

SITE PLAN NOTES

SITE PLAN NOTES

1. BUILDING ADDRESS SHALL BE VISIBLE FROM STREET. VERIFY STANDARD WITH CITY OF SANTA CLARA AND FIRE DEPARTMENT.
2. THIS DRAWING IS INTENDED TO PROVIDE INFORMATION DESCRIBING ARCHITECTURAL FEATURES ONLY.
3. ALL DOOR LANDINGS TO COMPLY WITH C.B.C. SECTION 1003.3.1.5, 1003.3.1.6 & 1003.3.1.7. SLOPE LANDING AWAY FROM DOOR AT 1/4" PER FOOT MINIMUM.

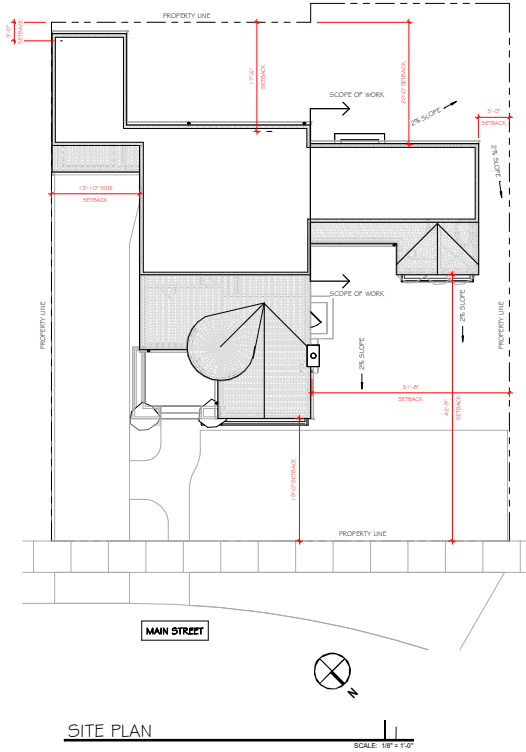
GENERAL NOTE

ALL PROPERTY LINE COORDINATES AND DIMENSIONS SHALL BE REFERENCED FROM AN OFFICIAL LAND SURVEYOR'S DRAWINGS. ANY DISCREPANCIES SHALL BE COORDINATED WITH SURVEYOR AND DESIGNER PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS REQUIRED DUE TO HIGHER FAILURE TO DO SO.

IN THE EVENT THAT THE CLIENT/PROPERTY OWNER DECIDES NOT TO HAVE AN OFFICIAL LAND SURVEY PERFORMED FOR THIS PROJECT, THE DESIGNER SHALL DO HIS BEST DUE DILIGENCE TO ESTIMATE PROPERTY LINE COORDINATES AND DIMENSIONS.

THIS SHALL NOT BE CONSIDERED AN OFFICIAL DOCUMENTATION OF THE LOCATION OF SAID PROPERTY LINES. THE DESIGNER SHALL NOT BE HELD LIABLE FOR DISCREPANCIES IN PROPERTY LINE LOCATION AND DIMENSIONS.

THERE ARE NOT ENCLOSURES ON SITE.



SITE PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

THESE PLANS ARE THE PROPERTY OF MR. & MRS. FUNG. ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF CIVIL DESIGNER OR ENGINEER WHOSE SIGNATURE APPEARS HEREON.

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE, AS ADOPTED BY THE CITY OF SANTA CLARA, CALIFORNIA AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. IF DISCREPANCIES ARE FOUND, CIVIL DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION BEFORE COMMENCING WORK.
3. ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE MAJOR UNIT, CENTRINE OF COLUMNS AND BEAMS, OR FACE OF SLOPE, UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB OR TOP OF INTERIOR FINISH UNLESS OTHERWISE NOTED.
4. THE CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH INSTALLATION OF CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE ARCHITECTS AND THE CONSULTING ENGINEERS DRAWINGS AND SPECIFICATIONS THAT WOULD CAUSE A CONFLICT, IT SHALL BE BROUGHT TO CIVIL DESIGNER ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN RISK AND AT NO ADDITIONAL CHARGE TO THE OWNER OR CIVIL DESIGNER.
5. ALL SYMBOLS AND ABBREVIATIONS USED ON THE PLANS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR CORRECT MEANING, CIVIL DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.
6. DETAILS MARKED SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
7. ALL RUBBER AND DEBRIS RESULTING FROM DEMOLITION AND/OR NEW WORK SHALL BE RECYCLED AND/OR DISPOSED OF OFF-SITE AND SHALL NOT BE ALLOWED TO ACCUMULATE. MUST CONFORM TO THE CALIFORNIA SOLID WASTE DIVISION PLAN.
8. OPENED SLOPE WHERE REQUIRED SO THAT FINISH WALL SURFACE WILL BE FLUSH. IF STRUCTURAL PANELS ARE REQUIRED ON A WALL PLANE, THE ENTIRE WALL PLANE SHALL BE FLUSH OR FINISHED FLUSH. WHERE PLYWOOD SHEATHING IS APPLIED, TWO LAYERS OF GRADE B BUILDING PAPER IS REQUIRED PER C.B.C. 2304.4.
9. INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES. INSTALL CAPPING BEADS WHEREVER WALLBOARD, PLASTER, ETC. MEETS A DISPARATE FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CARPENTRY, STEEL BEAMS, TRUSS ACCESSORIES, PARTITIONS, AND OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, OR HVAC EQUIPMENT.
11. ALL GLAZING SHALL COMPLY WITH C.B.C. 16 C.F.R. AND C.B.C.
12. CONTACT BETWEEN DISPARATE METALS SHALL BE PROTECTED.
13. DOOR SIZES SHOWN ON PLAN ARE OPENING SIZES. ALLOWANCE FOR THRESHOLDS, ETC., SHALL BE TAKEN OFF THE DOOR.
14. DOORS AND FRAMES SHALL BE REINFORCED WHERE REQUIRED FOR GLAZING, STOPS, AND HANDRAILS.
15. PRELIMINARY AND DRAFTSMAN'S SHALL BE PROVIDED THROUGHOUT AS REQUIRED PER C.B.C. SECTION 706. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PIPES AND RIGS AS WELL AS POWER OR WATER AND DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO OWNER.
16. AIR LEAKAGE AT EXTERIOR DOORS SHALL BE LIMITED BY THE FOLLOWING:
  - A. ALL DOORS SHALL BE PROVIDED WITH A SEAL, AS STRAP, OR BATTLE AT THE HEAD AND TAIL.
  - B. DOORS MOUNTED ON CYLINDERS THE INSIDE OR OUTSIDE OF AN EXTERIOR WALL SHALL HAVE A MINIMUM 1/2" LAP AT EACH JAMB.
  - C. DOORS REQUIRING VERTICAL TRACK OR GLIDES SHALL USE A CONTINUOUS MOUNTING ANGLE, SEALED IN ACCORDANCE WITH LISTED HERE.
  - D. DOORS MOUNTED BETWEEN THE JAMBS SHALL HAVE A CONTINUOUS SEAL OR BATTLE AT EACH JAMB.
  - E. MEETING RAILS OR SECTION DOORS AND MEETING STILES OR RAILS OR BATTLE DOORS SHALL BE PROVIDED WITH A SEAL, AS STRAP, OR BATTLE.
  - F. SWINGING AND REVOLVING DOORS SHALL BE WEATHERSTRIPPED AT THE HEAD, TAIL, AND JAMBS.
  - G. OPEN EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL AND FOUNDATIONS, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
17. NO TREES OR DECIDUOUS IF OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, UNLESS THE NECESSARY PERMIT IS OBTAINED FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.
18. GLASS DOORS, ADJACENT PANELS AND ALL GLAZED OPENINGS SHALL BE APPROVED FOR IMPACT HAZARD PER C.B.C. SECTION 2404.2.
19. INSTALLATION OF SHORING, UNDERPINNING, AND/OR SLIT CUTTING EXCAVATIONS SHALL BE PERFORMED UNDER THE CONTINUOUS INSPECTION AND APPROVAL OF THE FOUNDATION ENGINEER.
20. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
21. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY REGULATIONS, DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DRAINAGE ALL CONDITIONS PRIOR TO SUBMITTING BASE OR FINISH CONSTRUCTION. PROPOSALS MUST TAKE INTO CONSIDERATION ALL CONDITIONS THAT MAY AFFECT THE WORK. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO CIVIL DESIGNER AND TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTIONS WILL BE SUBMITTED BY CIVIL DESIGNER PRIOR TO INSTALLATION OF ANY WORK. CONTRACTORS SHALL PROVIDE AND INSTALL ALL FACE OF CONCRETE, REINFORCING BARS FOR MECHANICAL AND ELECTRICAL EQUIPMENT, AS REQUIRED.
22. ALL EXTERIOR WALL BOARD REQUIRED FOR SPECIFIC WALL CONSTRUCTION AND SHALL BE WALDO OR SCREWED TO ALL FRAMING MEMBERS INCLUDING TOP AND BOTTOM PLATES AS REQUIRED FOR EACH SPECIFIC ASSEMBLY.
23. PROVIDE TYPED GLASS AS REQUIRED BY C.B.C. SECTION 2404.2 AND BY OTHER APPLICABLE CODES.
24. MECHANICAL VENTILATION FOR TOILET COMPARTMENTS, BATHROOMS, AND LAUNDRY ROOMS SHALL BE CAPABLE OF PROVIDING 15 CFM PER SQUARE FOOT OF FLOOR AREA.
25. WHERE GARAGE DOORS WITH SPRINGS OCCUR, THE FOLLOWING SHALL APPLY: SPRINGS SHALL BE PERMANENTLY IDENTIFIED, AND INDICATE THE MAXIMUM ALLOWABLE STRETCH BOTH IN THE DRAWINGS AND IN THE FIELD. THE CONTRACTOR SHALL PROVIDE INFORMATION STATING THAT THEY HAVE BEEN MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY.
26. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED, INCLUDING POSTS AND STAIR STRINGERS.
27. STRINGERS SHALL BE MINIMUM 10" DEEP AND 12" WIDE. ALL WOOD SHALL BE PRESURE TREATED UNLESS NOT ADVISORILY AFFECTED BY MOISTURE PER C.B.C. SECTION 807.1.3 AND 29.12. SEE PLANS FOR ACTUAL HEIGHTS.
28. LIGHTING FIXTURES SHALL BE A MINIMUM OF 18" FROM THE WALLS.
29. ALL WATER HEATERS SHALL BE PROVIDED WITH SEISMIC STRAPS, UMC 304.4.
30. PROVIDE FLUORESCENT LIGHTING FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS PER 1-24 RCOT'S. AND UTILITY PLANS.
31. COMMUNITY ASSOCIATION ADVISORY: ISSUANCE OF A CITY BUILDING PERMIT DOES NOT RELIEVE THE APPLICATION OF THE LOCAL REQUIREMENT TO OBTAIN COMMUNITY ASSOCIATION APPROVAL OF THE PLANS.
32. SEPARATE REVIEW AN APPROVAL OF THIS PROJECT MAY BE REQUIRED BY YOUR COMMUNITY ASSOCIATION. CONTACT YOUR COMMUNITY ASSOCIATION FOR REQUIREMENTS.

NOTE:

ALL PROPERTY LINES SHOWN HEREON ARE BASED ON RECORDS MAPS NO BOUNDARY SURVEY WAS PERFORMED AT THIS TIME.

PROJECT SHALL COMPLY WITH SECTION 5.0-5.17 OF UNIFORM SECURITY CODE, TO ENSURE ALL PARTIES ARE AWARE OF THE SECURITY CODE. ONE SHOULD BECOME FAMILIAR WITH ENTIRE CODE. HOWEVER, THESE SECTIONS ARE SPECIFIC REFERENCE BUILDING CONSTRUCTION THE SECURITY CODE DOES NOT SUPERSEDE THE UBC, LFC OR TITLE 18 REGARDING LIFE SAFETY REQUIREMENTS.

ARCHITECTURAL

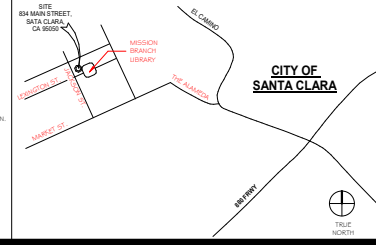
- A-0 COVER SHEET
- A-1 EXISTING FLOOR PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 PROPOSED ROOF PLAN
- A-4 EXISTING EXTERIOR ELEVATIONS
- A-5 PROPOSED EXTERIOR ELEVATIONS

STORMWATER NOTES

STORMWATER POLLUTION PREVENTION NOTES:

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY DROPPED CONTROL PLAN ASSOCIATE WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

1. SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE BY SURFACE FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.
3. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS.
4. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.
5. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONTAMINATED WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.
6. TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSED BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACED FROM THE SITE BY VEHICULAR TRAFFIC. WIND-ERODIBLE DEPOSITS SHALL BE SHIELDED IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOIL OR REMOVED VEGETATION SHALL BE STABILIZED TO PREVENT EROSION BY WIND AND WATER.
9. STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.



PROJECT INFO.

PROJECT ADDRESS

834 MAIN STREET, SANTA CLARA, CA 95050

PROJECT NAME

ANDREW & BECCA FUNG RESIDENCE

PROJECT SCOPE

THE PROJECT INVOLVES REMODELING AN EXISTING SINGLE-FAMILY HOUSE BY ADDING A 463-SQUARE-FOOT EXTENSION, WHICH WILL INCLUDE A NEW MASTER BEDROOM, A FULL-BATH BATHROOM, AND A WALK-IN CLOSET. THE EXTERIOR FINISH MATERIALS WILL HARMONIZE WITH THE EXISTING BUILDING, USING SUBTLY VARYING TONES FOR DIFFERENTIATION. POSITIONED AT THE BACK RIGHT SIDE OF THE PROPERTY, THE NEW ADDITION IS DESIGNED TO MINIMIZE ITS IMPACT ON THE NEIGHBORHOOD. THE NEW ROOF TILES WILL NATURALLY DIFFER FROM THE EXISTING ONES AT THE FRONT DUE TO WEAR, AND THE PROPOSED STUCCO WILL FEATURE A SUBTLE COLOR WASH VARIATION TO DISTINGUISH IT FROM THE ORIGINAL STRUCTURE.

THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.

EXISTING USE

RESIDENTIAL

NO. OF STORIES

1.5

CLIENT NAME

MR. ANDREW FUNG & MRS. BECCA FUNG

PROPOSED USE OF BUILDING

RESIDENTIAL

OVERALL HEIGHT

15'-0"

MINIMUM HEIGHT ALLOWED

15'-0"

LEGAL DESCRIPTION

THIS PROJECT (HEREIN BELOW) IS SITUATED IN THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

APN 263-28-062

OCCUPANCY:

RS 1

PLANNING & BUILDING DEPARTMENT

CITY OF SANTA CLARA

701 N. WEDDING ST., EAST WING, 7TH FLOOR

SAN JOSE, CA 95110

BUILDING CODE

THIS PROJECT SHALL COMPLY WITH THE 2022 CBC & CBC, CMC, CPC AND CCC AS AMENDED BY CITY ORDINANCE AND THE 2023 TITLE 24 ENERGY REGULATIONS.

OCCUPANCY SEPARATIONS

ONE-HOUR OCCUPANCY SEPARATIONS REQ. AT ALL HOUSE

TO GARAGE CONSTRUCTION

LOT SIZE

5,634 SF

LOT COVER / FLOOR AREA CALCULATION

EXISTING LOT COVER: 1,230 SF NEW ADDITION 463 SF - 1,793 SF

COMMON LIVING AREA CALCULATIONS:

ADU =

156 SF

MAIN HOUSE =

794 SF

NEW ADDITION =

463 SF

TOTAL OF

1,230 SF

OWNER

MR. ANDREW FUNG & MRS. BECCA FUNG

834 MAIN STREET, SANTA CLARA, CA 95050

Cell: 408.650.7913

CONSTRUCTION DOCUMENTS

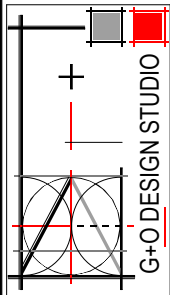
GERMAN & VILLARRAGA

314 N. FLORENCE MISSION VIEJO, CA 95039

(Project Director)

Office 951.858.1472

STRUCTURAL ENGINEER



34 VIA FLORENCE  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

Signature of Andrew & Becca Fung

ANDREW & BECCA FUNG RESIDENCE

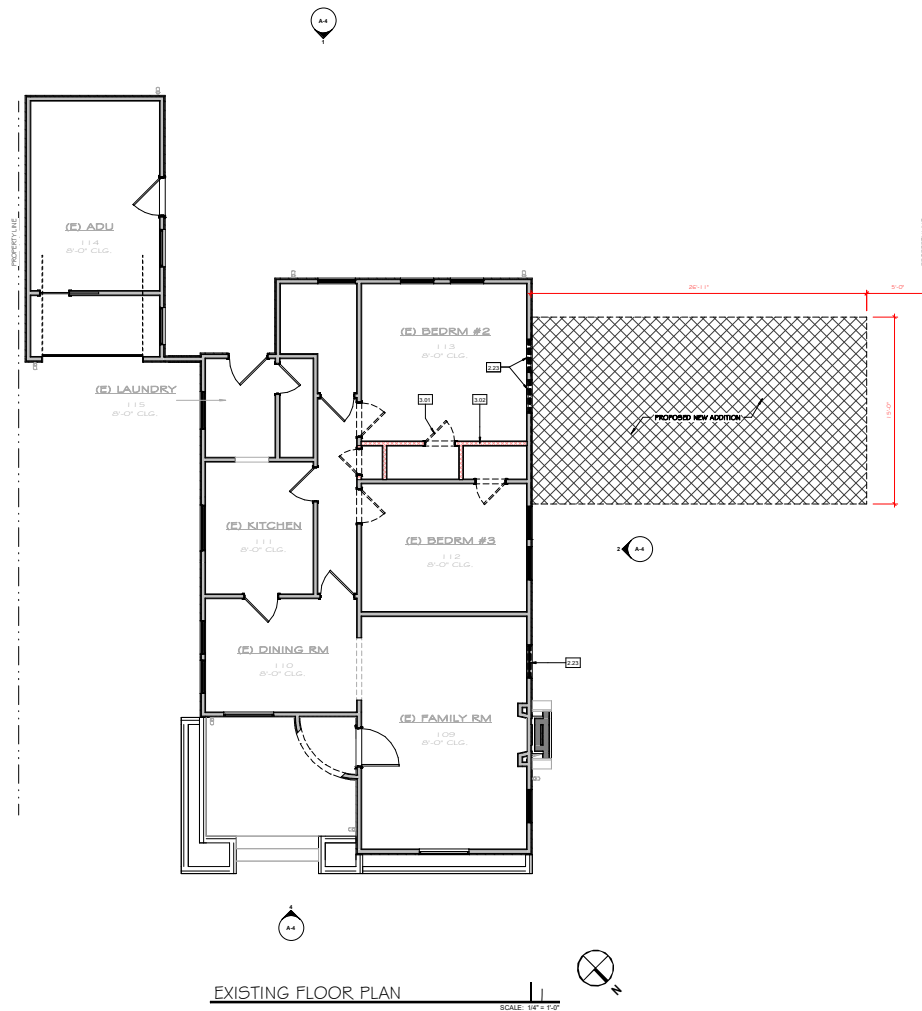
834 MAIN STREET, SANTA CLARA

CA. 95050

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SHEET TITLE  
COVER SHEET

SHEET NUMBER  
A-0



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

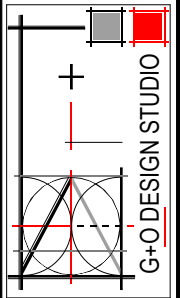
# WALL LEGEND

- (E) 2X4 INTERIOR WALL TO BE DEMO
- (E) 2X INTERIOR WALL TO REMAIN
- (E) 2X EXTERIOR WALL TO REMAIN
- (N) 2X EXTERIOR WALL
- (N) 2X FURRED WALL

## KEYNOTES

- THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- EXISTING INTERIOR DOOR TO BE DEMO
- EXISTING INTERIOR WALL TO BE DEMO

## EXISTING IMAGES



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SATE CLARA  
CA. 95050

## REVISION

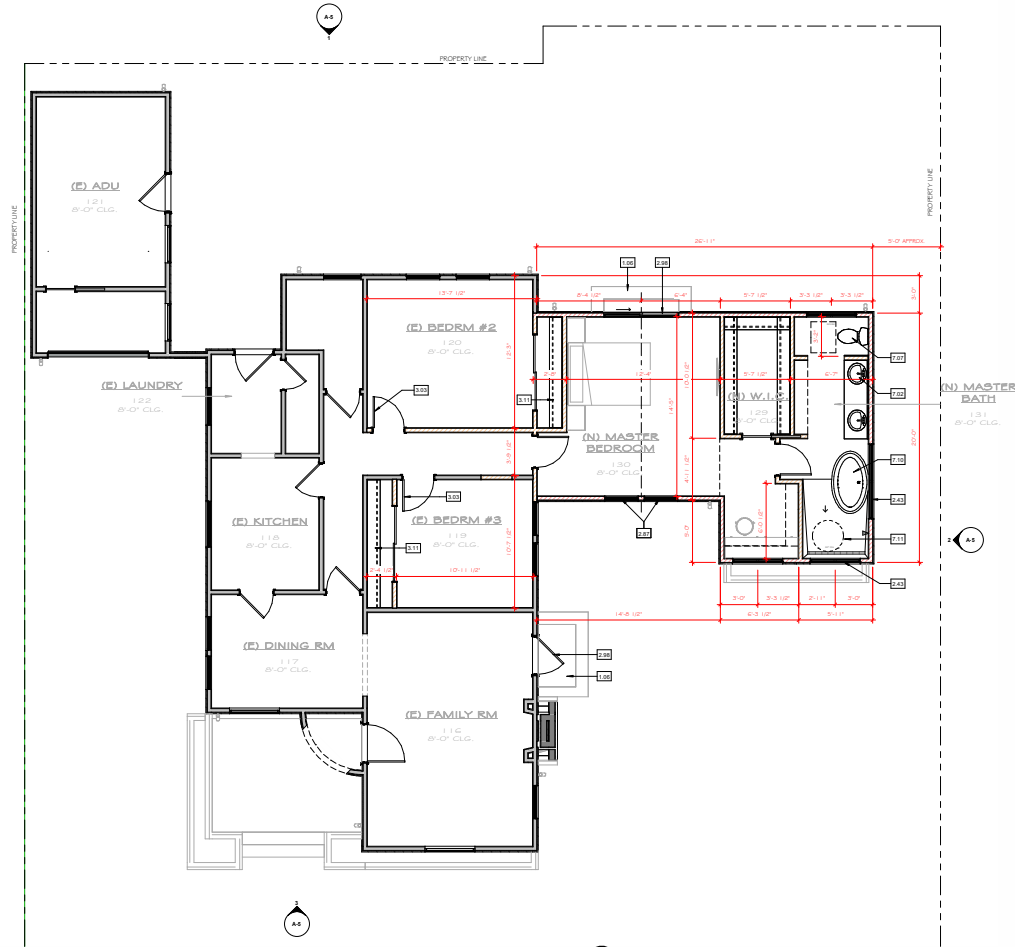
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SHEET TITLE  
EXISTING FLOOR PLAN

SHEET NUMBER

A-1

28 10  
55-2024  
JUL 10 2024  
1/4" = 1'-0"



### KEYNOTES

- 1.06 PROPOSED CONCRETE LANDING - SLOPE 1/4"=1'2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TEXTURE MATERIAL BY BUILDOR.
- 2.43 PROPOSED NEW ALUMINUM-GLAD WOOD WINDOWS, ALUMINUM COLOR. INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.67 PROPOSED NEW WOOD FLUNG WINDOWS.
- 2.86 PROPOSED NEW ALUMINUM-GLAD WOOD DOOR WITH TEMPERED GLASS, ALUMINUM COLOR.
- 3.03 PROPOSED NEW INTERIOR DOOR TO MATCH EXISTING SHELF AND 1 HANGING POLE.
- 7.02 UNDERMOUNT LAVATORY SINK.
- 7.07 ELONGATED WATER CLOSET WITH 30" MIN. CLEAR WIDTH AND 24" MIN. CLEAR SPACE IN FRONT.
- 7.10 PRESTANDING TUB.
- 7.11 CUSTOM-BUILT SHOWER, HOT-MOTTED SHOWER PAN AND TILED TO 90" MIN. ATT. SHOWER HEAD AT +9'0" ATT.

### FLOOR PLAN LEGEND

- DOOR TAG  
WINDOW TAG  
SOFFIT TAG  
WALL TAG  
KEYNOTE TAG  
EGRESS WINDOW  
TEMPERED GLASS
- Room name  
101  
9'-0" CLG. FLAT  
Finish
- ROOM NAME  
ROOM NUMBER  
CEILING HEIGHT  
FLOOR FINISH
- DROPPED CEILING  
HATCH
- CS: CASEMENT WINDOW TYPE  
FX: FIXED WINDOW TYPE  
SLDR: SLIDER WINDOW TYPE  
AW: AWNING WINDOW TYPE
- NOTE: DIMENSIONS ARE TO FACE OF FRAMING U.N.D.

### WALL LEGEND

- (E) 2X4 INTERIOR WALL TO BE DEMO  
(E) 2X INTERIOR WALL TO REMAIN  
(E) 2X EXTERIOR WALL TO REMAIN  
(N) 2X EXTERIOR WALL  
(N) 2X FURRED WALL

### FLOOR PLAN NOTES

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD, FACE MASONRY, UNLESS NOTED OTHERWISE.
  2. ANY DISCREPANCY FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF G+O DESIGN STUDIO PRIOR TO ANY CONSTRUCTION.
  3. SLOTTED, DROPPED CEILING 4 INCHES ARE INDICATED WITH HATCHING ON THE PLANS.
  4. ALL EXTERIOR FINISHING AND SITE ELEMENTS ARE FOR REFERENCE ONLY. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
  5. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY. REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
  6. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY.
  7. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN AND DETAILS.
  8. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.
  9. ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MFPS RECOMMENDATIONS.
  10. FLOOR COVERING MATERIALS SHALL COMPLY WITH ASTM F 648, AND SMOKE DENSITY RATING OF LESS THAN 450 PER EGES.
  11. MINIMUM FOUR AND ONE-HALF INCH (4 1/2") JAMB ON HINGE SIDE, UNLESS NOTED OTHERWISE.
  12. PROVIDE THE FOLLOWING AT EGRESS WINDOWS:  
5'7 1/2" TT OF CLEAR OPENABLE AREA, NET OPENABLE HEIGHT SHALL BE 24" MIN. NET OPENABLE WIDTH SHALL BE 20" MIN. BOTTOM OF CLEAR OPENING SHALL BE A MAX HEIGHT OF 4'4" MIN.
  13. WINDOWDOORS TO HAVE LABEL INDICATING U-VALUE AND SHGC PER 2.4.
  14. BATHROOM AND SHOWER FLOORS, AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF AT LEAST 6 FEET ABOVE THE FLOOR. (IRC K307.2)
- AT ROLLIN SHOWERS PROVIDE FULL EXTENT WATER PROOFING IN THE ENTIRE BATHROOM.



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SARA CLARA  
CA. 95050

REVISION  
DATE  
DATE

SHEET TITLE  
PROPOSED FLOOR PLAN

SHEET NUMBER  
A-2

34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

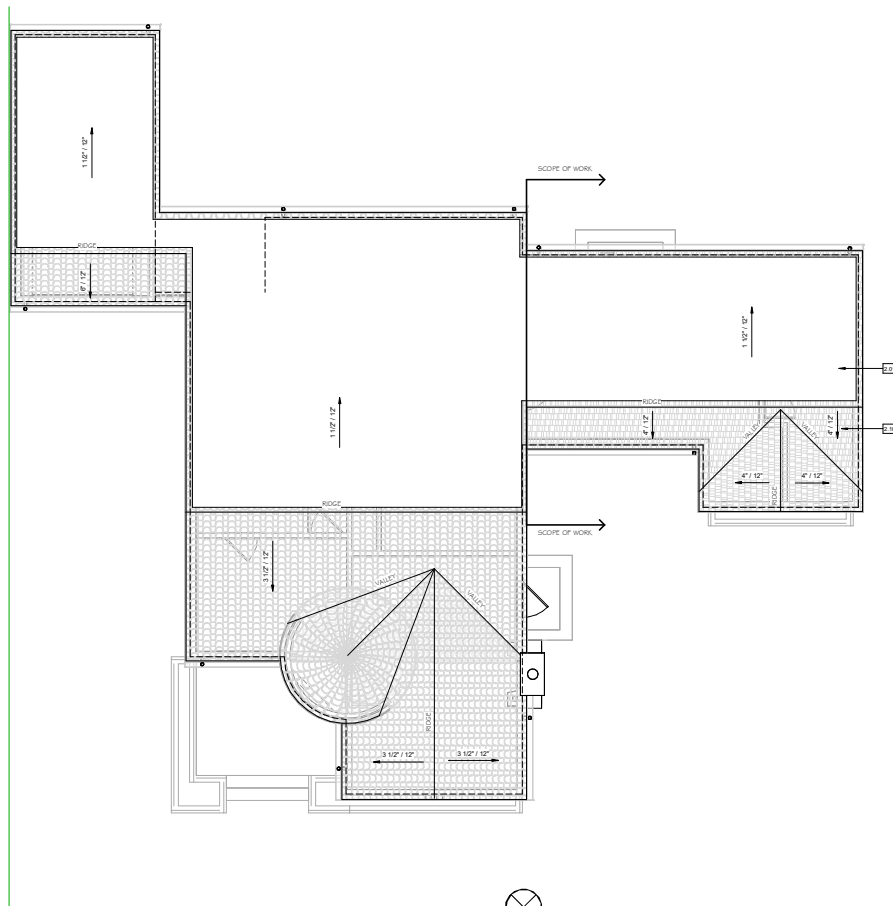
ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SARA CLARA  
CA. 95050

REVISION  
DATE  
DATE

SHEET TITLE  
PROPOSED FLOOR PLAN

SHEET NUMBER  
A-2

PLANNING SUBMITTAL SET 08/22/2025



PROPOSED ROOF PLAN



SCALE: 1/8" = 1'-0"

Area Schedule (Roof Area)

| Name | Area | Calculation Ratio | R# of Ventilation Required | Roof Vent | SQ. Inches Per Vent | # of Vents | R# of Ventilation Provided |
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ROOF LEGEND

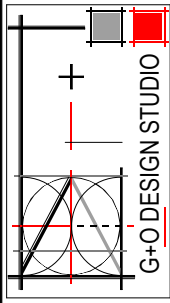
- WALL TAG
- KEYNOTE TAG
- CLOAKED ROOF VENT
- ROOF PITCH SYMBOL:
  - ARROW POINTS DOWNSLOPE
  - FIRST NUMBER IS VERTICAL RISE
  - SECOND NUMBER IS HORIZONTAL RUN
- LINE OF EXTERIOR FACE OF FRAMING / STRUCTURE BELOW
- METAL FLASHING
- METAL SADDLE AND CRICKET FLASHING
- TYPICAL DOWNSPOUT AND GUTTER, COORDINATE CONNECTION TO STORM DRAINAGE SYSTEM. REFER TO CIVIL DWGS.
- SPOT ELEVATION



KEYNOTES

- PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- PROPOSED NEW ROOF: 1/2" BROWN GRAY RANGE, GOLDEN EAGLE PROFILE, BY EAGLE ROOFING. INSTALLED PER MANUFACTURER SPECS.

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MISSION VIEJO, CA 92692

SEAL-SIGNATURE

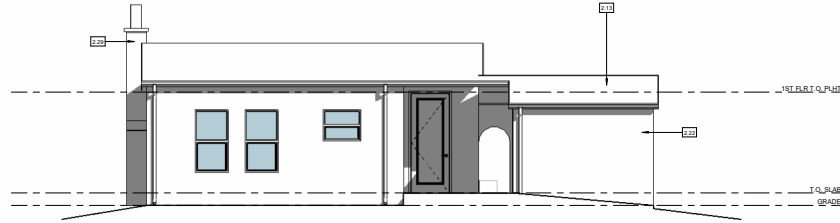
ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SATE CLARA

CA. 95050

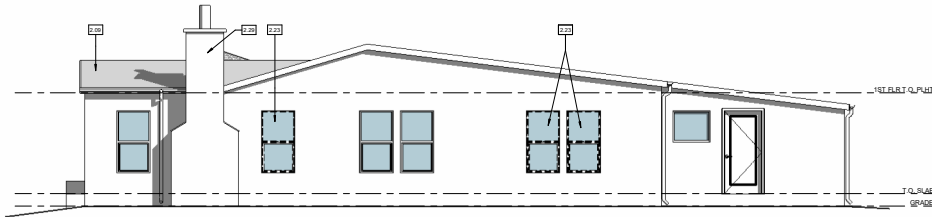
| REVISION |      |
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| DATE     | DATE |
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|                    |  |
|--------------------|--|
| SHEET TITLE        |  |
| PROPOSED ROOF PLAN |  |
| SHEET NUMBER       |  |
| A-3                |  |
| 28.10.2024         |  |
| JUL 16/2024        |  |
| 1/4" = 1'-0"       |  |



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



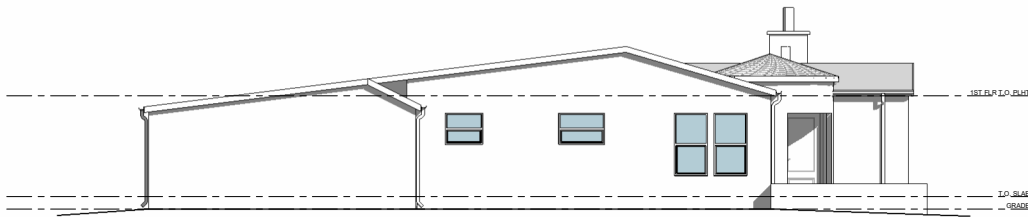
EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

## EXTERIOR ELEVATION NOTES

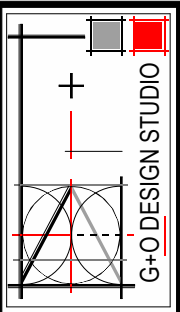
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2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
5. ALL EXTERIOR FINISH AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
9. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

## KEYNOTES

- 2.04 EXISTING GARAGE DOOR
- 2.09 EXISTING ROOF BY CLAY TILE TO REMAIN
- 2.13 EXISTING GUTTER ROOF SYSTEM TO REMAIN
- 2.22 EXISTING WALL WITH STUCCO TO REMAIN
- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 2.29 EXISTING FIREPLACE TO REMAIN

## ELEVATION LEGEND

1.01 KEYNOTE TAG



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

834 MAIN STREET, SANTA CLARA

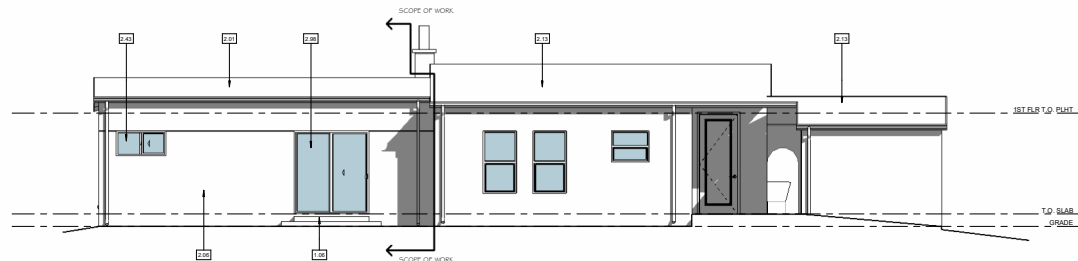
CA. 95050

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| DATE     | DATE |
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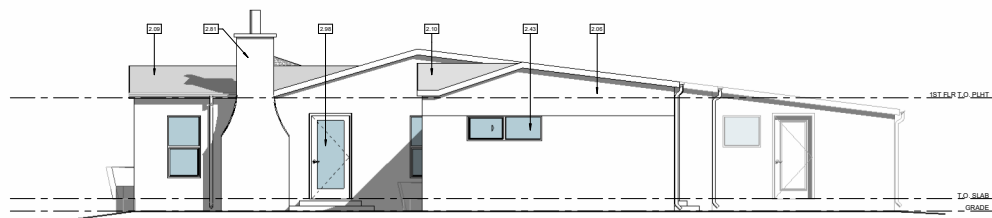
SHEET TITLE  
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER  
A-4

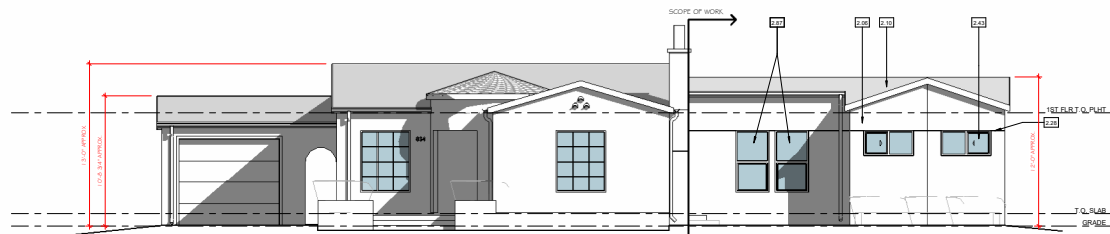
28th  
5-23-2024  
JUL 16, 2024  
5:00 PM  
As indicated



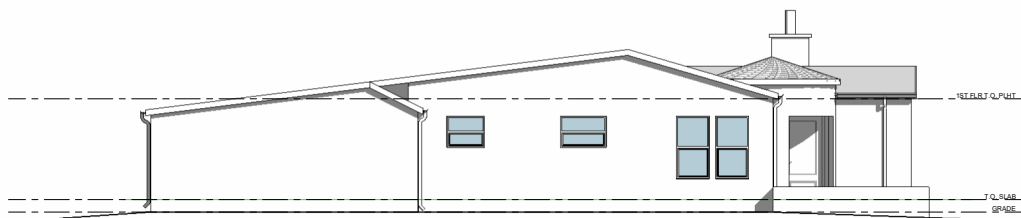
PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

## EXTERIOR ELEVATION NOTES

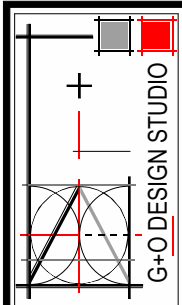
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## KEYNOTES

- 1.06. PROPOSED CONCRETE LANDING - SLOPE 1/4"=1'2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TYPICAL MATERIAL BY BUILDER.
- 2.01. PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- 2.06. PROPOSED NEW EXTERIOR WALL WILL FEATURE A STUCCO FINISH WITH A COLOR AND FINISH MATCH DESIGNED TO DISTANCE VARIATION AND DISTINGUISH IT FROM THE ORIGINAL STRUCTURE.
- 2.09. EXISTING ROOF-W/CLAY TILE TO REMAIN.
- 2.10. PROPOSED NEW ROOF - 1/2" BROWN GRAY RANGE, GOLDEN EAGLE PROFILE BY SHAGG ROOFING INSTALLED PER MANUFACTURER SPECS.
- 2.13. EXISTING BUILT-UP ROOF SYSTEM TO REMAIN.
- 2.28. STUCCO CONTROL JOINT.
- 2.43. PROPOSED NEW ALUMINUM CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.81. EXISTING BRICK FIREPLACE TO REMAIN.
- 2.87. PROPOSED NEW WOOD HUNG WINDOWS.
- 2.96. PROPOSED NEW ALUMINUM CLAD WOOD DOOR WITH TYPICAL GLASS, ALUMINUM COLOR.

## ELEVATION LEGEND

1.01 KEYNOTE TAG



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| REVISION |      |
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SHEET TITLE  
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER  
A-5

28.01  
5.3.2024  
JUL 10, 2024  
500  
As indicated