRADE BEAM, U.N.O. FIELD VERIFY

Builder shall field verify prior to any demo or construction

EXISTING SPREAD FOOTING 12" WIDE, EMBEDDED 12" BELOW PAD GRADE (MIN.) REINFORCED W/ #4 T18 (MIN.) FIELD VERIFY, TYPICAL

AT PREVIOUS ADDITION



NO EXISTING FRAMING OR FOUNDATION INFORMATION WERE PROVIDED, PRIOR TO ANY CONSTRUCTION OR DEMOLITION OR EXCAVATION. BUILDER SHALL FIELD VERIFY EXISTING CONDITIONS SHOWN ON THESE PLANS INCLUDING FOUNDATION TYPE, JOIST, ROOF TRUSSES, & BEAM SIZES, SPACING, DIRECTION, & SUPPORTS ARE AS SHOWN ON PLAN.

**1st FLOOR FRAMING & FOUNDATION PLAN** SCALE: 1/4" = 1'-0"

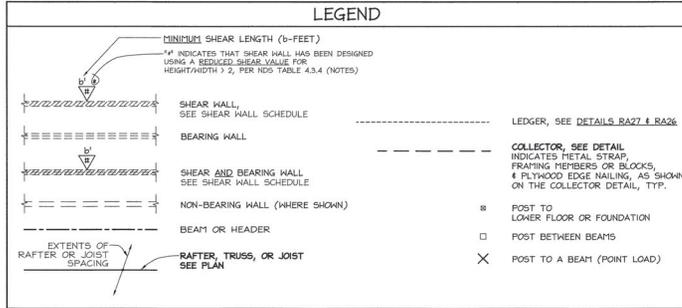
SHEETS:  
 S-1  
 S-2  
 S-3  
 FD-1  
 WD-1  
 MD-2  
 LD-1



**STRUCTURAL MEMBERS & CONNECTIONS CHART**

MEM #	TYPE	SIZE	MATERIAL	SUPPORTS	CONNECTION	REMARKS
T	MANU TRUSS	TRUSS	PER MANUFACTURER'S DATA	BEARING WALLS & BEAMS	PER MANUFACTURER, HANGER PER MFR. DETAILS RT1, RT60, RT60 & DETAILS ON PLAN	SPACED @ 24" O.C.
RF1	RAFTER	2 x 6	DF#2	BEARING WALLS & BEAMS	DETAILS RA1, RA27 & DETAILS ON PLAN, U300 GLOFED/BELEWED or LR10x2 HANGERS	SPACED @ 24" O.C. MAX SPAN = 9'-0" h
R1	BEAM	3 1/2 X 11 7/8	PARALLAM 2.0E, F1=2900	4X4 POSTS	DETAIL B1	HEADER
J1	JOIST	2 X 10	DF#1	BEARING WALLS & BEAMS	DETAILS FL1, FL2 IT9 OR US HANGERS SEE DETAILS ON PLAN	SPACED @ 16" O.C. MAX SPAN = 15' 0"
F1	BEAM	3 1/2 X 11 1/4	PARALLAM 2.0E, F1=2900	4X6 POSTS	DETAIL B1	HEADER
F2	BEAM	5 1/4 X 9 1/4	PARALLAM 2.0E, F1=2900	4X6 POST	ECG044 + DETAIL B10	FLUSH
F3	BEAM	5 1/4 X 9 1/4	PARALLAM 2.0E, F1=2900	4X6 POST	ECG044 + DETAIL B10	FLUSH
F4	BEAM	3 1/2 X 9 1/4	PARALLAM 2.0E, F1=2900	4X4 POST (EXT. WALL)	ECG044 (ROTATE STRAPS) + DETAIL B10	FLUSH
F5	BEAM	3 1/2 X 9 1/4	PARALLAM 2.0E, F1=2900	4X4 POST (INT. WALL)	DETAIL B10 + CB	FLUSH
F6	BEAM	3 1/2 X 9 1/4	PARALLAM 2.0E, F1=2900	4X4 POST (EXT. WALL)	ECG044 + DETAIL B10	HEADER
F6	BEAM	3 1/2 X 11 1/4	PARALLAM 2.0E, F1=2900	4X4 POSTS	DETAIL B1	HEADER

**NOTE:**  
 FOR ALL BEAMS (IN ROOF, FLOOR, CEILING & WALL FRAMING), PROVIDE SOLID BLOCKING AT ALL SUPPORT POINTS IN ADDITION TO THE HARDWARE & CONNECTION DETAILS SPECIFIED IN THIS CHART.  
 • ALL PARALLAM MUST BE E24E & F1=2900 psi. LESSER GRADES ARE NOT PERMITTED.  
 • ALL GULLAM MUST BE L1E & F1=2900 psi. LESSER GRADES ARE NOT PERMITTED.  
 • GULLAM BEAMS MUST BE L1E & SHALL HAVE STANDARD CAMBER, U.N.O.  
 • ALL PARALLAM, MICROLLAM & GULLAM BEAMS SHALL NOT BE EXPOSED TO MOISTURE, TYPICAL.  
 • ALL 4x4 POSTS SPECIFIED IN THIS CHART, MUST BE DF#2 OR BETTER. 4x4 AND 4x6 POSTS MUST BE DF#1 OR BETTER.  
 • ALL CEILING JOISTS SHALL BE (1) UNHABITABLE ATTICS WITH LIMITED STORAGE, LL-50 PSF, (CBC TABLE 2308.10.2.2)  
 2x6 DF#2 @ 16" O.C. - MAX SPAN = 12'-0"  
 2x6 DF#2 @ 24" O.C. - MAX SPAN = 10'-0"  
 2x6 DF#2 @ 16" O.C. - MAX SPAN = 10'-0"  
 2x4 DF#2 @ 16" O.C. - MAX SPAN = 10'-0"



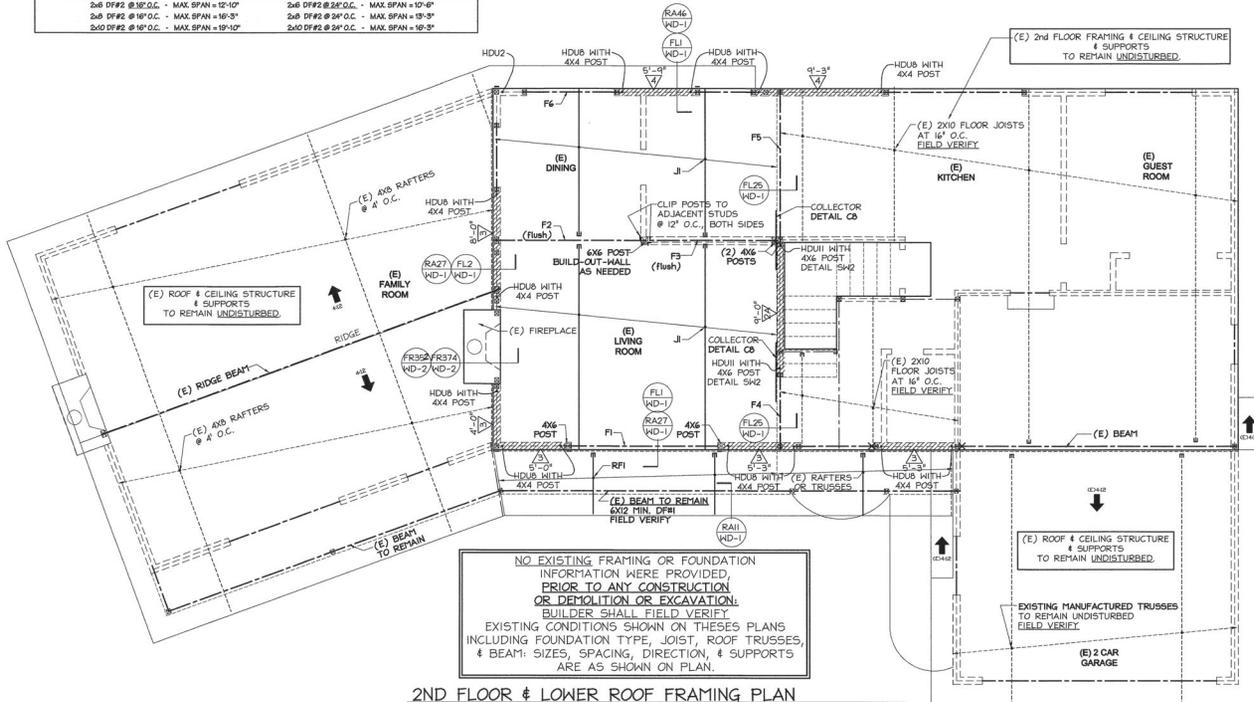
**PROJECT DATA**

ROOFING HEIGHT & MATERIAL (FOR NEK ROOF FRAMING)	5 psf MAX. (COMP. SHINGLE ROOFING) VERIFY WITH ARCHITECTURAL
EXTERIOR CEILING OR PORCHES & DECKS (FINISH MATERIAL)	NOT DESIGNED TO SUPPORT STUCCO ON CEILING
FLOOR FRAMING (LOADS)	NOT DESIGNED TO SUPPORT RAFTERS FLOORS
BALCONY & DECK (FINISH MATERIAL)	NO DECKS / BALCONY

**ROOF & 2nd FLOOR FRAMING NOTES**

- PRIOR TO BEGINNING ANY CONSTRUCTION, CONTRACTOR / BUILDER SHALL FIELD VERIFY ALL EXISTING CONDITIONS SHOWN ON THE FRAMING PLANS & FOUNDATION PLAN (MEMBER SIZES, SPAN, DIRECTION, ETC.). IF THERE ARE ANY DISCREPANCIES, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.**
- ALL OF THE DIMENSIONS WERE PROVIDED TO THE ENGINEER BY THE OTHERS. REFER TO THE ARCHITECTURAL PLANS FOR DIMENSIONS. PLEASE FIELD VERIFY THE DIMENSIONS OF THE EXISTING STRUCTURE. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER & ARCHITECT / DESIGNER.
  - ANY DISCREPANCIES BETWEEN STRUCTURAL & ARCHITECTURAL PLANS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER & ARCHITECT / DESIGNER. THE ENGINEER MUST APPROVE ALL CHANGES OR DEVIATIONS FROM THE STRUCTURAL DRAWINGS, PRIOR TO CONSTRUCTION.
  - THE EXISTING ROOF FRAMING MEMBERS ARE ONLY ADEQUATE FOR THE (E) HOOD OR CORPUSCULE SHINGLES (3 PSF) MATERIAL. IF THE OWNER REQUESTS TO REPLACE THE EXISTING MATERIAL WITH TILES (STANDARD OR LIGHT), THEN THE EXISTING ROOF FRAMING MUST BE ANALYZED.
  - THE SPECIFICATION FOR MACHINE BOLTS, ANCHOR BOLTS, HARDWARE, NAILS, SCREWS, AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD, MUST COMPLY WITH THE CORROSION RESISTANCE REQUIREMENTS, FOR THE TYPE OF DECAY RESISTANT (OR TREATED) WOOD USED. (USE HOT-DIPPED ZINC-COATED, Z-MAX, GALVANIZED OR STAINLESS STEEL, OR BETTER ANCHOR BOLTS, HARDWARE, & FASTENERS ON PRESSURE TREATED WOOD PLATES, JOIST, ETC., TYP.) ALSO SEE GENERAL NOTES, TYPICAL.
  - FOR ROOF SHEATHING, USE 1/2" (MIN.) APA SHEATHING GRADE, PLYWOOD OR OSB EXPOSURE I, WITH A ROOF SPAN RATING OF 24/16 OR BETTER. INSTALL WITH THE EXPOSED GRAIN PERPENDICULAR TO THE JOISTS, MINIMUM WIDTH = 24"
    - NAIL WITH 6d @ 6" O.C. @ EDGE AND 12" O.C. IN FIELD.
    - THE PLYWOOD DIAPHRAGM MUST BE CONTINUOUS UNDER THE CALIFORNIA FRAMING.
    - PROVIDE RADIANT BARRIER, IF REQUIRED BY T24 ENERGY REPORT.
  - PROVIDE HANGERS FOR RAFTERS AT VALLEY BEAMS.
  - ONLY SHEAR WALLS AND BEARING WALLS BELOW THE FRAMING PLANS ARE SHOWN. FOR OTHER WALLS SEE ARCHITECTURAL PLANS.
  - WALLS WITH TOP PLATE HEIGHT LESS THAN OR EQUAL TO 9'-0" SHALL HAVE: 2x4 DF#2 STUDS @ 16" O.C. (UNLESS NOT OTHERWISE SPECIFIED IN PLAN & NOTES BELOW).
  - WALLS WITH TOP PLATE HEIGHT GREATER THAN 9'-0" (14'-6" MAX.) SHALL HAVE: 2x6 DF#2 STUDS @ 16" O.C. (U.N.O.) OR DOUBLE 2x4 DF#2 STUDS @ 16" O.C. (U.N.O.)
  - WALLS WITH TOP PLATE HEIGHT GREATER THAN 14'-6" (18'-0" MAX.) SHALL HAVE: 2x6 DF#2 STUDS @ 16" O.C. (U.N.O.)
  - ALL HEADERS ON BEARING WALLS SHALL BE 4X6 DF#2 OR 4X6 DETAIL B10 @ 16" O.C. (U.N.O.)
  - EXISTING HEADERS, NOT SUPPORTING NEW LOADS, MAY REMAIN UNDISTURBED U.N.O.
  - THE FRAMING DETAILS PROVIDED, SHALL BE USED WHERE APPLICABLE.
  - FOR SHEAR WALL AND HOLD-DOWN DETAILS SEE SMT, LD-1
  - THE COLLECTOR STRAPS SHALL BE ATTACHED TO THE WALLS BEFORE THE ROOF/CEILING/FLOOR FRAMING MEMBERS ARE INSTALLED.
  - PROVIDE ST6236 STRAPS AT NEW TO EXISTING TOP PLATE SPLICES.
  - HOLD-DOWNS SHALL BE INSTALLED ON 4x4 MIN. POSTS U.N.O. HDU2 MAY BE INSTALLED ON DOUBLE STUDS U.N.O., NAILED TOGETHER WITH 10d @ 4" O.C., STAGGER. (POSTS SUPPORTING BEAMS MUST BE THE SIZE SPECIFIED IN MEMBER CHART)
  - THE TIE DOWNS SHOWN ON THE FRAMING PLAN ARE CONNECTING THE WALL BELOW TO THE FLOOR BELOW OR TO THE FOOTING.
  - FOR SUBFLOOR, USE 3/4" (MIN.) TONGUE-AND-GROOVE, EXPOSURE I, APA FLOOR SPAN RATING OF 24' O.C. SPACING.
    - PLYWOOD: USE APA RATED SINGLE FLOOR GRADE, OR BETTER
    - OSB: USE APA RATED (IF24) STRUCTURAL I OR STURD-I-FLOOR OR BETTER
  - FOR DECK SUBFLOOR, USE 3/4" (MIN.) [P.T.] TONGUE-AND-GROOVE, EXPOSURE I, APA FLOOR SPAN RATING OF 24' O.C. SPACING.
    - PLYWOOD: USE APA RATED SINGLE FLOOR GRADE, OR BETTER
    - OSB: USE APA RATED (IF24) STRUCTURAL I OR STURD-I-FLOOR OR BETTER
  - INSTALL WITH THE EXPOSED GRAIN PERPENDICULAR TO THE JOISTS. USE EXTERIOR WOOD GLUE (AT ALL SUPPORTS), MINIMUM WIDTH = 24", NAIL WITH 10d @ 6" O.C. @ EDGE AND 10" O.C. IN FIELD.
  - PROVIDE (GSM WOOD) DOUBLE JOISTS UNDER WALLS PARALLEL WITH JOISTS AND BLOCKS UNDER WALLS PERPENDICULAR TO JOISTS.
  - PROVIDE (FOR T.J. FLOOR SYSTEM) DOUBLE 2-1/2" x 3/4" x 11" x 7/8" IPE MICROLLAM JOISTS UNDER WALLS PARALLEL WITH JOISTS AND 1 3/4" x 11" x 7/8" TIMBERSTRAND I USE BLOCKS UNDER WALLS PERPENDICULAR TO JOISTS.
  - THE FLOOR MUST BE SHORED BEFORE STORING SHEET ROCK.
  - PROVIDE COMPRESSION BLOCKS UNDER POSTS FROM ABOVE. THE COMPRESSION BLOCKS MUST BE FULL HEIGHT, SOLID BLOCKS. THEY MUST BE AT LEAST THE SAME WIDTH AS POST ABOVE, AND BE AT LEAST 12" LONG, U.N.O. (AT T.J. FLOOR JOISTS, USE TIMBERSTRAND OR PARALLAM BLOCKS)
  - HANDRAIL DETAILS ARE TO BE PROVIDED BY THE ARCHITECT OR MANUFACTURER.
  - THE T.J. CONNECTIONS AND STIFFENERS MUST COMPLY WITH MANUFACTURER'S SPECIFICATIONS.
  - PROVIDE VENTILATION FOR ENCLOSED ATTIC SPACES & RAFTER SPACES WITH NET AREA NOT LESS THAN, 1 SQ. FT. PER 50 SQ. FT. OF THE SPACE VENTED. (PER CBC 1209.2) SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

CONTRACTOR / BUILDER SHALL READ, UNDERSTAND, AND FOLLOW ALL PLANS, NOTES, AND DETAILS CONTAINED IN THE STRUCTURAL DRAWINGS.



**2ND FLOOR & LOWER ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**ADVANCED RESIDENTIAL ENGINEERING**  
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**ROBERTS RESIDENCE**  
 460 MURIEL CT. SANTA CLARA, CA

**Not for Construction**  
 (Rev. 6/15/2021)

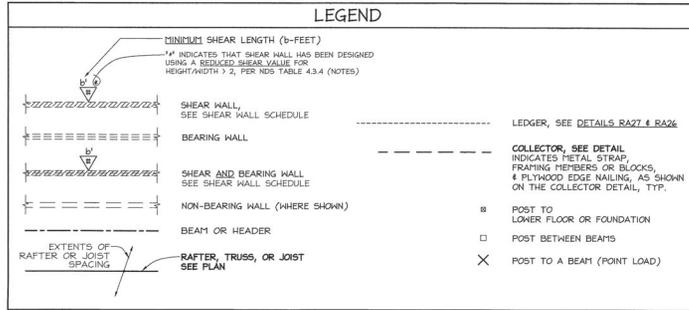
**REVISIONS**

DATE	COMMENT

DATE: 12/7/2021  
 DRAWN: P.S.  
 SCALE: AS SHOWN  
 JOB #: 21-142

**2ND FLOOR & LOWER ROOF FRAMING PLAN**

SHEET **S-2**



### STRUCTURAL MEMBERS & CONNECTIONS CHART

MEM#	TYPE	SIZE	MATERIAL	SUPPORTS	CONNECTION	REMARKS
T	MANU. FACT. TRUSSES		TRUSS PER MANUFACTURER'S DATA	DEARING WALL & BEAM	PER MANUFACTURER, HANGER PER MFR. DETAIL RT1, RT2, RT3D & DETAIL ON PLAN	CEILING @ 24" O.C.
R1	BEAM	3 1/2" X 7" D	PARALLAM 2.0L F14-2500	4X4 POSTS	DETAIL B1	HEADER

**NOTE:**

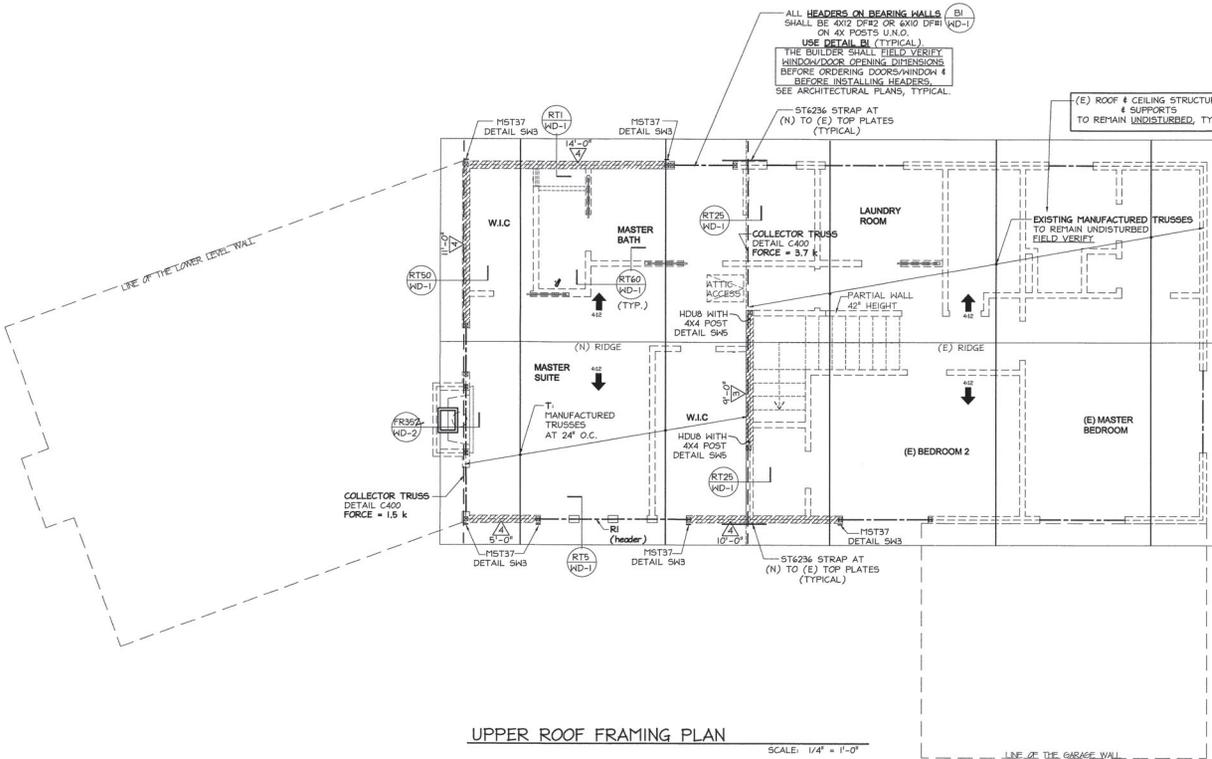
- FOR ALL BEAMS (IN ROOF, FLOOR, CEILING, & WALL FRAMING), PROVIDE SOLID BLOCKING AT ALL SUPPORT POINTS IN ADDITION TO THE HARDWARE & CONNECTION DETAILS SPECIFIED IN THIS CHART.
- ALL PARALLAM MUST BE 3.0E & F14-2500 PER LEADER GRADING ARE NOT PERMITTED.
- ALL MOKOLAM MUST BE 1.5E & F14-2400 PER LEADER GRADING ARE NOT PERMITTED.
- GULAM BEAMS MUST BE 1.5E & SHALL HAVE STANDARD CAMBER, U.N.O.
- ALL PARALLAM, MOKOLAM & GULAM BEAMS SHALL NOT BE EXPOSED TO MOISTURE, TYPICAL.
- ALL 4x4 POSTS SPECIFIED IN THIS CHART, MUST BE OF #2 OR BETTER. 6x6 AND 6x8 POSTS MUST BE OF #1 OR BETTER.

### PROJECT DATA

ROOFING HEIGHT & MATERIAL (FOR NEK ROOF FRAMING)	5 PSF MAX. (COMP. SHINGLE ROOFING) VERIFY WITH ARCHITECTURAL
ROOF FRAMING SYSTEM:	MANUFACTURED TRUSSES
EXTERIOR CEILING & PORCHES & DECKS (FINISH MATERIAL):	NOT DESIGNED TO SUPPORT STUCCO ON CEILING
BALCONY & DECK (FINISH MATERIAL):	NO DECKS / BALCONY

### ROOF FRAMING NOTES

- PRIOR TO BEGINNING ANY CONSTRUCTION, CONTRACTOR / BUILDER SHALL FIELD VERIFY ALL EXISTING CONDITIONS SHOWN ON THE FRAMING PLANS & FOUNDATION PLAN (MEMBER SIZES, SPAN, DIRECTION, ETC.). IF THERE ARE ANY DISCREPANCIES, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.**
- ALL OF THE DIMENSIONS WERE PROVIDED TO THE ENGINEER BY THE OTHERS. REFER TO THE ARCHITECTURAL PLANS FOR DIMENSIONS. PLEASE FIELD VERIFY THE DIMENSIONS OF THE EXISTING STRUCTURE. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER & ARCHITECT / DESIGNER.
  - ANY DISCREPANCIES BETWEEN STRUCTURAL & ARCHITECTURAL PLANS, MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER & ARCHITECT / DESIGNER. THE ENGINEER MUST APPROVE ALL CHANGES OR DEVIATIONS FROM THE STRUCTURAL DRAWINGS, PRIOR TO CONSTRUCTION.
  - THE EXISTING ROOF FRAMING MEMBERS ARE ONLY ADEQUATE FOR THE (E) ROOF OR COMPOSITION SHINGLES (3 PSF) MATERIAL. IF THE OWNER REQUESTS TO REPLACE THE (E) ROOFING MATERIAL WITH TILES (STANDARD OR LIGHT), THEN THE EXISTING ROOF FRAMING MUST BE ANALYZED.
  - THE SPECIFICATION FOR MACHINE BOLTS, ANCHOR BOLTS, HARDWARE, NAILS, SCREWS, AND FASTENERS IN CONTACT WITH PRESSURE-TREATED WOOD, MUST COMPLY WITH THE CORROSION RESISTANCE REQUIREMENTS, FOR THE TYPE OF DECAY RESISTANT (OR TREATED) WOOD USED (USE HOT-DIPPED ZINC-COATED GALVANIZED OR STAINLESS STEEL, OR BETTER ANCHOR BOLTS, HARDWARE, & FASTENERS ON PRESSURE-TREATED WOOD PLATES, JOIST, ETC., TTP.) ALSO SEE GENERAL NOTES, TYPICAL.
  - FOR ROOF SHEATHING, USE 1/2" (MIN.), APA SHEATHING GRADE, PLYWOOD OR OSB EXPOSURE 1, WITH A ROOF SPAN RATING OF 24/6 OR BETTER. INSTALL WITH THE EXPOSED GRAIN PERPENDICULAR TO THE JOISTS, FINISHUM WIDTH = 24"
    - NAIL WITH 8d @ 6" O.C. @ EDGE AND 12" O.C. IN FIELD.
    - THE PLYWOOD DIAPHRAGM MUST BE CONTINUOUS UNDER THE CALIFORNIA FRAMING.
    - PROVIDE RADIANT BARRIER, IF REQUIRED BY T24 ENERGY REPORT.
  - PROVIDE HANGERS FOR RAFTERS AT VALLEY BEAMS.
  - ONLY SHEAR WALLS AND BEARING WALLS BELOW THE FRAMING PLANS ARE SHOWN. FOR OTHER WALLS SEE ARCHITECTURAL PLANS.
  - HALLS WITH TOP PLATE HEIGHT LESS THAN (OR EQUAL) 9'-4" SHALL HAVE: 2x4 DFR2 STUDS @ 16" O.C. (UNLESS NOTED OTHERWISE) SEE PLAN & NOTES BELOW
  - HALLS WITH TOP PLATE HEIGHT GREATER THAN 9'-4" (14'-6" MAX.) SHALL HAVE: 2x6 DFR2 STUDS @ 16" O.C. OR DOUBLE 2x4 DFR2 STUDS (USE DETAIL B100) @ 16" O.C. (U.N.O.)
  - HALLS WITH TOP PLATE HEIGHT GREATER THAN 14'-6" (18'-0" MAX.) SHALL HAVE: 2x6 DFR2 STUDS @ 16" O.C. (U.N.O.)
  - ALL HEADERS ON BEARING WALLS SHALL BE 4x12 DFR2 OR 6x10 DEB ON 4x POSTS, USE DETAIL B1 (U.N.O. SEE PLAN/CHART)
  - EXISTING HEADERS, NOT SUPPORTING NEK LOADS, MAY REMAIN UNDISTURBED U.N.O.
  - THE FRAMING DETAILS PROVIDED, SHALL BE USED WHERE APPLICABLE FOR SHEAR WALL AND HOLDOWN DETAILS SEE SHEET LD-1.
  - THE COLLECTOR STRAPS SHALL BE ATTACHED TO THE WALLS BEFORE THE ROOF/CEILING/FLOOR FRAMING MEMBERS ARE INSTALLED.
  - PROVIDE ST6236 STRAPS AT NEK TO EXISTING TOP PLATE SPLICES.
  - HOLDOWNS SHALL BE INSTALLED ON 4x MIN. POSTS U.N.O. HD12 MAY BE INSTALLED ON DOUBLE STUDS U.N.O., NAILED TOGETHER WITH 10d @ 6" O.C., STAGGER. (POSTS SUPPORTING BEAMS MUST BE THE SIZE SPECIFIED IN MEMBER CHART)
  - THE TIE DOWNS SHOWN ON THE FRAMING PLAN ARE CONNECTING THE WALL BELOW TO THE FLOOR BELOW OR TO THE FOOTING.
  - PROVIDE VENTILATION FOR ENCLOSED ATTIC SPACES & RAFTER SPACES WITH NET AREA NOT LESS THAN, 1.50 FT PER 150 SQ. FT. OF THE SPACE VENTED. (PER CBC (203.2) SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.



CONTRACTOR / BUILDER SHALL READ, UNDERSTAND, AND FOLLOW ALL PLANS, NOTES, AND DETAILS CONTAINED IN THE STRUCTURAL DRAWINGS.

### MANUFACTURED TRUSS NOTES

- TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS AND CALCULATIONS FOR TRUSSES. THEY SHALL BE REVIEWED & APPROVED BY THE ENGINEER OF RECORD AND THE CITY BUILDING DEPARTMENT, PRIOR TO BEGINNING OF ANY SOIL EXCAVATION, FOUNDATION, OR CONSTRUCTION WORK.
- THE TRUSS MANUFACTURER MUST FOLLOW THE LAYOUT PROVIDED ON ROOF FRAMING PLANS.
  - ANY CHANGES TO THE TRUSS LAYOUT SHOWN ON THE STRUCTURAL PLANS, MUST BE APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO TRUSS FABRICATION.
  - TRUSS MANUFACTURER SHALL DESIGN COLLECTOR TRUSSES FOR ALL EXTERIOR WALLS AS PROVIDED. PROVIDE PROPER FINISH FOR ROOF FRAMING PLANS. THEY MUST BE IN-LINE WITH ADJACENT WALLS U.N.O. SEE COLLECTOR DETAILS.
  - ALL GIRDER TRUSSES MUST BE SUPPORTED BY 4x POSTS, HEADER WITH 4x POSTS, OR BEAM/GIRDER TRUSS.
  - TRUSS MANUFACTURER SHALL PROVIDE ALL TRUSS CONNECTIONS.
  - SEE ARCHITECTURAL PLANS FOR MECHANICAL UNIT & ATTIC ACCESS LOCATIONS. PROVIDE ATTIC TRUSSES AS NEEDED.
- TRUSS MANUFACTURER SHALL FIELD VERIFY BUILDING DIMENSIONS PRIOR TO TRUSS FABRICATION.

**ADVANCED RESIDENTIAL ENGINEERING**

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 SANTA CLARA, CA

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 Plan City Submission

REVISIONS	
DATE	COMMENT

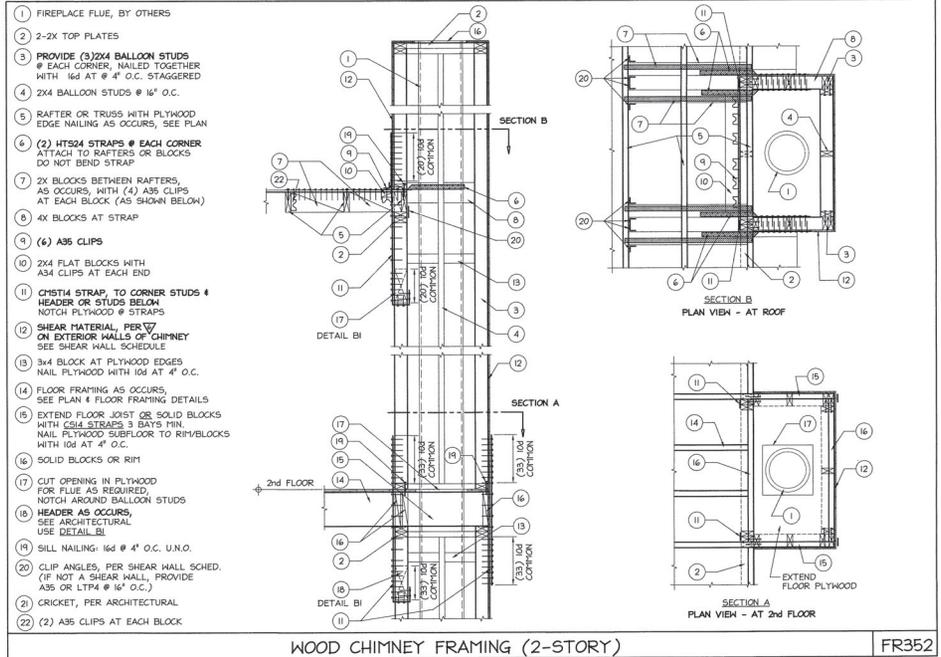
DATE: 12/7/2021  
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 SCALE: AS SHOWN  
 JOB #: 21-142

**UPPER ROOF FRAMING PLAN**

SHEET  
**S-3**



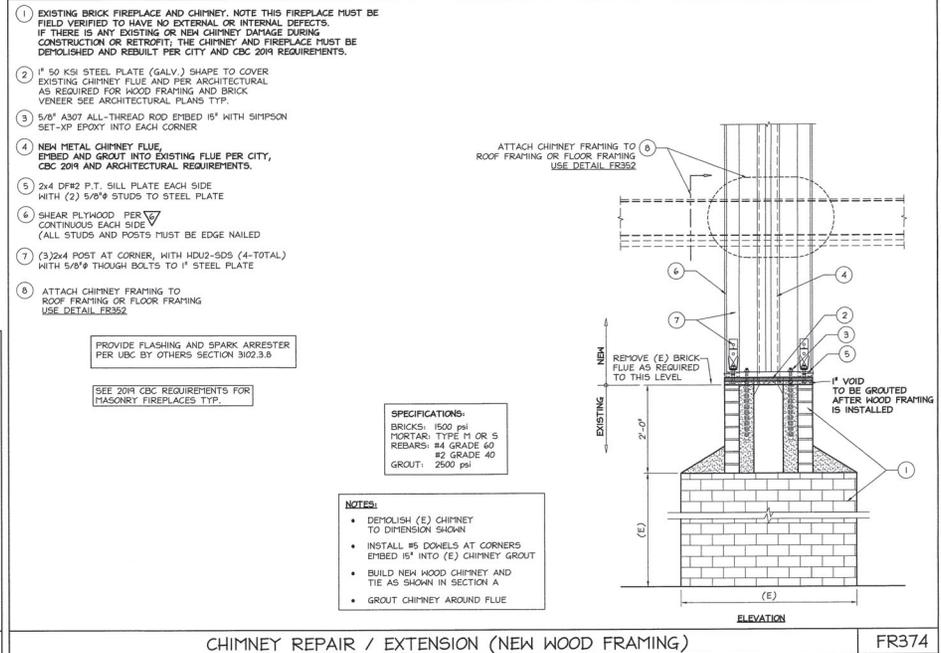




- 1 FIREPLACE FLUE, BY OTHERS
- 2 2-2X TOP PLATES
- 3 PROVIDE (3)2X4 BALLOON STUDS @ EACH CORNER, NAILED TOGETHER WITH 16d AT 4' O.C. STAGGERED
- 4 2X4 BALLOON STUDS @ 16" O.C.
- 5 RAFTER OR TRUSS WITH PLYWOOD EDGE NAILING AS OCCURS, SEE PLAN
- 6 (2) HTS24 STRAPS @ EACH CORNER ATTACH TO RAFTERS OR BLOCKS DO NOT BEND STRAP
- 7 2X BLOCKS BETWEEN RAFTERS, AS OCCURS, WITH (4) A35 CLIPS AT EACH BLOCK (AS SHOWN BELOW)
- 8 4X BLOCKS AT STRAP
- 9 (4) A35 CLIPS
- 10 2X4 FLAT BLOCKS WITH A34 CLIPS AT EACH END
- 11 CHS14 STRAP TO CORNER STUDS 4' HEADER OR STUDS BELOW NOTCH PLYWOOD @ STRAPS
- 12 SHEAR MATERIAL PER 7 ON EXTERIOR WALLS OF CHIMNEY SEE SHEAR WALL SCHEDULE
- 13 3/4" BLOCK AT PLYWOOD EDGES NAIL PLYWOOD WITH 10d AT 4' O.C.
- 14 FLOOR FRAMING AS OCCURS SEE PLAN 4 FLOOR FRAMING DETAILS
- 15 EXTEND FLOOR JOIST OR SOLID BLOCKS WITH CGM STRIPS 3 BATS PIN NAIL PLYWOOD SUBFLOOR TO RIM/BLOCKS WITH 10d AT 4' O.C.
- 16 SOLID BLOCKS OR RIM
- 17 CUT OPENING IN PLYWOOD FOR FLUE AS REQUIRED NOTCH AROUND BALLOON STUDS
- 18 HEADER AS OCCURS, SEE ARCHITECTURAL USE DETAIL B1
- 19 SILL NAILING: 16d @ 4' O.C. U.N.O.
- 20 CLIP ANGLES, PER SHEAR WALL SCHED. (IF NOT A SHEAR WALL, PROVIDE A35 OR LTP4 @ 16" O.C.)
- 21 CRICKET, PER ARCHITECTURAL
- 22 (2) A35 CLIPS AT EACH BLOCK

WOOD CHIMNEY FRAMING (2-STORY)

FR352



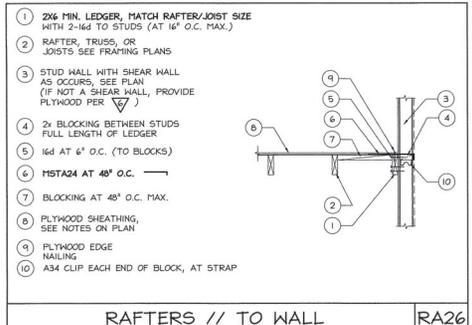
- 1 EXISTING BRICK FIREPLACE AND CHIMNEY. NOTE THIS FIREPLACE MUST BE FIELD VERIFIED TO HAVE NO EXTERNAL OR INTERNAL DEFECTS. IF THERE IS ANY EXISTING OR NEW CHIMNEY DAMAGE DURING CONSTRUCTION OR RETROFIT, THE CHIMNEY AND FIREPLACE MUST BE DEMOLISHED AND REBUILT PER CITY AND CBC 2019 REQUIREMENTS.
- 2 1" 50 KSI STEEL PLATE (GALV.) SHAPE TO COVER EXISTING CHIMNEY FLUE AND PER ARCHITECTURAL AS REQUIRED FOR WOOD FRAMING AND BRICK VENEER SEE ARCHITECTURAL PLANS TYP.
- 3 5/8" A307 ALL-THREAD ROD EMBED 15" WITH SIMPSON SET-XP EPOXY INTO EACH CORNER
- 4 NEW METAL CHIMNEY FLUE, EMBED AND GROUT INTO EXISTING FLUE PER CITY, CBC 2019 AND ARCHITECTURAL REQUIREMENTS.
- 5 2x4 DF#2 P.T. SILL PLATE EACH SIDE WITH (2) 5/8" STUDS TO STEEL PLATE
- 6 SHEAR PLYWOOD PER ARCHITECTURAL CONTINUOUS EACH SIDE (ALL STUDS AND POSTS MUST BE EDGE NAILED)
- 7 (3)2x4 POST AT CORNER, WITH HDU2-SDS (4-TOTAL) WITH 5/8" THROUGH BOLTS TO 1" STEEL PLATE
- 8 ATTACH CHIMNEY FRAMING TO ROOF FRAMING OR FLOOR FRAMING USE DETAIL FR352.

PROVIDE FLASHING AND SPARK ARRESTER PER UBC BY OTHERS SECTION 3102.3.B

SEE 2019 CBC REQUIREMENTS FOR MASONRY FIREPLACES TYP.

**SPECIFICATIONS:**  
 BRICKS: 500 psi  
 MORTAR: TYPE M OR S  
 REBARS: #4 GRADE 60  
 #2 GRADE 40  
 GROUT: 2500 psi

- NOTES:**
- DEMOLISH (E) CHIMNEY TO DIMENSION SHOWN
  - INSTALL #5 DOVELS AT CORNERS EMBED 15" INTO (E) CHIMNEY GROUT
  - BUILD NEW WOOD CHIMNEY AND TIE AS SHOWN IN SECTION A
  - GROUT CHIMNEY AROUND FLUE



- 1 2x6 MIN. LEDGER, MATCH RAFTER/JOIST SIZE WITH 2-16d TO STUDS (AT 16" O.C. MAX.)
- 2 RAFTER, TRUSS, OR JOISTS SEE FRAMING PLANS
- 3 STUD WALL WITH SHEAR WALL AS OCCURS, SEE PLAN (IF NOT A SHEAR WALL, PROVIDE PLYWOOD PER 7)
- 4 2x BLOCKING BETWEEN STUDS FULL LENGTH OF LEDGER
- 5 16d AT 6" O.C. (TO BLOCKS)
- 6 HST24 AT 48" O.C.
- 7 BLOCKING AT 48" O.C. MAX.
- 8 PLYWOOD SHEATHING, SEE NOTES ON PLAN
- 9 PLYWOOD EDGE NAILING
- 10 A34 CLIP EACH END OF BLOCK, AT STRAP

RAFTERS // TO WALL

RA26

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SANTA CLARA, CA

100% PROFESSIONAL LIABILITY INSURANCE  
100% WORKMANSHIP GUARANTEE  
100% SATISFACTION GUARANTEE

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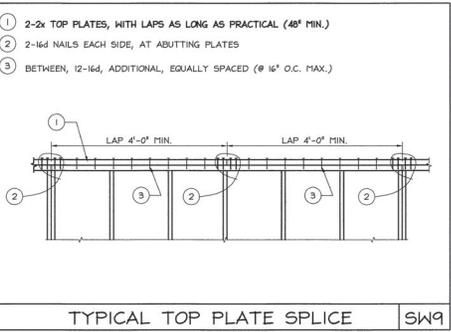
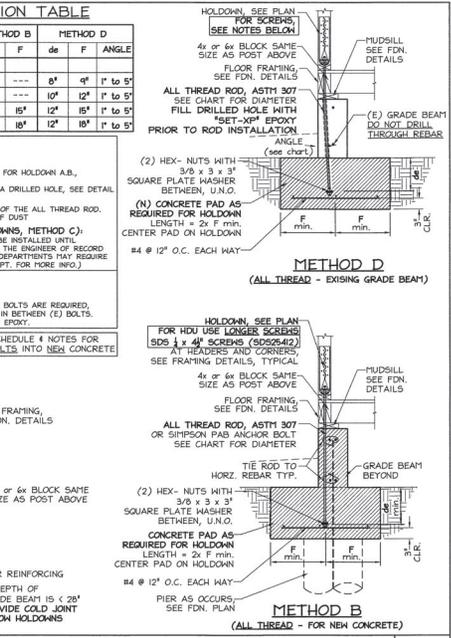
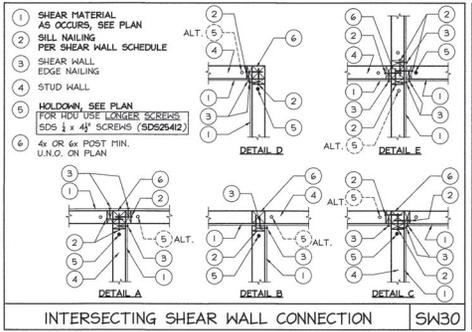
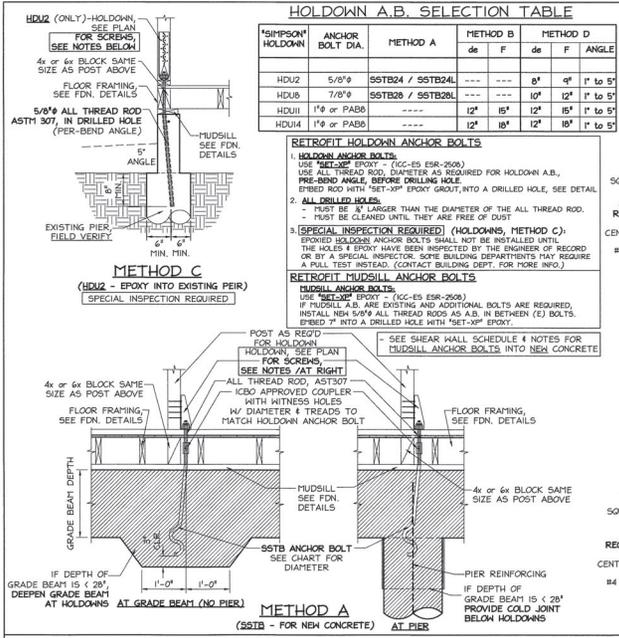
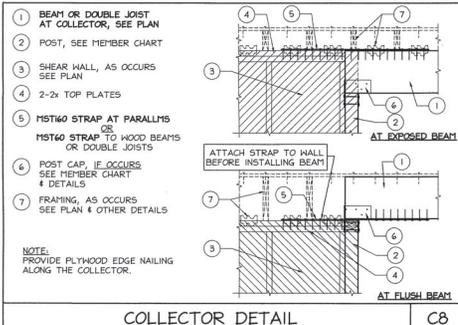
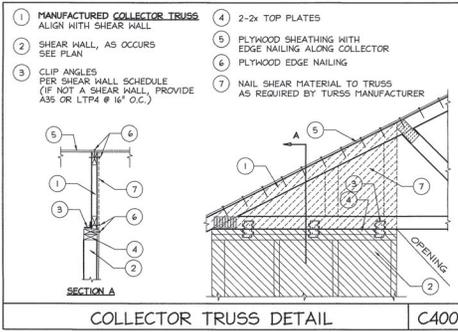
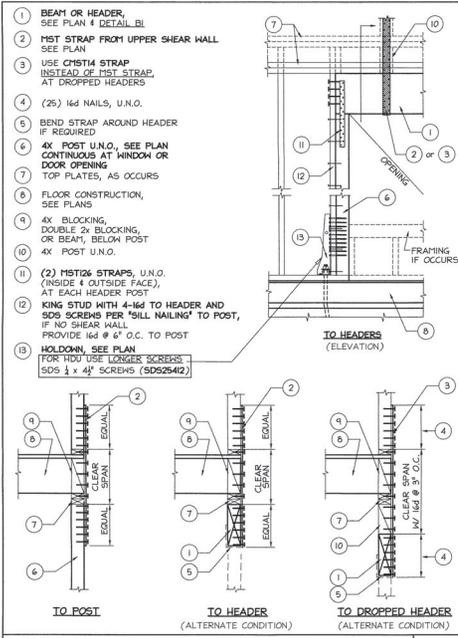
REVISIONS	
DATE	COMMENT

DATE: 12/17/2021  
 DRAWN: P.S.  
 SCALE: NONE  
 JOB #: 21-142

**WOOD FRAMING DETAILS**

SHEET  
**WD-2**

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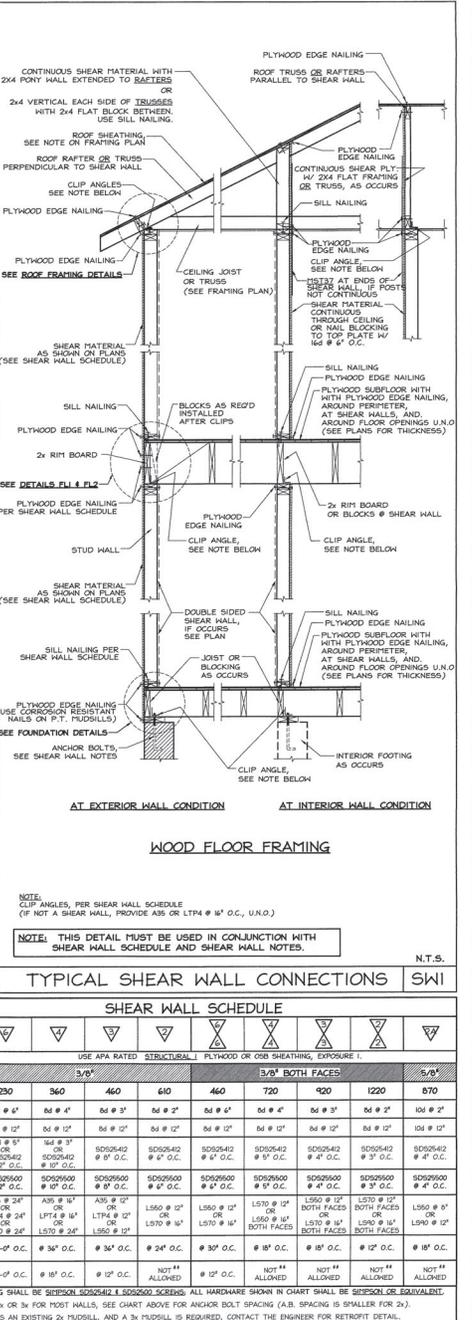
**SHEAR WALL SCHEDULE**

PLYWOOD THICKNESS	USE APA RATED STEEL/ALUMINUM PLYWOOD OR OSB SHEATHING, EXPOSURE 1.				3/8" BOTH FACES		5/8"
	230	360	460	610	460	720	920
ALLOWABLE SHEAR	230	360	460	610	460	720	920
PLYWOOD EDGE NAILING	8d @ 4"	8d @ 4"	8d @ 3"	8d @ 2"	8d @ 4"	8d @ 4"	8d @ 3"
INTERIOR FINISH	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"
SILL NAILING AT SUBFLOOR	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"
SILL NAILING AT 1" OR SUBFLOOR OR 2X DECKING	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"
CLIP ANGLES	AS3 @ 24"	AS3 @ 24"	AS3 @ 12"	AS3 @ 12"	AS3 @ 12"	AS3 @ 12"	AS3 @ 12"
CLIP ANGLES	LTR4 @ 24"	LTR4 @ 24"	LTR4 @ 12"	LTR4 @ 12"	LTR4 @ 12"	LTR4 @ 12"	LTR4 @ 12"
CLIP ANGLES	L570 @ 24"	L570 @ 24"	L570 @ 12"	L570 @ 12"	L570 @ 12"	L570 @ 12"	L570 @ 12"
3" MUDDILL WITH 5/8" ANCHOR BOLTS	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.
2" MUDDILL WITH 5/8" ANCHOR BOLTS	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.
3" MUDDILL WITH 5/8" ANCHOR BOLTS	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.
2" MUDDILL WITH 5/8" ANCHOR BOLTS	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.	8" @ 4" O.C.

SCREENS FOR SILL NAILING SHALL BE SIMPSON SDS242 L SDS250 SCREENS. ALL HARDWARE SHOWN IN CHART SHALL BE SIMPSON OR EQUIVALENT.

\* THE MUDDILL MAY BE 2X OR 3X FOR POST WALLS. SEE CHART ABOVE FOR ANCHOR BOLT SPACING (A.B. SPACING IS SMALLER FOR 2X).

\*\* IF THE SHEAR WALL HAS AN EXISTING 2X MUDDILL, AND A 3" MUDDILL IS REQUIRED, CONTACT THE ENGINEER FOR RETROFIT DETAIL.



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PROFESSIONAL SEAL  
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REVISIONS

DATE	COMMENT

LATERAL (SHEAR WALL) DETAILS

SHEET **LD-1**

DATE: 12/1/2021  
DRAWN: P.S.  
SCALE: NONE  
JOB #: 21-142

**460 Muriel Court Project Data**

<b>Lot Area: 11,019 sq. ft.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	1,714		1,714
<b>Second Floor</b>	721	478	1,199
<b>Garage</b>	521		521
<b>Gross Floor Area</b>	2,956		3,434
<b>Lot Coverage</b>	$2,235/11,019=20\%$		$2,235/11,019=20\%$
<b>F.A.R.</b>	$2,956/11,019=0.27$		$3,434/11,019=0.31$
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	$721/2,235=32\%$		$1,199/2,235=54\%$
<b>Bedrooms/Baths</b>	4 / 2.5		4 / 3.5
<b>Flood Zone</b>	X		X



## Agenda Report

22-876

Agenda Date: 7/6/2022

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Architectural Review of a multi-family development with up to 1,100 multi-family residential units, up to 2,000 square feet of amenity space and a 2.0-acre public park on a 13.3-acre site bounded by Freedom Circle to the west, Mission College Boulevard to the north, San Tomas Aquino Creek to the east and Highway 101 to the south (3905 Freedom Circle); APNs: 104-40-021 & 104-40-036

**File No.(s):** PLN2017-12516

**Location:** A 13.3 gross acre site bounded by Freedom Circle to the west, Mission College Boulevard to the north, San Tomas Aquino Creek to the east and Highway 101 to the south (3905 Freedom Circle); APNs: 104-40-021 & 104-40-036

#### **Owner/**

**Applicant:** Freedom Circle Venture LLC/Greystar Real Estate Partners

**Request:** Architectural Review of a multi-family development with up to 1,100 multi-family residential units, up to 2,000 square feet of amenity space and a 2.0-acre public park on a 13.3-acre site

#### Project Data

The Project Data Table is included as Attachment 3.

#### Points for consideration

- The proposed project's consistency with its recently approved General Plan land use designation and Planned Development rezoning for the project site.
- The conditions of approval, which include the additional conditions imposed by the City Council at the June 7, 2022 meeting approving the General Plan Amendment and Planned Development rezoning.
- A neighborhood notice was distributed within a 1,000-foot radius of the subject site for this project review, and was also published in the Santa Clara Weekly on June 22, 2022.

#### Findings

1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*

- The approved Planned Development rezoning requires one parking space for each studio and one-bedroom unit and two parking spaces for each two-bedroom and three-bedroom unit, consistent with current City of Santa Clara standards. As such, 1,379 parking spaces are required. The project provides 1,379 parking spaces.
- The Planned Development rezoning also requires one parking space per 200 square feet of retail/amenity space, or ten parking spaces for the 2,000 square foot amenity

space proposed. The plan proposes ten parking spaces for the amenity area.

- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The development emphasizes walkability and access to transit and existing bicycle facilities, including a direct connection to the San Tomas Aquino Creek Trail, which is the North-South spine of the City's active transportation network. The project will also provide Class IV protected bikeways along the project's Freedom Circle and Mission College Boulevard frontages.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The use, scale, and design of the development, as conditioned, is consistent with the General Plan and the adopted Freedom Circle Focus Area policies and are is compatible with existing and planned uses in the surrounding area.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
  - The project includes conditions to be consistent with bird-safe design principles.
  - The use, scale, and design of the development, as conditioned, is consistent with the General Plan and the adopted Freedom Circle Focus Area policies and are is compatible with existing and planned uses in the surrounding area.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
  - The proposed development provides for an attractive, appropriately scaled and functional site arrangement of buildings and a high quality architectural and landscape design.
  - The project also provides for proper access, visibility and identity within the Freedom Circle Focus Area and adds new affordable housing for low and very low-income households.

Conditions of Approval:

1. The Project Clearance Committee conditions of approval dated 8/3/2021 (File No. **PLN2017-12516**) and attached to this report, along with the additional conditions imposed by the City Council on June 7, 2022 form the extent of the conditions of approval on the project.
2. Permit Expiration. This Architectural Permit shall automatically be revoked and terminated if not used within two years of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer.

**ENVIRONMENTAL REVIEW**

An Environmental Impact Report (EIR) was prepared for the Freedom Circle Focus Area and Greystar General Plan Amendment in accordance with the California Environmental Quality Act (CEQA). The EIR and Notice of Availability were circulated for a 45-day period from November 5, 2021 to December 20, 2021 in accordance with CEQA requirements. The Freedom Circle Focus Area/Greystar General Plan Amendment EIR, case file PLN2017-12516, studied the subject project at a project level, and incorporates project-specific conditions into the Mitigation Monitoring and Reporting Program (MMRP).

**FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

**PUBLIC CONTACT**

On June 23, 2022, a notice of public hearing of this item was posted within 300 feet of the project site and mailed to property owners within 1,000 feet of the project site. As of the date of this report, Planning Staff has not received public comments for this application.

**RECOMMENDATION**

**Approve** the Architectural Review of a multi-family development with up to 1,100 multi-family residential units, up to 2,000 square feet of amenity space and a 2.0-acre public park on a 13.3-acre site.

Prepared by: John Davidson, Principal Planner, Community Development

Approved by: Lesley Xavier, Planning Manager, Community Department

**ATTACHMENTS**

1. Greystar Development Plans
2. Greystar Conditions of Approval
3. Project Data for the Greystar development permit

The Greystar Development Plans (File Number PLN2017-12516) are available here:

<https://www.santaclaraca.gov/home/showpublisheddocument/74140/637589208163570000>

**Project Data for the Greystar Development Permit (PLN2017-12516)**

**Lot Size:** 13.3 Acres  
**General Plan Designation:** Very High Density Residential (51-100 DU/AC)  
**Zoning District:** PD Planned Development Zoning

	<b>Existing</b>	<b>Proposed</b>
<b>Land Use</b>	vacant	Multi-family residential and
<b>Building Square Footage</b>	vacant	1.87 MM SF
<b>Residential Units</b>	vacant	1,075
<b>Parking</b>	--	1,413 spaces