

[illegible]

1. ALL CODES IN SECTION AND INSULATION SHALL COMPLY WITH THE FOLLOWING CODES:
2016 TITLE 24 & CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA FIRE CODE (FC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ENERGY CODE (CEC)
2016 CALIFORNIA FIRE ALARMING STANDARDS
2016 CALIFORNIA FIRE CODE

2. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DIMENSIONS OF THE BUILDING AND SITE. DIMENSIONS SHALL BE TO THE ATTENTION OF THE ARCHITECT, AND OWNER BEFORE PROCEEDING WITH CONSTRUCTION.
3. DO NOT SCALE DIMENSIONS. WRITTEN DIMENSION GROUND, DIMENSIONS ARE TO FACE OR FINISH UNLESS OTHERWISE NOTED.
4. DETAILS SHOWING ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FOR AND OBTAINING ALL INSPECTIONS REQUIRED TO CONFORM WITH THE FIRE AND BUILDING CODES.
6. ALL CHANGES IN LOR MATERIALS, COMPARTMENTATION OF DOORS OR PLANO PARTITIONS, ETC., SHALL BE APPROVED BY THE ARCHITECT.
7. INITIAL ALL FIXTURES, EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED LISTING AGENCY.
8. ALL CHANGES, VENTS, CHANGES, SCHEDULES, OR OTHERS BEFORE OPERATING OR INSTALLATION OF ANY TYPE OF WORK SHALL BE APPROVED BY THE ARCHITECT.
9. IT IS THE DUTY OF THESE DRAWINGS TO DISCLOSE THE CODES OR ORDINANCES FOR A SPECIFIC ELECTRICAL INSTALLATION. CONTRACTOR TO PROVIDE NECESSARY LABOR FAILURE WITH THE TYPE OF CONSTRUCTION AND WILL ALSO BE RESPONSIBLE TO VERIFY AN INFORMATION WHICH IS NOT INDICATED IN THESE DRAWINGS BUT IS REQUIRED FOR THE PERFORMANCE OF THIS INSTALLATION.

61. If resolution of an existing public facility becomes necessary due to a conflict with the developer's improvement, then the cost of said relocation shall be borne by the developer.
62. Comply with applicable codes, regulations, and ordinances.

ATTORNEY'S OFFICE

A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives harmless from and against any and all claims, losses, damages, or expenses (including reasonable attorneys' fees) that may be asserted against or incurred by the City or its representative which is filed by a third party against the City by reason of its approval of developer's proposal.

[illegible]

PROJECT CONSISTS OF RENOVATION OF EXISTING TENANT SPACE OF APPROXIMATELY 1,240 SF AT GAS STATION, CONVERTING EXISTING REPAIR GARAGE TO COMMERCIAL TENANT SPACE.

PROJECT ADDRESS	3725 EL CAMINO REAL
PROJECT ZONING	COMMUNITY COMMERCIAL
OCCUPANCY	M
CONSTRUCTION TYPE	V8
SPRINKLERS	NONE
FRONT SETBACK	28 FEET
REAR SETBACK	28 FEET
SIDE YARD SETBACK	10 FEET
MAX BUILDING HEIGHT	59 FEET
PASTING BUILDING SF	1,179 SF
PASTING INTERIOR SF	1,248 SF
MAX COVERAGE	NO REQUIREMENT
MINIMUM OPEN SPACE	7.5%
LANDSCAPE REQ'D	10% REQUIRED
LANDSCAPE REQ'D	10% REQUIRED
LANDSCAPE REQ'D	1.5% REQ'D (200 SF)
LANDSCAPE REQ'D	1.7% REQ'D (200 SF)
PARKING PROVIDED	10 SPACES

OWNER/BUILDER
RIPALUCCI
ROYAL GAS ZONE, INC.
775 EL CAMINO REAL
PLANTIA CLARA, CA 95051
08-802-8667

SHEET INDEX	
SHEET NUMBER	SHEET NAME
03/01	PROJECT INFORMATION
A1/00	SITE PLAN
A2/01	EXISTING & PROPOSED PLANS
A3/00	ELEVATIONS - EXTERIOR

not barriers, clearance from the radcuse is 5' (clearance must be from the edge of the roof barrier to the edge of the barrier).

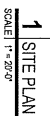
W4. The applicant shall submit complete utility plans showing all proposed and existing utilities (including electrical, gas, water, and sewer) and underground (fire and sanitary) so that the Value Engineering Department can determine the location of all existing and proposed utilities and indicate the correct pipe material and the size of existing water and sewer main(s) on the plans.

W5. The City recommends installing a new water service for the irrigation system, as it does not have a water meter. If no service needs to be installed, the applicant shall coordinate with Fire Dept. to submit hydraulic calculation for the underground fire main.

W6.

SHEET NUMBER	PROJECT INFORMATION
A1.00	SITE PLAN
A2.00	EXISTING & PROPOSED P LANS
A3.00	RELATIONS - EXTERIOR

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FOG STUDIO
8106 TERRACE DRIVE, EL CERRITO, CA 94530
707.257.6185 www.fogproject.com

Owner: Royal Gas Zone, Inc.

**3725 EL CAMINO
REAL TENANT
IMPROVEMENTS**



SITE PLAN

A1.00

Scale 1" = 20'.0"

**3725 EL CAMINO
REAL TENANT
IMPROVEMENTS**

Owner: Royal Gas Zone, Inc.

FOG STUDIO
8106 TERRACE DRIVE EL CERRITO, CA 94530
707.297.6185 www.fogproject.com

CONTRACT NO.

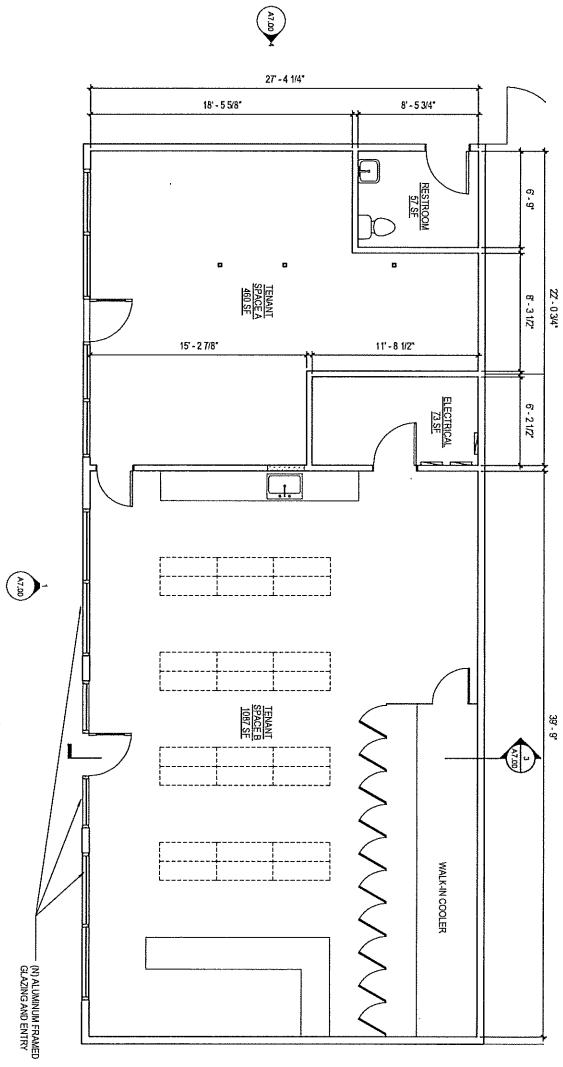
No.	Description	Scale
1	EXISTING FLOOR PLAN	1/4" = 1'-0"
2	PROPOSED FLOOR PLAN	1/4" = 1'-0"



**EXISTING &
PROPOSED PLANS**

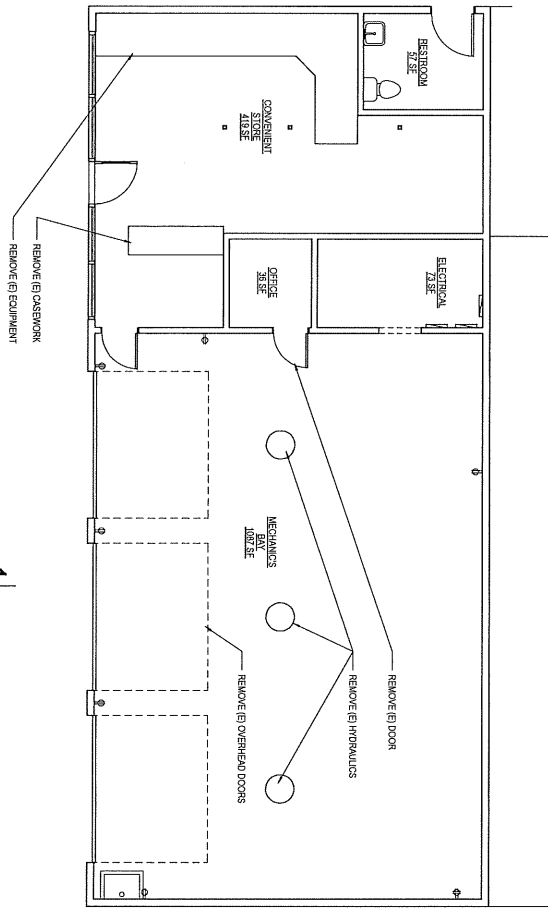
A2.01

1/4" = 1'-0"



2 | PROPOSED FLOOR PLAN

SCALE 1/4" = 1'-0"



1 | EXISTING FLOOR PLAN

SCALE 1/4" = 1'-0"

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707.297.6185 www.fogproject.com

No.	Description	Date
	ISSUE FOR CUP	04/09/16

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DN

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$$\overline{A''} = 1 \cdot 0''$$
