



# City of Santa Clara

## Meeting Agenda

### Historical & Landmarks Commission

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Thursday, January 2, 2020

6:00 PM

Staff Conference Room  
Adjacent to  
City Hall Council Chambers  
1500 Warburton Avenue  
Santa Clara, Ca 95050

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#### CALL TO ORDER AND ROLL CALL

#### DECLARATION OF COMMISSION PROCEDURES

#### REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

#### CONSENT CALENDAR

Consent Calendar items may be enacted, approved or adopted, based upon the findings prepared and provided in the written staff report, by one motion unless requested to be removed by anyone for discussion or explanation. If any member of the Historical and Landmarks Commission, staff, the applicant or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Historical and Landmarks Commission meeting when the Chair calls for these requests during the Consent Calendar review.

**1.A 20-1473** [Action on Historical and Landmarks Commission Minutes of September 5, 2019](#)

**Recommendation:** Approve the Historical and Landmarks Commission Minutes of September 5, 2019.

#### PUBLIC PRESENTATIONS

Members of the public may briefly address the Commission on any item not on the agenda.

#### PUBLIC HEARING / GENERAL BUSINESS

The following items from this Historical and Landmarks Commission agenda will be scheduled for further review following the conclusion of hearings and recommendations by the Historical and Landmarks Commission. Please contact the Planning Division office for information on the schedule of hearings for these items.

2. **20-1320** [Public Hearing: Consideration of HLC Referral for projects near Historical Resource Inventory for the property located at 655 Jefferson Street](#)

**Recommendation:** Recommendation that the Historical and Landmarks Commission finds that the proposed project would not adversely impact the integrity of the listed resources in the vicinity of the project site, but has some limited historic context implications due to the size of the proposed addition.

Recommendation to the Planning Commission that there are no unusual conditions applying to this property and deny the Variance request.

3. **20-1329** [Public Hearing: Consideration of a Significant Property Alteration \(SPA\) permit for an addition and a new ADU in basement at a Mills Act property located at 1393 Santa Clara Street](#)

**Recommendation:** Recommend that the Historical and Landmarks Commission finds that the proposed project located at 1393 Santa Clara Street retains the essential character defining elements that make it significant; that the proposed project does not destroy or have a significant adverse effect on the integrity of the designated property; that the alterations is compatible with the existing structure; and that the rehabilitation of the residence meet the Secretary of the Interior's Standards for Rehabilitation, subject to the conditions of approval of the SPA permit.

4. **20-1431** [Public Hearing: Consideration of HLC referral for projects near a Historical Resource Inventory for the property located at 473 Lafayette Way](#)

**Recommendation:** Recommend that the Historical and Landmarks Commission find that the proposed project located at 473 Lafayette Way does not have a significant adverse effect on the integrity of the historic resource at 950 Bellomy Street and that the alteration is compatible with the existing structure.

## **COMMISSIONERS REPORT**

5. **20-1472** [Action on Other Business before Historical and Landmarks Commission](#)

**Recommendation:** There are four items for considerations.

- Election of Officers
- Board and Committee Assignments
- CLG 2018-2019 Annual Report (Reporting period is from October 1, 2018 through September 30, 2019)
- Leadership Santa Clara 2020

Announcements / Other Items

- Correspondence

Board and Committee Assignments

- Santa Clara Arts and Historic Consortium (Estes / Leung Alternate)
- Historic Preservation Society of Santa Clara (Vargas-Smith)
- Old Quad Residents Association (Leung / Vargas-Smith as alternate)
- Architectural Committee (Leung / Vargas-Smith as alternate)
- Agnews Historic Cemetery Museum Committee (Standifer / Vargas-Smith as alternate)
- BART/ High Speed Rail/ VTA BRT Committee (Vargas-Smith / Swartzwelder as alternate)
- Zoning Ordinance Update (Leung)
- El Camino Real Specific Plan Community Advisory Committee (Leung)
- Downtown Revitalization (Vargas-Smith)

Commissioner Travel and Training Reports, Requests to Attend Training

**HLC LIAISON REPORT**

City Council and Planning Commission Actions

Upcoming Agenda Items

- Joint Dinner with City Council - March 17, 2020 5:00-6:00 PM
- Review of Street Name List - TBD
- CEQA Training for HLC - TBD
- Action Plan - TBD
- 2019 Accomplishments - TBD
- Preservation Month Activities - TBD

**ADJOURNMENT**

The next regular scheduled meeting is on Thursday, February 6, 2020 at 6:00 p.m. in the City Council Chambers.



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

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20-1473

Agenda Date: 1/2/2020

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### **REPORT TO HISTORICAL AND LANDMARKS COMMISSION**

#### **SUBJECT**

Action on Historical and Landmarks Commission Minutes of September 5, 2019

#### **RECOMMENDATION**

Approve the Historical and Landmarks Commission Minutes of September 5, 2019.

Reviewed by: Yen Han Chen, Associate Planner

Approved by: Gloria Sciara, Development Review Officer

#### **ATTACHMENTS**

1. Historical and Landmarks Commission Minutes of September 5, 2019





# City of Santa Clara

## Meeting Minutes

### Historical & Landmarks Commission

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09/05/2019

7:00 PM

City Hall Council Chambers

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#### CALL TO ORDER AND ROLL CALL

Commissioner Patricia Leung called the meeting to order at 7:08 p.m.

**Present** 6 - Commissioner Patricia Leung, Vice Chair Stephen Estes, Commissioner J.L. "Spike" Standifer, Commissioner Ana Vargas-Smith, Commissioner Michael Celso, and Commissioner Megan Swartzwelder

#### DECLARATION OF COMMISSION PROCEDURES

Commissioner Patricia Leung read the Historical and Landmarks Commission procedures.

#### REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

None

#### CONSENT CALENDAR

**1.A**     [19-1023](#)     Action on Historical and Landmarks Commission Minutes of June 6, 2019

**A motion was made by Commissioner Celso and seconded by Commissioner Vargas-Smith to approve the Historical and Landmarks Commission Minutes of June 6, 2019.**

**Aye:** 4 - Commissioner Leung, Commissioner Standifer, Commissioner Vargas-Smith, and Commissioner Celso

**Abstained:** 2 - Vice Chair Estes, and Commissioner Swartzwelder

## PUBLIC PRESENTATIONS

As a member of the public, Nancy Biagini brought up concerns over construction activity at 575 Benton Street. She noted sensitivity over archaeological and historical resources at the site. Ms. Biagini noted request from citizens to stop the project to ensure resources were being protected. Staff Liaison Yen Han Chen reported that the project approved with conditions of approval and environmental mitigation measures. He noted staff has been working with the developer and others to ensure the adherence to the approval.

## PUBLIC HEARING / GENERAL BUSINESS

**2.A**     [19-951](#)     Public Hearing: Mills Act Contract for 908 Fremont Street

**Public Speaker(s):** Todd and Kristy Rosenbaum

**A motion was made by Commissioner Estes and seconded by Commissioner Standifer that the Historical and Landmarks Commission forward a recommendation to the City Council for approval of the Mills Act Contract application, including the adoption of 10-Year Rehabilitation and Maintenance Plan associated with this Historical Preservation Agreement.**

**Aye:** 6 - Commissioner Leung, Vice Chair Estes, Commissioner Standifer, Commissioner Vargas-Smith, Commissioner Celso, and Commissioner Swartzwelder

## COMMISSIONERS REPORT

**3.A**     [19-1024](#)     Action on Other Business before Historical and Landmarks Commission

**Public Speaker(s):** None

**A motion was made by Commissioner Swartzwelder, seconded by Commissioner Celso that the Historical and Landmarks Commission approve the request for small bronze plaque for 1770 Homestead Road "c.1916".**

**Aye:** 6 - Commissioner Leung, Vice Chair Estes, Commissioner Standifer, Commissioner Vargas-Smith, Commissioner Celso, and Commissioner Swartzwelder

**A motion was made by Commissioner Estes and seconded by Commissioner Standifer to approve the 2020 Historical and Landmarks Commission Schedule of Meetings with a 6:00 pm start time.**

**Aye:** 6 - Commissioner Leung, Vice Chair Estes, Commissioner Standifer, Commissioner Vargas-Smith, Commissioner Celso, and Commissioner Swartzwelder

**A motion was made by Commissioner Estes and seconded by Commissioner Standifer to continue the Election of Officers to November meeting for a full Commission.**

**Aye:** 6 - Commissioner Leung, Vice Chair Estes, Commissioner Standifer, Commissioner Vargas-Smith, Commissioner Celso, and Commissioner Swartzwelder

**A motion was made by Commissioner Vargas-Smith and seconded by Commissioner Leung to appoint Commissioner Swartzwelder to Bart/High Speed Rail/VTA BRT Committee as an Alternate.**

**Aye:** 6 - Commissioner Leung, Vice Chair Estes, Commissioner Standifer, Commissioner Vargas-Smith, Commissioner Celso, and Commissioner Swartzwelder

#### Announcements / Other Items

No additional items reported.

#### Board and Committee Assignments

**Commissioners** present reported on assignments.

#### Commissioner Travel and Training Reports, Requests to Attend Training

**Commissioner Leung** reported on Monterey's cool historic map.

#### HLC LIAISON REPORT

## City Council and Planning Commission Actions

**Staff Liaison Yen Han Chen** reported on Council and Planning Commission items.

## Upcoming Agenda Items

**Staff Liaison Yen Han Chen** provided updates on upcoming agenda items.

**ADJOURNMENT**

**A motion was made by Commissioner Vargas-Smith and seconded by Commissioner Estes to adjourn the meeting. The meeting was adjourned at 10:04 p.m. The next regular scheduled meeting is on October 3, 2019.**

**Aye:** 6 - Commissioner Leung, Vice Chair Estes, Commissioner Standifer, Commissioner Vargas-Smith, Commissioner Celso, and Commissioner Swartzwelder



## Agenda Report

20-1320

Agenda Date: 1/2/2020

### REPORT TO HISTORICAL AND LANDMARK COMMISSION

#### **SUBJECT**

Public Hearing: Consideration of HLC Referral for projects near Historical Resource Inventory for the property located at 655 Jefferson Street

#### **BACKGROUND**

The existing single-story two-bedroom two-bathroom house was built on 1905 on a 5,000 square feet lot. The existing house is 1,414 square feet three-bedroom three-bathroom with an attached 278 square feet one-car garage. The applicant is proposing to demolish the third bedroom and the third bathroom previous addition at the back of the house that has no record of the Building Permit. A 694 square feet one-story addition to the back of the house to convert into a four-bedroom four-bathroom house with an existing one-car garage is proposed.

The applicant requests approval of a Variance to the Planning Commission to the 40% lot coverage requirement of the R1-6L to allow 43.2% lot coverage and to the covered parking requirement of the R1-6L Single Family Zoning District in order to move forward with a proposed 694 square feet addition to the rear of the existing house with one-car garage.

The project requires Planning Commission review and Architectural Committee review for the variance request. The property is located adjacent to two Mills Act properties to the north and south of the project site (1490 Santa Clara Street and 653 Jefferson Street). If the project is located within 200 feet of an HRI property, then prior to submitting the application to the Planning Commission and Architectural Committee, the application shall be referred to Historical and Landmark Commission (HLC) for recommendation. The HLC shall review the project for neighborhood compatibility and consistency with the City's Design Guidelines and make a recommendation to the Planning Commission.

#### **DISCUSSION**

The property was originally developed with a house and an attached one-car garage in 1905, predating the City's requirement for two covered parking spaces pursuant to Section 18.12.120(a) of the Santa Clara City Code (SCCC).

The application proposes 694 square feet addition to allow four-bedroom four-bathroom residence with an existing attached one-car garage. Pursuant to the General Plan, an expansion to an existing house with one-car garage beyond three bedrooms or 500 square feet triggers the requirement for a covered two-car garage.

#### *Consistency with General Plan:*

The project site has a General Plan land use designation of Very Low Density Residential. This designation is intended for residential densities up to 10 units per acre and is typically represented in

detached single-family neighborhoods. The proposed project to maintain an existing one-car garage is not consistent with following:

General Plan Implementation Action 4: One- and Two-Story Additions: Santa Clara's zoning regulations for single family homes are liberal enough that virtually every home can be added onto. The major exception is when older homes with only a one car garage are expanded beyond three bedrooms or by another 500 square feet. This triggers a two-car covered parking requirement. However, parking variances are usually granted when the house layout makes a two-car garage impossible.

#### *Zoning Conformance:*

The proposal is subject to the parking requirements of the Zoning Code unless a variance is granted by the Planning Commission. Pursuant to Chapter 18.108 of the City's Zoning Ordinance, where practical difficulties, unnecessary hardships and effects inconsistent with the general purposes of the Zoning Code may result from the strict application of certain provisions, variances may be granted. However, granting of a variance would require making the findings in SCCC Section 18.108.040, including that there are unusual conditions applying to the land or building which do not apply generally in the same district.

The subject property is narrow, measuring 40 feet in width, where properties in R1-6L zoning district are required to be at least 60 feet in width. However, the property is located in a residential neighborhood originally constructed mostly with one-story homes on narrower lots with one-car garages. Therefore, there are no unusual conditions applying to the property. Allowing one covered parking would be an exception as compared to the other single family homes in the R1-6L zone, similarly situated in the neighborhood and in the City.

The addition would result in 43.2% lot coverage whereas 40% lot coverage is the maximum allowed. A Variance is required in order to allow 43.2% lot coverage. The subject property's lot size is five thousand (5,000) square feet, where the minimum lot area for R1-6L zoning district is six thousand (6,000) square feet. However, the property is located in a residential neighborhood with a mix of lot sizes including lots smaller than 6,000 square feet. Therefore, there are no unusual conditions applying to this property.

#### Impacts to the Integrity of Nearby Listed Properties:

The City of Santa Clara Historic Preservation Ordinance formally establishes procedures for properties that are listed on the City's HRI or located within 200 feet of these properties. As this property is adjacent to two Mills Act properties and involves exterior alterations, it is a historic preservation goal of the City to protect historic resources from incompatible development and to evaluate potential negative effects on the historic integrity of the resource or its historic context.

#### *Conclusion:*

The property is located in a residential neighborhood originally constructed with one-story homes on narrower lots with attached one-car garages. Therefore, the proposed project does not meet the purpose and intent of the Zoning Code in that there are no unusual conditions applying to the land or building that do not apply generally in the same district.

The proposed addition is at the back of the property and with the location of the addition, there is no impact to the integrity of the nearby HRI properties. However, the project expansion is not typical for

the area or context, being within an historical area, and has no unusual conditions applying to this property. Therefore, staff does not support for the Variance request.

### **ENVIRONMENTAL REVIEW**

The scope of the proposed addition is exempt from the CEQA environmental review requirements per CEQA Section 15301, Class 1 Existing Facilities.

### **PUBLIC CONTACT**

The notice of public meeting for this item was posted at three locations within 300 feet of the project site and was mailed to property owners within 300 feet of the project site. No public comments have been received at the time of preparation of this report.

### **RECOMMENDATION**

Recommendation that the Historical and Landmarks Commission finds that the proposed project would not adversely impact the integrity of the listed resources in the vicinity of the project site, but has some limited historic context implications due to the size of the proposed addition.

Recommendation to the Planning Commission that there are no unusual conditions applying to this property and deny the Variance request.

Prepared by: Elaheh Kerachian, Associate Planner

Approved by: Gloria Sciara, Development Review Officer

### **ATTACHMENTS**

1. Project Data Sheet
2. Development Plans
3. Letter of Justification

**Project Data**

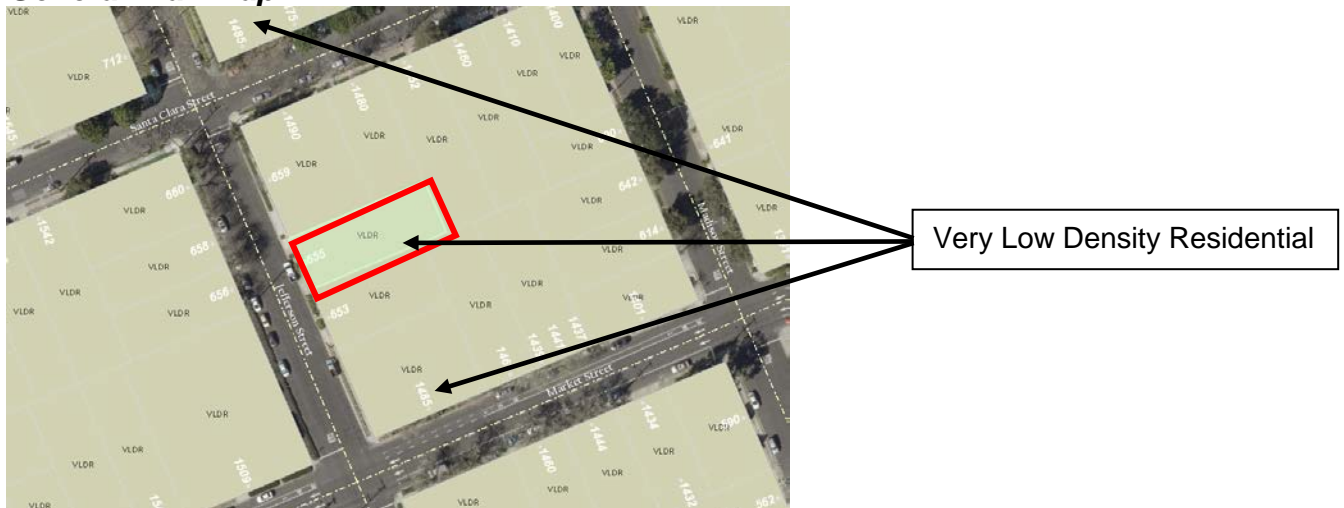
	Existing	Proposed
<b>General Designation</b>	Very Low Density Residential	Same
<b>Zoning District</b>	Single Family Residential (R1-6L)	Single Family Residential (R1-6L)
<b>Land Use</b>	Single family Residence	Same
<b>Lot Size</b>	5,000 sf	Same
<b>Living Area</b>	1,354 sf	1,789 sf
<b>Garage</b>	278 sf	Same
<b>Porch</b>	60 sf	93 sf
<b>Gross Floor Area</b>	1,632 sf	2,160 sf
<b>Lot Coverage</b>	1,692/5,000 = 33.8 %	2,160/5,000 = 43.2 %

**Site Location and Context**

**Surrounding Land Uses:**

The project site is located in a residential tract developed predominantly with one and two story single family homes having detached one-car garages.

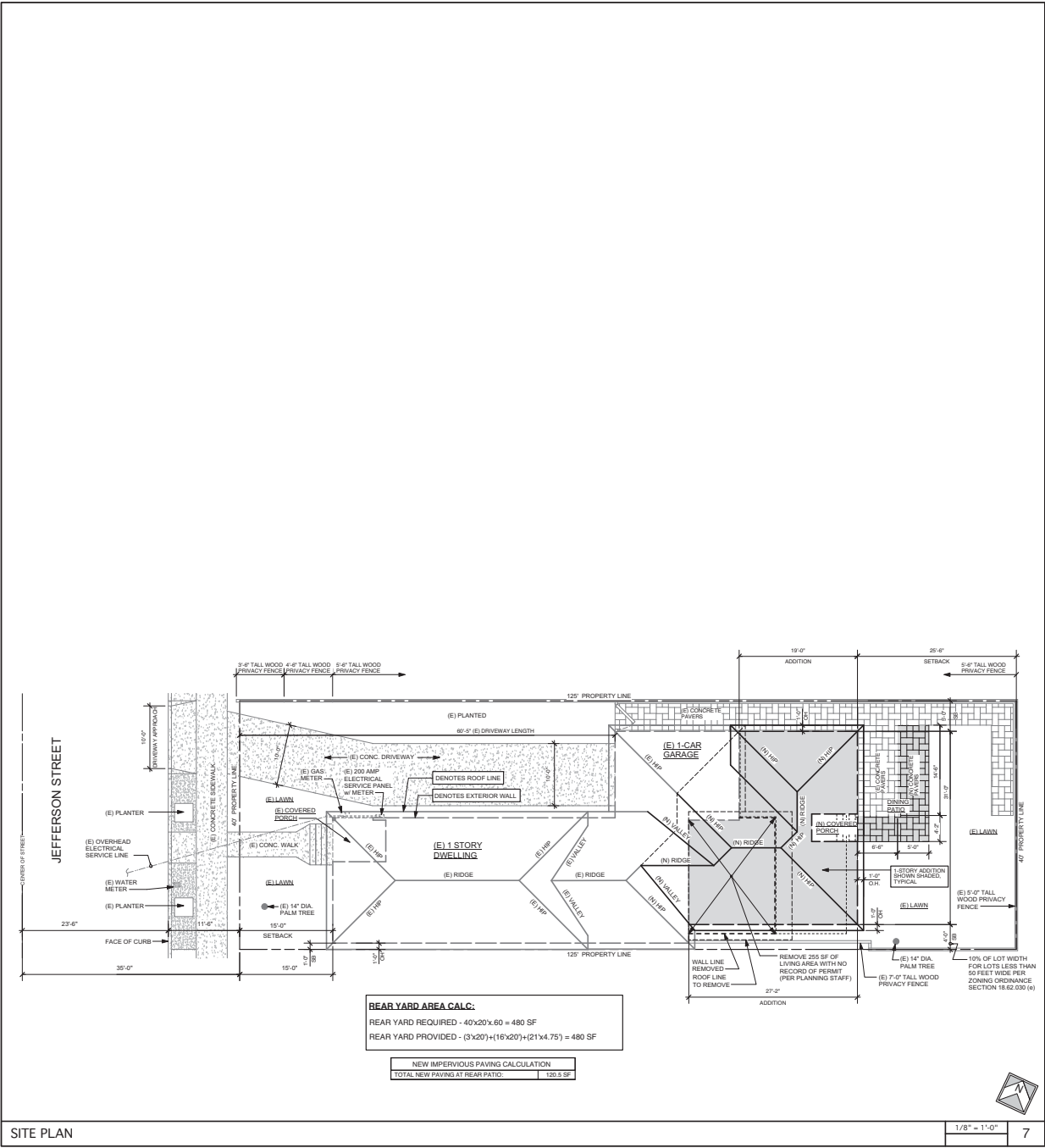
**General Plan Map**



**Zoning Map**







**REAR YARD AREA CALC:**  
 REAR YARD REQUIRED -  $40' \times 20' \times 60 = 480$  SF  
 REAR YARD PROVIDED -  $(3 \times 20') + (16' \times 20') + (21' \times 4.75') = 480$  SF

**NEW IMPERVIOUS PAVING CALCULATION**  
 TOTAL NEW PAVING AT REAR PATIO = 120.5 SF

#	FOUND OR NUMBER AND AT
AD	AREA DRAIN ABOVE FINISHED FLOOR
ALUM	ALUMINUM
BSMT	BASIN
BYND	BEYOND
BTM	BOTTOM
CP	CAST IN PLACE
CIP	CHANNEL
CJ	CONTROL JOINT
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONSPR	CONCRETE
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CR	CERAMIC TILE
CR	DOUBLE
DEMO	DEMOLISH
DA	DIAMETER
DIMS	DIMENSIONS
DN	DOWN
DR	DOOR
DWG	DRAWING
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXP JT	EXPANSION JOINT
EXT	EXTERIOR
FCB	FLUSH CEILING BEAM
FD	FLOOR DRAIN
FIXT	FIXTURE
FLR	FLOOR
FND	FOUNDATION
GA	GAUGE
GALV	GALVANIZED
GI	GALVANIZED IRON
GWB	GYPSON WALL BOARD
HC	HOLLOW CORE
HI	HIGH
HM	HOLLOW METAL
HP	HIGH POINT
HS	HOUR
HYAC	HEATING VENTILATING AND AIR CONDITIONING
INSUL	INSULATED
INT	INTERIOR
LD	LOW
MAX	MAXIMUM
MO	MASONRY OPENING
MECH	MECHANICAL
MEMBR	MEMBRANE
MN	MOISTURE RESISTANT
MWB	GYPSON WALL BOARD
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NR	OVERHANG (ROOF)
OC	ON CENTER
OC	ON CENTER
PLUMB	PLUMBING
PLY	PLYWOOD
PTDF	PRESSURE TREATED DOUGLAS FIR
PNT	PAINT/PRIATED
PVC	POLYVINYL CHLORIDE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REQD	REQUIRED
RM	ROOM
RW	RAIN WATER LEADER DOWNSPOUT
SB	SETBACK BUILDING FROM PROPERTY LINE
SB	SETBACK BUILDING FROM PROPERTY LINE
SB	SETBACK BUILDING FROM PROPERTY LINE
SIM	SIMILAR
SPIC	SPECIFIED OR SPECIFICATION
SPR	SPRINKLER
SSC	SEE STRUCTURAL DRAWINGS
SSTL	STAINLESS STEEL
STC	SOUND TRANSMISSION COEFFICIENT
STL	STEEL
STRUCT	STRUCTURAL
T&G	TONGUE AND GROOVE
TELE	TELEPHONE
TOP	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TP	TOILET PAPER DISPENSER
TID	TELEPHONE DATA
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
US	UNDERSIDE
VF	VERIFY IN FIELD
W	WITH
WD	WOOD



APN:	209-35-029
ZONING:	R1-4L
OCCUPANCY:	R-3, U
CONSTRUCTION TYPE:	V-N (NO FIRE SPRINKLERS)
NET LOT AREA:	5,000 SF

HABITABLE FLOOR AREA:	EXISTING	CHANGE IN	TOTAL
(E) 1-STORY RESIDENCE	1,095 SF	+694 SF	1,789 SF
NON-HABITABLE FLOOR AREA	EXISTING	CHANGE IN	FLOOR TOTAL
(E) ATTACHED GARAGE	278 SF	NONE	278 SF
COVERED PORCHES:	EXISTING	CHANGE IN	TOTAL PROPOSED
(E) ENTRY PORCH	60 SF	NONE	60 SF
(N) REAR PORCH	NONE	+33 SF	33 SF
TOTAL PORCHES	60 SF	+33 SF	93 SF
LOT COVERAGE:	EXISTING	PROPOSED	ALLOWED
	1,692 SF (33.8%)	2,160 SF (43.2%) VARIANCE REQUIRED	2,000 SF (40%)

PROJECT INFO	4
OWNER	WAYNE MACHADO & SUSANA FERNANDEZ 655 JEFFERSON STREET SANTA CLARA, CA 95050 (408) 499-7559
ARCHITECT	ROB MAYER, ARCHITECT 1490 SANTA CLARA STREET SANTA CLARA, CA 95050 PH (408) 564-5943

PROJECT TEAM	3
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- SCOPE OF WORK**
- REMOVE (E) 3RD BEDROOM AND 3RD BATHROOM (255 SF) WHERE PLANNING STAFF HAS NOTIFIED THE HOMEOWNER THAT THERE IS NO RECORD OF A BUILDING PERMIT. THE HOMEOWNER WAS NOT AWARE OF THIS WHEN THEY PURCHASED THE HOME BACK IN 2012.
  - A 694 SF 1-STORY ADDITION TO THE REAR OF THE EXISTING 1-STORY RESIDENCE TO CONVERT A 2 BEDROOM / 2 BATHROOM HOME INTO A 4 BEDROOM / 4 BATHROOM HOME AND RELOCATE THE LAUNDRY.
  - REQUEST VARIANCES FOR COVERED PARKING AND LOT COVERAGE:
- PARKING:** THERE IS ONLY A 1-CAR ATTACHED GARAGE SO A VARIANCE IS REQUIRED FOR PARKING WHERE 2-CAR COVERED PARKING IS REQUIRED WHEN YOU ADD MORE THAN 500 SF OF FLOOR AREA OR INCREASE THE NUMBER OF BEDROOMS BEYOND 3.
- LOT COVERAGE:** A VARIANCE IS ALSO REQUIRED FOR AN INCREASE IN LOT COVERAGE TO 2,160 SF (43.2%) WHERE 2,000 SF (40%) IS ALLOWED.

SCOPE OF WORK	2
ARCHITECTURAL	A-1 PROJECT INFO, SITE PLAN A-2 DEMOLITION PLAN A-3 FLOOR PLAN A-4 ROOF PLAN A-5 ELEVATIONS A-6 ALTERNATE SITE PLAN W/ 2-CAR GARAGE

ISSUE/REV:	PLANNING REVIEW
PROJECT #:	2019-02
DRAWN BY:	RM
CHECKED BY:	RM
ISSUE DATE:	10/15/19
SHEET TITLE:	PROJECT INFO SITE PLAN
DRAWING NO.	
of 6	

**Architect**

**ROBERT MAYER**

1490 Santa Clara Street  
SANTA CLARA, CA 95050  
PH (408) 564-5943  
mayer@robmayer.com

**CONSULTANT**

**ADDITION & REMODEL TO THE RESIDENCE AT:**  
**655 JEFFERSON STREET**  
 SANTA CLARA, CA 95050  
 2019-30-029

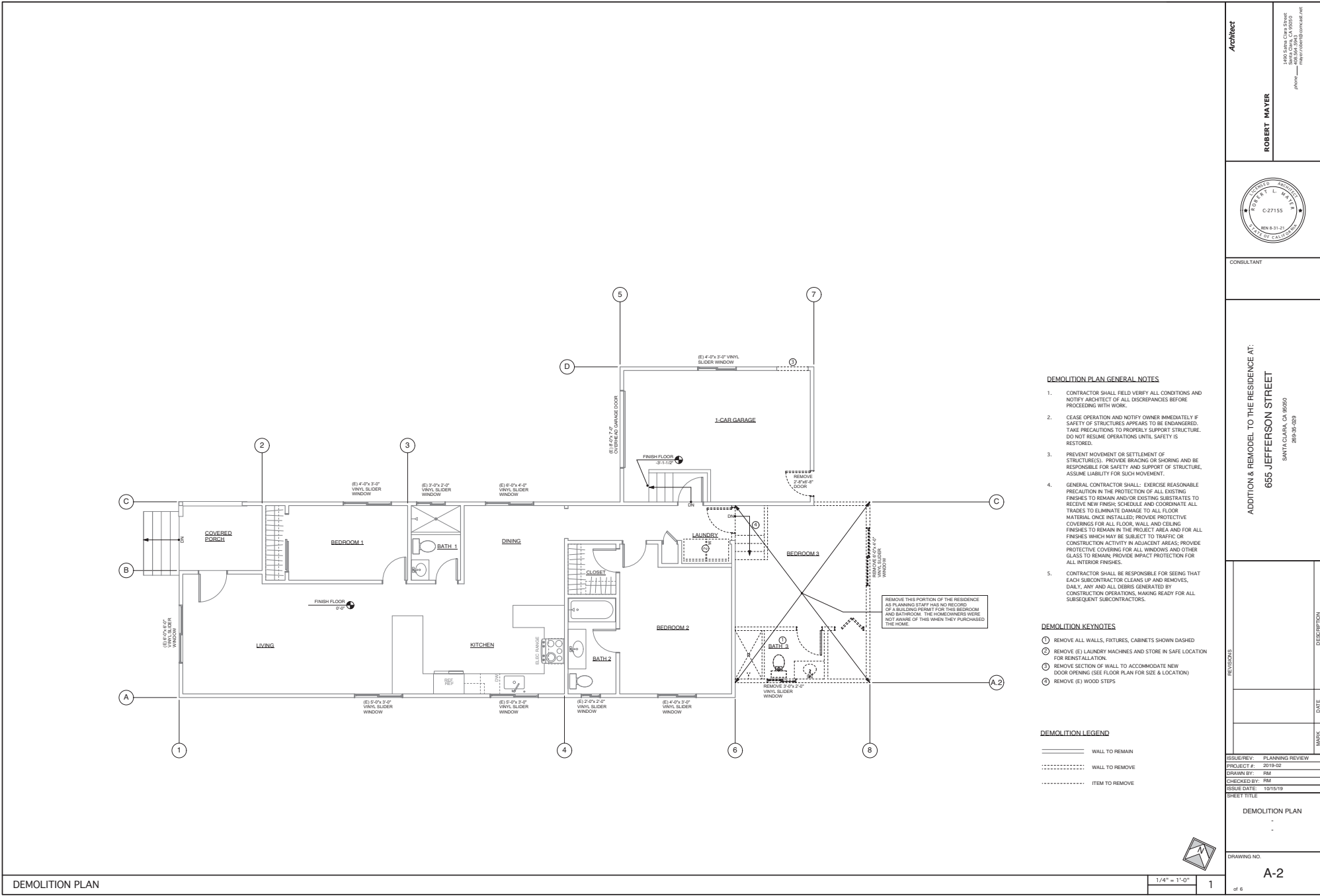
**REVISIONS**

MARK	DATE	DESCRIPTION

**PROJECT INFO**  
 SITE PLAN

**DRAWING NO.**

**A-1**



- DEMOLITION PLAN GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
  - CEASE OPERATION AND NOTIFY OWNER IMMEDIATELY IF SAFETY OF STRUCTURES APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
  - PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT.
  - GENERAL CONTRACTOR SHALL EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR EXISTING SUBSTRATES TO RECEIVE NEW FINISH. SCHEDULE AND COORDINATE ALL TRADES TO ELIMINATE DAMAGE TO ALL FLOOR MATERIAL ONCE INSTALLED; PROVIDE PROTECTIVE COVERINGS FOR ALL FLOOR, WALL AND CEILING FINISHES TO REMAIN IN THE PROJECT AREA AND FOR ALL FINISHES WHICH MAY BE SUBJECT TO TRAFFIC OR CONSTRUCTION ACTIVITY IN ADJACENT AREAS; PROVIDE PROTECTIVE COVERING FOR ALL WINDOWS AND OTHER GLASS TO REMAIN; PROVIDE IMPACT PROTECTION FOR ALL INTERIOR FINISHES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT EACH SUBCONTRACTOR CLEANS UP AND REMOVES, DAILY, ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.

- DEMOLITION KEYNOTES**
- ① REMOVE ALL WALLS, FIXTURES, CABINETS SHOWN DASHED
  - ② REMOVE (E) LAUNDRY MACHINES AND STORE IN SAFE LOCATION FOR REINSTALLATION.
  - ③ REMOVE SECTION OF WALL TO ACCOMMODATE NEW DOOR OPENING (SEE FLOOR PLAN FOR SIZE & LOCATION)
  - ④ REMOVE (E) WOOD STEPS

- DEMOLITION LEGEND**
- WALL TO REMAIN
  - WALL TO REMOVE
  - ITEM TO REMOVE

**Architect**  
**ROBERT MAYER**  
1990 Santa Clara Street  
SANTA CLARA, CA 95050  
PHONE: (408) 253-1111  
rmm@robertmayer.com

CONSULTANT

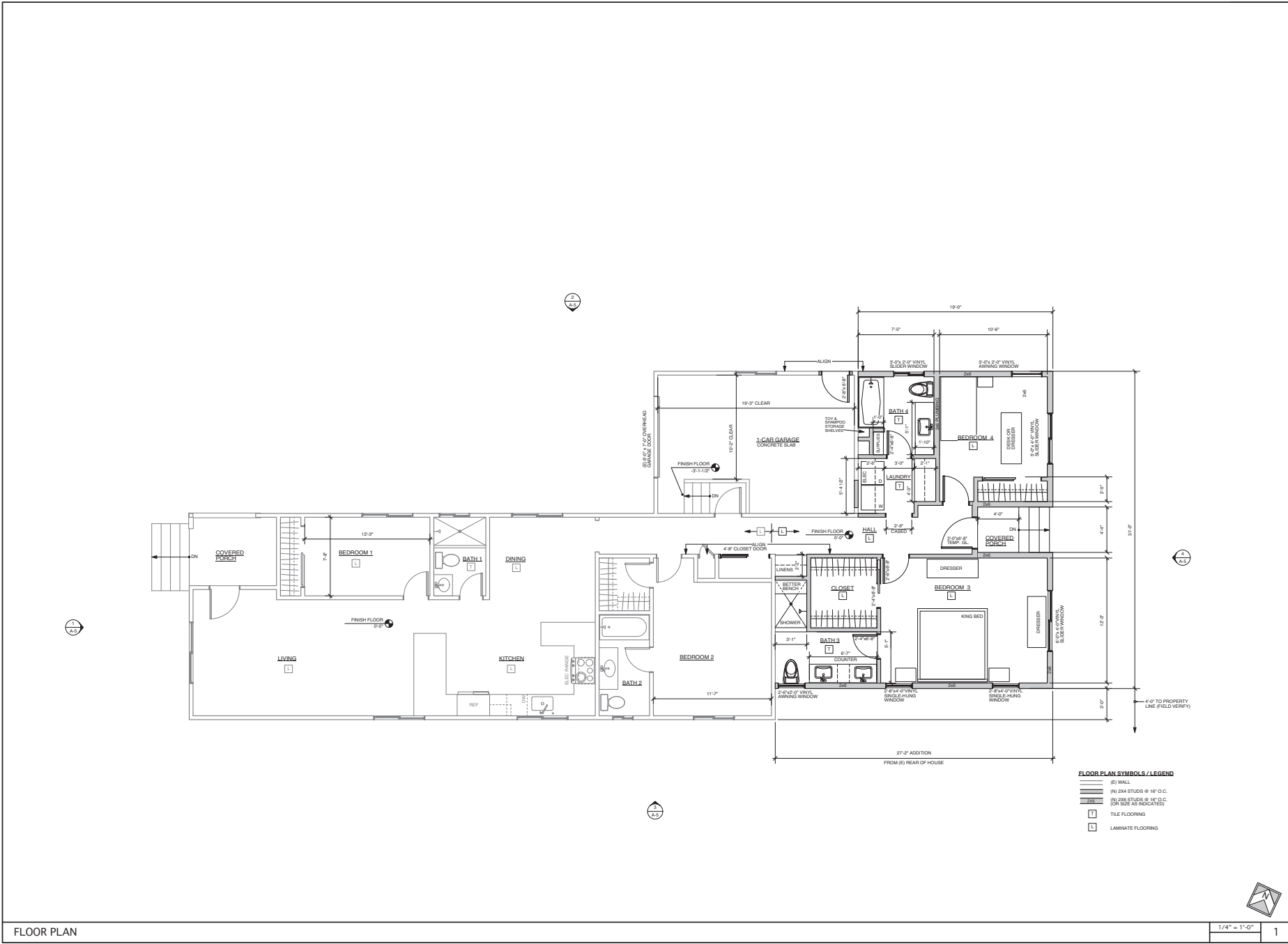
**ADDITION & REMODEL TO THE RESIDENCE AT:**  
**655 JEFFERSON STREET**  
SANTA CLARA, CA 95050  
2019-30-023

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE/REV: PLANNING REVIEW  
PROJECT #: 2019-02  
DRAWN BY: RM  
CHECKED BY: RM  
ISSUE DATE: 10/15/19  
SHEET TITLE  
**DEMOLITION PLAN**  
DRAWING NO.  
**A-2**

1 of 6  
2019-03 MACHADO.wxw

DEMOLITION PLAN



- FLOOR PLAN SYMBOLS / LEGEND**
- (S) WALL
  - (N) 2X4 STUDS @ 16" O.C.
  - (S) 2X6 STUDS @ 16" O.C. (OR SIZE AS INDICATED)
  - (T) TILE FLOORING
  - (L) LAMINATE FLOORING

**Architect**  
**ROBERT MAYER**  
 1490 Santa Clara Street  
 Santa Clara, CA 95050  
 408.554.1100  
 r@mayer.com  
 mayer.robert@comcast.net



CONSULTANT

ADDITION & REMODEL TO THE RESIDENCE AT:  
**655 JEFFERSON STREET**  
 SANTA CLARA, CA 95050  
 2018-30-02B

REVISIONS	DATE	DESCRIPTION

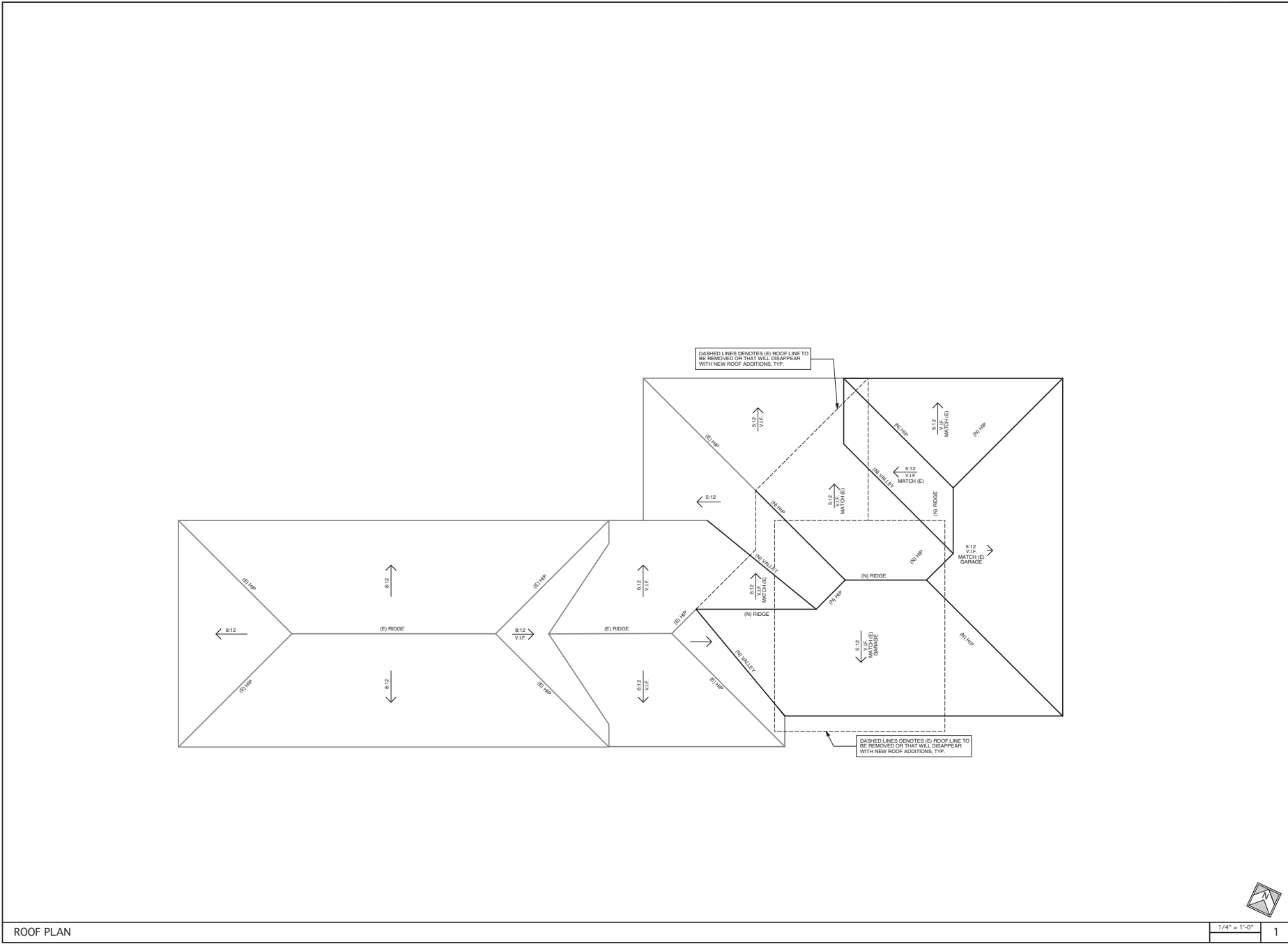
ISSUE/REV: PLANNING REVIEW  
 PROJECT #: 2018-02  
 DRAWN BY: RM  
 CHECKED BY: RM  
 ISSUE DATE: 10/15/19

SHEET TITLE  
**FLOOR PLAN**

DRAWING NO.  
**A-3**

FLOOR PLAN

1/4" = 1'-0" 1 of 6

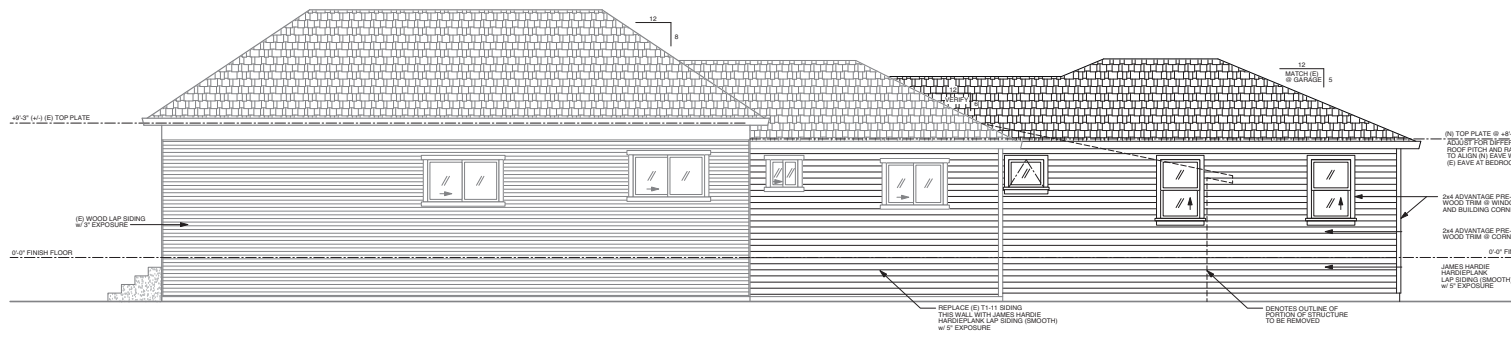


ROOF PLAN

1/4" = 1'-0"

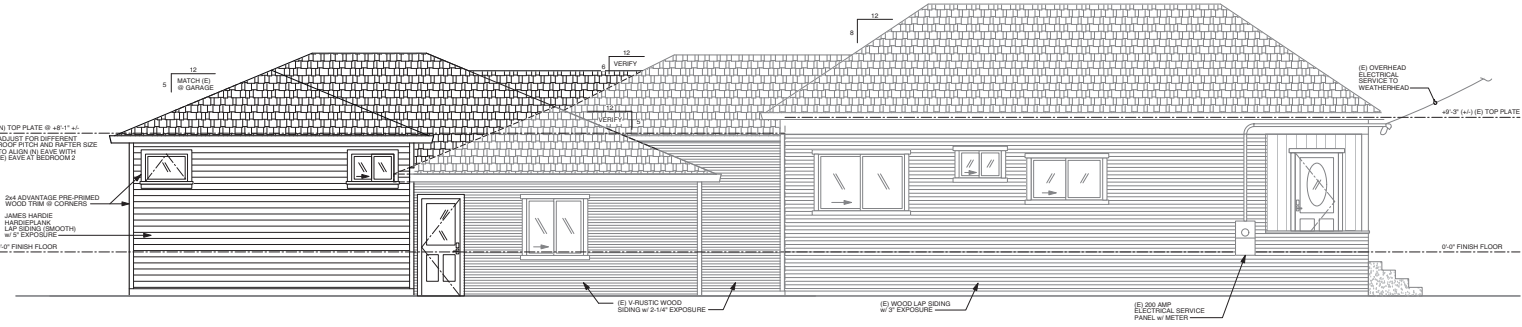
1

<b>Architect</b>	
<b>ROBERT MAYER</b>	<small>1490 Serra Drive San Jose, CA 95128 408.264.1900 rjm@rml.com www.robertmayer.com</small>
CONSULTANT	
<b>ADDITION &amp; REMODEL TO THE RESIDENCE AT:</b> <b>655 JEFFERSON STREET</b> <small>SANTA CLARA, CA 95050 209-350-029</small>	
RESPONSE	DESCRIPTION
MARK	DATE
ISSUE/REV: PLANNING REVIEW PROJECT #: 2019-02 DRAWN BY: RM CHECKED BY: RM ISSUE DATE: 10/15/19 SHEET TITLE <b>ROOF PLAN</b> DRAWING NO. <b>A-4</b>	
<small>2019-02 MACHADO.vcx</small> of 6	



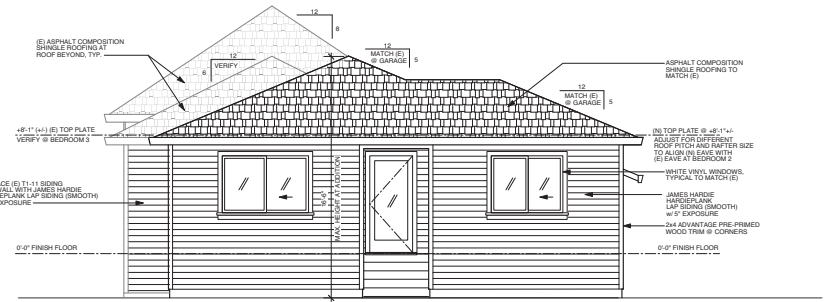
RIGHT ELEVATION

1/4" = 1'-0" 3



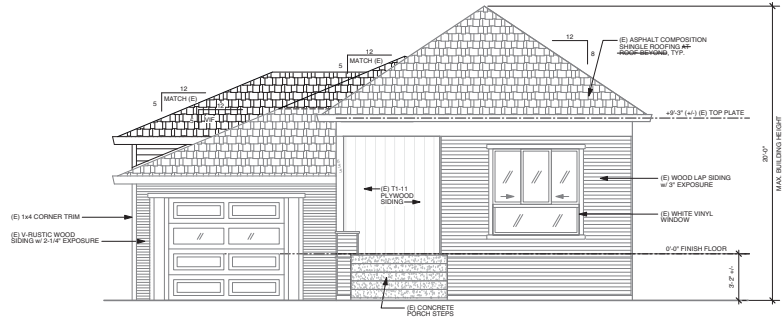
LEFT ELEVATION

1/4" = 1'-0" 2



REAR ELEVATION

1/4" = 1'-0" 4



FRONT ELEVATION

1/4" = 1'-0" 1

**Architect**

**ROBERT MAYER**

1800 Santa Clara Street  
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CONSULTANT

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**ADDITION & REMODEL TO THE RESIDENCE AT:**

**655 JEFFERSON STREET**

SANTA CLARA, CA 95050  
2019-30-023

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REVISIONS	DESCRIPTION

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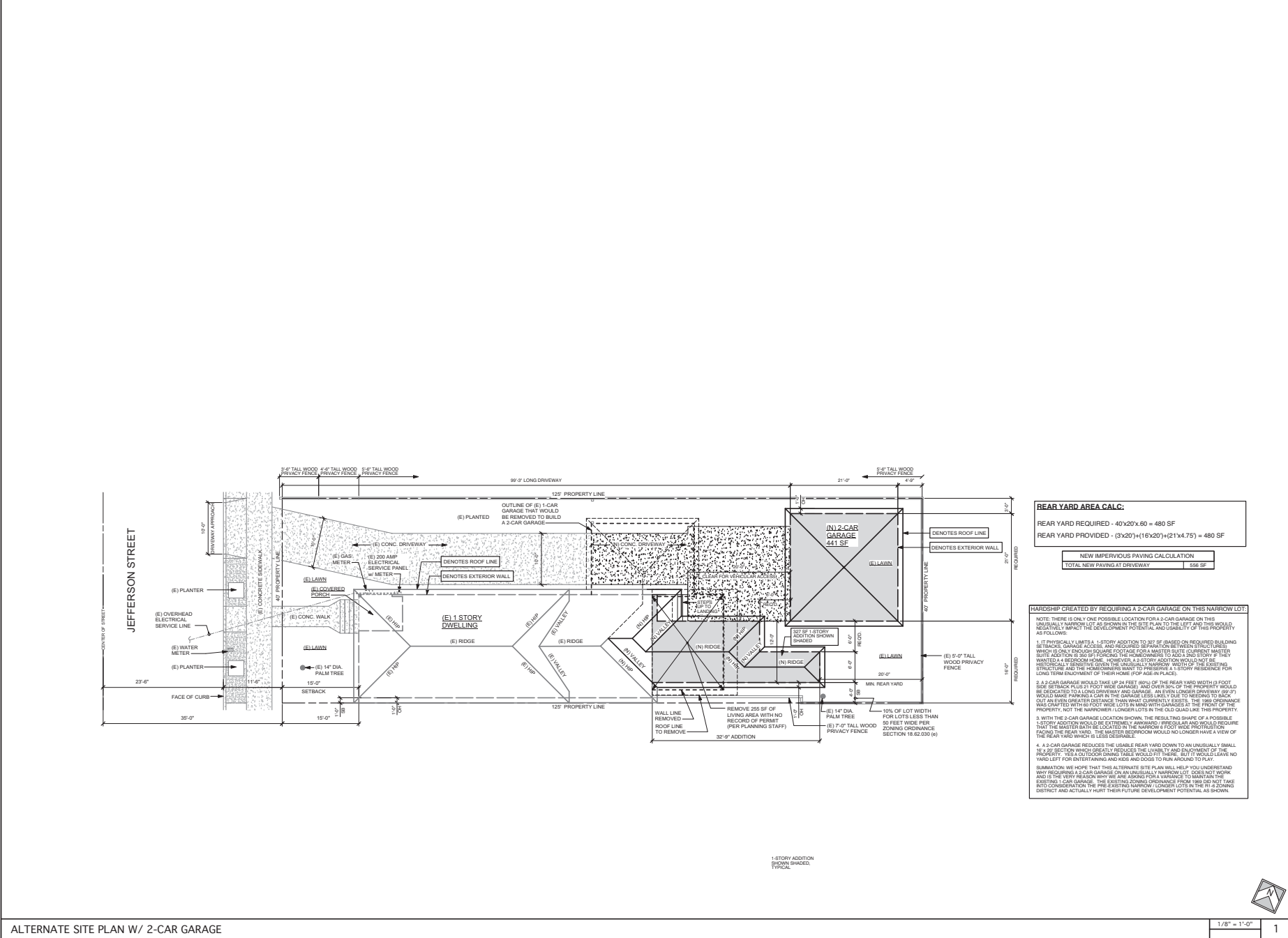
ISSUE/REV: PLANNING REVIEW  
PROJECT #: 2019-02  
DRAWN BY: RM  
CHECKED BY: RM  
ISSUE DATE: 10/15/19  
SHEET TITLE

**ELEVATIONS**

DRAWING NO.

**A-5**

of 6  
2019-03 MACHADO.wxd



**REAR YARD AREA CALC:**  
 REAR YARD REQUIRED -  $40 \times 20 \times .60 = 480$  SF  
 REAR YARD PROVIDED -  $(3 \times 20) + (16 \times 20) + (21 \times 4.75) = 480$  SF

NEW IMPERVIOUS PAVING CALCULATION	
TOTAL NEW PAVING AT DRIVEWAY	536 SF

**HARDSHIP CREATED BY REQUIRING A 2-CAR GARAGE ON THIS NARROW LOT**  
 NOTE: THERE IS ONLY ONE POSSIBLE LOCATION FOR A 2-CAR GARAGE ON THIS UNUSUALLY NARROW LOT AS SHOWN IN THE SITE PLAN TO THE LEFT AND THIS WOULD NEGATIVELY IMPACT THE DEVELOPMENT POTENTIAL AND USABILITY OF THIS PROPERTY AS FOLLOWS:

1. IT PHYSICALLY LIMITS A 1-STORY ADDITION TO 327 SF (BASED ON REQUIRED BUILDING SETBACKS, GARAGE ACCESS, AND REQUIRED SEPARATION BETWEEN STRUCTURES) WHICH IS ONLY ENOUGH SQUARE FOOTAGE FOR A MASTER SUITE (CURRENT MASTER SUITE) AND FOR 300 SF OF FINISH FLOORING FOR A 2ND AND 3RD FLOOR IF THEY WANTED A BEDROOM HOME. HOWEVER, A 2-STORY ADDITION WOULD NOT BE HISTORICALLY SENSITIVE GIVEN THE UNUSUALLY NARROW WIDTH OF THE EXISTING STRUCTURE AND THE NECESSARY WAY TO PRESERVE A 1-STORY RESIDENCE FOR LONG TERM ENJOYMENT OF THEIR HOME (POP AGE IN PLACE).
2. A 2-CAR GARAGE WOULD TAKE UP 34 FEET (80% OF THE REAR YARD WIDTH) FOOT SIDE SETBACK PLUS 21 FOOT WIDE GARAGE, AND OVER 50% OF THE PROPERTY WOULD BE DEDICATED TO LONG DRIVEWAY AND GARAGE. AN EXTRA LONG DRIVEWAY (50-75) WOULD MAKE PARKING A CAR IN THE GARAGE LESS LIKELY DUE TO NEEDING TO BACK OUT AN EVEN GREATER DISTANCE THAN CURRENTLY EXISTS. THE 10% CONCERNANCE WALL DRAFTED WITH 40 FOOT WIDE LOTS IN MIND WITH GARAGES IN THE FRONT OF THE PROPERTY, NOT THE NEARBY LONGER LOTS IN THE OLD GRID LIKE THIS PROPERTY.
3. WITH THE 2-CAR GARAGE LOCATION SHOWN, THE RESULTING SHAPE OF A POSSIBLE 1-STORY ADDITION WOULD BE EXTREMELY IRREGULAR AND WOULD REQUIRE THE MASTER BEDRM BE LOCATED IN THE NARROW 4 FOOT WIDE PROTRUSION FACING THE REAR YARD. THE MASTER BEDROOM WOULD NO LONGER HAVE A VIEW OF THE REAR YARD WHICH IS LESS DESIRABLE.
4. A 2-CAR GARAGE REDUCES THE USABLE REAR YARD DOWN TO AN UNUSUALLY SMALL REAR YARD WHICH COULD BE USED TO PROVIDE THE LITTLE BIT MORE OF THE PROPERTY WHICH IS OUTSIDE OF THE REAR YARD SETBACKS. THE BENT VIEW OF THE REAR YARD LEFT FOR ENTERTAINING AND IS UNDESIRABLE TO BE ABSENT TO PLAN.

SUMMATION: WE HOPE THAT THIS ALTERNATE SITE PLAN WILL HELP YOU UNDERSTAND WHY REQUIRING A 2-CAR GARAGE ON AN UNUSUALLY NARROW LOT DOES NOT WORK AND WHY, FOR REASON WHY WE ARE ASKING FOR A VARIANCE TO MAINTAIN THE INTO CONSIDERATION THE PRE-EXISTING NARROW LONGER LOTS IN THE R-4 ZONING DISTRICT AND ACTUALLY HURT THEIR FUTURE DEVELOPMENT POTENTIAL AS SHOWN.

**Architect**  
**ROBERT MAYER**  
 1490 Santa Clara Street  
 Santa Clara, CA 95050  
 (408) 254-1111  
 r.mayer@robertmayer.com

**CONSULTANT**

**ADDITION & REMODEL TO THE RESIDENCE AT:**  
**655 JEFFERSON STREET**  
 SANTA CLARA, CA 95050  
 209-354-0229

**REVISIONS**

NO.	DATE	DESCRIPTION

**MARK**

**ISSUE/REV:** PLANNING REVIEW  
**PROJECT #:** 2019-02  
**DRAWN BY:** RM  
**CHECKED BY:** RM  
**ISSUE DATE:** 10/15/19

**SHEET TITLE**  
**ALTERNATE SITE PLAN WITH 2-CAR GARAGE**

**DRAWING NO.**

**A-6**

1 of 6  
 2019-02 MACHADO.vwx

ALTERNATE SITE PLAN W/ 2-CAR GARAGE

October 17, 2019  
Planning Department  
City of Santa Clara  
Santa Clara, CA

**Application:** Variance request for a substandard size lot (width and total area) to increase the lot coverage to 42.3% (2,160 SF) where 40% (2,000 SF) is allowed; and a Variance request to add 694 SF to convert the existing 2 Bedroom / 2 Bath home into a 4 Bedroom, 4 Bathroom Home.

**Project Location:** 655 Jefferson Street  
APN: 269-41-092

Dear Planning Staff,

We are requesting two Variances: 1) to increase the lot coverage to 42.3% (2,160 SF) where 40% (2,000 SF) is allowed by the zoning ordinance and 2) to add 694 SF to convert the existing 2 Bedroom / 2 Bath home into a 4 Bedroom, 4 Bathroom Home with a 1-car garage where 2-car covered parking is required.

This application includes plans for a 694 square foot addition to the rear of the existing single-family dwelling with an attached one car garage. During Planning Staff's initial review of this proposal they informed the applicant and homeowner that there is no building permit record for the existing 3<sup>rd</sup> Bedroom and 3<sup>rd</sup> Bathroom at the rear of the residence and so it seems our home is actually a 2 bedroom / 2 bathroom home. We purchased the home back in 2012 and were unaware that the rear bedroom and bath were unpermitted so it seems that 255 square feet of our existing home (noted as Bedroom and Bath 3 on the Demolition Plan) does not count as part of our existing habitable square footage. We explored various alternative design solutions that did not require a variance, such as a 2<sup>nd</sup> story addition or basement addition, but our architect felt that the massing of a 2<sup>nd</sup> story addition would look awkward on such a narrow structure (20'-2" wide) and negatively impact the historic streetscape of this block (there are 4 properties with the Mills Act on our street, one on either side and two across the street) and a basement would be far too costly. We looked into the option of creating a new detached 2-car garage to eliminate the variance, but this resulted in an awkward and dysfunctional solution on such an unusually narrow lot that would cost even more money to build (see sheet A-6 of the drawings for Alternate Site Plan). After much discussion, we decided that our long-term goal was to live in a 1-story home (for age-in-place) that creates the following:

1. Three bedrooms clustered at the rear of the residence.
2. A direct connection between the living area of our home and the rear yard as we currently have to walk through our garage to get to the rear yard.
3. A hall bathroom towards the rear of the house that is easily accessible from the rear bedrooms and the rear yard as we frequently entertain large groups of family/friends in our rear yard.

4. Maintain enough rear yard for a Dining Patio and plenty of lawn area for kids and dogs to play and enjoy our wonderful climate.
5. Preserve the historic streetscape of this block by maintaining a 1-story design. In a future project, when finances permit, we plan to: 1) replace the awkward vinyl windows at the front wall of the house with windows that are more historically compatible with a vintage home and 2) replace the modern plywood siding at the front porch, the entry door, the and front porch / steps with something more compatible with the historic neighborhood.

We understand that the Planning Commission must make the following four findings in order to grant the variances. Our justification for the variances is as follows:

***(A) That there are unusual conditions applying to the land or building which do not apply generally in the same district:***

The unusual condition that applies to this property is that it is extremely narrow for the R1-6 Zoning District at 40 feet wide compared to the 60 foot standard. This lot is 33% narrower than the standard lot in this district and is more typical of lots in the Old Quad created prior to the 1969 Zoning Ordinance than those after. The 1969 Ordinance was created at a time when ranch-style homes were being developed in large tracts throughout Santa Clara's R1-6 Zoning District and these homes typically had 2-car garages attached to the front of the house which easily fit on the standard 60 foot wide lots while preserving large rear yards across the entire width of the property. The 1969 Ordinance did not take into consideration the older, narrower lot widths more common in the Old Quad, and actually created a hardship for the property owner by limiting development adapt the home to meet the modern family needs and this is why we are asking for the variances. In fact, the City realizes the challenges to further develop the unusually long and narrow lots and are in the process of updated the Zoning Ordinance to reduce the required covered parking to 1-car.

The unusual condition that applies to this property is that it is located in the historic Old Quad, on a historic street with 4 Mills Act properties (one on either side and two across the street). Although a 2<sup>nd</sup> story addition is possible, it would look awkward on such narrow, 1-story structure (due to the unusually narrow lot) and negatively impact the historic fabric of this block.

The combination of a long and narrow sub-standard lot with an unusually placed attached garage (most garages are detached in this particular Old Quad location whereas most attached garages are towards the front of the residence). To show you how the current 1969 Zoning Ordinance creates a development hardship for this property I have created an alternate site plan on sheet A-6 of the drawings that locates a new detached 2-car detached garage in the most practical place on the property. However, doing this greatly limits the amount of square footage on the 1<sup>st</sup> floor, in fact would really only permit a 1 bedroom / 1 bathroom addition which does not achieve the Homeowners long-term goals. Note how the driveway and garage take up the entire left side of the property, how awkwardly shaped the possible 1-story addition becomes and how small and disconnected the rear yard becomes. Although physically a 2-car garage could be built on the property, doing so would destroy the rear-yard which would greatly devalue the property.



***(B) That the granting of the variance is necessary for the preservation and enjoyment of substantial property rights of the petitioner:***

The existing 1-story, 2-bedroom dwelling has an awkward layout in that the two bedrooms are far apart which is not practical for a family with a young child; also, the existing front bedroom is unusually narrow at 7'-9" results in an awkward furniture layout. The proposed design removes the awkward elements of the home, preserves the 1-story massing of the residence to preserve the historic streetscape, while adapting the dwelling for long-term enjoyment of the Homeowner.

***(C) That the granting of such variance shall not, under the circumstances for the particular case, materially affect adversely the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood of the applicant's property, and will not be materially detrimental to the public welfare or injurious to property or improvements in said neighborhood:***

There are no indications that the proposed building addition harms the health, safety, peace, morals, comfort, or general welfare of the neighborhood. The proposed additions meet the required rear and side yard setbacks as required by the Zoning Ordinance while maintaining a large rear yard. The proposed design alters the existing exterior wall line (South side) to increase the side yard setback from a legally-nonconforming 2'-6" to a legally conforming 4'-0" (10% of lot width for lots less than 50 feet wide) to create greater separation to the neighbor and this is an added benefit. Although this dwelling is not designated historically significant, it is an older building form (steeper pitched hip roof) with wood siding and situated on a historic block in the Old Quad with 4 Mills Act properties. The proposed 1-story design is a historically sensitive solution that helps preserve and benefit the neighborhood whereas an alternative 2-story design could be considered materially detrimental to the neighborhood.

***(D) That the granting of the variance is in keeping with the purpose and intent of this title:***

Granting these variances does not allow the property owner to by-pass the developmental requirements for all future buildings or improvements, it merely helps mitigate the hardship presented by this unusually narrow and substandard lot to create a more cohesive living space with 3-bedrooms clustered together, a direct connection between the living spaces and the rear yard, while still meeting the building setbacks requirements for the zoning district.

We appreciate your time in considering our request and hope that you would agree that granting these variances are justified and would have a huge impact on improving the long-term livability of and quality of life for our family.

Sincerely,

Wayne Machado & Susie Fernandez  
Homeowners and Residents  
655 Jefferson Street



## Agenda Report

20-1329

Agenda Date: 1/2/2020

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### REPORT TO HISTORICAL AND LANDMARKS COMMISSION

#### **SUBJECT**

Public Hearing: Consideration of a Significant Property Alteration (SPA) permit for an addition and a new ADU in basement at a Mills Act property located at 1393 Santa Clara Street

#### **BACKGROUND**

The subject property is currently listed as a historic resource and has an approved Mills Act contract. An updated DPR 523A form was prepared by Lorie Garcia of Beyond Buildings, assessing the historical significance of the property. This updated DPR form was prepared on June 25, 2018 and is attached to this report.

The project is before the HLC in accordance with the Historic Preservation Ordinance, which requires projects with the addition of an ADU to a Historic Inventory Resource property be referred to this Commission. As the project scope includes a second story addition, the project will require the review of the Architectural Committee following the HLC review.

#### **DISCUSSION**

The subject property is a two-story Shingle architectural style residence built in circa 1904. A detached two-car garage was demolished and rebuilt in 1980. The applicant proposes to add an extension to the back of the house on both the first and second levels. An upstairs expansion of 114 square feet is for an expansion of the fourth bedroom and addition of a new bathroom. The first-floor floor addition of 90 square feet is for the expansion of the kitchen and accessible from anew rear porch. The subject residence has an existing partial and non-habitable basement. The basement addition will result in a new 1,002 square foot two-bedroom ADU and a 204 square foot non-habitable space for utilities.

The proposed addition and new Accessory Dwelling Unit (ADU) are not part of the 10-year preservation plan, and the property owners are not proposing to amend the Mills Act contract to include these scopes. The only scope that is part of the 10-year preservation plan is the replacement of the original brick foundation to code. It has been a past practice of the HLC to support additions to a historic resource up to 25 percent of the existing square footage, provided that the design and scope is consistent with the Secretary of Interior Standards for Rehabilitation. The 204 square foot addition of the main house is under 25 percent of existing living area, excluding the new basement area converted to living space and a new dwelling unit. The existing Mills Act agreement remains in good standing at this time. The property owners have submitted a statement of justification and a Secretary of the Interior's Standards Review (SISR) prepared by Leslie A. G. Dill of Archives & Architecture LLC for the proposed scope.

#### **Secretary of Interior's Standard Review:**

The SISR prepared by Archive & Architecture LLC utilized the historic context and character defining

features noted in the DPR Form to review against the proposed scope of work. The summary of work includes:

- Enlargement of the existing partial basement into a full basement with the addition of a secondary unit; addition of new windows and door; addition of light wells, guardrails, and stair access to basement on north side of house.
- Rehabilitation of existing foundations for structural stability and to accommodate the basement retaining walls; this includes removal and reinstallation of character-defining exterior stone.
- Alteration and expansion of non-original rear addition (enclosed former porch) to include new living space and including a new recessed porch; addition of new door and windows.
- Expansion of existing historic right-side dormer to increase second-story living space; relocation of one paired original window unit from a demolished wall to the replacement wall; addition of a new window on the north and south side of the dormer.
- Relocation of one original window on the north wall to accommodate interior room changes.
- Removal and storage of one “vintage” window from the north elevation (from its original location).
- Removal and storage of one “vintage window from the east elevation (previously relocated).
- Removal of chimney.

The evaluator reviewed the scope of work against the Secretary of Interior’s Standards for Rehabilitation and concluded that the proposed project would retain integrity with regards to historic location and setting in the Old Quad neighborhood. The house would maintain compatible landscape setbacks, its integrity of historic materials, design and forms, and the feel of an early nineteenth century Shingle-style residence. The report also noted that the removal of the cobblestone for foundation repair would lose some historic integrity of artisanship. However, the applicant proposes to store the cobblestone after removal and reinstall them to match after installation of new foundation. A condition of approval requires reuse of the cobblestone and reinstallation.

#### Conclusion:

A decision to approve SPA permit shall be based upon the following factors:

- The alterations shall be designed to retain the essential character, features, and defining elements that make the HRI property significant;
- The project proposals shall not have a significant adverse effect on the integrity of the HRI property;
- The alterations must be compatible with the existing structure or district; and
- The alterations must be consistent with the Secretary of Interior’s Treatment Standards.

The SISR report provided a comprehensive evaluation of the scope and a supporting conclusion that the proposal is consistent with the Secretary of Interior’s Standards for Rehabilitation. Staff agrees with the report’s findings that the proposed addition and new ADU would not destroy or have a significant adverse effect on the integrity of the designated property. Added conditions requiring the reuse of the cobblestone would preserve the character defining feature of the residence. The project retains its historic integrity and appearance while providing an adaptive use of an ADU in the basement. Overall, the addition and new ADU would be compatible with the existing residence and other one- and two-story residences in the immediate neighborhood.

## **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15331, in that the project is limited to minor addition and a new habitable basement of a historic resource in a manner consistent with the Secretary of Interior's Standards for Treatment of Historic Properties with Guidelines for Rehabilitating Historic Buildings.

**PUBLIC CONTACT**

The notice of public meeting for this item was posted at three conspicuous locations within 300 feet of the project site and was mailed to property owners within 300 feet of the project site. No public comments have been received at the time of preparation of this report.

**RECOMMENDATION**

Recommend that the Historical and Landmarks Commission finds that the proposed project located at 1393 Santa Clara Street retains the essential character defining elements that make it significant; that the proposed project does not destroy or have a significant adverse effect on the integrity of the designated property; that the alterations is compatible with the existing structure; and that the rehabilitation of the residence meet the Secretary of the Interior's Standards for Rehabilitation, subject to the conditions of approval of the SPA permit.

Prepared by: Steve Le, Associate Planner

Approved by: Gloria Sciara, Development Review Officer

**ATTACHMENTS**

1. Project Data Sheet
2. Statement of Justification
3. SISR Report
4. DPR Form
5. Conditions of Approval
6. Development Plan

**Project Data Sheet****File:** PLN2019-14144

Location: 1393 Santa Clara Street, a 7,810 square foot parcel at the northeast corner intersection of Santa Clara Street and Madison Street; APN: 269-26-112; property is zoned Single-Family Residential (R1-6L)

Applicant: Rob Mayer

Owner: Seif and Lauren Mazareeb

Request: **Architectural review** to replace brick foundation with new concrete foundation for a 1,002 square foot attached Accessory Dwelling Unit with two bedrooms and one bathroom in the basement, in conjunction with a 204 square addition to the east side of the residence to remodel and expand the first and second floor.

CEQA Determination: Categorically Exempt per Section 15331, Historical Resource Restoration/Rehabilitation

Project Planner: Steve Le, Associate Planner

Staff Recommendation: Approval

**Project Data**

Lot Size: 7,810 sf.			
	Existing Floor Area (sq. ft.)	Proposed New Building (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,284	90	1,374
Second Floor	1,135	114	1,249
Basement (Non-habitable)	498	-294	204
ADU (basement)	-	1,002	1,002
Front Porch Cover	161	-	161
Rear Porch Cover	-	100	100
Garage	655	-	655
Gross Floor Area	3,733	1,012	4,745
Lot Coverage	2,100/7,810= 27%		2,290/7,810= 29%
F.A.R.	.47		.61
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor	88%		90%
Bedrooms/Baths	4/1.5	0/1	4/2.5
Flood Zone	X		



**Aerial Photo of 1393 Santa Clara Street**



**View from Madison Street**





**View from Santa Clara Street**



To whom it may concern –

The following is the justification for the proposal of our renovation of 1393 Santa Clara St, Santa Clara, CA 95050. Since the Mills Act was granted in December 2018, we have begun work with Architect Rob Mayer and have identified the renovations and updates needs for the home preservation and adaptive reuse. The justifications are as follows:

- We are required to replace the foundation of the home per our Mills Act 10 year plan as it currently sits on the original brick foundation, creating an earthquake hazard for the home. As excavation under the house will already be taking place for the foundation work, demolishing the existing basement, it makes sense to continue the work with building out the ADU under the home. Additionally, our family needs have since required us to have additional living space to accommodate extended family living in our home.
- For adaptive reuse, we will be adding an extension to the back of the home on both the first and second levels. The upstairs expansion is needed to adapt the home to our growing family needs and will accommodate the inclusion of a second bathroom for a standard master suite. This also allows for upstairs laundry. The downstairs expansion is to adapt the kitchen to modern living as well as allow for more light into the home and connecting it more closely with the backyard.
- A rear porch will be added to the back that recreates what was likely original to the home.

Thank for the consideration and support in our home renovation and preservation.

Best,

Lauren Mazareeb  
Seif Mazareeb





ARCHIVES  
ARCHITECTURE

**SECRETARY OF THE INTERIOR'S STANDARDS REVIEW**

PROPOSED REHABILITATION, BASEMENT ALTERATION, AND REAR  
ADDITION PROJECT

at the

HISTORIC HARRIET B. ROBERTS HOUSE

Mazareeb Residence

1393 Santa Clara Street  
(Parcel Number 269-26-112)  
Santa Clara, Santa Clara County, California

For:

Seif & Lauren Mazareeb  
1393 Santa Clara Street  
Santa Clara, CA 95050

Prepared by:

ARCHIVES & ARCHITECTURE LLC  
PO Box 1332  
San Jose, CA 95109  
408.369.5683  
[www.archivesandarchitecture.com](http://www.archivesandarchitecture.com)

Leslie A. G. Dill, Partner and Historic Architect

October 15, 2019

## INTRODUCTION

### Executive Summary

This proposed residential addition project meets the *Secretary of the Interior's Standards for the Treatment of Historic Properties – Rehabilitation Standards* (Standards), so the project can be found to be mitigated to a less-than-significant impact under the California Environmental Quality Act (CEQA) and in conformance with the intent of the proposed Mills Act contract. The analysis is described more fully in the report that follows.

### Report Intent

Archives & Architecture LLC was retained by Seif and Lauren Mazareeb to conduct a Secretary of the Interior's Standards Review of the proposed rehabilitation and alteration of the basement, alteration and expansion of the right (east) elevation, and rehabilitation of the interior of the residence at 1393 Santa Clara St., Santa Clara, California. Archives & Architecture was asked to review the exterior elevations, plans, and site plan of the project to determine if the proposed design is compatible with the *Secretary of the Interior's Standards for Rehabilitation* (Standards). The Standards are understood to be a common set of guidelines for the review of historic buildings and are used by many communities during the environmental review process to determine the potential impact of a project on an identified resource.

### Qualifications

Leslie A. G. Dill, Partner of the firm Archives & Architecture, has a Master of Architecture with a certificate in Historic Preservation from the University of Virginia. She is licensed in California as an architect. Ms. Dill is listed with the California Office of Historic Preservation as meeting the requirements to perform identification, evaluation, registration, and treatment activities within the professions of Historic Architect and Architectural Historian in compliance with state and federal environmental laws. The state utilizes the criteria of the National Park Service as outlined in 36 CFR Part 61.

### Review Methodology

For this report, Leslie Dill referred to the State of California Department of Parks & Recreation Form 523 (DPR523) that documents the residence. The DPR523 form was written by Lorie Garcia of Beyond Buildings and is dated June 25, 2018. The proposed plans were prepared by Robert Mayer, Architect. For this report, Archives and Architecture evaluated, according to the Standards, a set of twelve sheets (Sheets A-1, A-2, A-2.1 through A-2.4, A-3, A-3.1 & 3.2, A-4, A-5, and HP-1). Information on two sheets was discussed via email during the review process, and the final updated design sheets were reviewed, dated 09/16/19.

### Disclaimers

This report addresses the project plans in terms of historically compatible design of the exterior of the residence and its setting. The consultant has not undertaken and will not undertake an evaluation or report on the structural conditions or other related safety hazards that might or might not exist at the site and building, and will not review the proposed project for structural soundness or other safety concerns. The Consultant has not undertaken analysis of the site to evaluate the potential for subsurface resources.

**PROJECT DESCRIPTION:****Historic Context**

The DPR523 form evaluated the property for significance under the criteria of the National Register of Historic Places, of the California Register of Historical Resources, and of the City of Santa Clara as a Qualified Historic Resource. Per the Historic Evaluation in the DPR forms:

*...As a fine example of the Shingle architectural style that was constructed circa 1904, under National Register Criterion C the residence at 1393 Santa Clara Street does “embody the distinctive characteristics of a type, period, or method of construction” and “represent[s] a significant and distinguishable entity whose components may lack individual distinction” and does contribute to a potentially eligible Historic District. Therefore, it does appear that the building may be eligible for the National Register of Historic Places under Criterion C.*

*...Criterion 3 [of the California Register of Historical Resources] addresses the distinctive characteristics of a type, period, region, or method of construction. Characterized by the use of simple lines, broad gables, gentle curves, and rustic materials in reaction against the excessive decoration of the Queen Anne style, the Shingle style was a transitional style for domestic building from 1880-1910. Constructed circa 1904, the subject building is a fine example of the Shingle architectural style. The property remains as designed with only a minimal modification at the rear, and the integrity of the residence is intact. Thus, it appears to reach the level of significance necessary to be eligible individually for the California Register under Criterion 3.*

*Prominently located on a corner lot, this building was among the first constructed on its block’s newly developed residential lots. While it is not associated with a historical event or important individual or group, it does have a direct association with the broad patterns of Santa Clara history. It has interest, integrity, and character and reflects the type of substantial homes built in Santa Clara in the last part of the 19th Century and first part of the 20th Century for owners who were people of means with a solid center and traditional values. [Criterion 1 for Historically or Cultural Significance in the City of Santa Clara Criteria for Local Significance]*

In the evaluation, the property is found to meet Criteria 1, 3, 5, and 7 of the City of Santa Clara Criteria for Architectural Significance, for its characterization of an architectural style, unusual within the City, has visual symbolic meaning or appeal for the community, and notable or special attributes of an aesthetic or functional nature.

The evaluation in the DPR form also identifies the property as meeting Criteria 1 and 2 for Geographic Significance as a contributing building in the “Old Quad” neighborhood and for its “continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.”

**Character of the Existing Resource**

For the review in this report, a summary of the character-defining features from the DPR523 form was developed. The list used in this report is as follows:

- *asymmetrical, compact plan with rectangular footprint*
- *prominent gambrel roof with gabled-hip dormers*
- *shallow rake eaves with shingle frieze band*
- *hipped-roof belly band with flat soffit at south façade*

- *projecting second-floor gable on north elevation*
- *massive cobblestone support column at recessed front porch*
- *low, cobblestone-clad foundation (note: concealed foundation is brick)*
- *cobblestone curved perimeter wall at the porch*
- *original front door with high accent window with beveled diamond panes (“XX”), over a large flat panel; operable wood shutters flanking door*
- *shallow, semi-recessed angled bay window facing south, featuring cobblestone base raised to sill height, featuring three individually placed multi-lite/1 windows with “XX” muntins.*
- *multi-pane top sash, in the same “XX” pattern, over single-lite sash windows in pairs and individually at the first floor, and paired accent windows with the same multi-lite pattern facing west and south*
- *arched saw-tooth-shingle header trim over second-story windows, with lozenge upper sash at the second floor facing south and west*
- *arched saw-tooth-shingle header trim over attic vents*
- *the 1/1 double-hung windows that face north and east are part of the overall composition, but are not individually character-defining features*
- *square-cut shingle siding with no corner trim*
- *plain window and door surround trim*

The brick chimney is noted in the DPR form; however, it was not specifically identified as a contributing character-defining feature. For the purposes of this review, Archives & Architecture does not include the chimney as a significant feature. Its plain brick material, low visibility due to its central location and short stature, its plain cap style, and minimal workmanship do not, for example, match the significance of the cobblestone foundation, or provide design interest in a way that would make it a character-defining feature.

Alterations noted in the DPR523 form include the enclosed rear porch and “...The rear [sic] of the property has been altered with the 1980s demolition of the original detached garage and subsequent construction of a new detached garage with office space and driveway relocation. However, the home is in excellent condition and, with the exception of the circa 1970 addition of a contemporary raised rear deck and subsequent alteration of the rear [sic] entry steps, appears to have had minimal to no external alteration since its construction circa 1904.”

### **Summary of the Proposed Project**

The proposed scope of work includes:

- Enlargement of the existing partial basement into a full basement with the addition of a secondary unit; addition of new windows and door; addition of light wells, guardrails, and stair access to basement on north side of house.
- Rehabilitation of existing foundations for structural stability and to accommodate the basement retaining walls; this includes removal and reinstallation of character-defining exterior stone.
- Alteration and expansion of non-original rear addition (enclosed former porch) to include new living space and including a new recessed porch; addition of new door and windows.
- Expansion of existing historic right-side dormer to increase second-story living space; relocation of one paired original window unit from a demolished wall to the replacement wall; addition of a new window on the north and south side of the dormer.
- Relocation of one original window on the north wall to accommodate interior room changes.

- Removal and storage of one “vintage” window from the north elevation (from its original location).
- Removal and storage of one “vintage window from the east elevation (previously relocated).
- Removal of chimney.

### SECRETARY’S STANDARD’S REVIEW:

The *Secretary of the Interior’s Standards for Rehabilitation* (Standards), originally published in 1977 and revised in 1990, include ten standards that present a recommended approach to repair, while preserving those portions or features that convey a resource’s historical, cultural, or architectural values. Accordingly, Standards states that, “Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.” Following is a summary of the review with a list of the Standards and associated analysis for this project:

**1. “A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.”**

**Analysis:** There is no effective change of use proposed for this residential property, although there is some intensification of use with the inclusion of a secondary unit within the building.

As a rule of thumb, a project that meets the subsequent nine Standards can be considered to meet this Standard as well. A proposed project that preserves significant historic fabric, provides a compatible new design, and is potentially reversible in the future can be considered to have a compatible use. In this case, the basement alteration requires minimal change to the historic fabric and does meet the remaining Standards, so the intensification of use can be considered compatible as well. The project meets this Standard.

**2. “The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.”**

**Analysis:** No historic massing or primary materials are proposed for removal; the forms and footprint of the historic property will be substantially preserved. The proposed new east-side addition maintains the spatial relationship of the house to its setting. Although there was historically a porch on the east side of the house, this had previously been altered, so there is no loss of historic materials how the addition is designed. The currently proposed project reintroduces a recessed porch to the house design, compatible yet differentiated as noted in the Standard 9 analysis.

The chimney is proposed for removal, but the consultants for this report do not identify it as a character-defining feature (See also Standards 5 and 9).

The removal of the non-historic east-side deck could be considered an improvement to the property with regard to the historic spatial composition of the former porch location, existing house footprint and form, and the immediate landscaped setting of the house.

3. **“Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other historic properties, will not be undertaken.”**

**Analysis:** There are no proposed changes are that might be mistaken for original features. The addition will have a roof form and foundation cladding that indicate the original footprint of the house, and the new addition will include windows that will be adequately differentiated (See also Standard 9).

4. **“Changes to a property that have acquired historic significance in their own right will be retained and preserved.”**

**Analysis:** It is understood that no elements of the property affected by the project have acquired historic significance in their own right. The project is compatible with this Standard.

5. **“Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.”**

**Analysis:** Distinctive features and finishes that identify the property are shown as preserved on the proposed drawings. From the list of character-defining features, the preserved elements include the following:

- *asymmetrical, compact plan with rectangular footprint*
- *shallow rake eaves with shingle frieze band*
- *hipped-roof belly band with flat soffit at south façade*
- *projecting second-floor gable on north elevation*
- *massive cobblestone support column at recessed front porch*
- *cobblestone curved perimeter wall at the porch*
- *original front door with high accent window with beveled diamond panes (“XX”), over a large flat panel; operable wood shutters flanking door*
- *shallow, semi-recessed angled bay window facing south, featuring cobblestone base raised to sill height, featuring three individually placed multi-lite/1 windows with “XX” muntins.*
- *multi-pane top sash, in the same “XX” pattern, over single-lite sash windows in pairs and individually at the first floor, and paired accent windows with the same multi-lite pattern facing west and south*
- *arched saw-tooth-shingle header trim over second-story windows, with lozenge upper sash at the second floor facing south and west*
- *arched saw-tooth-shingle header trim over attic vents*
- *square-cut shingle siding with no corner trim*
- *plain window and door surround trim*

The following character-defining features will be substantially preserved or partially preserved in keeping with the entire composition and building design significance. These altered or removed features include the following:

- *prominent gambrel roof with gabled-hip dormers*—One gabled hip is preserved as-is, and the other is partially preserved. It is expanded and altered into a larger gabled-hip roof per the analysis in Standard 9

- *low, cobblestone-clad foundation*-Cobblestone cladding is proposed to be removed and replaced after structural stabilization of the foundation
- *the 1/1 double-hung windows that face north and east provide consistency for the overall composition of the historic design, but these windows are not individual character-defining features*-Two of these 1/1 window units are proposed to be relocated; this is reviewed in Standard 9. Two windows are proposed to be removed and stored. These two windows are not identifiable as “distinctive materials, features, finishes, and construction techniques or examples of craftsmanship” individually. They are part of the overall composition. The overall composition that is proposed to remain after their removal will continue to be compatible with the historic proportions, materials, and other design forms, elements, and spatial characteristics of the house.

The chimney is proposed for removal, but the consultants for this report do not identify it as a character-defining feature (See also the introduction and Standards 2 and 9).

6. **“Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.”**

**Analysis:** The historic foundation is proposed to be replaced and/or repaired in this project. The concealed elements will be replaced with new concrete foundations that will seismically stabilize the historic house. The exterior stone will be removed and replaced to match. Photographic documentation of the stonework is included in the drawing set.

The house appears from observation and from the drawing set to be in reasonably good condition. Some deck boards are identified for replacement-in-kind. No other historic features are shown as requiring extensive repair. The project is in keeping with this Standard.

7. **“Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.”**

**Analysis:** No substantial chemical or physical treatments at the historic fabric of the property are shown as proposed in this project other than preparation for painting. The project is compatible with this Standard.

8. **“Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.”**

**Analysis:** Archeological resources are not evaluated in this report.



9. **“New additions, exterior alterations or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”**

**Analysis:** The proposed additions and alterations are compatible with the historic character of the house and will be differentiated by their detailing and forms.

The proposed right-side (east) addition and alterations are compatible in size, form, and materials, and differentiated in plan and massing. The footprint is set back from the south (Santa Clara Street) elevation, and the north wall opens into a recessed porch at the northeast corner of the house, allowing the historic main house to remain “readable” and predominant in the composition. In particular, the set-back addition allows the shallow bay window on the front (south) façade to remain prominent. The proposed recessed side/rear porch is in keeping with the main front porch that is also asymmetrical and recessed; however, the proposed new porch has wood guardrail elements and trim that would be differentiated from the historic stonework of the original front porch. The addition is stepped in form, reducing the visible massing and preserving the overall balance of the historic massing of the house. The proposed second-story roof design preserves the original gable end; the dormer will be differentiated from the historic house roof and original dormers by having a larger proportion of hip-to-gable but compatible in its gabled-hip form. Although the siding at the addition is proposed to match the historic siding, the pony wall will not be clad in stone, providing visual cues to the understanding of the addition, along with the roofline forms. The proposed new window/wall proportions are similar to the historic house. The new windows are of a similar size, shape, and operation to the historic windows. The proposed new units are simplified in their muntin design; the historic windows include diamond-shaped multi-lite upper sash, and the new windows will feature 1/1 units. The windows will also be differentiated by their modern manufacturing materials and operation. The proposed window and door trim is very similar to the original house trim, but subtly differentiated in size per the drawing notes.

The proposed rear (north) alterations that provide access, egress, light, and air to the proposed basement dwelling unit are also compatible and differentiated from the historic house. The placement of the access on the north elevation, a narrower setback with less street frontage, makes the changes inconspicuous. The new windows, as for the right-side addition, are proposed to be a similar size, shape, and operation to the historic windows, but differentiated by their simplified muntin design. The guardrails at the light wells are shown to have heavier outer posts and a slender baluster design; this is traditional in form and breaks up what might otherwise be a modern visual repetitiveness of the metal railing. The metal railing material is differentiated from the stone front porch wall and from the wood rear porch railing, and its proportions are compatible with the historic design.

The proposed relocation and removal of four windows appears compatible with the guidelines for this Standard. The relocation of the windows will be within the same elevations; the relocated second-story east windows will remain symmetrically placed, and in a wall that is identified as new by its roof form. The relocated window in the north wall retains a rhythm of wall-to-window in a wall where the windows were relatively large wall segments between them. The removal of two windows is reviewed in Standards 5.



The removal of the chimney is reviewed in the introduction to this report, as well reviewed using Standards 2 and 5.

10. **“New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”**

**Analysis:** The proposed design would preserve the essential form and integrity of the historic property. The critical character-defining features of the main house would be unimpaired in this project, and the proposed east-side wing and basement alterations could be removed in the future without impact to the significance of the property.

## CONCLUSION

The proposed rehabilitation project meets the *Secretary of the Interior's Standards for Rehabilitation*.

The historic resource would retain its integrity of historic location at the corner of Madison and Santa Clara Street, its integrity of historic setting in the Old Quad neighborhood and with compatible landscaping setbacks, its integrity of historic materials, , and design, and the house would retain the feeling of an early-nineteenth-century Shingle-style single-family residence, and would preserve the associations of the house with the design of the Old Quad neighborhood, and associations with the original architectural design. It would lose some historic integrity of artisanship where the stone is required to be removed and reinstalled; however, the structural condition warrants an approach that will preserve the materials and replicate the original installation work. The impacts would be mitigated to a “less than significant” level, and the project can be found in conformance with the intent of the proposed Mills Act contract for the exterior of the historic residence.

<b>State of California — The Resources Agency</b> <b>DEPARTMENT OF PARKS AND RECREATION</b> <b>PRIMARY RECORD</b>	Primary# _____
	HRI# _____
	Trinomial _____
	<b>NRHP Status Code</b> _____
Other Listings Review Code _____	Reviewer _____
	Date _____

Page 1 of 21 \*Resource Name or #: (Assigned by recorder) *Harriet B. Roberts Residence*

P1. Other Identifier: *1393 Santa Clara St., Santa Clara, CA.*

\*P2. Location:  Not for Publication  Unrestricted \*a. County *Santa Clara*

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad *San Jose West* Date *1980 photo revised* T *7S*; R *1W*; unsectioned; *Mt. Diablo* B.M.

c. Address *1393 Santa Clara Street* City *Santa Clara* Zip *95050*

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

*Assessor's Parcel Number: 269-26-112*

*North side of Santa Clara Street between Madison and Monroe Streets*

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

*The subject property at 1393 Santa Clara Street is located in the urban setting of a block of houses with tree lined streets that was primarily developed in the last decade of the nineteenth century and first decade of the twentieth century. The lots are similar in scale ranging from 142' to 147' deep and from 50' to 55' wide. An alley running from north to south divides the block and provides access to the rear of the individual properties. The homes are setback from the street with urban sized front yards. Currently, the majority of the homes on the block are listed on the City's Inventory of Architecturally or Historically Significant properties and like the neighboring blocks, the streetscape is a pleasant one which evokes the sense of an early Santa Clara neighborhood.*

(Continued on page 2, form 523L)

\*P3b. Resource Attributes: (List attributes and codes) *HP2 Single – Family Property*

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



\*P5b. Description of Photo: (view, date, accession #)

*Front façade (view toward Northeast) Photo No: 100\_2333, 05/2018*

\*P6. Date Constructed/Age and Source:

Historic  Prehistoric  Both  
*ca, 1904*

*Assessor's Records, City Directories, Sanborn Maps,*

\*P7. Owner and Address:

*Lauren Wendland and Seif Mazareeb  
1393 Santa Clara Street  
Santa Clara, CA 95050*

\*P8. Recorded by: (Name, affiliation, and address)

*Lorie Garcia  
Beyond Buildings  
P.O. Box 121  
Santa Clara, California 95052*

\*P9. Date Recorded: *June 25, 2018*

\*P10. Survey Type: (Describe) *Intensive*

\*P11. Report Citation: (Cite survey report and

other sources, or enter "none.") *Historic Resources Inventory Form "1393 Santa Clara St.," dated Nov. 17, 1980.*

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



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\*Date 06/25/2018

Continuation  Update

(Continued from page 1, Form 523A, P3a. Description)

The primary building on the site is a 2,488 sq. ft., one and one-half story house, constructed circa 1904 and designed in a local interpretation of the Shingle architectural style, an unusual style in Santa Clara. Situated on a large, 55' x 142,' 7,792 sq. ft. lot at the corner of Santa Clara and Madison Streets, the house fronts roughly west onto Madison Street and is set back from both streets, allowing for a surrounding open cultivated area with lawn and mature shrubbery on the west and south sides of the property. A wide, straight, concrete walkway with a single step near the sidewalk, leads from the Santa Clara Street sidewalk to the front (main) entry, which also faces Santa Clara Street. Very large street trees shade both street sides of the property. A wood grape-stake fence running between the rear of the house's south side-elevation and the south side property line, secures entry to the rear yard and the rear of the house from Santa Clara street. Another grape-stake fence situated along the north-side property line secures the rear yard from Madison Street and separates the rear yard of this home from that of the neighboring property. Similar fencing defines rear yard areas. The large rear yard includes, open area, planting beds and a detached, gambrel roofed, 2-car garage with office space (new). Constructed circa 1980, replacing the original driveway that opened onto Santa Clara Street, a short concrete driveway that opens on to the alley leads to the garage.

This wooden, single family residence was designed in a asymmetrical plan with a rectangular footprint, both the shape and form of a Shingle style home. It is set on a brick foundation over a partial basement, which elevates the living area approximately 2 and one-half feet above the ground. It has a prominent gambrel roof (one of the Shingle style five principle sub-types) that is punctuated by hipped roof, wide, projecting gabled dormers. As is characteristic of this architectural style, the eaves are set close to the wall, so as not to distract from the shingle wall covering. A double row of shingles finishes the ends of the eaves. The gambrel roof is belled at the bottom and overhangs the first story of the house helping to unify its irregular outline. The hipped roof dormers have moderately wide, enclosed eaves. The roof is sheathed with composition shingles. A brick fireplace chimney projects through the roof. The rear facade is punctuated by a hipped roof one-story, enclosed, rear porch.

Typically, a Shingle style house spread low against the ground often resting on a heavy stone foundation, which helped emphasize its strong low, horizontal continuity. This house uses cobblestone sheathing over its brick foundation to give the appearance of that Shingle style characteristic. The use of cobblestones became a typical Shingle style embellishment and the home at 1393 Santa Clara Street exhibits this embellishment in its use of cobblestones to sheathe the south side bay from the ground up to the bay's windows and the use of cobblestones to sheathe the low, curved perimeter wall of the main entry porch along with most of the porch's thick support column located at the open end of the porch.

**Supplemental Photograph or Drawing**



Porches in Shingle houses were integrated fully into the overall design rather than built as separate attachments. The front porch of this house was designed in this manner, absorbed into the body of the house with only its curved perimeter wall projecting from the structure.

The main entry is on the front (west) façade and is accessed by 4 wide, wood steps that lead from the walkway from Santa Clara Street to the wood porch. The front door is set into the closed end of the porch and faces Santa Clara Street. The wooden door has a small, rectangular, vertically orientated, clear glass window, comprised of

(Continued on page 3, Form 523L)

**Description of Photo:** (view, date, accession #)  
(Camera pointing NNW) South side-elevation and partial front facade, showing Santa Clara Street entryway. Photo No: 100\_2352; 5/2018.

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Recorded by: Lorie Garcia

\*Date 06/25/2018

Continuation  Update

(Continued from page 2, Form 523L)

*beveled glass panes set in a diamond pattern, which is set over a large, rectangular, horizontally orientated wood panel. Wide wooden molding with a plain narrow trim surrounds the entry door. The door is flanked by a set of narrow, full-height, wooden shutters. A secondary entry on the rear (east) facade elevation is accessed by 4 wooden steps leading to an open wood deck with simple wood railings (new). The rear entry door is set flush with the house. At the rear of the house, towards the adjacent property to the north, is the external entry to the basement. A simple, wooden, shed-style double door provides access to the basement entry steps.*

*Other character-defining features of this home include its windows, which are mainly typical Shingle style where multi-pane top sashes, sometimes with diamond panes, and one-over-one sash windows are common. Fenestration of the first and second stories is rectangular in form, vertically oriented, 1-over-1, double-hung wooden windows both paired and single with a small pair of casement windows set into the first story front facade. Distinctive diamond shaped panes with crossed muntins decorate the pair of casement windows, the upper sashes of the large window on the first story of the front facade and the first story windows of the south side-elevation along with those of the south side bay. Decorative latticed muntins enhance the beveled glass panes of the upper sashes of the second story windows on the front facade and south side-elevation of the home. All of the windows have a projecting sill, and some have an apron. All are surrounded by wide wood frames enhanced with a plain narrow trim and all of the windows appear to be original.*

*The second story windows are further enhanced by a row of shingles that curve over the top of the window trim on the front facade and both side elevations. Shingle style homes were an experiment in throwing off rigid stylistic rules of earlier architectural styles and rather than employing metal flashing above the window head trim to prevent water from getting behind the thick wood trim, as had been used previously, the Shingle style designers employed a row of shingles to simply curve out above the window head to shield the top trim from rain.*

*On the north side-elevation these shingles are plain. However, the row of shingles over the windows of the street-side elevations (west and south) have fancy saw-tooth ends, resulting in a more decorative effect. A similar shingle row curves over each rectangular wooden attic vent, set near the top of each side-elevation. Curved shingle trim is clearly a character-defining feature of this house.*

*The rear of the property has been altered with the 1980s demolition of the original detached garage and subsequent construction of a new detached garage with office space and driveway relocation. However, the home is in excellent condition and, with the exception of the circa 1970 addition of a contemporary raised rear deck and subsequent alteration of the rear entry steps, appears to have had minimal to no external alteration since its construction circa 1904.*

State of California c The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HRI #
<b>BUILDING, STRUCTURE, AND OBJECT RECORD</b>	

\*NRHP Status Code *N/A*

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\*Resource Name or # (Assigned by recorder) *Harriet B. Roberts Residence*

- B1. Historic Name:** *None*  
**B2. Common Name:** *None*  
**B3. Original Use:** *Single family residential*      **B4. Present Use:** *Single family residential*

\*B5. Architectural Style: *Shingle*

\*B6. Construction History: (Construction date, alterations, and date of alterations)

*The residence was constructed circa 1904. Steps to rear porch entry modified with addition of rear deck in the 1970s. In the 1980s, the original, circa 1915, small garage was demolished, a new 2-car garage with office space constructed and the original driveway, which had opened onto Santa Clara Street, removed and access to new garage altered to new driveway from the alley.*

\*B7. Moved?  No    Yes    Unknown   Date: \_\_\_\_\_   Original Location: \_\_\_\_\_

\*B8. Related Features:

*None known.*

**B9a. Architect:** *Not known*

**b. Builder:** *not known - possibly "Morrison Bros. Contractors and Builders"*

\*B10. Significance: Theme *Architecture and Shelter*      Area *Santa Clara Old Quad*  
 Period of Significance *1904-1919*      Property Type *Residential*      Applicable Criteria *none*  
 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

*The parcel located at 1393 Santa Clara Street is a portion of a larger parcel that had originally been identified as Lot 1, Block 3 South, Range 4 West, of the original survey of the City of Santa Clara. This survey was done July 1866 by J. J. Bowen and recorded on August 22 of that same year. (It is this survey that forms the basis for the part of Santa Clara known as the "Old Quad.")*

*As shown in J. J. Bowen's survey, Lot 1 encompassed the entire block framed by Santa Clara, Madison, Lexington and Monroe Streets. According to the list of property owners and their improvements, which accompanied the 1866 survey, Lot 1 was a 91652 sq. ft. tract that contained a frame house and barn.. The owner of that lot was shown to be John L. Smith. Originally from Ireland, he was a farmer and the 1852 State Census shows that he had arrived in Santa Clara County prior to that year. When The Plat of Santa Clara was drawn in the period between 1873 and 1875, it showed no change in the configuration of the block that had been surveyed nine years earlier but the ownership of the block had changed to J. L. Smith and Brother. Circa 1880, Melville S. Bowdish purchased the block from the Smith brothers.*

*Born in New York, 40 year-old Melvin Sherwood Bowdish arrived in Santa Clara with his wife Eleanor Josephine Bowdish (nee Gould),*

(Continued on page 5, Form 523L)

**B11. Additional Resource Attributes:** (List attributes and codes) *HP2 – Single Family Property*

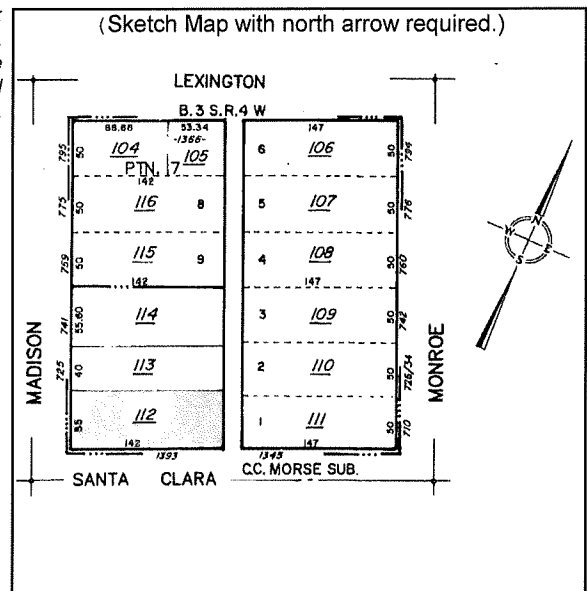
\*B12. References: *Garcia, Lorie, "Santa Clara: From Mission to Municipality," 1997; Map of the Town of Santa Clara, drawn by C. E. Moore, 1893; McAlester, Virginia & Lee, "A Field Guide to American Houses," 1991; Polk and Husted City Directories, 1906-1974; Sanborn Fire Insurance Maps, 1891, 1901, 1915, 1930, 1950; Santa Clara High School Records, 1904-1905; Santa Clara Commercial League, "Progressive Santa Clara," 1904; Sue Harper of 725 Madison Street, "Oral Interview," June 2018; Scully, Vincent Jr., "The Shingle Style and the Stick Style: Architectural Theory and Design from Downing to the Origins of Wright," Revised ed., 1971; The Evening News, 06/19/1902; United States Census: 1870, 1880, 1900, 1910, 1920, 1930, 1940.*

**B13. Remarks:**

\*B14. Evaluator: *Lorie Garcia*

\*Date of Evaluation: *June 25, 2018*

(This space reserved for official comments.)



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\*Recorded by: Lorie Garcia

\*Date 06/25/2018

Continuation  Update

(Continued from page 4, Form 523B, B10. Significance)

*in the mid-1870s. A "traveling agent" by profession, he was a wealthy man and soon acquired substantial property holdings in both Santa Clara and the Redwood (today's Los Gatos) area. In Santa Clara M. S. Bowdish and his wife resided in the dwelling listed in the 1866 survey, on Lot 1, Block 3 South, Range 4 West. Here, in 1877, their first child, a daughter Mary, was born, followed in 1880 by a son, Arthur.*

*The last two decades of the nineteenth Century brought a period of growth to Santa Clara that resulted in the expansion of residential development. As shown on the 1891 Sanborn Fire Insurance map, by now M. S. Bowdish had divided Block 3 South, Range 4 West into four parcels with his dwelling located on the parcel at the block's southwest corner (Madison and Santa Clara Streets) and a dwelling on the block's southeast (Monroe and Santa Clara Streets) corner. Both dwellings fronted on Santa Clara Street.*

*The December 1893 Map of the Town of Santa Clara drawn by C. E. Moore, the official Santa Clara Surveyor, illustrates that during the previous two years, Melville S. Bowdish had sold three of his B3S, R4W, Lot 1 parcels to Charles Copeland Morse, who had platted them into nine residential lots (The C.C. Morse Subdivision) with a 16' wide service alley that opened onto Santa Clara and Lexington Streets, planned through the center of the block. Of the three individual C. E. Morse Subdivision residential lots fronting onto Madison Street, (lots 7, 8 and 9), by 1893, Margaret (Rettie) Miller owned lot 8 and C. C. Morse owned lots 7 and 9.*

*Also, the 1893 Map shows that Melville S. Bowdish maintained ownership of the southwest quarter of B3S, R4W however, it had now been platted into a three-lot parcel. This parcel is where he had the residence that faced Santa Clara Street, a tank house, a water well and a barn. The lot platted at the corner of Madison and Santa Clara Streets in M. S. Bowdish's three-lot parcel, is the lot where the subject property, 1393 Santa Clara Street, would later be constructed.*

*Due to the work of entities like the Santa Clara Commercial League, which promoted the area's beautiful climate and the opportunities to be found, at the turn of the 20<sup>th</sup> century more and more people were attracted to the region. In the Town of Santa Clara, agricultural production expanded and manufacturing enterprises began to grow. The township's 3,650 residents in 1900 would increase to 4,348 by the end of the first decade.*

*This rise in the population of Santa Clara would result in an even greater building boom than before. The 1901 Sanborn Fire Insurance map shows that by then only five houses were located on the entire block and, of these, only 775 Madison Street had been constructed fronting on Madison Street. On the Monroe Street block face an earlier dwelling located near the block's southeast corner, facing Santa Clara Street, had been removed and three new dwellings fronting on Monroe Street had been erected. The alley planned to run between Santa Clara and Lexington Streets was still not in existence.*

*During the late 1890s, the Bowdish's appear to have moved to the Redwood property where Melville Sherwood Bowdish had established a successful fruit farm and where he was fully engaged in expanding his "Dashaway Stables. Shortly after the turn-of-the-century, the house, tank house and barn, which are shown on the 1901 Sanborn Fire Insurance map, were demolished and he began selling his Block 3 South, Range 4 West, property*

*According to the City Directories, by 1907, four additional residences had been constructed on B3S, R4W's Madison Street block face lots; the dwelling at 759 Madison, which was built on a C. C. Morse Subdivision lot (lot 9) and the homes at 725, 741, Madison Street and 1393 Santa Clara Street constructed on the three "Bowdish" lots.*

*The site at 1393 Santa Clara Street appears to have been sold circa 1903 and the home most likely constructed by mid-1904 and occupied by Harriet B. Roberts, the widow of Samuel Edward Roberts, Santa Clara High School records list her younger son Frank H. Roberts, at that time a senior, living at this address.*

*The architect and builder have not been identified, however, there is a strong possibility that the home was constructed by Morrison Bros. Owned by John C., Kenneth and Angus Morrison, as described in the 1904 publication, "Progressive Santa Clara," Morrison Bros., Contractors and Builders were "among the leading and most prominent contractors and builders" in the area. They had recently constructed (1903) "twin" homes for family members at 811 and 823 Monroe Street, both in the same architectural style as that of 1393 Santa Clara Street, and Angus Morrison, himself, lived at 726 Monroe Street (the C. C. Morse Subdivision Lot 2), almost directly*

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*behind this dwelling.*

*The first owner of the subject residence, Harriet B. Roberts, was born in Pennsylvania in January 1859 and in 1878 married 20 year-old, Samuel Edward Roberts, who was also a native of Pennsylvania. Following their marriage, the couple lived with his family, on his father's large farm in Sandy Lake, Mercer County, Pennsylvania. In 1887, Harriet, Samuel and their two young sons, William E., age 7, and 1 year-old Frank H., came to Santa Clara, where they settled on a fruit farm on Stevens Creek that was owned by Evan Petite an orchardist who was also from Pennsylvania. Once here, Samuel E. Roberts went to work as a carpenter.*

*Harriet and Samuel were members of the Methodist Episcopal Church and regularly attended the church on the corner of Liberty (Homestead) and Main Streets in Santa Clara. When tragically, Samuel E. Roberts passed away on June 18, 1902, only 44 years old, newspaper coverage of his death referred to him as "well known and greatly respected throughout the valley." Funeral services were held first at their Stevens Creek home and then at the Santa Clara M. E. church, from which he was buried in the Town cemetery. After her husband passed away, Harriet and her youngest son, Frank, left the home on Stevens Creek and moved into the Town of Santa Clara to their new dwelling at 1393 Santa Clara Stara Street. By now in his early twenties, Harriet's oldest son, William, was no longer living at home and like his father, was employed in the house building trade.*

*As previously mentioned, Santa Clara High School records list Frank Roberts at this address during the 1904-05 school year and the first appearance of this address is in the Polk and Husted City Directories in 1906. It shows Harriet Roberts as owning and residing at 1393 Santa Clara Street. The first time the address appears in the United States Census is 1910 and when it was taken on April 22nd of that year, it listed Harriet B. Roberts as owning the house "free and clear" and living here with her son, Frank. After his graduation from Santa Clara High School in June, 1905, Frank H. Roberts had attended the College of the Pacific and by 1910 was employed as a "paying" teller in a Bank. William was now married, lived in San Jose, and continued to work as a contractor in the house construction business.*

*A 1910-1911 photograph shows the residence at 1393 Santa Clara Street virtually the same as it appears today and the outline of the house in its current configuration is first shown on the 1915 Sanborn Fire Insurance map. Also this Sanborn map shows that the block's twelve residential lots had by now been fully developed and the alley between Santa Clara and Lexington Streets had been constructed.*

*Harriet B. Roberts appears to have resided here until the end of the decade, when both she and her son, Frank, disappear from official records. By now, William Roberts was living with his wife and children in Modesto, California, where he was self-employed as a designer and builder of dwellings. The last known record for any member of the Roberts family is that for Harriet's son, William E. Roberts, who passed away on September 10, 1928 when he was only 48 and was buried next to his father, Samuel, in the Santa Clara City Cemetery.*

*During the 1920s, the home appears to have been used as a rental property, with a series of short term renters. In 1919, Marcus Soll rented the home and the 1920 Census lists the residence at 1393 Santa Clara Street as rented and occupied by 49 year-old Richard Billisu, his wife, Leona, and their three daughters, Juliette, Louise and Edith. Richard was not employed but his 24 year-old daughter, Juliette, was employed as a student nurse in a hospital. From 1922-1924, John E. Freeman, a retired farmer, occupied the home and by 1926, it had been rented by Carl W. Smith. A Cabinet Maker, Carl Smith was employed at the Pacific Manufacturing Company and lived here with his wife, Belva, his son, Merle and his son's wife, Ruth. Merle was a Salesman of Musical Instruments. The residence was vacant for a portion of 1928 then rented by Charles C. Jaques and his wife, Sarah. In 1929, Frederick W. Fronicke and his wife, Nora M., moved into the home. Employed as a cannery worker at the Pratt-Low Cannery, Fronicke also rented the home for a year.*

*The 1930 Census, taken on April 15th, shows that the home at 1393 Santa Clara Street was now rented for \$25/month by 38 year-old, Benjamin A. Capp. Employed as an electrician for a refrigeration company, he had moved here from Glenwood, California where he had worked for the Railroad as a railroad maintenance man. Ben Capp was married to 32 year-old Saleta and they lived here with their three children, 13 year-old Ben, 9 year old Patsy and 3 year-old, Jocelyn. The Capps also had two children boarding with them, 10 year old, Margret Mackey and her sister, Laural Mackey, age 7. The Capp Family were be the last renters to occupy the home and would live here until 1932, when the residence was purchased by Frederick Keip.*

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*When Frederick Keip moved into the subject residence he was 53 years old and married to Margaret Keip, who was 49. Frederick and Margaret had raised three daughters, who by now were no longer living at home. Frederick Keip was a native of Ohio and for decades had been employed as an automobile salesman, living and working in Ohio and Manhattan, New York City. Prior to moving to Santa Clara, Frederick worked in San Francisco where the Keips lived in an upscale apartment that rented for \$85/month. When Margaret and Frederick moved into 1393 Santa Clara Street, he was no longer an automobile salesman but had become District Manager for an Oil Company. Frederick Keip was a financially stable man. According to the 1940 Census he had earned \$3,300 the previous year and owned the house, valued at \$7,500, with no mortgage. The Keips would own the house until its purchase by Louis and Marie Bini in the mid-1960s.*

*Born in California in 1926 to Italian immigrant parents, Louis Bini had grown up in San Jose, become a civil engineer by profession and the owner of Louis M. Bini Associates. Louis and Marie moved into the residence and here they raised their five children, Sue, Adrienne, Tosca, Bob and Michael. For 50+ years Louis and Marie Bini lived at 1393 Santa Clara Street. In 2018, now elderly, the Binis moved to Grass Valley. In April of that year, they sold the subject property to the current owners, Lauren Wendland and Seif Mazareeb, who moved into 1393 Santa Clara Street in May.*

#### Historic Evaluation

In order to be considered historically or culturally significant, a property must satisfy certain requirements. It must be 50 years old or older (except in cases of exceptional significance); it must retain historic integrity; it must meet one or more of the National Register of Historic Places criteria for significance, and/or the California Register of Historic Resources criteria for significance, and/or the criteria for listing in a local historic resource inventory.

##### Age Requirement.

*Constructed circa 1904, the subject residence at 1393 Santa Clara Street is over 50 years old and thus meets the age requirement.*

##### Integrity Requirement.

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register of Historic Places criteria recognize seven aspects to integrity. These are location, design, setting, materials, workmanship, feeling and association. To retain historic integrity, a property will always possess several and usually most of these aspects. Both the California Register of Historic Resources and the City of Santa Clara Criteria for Local Significance follow the National Register integrity criteria.

*The property at 1393 Santa Clara Street has been beautifully maintained and the architectural integrity of the structure has not been diminished. There has been only minimal alteration to the home's exterior since it was constructed and all the visual and character defining features of the historic building have been preserved and retained. The residence retains its original configuration and location. The historical use of the building has not changed and it remains a single family home. The subject property is set within a historic residential setting in the area of Santa Clara known as the "Old Quad," and the immediate surroundings retain the majority of the qualities that reflect the period in which it was constructed.*

*The subject property retains enough of its historic character and appearance to be recognizable as a historic property and to convey the reason for its significance (integrity).*

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National Register of Historic Places Criteria

*There are not any events associated with the residence at 1393 Santa Clara Street which have made a significant contribution to the broad patterns of history or cultural heritage. It would therefore appear that the building would not be eligible for the National Register of Historic Places based on Criterion A (associated with events that have made a significant contribution to the broad patterns of our history). The building has had 4 sets of owners over the 110+ years of its existence and none appear to reach the level of significant influence required under Criterion B to be considered eligible for the National Register. Neither do any of the other occupants appear to be significant to the history of the region, Nation or State of California. It would therefore appear that the building at 1393 Santa Clara Street would not be eligible for the National Register based on Criterion B (associated with the lives of persons significant in our past). However, as a fine example of the Shingle architectural style that was constructed circa 1904, under National Register Criterion C the residence at 1393 Santa Clara Street does "embody the distinctive characteristics of a type, period, or method of construction" and "represent[s] a significant and distinguishable entity whose components may lack individual distinction" and does contribute to a potentially eligible Historic District. Therefore, it does appear that the building may be eligible for the National Register of Historic Places under Criterion C.*

California Register of Historic Resources Criteria

*The Criteria for listing in the California Register of Historical Places are consistent with those for listing in the National Register. However, they have been modified to better reflect the history of California at both a local and State level. Criterion 1 is the California Register equivalent of the National Register Criterion A (events) and California Register Criterion 2, the equivalent of National Register Criterion B (persons). The property at 1393 Santa Clara Street does not appear to be eligible for the California Register based on Criterion 1, or Criterion 2. Criterion 3 addresses the distinctive characteristics of a type, period, region, or method of construction. Characterized by the use of simple lines, broad gables, gentle curves, and rustic materials in reaction against the excessive decoration of the Queen Anne style, the Shingle style was a transitional style for domestic building from 1880-1910. Constructed circa 1904, the subject building is a fine example of the Shingle architectural style. The property remains as designed with only a minimal modification at the rear and the integrity of the residence is intact. Thus it appears to reach the level of significance necessary to be eligible individually for the California Register under Criterion 3.*

City of Santa Clara Criteria for Local Significance

In 2004, The City of Santa Clara adopted Criteria for Local Significance. Under these criteria, "any building, site, or property in the city that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archaeological significance is potentially eligible," to be a "Qualified Historic Resource." The evaluator finds that the property meets the following criteria:

**Criteria for Historically or Cultural Significance:**

To be Historically or culturally significant a property must meet at least one of the following criterion:

1. The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state or nation.

*Prominently located on a corner lot, this building was among the first constructed on its block's newly developed residential lots. While it is not associated with a historical event or important individual or group, it does have a direct association with the broad patterns of Santa Clara history. It has interest, integrity and character and reflects the type of substantial homes built in Santa Clara in the last part of the 19th Century and first part of the 20th Century for owners who were people of means with a solid center and traditional values.*

The subject property does meet Criterion 1 for Historically or Cultural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet the remaining Criteria for Historically or Cultural Significance.

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**Criteria for Architectural Significance:**

To be architecturally significant a property must meet at least one of the following criterion:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.

*The residence at 1393 Santa Clara Street was designed and constructed circa 1904 in a local adaptation of a Shingle home, an architectural style associated with a particular era. Shingle Style, which was named by architect Vincent Scully in the 1950s, was a transitional style that occupied a period from around 1880 to 1910. It began in New England and then spread west, to the mid-Atlantic, Chicago and finally, by the late 1890s, to the west coast. A highly interpretive and imaginative "cottage" style, the Shingle architectural style has variously been described as "the first modern American house style," "the first wave of the Colonial Revival," and "a subset of the Queen Anne Revival."*

3. The property is architecturally unique or innovative.

*Although not innovative, the Shingle architectural style is sufficiently unusual that, absent many more Shingle style houses being found, it is a very unusual style within the City of Santa Clara. Thus the residence at 1393 Santa Clara Street meets this criterion.*

5. The property has a visual symbolic meaning or appeal for the community

*Prominently located on a corner lot, this stately house with its gambrel roof provides a strong symbolic and visual appeal for Santa Clara as an rare example of a Shingle style residence.*

7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

*Except for the slight alteration to the rear entry stairs, the exterior of the residence at 1393 Santa Clara Street has been unmodified since its construction circa 1904 and the building displays the simple lines, broad gables, gentle curves, and rustic materials that characterize the Shingle architectural style. In particular, character defining features displayed by the home include, but are not limited to, its near uniform sheath of wooden shingles on the second story; its prominent gambrel roof, broken by front and rear facing hip roofed, gabled dormers and eaves close to the wall so as not to distract from the shingle wall covering; its rectangular footprint; its asymmetrical facade; its prominent, curved front porch; its use of stone (cobblestone) on the foundation, porch and supporting porch column; its wood framed, double-hung windows with diamond shaped panes; its use of a decorative curving row of shingles over window frame tops.*

The subject property does meet Criteria for Architectural Significance 1, 3, 5 and 7 of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Architectural Significance 2, 4 or 6.

**Criteria for Geographic Significance:**

To be geographically significant a property must meet at least one of the following criterion:

1. A neighborhood, group or unique area directly associated with broad patterns of local area history.

*The subject property is located within the area of Santa Clara known as the "Old Quad" neighborhood, the area that reflects the history of the city's early development. Due to neighborhood's proximity to the Town's business district, as the block of the "Old Quad" in which the Harriet B. Roberts residence is located was subdivided and developed into residential lots during the late 19th and early 20th Century, the new homes constructed on the new lots tended to be substantial dwellings, such that at 1393 Santa Clara Street, and also tended to be owned by members of the business and professional community. These historic residential properties contribute to the historic setting that reflects the neighborhood's role in the broad patterns of Santa Clara's early development.*

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2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.

*The majority of the existing residential structures on the block lying between Lexington, Monroe, Santa Clara and Madison Street, identified as Block 3 South, Range 4 West, were constructed between 1894 and 1910 and maintain their original configuration and integrity from the time of their construction,. Currently most of these homes are listed on the City of Santa Clara's Historically and/or Architecturally Significant Property List. One of these is the subject property at 1393 Santa Clara Street,. Due to the fact that no significant changes to either the residence of lot configuration have occurred since its construction in 1904, this residence's architectural style, form and massing and character-defining details are all compatible with the neighboring and nearby historic homes in this area of the "Old Quad." The corner location of the historic residence at 1393 Santa Clara Street results in a highly visual contribution to the neighboring homes.*

The subject property does meet Criteria for Geographic Significance 1 and 2, of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Geographic Significance 3 or 4.

**Criteria for Archaeological Significance:**

As the property at 1393 Santa Clara Street contains no known or unknown prehistoric or historic archaeological resources, it would not be Archaeologically Significant under any of the five of the City of Santa Clara's Criteria for Archaeological Resources. However, should any prehistoric or historic archaeological resources be uncovered in the future, this would be subject to change.

**Conclusions and Recommendations**

Currently, this property is on The City of Santa Clara Architecturally or Historically Significant Properties list. In this update of the November 17, 1980 Historic Resources Inventory for the City of Santa Clara, the evaluator finds 1393 Santa Clara Street to be a distinguished example of the Shingle architectural style and, as it has undergone only minimal alteration since the time of its construction, to retain sufficient integrity to qualify as a historic property. It appears to continue to be, based on compliance with the National Register of Historic Places Criteria, the California Register of Historic Resources Criteria and the City of Santa Clara's Local Significance Criteria, eligible for listing on the City of Santa Clara Architecturally or Historically Significant Properties List.

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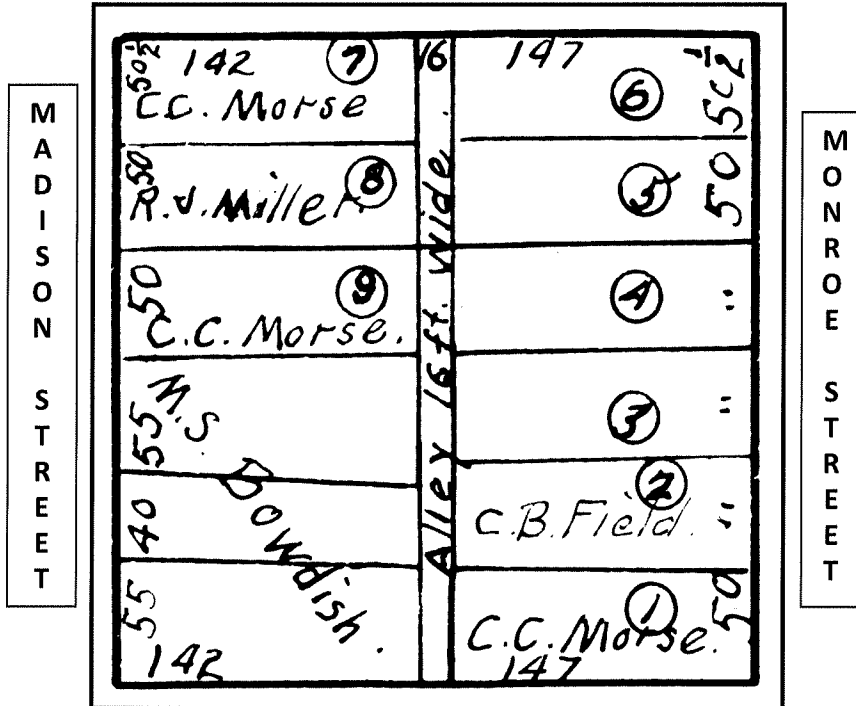
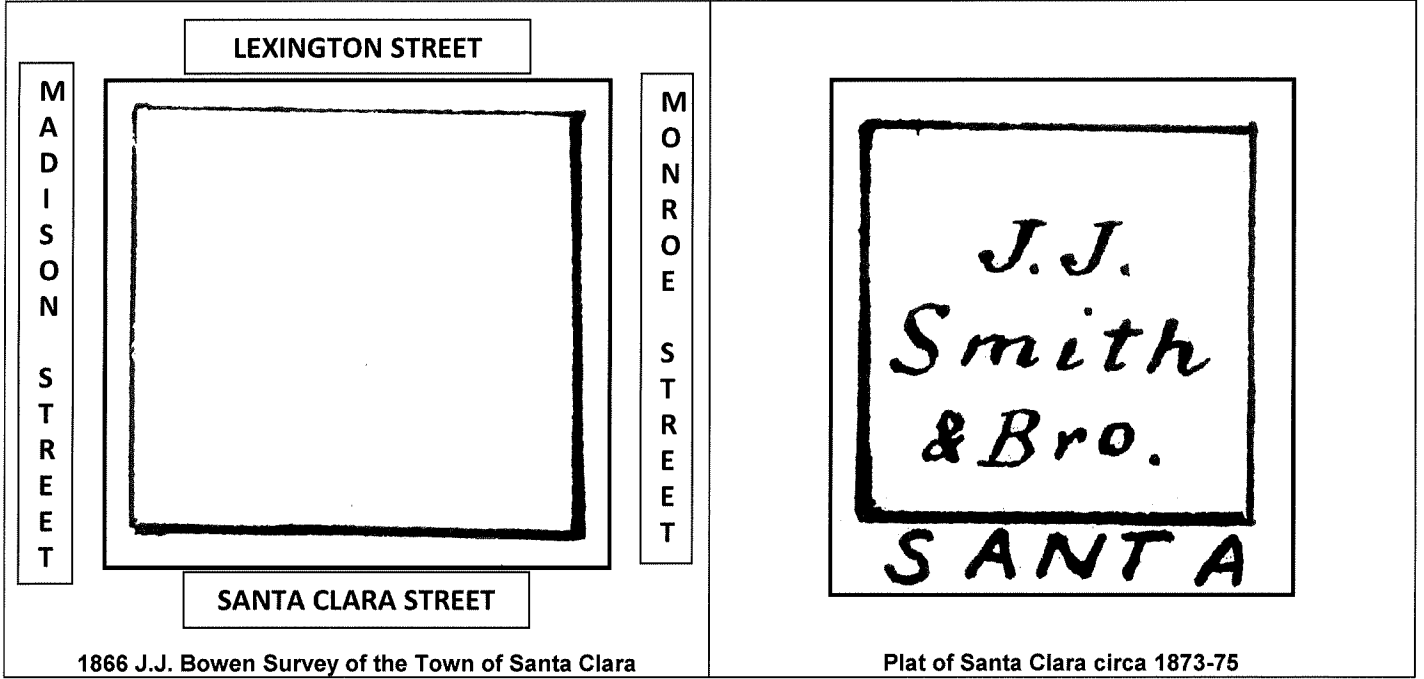
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HISTORIC MAPS



1893 C.E. Moore Map of the Town of Santa Clara

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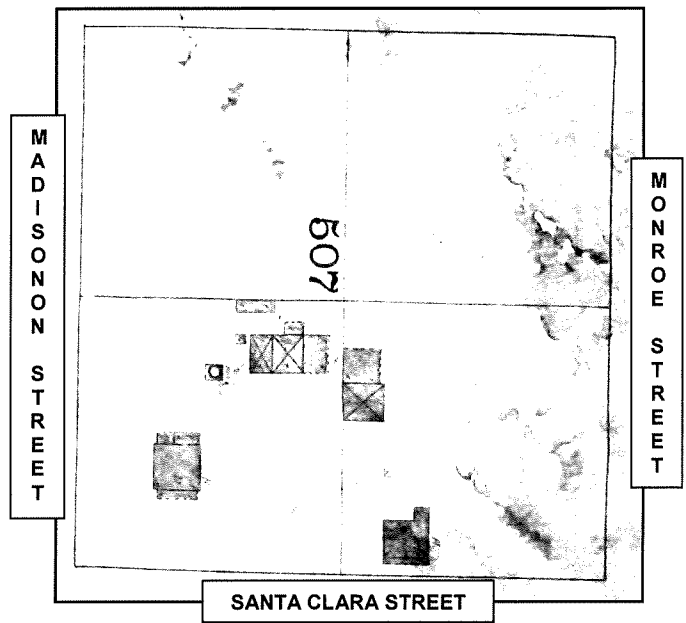
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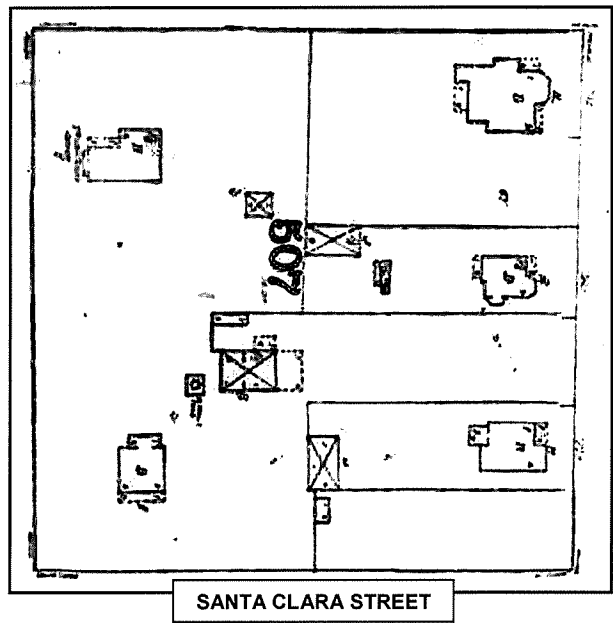
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**SANBORN FIRE INSURANCE MAPS**

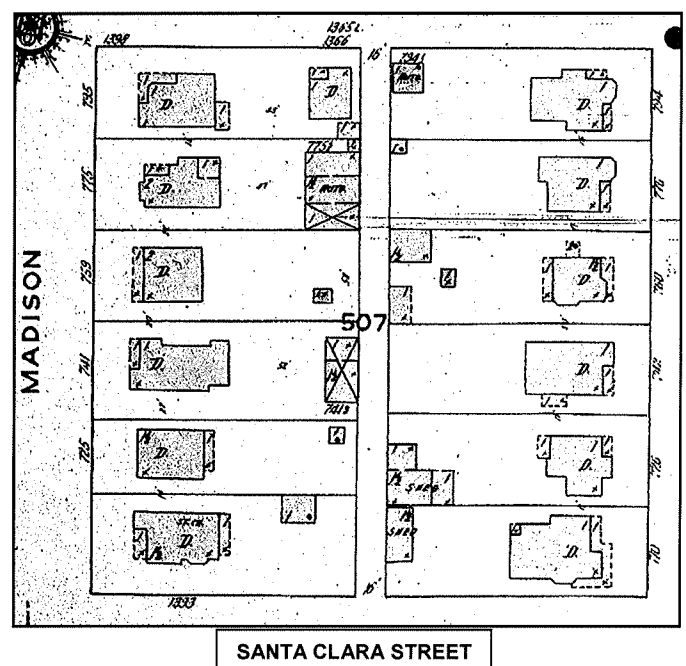
**1891 SANBORN MAP**



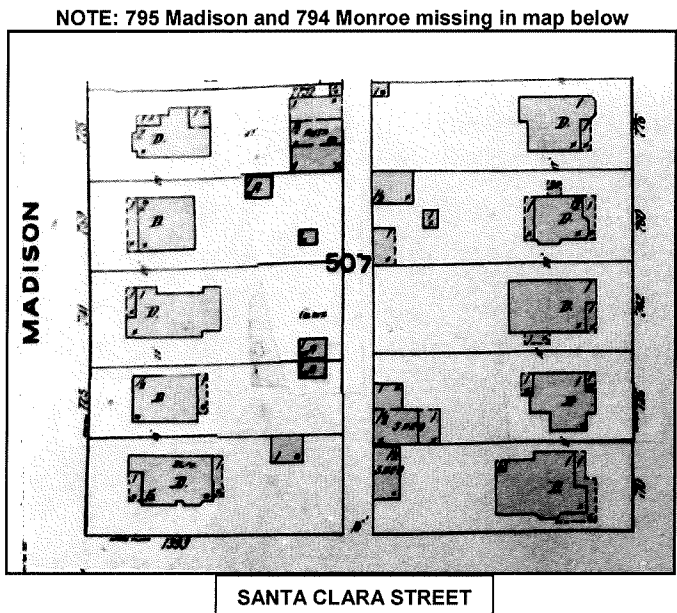
**1901 SANBORN MAP**



**1915 SANBORN MAP**



**1930 SANBORN MAP**



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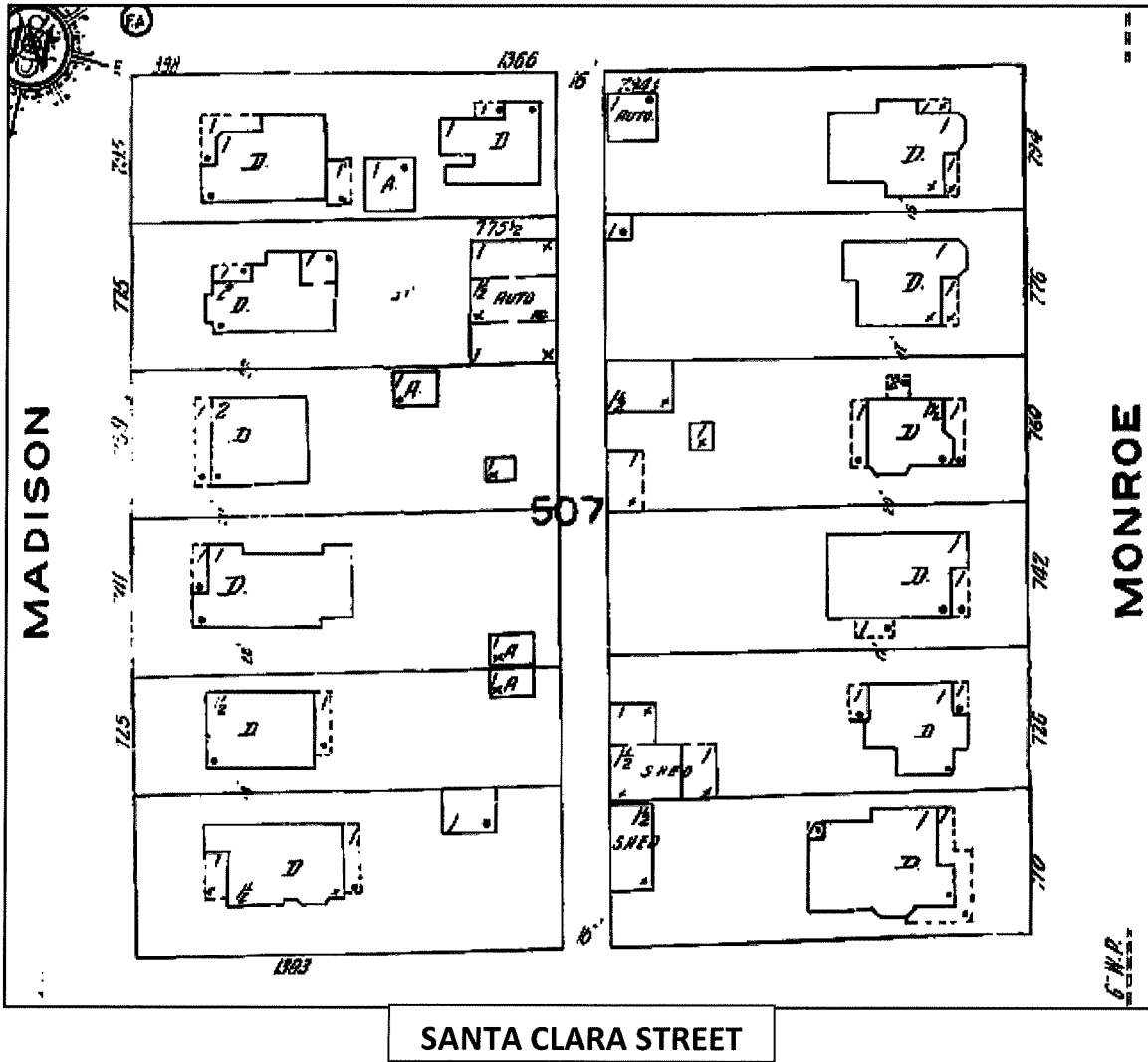
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SANBORN FIRE INSURANCE MAPS

1950 SANBORN





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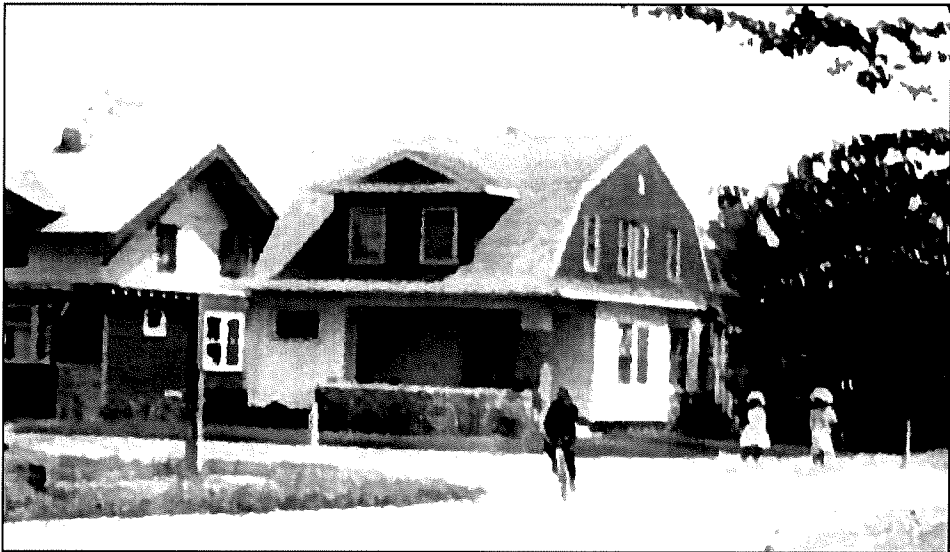
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**HISTORIC PHOTOS**

Mrs. Carmelita Emig is photographed in front of her home at 1460 Santa Clara Street circa 1910-1911. 1393 Santa Clara St. appears behind her, upper right on the photo. Photo below left: close-up of home, showing railing & balusters of original rear entry side-stairs.



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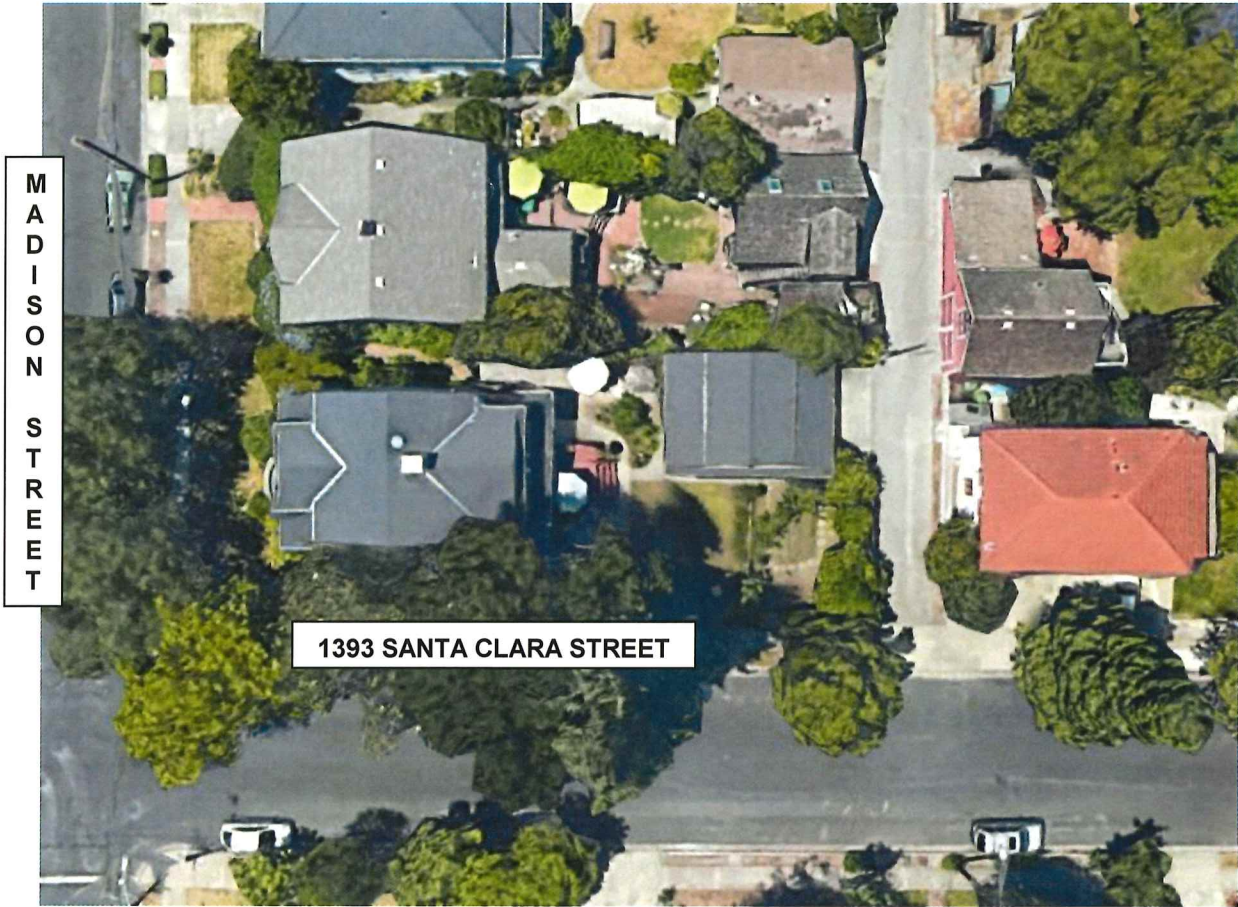
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**Additional Photos**



2018 Google aerial view of 1393 Santa Clara Street, showing the placement of the residence and detached garage on the property along with the large street trees. Also shown is the alley that bisects the block and provides access to each property's parking structure.



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**Additional Photos**



Photo No: 100\_2358  
View: South side-elevation showing walkway and main entry  
Photo Date: May, 2018; Camera Facing: NW



Photo No: 100\_2363  
View: South side-elevation showing first story bay and cobblestone sheathing  
Photo Date: May, 2018; Camera Facing: N

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**Additional Photos**



Photo No: 100\_2345  
View: Partial North side-elevation  
Photo Date: May, 2018; Camera Facing: S



Photo No: 100\_2344  
View: Partial North side-elevation showing rear enclosed porch and upper projecting gable  
Photo Date: May, 2018; Camera Facing: SE



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**Additional Photos**



Photo No: 100\_2378  
View: Rear (east) facade and partial south side-elevation  
Photo Date: May, 2018; Camera Facing: West



Photo No: 100\_2347  
View: Partial rear facade showing rear projecting gable dormer & lower rear enclosed porch  
Photo Date: May, 2018; Camera Facing: SE

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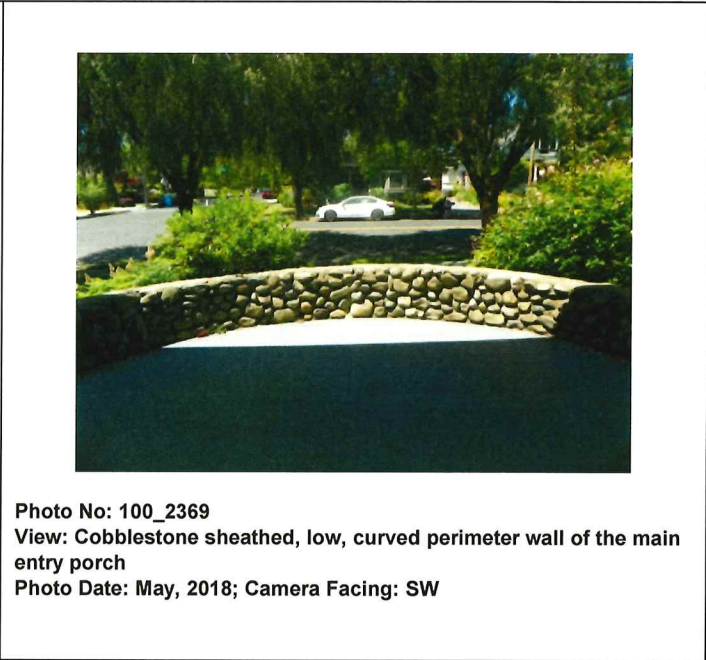
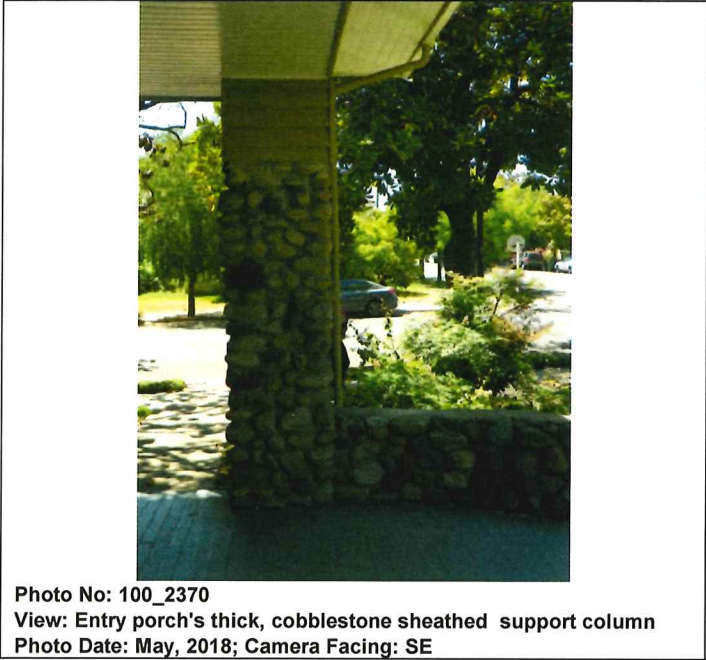
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**Additional Photos**





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**Additional Photos**



Photo No: 100\_2374  
View: First story window with distinctive diamond shaped panes with crossed muntins in upper sash.  
Photo Date: May, 2018; Camera Facing: NE



Photo No: 100\_2348  
View: North side-elevation 2nd story window with curved row of shingles over the top of the window trim.  
Photo Date: May, 2018; Camera Facing: SE



Photo No: 100\_2358  
View: Front facade & South side-elevation second story windows with curved row of shingles that have saw-tooth ends & lattice muntin enhanced beveled glass panes in upper sashes.  
Photo Date: May, 2018; Camera Facing: NE

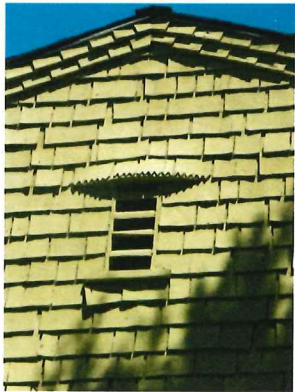


Photo No: 100\_2360  
View: Showing wood louvered Attic Vent with curved row of shingles arching over vent top and the double row of shingles that finish the ends of the eaves.  
Photo Date: May, 2018; Camera Facing: NW



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI #  
Trinomial

Page 21 of 21

\*Resource Name or # (Assigned by recorder) *Harriet B. Roberts Residence*

\*Recorded by: Lorie Garcia

\*Date 06/25/2018

Continuation

Update

**Additional Photos**



Photo No: 100\_2375  
View: Detached garage with office space (not original)  
Photo Date: May, 2018; Camera Facing: N



Photo No: 100\_2383  
View: Detached garage and short driveway off of the alley.  
Photo Date: May, 2018; Camera Facing: SW



Photo No: 100\_2380  
View: Rear yard, view towards boundary fence with 725 Madison St.  
Photo Date: May, 2018; Camera Facing: NW



Photo No: 100\_2382  
View: Rear yard, view towards alley.  
Photo Date: May, 2018; Camera Facing: NE

**Conditions of Approval**  
**1393 Santa Clara Street**

**GENERAL**

- G1. Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed against the City by reason of its approval of developer's project.
- G2. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.

**COMMUNITY DEVELOPMENT**

- C1. Obtain required permits and inspections from the Building Official and comply with all building code requirements and conditions thereof.
- C2. Applicant is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- C3. Garage or carport shall be maintained clear and free for vehicle parking use at all times. It shall not be used as only storage.
- C4. Rehabilitate the front yard landscaping between the fence and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- C5. Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- C6. Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.
- C7. Applicant shall provide photographs of the cobblestone before the removal and record the number of stones and original configuration. Reinstall the stones in the same configuration and by the original method.

I:\PLANNING\2019\Project Files Active\PLN2019-14144 1393 Santa Clara Street\HLC\Conditions of Approval.doc



LOCAL MAP  
NOT SCALED  
6

Architect  
**ROBERT MAYER**  
1900 Santa Clara Street  
Santa Clara, CA 95050  
Phone: (408) 554-5343  
r.mayer@robertmayer.net

CONSULTANT  
**ROBERT L. MAYER**  
C-27155  
APN: 20926-112

APN:	209-26-112		
ZONING:	R1-6		
OCCUPANCY:	R-3, U		
CONSTRUCTION TYPE:	SN (UNSPRINKLERED) SPRINKLERS NOT REQUIRED AT ADU IF (E) RESIDENCE IS NOT SPRINKLERED		
NET LOT AREA:	7,810 SF		

HABITABLE FLOOR AREA:	EXISTING	CHANGE IN	TOTAL
MAIN RESIDENCE			
LOWER FLOOR	1,284 SF	90 SF	1,374 SF
UPPER FLOOR	1,136 SF	114 SF	1,249 SF
TOTAL	2,419 SF	204 SF	2,623 SF
(N) ATTACHED ACCESSORY DWELLING UNIT:			
BASEMENT	0 SF	1,002 SF	1,002 SF

NON-HABITABLE FLOOR AREA:	EXISTING	CHANGE IN	FLOOR TOTAL
DETACHED GARAGE	655 SF	NONE	655 SF
BASEMENT	498 SF	-294 SF	204 SF

COVERED PORCHES:	EXISTING	CHANGE IN	TOTAL PROPOSED
BACK RESIDENCE ENTRY PORCH	161 SF	NONE	161 SF
BACK RESIDENCE SIDE PORCH	NONE	100 SF	100 SF
TOTAL	161 SF	100 SF	261 SF

LOT COVERAGE:	EXISTING	PROPOSED	ALLOWED
	2,100 SF (26.8%)	2,290 SF (29.3%)	3,124 SF (40%)

PROJECT INFO	4
OWNER SEIF & LAUREN MAZAREEB 1393 SANTA CLARA STREET SANTA CLARA, CA 95050 PH (408)	ARCHITECT ROBERT MAYER ARCHITECT 1900 SANTA CLARA STREET SANTA CLARA, CA 95050 PH (408) 554-5343

PROJECT TEAM	3
SCOPE OF WORK	<ol style="list-style-type: none"> <li>REPLACE DETERIORATING BRICK FOUNDATION WITH CONCRETE SLAB AND RETAINING WALLS TO ACCOMMODATE AN ACCESSORY DWELLING UNIT (ADU) AT THE BASEMENT LEVEL.</li> <li>NEW 2 BEDROOM / 1 BATHROOM ADU AT BASEMENT.</li> <li>1ST STORY ADDITION TO ACCOMMODATE A LARGER KITCHEN, WALK-IN PANTRY, RELOCATED POWDER ROOM, INTERIOR STAIR BASEMENT AND COVERED SIDE PORCH.</li> <li>2ND STORY ADDITION TO ACCOMMODATE A MASTER BATH.</li> <li>ALTER (E) 2ND FLOOR BATHROOM TO ACCOMMODATE A HALL LAUNDRY.</li> <li>UPGRADE TO 200 AMP ELECTRICAL PANEL WITH 2 METERS AT (E) LOCATION.</li> <li>RELOCATE GAS METER.</li> </ol>

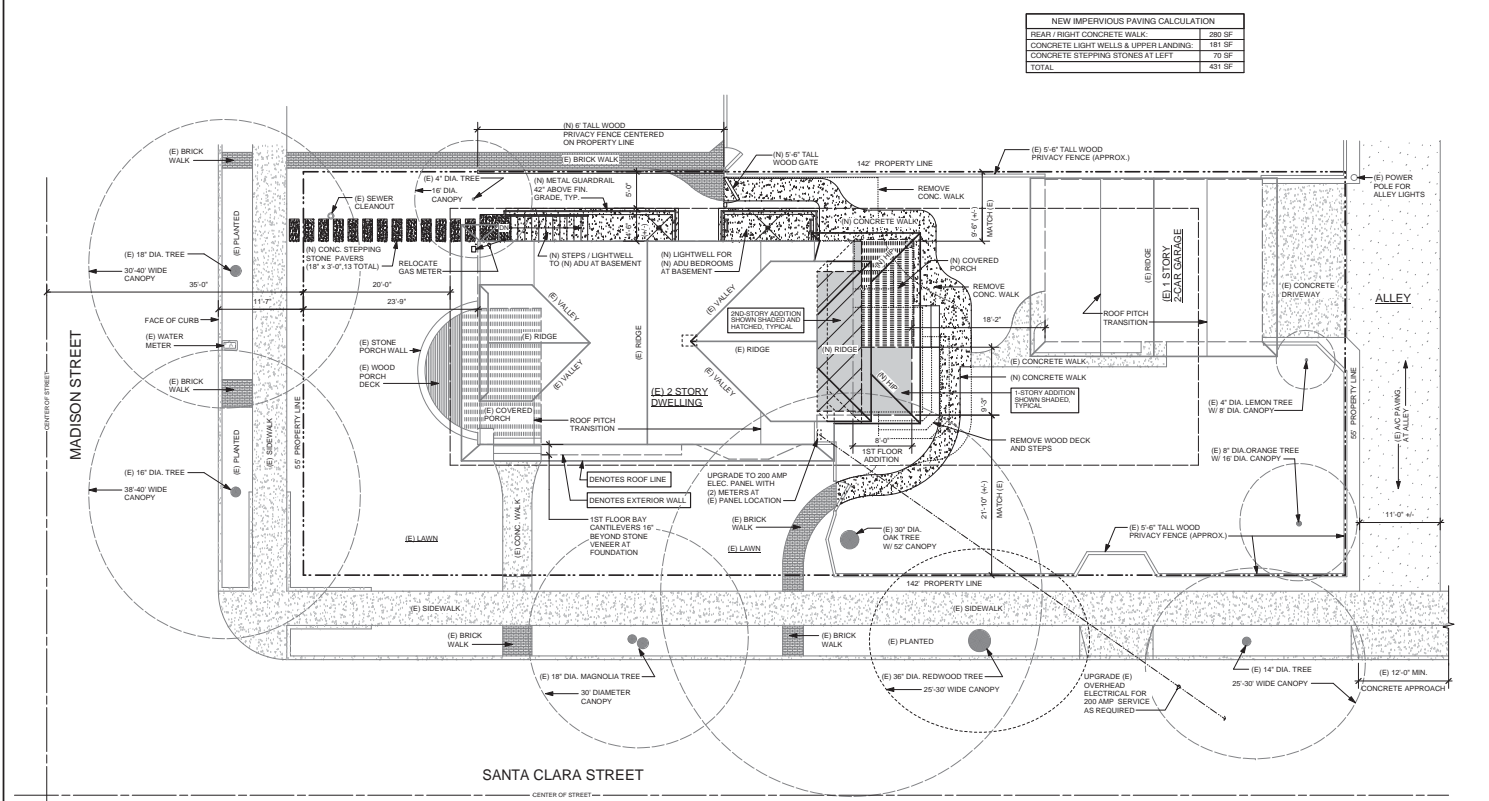
SCOPE OF WORK	2
ARCHITECTURAL	<ul style="list-style-type: none"> <li>A-1 PROJECT INFO, SITE PLAN</li> <li>A-2 EXISTING BASEMENT FLOOR PLAN w/ PROPOSED DEMOLITION</li> <li>A-2.1 EXISTING 1ST FLOOR PLAN w/ PROPOSED DEMOLITION</li> <li>A-2.2 EXISTING 2ND FLOOR PLAN w/ PROPOSED DEMOLITION</li> <li>A-2.3 EXISTING ROOF PLAN w/ PROPOSED DEMOLITION</li> <li>A-2.4 EXISTING ELEVATIONS w/ PROPOSED DEMOLITION</li> <li>A-3 PROPOSED BASEMENT FLOOR PLAN</li> <li>A-3.1 PROPOSED 1ST FLOOR PLAN</li> <li>A-3.2 PROPOSED 2ND FLOOR PLAN</li> <li>A-4 PROPOSED ROOF PLAN</li> <li>A-5 PROPOSED BUILDING ELEVATIONS</li> <li>A-6 PROPOSED BUILDING SECTION</li> <li>HP-1 HISTORIC PRESERVATION PLAN</li> </ul>

NET BASEMENT ADU & ADDITION TO THE RESIDENCE AT:  
**1393 SANTA CLARA STREET**  
SANTA CLARA, CA 95050  
APN: 20926-112

MARK	DATE	DESCRIPTION
ISSUE REV:	PLANNING REVIEW	
PROJECT #:	2019-04 MAZAREEB	
DRAWN BY:	RM	
CHECKED BY:	RM	
ISSUE DATE:	08/16/19	
SHEET TITLE	PROJECT INFO	SITE PLAN

NEW IMPERVIOUS PAVING CALCULATION

REAR / RIGHT CONCRETE WALK:	280 SF
CONCRETE LIGHT WELLS & UPPER LANDINGS:	181 SF
CONCRETE STEPPING STONES AT LEFT:	70 SF
TOTAL:	531 SF



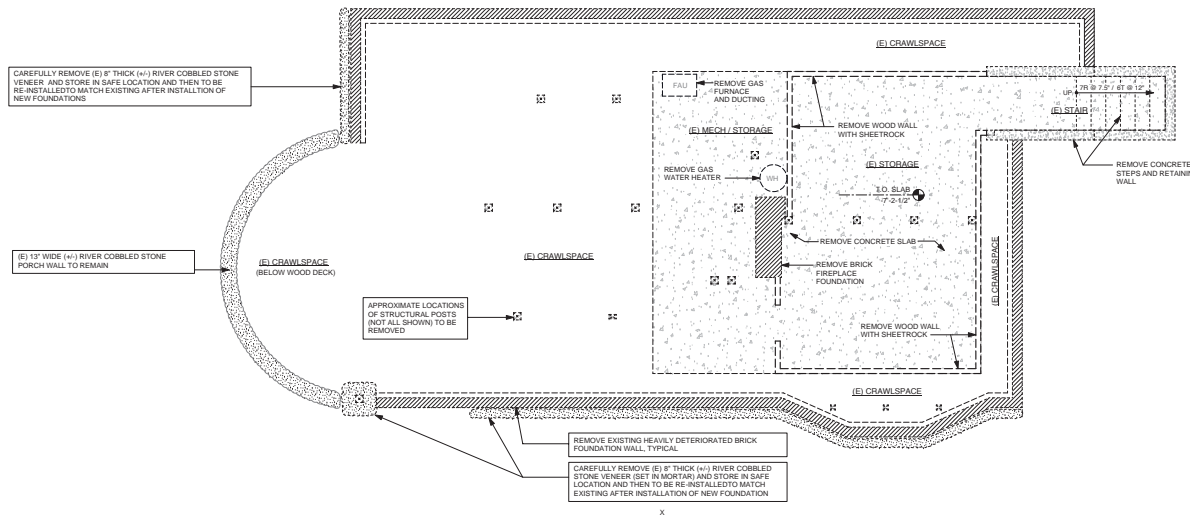
SITE PLAN

1/8" = 1'-0"  
6

SHEET INDEX  
1

of 13  
A-1





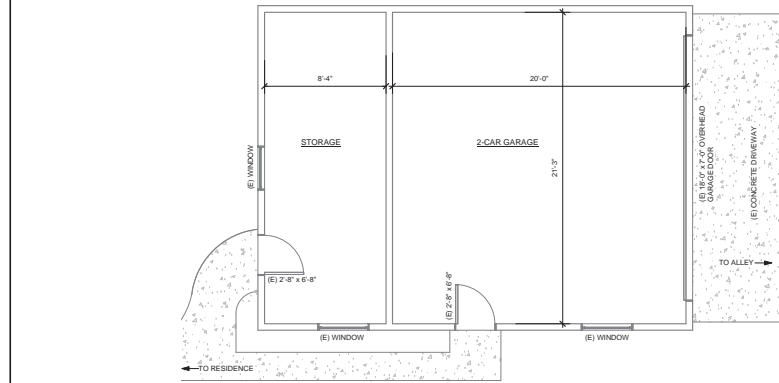
EXISTING BASEMENT PLAN w/ PROPOSED DEMOLITION

1/4" = 1'-0"

1

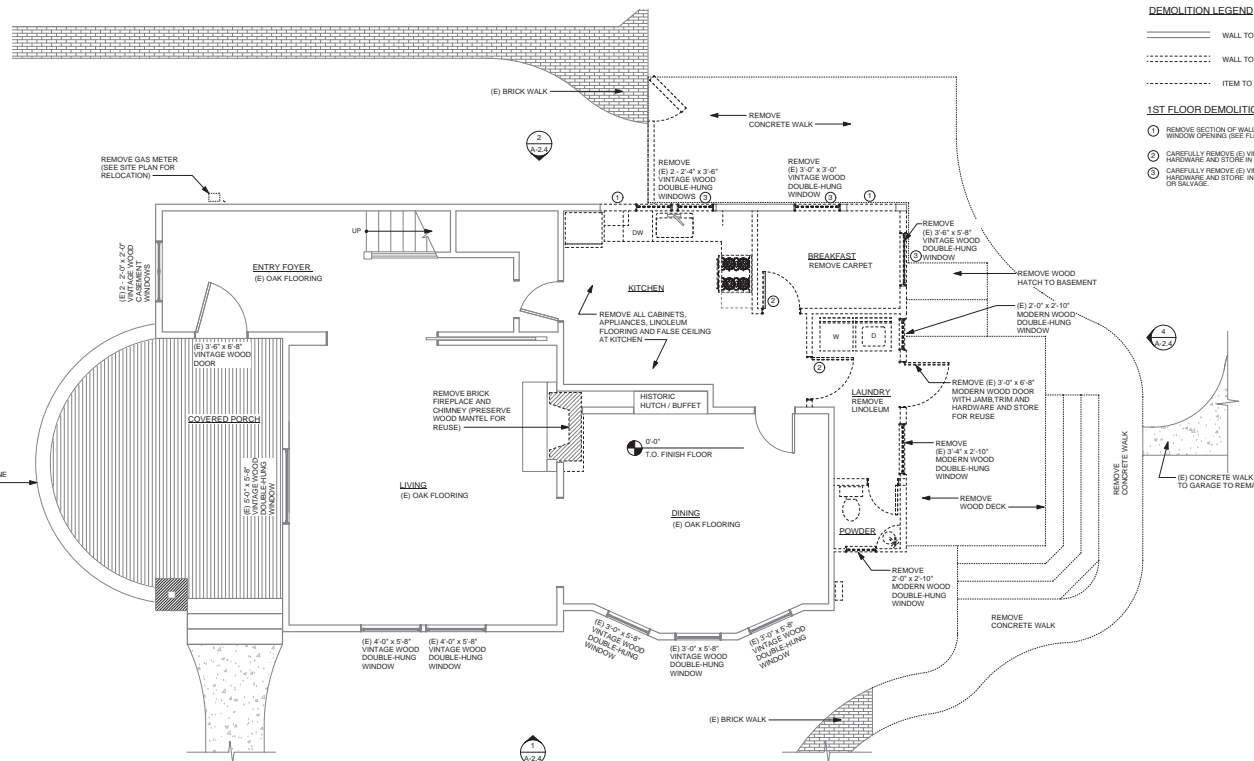
of 13

<b>Architect</b>	<b>ROBERT MAYER</b> 1400 Santa Clara Street SANTA CLARA, CA 95050 phone 408.554.5404 mayer@robertmayer.com
	CONSULTANT
NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT: <b>1393 SANTA CLARA STREET</b> SANTA CLARA, CA 95050 APN: 289-26-112	
MARK	DATE
ISSUE REV.	DESCRIPTION
ISSUE REV: PLANNING REVIEW	
PROJECT #: 2019-04 MAZAREEB	
DRAWN BY: RM	
CHECKED BY: RM	
ISSUE DATE: 06/16/19	
EXISTING BASEMENT FLOOR PLAN w/ PROPOSED DEMOLITION	
DRAWING NO. <b>A-2</b>	



(E) GARAGE FLOOR PLAN

1/4" = 1'-0" 2



DEMOLITION LEGEND

- WALL TO REMAIN
- WALL TO REMOVE
- ITEM TO REMOVE

1ST FLOOR DEMOLITION KEYNOTES

- 1 REMOVE SECTION OF WALL TO ACCOMMODATE NEW DOOR OR WINDOW OPENING (SEE FLOOR PLAN FOR SIZE & LOCATION)
- 2 CAREFULLY REMOVE (E) VINTAGE WOOD DOORS WITH JAMBES, TRIM HARDWARE, AND STORE IN SAFE LOCATION FOR RELOCATION OR SALVAGE.
- 3 CAREFULLY REMOVE (E) VINTAGE WOOD WINDOWS WITH JAMBES, TRIM HARDWARE, AND STORE IN SAFE LOCATION FOR RELOCATION OR SALVAGE.

EXISTING 1ST FLOOR PLAN W/ PROPOSED DEMOLITION

1/4" = 1'-0" 1

Architect

**ROBERT MAYER**

1400 Santa Clara Street  
Santa Clara, CA 95050  
Phone: (408) 298-1112  
mayer@robertmayer.com

CONSULTANT

---

NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT:

**1393 SANTA CLARA STREET**  
SANTA CLARA, CA 95050  
APN: 289-28-112

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DESCRIPTION	MARK	DATE

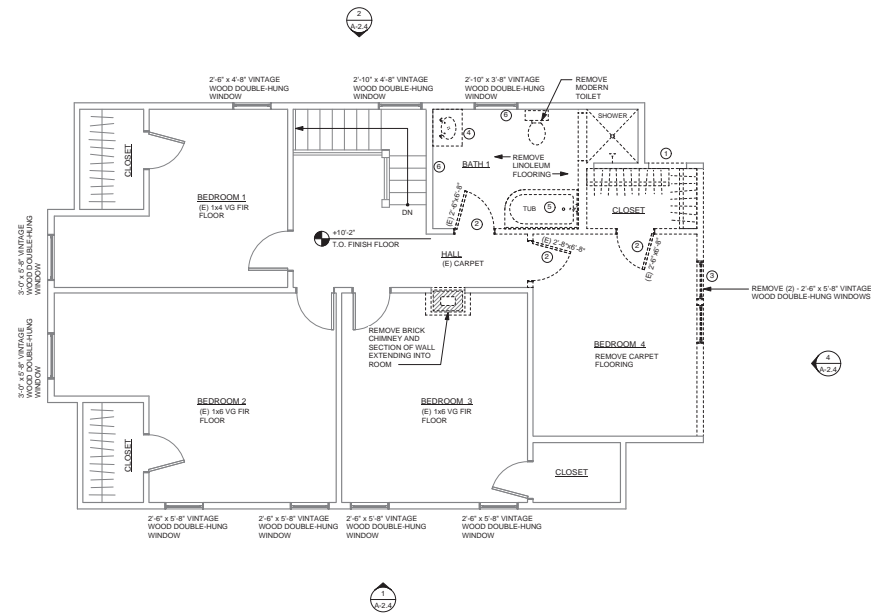
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ISSUE REV: PLANNING REVIEW  
PROJECT #: 2019-04 MAZAREEB  
DRAWN BY: RM  
CHECKED BY: RM  
ISSUE DATE: 08/16/19

SHEET TITLE  
EXISTING 1ST FLOOR PLAN  
w/ PROPOSED DEMOLITION  
(E) GARAGE FLOOR PLAN

DRAWING NO.  
**A-2.1**

of 13  
2019-04 MAZAREEB.rvt



**DEMOLITION LEGEND**  
 ——— WALL TO REMAIN  
 - - - - - WALL TO REMOVE  
 - - - - - ITEM TO REMOVE

**2ND FLOOR DEMOLITION KEYNOTES**  
 ① REMOVE SECTION OF WALL TO ACCOMMODATE NEW DOOR OR WINDOW OPENING (SEE FLOOR PLAN FOR SIZE & LOCATION)  
 ② CAREFULLY REMOVE (E) VINTAGE WOOD DOORS WITH JAMBS, TRIM, HARDWARE, AND STORE IN SAFE LOCATION FOR RE-INSTALLATION  
 ③ CAREFULLY REMOVE (E) VINTAGE WOOD WINDOWS WITH JAMBS, TRIM, HARDWARE, AND STORE IN SAFE LOCATION FOR RE-INSTALLATION (SEE FLOOR PLAN FOR NEW LOCATION)  
 ④ CAREFULLY REMOVE (E) VINTAGE WALL-HUNG SINK AND STORE IN SAFE LOCATION FOR REUSE OR SALVAGE  
 ⑤ CAREFULLY REMOVE (E) VINTAGE BULLDOZE TUB AND STORE IN SAFE LOCATION FOR REUSE, SALVAGE, OR DISCARD  
 ⑥ (E) VINTAGE WOOD WANSKOT AND TRIM TO REMAIN

EXISTING 2ND FLOOR PLAN w/ PROPOSED DEMOLITION

1/4" = 1'-0" 1

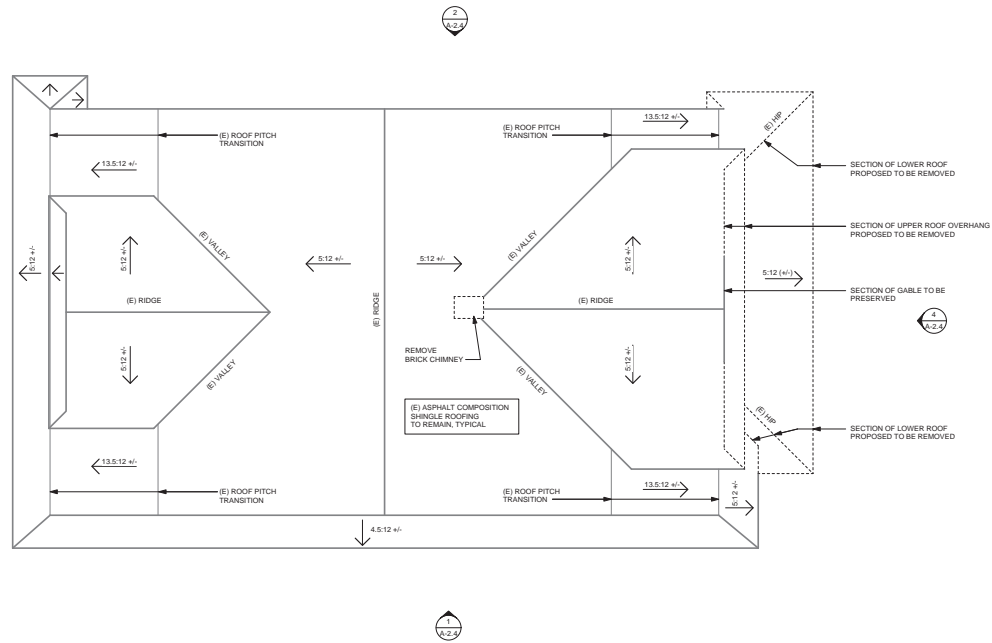
*Architect*  
**ROBERT MAYER**  
1400 Sierra Clara Street  
SANTA CLARA, CA 95050  
phone 408.289.1112  
mayer@robertfloormaster.net

**CONSULTANT**

**NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT:**  
**1393 SANTA CLARA STREET**  
SANTA CLARA, CA 95050  
APN: 289-26-112

MARK	DATE	DESCRIPTION

ISSUE REV: PLANNING REVIEW  
 PROJECT #: 2019-04 MAZAREEB  
 DRAWN BY: RM  
 CHECKED BY: RM  
 ISSUE DATE: 06/16/19  
 SHEET TITLE  
 EXISTING 2ND FLOOR PLAN  
 w/ PROPOSED DEMOLITION  
 DRAWING NO.  
**A-2.2**  
 of 13  
 2019-04 MAZAREEB.rvt



EXISTING ROOF PLAN w/ PROPOSED DEMOLITION

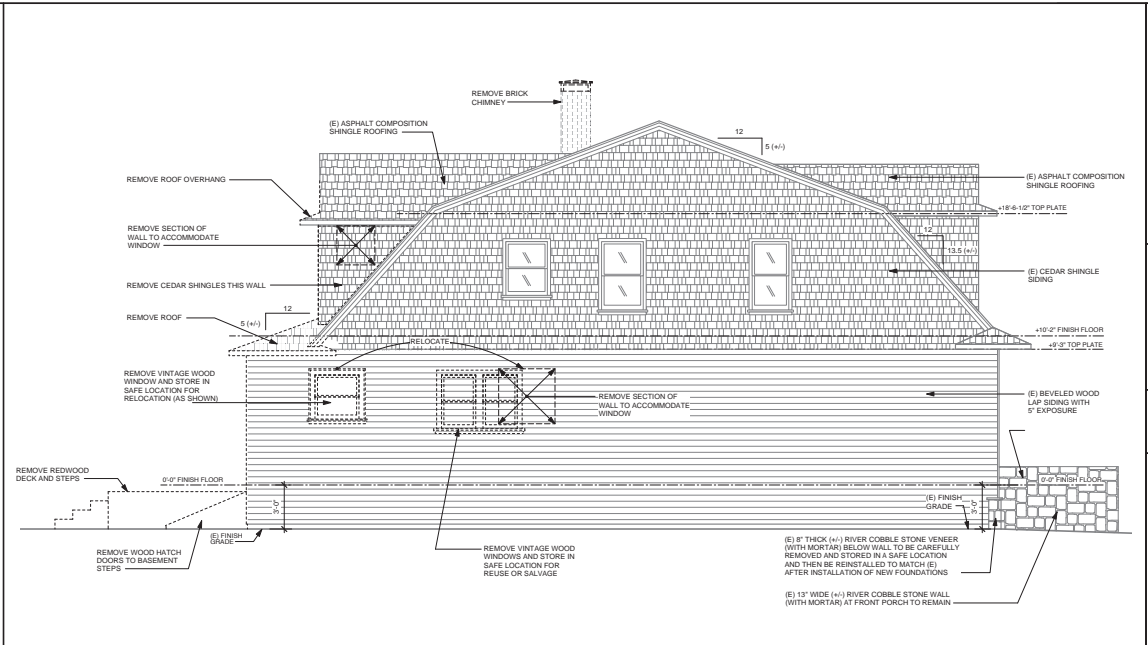
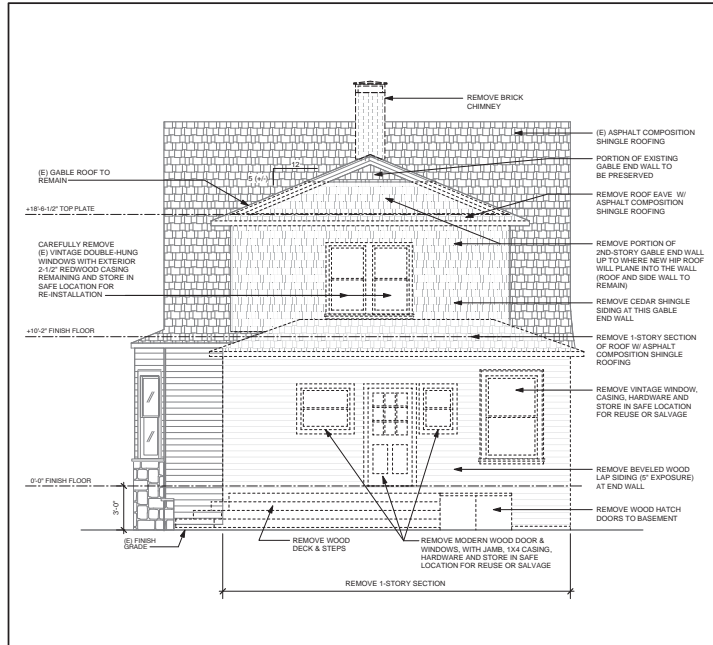
1/4" = 1'-0"

1

of 13

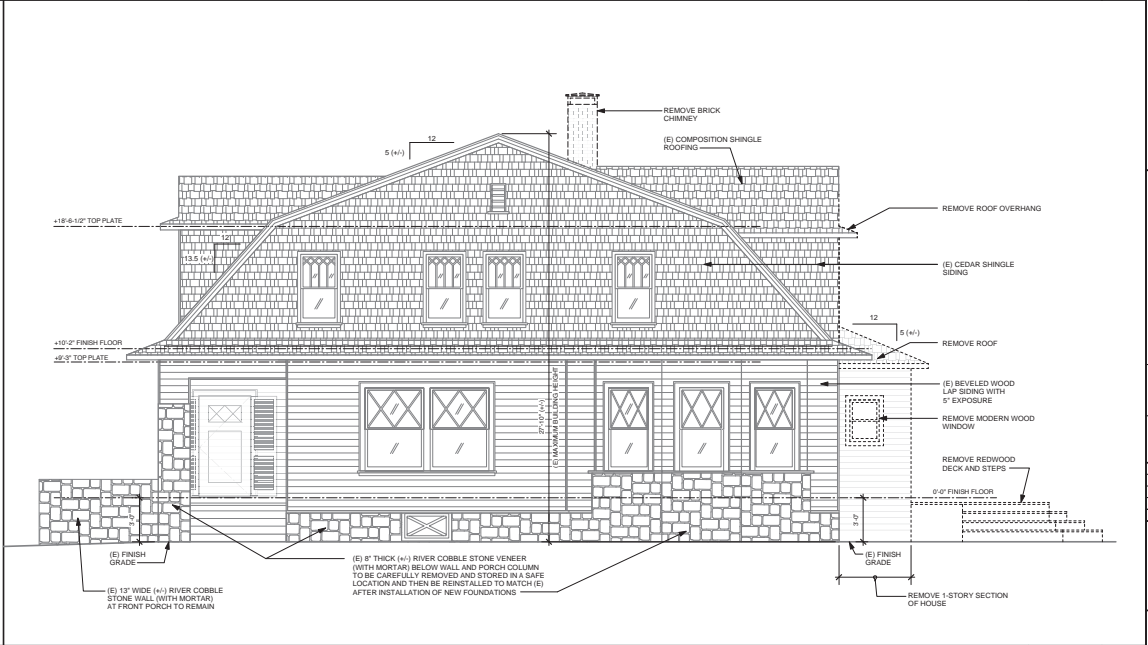
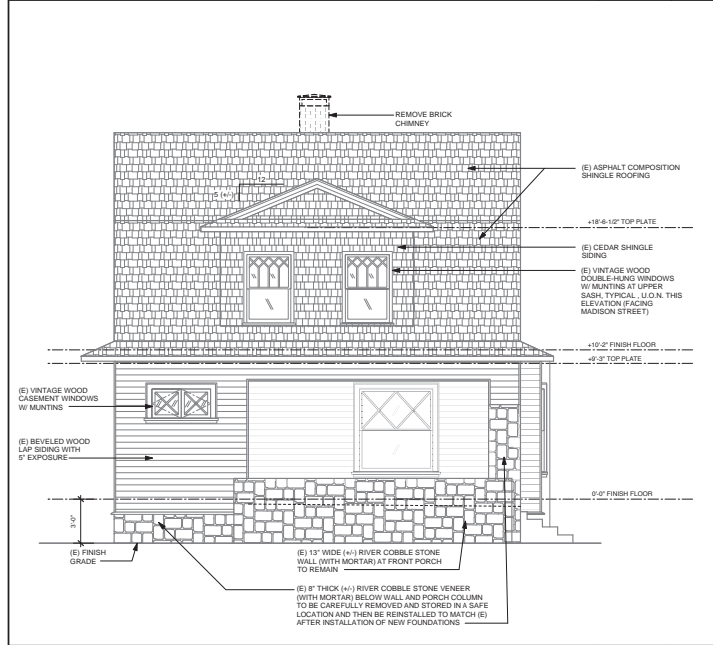
<p><b>Architect</b></p> <p><b>ROBERT MAYER</b></p> <p>1400 Santa Clara Street Santa Clara, CA 95050 phone 408.244.9900 mayer@robertflores.com</p>						
<p>CONSULTANT</p>						
<p>NEW BASEMENT ADU &amp; ADDITION / REMODEL TO THE RESIDENCE AT:</p> <p><b>1393 SANTA CLARA STREET</b></p> <p>SANTA CLARA, CA 95050 APN: 289-26-112</p>						
<table border="1"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	MARK	DATE	DESCRIPTION			
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<p>ISSUE REV: PLANNING REVIEW</p> <p>PROJECT #: 2019-04 MAZAREEB</p> <p>DRAWN BY: RM</p> <p>CHECKED BY: RM</p> <p>ISSUE DATE: 06/16/19</p>						
<p>SHEET TITLE</p> <p>EXISTING ROOF PLAN w/ PROPOSED DEMOLITION</p>						
<p>DRAWING NO.</p> <p><b>A-2.3</b></p>						





EXISTING RIGHT ELEVATION w/ PROPOSED DEMOLITION 1/4" = 1'-0" 4

EXISTING REAR ELEVATION w/ PROPOSED DEMOLITION 1/4" = 1'-0" 2



EXISTING LEFT ELEVATION w/ PROPOSED DEMOLITION 1/4" = 1'-0" 3

EXISTING FRONT ELEVATION w/ PROPOSED DEMOLITION 1/4" = 1'-0" 1

**Architect**

**ROBERT MAYER**

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phone 408.554.0000  
mayer@robertmayer.com

CONSULTANT

**NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT:**

**1393 SANTA CLARA STREET**  
SANTA CLARA, CA 95050  
APN: 289-26-112

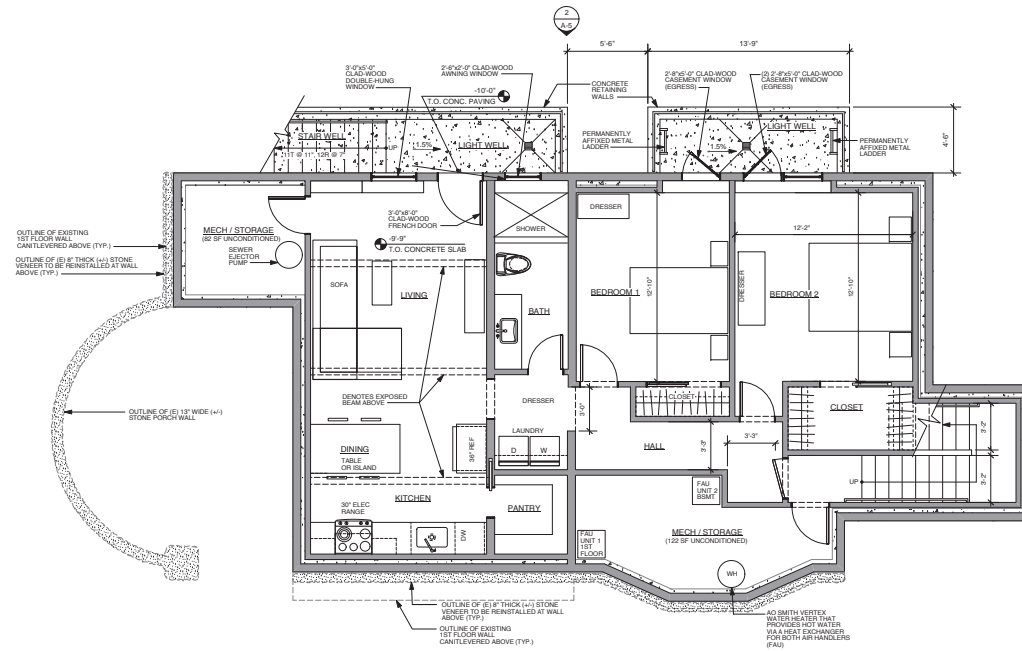
ISSUE REV.	DESCRIPTION
PLANNING REVIEW	
2019-04 MAZAREEB	
RM	
RM	
06/16/19	

**EXISTING BUILDING ELEVATIONS w/ PROPOSED DEMOLITION**

DRAWING NO. **A-2.4**

of 13

2019-04 MAZAREEB.vvv



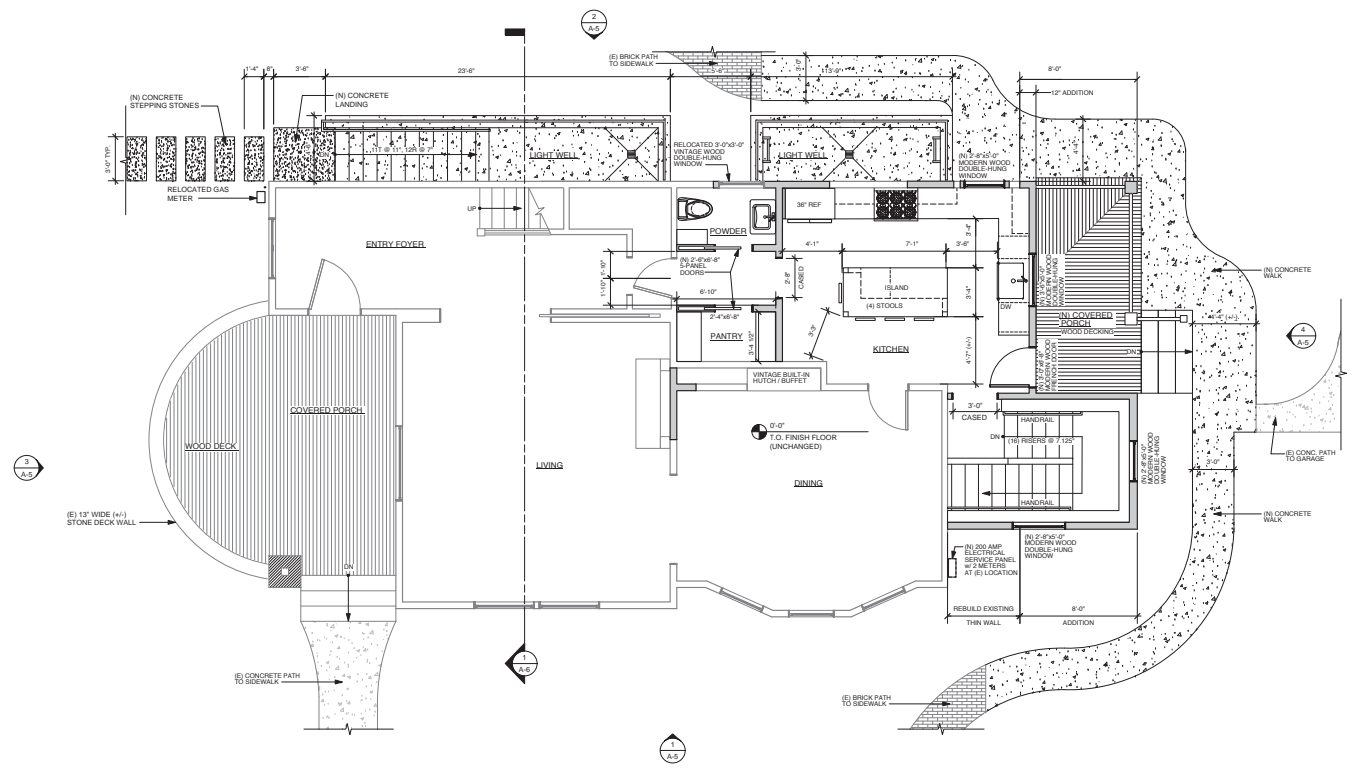
PROPOSED BASEMENT ADU FLOOR PLAN

1/4" = 1'-0"

1

of 13

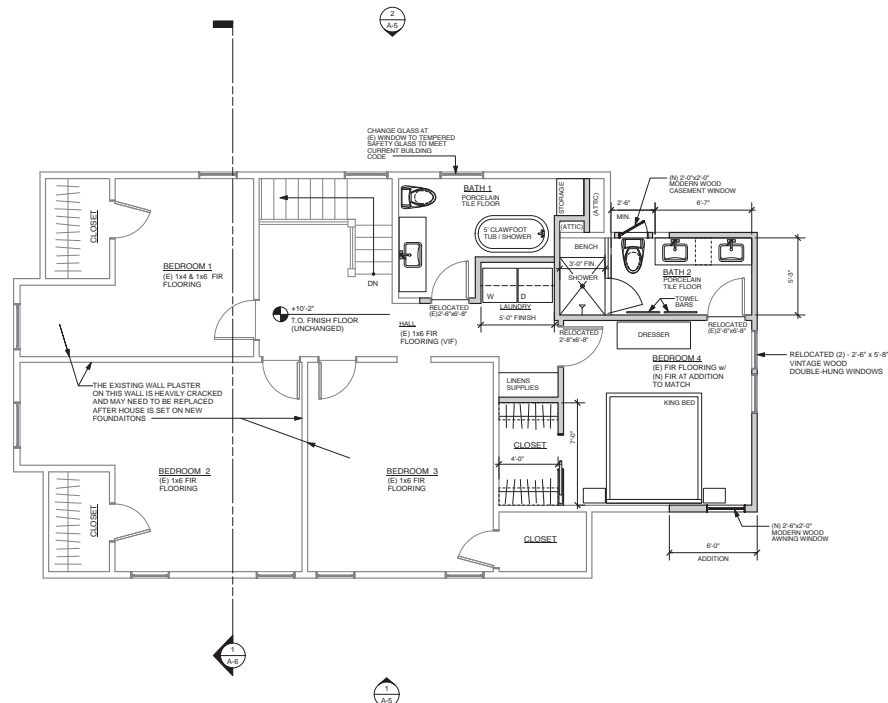
<p><b>Architect</b></p> <p><b>ROBERT MAYER</b></p> <p>1400 Santa Clara Street SANTA CLARA, CA 95050 phone 408.242.1000 mayer@robertmayer.com</p>	
<p>CONSULTANT</p>	
<p>NEW BASEMENT ADU &amp; ADDITION / REMODEL TO THE RESIDENCE AT:</p> <p><b>1393 SANTA CLARA STREET</b></p> <p>SANTA CLARA, CA 95050 APN: 209-26-112</p>	
<p>MARK</p>	<p>DATE</p>
<p>DESCRIPTION</p>	
<p>ISSUE/REV: PLANNING REVIEW</p> <p>PROJECT #: 2019-04 MAZAREEB</p> <p>DRAWN BY: RM</p> <p>CHECKED BY: RM</p> <p>ISSUE DATE: 06/16/19</p>	
<p>SHEET TITLE</p> <p><b>PROPOSED BASEMENT ADU FLOOR PLAN</b></p>	
<p>DRAWING NO.</p> <p><b>A-3</b></p>	



PROPOSED 1ST FLOOR PLAN

1/4" = 1'-0" 1

<p><b>Architect</b></p> <p><b>ROBERT MAYER</b></p> <p>1400 Santa Clara Street SANTA CLARA, CA 95050 phone 408.286.1122 mayer@robertmayer.com</p>												
<p>CONSULTANT</p>												
<p>NEW BASEMENT ADD &amp; ADDITION / REMODEL TO THE RESIDENCE AT:</p> <p><b>1393 SANTA CLARA STREET</b></p> <p>SANTA CLARA, CA 95050 APN: 289-26-112</p>												
<table border="1"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	MARK	DATE	DESCRIPTION									
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3  
A-5

2  
A-5

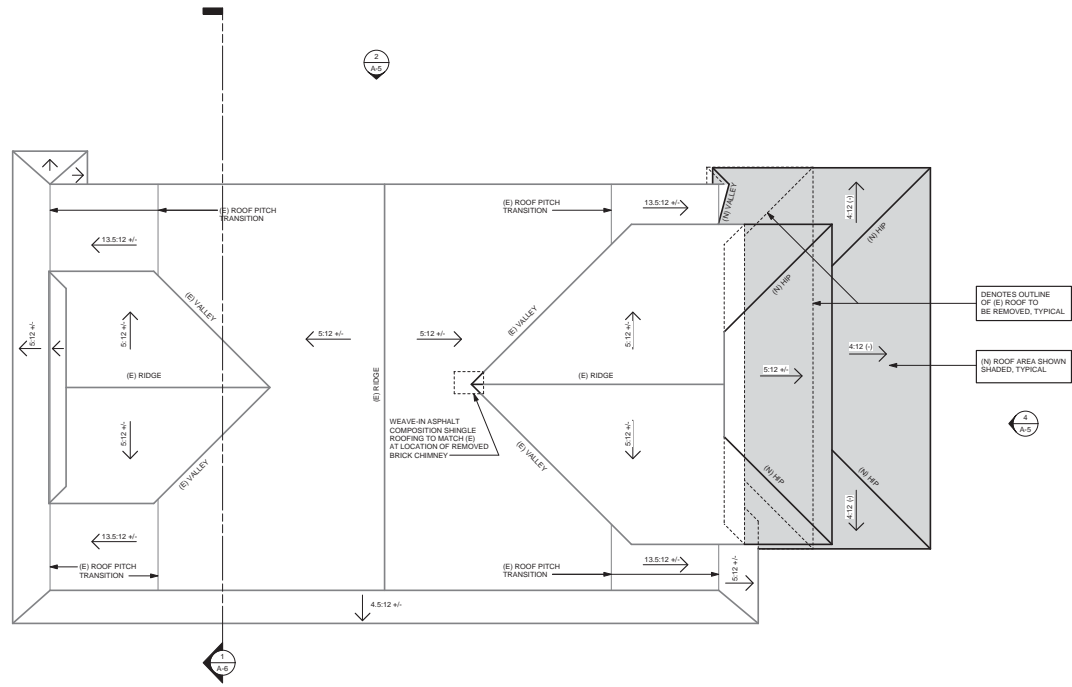
4  
A-5

1  
A-5

PROPOSED 2ND FLOOR PLAN

1/4" = 1'-0" 1

Architect <b>ROBERT MAYER</b> 1400 Santa Clara Street San Jose, CA 95128 phone 408.943.8844 mayer@robertfloors.com
CONSULTANT
NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT: <b>1393 SANTA CLARA STREET</b> SANTA CLARA, CA 95050 APN: 289-26-112
MARK
DATE
DESCRIPTION
ISSUE/REV: PLANNING REVIEW
PROJECT #: 2019-04 MAZAREEB
DRAWN BY: RM
CHECKED BY: RM
ISSUE DATE: 08/16/19
SHEET TITLE PROPOSED 2ND FLOOR PLAN
DRAWING NO. <b>A-3.2</b>



DENOTES OUTLINE OF (E) ROOF TO BE REMOVED, TYPICAL

(N) ROOF AREA SHOWN SHADED, TYPICAL

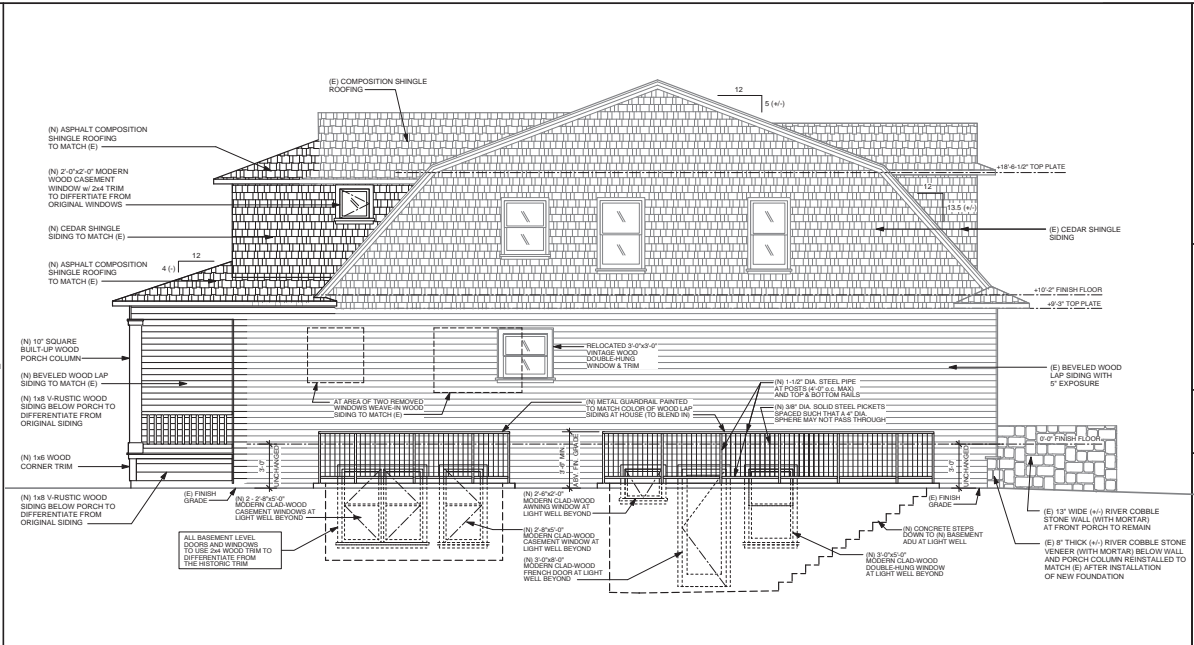
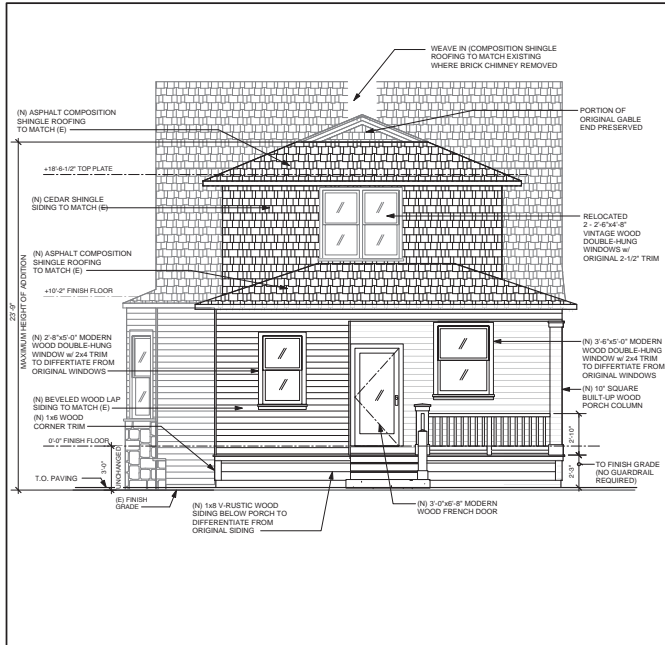
PROPOSED ROOF PLAN

1/4" = 1'-0"

1

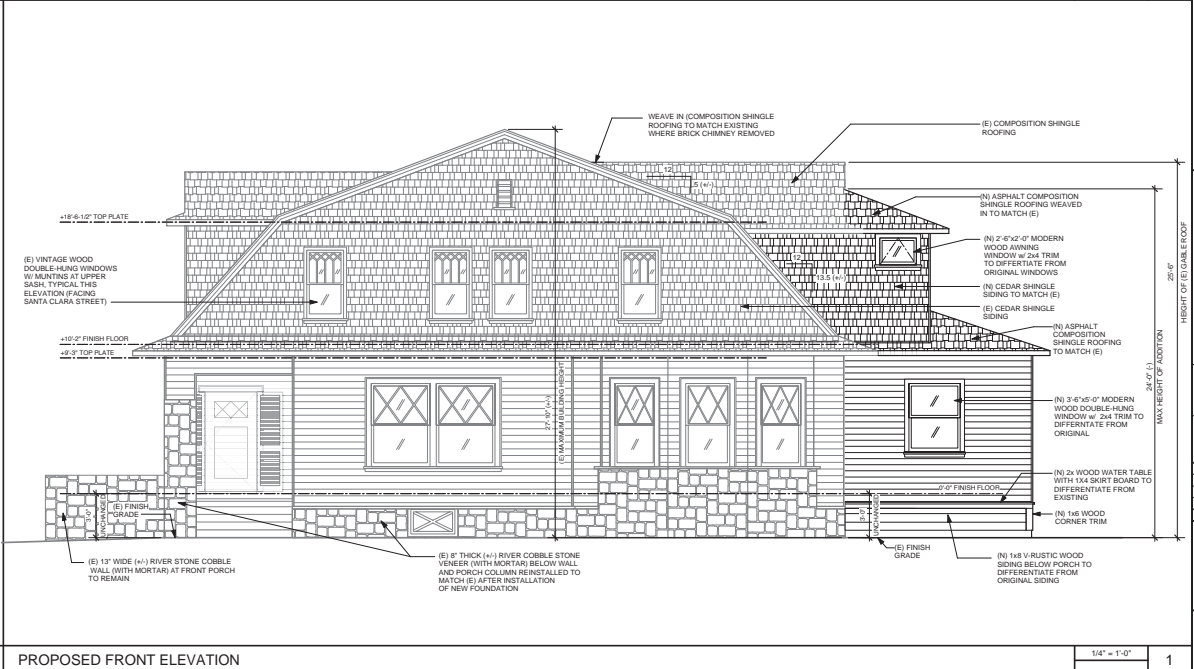
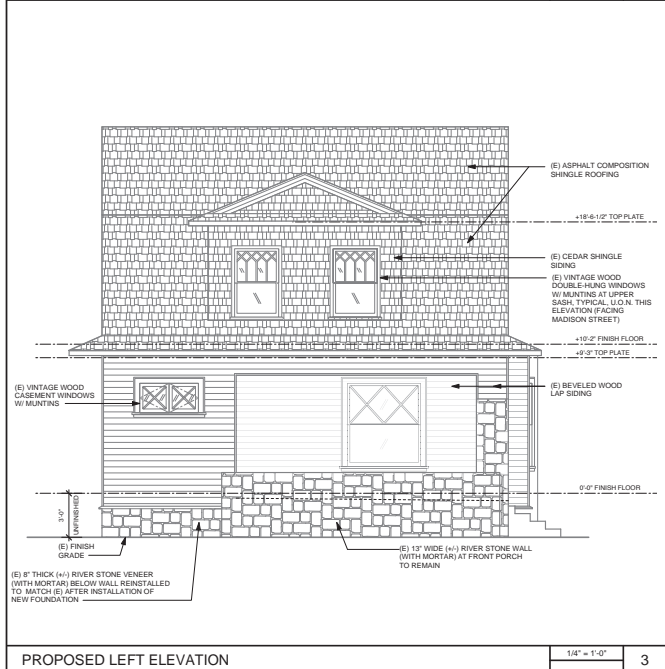
of 13

<b>Architect</b>	<b>ROBERT MAYER</b> 1400 Sierra Clara Street SANTA CLARA, CA 95050 phone 408.248.1000 mayer.robert@comcast.net
	CONSULTANT
NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT: <b>1393 SANTA CLARA STREET</b> SANTA CLARA, CA 95050 APN: 289-26-112	
MARK	DATE
ISSUE/REV:	DESCRIPTION
PLANNING REVIEW	
PROJECT #:	2019-04 MAZAREEB
DRAWN BY:	RM
CHECKED BY:	RM
ISSUE DATE:	06/16/19
SHEET TITLE	
PROPOSED ROOF PLAN	
DRAWING NO.	
<b>A-4</b>	



PROPOSED RIGHT ELEVATION 1/4" = 1'-0" 4

PROPOSED REAR ELEVATION 1/4" = 1'-0" 2



PROPOSED LEFT ELEVATION 1/4" = 1'-0" 3

PROPOSED FRONT ELEVATION 1/4" = 1'-0" 1

**Architect**

**ROBERT MAYER**

1400 Santa Clara Street  
SANTA CLARA, CA 95050  
Phone: 408.298.2612  
mayer@robertmayer.com

**CONSULTANT**

**NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT:**

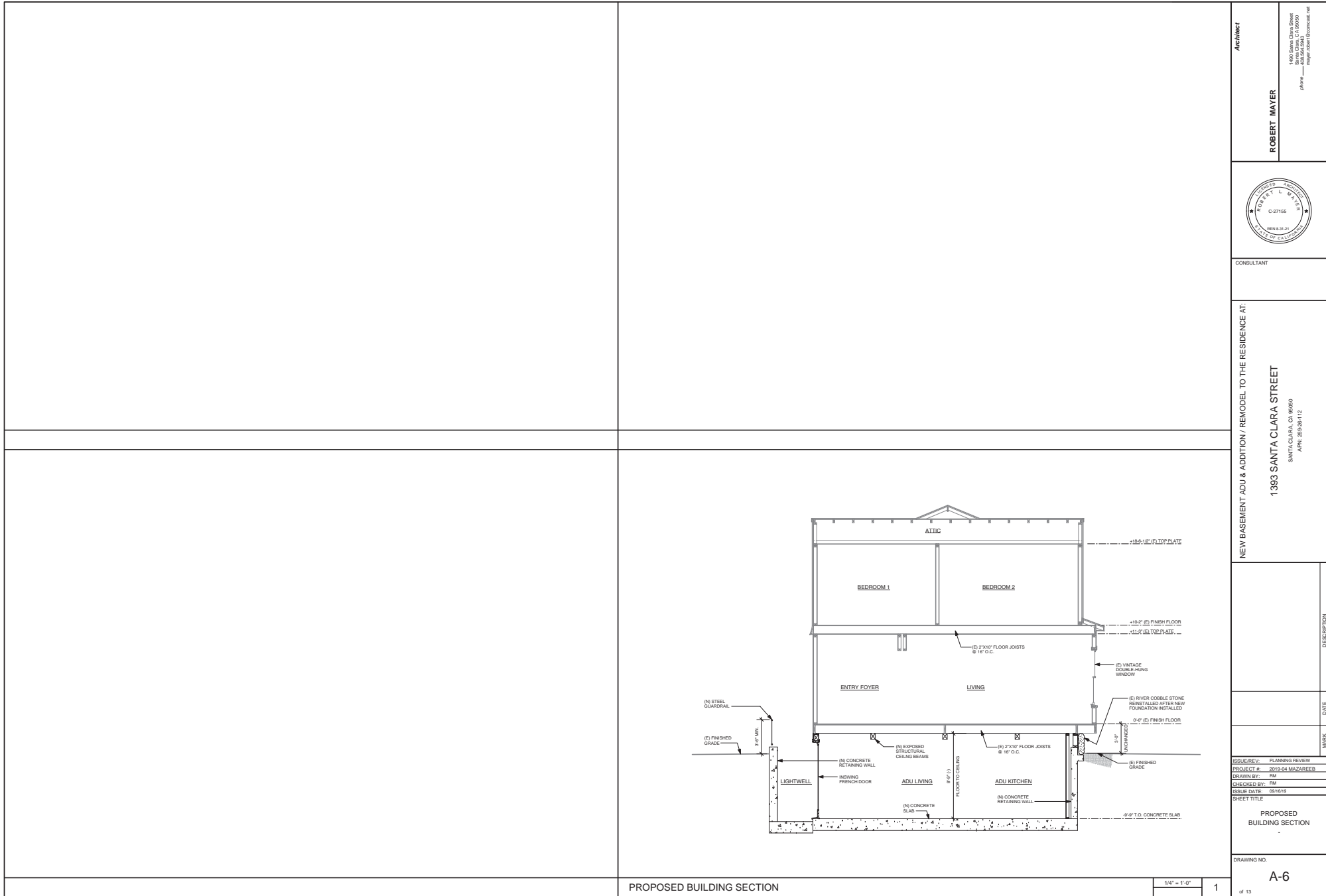
**1393 SANTA CLARA STREET**  
SANTA CLARA, CA 95050  
APN: 289-26-112

ISSUE/REV.	DESCRIPTION
ISSUE/REV: PLANNING REVIEW	
PROJECT #: 2019-04 MAZAREEB	
DRAWN BY: RM	
CHECKED BY: RM	
ISSUE DATE: 06/16/19	
SHEET TITLE	

**PROPOSED BUILDING ELEVATIONS**

DRAWING NO. **A-5**

of 13



**Architect**  
**ROBERT MAYER**  
 1490 Santa Clara Street  
 Santa Clara, CA 95050  
 phone 408.243.9300  
 rmyer@robertmayer.net

**CONSULTANT**

**NEW BASEMENT ADU & ADDITION / REMODEL TO THE RESIDENCE AT:**  
**1393 SANTA CLARA STREET**  
 SANTA CLARA, CA 95050  
 APR. 2019-08-112

MARK	DATE	DESCRIPTION
ISSUE/REV:	PLANNING REVIEW	
PROJECT #:	2019-04 MAZAREEB	
DRAWN BY:	RM	
CHECKED BY:	RM	
ISSUE DATE:	08/16/19	
<b>SHEET TITLE</b>		
<b>PROPOSED BUILDING SECTION</b>		
<b>DRAWING NO.</b>		
<b>A-6</b>		



EXTERIOR MATERIALS		
FEATURE	DESCRIPTION AND CONDITION	TREATMENT
STONE VENEER BELOW 1ST FLOOR WALLS	THE RIVER COBBLE STONE VENEER SET WITH MORTAR AT THE FRONT AND LEFT ELEVATIONS ARE CHARACTER-DEFINING FEATURES IN GOOD CONDITION. HOWEVER, THE BRICK FOUNDATION WALL THAT HELPS SUPPORT THE STONE IS HEAVILY DETERIORATED AND MUST BE REPLACED TO PRESERVE THE STRUCTURE AS NOTED IN THE 10-YEAR PLAN OF THE HILLACT CONTRACT.	THE STONE VENEER WILL BE CAREFULLY REMOVED AND STORED IN A SAFE LOCATION AND THEN BE REINSTALLED TO MATCH EXISTING AFTER THE NEW FOUNDATION IS INSTALLED WHICH IS THE TOP PRIORITY AT THIS POINT AND KEY TO THE LONG-TERM PRESERVATION OF THIS HISTORIC HOME.
STONE PORCH WALL	THE RIVER STONE WALL SET WITH MORTAR AT THE FRONT PORCH IS IN FAIR TO GOOD CONDITION WITH SOME LARGE VERTICAL CRACKS IN THE MORTAR.	THE MORTAR WILL BE PATCHED AFTER THE FOUNDATION WORK IS COMPLETE.
BRICK CHIMNEY	THE BRICK CHIMNEY THAT EXTENDS THROUGH THE CENTER OF THE HOUSE AND IS ONLY VISIBLE ABOVE THE ROOF APPEARS TO BE IN GOOD CONDITION BUT IS NOT A CHARACTER-DEFINING FEATURE.	THE BRICK FIREPLACE AND CHIMNEY ARE PROPOSED TO BE REMOVED AND REPLACED WITH A REAR EXTERIOR WALL AND ROOF BRIMS/FLASHING WILL BE PATCHED TO EXISTING. THE ORIGINAL WOOD MANTLE WILL BE IN PLACE WITH POSSIBLE CANDLE NICHE TIED IN THE OPENING.
INTERIOR FINISHES		
FEATURE	DESCRIPTION AND CONDITION	TREATMENT
FLOORING - 1ST FLOOR	THE EXISTING KITCHEN HAS MODERN LINOLEUM FLOORING INSTALLED OVER ORIGINAL 3/4" THICK FR FLOORING WHEREAS THE REST OF THE 1ST FLOOR HAS 3/4" OAK FLOORING INSTALLED.	THE LINOLEUM FLOORING WILL BE REMOVED AND REPLACED BY 2" FR FLOORING AT THE BREAKFAST AND PANTRY (IN BASEMENT), THE NEW POWDER ROOM WILL HAVE PORCELAIN TILE INSTALLED.
FLOORING - 2ND FLOOR	THE EXISTING BEDROOM 4 HAS CARPET FLOORING LIKELY OVER ORIGINAL 1/2" FR FLOORING. THIS IS WHAT IS INSTALLED IN THE OTHER BEDROOMS AND IS IN GOOD CONDITION. THE EXISTING BATH 1 HAS MODERN FLOORING LIKELY OVER ORIGINAL 1/2" FR FLOORING.	1/2" FR FLOORING WILL BE INSTALLED AT THE BEDROOM ADDITION TO MATCH THE EXISTING FLOORING AND THE ENTIRE BEDROOM 4 FLOORING WILL BE REFINISHED. BATH 1 AND THE NEW BATH 2 WILL BOTH HAVE PORCELAIN TILE FLOORING INSTALLED.
PLASTER WALLS	WALLPAPER COVERS THE ORIGINAL PLASTER WALLS AT ENTRY FOYER, STAIRS, THE LIVING ROOM, DINING ROOM, KITCHEN, BREAKFAST, UPSTAIRS HALL, AND BEDROOM 3. IN ALL THESE ROOMS THERE ARE AREAS OF SLABBING PLASTER BUT IT IS UNCLEAN OF ITS OVERALL CONDITION DUE TO THE WALLPAPER.  AT THE DEMING WALLS BETWEEN BEDROOMS 1 AND 2 THE PLASTER HAS CONSIDERABLE CRACKING ON THE BEDROOM 2 SIDE AND THEREFORE IS IN FAIR TO POOR CONDITION. AT THE DEMING WALL BETWEEN BEDROOMS 3 & 4 THE PLASTER HAS CONSIDERABLE CRACKING ON THE BEDROOM 2 SIDE AND THEREFORE IS IN FAIR TO POOR CONDITION.	THE DESIGN PROPOSES TO LEAVE THE EXISTING WALLPAPER AND PLASTER FINISH INTACT. GREAT CARE WILL BE TAKEN WHEN LEVELING THE HOUSE TO INSTALL THE BASEMENT FOUNDATIONS. IF SOME OF THE EXISTING PLASTER IS DAMAGED DURING THE HOUSE LEVELING PROCESS THEN THE CITY OF SANTA CLARA PLANNING DEPARTMENT WILL BE NOTIFIED PRIOR TO REMOVAL TO DISCUSS A REMEDY.  AT THE EXISTING KITCHEN AND PANTRY THE PLASTER ON THE NORTH WALL WILL BE REMOVED AND REPLACED WITH SHEETROCK BECAUSE BACKLASH AND DRIPPING THIS WILL HELP FACILITATE THE INSTALLATION OF ELECTRICAL WIRING ON OTHER WALLS. WHERE THE INSTALLATION OF NEW ELECTRICAL WIRING IS REQUIRED IT SHALL BE ACCOMPLISHED WITH SMALL HOLES NEAR THE TOP AND BOTTOM OF WALL TO FEED WIRE.
	BEDROOM 4 HAS MODERN WOOD PANELING INSTALLED ON THE WALLS AND THEREFORE IT IS UNCLEAN AS TO THE CONDITION OF THE WALL PLASTER.	AT EXISTING BEDROOM 4 THE REMOVAL OF THE WOOD WALL PANELING WILL LIKELY DAMAGE THE FIN WALLS THAT ARE TO REMAIN. THEREFORE IT IS PROPOSED TO REMOVE ALL THE PLASTER WALL MATERIAL IN BEDROOM 4 AND REPLACE WITH SHEETROCK.
	BATH 1 HAS HALF-ARCADE WOOD WAINSCOT ON THE WEST AND NORTH WALLS WALLPAPER ON THE REMAINING WALLS.	THE PROPOSED BATH 1 LAYOUT REQUIRES RE-ROUTING OF NEW PLUMBING AND ELECTRICAL AND THEREFORE IT IS PROPOSED TO REMOVE ALL THE EXISTING PLASTER IN THIS ROOM AND REPLACE WITH SHEETROCK ALONG WITH THE ORIGINAL WOOD WAINSCOTING.
PLASTER CEILINGS	MOST OF THE PLASTER CEILINGS APPEAR TO BE IN GOOD CONDITION EXCEPT FOR AT THE KITCHEN AND BEDROOM 4.  THE KITCHEN HAS A FALSE CEILING BUILT BELOW THE ORIGINAL PLASTER CEILING THAT HAS MANY CRACKS AND IS IN POOR CONDITION. BEDROOM 4 CEILING HAS MODERN CEILING TILES GLUED TO THE PLASTER CEILING.  BEDROOM 4 HAS MODERN CEILING TILES GLUED OVER THE PLASTER SO THE CONDITION OF THE EXISTING PLASTER IS UNKNOWN BUT LIKELY IN POOR CONDITION DUE TO IT BEING COVERED.  BATH 1 PLASTER CEILING APPEARS TO BE IN GOOD CONDITION.	THE DESIGN PROPOSES TO LEAVE THE EXISTING CEILING PLASTER FINISH INTACT. GREAT CARE WILL BE TAKEN WHEN LEVELING THE HOUSE TO INSTALL THE BASEMENT FOUNDATIONS. IF SOME OF THE EXISTING PLASTER IS DAMAGED DURING THE HOUSE LEVELING PROCESS THEN THE CITY OF SANTA CLARA PLANNING DEPARTMENT WILL BE NOTIFIED PRIOR TO REMOVAL TO DISCUSS A REMEDY.  THE FALSE CEILING AT THE KITCHEN WILL BE REMOVED ALONG WITH THE ORIGINAL PLASTER CEILING AND REPLACED WITH NEW SHEETROCK. NOTE THAT THIS WILL HELP FACILITATE THE REROUTING OF BATH 1 PLUMBING MOVE (LAYOUT CHANGED) AND NEW LAUNDRY HOOD WHICH ARE DIRECTLY ABOVE THE KITCHEN.  THE MODERN CEILING TILES AND ORIGINAL PLASTER CEILING WILL BE REMOVED AND REPLACED BY SHEETROCK TO CREATE A CONSISTENCY WITH THE PROPOSED SHEETROCK ON THE WALLS.  THE PLASTER CEILING IS TO BE REMOVED DUE TO THE LAYOUT CHANGE IN THE BATHROOM TO KEEP CONSISTENT WITH THE PROPOSED SHEETROCK ON THE WALLS.  ALL INTERIOR WOOD TRIM WHERE AT BEDROOM 4 BATH 1 KITCHEN AND BREAKFAST ROOMS SHALL BE CAREFULLY REMOVED AND STORED IN A SAFE LOCATION FOR REUSE OR SALVAGE.
INTERIOR WOOD TRIM, BASEBOARD, DOOR AND WINDOW TRIM, CROWN MOULDING.	ALL ORIGINAL INTERIOR WOOD TRIM TO BE IMPACTED BY THE ALTERATIONS TO THE RESIDENCE ARE IN GOOD CONDITION.	

FORM AND STRUCTURE		
FEATURE	DESCRIPTION AND CONDITION	TREATMENT
ROOF	THE EAST SIDE DORMER THAT HOUSES BEDROOM 4 HAS A DUTCH GABLE ROOF FORM AND IS IN GOOD CONDITION.	THE EXISTING RESIDENCE DOES NOT HAVE A TRUE MASTER SUITE WITH MASTER BEDROOM (HENCE IS TOP PRIORITY FOR THE HOMEOWNERS TO ADAPT THE HOME TO SUIT THEIR NEEDS. THE PROPOSED DESIGN EXPANDS BEDROOM 4 WITH THE SAME DUTCH GABLE ROOF FORM WITH A SLIGHTLY LONGER RIDGE LINE.
FLOOR PLAN	THE RESIDENCE WAS BUILT AS A 2-STORY WITH THE FIRST FLOOR BEING A FORMAL DINING ROOM, FORMAL DINING ROOM, PANTRY, AND BREAKFAST ROOM. THE LAUNDRY AND POWDER ROOM LOCATED ON THE 1ST FLOOR APPEARS TO BE PART OF AN ORIGINAL REAR PORCH THAT WAS ENCLOSED AT SOME POINT AS EVIDENCED BY EXTERIOR BRICKING INSTALLED ON ORIGINAL EXTERIOR WALLS. ON THE 2ND FLOOR ARE 4 ORIGINAL BEDROOMS AND ONE FULL BATHROOM.  THE HOUSE IS IN GOOD SHAPE ALTHOUGH THERE ARE OUT-OF-LEVEL FLOORS WITH SOME VISIBLE CRACKING IN THE PLASTER WALL AND CEILING THAT INDICATE THE FOUNDATIONS HAVE DIFFERENTIALLY SETTLED. MUCH OF THE HOME HAS WALLPAPER INSTALLED WHICH MAKES IT CHALLENGING TO FULLY UNDERSTAND THE CONDITION OF THE PLASTER. THE ORIGINAL KITCHEN CEILING HAS BEEN COVERED WITH A LOWER CEILING AS THE ORIGINAL PLASTER HAS HEAVY CRACKING.  THE FLOOR PLAN LAYOUT IS A CHARACTER-DEFINING FEATURE THAT IS BEING RETAINED WITH ALL ROOMS RETAINING THEIR RELATIONSHIPS BUT BEING ADAPTED TO SUIT THE FAMILY'S NEEDS.	<b>1ST FLOOR:</b> THE DESIGN PROPOSES TO RETAIN THE EXISTING BATHROOM LOCATION IN A TIER 1 AND COMBINE THE BRICE WITH THE BREAKFAST ROOM AND A SMALL ADDITION TO ACCOMMODATE A DUBBLE KITCHEN, DIRECT VIEW TO THE REAR YARD, ISLAND COUNTER WITH SEATING, AND ACCOMMODATE A WALK-IN PANTRY AND POWER ROOM BETWEEN THE KITCHEN AND ENTRY HALL. THE ORIGINAL OPENING BETWEEN THE KITCHEN AND ENTRY HALL ROOM IS TO REMAIN. A REAR EXTERIOR IS PROPOSED TO ACCOMMODATE AN INTERNAL STAIR TO THE NEW BASEMENT LIVING AND MECHANICAL STORAGE AREA. THE BRICK FIREPLACE, CHIMNEY AT THE LIVING ROOM IS PROPOSED TO BE REMOVED BUT THE ORIGINAL WOOD MANTLE WILL REMAIN WITH A TILE CANOPE NICHE INSTALLED.  <b>2ND FLOOR:</b> THE DESIGN PROPOSES TO RETAIN THE EXISTING LOCATION OF THE HALL BATHROOM BUT REDUCE ITS SIZE TO ACCOMMODATE THE MASTER BEDROOM AND HALL LAUNDRY. THE EXISTING HALL BATH WINDOW IS TO REMAIN.  A SMALL ADDITION IS PROPOSED TO THE REAR OF BEDROOM 4 TO ACCOMMODATE A WALK-IN CLOSET AND LARGE BEDROOM MORE BEFITTING OF A MASTER SUITE. THE EXISTING WINDOWS AT BEDROOM 4 ARE TO BE RELOCATED AT THE NEW EXTERIOR WALL OF THE ADDITION.  THE BRICK CHIMNEY THAT ROUTES THROUGH BEDROOM 3 IS PROPOSED TO BE REMOVED.  THE NEW CONCRETE FOUNDATIONS WILL MECHANICALLY CONNECT ANCHOR BOLTS TO THE EXISTING WOOD STRUCTURE AND HELP PRESERVE THE STRUCTURE. ANY ROTTEN OR DETERIORATED FRAMING AT THE WOOD FRAMED PONY WALL BETWEEN FOUNDATION AND 1ST FLOOR FRAME WILL BE CAREFULLY REPLACED WITH SIMILAR MATERIAL.
STRUCTURAL SYSTEM, FRAMING	THE CONVENTIONAL WOOD FRAMING IS MOSTLY IN GOOD CONDITION, BUT NOT SERIOUSLY SECURE TO THE BRICK FOUNDATION. THE FRAMING IS NOT A CHARACTER-DEFINING FEATURE, EXCEPT HOW IT IS EXPRESSED IN THE MASSING AND FORM OF THE PLAN.	THE NEW CONCRETE FOUNDATIONS WILL MECHANICALLY CONNECT ANCHOR BOLTS TO THE EXISTING WOOD STRUCTURE AND HELP PRESERVE THE STRUCTURE. ANY ROTTEN OR DETERIORATED FRAMING AT THE WOOD FRAMED PONY WALL BETWEEN FOUNDATION AND 1ST FLOOR FRAME WILL BE CAREFULLY REPLACED WITH SIMILAR MATERIAL.
FOUNDATIONS	THE EXISTING PERIMETER BRICK FOUNDATIONS ARE HEAVILY DETERIORATED WITH MUCH CRACKING OF THE INNER BRICK COURSE, A MORE MODERN CONCRETE RETAINING WALL WAS INSTALLED A FEW FEET INSIDE OF SOME OF THE BRICK FOOTINGS (TO CREATE A PARTIAL BASEMENT BELOW PART OF THE HOME) BUT THE DIRT HAS BEEN OVER-EXCAVATED NEXT TO THE BRICK FOUNDATION MAKING THEM MORE SUSCEPTIBLE TO SETTLING AND FAILURE. THE EXISTING BRICK FOUNDATIONS ARE IN POOR CONDITION.	THE DESIGN PROPOSES TO REMOVE THE EXISTING PERIMETER FOUNDATION ENTIRELY AND REPLACE THOSE FOUNDATIONS WITH CONCRETE SLAB AND RETAINING WALL FOUNDATIONS TO SUPPORT THE 2-STORY STRUCTURE IN MORE STABLE SOIL AND CREATE AND ACCESSORY DWELLING UNIT AT THE BASEMENT LEVEL. THE RIVER COBBLE STONE VENEER WILL BE CAREFULLY REMOVED TO INSTALL NEW CONCRETE RETAINING WALLS AND THEN RE-INSTALLED.
FRONT PORCH	THE 1X4 DOUGLAS FIR PORCH DECKING MATERIAL IS IN GOOD TO POOR CONDITION WITH SOME AREAS HEAVILY DETERIORATED WITH ROT.	ANY ROTTEN BOARDS WILL BE REPLACED WITH SIMILAR BOARDS THAT ARE BLENDED TO MATCH EXISTING.



PHOTO OF DUTCH GABLE AT BEDROOM 4 AND ENCLOSED PORCH 3



PHOTO OF OVER-EXCAVATION NEXT TO BRICK FOUNDATIONS 2

MAIN RESIDENCE PRESERVATION PLAN 5



PHOTO OF ORIGINAL RIVER COBBLE STONE VENEER 4



PHOTO OF DETERIORATING INNER COURSE OF BRICK FOUNDATION 1

Architect

ROBERT MAYER

1400 Santa Clara Street  
Santa Clara, CA 95050  
Phone: (408) 298-2612  
mayer@robertmayer.com

CONSULTANT

NEW BASEMENT ADD & ADDITION / REMODEL TO THE RESIDENCE AT:

1393 SANTA CLARA STREET  
SANTA CLARA, CA 95050  
APN: 289-26-112

ISSUE/REV:	PLANNING REVIEW
PROJECT #:	2019-04 MAZAREEB
DRAWN BY:	RM
CHECKED BY:	RM
ISSUE DATE:	06/19/19
SHEET TITLE:	HISTORIC PRESERVATION PLAN EXTERIOR PHOTOS

DRAWING NO. HP-1

of 13

2019-04 MAZAREEB.dwg



## Agenda Report

20-1431

Agenda Date: 1/2/2020

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### REPORT TO HISTORICAL AND LANDMARKS COMMISSION

#### **SUBJECT**

Public Hearing: Consideration of HLC referral for projects near a Historical Resource Inventory for the property located at 473 Lafayette Way

#### **BACKGROUND**

The subject property is a one-story Craftsman architectural style built in 1915. The property is not on the City's Historic Resources Inventory (HRI). A historical evaluation, DPR 523A Form was prepared by Robert Cartier of Archeological Resource Management, assessing the historical significance of the property.

As the proposed addition results in a new five-bedroom residence, the project requires the review of the Architectural Committee. Pursuant to the Santa Clara City Code 18.106.070 if the project is located within 200 feet of an HRI property, then prior to the Architectural Committee hearing, the application shall first be referred to the HLC. The project site is within 200 feet of the HRI property located at 950 Bellomy Street.

#### **DISCUSSION**

The applicant is requesting approval of a 124 square foot first floor addition and 1,118 square foot basement addition to an existing three-bedroom two-bathroom 993 square foot single-family residence, resulting in a five-bedroom three-bathroom 2,235 square foot residence. An existing 207 square foot detached garage will be demolished to construct a new 430 square foot detached two-car garage that will conform to current code. The existing house will be moved 16 feet to the east to provide access to the new detached garage.

The proposed scope will raise the existing house to excavate the new 1,118 square foot basement with interior access to the first floor. The first floor will be remodeled, and the 124 square foot addition will be on the left side of the house. The front porch roof will be removed to construct a small porch roof that would not encroach in the 20 feet front yard setback. Four light wells are proposed for egress and lighting purpose.

Although a DPR 523A Form is not required for properties not on the HRI, the applicant did provide an historical evaluation assessing the historical significance of the property. The evaluator review the historic eligibility of the subject property against the City's Local Criteria for Architectural Significance and finds that the house is not associated with significant historical event or individual and does not significantly reflect the historical development of the area. Although the house is a basic example of a Craftsman architecture, report concluded that the subject house does not appear to meet the Local criteria for Architectural Significance. Lastly, the evaluator finds that the house is in a neighborhood of mixed chronological and architectural styles and does not appear to meet the Criteria for Geographic Significance.

The proposed project will maintain a one-story Craftsman and is consistent with City's Single-family Design Guidelines, in that the proposed house is compatible with character and scale with the immediate and varying residential uses and buildings in the neighborhood. The proposed two-car garage would provide additional covered and uncovered parking spaces. By adding the living area in the basement and maintaining the one-story height, the proposed project would not adversely affect the privacy of immediately adjacent properties.

Staff finds that the proposed project would not adversely affect the HRI property at 950 Bellomy Street given the lack of direct view and separation from two streets (Lafayette Way and Lafayette Street) and another single-family residence. There is no direct view from the subject property and the HRI property with obstruction of street trees and a two-story residential structure. Included in the Project Data is an aerial map highlighting the project site and the property at 950 Bellomy Street.

#### Conclusion:

The design of the proposed basement addition and minor first floor addition is compatible and consistent with the City's Single-family Design Guidelines. The historical evaluation provided by the applicant concluded that the subject house does not qualify as historically significant resource based on the local, state, and national criteria. Finally, given the distance separation and obstructed views between the project site and the HRI property at 950 Bellomy Street, the proposed project does not have a significant adverse effect on the integrity of this historic resource.

#### **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301, Class 1 Existing Facilities in that the project is an addition of an existing single-family residence.

#### **PUBLIC CONTACT**

The notice of public meeting for this item was posted at three conspicuous locations within 300 feet of the project site and was mailed to property owners within 300 feet of the project site. No public comments have been received at the time of preparation of this report.

#### **RECOMMENDATION**

Recommend that the Historical and Landmarks Commission find that the proposed project located at 473 Lafayette Way does not have a significant adverse effect on the integrity of the historic resource at 950 Bellomy Street and that the alteration is compatible with the existing structure.

Prepared by: Steve Le, Associate Planner

Approved by: Gloria Sciara, Development Review Officer

#### **ATTACHMENTS**

1. Project Data Sheet
2. Statement of Justification
3. DPR Form
4. Conditions of Approval
5. Development Plan

**Project Data Sheet**

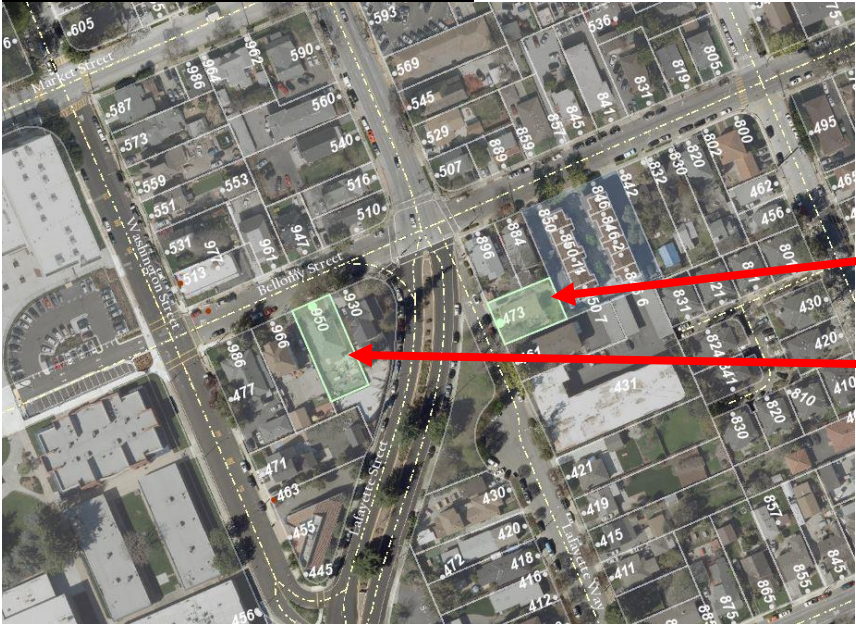
**File:** PLN2019-14157  
**Location:** 473 Lafayette Way, a 5,185 square foot parcel on the east side of Lafayette Way; APN: 269-44-034; property is zoned Single-Family Residential (R1-6L)  
**Applicant/Owner:** Collin Forgey  
**Request:** **Architectural review** for a 124 sq. ft first floor addition and 1,118 sq. ft. basement addition to an existing three-bedroom two-bathroom 993 sq. ft single-family residence with a 207 sq. ft garage, resulting in a five-bedroom three-bathroom 2,235 sq. ft residence with a new 430 sq. ft garage. The House will be moved to the east to provide access to the new garage. The project site is within 200 feet of a historical resource.  
**CEQA Determination:** Categorically Exempt per Section 15301, Existing Facilities  
**Project Planner:** Steve Le, Associate Planner  
**Staff Recommendation:** Approval

**Project Data**

<b>Lot Size: 5,185 sf.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed New Building (sq. ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>First Floor</b>	993	124	1,117.7
<b>Second Floor</b>	-	-	-
<b>Basement</b>	-	1,118	1,118
<b>Front Porch Cover</b>	84	-84	0
<b>Garage</b>	207 (demo)	430	430.3
<b>Gross Floor Area</b>	1,286	1,672	2,666
<b>Lot Coverage</b>	1,286/5,185= 24.8%		1,547 /5,185= 29.8%
<b>F.A.R.</b>	.25		.51
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>			
<b>Bedrooms/Baths</b>	3/2	2/1	5/3
<b>Flood Zone</b>	X		



**Aerial Photo of 473 Lafayette Way**



**473 Lafayette Way  
(Project Site)**

**950 Bellomy Street  
(HRI)**

**View from Lafayette Way**





**View from North of Project Site**



**View from South of Project Site**



SALVATORE CARUSO  
DESIGN CORPORATION



December 12, 2019

Statement of Justification  
473 Lafayette Way  
City of Santa Clara, CA 95050

To whom it may concern:

We are proposing the renovation of an existing, one story single family with 993.46 sf area. The house currently has 3 bedrooms and 2 bathrooms. We propose to add 124 sf to the first level and a new basement with 1,118 sf to add 2 bedrooms and one bathroom to the house.

The renovated house with 5 bedrooms and 3 bathrooms will have no changes in overall height.

The existing one car garage will be replaced with the two-car garage to comply with zoning requirements.

We propose to move the building to the southwest side of the site to allow room on the site for the new two-car garage and to meet the required 20 ft front setback.

Although the house is not identified as historic, we would like to restore the original siding by removing the vinyl shingles off the building and expose and repair the original siding underneath.

By building the addition underground, it preserves the integrity of the neighborhood aesthetics.

We look forward to your support of our small renovation and restoration.

Thank you.

Sincerely,

Salvatore Caruso, AIA  
Architect of Record



*Archaeological Resource Management*

*Robert R. Cartier, Ph.D.  
496 North 5th Street  
San Jose, CA 95112  
Telephone (408) 295-1373  
Fax (408) 286-2040  
email: armcartier@netscape.net*

Mr. Les Workman  
473 Lafayette Way  
Santa Clara, CA 95050  
C/O: Sal Caruso Design

September 20, 2019

RE: HISTORIC EVALUATION FOR THE PROPERTY AT 473 LAFAYETTE WAY IN  
THE CITY OF SANTA CLARA

Dear Mr. Workman,

As per your request our firm is submitting the enclosed historical evaluation of the structure at 473 Lafayette Way in Santa Clara. Based upon the requirements of the City of Santa Clara, a methodology was designed which included the following services:

- an evaluation of the structure based on the criteria of the NRHP and CRHR
- an evaluation of the structure using the criteria of the City of Santa Clara Historic Preservation Ordinance
- State Historic Resources Evaluation forms (DPR 523) for the structure

The structure at 473 Lafayette Way is not currently listed on the City of Santa Clara Historic Resource Inventory, the California Register of Historic Resources (CRHR), or the National Register of Historic Places (NRHP). In addition, it does not appear to be eligible for listing in any of these registers.

Thus the structure at 473 Lafayette Way does not appear to be historically significant, and no further recommendations are being made.

Sincerely,



Robert Cartier, Ph.D.  
Principal Investigator

RC/dj

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code \_\_\_\_\_  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 17Resource Name or # 473 Lafayette Way

P1. Other Identifier: \_\_\_\_\_

P2. Location: \_\_\_\_\_ Not for Publication  Unrestricted \*a. County Santa Clara  
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad: San Jose West Date: 2012 T ; R ; 1/4 of 1/4 of Sec ; BM

c. Address: 473 Lafayette Way City: Santa Clara Zip: 95050

d. UTM: 10S 5 93 856mE/41 33 699mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)  
APN: 269-44-034

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The residence at 473 Lafayette Way is a single story Craftsman residence in fair condition, somewhat altered from its original form. The front gabled roof is of shallow pitch and surfaced with composition shingles. The eaves are somewhat broad and boxed, with enclosed rafters. Exterior walls are surfaced with broad shingles. The front façade features an offset porch covered by an extending front gabled roof. The porch is supported by narrow square wooden columns. Fenestration consists of wooden framed windows, primarily in a double-hung sash configuration.

See Continuation Sheet, Page 4

\*P3b. Resource Attributes: HP02 SFR

\*P4. Resources Present:  Building  Structure  Object  District  Element of District  Site  Other

P5a. Photo or drawing (Photo required for buildings, structures, objects.)



\*P5b. Description of Photo: (View, date, accession #)  
View of the front façade of 473 Lafayette Way

\*P6. Date Constructed/Age and Sources

Historic  Prehistoric  Both

Constructed 1915 based upon County of Santa Clara Appraiser's documentation.

\*P7. Owner and Address:

Colmack LLC  
2010 El Camino Real, Unit 704  
Santa Clara, CA 95050

\*P8. Recorded by:

Robert Cartier  
Archaeological Resource Management  
496 North 5<sup>th</sup> Street  
San Jose, CA 95112

\*P9. Date Recorded: 9/20/2019

\*P10. Survey Type: Intensive

\*P11. Report Citation: (Cite Survey Report and other sources, or enter "none.")

None

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photographic Record  Other (List):

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 17

\*NRHP Status Code \_\_\_\_\_

\*Resource Name or # (Assigned by recorder) 473 Lafayette Way

**B1. Historic Name:** Vierra Residence

**B2. Common Name:** 473 Lafayette Way

**B3. Original Use:** Residential

**B4. Present Use:** Residential (vacant)

\***B5. Architectural Style:** Craftsman

\***B6. Construction History:** (Construction date, alterations, and date of alterations)  
Based upon visual evaluation and County Appraiser's records, the residence at 473 Lafayette Way was originally constructed in 1915. Some alterations have been made to the structure since its original construction. Modifications have been made to the rear of the residence, and the structure has been reroofed and resurfaced with broad shingles. It appears that the porch has been reconstructed or somewhat modified.

\***B7. Moved?**  No  Yes  Unknown **Date:** \_\_\_\_\_ **Original Location:** \_\_\_\_\_

\***B8. Related Features:**  
As present on the property is a small detached garage. This simple structure features a front gabled roof and vertical wooden siding. The garage is not contemporaneous to the residence and appears to be of late 20<sup>th</sup> Century construction.

**B9a. Architect:** unknown

**b. Builder:** unknown

\***B10. Significance: Theme** architecture and shelter **Area** San Jose

**Period of Significance** Horiculture **Property Type** Private residential **Applicable Criteria** N/A

The subject property is located within Block 6S, Range 2 East, in the City of Santa Clara. Based upon visual evaluation and County of Santa Clara Appraiser's documentation, the residence was constructed in 1915. The earliest known occupant of the home was a Mrs. M. E. Arbuckle, who is listed at this address in the Polk Directory for Santa Clara in 1931. By 1933 the home is occupied by Lena Gordon. The following year, in 1934 the home is listed under the name A. R. Souza. Souza would remain in the home until 1945. By that year the property had been deeded to the Santa Clara Union High School District. On May 8, 1945 the district granted the property to W. H. Young (Book 1242 OR, Page 570). A few days later the property was transferred to Thomas and Edith Gion on May 15, 1945 (Book 1242 OR, Page 572). The Gions granted the property on June 5, 1945 to Frank and Mary Vierra (Book 1276 OR, Page 73). Frank is listed as the resident of this address in 1947. On June 10, 1948 the property was granted to Alfred Francis Vierra and his wife Delphine Bernice Vierra (Book 1630 OR, Page 519). The Vierras would retain ownership of the property until May 4, 1954, when it was granted to Bruce and Dorla Deen (or Dean) Lindberg (Book 2866 OR, Page 174).

See Continuation Sheet, Page 4

**B11. Additional Resource Attributes:** (List attributes and codes) None

\***B12. References:**  
See Continuation Sheet, Page 7

**B13. Remarks:**

\***B14. Evaluator:** Robert R. Cartier

\***Date of Evaluation:** 9/20/2019

(This space reserved for official comments.)

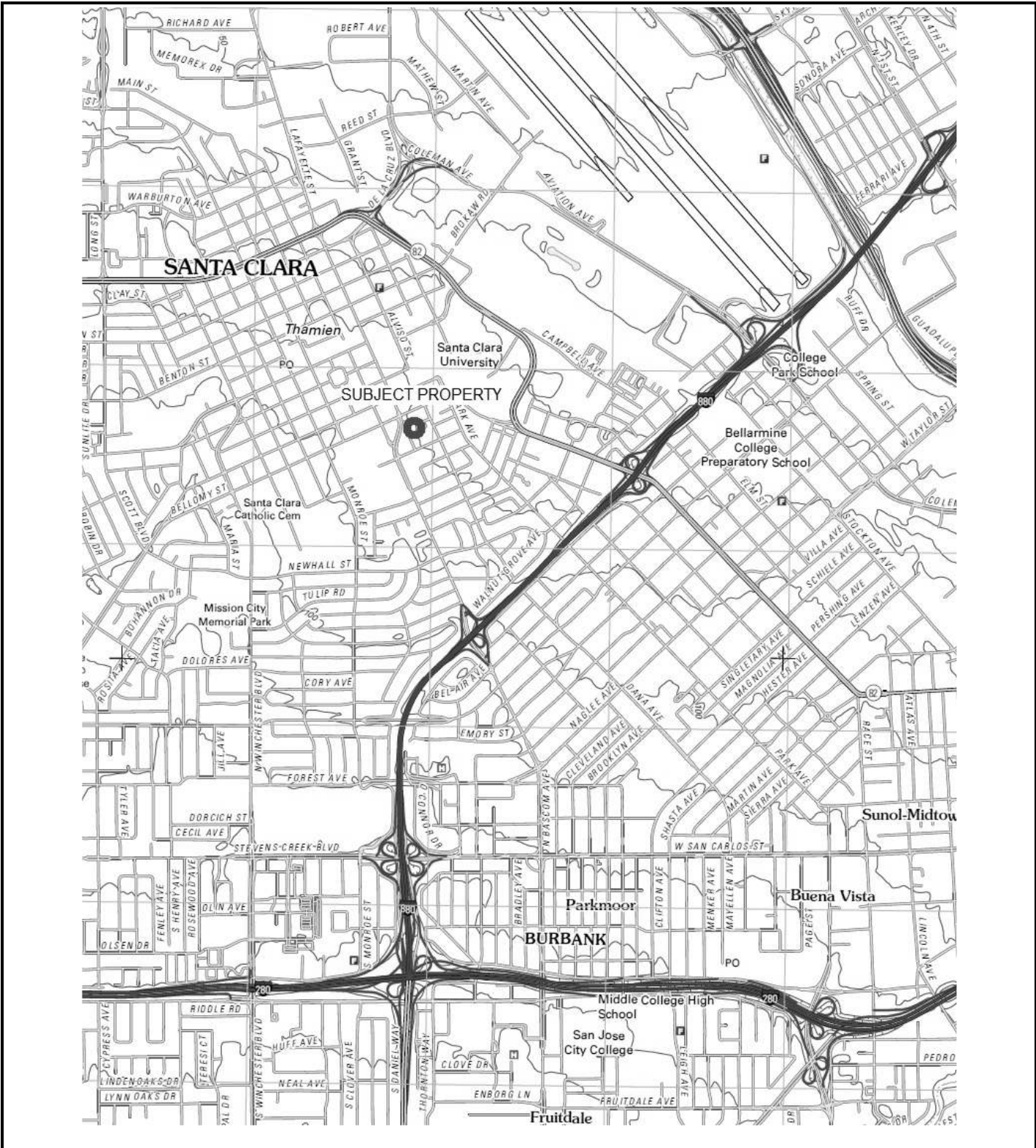


State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

**LOCATION MAP**

Page 3 of 17      Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Map Name: San Jose West, CA      \*Scale: 7.5 Minute      \*Date of Map: 2012



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

**CONTINUATION SHEET**Page 4 of 17

\*Resource Name or # (Assigned by recorder)

473 Lafayette Way

\*Recorded by Archaeological Resource Management

Date 9/20/2019

Continuation  Update*Continued from P3a:*

The interior of the residence is in fair condition, although somewhat modified from its original form. All interior fixtures including the counters, appliances, and plumbing have been modernized and are non-original. The structure is located in a neighborhood of mixed chronology and architectural styles, ranging from the late 19<sup>th</sup> Century to the Mid 20<sup>th</sup> Century.

*Continued from B10:*

However, based upon City Directory information, the Vierras would remain as residents of the home until Bruce's death in the 1960's, after which Delphine Vierra is listed as the occupant until the early 1980s. The home appears to have remained vacant for several years after this period, after which it was occupied by a number of short term tenants. Bruce Lindberg was employed by the City of Santa Clara Police Department, and retired after 31 years of service, having attained the rank of Captain. After Bruce's death in 2018, the Lindberg family retained ownership of the property until July 18, 2019, when it was granted to Colmack LLC, who are the current owners (Assessor's Doc# 24228465).

*California Register of Historic Resources Criteria*

A cultural resource is considered "significant" if it qualifies as eligible for listing in the California Register of Historic Resources (CRHR). Properties that are eligible for listing in the CRHR must meet one or more of the following criteria:

1. Association with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
2. Association with the lives of persons important to local, California, or national history;
3. Embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master, or possessing high artistic values; or
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

A property may be automatically listed in the CRHR if it is formally determined eligible for the National Register of Historic Places. Properties that are formally determined eligible for the NRHP are those that are designated as such through one of the federal preservation programs administered by the California Office of Historic Preservation (i.e., the National Register, Tax Certification, and Section 106 review of federal undertakings). The CRHR interprets the integrity of a cultural resource based upon its physical authenticity. An historic cultural resource must retain its historic character or appearance and thus be recognizable as an historic resource. Integrity is evaluated by examining the subject's location, design, setting, materials, workmanship, feeling, and association. If the subject has retained these qualities, it may be said to have integrity. It is possible that a cultural resource may not retain sufficient integrity to be listed in the National Register of Historic Places yet still be eligible for listing in the CRHR. If a cultural resource retains the potential to convey significant historical/scientific data, it may be said to retain sufficient integrity for potential listing in the CRHR.

The structure at 473 Lafayette Way is not currently listed on the California Register of Historical Resources. In addition, the structure does not appear to qualify as potentially eligible under any of the criteria listed above. The home is not associated with any known significant historical events, thus it does not appear to qualify as potentially eligible under criterion 1. No historically significant persons appear to have been associated with the property, thus it does not appear to qualify as potentially eligible under criterion 2. The structure is not a significant example of Craftsman architecture. Thus it does not appear to qualify as potentially eligible under criterion 3. In addition, the structure does not appear to have the potential to yield significant historical information, and thus does not appear eligible under criterion 4.



State of California - The Resources Agency  
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Primary # \_\_\_\_\_

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Trinomial \_\_\_\_\_

**CONTINUATION SHEET**Page 5 of 17

\*Resource Name or # (Assigned by recorder)

473 Lafayette Way

\*Recorded by Archaeological Resource Management

Date 9/20/2019

Continuation  Update*National Register Criteria*

The National Register of Historic Places was first established in 1966, with major revisions in 1976. The register is set forth in 36 CFR 60 which establishes the responsibilities of the State Historic Preservation Officers (SHPO), standards for their staffs and review boards, and describes the statewide survey and planning process for historic preservation. Within this regulation guidelines are set forth concerning the National Register of Historic Places (36 CFR 60.6). In addition, further regulations are found in 36 CFR 63-66, 800, and Bulletin 15 which define procedures for determination of eligibility, identification of historic properties, recovery, reporting, and protection procedures. The National Register of Historic Places was established to recognize resources associated with the accomplishments of all peoples who have contributed to the country's history and heritage. Guidelines were designed for Federal and State agencies in nominating cultural resources to the National Register. These guidelines are based upon integrity and significance of the resource. Integrity applies to specific items such as location, design, setting, materials, workmanship, feeling, and association. Quality of significance in American history, architecture, archaeology, engineering and culture is present in resources that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet at least one of the following criteria:

- A. That are associated with events that have made a significant contribution to broad patterns of our History;
- B. That are associated with the lives of persons significant in our past;
- C. That embody distinctive characteristics of type, period, or method of construction, or that represent the work of master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. That have yielded, or are likely to yield, information important in prehistory or history.

Integrity is defined in Bulletin 15: How to Apply the National Register Criteria for Evaluation, (U.S. Department of the Interior, National Park Service 1982) as:

the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic or prehistoric period. If a property retains the physical characteristics it possessed in the past then it has the capacity to convey association with historical patterns or persons, architectural or engineering design and technology, or information about a culture or peoples.

There are also seven aspects of integrity which are used. These aspects are:

- |              |                |
|--------------|----------------|
| 1. location  | 5. workmanship |
| 2. design    | 6. feeling     |
| 3. setting   | 7. association |
| 4. materials |                |

The structure at 473 Lafayette Way is not currently listed on the National Register of Historic Places. In addition, the property does not appear to be potentially eligible for listing in this register. The home is not associated with significant historic events or persons, thus it does not appear to be potentially eligible for listing under criteria A or B. The home is not a significant example of Craftsman architecture, thus the structure does not appear to qualify as eligible for the NRHP under criterion C. The property does not appear to be likely to yield information important in prehistory or history, thus it does not appear to qualify as potentially eligible under criterion D.

State of California - The Resources Agency  
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Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

**CONTINUATION SHEET**Page 6 of 17

\*Resource Name or # (Assigned by recorder)

473 Lafayette Way

\*Recorded by Archaeological Resource Management

Date 9/20/2019Continuation  Update*City of Santa Clara Historic Preservation and Resource Inventory Criteria*

## Criterion for Historical or Cultural Significance

To be historically or culturally significant, a property must meet at least one of the following criterion:

1. The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state, or nation.
2. The property is associated with a historical event.
3. The property is associated with an important individual or group who contributed in a significant way to the political, social and/or cultural life of the community.
4. The property is associated with a significant industrial, institutional, commercial, agricultural, or transportation activity.
5. A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure.
6. A notable historical relationship between a site, building, or property's site and its immediate environment, including original native trees, topographical features, outbuildings or agricultural setting.

## Criterion for Architectural Significance

To be architecturally significant, a property must meet at least one of the following criterion:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.
2. The property is identified with a particular architect, master builder or craftsman.
3. The property is architecturally unique or innovative.
4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance.
5. The property has a visual symbolic meaning or appeal for the community.
6. A building's unique or uncommon building materials, or its historically early or innovative method of construction or assembly.
7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

## Criterion for Geographic Significance

To be geographically significant, a property must meet at least one of the following criterion:

1. A neighborhood, group or unique area directly associated with broad patterns of local area history.
2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.
3. An intact, historical landscape or landscape features associated with an existing building.
4. A notable use of landscaping design in conjunction with an existing building

The property at 473 Lafayette Way is not currently listed on the City of Santa Clara Historic Preservation and Resource Inventory. In addition, the structure does not appear to meet any of the criteria listed above. The structure is not associated with significant historical events or persons, and does not significantly reflect the historical development of the area. Thus it does not appear to qualify under the Criteria of Historically or Culturally Significant. Although a very basic example of Craftsman architecture, the structure does not appear to meet the Criteria for Architectural Significance as listed above. The structure is located in a neighborhood of mixed chronology and architectural styles, and does not appear to meet the Criteria for Geographic Significance.

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

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HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

**CONTINUATION SHEET**Page 7 of 17

\*Resource Name or # (Assigned by recorder)

473 Lafayette Way

\*Recorded by Archaeological Resource Management

Date 9/20/2019

Continuation  Update

Continued from B12:

Assessor's Office, County of Santa Clara

2019 Record search of assessed value and associated taxes for the property at  
473 Lafayette Way.

Calloway, S. and E. Cromley

1996 *The Elements of Style: A Practical Encyclopedia of Interior Architectural  
Details from 1485 to the Present, Revised Edition.* New York: Simon  
& Schuster.

City Directories

1881- Record search of City Directories on file at the California Room, Dr. Martin  
1979 Luther King, Jr. Main Library, San Jose Public Library, San Jose,  
California.

Douglas, J.

1993 *Historical Footnotes of Santa Clara Valley.* San Jose: San Jose Historical Museum Association.

McAlester, Virginia and Lee McAlester

1997 *A Field Guide to American Houses.* Alfred A. Knopf, New York

Payne, S.

1987 *Santa Clara County: Harvest of Change.* Northridge, California: Windsor Publications.

Recorder's Office, County of Santa Clara

2019 Record search of recorded information for the property at 473 Lafayette Way.

San Jose Mercury News

2018 Obituary for Bruce L. Lindberg, published October 14, 2018.

Thompson &amp; West

1876 *Historical Atlas of Santa-Clara County, California.* San Francisco: Thompson & West.

US Department of the Interior

1990 The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic  
Buildings

US Department of the Interior

1982 Bulletin 15 - "How to Apply the National Register Criteria for Evaluation."

Whiffen, Marcus

1992 *American Architecture since 1780, Revised Edition.* The MIT Press, Cambridge Mass.

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DEPARTMENT OF PARKS AND RECREATION

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HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

**CONTINUATION SHEET**

Page 8 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update



Photo 1: View of the front façade of the residence.



Photo 2: View of the extending front porch and entry.

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
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Page 9 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update



Photo 3: Detail of small vent at the top of the porch gable.



Photo 4: Oblique view of the front façade.

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**CONTINUATION SHEET**

Page 10 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update



Photo 5: View along the northern façade.



Photo 6: View of the rear portion of the northern façade.



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**CONTINUATION SHEET**

Page 11 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update



Photo 7: View of the rear façade.



Photo 8: View along the southern façade from the east.

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Trinomial \_\_\_\_\_

**CONTINUATION SHEET**

Page 12 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update



Photo 9: View along the southern façade from the west.



Photo 10: View of the crawl space and support beams.

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**CONTINUATION SHEET**

Page 13 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
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Photo 11: Interior view of the front room showing columns.



Photo 12: View of the bathroom showing non-original shower.

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DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
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**CONTINUATION SHEET**

Page 14 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update



Photo 13: View of the modernized kitchen.



Photo 14: View of the laundry area, likely an enclosed porch.

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**CONTINUATION SHEET**

Page 15 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update



Photo 15: View of the front of the detached garage.



Photo 16: Side view of the detached garage.



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**CONTINUATION SHEET**

Page 16 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation  Update

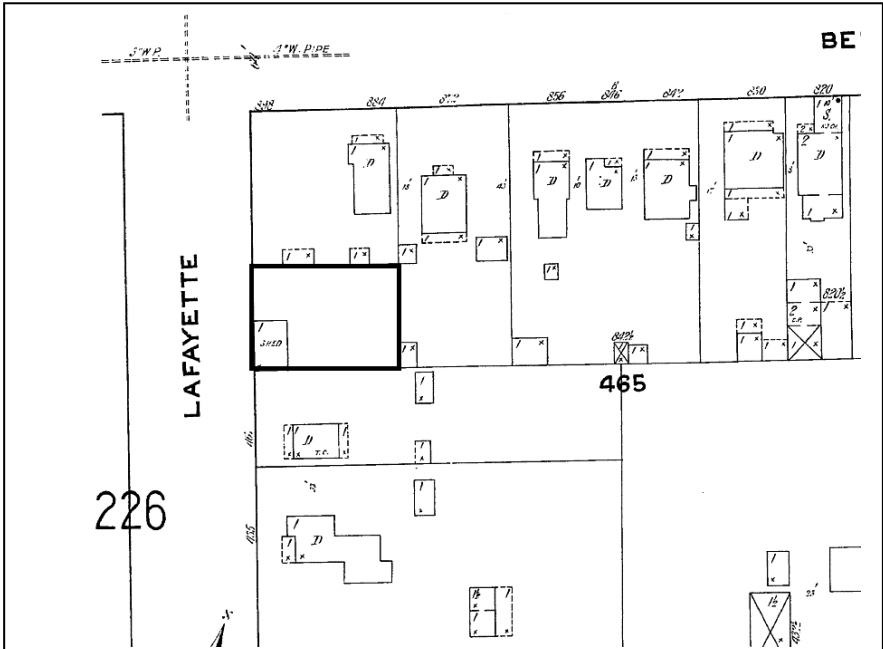


Photo 17: 1915 Sanborn Map of the subject property, showing no residence.

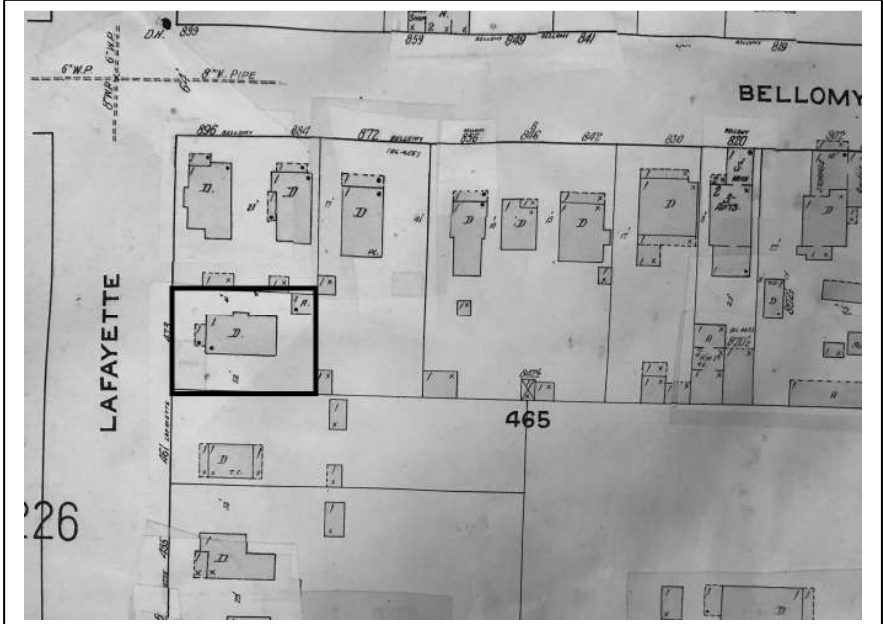


Photo 18: 1932 Sanborn Map of the subject property, showing current residence on the property.

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DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
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Trinomial \_\_\_\_\_

Page 17 of 17 \*Resource Name or # (Assigned by recorder) 473 Lafayette Way  
\*Recorded by Archaeological Resource Management Date 9/20/2019 Continuation x Update

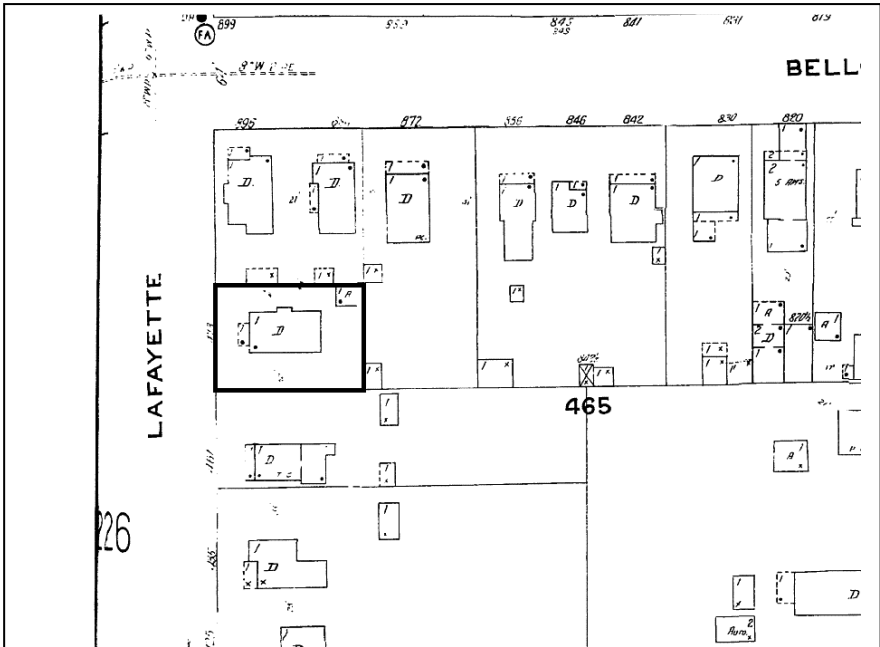


Photo 19: 1950 Sanborn Map of the subject property, showing the current residence.



Photo 20: 1962 Sanborn Map of the subject property, showing the current residence on the property.

**Conditions of Approval**  
**473 Lafayette Way**

**GENERAL**

- G1. Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed against the City by reason of its approval of developer's project.
- G2. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.

**COMMUNITY DEVELOPMENT**

- C1. Obtain required permits and inspections from the Building Official and comply with all building code requirements and conditions thereof.
- C2. Applicant is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- C3. Garage or carport shall be maintained clear and free for vehicle parking use at all times. It shall not be used as only storage.
- C4. Rehabilitate the front yard landscaping between the fence and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- C5. Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- C6. Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

# Residence

473 Lafayette Way  
Santa Clara, CA 95050



**APPLICABLE CODES**

- PART 1.0, CALIFORNIA ADMINISTRATIVE CODE
- PART 2.0, 2016 CALIFORNIA BUILDING CODE (CBC)
- PART 2.5, 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- PART 3.0, 2016 CALIFORNIA ELECTRIC CODE (CEC)
- PART 4.0, 2016 CALIFORNIA MECHANICAL CODE (CMC)
- PART 5.0, 2016 CALIFORNIA PLUMBING CODE
- PART 6.0, 2016 CALIFORNIA ENERGY CODE
- PART 9.0, 2016 CALIFORNIA FIRE CODE
- PART 11.0, 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

THE APPLICABLE CODES ARE AS AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF SANTA CLARA.

**PROJECT DESCRIPTION**

ADD BASEMENT TO AN EXISTING 3 BEDROOM, 2 BATH HOUSE. ADD 124 SF TO FIRST FLOOR AND KEEP THE OVERALL HEIGHT OF HOUSE EQUAL TO EXISTING STRUCTURE. MOVE THE HOUSE EAST TO ALLOW ROOM FOR A NEW TWO CAR GARAGE ON NORTHWEST REAR CORNER OF THE SITE. REMOVE VINYL SHINGLES OFF THE BUILDING AND EXPOSE, RESTORE AND REPLACE AS NEEDED ORIGINAL WOOD SIDING. ADD A TOTAL OF 2 BEDROOMS AND 1 BATHROOM. REMOVE EXISTING ONE CAR GARAGE AND REPLACE WITH NEW TWO CAR GARAGE TO COMPLY WITH ZONING REQUIREMENTS.

**DESIGN PROFESSIONALS**

**ARCHITECT:**  
SALVATORE CARUSO DESIGN CORPORATION  
980 EL CAMINO REAL, SUITE 200  
SANTA CLARA, CA 95050  
PHONE: (408) 998-4087  
FAX: (408) 998-4088



VICINITY MAP



**PROJECT DATA**

PROPERTY	APN NO.	ACRES	SITE AREA (SF)
PARCEL	269-44-034	0.11	5,185 SF

ZONING	R1-6L
TYPE OF CONSTRUCTION	V-B
OCCUPANCY	R-3/U
FIRE SPRINKLER (E) HISTORIC STRUCTURE AND GARAGE	NO

**FLOOR AREA CALCULATION:**

<E> FLOOR AREA:	
<E> FIRST FLOOR AREA:	993.46 SF
<E> GARAGE AREA (TO BE REMOVED)	207.40 SF
<E> TOTAL BUILDING AREA: (NOT INCLUDING GARAGE)	993.46 S.F.
<E> TOTAL BUILDING AREA: (INCLUDING GARAGE)	1,200.86 S.F.
<E> FIRST FLOOR FRONT PORCH (NON -HABITABLE):	84.84 SF
NEW ADDITION BASEMENT LEVEL:	1,118 SF
NEW ADDITION ON FIRST FLOOR:	124.30 SF
NEW GARAGE AREA:	430.56 SF
NEW FIRST FLOOR	1,117.77 SF
<N> TOTAL BUILDING AREA: (NOT INCLUDING GARAGE)	2,235.77 S.F.
<N> TOTAL BUILDING AREA: (INCLUDING GARAGE)	2,666.33 S.F.

**LOT COVERAGE CALCULATION:**

TOTAL BUILDING FOOTPRINT (INCLUDING GARAGE): (1117.77+84.84+430.56)	1,633.17 S.F.
TOTAL PROPOSED LOT COVERAGE: (ALLOWED 40%)	31% (PROPOSED)

**SHEET INDEX**

**ARCHITECTURAL DETAILS**

- A0.1 COVER SHEET
- A1.1 EXISTING SITE PLAN
- A1.2 PROPOSED SITE PLAN
- A2.0 EXISTING FLOOR PLAN
- A2.1 EXISTING ROOF PLAN
- A2.2 PROPOSED FLOOR PLAN
- A2.3 PROPOSED GARAGE PLAN
- A2.4 PROPOSED ROOF PLAN
- A3.0 EXISTING AND PROPOSED ELEVATIONS
- A3.1 EXISTING AND PROPOSED ELEVATIONS
- A3.2 EXISTING GARAGE ELEVATIONS
- A3.3 PROPOSED GARAGE ELEVATIONS
- A3.4 SECTIONS
- C1.0 CIVIL SURVEY

**PROJECT :**

**Residence**

473 Lafayette Way  
Santa Clara, CA 95050

**GENERAL NOTES :**

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**SHEET NAME :**

COVER SHEET

REVISIONS	BY

**DRAWN:**

**CHECKED:**

**DATE:** 11/13/19

**SCALE:** NTS

**JOB No.:** 19.02.04

**SHEET No.:**

**A0.1**

**SHEETS IN SET**

PROJECT :

Residence

473 Lafayette Way  
 Santa Clara, CA 95050

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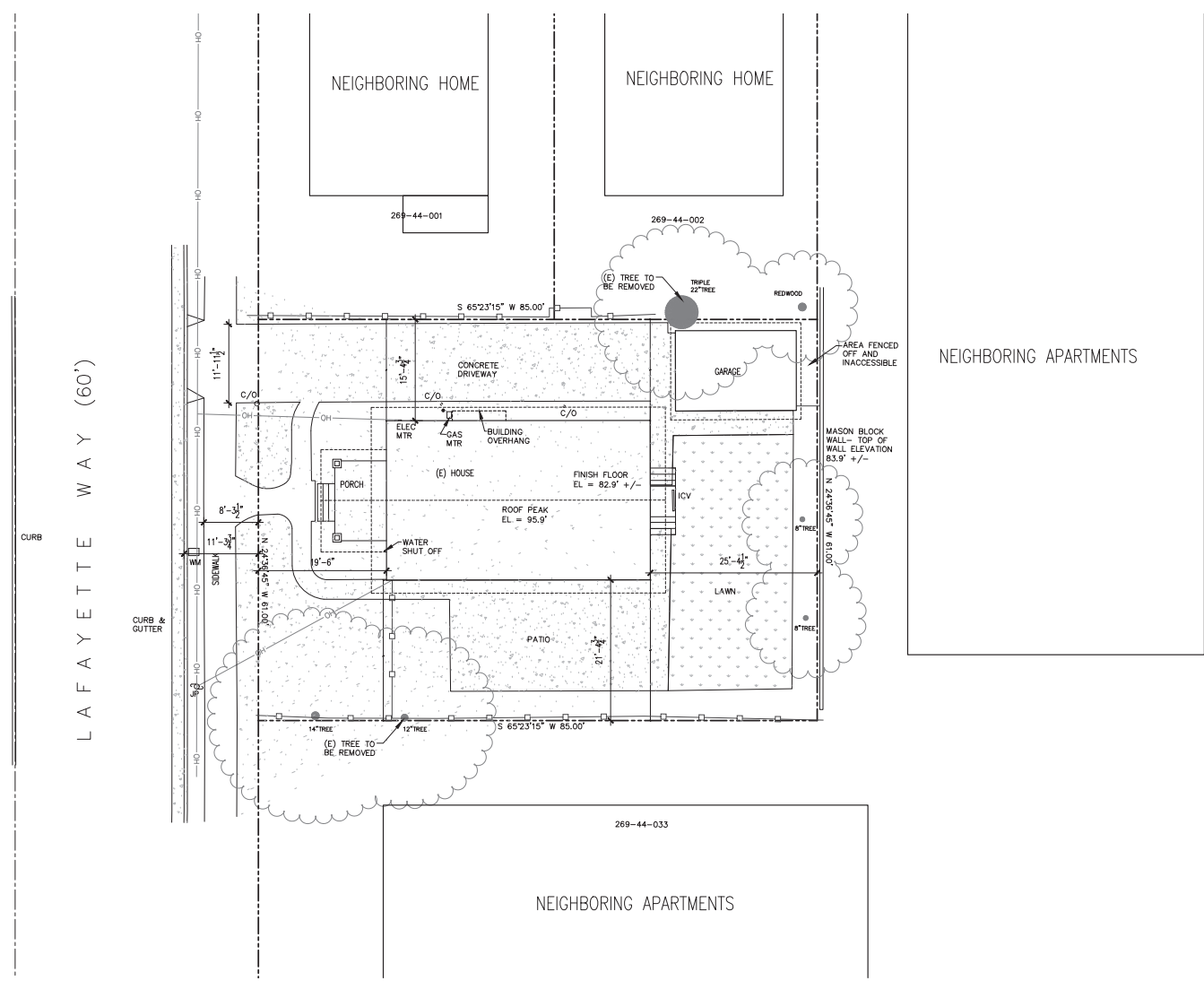
EXISTING  
 SITE PLAN

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	11/13/19
SCALE:	1/8"=1'-0"
JOB No.:	19.02.04
SHEET No.:	

SHEETS IN SET

A1.1



L A F A Y E T T E W A Y ( 6 0 ' )

EXISTING SITE PLAN

SCALE : 1/8"=1'-0"



PROJECT :

Residence

473 Lafayette Way  
 Santa Clara, CA 95050

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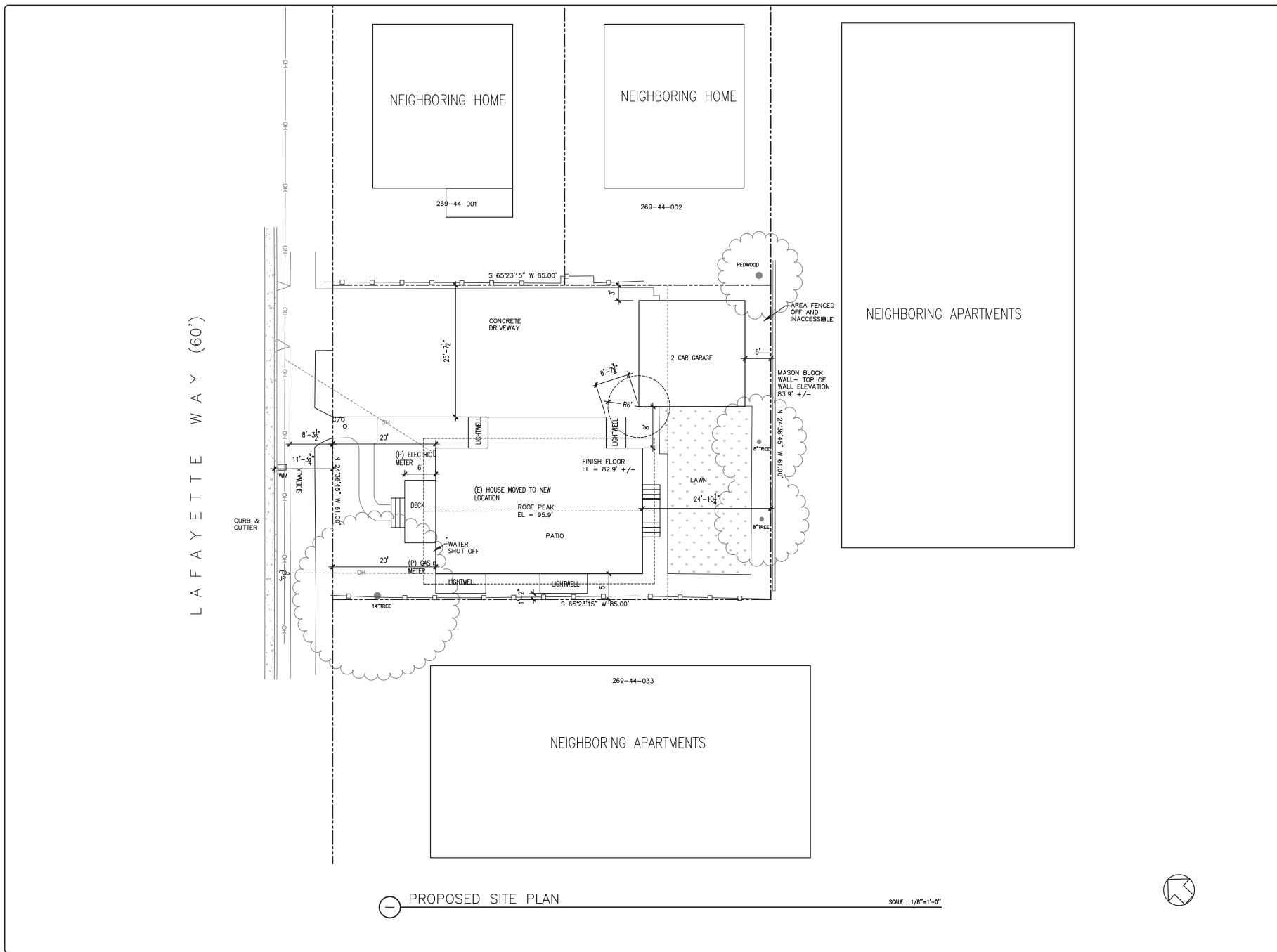
PROPOSED  
 SITE PLAN

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	11/13/19
SCALE:	1/8"=1'-0"
JOB No.:	19.02.04
SHEET No.:	

SHEETS IN SET

A1.2



PROPOSED SITE PLAN

SCALE : 1/8"=1'-0"





PROJECT :

**Residence**

473 Lafayette Way  
 Santa Clara, CA 95050

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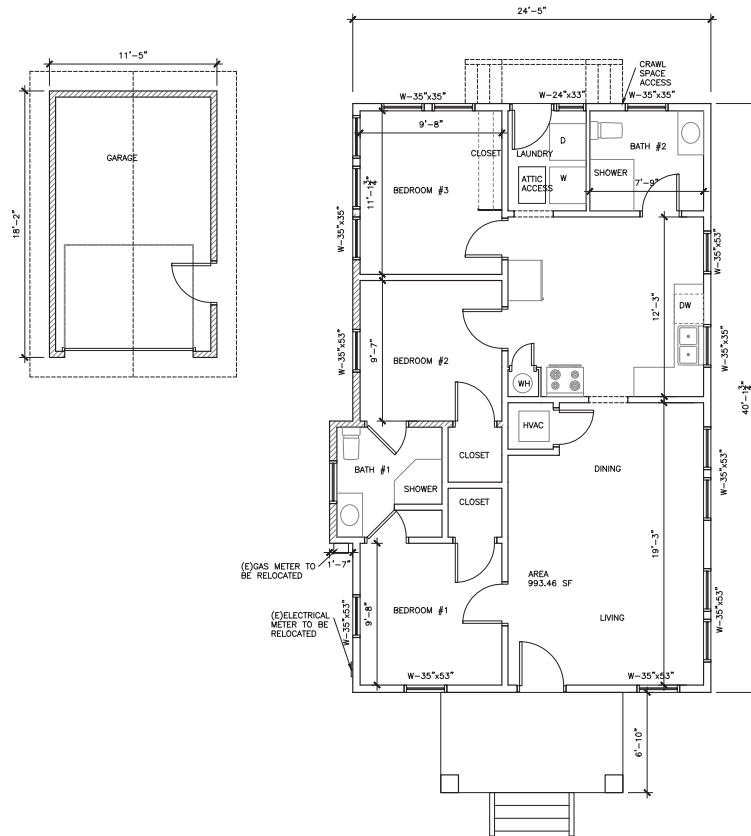
SHEET NAME :

EXISTING FLOOR PLANS

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	11/13/19
SCALE:	1/4"=1'-0"
JOB No.:	19.02.04
SHEET No.:	

A2.0  
 SHEETS IN SET

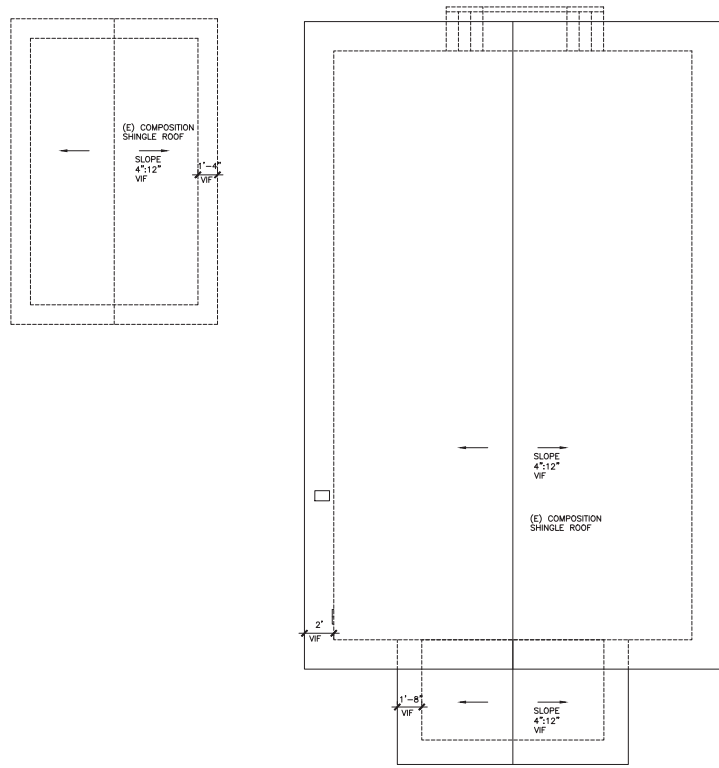


- (E) WALLS TO BE DEMOLISHED
- (R) WALLS TO REMAIN
- (N) WALLS
- (N) LIGHTWELL CONCRETE WALLS
- (N) LIGHTWELL CONCRETE WALLS

EXISTING FLOOR PLANS  
 FOR REFERENCE ONLY

SCALE : 1/4"=1'-0"

NOTE:  
 EXISTING BUILDING, PLEASE VERIFY DIMENSIONS ON SITE.



⊖ EXISTING ROOF PLAN SCALE: 1/4"=1'-0"

PROJECT :

**Residence**

473 Lafayette Way  
 Santa Clara, CA 95050

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EXISTING ROOF PLAN

REVISIONS	BY

DRAWN:

CHECKED:

DATE: 11/13/19

SCALE: 1/4"=1'-0"

JOB No.: 19.02.04

SHEET No.:

Residence

473 Lafayette Way  
 Santa Clara, CA 95050

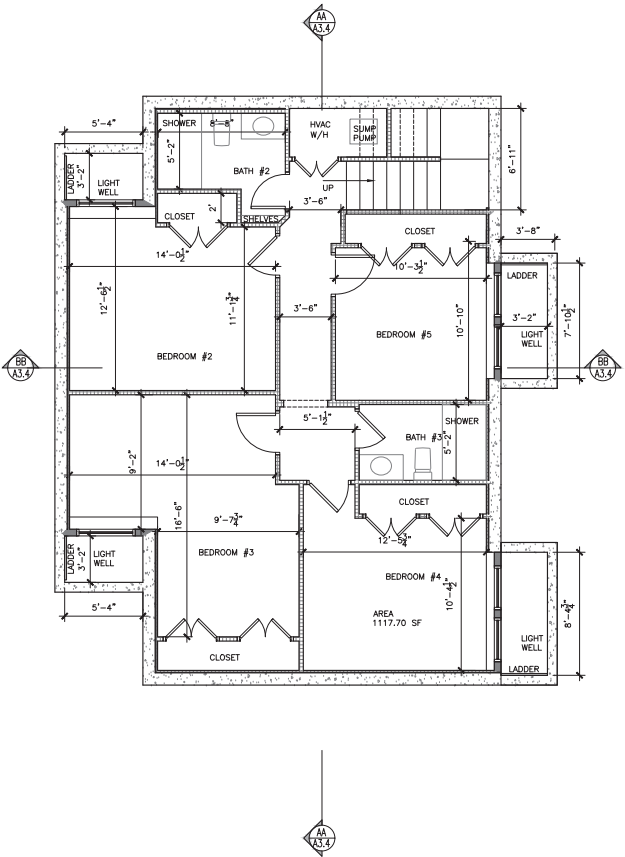
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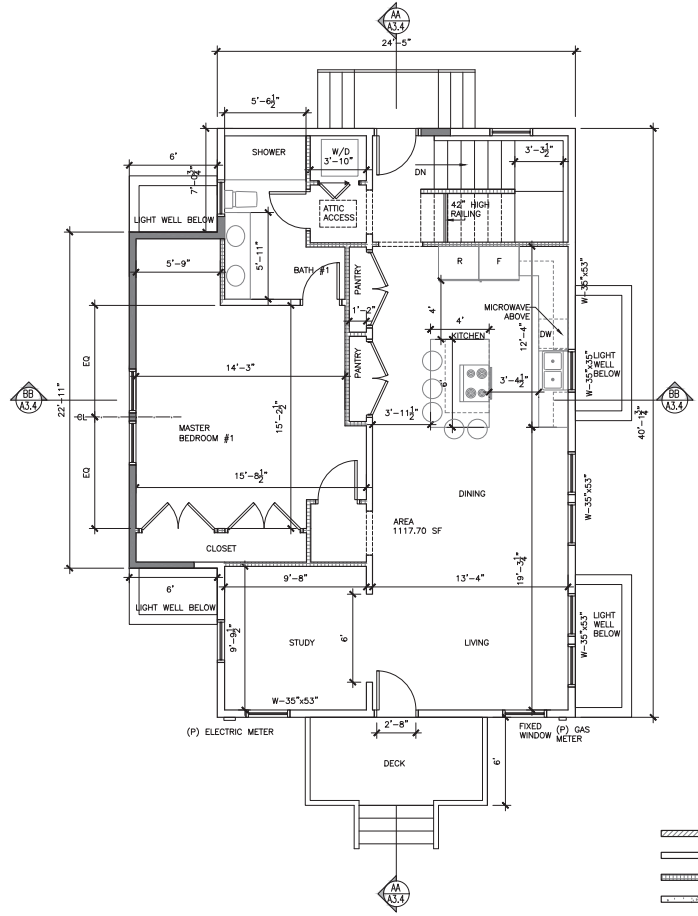
PROPOSED FLOOR PLAN

REVISIONS	BY

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CHECKED:	
DATE:	11/13/19
SCALE:	1/4"=1'-0"
JOB No.:	19.02.04
SHEET No.:	



PROPOSED LOWER FLOOR PLAN SCALE: 1/4"=1'-0"



PROPOSED UPPER FLOOR PLAN SCALE: 1/4"=1'-0"

- (E) WALLS TO BE DEMOLISHED
- (E) WALLS TO REMAIN
- (N) WALLS
- (N) LIGHTWELL CONCRETE WALLS



PROJECT :

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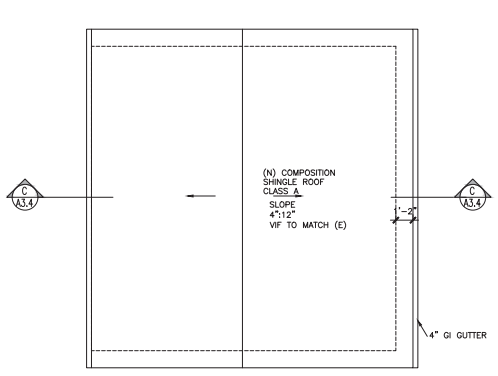
SHEET NAME :

### PROPOSED GARAGE FLOOR & ROOF PLAN

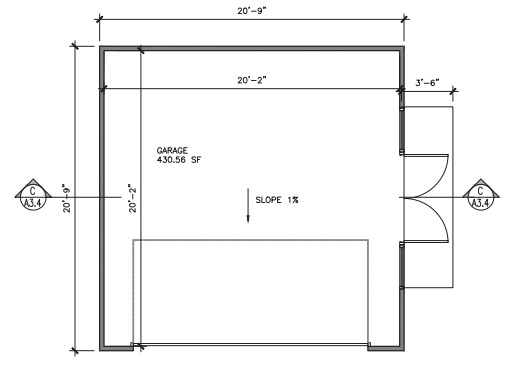
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 DATE: 11/13/19  
 SCALE: 1/4"=1'-0"  
 JOB No.: 19.02.04  
 SHEET No.:

SHEETS IN SET **A2.3**



PROPOSED GARAGE ROOF PLAN SCALE : 1/4"=1'-0"



PROPOSED GARAGE FLOOR PLAN SCALE : 1/4"=1'-0"



PROJECT :  
  
**Residence**  
  
 473 Lafayette Way  
 Santa Clara, CA 95050

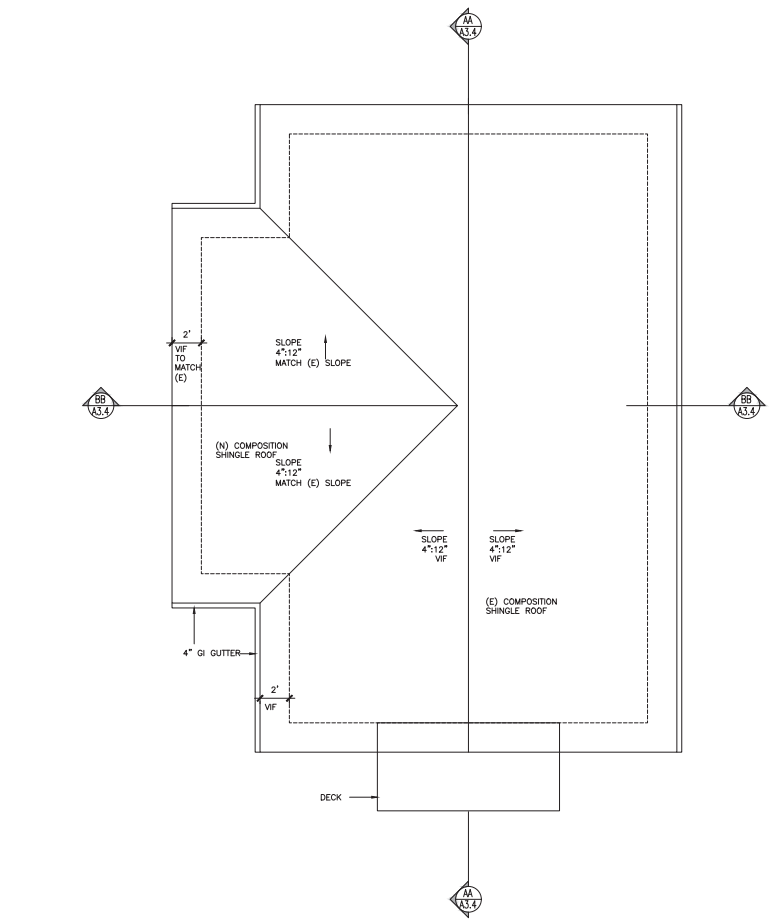
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**PROPOSED ROOF PLAN**

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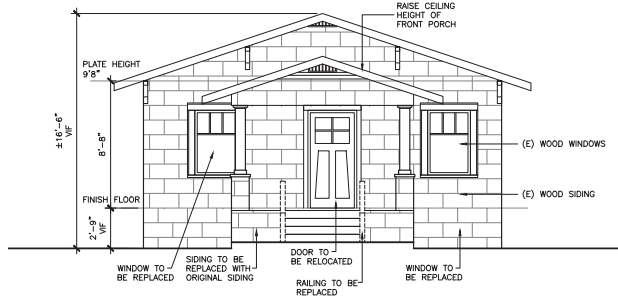
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 JOB No.: 19.02.04  
 SHEET No.:

A2.4  
 SHEETS IN SET



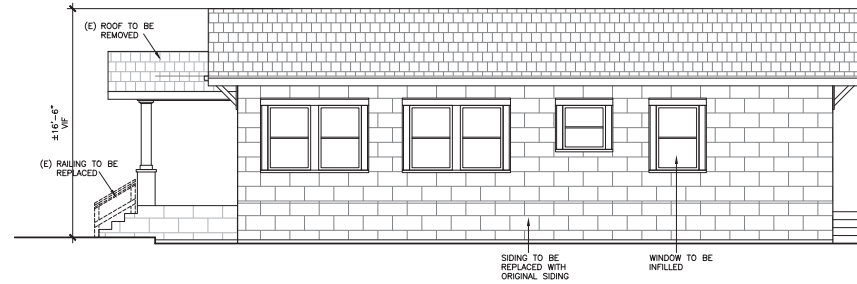
PROPOSED ROOF PLAN SCALE : 1/4"=1'-0"





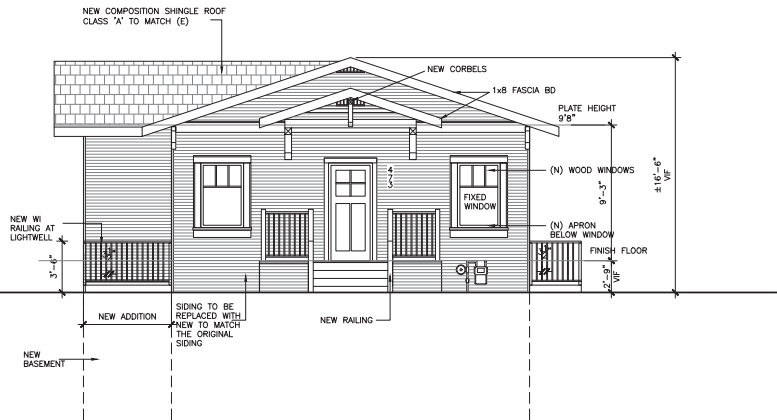
EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"



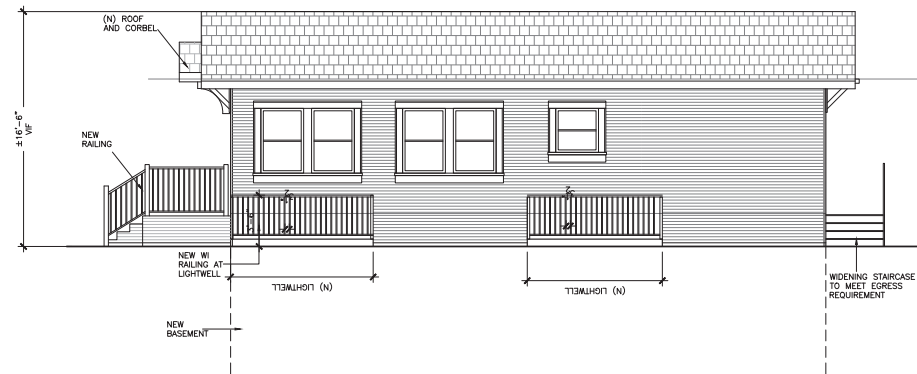
EXISTING SOUTH SIDE ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTH SIDE ELEVATION

SCALE: 1/4"=1'-0"

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SHEET NAME :

EXISTING & PROPOSED ELEVATIONS

REVISIONS	BY

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DATE: 11/13/19

SCALE: 1/4"=1'-0"

JOB No.: 19.02.04

SHEET No.:

A3.0

SHEETS IN SET



PROJECT :

## Residence

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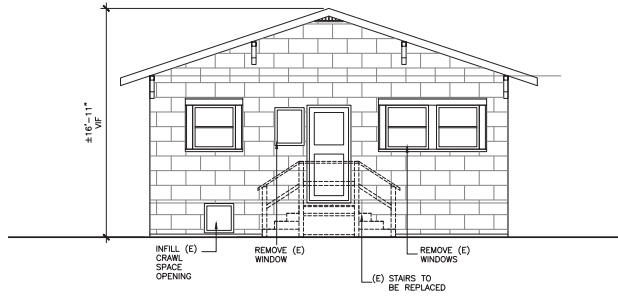
### EXISTING & PROPOSED ELEVATIONS

REVISIONS	BY

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JOB No.:	19.02.04
SHEET No.:	

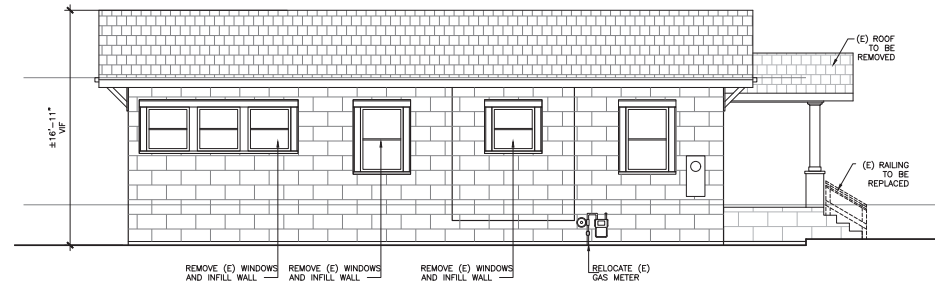
A3.1

SHEETS IN SET



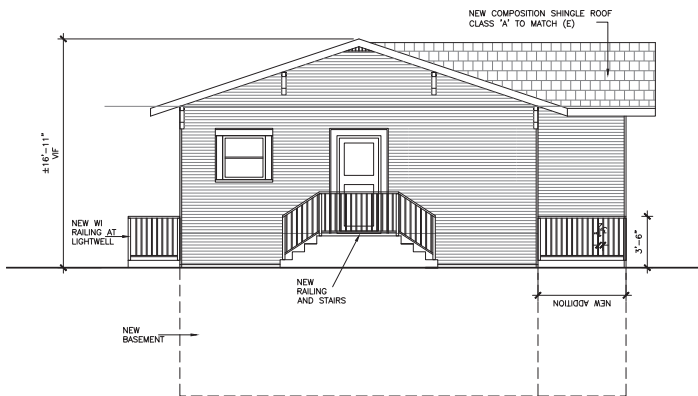
EXISTING REAR ELEVATION

SCALE : 1/4"=1'-0"



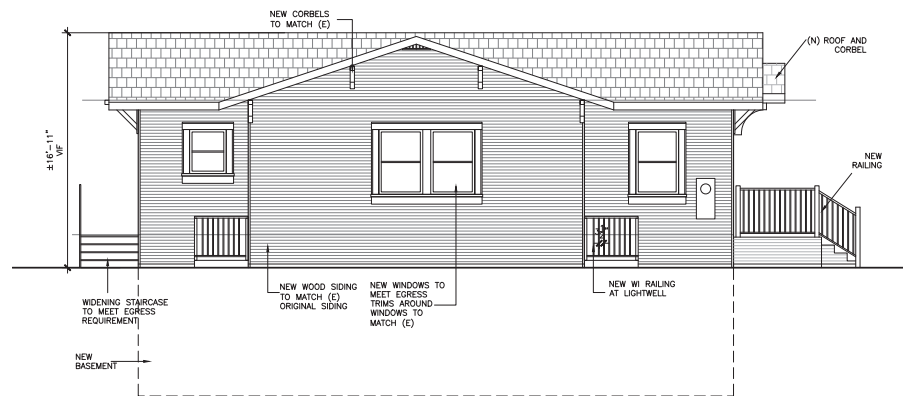
EXISTING DRIVEWAY SIDE ELEVATION

SCALE : 1/4"=1'-0"



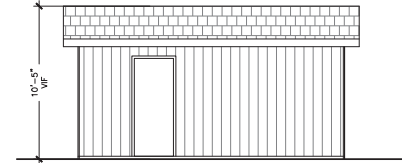
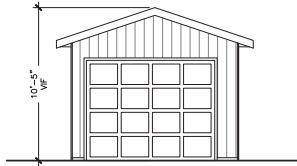
PROPOSED REAR ELEVATION

SCALE : 1/4"=1'-0"



PROPOSED DRIVEWAY SIDE ELEVATION

SCALE : 1/4"=1'-0"



○ FRONT ELEVATION

SCALE : 1/4"=1'-0"

○ SOUTH SIDE ELEVATION

SCALE : 1/4"=1'-0"

PROJECT :

**Residence**

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 Santa Clara, CA 95050

GENERAL NOTES :

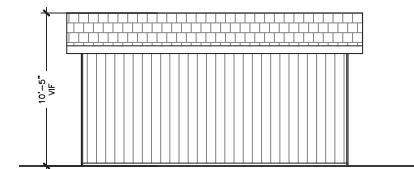
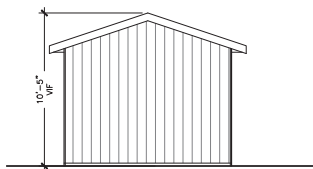
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EXISTING GARAGE  
 ELEVATIONS

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○ REAR ELEVATION

SCALE : 1/4"=1'-0"

○ NORTH SIDE ELEVATION

SCALE : 1/4"=1'-0"

PROJECT :

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**PROPOSED GARAGE ELEVATIONS**

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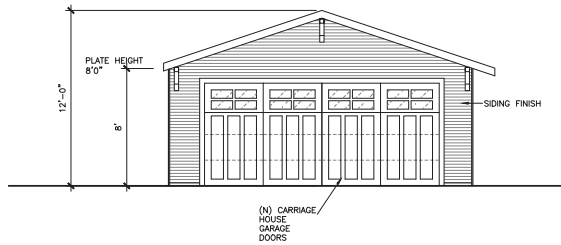
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DATE: 11/13/19

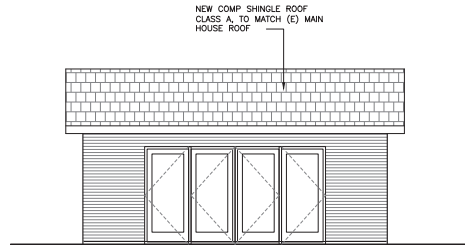
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JOB No.: 19.02.04

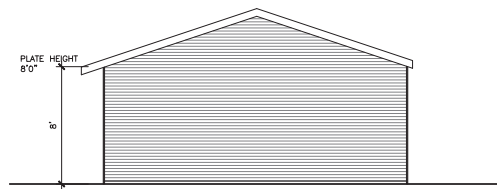
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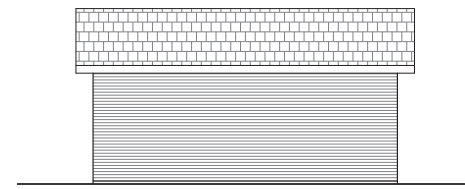
○ FRONT ELEVATION SCALE : 1/4"=1'-0"



○ SOUTH SIDE ELEVATION SCALE : 1/4"=1'-0"



○ REAR ELEVATION SCALE : 1/4"=1'-0"



○ NORTH SIDE ELEVATION SCALE : 1/4"=1'-0"

GENERAL NOTES :

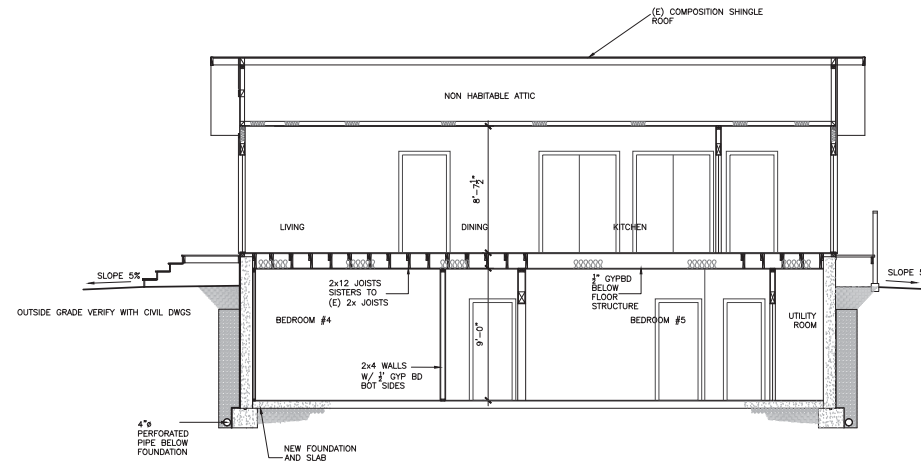
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SHEET NAME :

SECTIONS

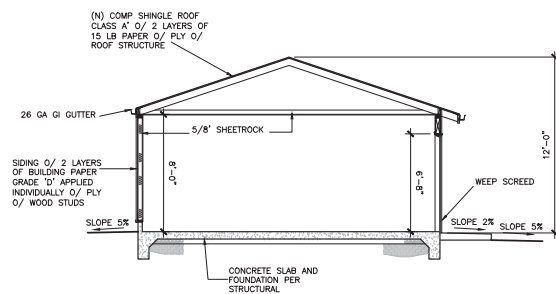
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SHEET No.:	



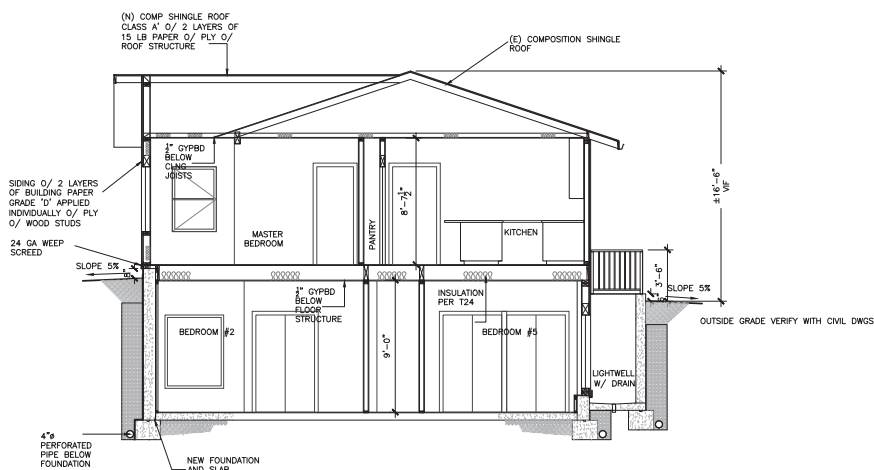
1 SECTION A-A

SCALE: 1/4"=1'-0"



3 SECTION C-C

SCALE: 1/4"=1'-0"



2 SECTION B-B

SCALE: 1/4"=1'-0"



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

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20-1472

Agenda Date: 1/2/2020

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### **REPORT TO HISTORICAL AND LANDMARKS COMMISSION**

#### **SUBJECT**

Action on Other Business before Historical and Landmarks Commission

#### **RECOMMENDATION**

There are four items for considerations.

- Election of Officers
- Board and Committee Assignments
- CLG 2018-2019 Annual Report (Reporting period is from October 1, 2018 through September 30, 2019)
- Leadership Santa Clara 2020

Reviewed by: Yen Han Chen, Associate Planner

Approved by: Gloria Sciara, Development Review Officer

#### **ATTACHMENTS**

1. CLG Annual Report Commissioner Qualifications form
2. CLG Annual Report Training Received template
3. Leadership Santa Clara 2020

**Statement of Qualifications**  
**for**  
**Certified Local Governments Commissioners**

Local Government \_\_\_\_\_

Name of Commissioner \_\_\_\_\_

Date of Appointment: \_\_\_\_\_

Date Term Expires: \_\_\_\_\_

Certified Local Government procedures require local commissions to meet specific professional requirements. The commission shall include a minimum membership of five individuals with all members having demonstrated interest, competence, or knowledge in historic preservation. Commission membership may also include lay members who have demonstrated special interests, competence, experience, or knowledge in historic preservation.

At least two Commission members are encouraged to be appointed from among professionals in the disciplines of history, architecture, architectural history, planning, pre-historic and historic archeology, folklore, cultural anthropology, curation, conservation, and landscape architecture or related disciplines, such as urban planning, American studies, American civilization, or cultural geography, to the extent that such professionals are available in the community.

Are you a professional in one of the disciplines associated with historic preservation?

\_\_\_\_\_ Yes

\_\_\_\_\_ No

Summarize your qualifying education, professional experience, and any appropriate licenses or certificates. Attach a resume.



# Certified Local Government Program -- 2018-2019 Annual Report

(Reporting period is from October 1, 2018 through September 30, 2019)

## D. Training Received

Indicate what training each commissioner and staff member has received. Remember it is a CLG requirement is that all commissioners and staff to the commission attend at least one training program relevant to your commission each year. It is up to the CLG to determine the relevancy of the training.

Commissioner/Staff Name	Training Title & Description (including method presentation, e.g., webinar, workshop)	Duration of Training	Training Provider	Date
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**From:** [Yen Chen](#)  
**To:** [Yen Chen](#)  
**Cc:** [Amelia Morgia](#)  
**Bcc:** [J.L. Spike Standifer](#); [Patricia Leung](#); [Stephen Estes](#); [Ana Vargas-Smith HLC](#); [Michael Celso - HLC](#); [Megan Swartzwelder](#); [Kathleen Romano](#)  
**Subject:** Leadership Santa Clara  
**Date:** Thursday, November 21, 2019 4:43:00 PM

---

Dear Commissioners,

We are pleased to inform you that the application for the Leadership Santa Clara 2020 program is now available.

Leadership Santa Clara is a four-month program to prepare residents for a leadership role in the community. The course presents skill-building workshops and topical presentations on the many issues influencing life in Santa Clara and the region. Full-day sessions are held at a variety of Santa Clara business and government sites, offering a peek behind-the-scenes of different organizations as well as convenient meeting locations.

The tentative schedule is as follows:

(All sessions are from 8:30 a.m.- 4:30 p.m., except for the February 6 class, which is from 9:00 a.m.- 4:15 p.m. and the graduation, which is from 5:30 - 6:45 p.m.)

Session 1: February 6  
Session 2: February 27  
Session 3: March 5  
Session 4: March 19  
Session 5: April 2  
Session 6: April 16  
Session 7: May 26  
Graduation: May 27

The City, as it has done in previous years, will waive the tuition for selected Commissioners.

Interest in this year's program has been extremely strong. Please visit [Leadership Santa Clara](#) for more information and to access the application. The deadline to apply is January 10, 2020.

**Yen Han Chen** | Associate Planner  
City of Santa Clara, Community Development  
1500 Warburton Avenue | Santa Clara, CA 95050  
O : 408.615.2450 | D: 408.615.2455



## Leadership Santa Clara 2020

Thank you for your interest in Leadership Santa Clara. Attached is an application form, which also includes additional program information. The application deadline is Jan. 10, 2020.

Of special note in this year's curriculum are full-day class sessions focusing specifically on public safety, public presentation/speaking, and education, which provide an in-depth look at these important topics.

Our tentative schedule is as follows:

*(All sessions are from 8:30 a.m.-4:30 p.m., except for the February 6 class, which is from 9:00 a.m.-4:15 p.m. and the graduation, which is from 5:30-6:45 p.m.)*

February 6  
February 27  
March 5  
March 19  
April 2  
April 16  
May 26  
May 27 - Graduation

Interest in this year's program has been extremely strong, and I encourage you to complete the application and return it to the City immediately along with the appropriate tuition fee as noted on the application. We will notify you regarding your application within ten days following the January 10 application deadline. It is Leadership Santa Clara's intent to ensure that the class roster includes individuals with a broad range of experiences, interests, and backgrounds.

Please return the form and your check or money order (made payable to City of Santa Clara) as soon as possible to:

Robyn Sahid  
City of Santa Clara  
City Manager's Office  
1500 Warburton Avenue  
Santa Clara, CA 95050

Thank you again for your interest in Leadership Santa Clara! If I can provide any additional information, please contact me via email or call me at (510) 714-4470.

Cordially,

Scott Summerfield  
Leadership Santa Clara Program Coordinator



## Leadership Santa Clara 2020

### Course Participant Application

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Live in Santa Clara?      \_\_\_ Yes      \_\_\_ No      \_\_\_ # of years

Work in Santa Clara?      \_\_\_ Yes      \_\_\_ No      \_\_\_ # of years

Which Santa Clara company? \_\_\_\_\_

What community activities or groups are you involved with?  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

How did you hear about Leadership Santa Clara?  
\_\_\_\_\_

Classes are scheduled at sites throughout Santa Clara from February through May 2020. A welcome session/tour/introduction starts the course on Thursday, February 6; classes are generally held from 8:30 a.m.-4:30 p.m. A graduation ceremony and reception is scheduled for Wednesday, May 27 at the Triton Museum from 5:30-6:45 p.m. Continental breakfast, lunch, and an afternoon snack will be provided at all class sessions. Successful completion of the Leadership Santa Clara program is based on attendance at all sessions, and full attendance is required for students to gain the most benefit from the program. Students may miss up to one class session due to unexpected circumstances such as illness, but additional absences will result in removal from the program or will result in the delay of graduation until the missed coursework is completed in the subsequent year's class.

Barring unforeseen emergencies, will you be able to attend all class sessions?      \_\_\_ Yes \_\_\_ No

If no, please indicate conflict: \_\_\_\_\_

---

Leadership Santa Clara makes every effort to accommodate those with disabilities; please note accommodation requests:

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Course tuition is \$750, of which \$675 may be sponsored by a company or other organization. \$75 must be paid by the student directly to ensure commitment to the program. The student's \$75 portion must be attached to this registration form, payable by check or money order to City of Santa Clara. If the remaining portion is being paid by a source other than the student, payment must be received no later than January 10, 2020. Tuition costs only partially defray actual program costs. Donations from businesses, clubs and organizations help to cover some program expenses; primary funding is through the City of Santa Clara General Fund.

There are a limited number of scholarships available for those residents of Santa Clara who would like to participate in the program but do not have sufficient resources to pay the full tuition. If a student would like to apply for this financial assistance, please attach a separate page indicating reasons to be considered for a scholarship and include a check or money order in the amount of \$75 payable to City of Santa Clara for the student's portion; if the student does not receive a scholarship and chooses not to participate, the student's \$75 will be refunded.

Entire tuition is being paid by student directly.

Student is paying \$75; other source is paying remaining \$675 of tuition.

Name of other source: \_\_\_\_\_

Student is paying \$75, is a Santa Clara resident, and would like to be considered for a scholarship (attach a separate sheet explaining reasons to be considered for a scholarship).

Scholarship funds are very limited; if applying for a scholarship, would you still be able to participate in the program if:

You don't receive a *full* scholarship?  Yes  No

You don't receive a *half* scholarship?  Yes  No

Please note that there are a limited number of spaces available for class participants. Students will be selected with the goal of developing a class comprising individuals with a broad range of backgrounds, affiliations and interests; applicants not selected for the 2020 program will have first priority for the 2021 program.

---

Applicant's Signature

---

Date

*Be sure to include your check with this application...thank you!*