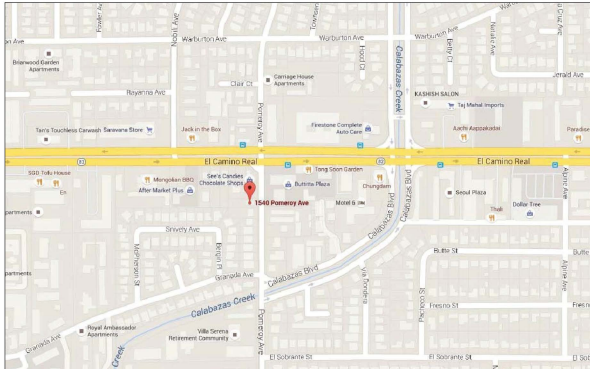


PROPOSED RESIDENTIAL PROJECT AT: 1530 / 1540 POMEROY AVE. SANTA CLARA, CA



RIGDECREST GROUP , INC
OMID SHAKERI (408) 666-6556

PROJECT:

1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

APN: 290-02-097 & 096

OCCUPANCY TYPE: R-3/U

CONSTRUCTION TYPE: V-B

LOT SIZE: 21,000 S.F.

PROJECT SCOPE:

6 THREE STORY UNITS WITH ATTACHED 2 CAR GARAGE EACH
EACH UNIT: 1,970 SQ FT. LIVING SPACE / 400 SQ .FT. GARAGE

5 THREE STORY UNITS WITH ATTACHED 2 CAR GARAGE EACH
EACH UNIT: 1,750 SQ FT. LIVING SPACE:

TOTAL GUEST PARKING PROVIDED: 5 STALLS

TOTAL COMMON RECREATION AREA PROVIDED: 1,100 S.F.

Zoning	General Plan	
1530 R3	ECR Specfic	
1540 MixedUse	Med Density Plan	
Flood Zoned	X	
Floor Area	Existing	Proposed
Floor Area	4,212 S.F.	23,950 S.F.
Building Coverage	4,212 S.F.	8,050 S.F.
Building Coverage%	20%	38.5%
Height	18 ft.	36 ft 32 ft Within 20 ft of R1
Use	Single Family	Town Homes
No. of Buildings	4	2
Parking	4	22

AUTOMATIC RESIDENTIAL FIRE SPRINKLERS
TO BE INSTALLED (UNDER SEPARATE PERMIT)

- A1.1 PROJECT DATA
- A1.2 SITE PLAN
- A1.3 SITE PLAN / FIRE EXHIBIT
- A1.4 STREET ELEVATIONS

1530 POMEROY AVE.

- A2.1 FLOOR PLANS UNIT 7
- A2.2 FLOOR PLANS UNITS 8 + 10
- A2.3 FLOOR PLANS UNIT 9
- A2.4 FLOOR PLANS UNIT 11
- A2.5 FIRST & SECOND FLOOR PLANS
- A2.5 THIRD FLOOR PLAN / ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 BUILDING SECTION

1540 POMEROY AVE.

- A2.1 FLOOR PLANS UNIT 1
- A2.2 FLOOR PLANS UNITS 2 + 4
- A2.3 FLOOR PLANS UNITS 3 + 5
- A2.4 FLOOR PLANS UNIT 6
- A2.5 FIRST & SECOND FLOOR PLANS
- A2.6 THIRD FLOOR PLAN / ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 BUILDING SECTION

- C1 CIVIL COVER SHEET
- C2 GRADING & DRAINAGE
- C3 DRIVEWAY PROFILE
- C4 ERROSION CONTROL
- C5 STORM WATER DRAIN PLAN
- C6 TOPOGRAHY
- C7 CONSTRUCTION BEST MANAGEMENT PRACTICE
- L1 LANDSCAPE PLAN
- L2 IRRIGATION PLAN
- L3 EXISTING TREES
- L4 LANDSCAPE NOTES
- L5 DETAILS
- L6 DETAILS

VICINITY MAP

PROJECT SUMMARY

SHEET INDEX

REVISIONS	BY
1	△

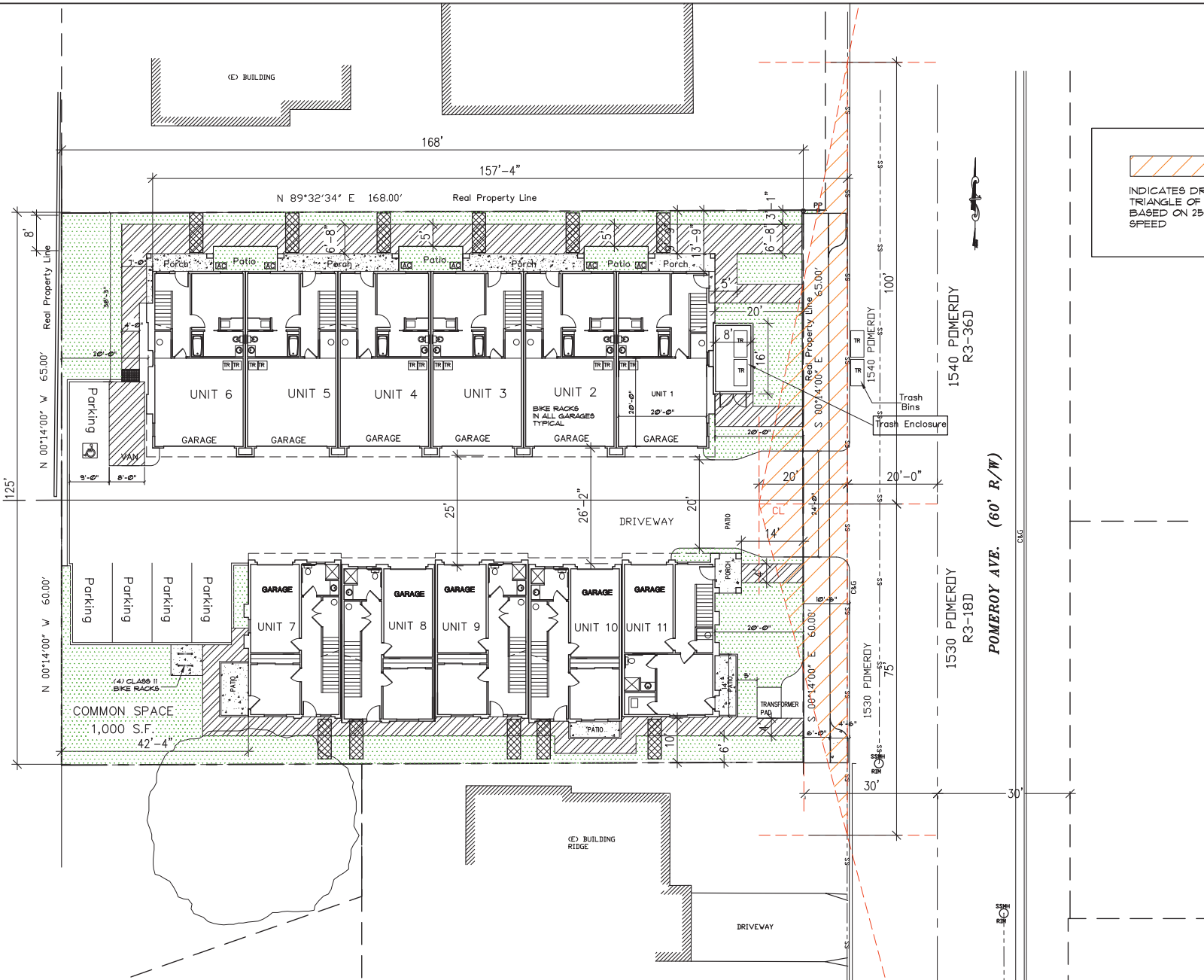
CB
BASSAM
Architecture
916.435.0609
408.674.9077

SITE PLAN

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 1-3-2024
SCALE: -
DRAWN: CB
JOB NO: 14-345
SHEET NO:
A1.1

OF SHEETS



SITE PLAN

1" = 10'-0"

REVISIONS	BY



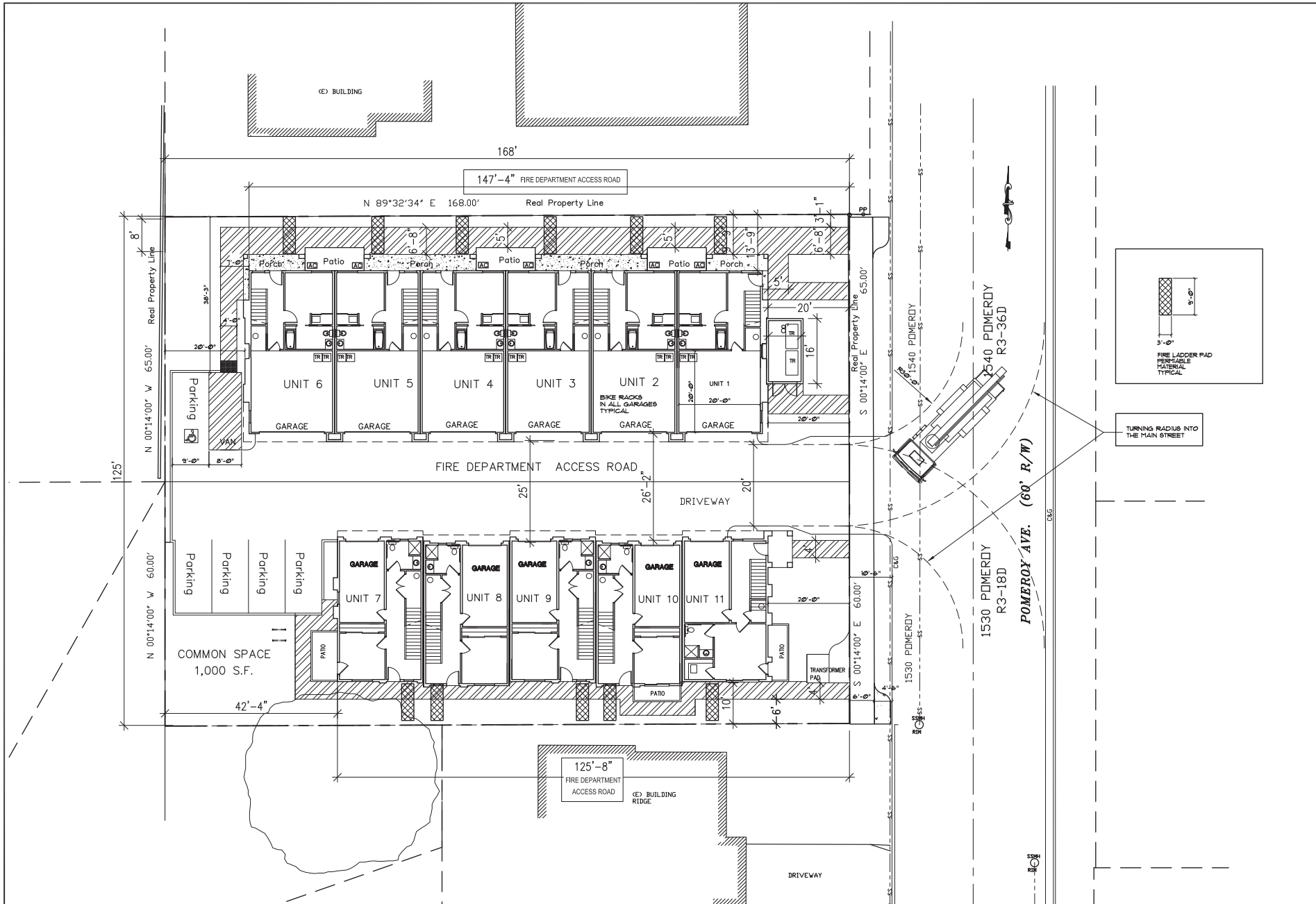
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Architecture
916.435.0605
408.674.9077

SITE PLAN

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE:	3-24-2025
SCALE:	1" = 10'-0"
DRAWN:	CB
JOB NO.	
SHEET NO.	A1.2

OF SHEETS



SITE PLAN - FIRE DEPARTMENT ACCESS 1" = 10'-0"

REVISIONS	BY



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SITE PLAN
FIRE PREVENTION EXHIBIT

RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DATE:	3-24-2025
SCALE:	1" = 10'-0"
DRAWN:	CB
JOB NO.	
SHEET NO.	A13
OF SHEETS	



REVISIONS	BY



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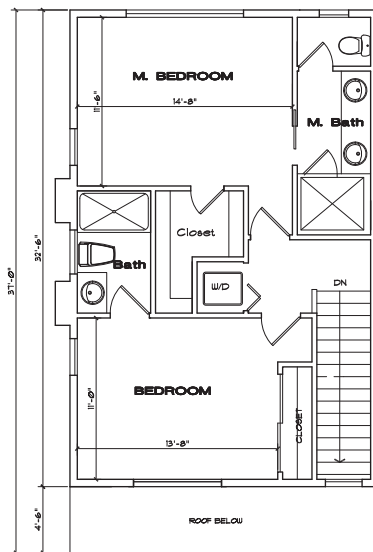


ELEVATIONS
VIEW FROM POMEROY

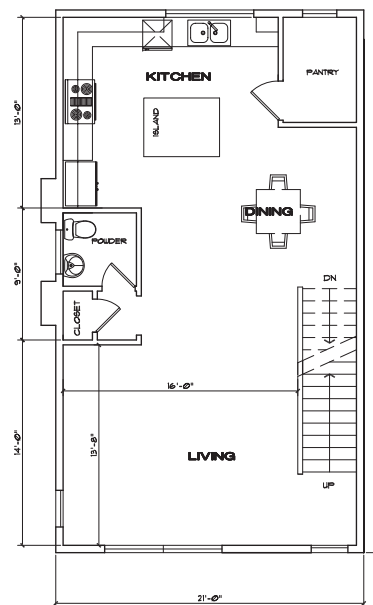
RESIDENTIAL PROJECT AT:
1530 POMEROY AVE.
SANTA CLARA, CA

DATE:
3-24-2025
SCALE:
3/16" = 1'-0"
DRAWN:
CB
JOB NO.
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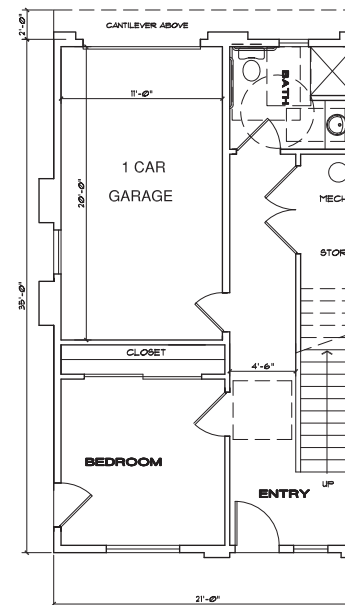
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A1.4
of SHEETS



THIRD FLOOR: 675 S.F.
(WITHOUT STAIRS)



SECOND FLOOR: 645 S.F.
(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.
(WITHOUT STAIRS)
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 7

REVISIONS	BY



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FLOOR PLANS
UNIT 7

RESIDENTIAL PROJECT AT:
1530 POMEROY AVE.
SANTA CLARA, CA

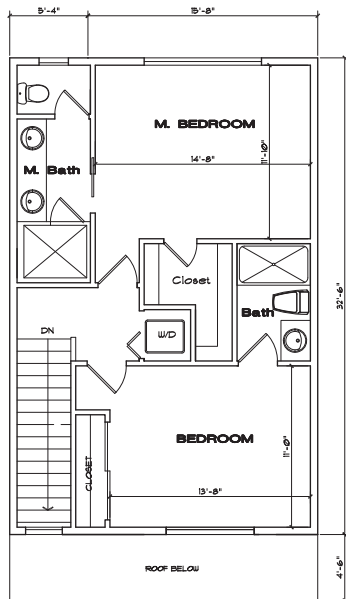
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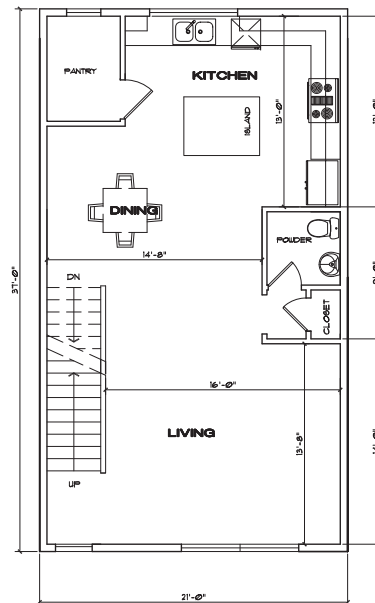
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FLOOR PLANS

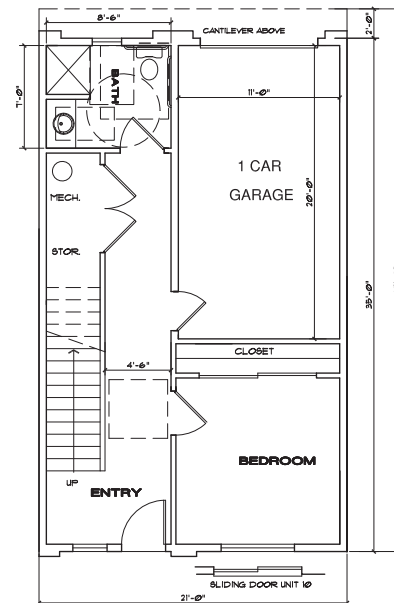
1/4" = 1'-0"



**THIRD FLOOR: 675 S.F.
(WITHOUT STAIRS)**



**SECOND FLOOR: 645 S.F.
(WITHOUT STAIRS)**



**FIRST FLOOR: 430 S.F.
(WITHOUT STAIRS)
GARAGE: 220 S.F.**

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNITS 8 & 10

REVISIONS	BY



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**FLOOR PLANS
UNITS 8 & 10**

**RESIDENTIAL PROJECT AT:
1530 POMEROY AVE.
SANTA CLARA, CA**

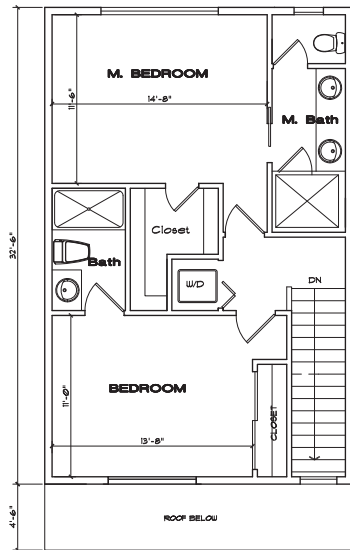
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JOB NO: 1

SHEET NO.
A2.2

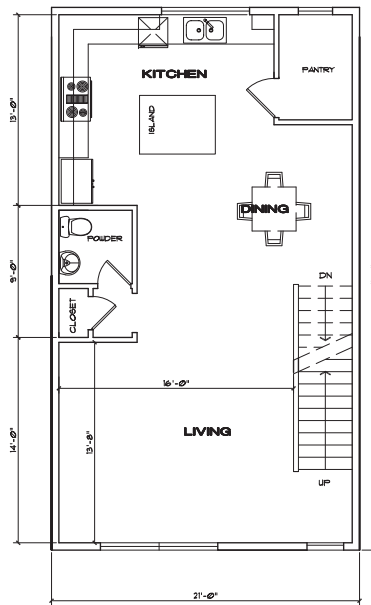
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FLOOR PLANS

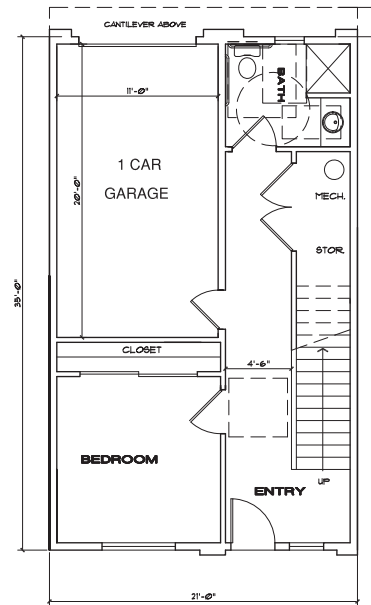
1/4" = 1'-0"



THIRD FLOOR: 675 S.F.
(WITHOUT STAIRS)



SECOND FLOOR: 645 S.F.
(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.
(WITHOUT STAIRS)
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 9

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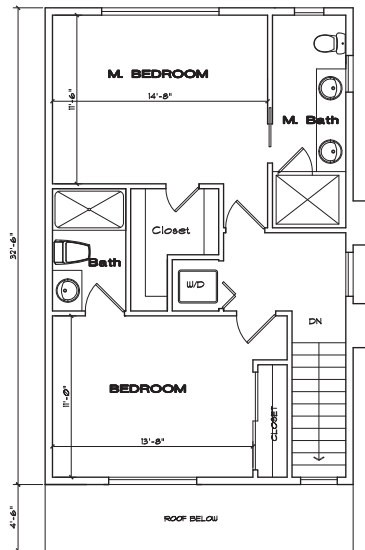
FLOOR PLANS
UNIT 9

RESIDENTIAL PROJECT AT:
1530 POMEROY AVE
SANTA CLARA, CA

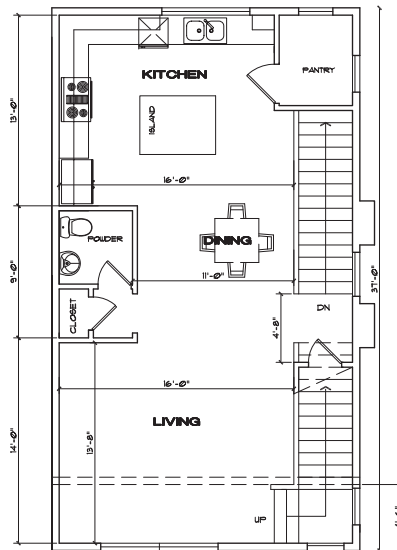
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JOB NO.	1

SHEET NO.
A2.3

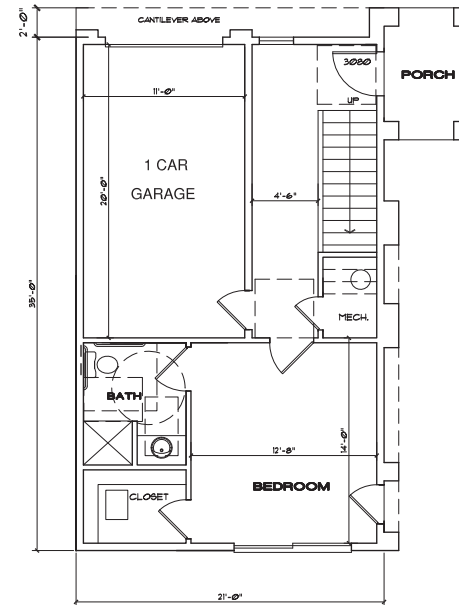
OF SHEETS



THIRD FLOOR: 675 S.F.
(WITHOUT STAIRS)



SECOND FLOOR: 645 S.F.
(WITHOUT STAIRS)



FIRST FLOOR: 430 S.F.
(WITHOUT STAIRS)
GARAGE: 220 S.F.

1530 POMEROY - TOTAL LIVING SPACE: 1,750 SQ.FT.

UNIT 11

REVISIONS	BY



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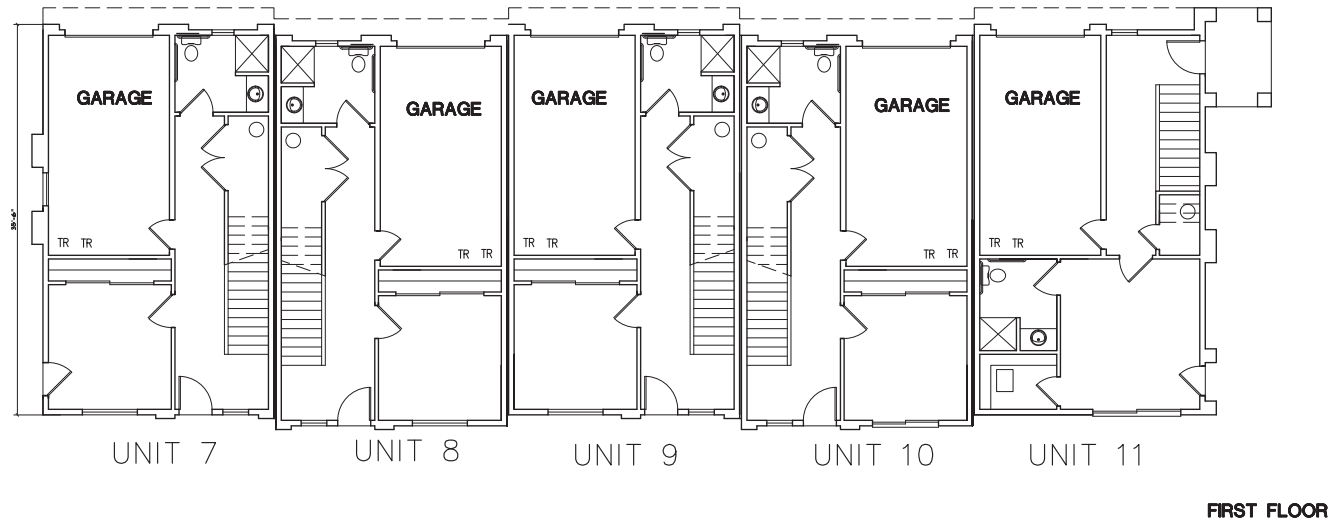
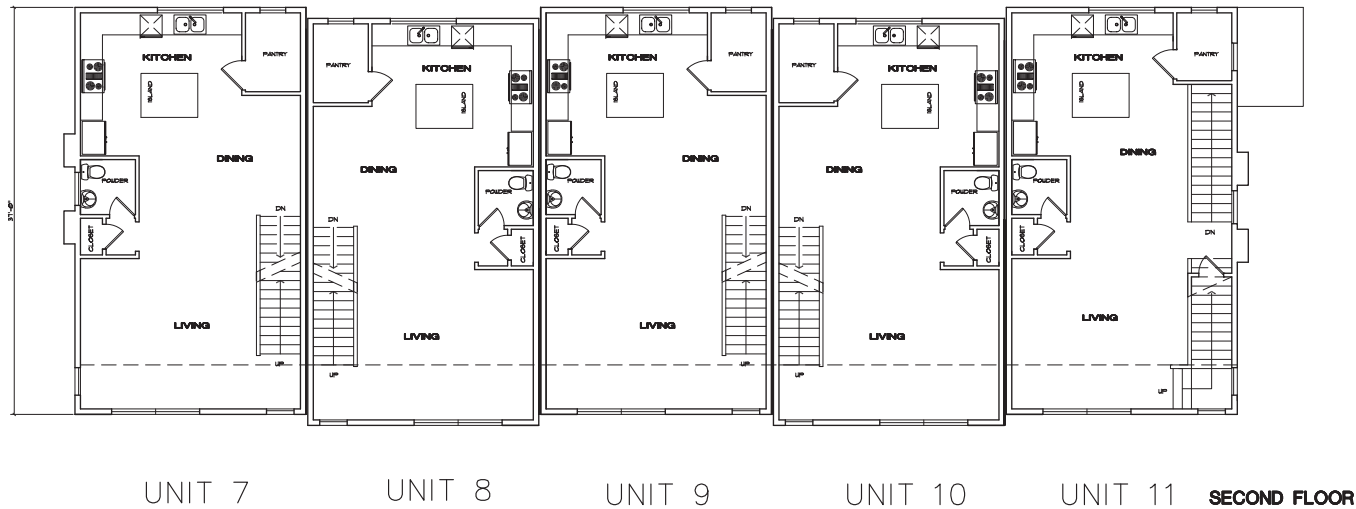
FLOOR PLANS
UNIT 11

RESIDENTIAL PROJECT AT:
1530 POMEROY AVE
SANTA CLARA, CA

DATE:	1-2-2025
SCALE:	1/4" = 1'-0"
DRAWN:	CB
JOB NO:	1

SHEET NO.
A2.4

OF SHEETS



FLOOR PLANS

1/8" = 1'-0"

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FLOOR PLANS

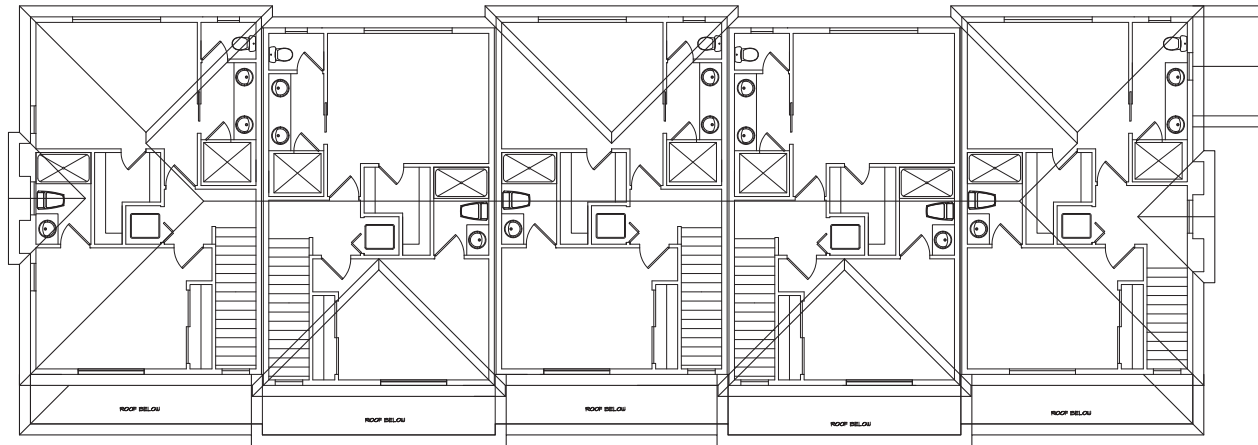
RESIDENTIAL PROJECT AT:
1530 POMEROY AVE
SANTA CLARA, CA

DATE: 3-24-2025
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JOB NO: 1

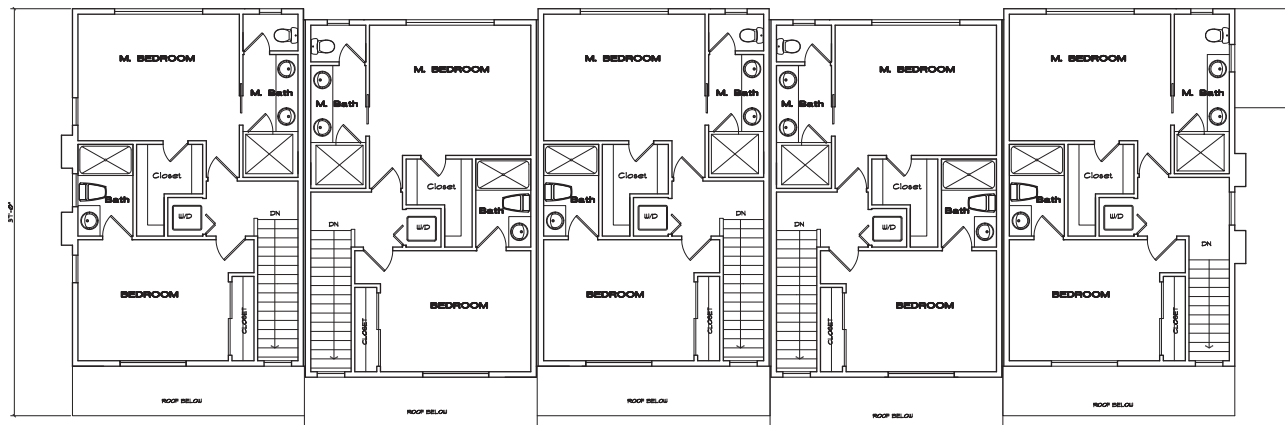
SHEET NO.
A2.5

OF SHEETS

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ROOF PLAN



UNIT 7

UNIT 8

UNIT 9

UNIT 10

UNIT 11

THIRD FLOOR

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FLOOR PLANS
ROOF PLAN

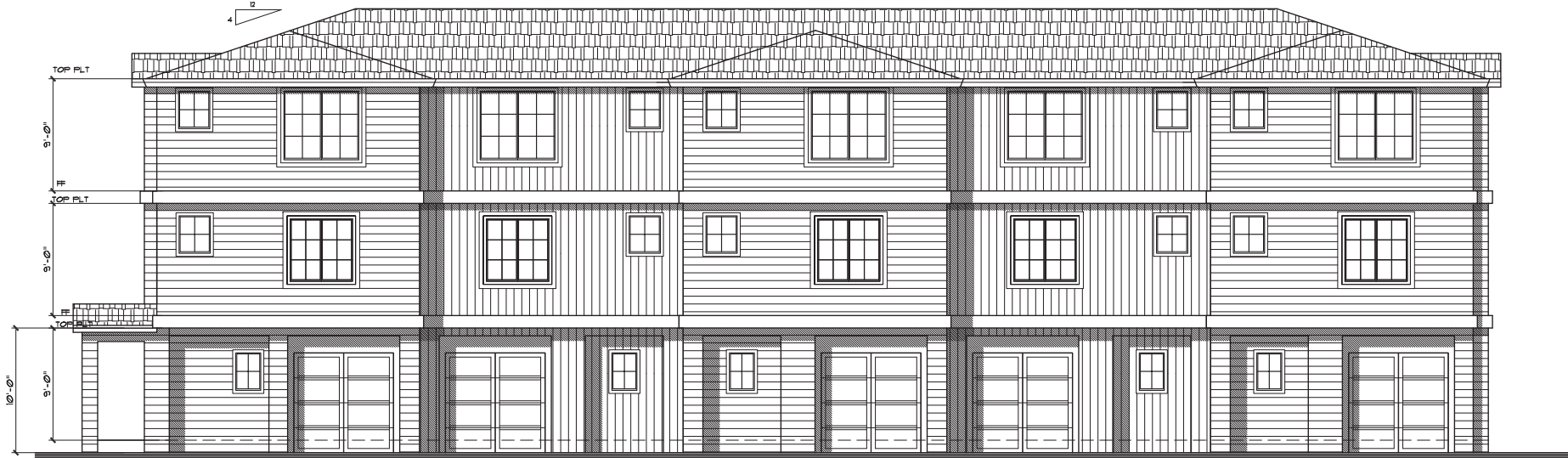
RESIDENTIAL PROJECT AT:
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SANTA CLARA, CA

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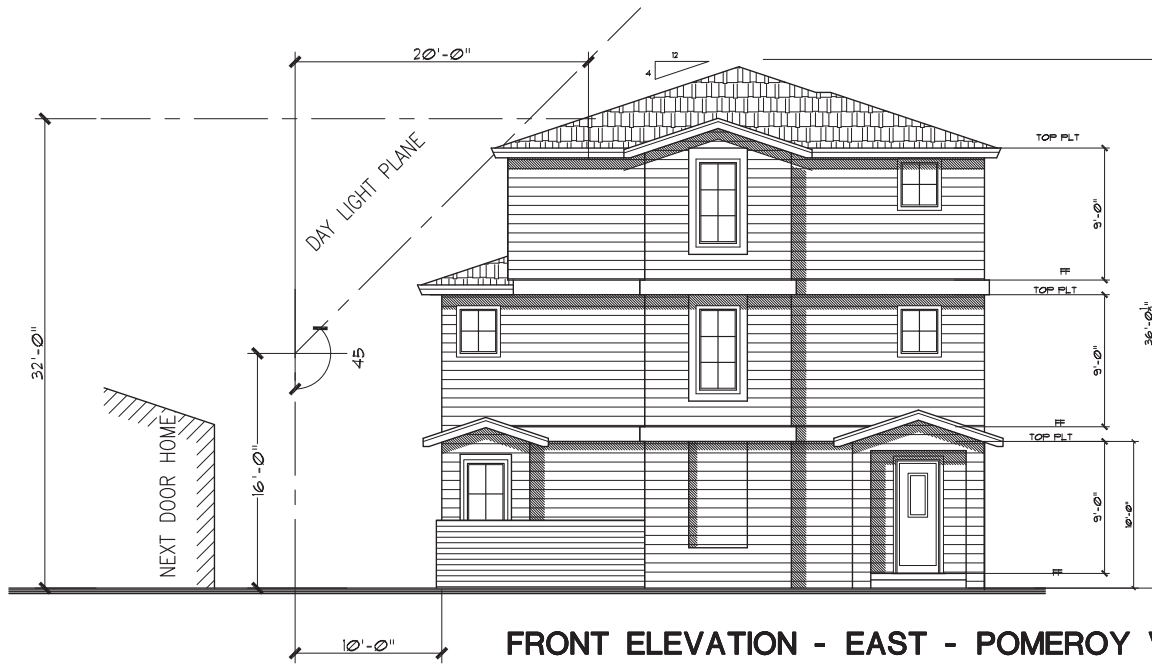
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OF SHEETS

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DRIVEWAY ELEVATION - NORTH



FRONT ELEVATION - EAST - POMEROY VIEW

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R301.1.

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EXTERIOR ELEVATIONS

RESIDENTIAL PROJECT AT:
1530 POMEROY AVE
SANTA CLARA, CA

DATE: 3-24-2009

SCALE: 1/4" = 1'-0"

DRAWN: CB

JOB NO: 1

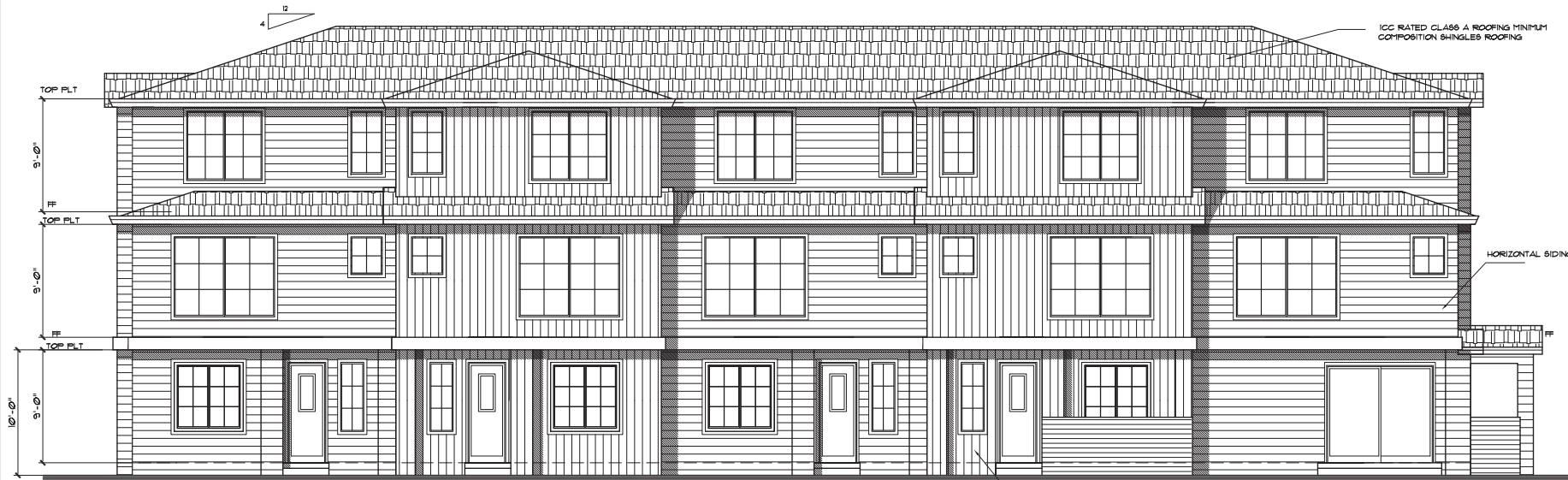
SHEET NO.

A3.1

OF SHEETS

EXTERIOR ELEVATIONS

1/4" = 1'-0"



SIDE ELEVATION - SOUTH



REAR ELEVATION - WEST

EXTERIOE ELEVATIONS

1/4" = 1'-0"

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EXTERIOE ELEVATIONS

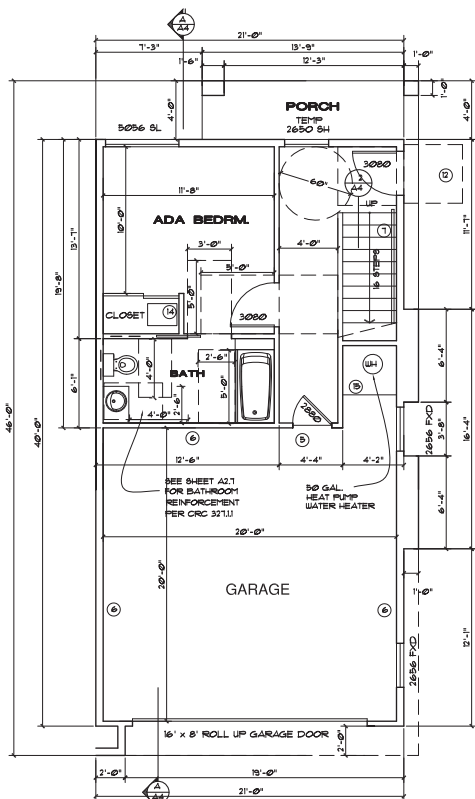
RESIDENTIAL PROJECT AT:
1530 POMEROY AVE
SANTA CLARA, CA

DATE: 3-24-2025
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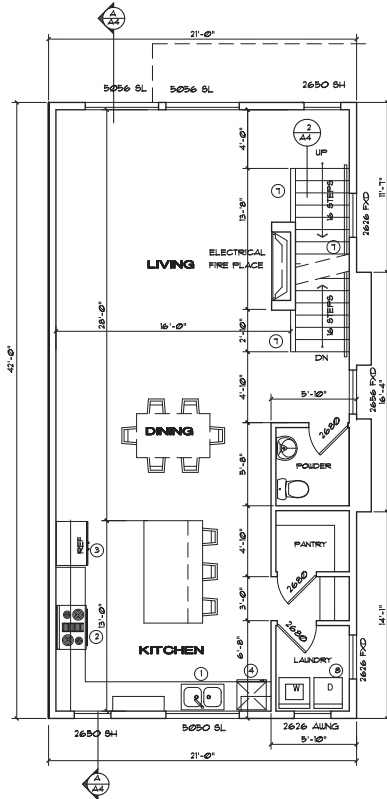
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OF SHEETS

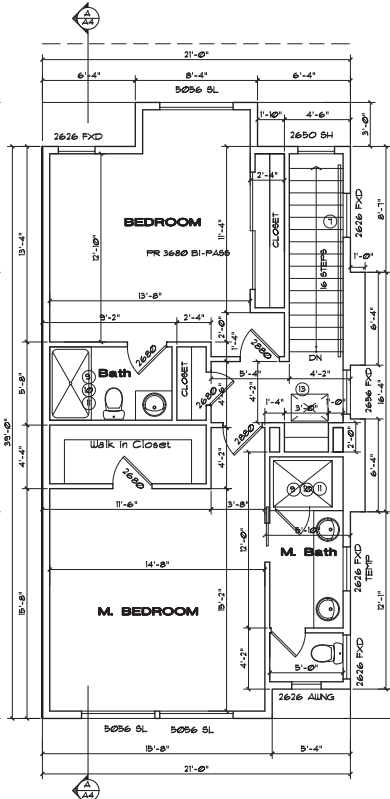
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FIRST FLOOR: 400 S.F.
GARAGE: 400 S.F.



SECOND FLOOR: 820 S.F.



THIRD FLOOR: 750 S.F.

1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.

UNIT 1

FLOOR PLANS NOTES:

1. DOUBLE 60K W/ GARBAGE DISPOSAL
2. RANGE OVEN W/ VENT ABOVE
3. REFRIGERATOR SPACE - PLUMB FOR ICE MAKER
4. DISH WASHER
5. MIN. 3/8" SOLID CORE, SELF CLOSING GARBAGE DOORS
6. PER 302.5 CRC: GARAGE WALL ADJOINING THE HOPE SHALL BE 1/2" TYPED SHEETROCK CONCRETE-TO-RAPERS, METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 2" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8 TYPE X SHEETROCK
7. HANDRAILS TO HAVE 1 1/4" - 2" GRIPPIABLE CROSS SECTION NO SHARP CORNERS 4" AT HEIGHT OF 34" MIN. AND 38" MAX. ABOVE NOSING EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATE AT NEUEL POSTS OR RETURN WALLS
8. DRYER VENT TO OUTSIDE W/ MAX LENGTH OF 14' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MIN. DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN. 3' AWAY FROM ANY OPENING INTO THE BUILDING - CPC 504.3.1
9. TEMPERED GLASS ENCLOSURE AT SHOUBERS. PROVIDE 22" MIN. WIDE DOOR AT SHOWER ENCLOSURE - CPC 416
10. TUB-SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS GYPSUM BACKER) TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PER 2019 CRC R307.2 AND R102.3.8
11. SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 416.0
12. MIN. 36" DEEP EXTERIOR CONC. LANDINGS TO COMPLY W/ CRC 2016 ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDINGS
13. MIN. 22" X 30" ATTIC ACCESS W/ MIN. 30" HEADROOM ABOVE NO SHELVEING BELOW ATTIC ACCESS.
14. 18" X 24" UNDER FLOOR ACCESS
15. WATER HEATER NOTES:
50 GALLON HEAT PUMP WATER HEATER - SEE REVISED ENERGY CALCULATIONS

WALL NOTES:
ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNO.
ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNO.

GENERAL NOTES:

1. FIRE PROTECTION
ALL PLUMBING PENETRATIONS, INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN. OF 1" FROM WALL (INCLUDING TRAP WHERE APPLICABLE) AND SHALL BE SEALED SO THAT NOT GASES CANNOT PASS THROUGH.
2. WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE U AND SHGC FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.
3. PROVIDE 50 GPM BATHROOMS VENTILATION PER ASHRAE STAND. 62.2-2001 AND ENERGY REASURE OF PER. NATURAL VENTILATION TO BE 100 OF FLOOR AREA, OR
PROVIDING 5 AIR CHANGES PER HOUR. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 5 FEET FROM ANY OPENING INTO THE BUILDING.
4. PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN. WIDTH FOR TOILET SPACE - 2019 CPC 402.5
5. SINGLE SHOWER-HEAD - 18 GPM AT 80 PSI GPM SECTION 4.303.1.3
MULTIPLE SHOWER-HEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR BATH SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI GPM SECTION 4.303.1.3.2
6. ALL SINK FAUCETS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1401.1 THROUGH 1401.8 (KITCHEN FAUCETS SHALL NOT EXCEED 18 GALS/MIN. LAVATORY FAUCETS SHALL NOT EXCEED 12 GALS/MIN. TOILETS SHALL NOT EXCEED 108 GALS/FLUSH AND URINALS SHALL NOT EXCEED 9 GALS/FLUSH)
7. NO DOMESTIC DISWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISWASHING MACHINE LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. CPC REC. 807.1.3
8. PER 2019 CEC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED.
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS AND LAUNDRY AREAS SHALL BE PROTECTED BY AN AFCI-FAULT CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CEC 210.2
9. AMPERAGE SIZE OF THE MAIN ELECTRICAL SERVICE PANEL IS 200 AMP
10. UNDERFLOOR POST, 6/16S ON CONCRETE, AND EXTERIOR DECK, 4 STRAIN SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR PARTNER, PORT BARRIS, HUNGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE HD GALVANIZED, A MAX. OR STAINLESS STEEL, OR RATED FOR PT CONTACT. THE END WALLS OF THE BEAR WALL INTO THE PT PLATE NEED TO BE HD. GALVANIZED.
11. PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALGREEN 4509. A 6-MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACE BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BARRIS OF 1/2" OR LARGER CLEAN AGGREGATE.
12. PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USEABLE SPACE UNDER INTERIOR STAIR. PER CRC 302.1.4 CBC 101.1.3, EXCEPTION.

FLOOR PLAN - UNIT 1

1/4" = 1'-0"

REVISIONS	BY

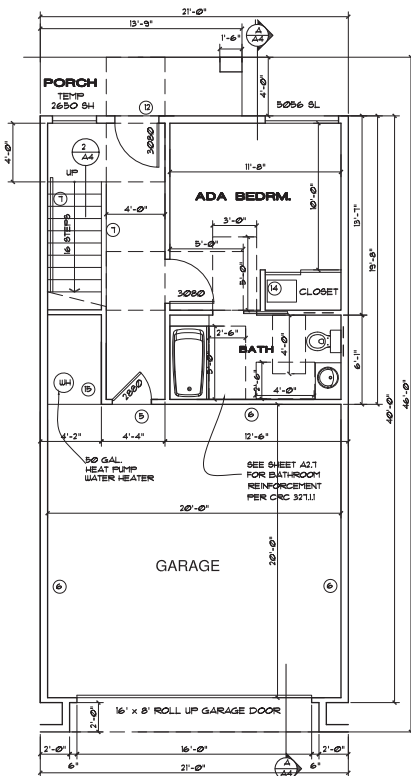


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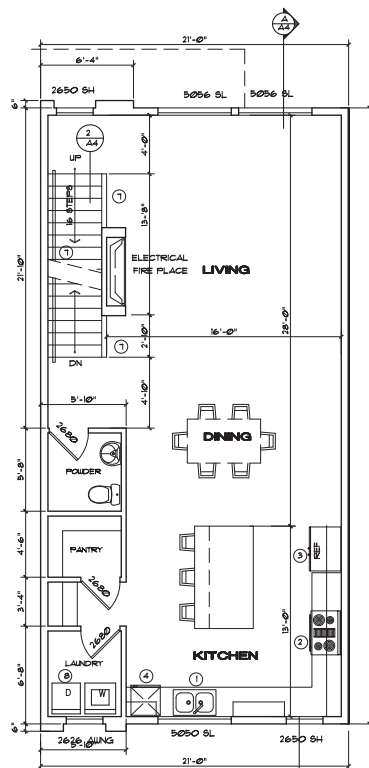
1540 POMEROY AVE.
UNIT 1

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE.
SANTA CLARA, CA

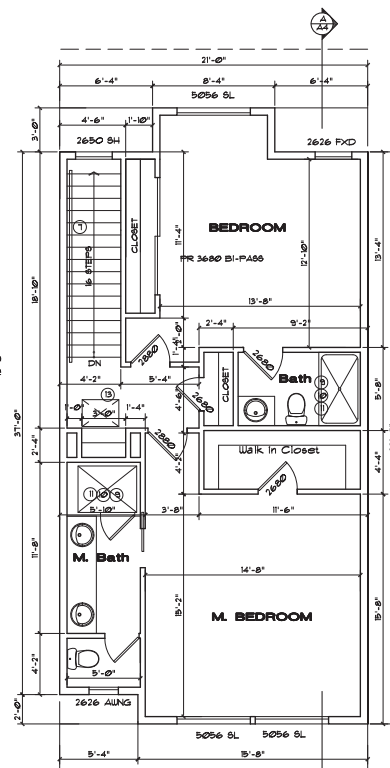
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SCALE: 1/4" = 1'-0"
DRAWN: CB
JOB NO: 1
SHEET NO: A2.1
OF SHEETS



FIRST FLOOR: 400 S.F.
GARAGE: 400 S.F.



SECOND FLOOR: 820 S.F.



THIRD FLOOR: 750 S.F.

1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.

UNITS 2 AND 4

FLOOR PLANS NOTES:

- 1 DOUBLE SINK W/ GARBAGE DISPOSAL
- 2 RANGE OVEN W/ VENT ABOVE
- 3 REFRIGERATOR SPACE - FLUITS FOR ICE MAKER
- 4 DISH WASHER
- 5 MIN 1 3/8" SOLID CORE SELF CLOSING GARAGE DOORS
- 6 PER 360.5 CRC GARAGE WALL ADJOINING THE HOPE SHALL BE 1/2" TYPED SHEETROCK. CONCRETE-TO-RAPERS, METAL ELECTRIC BOXES (IN 80 IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 800 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 2" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8" TYPE X SHEETROCK.
- 7 HANDRAILS TO HAVE 1 1/2" GRIPABLE CROSS SECTION NO SHARP CORNERS 4 AT HEIGHT OF 34" MIN AND 38" MAX. ABOVE NOSING EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATE AT NIEL POSTS OR OR RETURN WALLS
- 8 DRYER VENT TO OUTSIDE W/ MAX LENGTH OF 14' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MIN DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN 3' AWAY FROM ANY OPENING INTO THE BUILDING - CPC 504.3.1
- 9 TEMPERED GLASS ENCLOSURE AT SHOWERS. PROVIDE 22" MIN WIDE DOOR AT SHOWER ENCLOSURE - CPC 416
- 10 TUB-SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS GYPSUM BACKER) TO A HEIGHT OF 12" ABOVE THE DRAIN INLET. PER 209 CRC R3612 AND R102.3.8
- 11 SHOWER 4 TUB-SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OR THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 418.0
- 12 MIN 36" DEEP EXTERIOR CONC. LANDING TO COMPLY W/ CRC 2016 ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDING
- 13 MIN 22" X 30" ATTIC ACCESS W/ MIN 30" HEADROOM ABOVE NO SHELVING BELOW ATTIC ACCESS.
- 14 18" X 24" UNDER FLOOR ACCESS
- 15 WATER HEATER NOTES: 80 GALLON HEAT PUMP WATER HEATER - SEE REVISED ENERGY CALCULATIONS

WALL NOTES:
ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNO.
ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNO.

GENERAL NOTES:

- A FIRE PROTECTION
ALL FLUENTS PENETRATIONS INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN OF 1" FROM WALL (INCLUDING TRAP WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.
- B WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE U AND SHGC FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.
- C PROVIDE 50 CFM BATHROOMS VENTILATION PER ASHRAE STAND. 62.2-2001 AND ENERGY MEASURE OF ME-R NATURAL VENTILATION TO BE 1/20 OF FLOOR AREA OR BY MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- D PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN WIDTH FOR TOILET SPACE - 2018 CPC 402.5
- E SINGLE SHOWERHEAD - 18 GPM AT 80 PSI CORIC SECTION 4303.13
MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI CORIC SECTION 4303.13
- F ALL SINK FAUCETS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 18014 THROUGH 18014.5 (KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM MIN. TOILETS SHALL NOT EXCEED 1.6 GPM MIN. URINALS SHALL NOT EXCEED 0.5 GPM MIN.)
- G NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRINKBOARD, WHICHEVER IS HIGHER. CPC SEC. 8013
- H PER 2018 CEC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFI PROTECTED.
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS AND LAUNDRY AREAS SHALL BE PROTECTED BY AN AFCI-FAULT CIRCUIT INTERRUPTER AND GFI RECEPTACLE. CPC 2102
- I AMPERAGE SIZE OF THE MAIN ELECTRICAL SERVICE PANEL IS 200 AMP
- J UNDERFLOOR POST, BILLS ON CONCRETE, AND EXTERIOR DECK SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENER, POST BRACES, HANGARS, AND CONNECTORS IN CONTACT WITH IT SHALL BE HD. GALVANIZED OR STAINLESS STEEL OR PLATED FOR PT CONTACT. THE END NAILS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE HD. GALVANIZED.
- K PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALIFORNIA 2018, 5.4.4.11 POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OR 1/2" OR LARGER CLEAN AGGREGATE.
- L PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USABLE SPACE UNDER INTERIOR STAIR. PER CRC 302.1 + CBC 1011.3, EXCEPTION.

FLOOR PLANS - UNITS 2 AND 4

1/4" = 1'-0"

REVISIONS	BY

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1540 POMEROY AVE.
UNITS 2 & 4

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 12-18-2022

SCALE: 1/4" = 1'-0"

DRAWN: CB

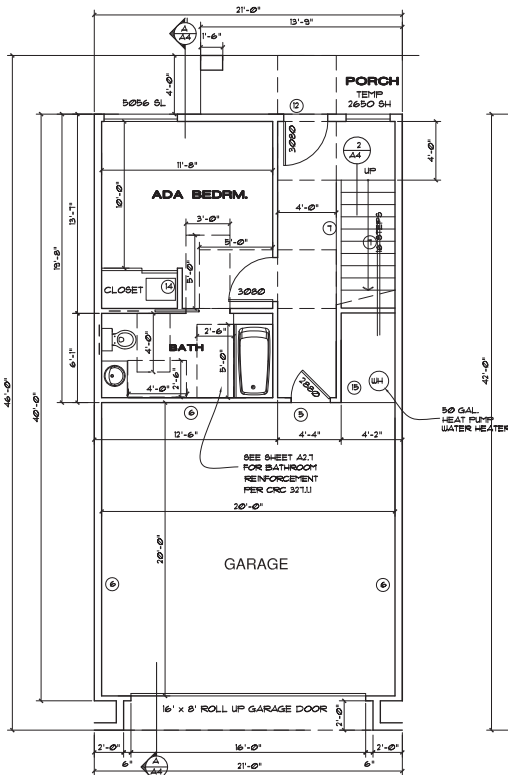
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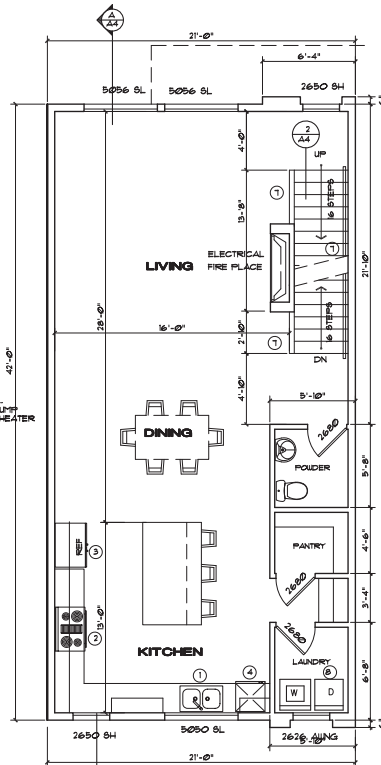
A2.2

OF SHEETS

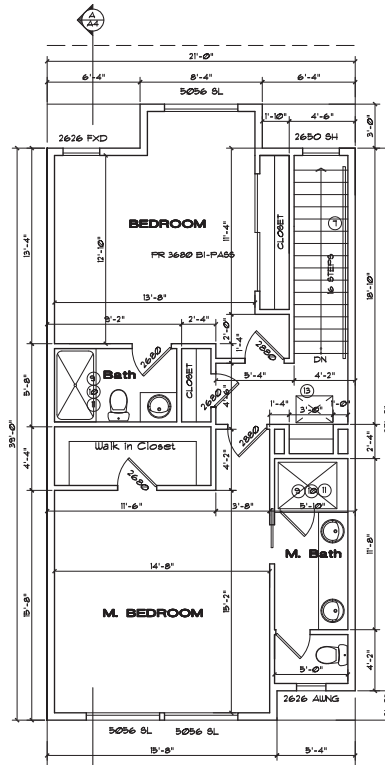
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FIRST FLOOR: 400 S.F.
GARAGE: 400 S.F.



SECOND FLOOR: 820 S.F.



THIRD FLOOR: 750 S.F.

1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.

UNITS 3 AND 5

FLOOR PLANS NOTES:

- DOUBLE SINK W/ GARBAGE DISPOSAL
- RANGE OVEN W/ VENT ABOVE
- REFRIGERATOR SPACE - PLUMB FOR ICE MAKER
- DISH WASHER
- MIN 1 3/8" SOLID CORE, SELF CLOSING GARAGE DOORS
- PER 302.5 CRC GARAGE WALL ADJOINING THE HOPE SHALL BE 12" TAPED SHEETROCK, CONCRETE TO RAFTERS, METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 24" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8 TYPE X SHEETROCK.

- HANDRAILS TO HAVE 1 1/4" - 2" GRIPPEABLE CROSS SECTION, NO SHARP CORNERS 4" AT HEIGHT OF 34" MIN. AND 38" MAX. ABOVE NOSE EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT NEWEL POSTS OR RETURN WALLS

- DRYER VENT TO OUTSIDE W/ MAX LENGTH OF 1' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MIN DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN 3' AWAY FROM ANY OPENING INTO THE BUILDING - CFC 504.3.1

- TEMPERED GLASS ENCLOSURE AT SHOWERS, PROVIDE 22" MIN WIDE DOOR AT SHOWER ENCLOSURE - CFC 416

- TUB/SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS CODE SECTION 1911, THROUGH 1916. (KITCHEN FAUCETS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI) CFC SECTION 4303.1.2

- SHOWER TUB/SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CFC 416.0

- MIN 3/4" DEEP EXTERIOR CONC. LANDING TO COMPLY W/ CFC 206 ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDING

- MIN 22" X 30" ATTIC ACCESS W/ MIN 30" HEADROOM ABOVE NO SHELVS BELOW ATTIC ACCESS

- WATER HEATER NOTES: 80 GALLON HEAT PUMP WATER HEATER - SEE REWISED ENERGY CALCULATIONS

- WALL NOTES:
ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNO.
ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNO.

GENERAL NOTES:

- FIRE PROTECTION
ALL FLUISING PENETRATIONS, INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALIC EXTENDING A MIN OF 12" TROUGH WALL (INCLUDING TRAP WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.

- WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE "U" AND "SHGC" FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.

- PROVIDE 50 CFM BATHROOMS VENTILATION PER ASHRAE STAND. 62-2-2007, AND ENERGY REQUIRE OF 10-10 FLOOR AREA OR BY MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.

- PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN WIDTH FOR TOILET SPACE - 2019 CFC 402.5

- 1 - SINGLE SHOWERHEAD - 18 GPM AT 80 PSI CFCBEC SECTION 4303.1.3
MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI CFCBEC SECTION 4303.1.2

- ALL SINK FAUCETS, TOILETS AND URNALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1911, THROUGH 1916. (KITCHEN FAUCETS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE - 18 GPM AT 80 PSI) CFCBEC SECTION 4303.1.2

- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, UNLESS OTHERWISE CFC SEC. 807.3

- PER 2019 CFC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED.
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN KITCHEN UNIT, KITCHENS AND LAUNDRY AREAS, SHALL BE PROTECTED BY AN ARC-FULT CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CFC 210.2

- APPROXIMATE SIZE OF THE MAIN ELECTRICAL SERVICE PANEL: 15 200 AMP

- UNDERFLOOR POST SILLS ON CONCRETE, AND EXTERIOR DECK & STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENER, POST BARS, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE HD GALVANIZED, Z-MAX, OR STAINLESS STEEL, OR RATED FOR PT CONTACT, THE END NAILS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE HD GALVANIZED.

- PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CFC 506.2.3 AND CALGREEN 4309.4.6-1. POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACE BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.

- PROVIDE 1/2" GYPSTUM BOARD ON THE ENCLOSED SIDE OF THE USABLE SPACE UNDER INTERIOR STAIR PER CFC 302.1.4 CFC 101.1.3, EXCEPTION.

REVISIONS	BY

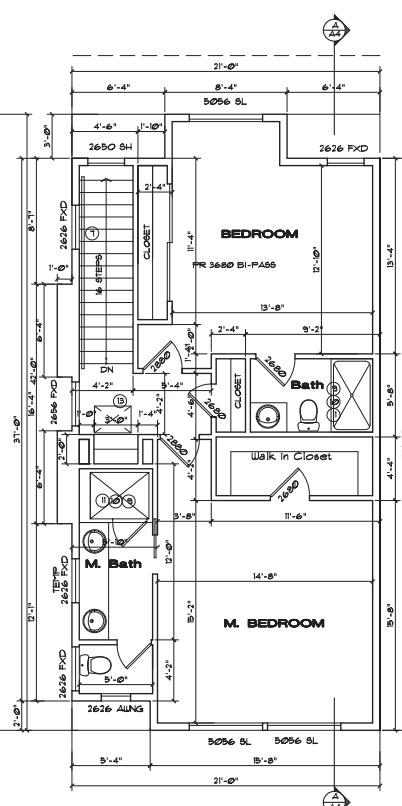
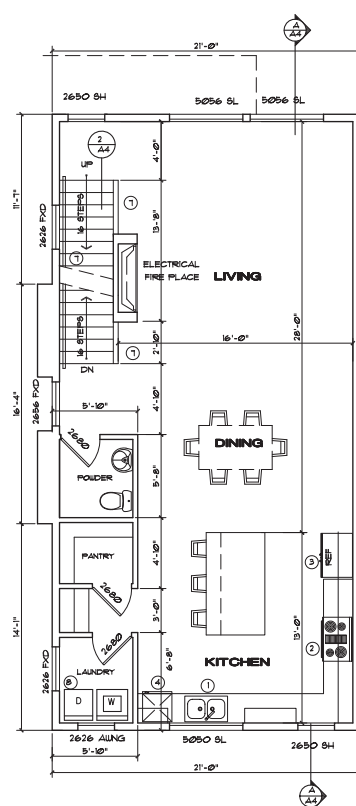
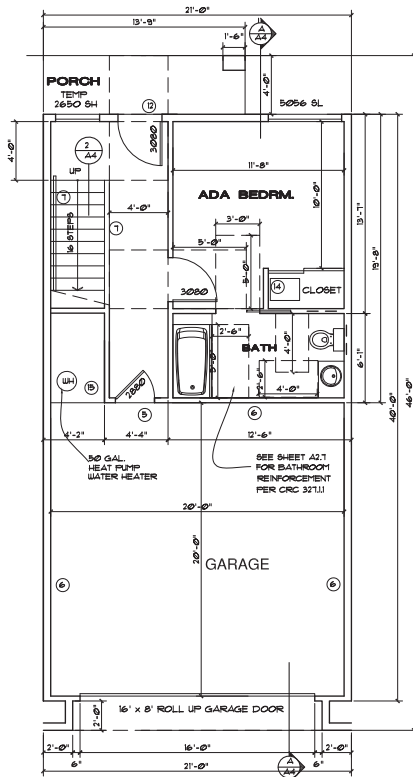
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1540 POMEROY AVE
UNITS 3 & 5

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE
SANTA CLARA, CA

DATE: 12-18-2022
SCALE: 1/4" = 1'-0"
DRAWN: CB
JOB NO: 1540-03
SHEET NO: 1540-03-01

A2.3
OF SHEETS



1540 POMEROY - TOTAL LIVING SPACE: 1,970 SQ.FT.

UNIT 6

FLOOR PLANS NOTES:

- DOUBLE SINK W/ GARBAGE DISPOSAL
- RANGE OVEN W/ VENT ABOVE
- REFRIGERATOR SPACE - PLUMBS FOR ICE MAKER
- DISH WASHER
- MIN. 1 3/8" SOLID CORE, SELF CLOSING GARAGE DOORS
- PER 302.5 CRC, GARAGE WALL, ADDING THE HOPE SHALL BE 1/2" TAPED SHEETROCK. CONCRETE TO-WALLS, METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 24" SEPARATION. CEILING BELOW LIVING SPACE SHALL BE 5/8 TYPE X SHEETROCK.
- HANDRAILS TO HAVE 1 1/2" - 2" GRIPPEABLE CROSS SECTION, NO SHARP CORNERS 4" AT HEIGHT OR 34" MIN AND 38" MAX, ABOVE NOINGS EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT NEEL POSTS OR OR RETURN WALLS
- DRYER VENT TO OUTSIDE W/ MAX LENGTH OF 1' EQUIPPED W/ BACKDRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MIN. DIAMETER OF 4". THE VENT DISCHARGE SHALL BE A MIN. 3' AWAY FROM ANY OPENING INTO THE BUILDING - CFC 504.3.1
- TEMPERED GLASS ENCLOSURE AT SHOWERS, PROVIDE 22" MIN. WIDE DOOR AT SHOWER ENCLOSURE - CFC 416
- TUB/SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A HOISTURE RESISTANT UNDERLAYMENT MATERIAL (E.G. CEMENT, FIBER CEMENT OR GLASS GYPSUM BACKER) TO A HEIGHT OF 12" ABOVE THE DRAIN INLET. PER 2015 CRC R507.2 AND R1023.8
- SHOWER 4 TUB/SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CFC 416.0
- MIN. 36" DEEP EXTERIOR CONC. LANDINGS TO COMPLY W/ CRC 206. ALL EXTERIOR DOORS BOTTOM MUST BE WITHIN 1" OF THE LANDINGS
- MIN. 22" X 30" ATTIC ACCESS W/ MIN. 30" HEADROOM ABOVE NO SHELVS BELOW ATTIC ACCESS.
- 18" X 24" UNDER FLOOR ACCESS
- WATER HEATER NOTES:
80 GALLON HEAT PUMP WATER HEATER - SEE REVISED ENERGY CALCULATIONS

WALL NOTES:

ALL EXTERIOR WALLS: 2 X 6 @ 16" O.C. STUDS - UNO.
 ALL INTERIOR WALLS: 2 X 4 @ 16" O.C. STUDS - UNO.

GENERAL NOTES:

- FIRE PROTECTION:**
ALL PLUMBING PENETRATIONS, INCLUDING CENTRAL VACUUM THROUGH FIRE RATED WALLS SHALL BE METALLIC EXTENDING 4 MIN. OF 1" FROM WALL, INCLUDING TRAP (WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.
- WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE 'U' AND 'SHGC' FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES.
- PROVIDE 80 CFM BATHROOMS VENTILATION PER ASHRAE STAND. 62.2-2007. AND ENERGY MEASURE OF 1/2 IN. NATURAL VENTILATION TO BE 1/2 OF FLOOR AREA, OR BY MECHANICAL VENTILATION SYSTEM PROVIDING 5 AIR CHANGES PER HOUR. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- PROVIDE 24" CLEAR SPACE IN FRONT OF TOILETS AND 30" MIN. WIDTH FOR TOILET SPACE - 2015 CRC 402.5
- SINGLE SHOWERHEAD - 18 GPM AT 80 PSI CGC85 SECTION 4.309.1.3.1
MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLER VALVE - 18 GPM AT 80 PSI CGC85 SECTION 4.309.1.3.2
- ALL SINK FAUCETS, TOILETS AND URINALS SHALL COMPLY WITH 1901.8 CIVIL CODE SECTION 1901.8 THROUGH 1901.8. KITCHEN FAUCETS SHALL NOT EXCEED 18 GALS/MIN. LAVATORY FAUCETS SHALL NOT EXCEED 12 GALS/MIN. TOILETS SHALL NOT EXCEED 128 GALS/FLUSH AND URINALS SHALL NOT EXCEED 5 GALS/FLUSH.
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DRAINWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DRAINWASHER MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (PLUMBING) AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINWASHER, WHICHEVER IS HIGHER. CFC SEC. 807.3
- PER 2015 CEC KITCHEN AND LAUNDRY ROOM RECEPTACLES TO BE AFCI AND GFCI PROTECTED.
ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DUELING UNIT KITCHENS AND LAUNDRY AREAS, SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER AND GFCI RECEPTACLE. CEC 210.0
- AT LEAST 80% OF THE MAIN ELECTRICAL SERVICE PANEL IS 300 AMP
- UNDERFLOOR POST, BILLS ON CONCRETE, AND EXTERIOR DECK 4 STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER COATINGS FOR FASTENER, POST BASES, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE HD GALVANIZED, 2" MAX, OR STAINLESS STEEL, OR RATED FOR PT CONTACT. THE END WALLS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE HD GALVANIZED.
- PROVIDE CAPILLARY BREAK FOR SLAB-ON-GRADE FLOORS IN CONFORMANCE WITH CRC 506.2.3 AND CALIFORNIA 4309.4.6.1.5 POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE.
- PROVIDE 1/2" GYPSUM BOARD ON THE ENCLOSED SIDE OF THE USABLE SPACE UNDER EXTERIOR STAIR PER CRC 302.1.4 CEC 1001.3. EXCEPTION.

FLOOR PLANS - UNIT 6

1/4" = 1'-0"

REVISIONS	BY



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 408.674.9077

1540 POMEROY AVE
UNIT 6

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE
SANTA CLARA, CA

DATE: 12-18-2022
 SCALE: 1/4" = 1'-0"
 DRAWN: CB
 JOB NO: 1540-06

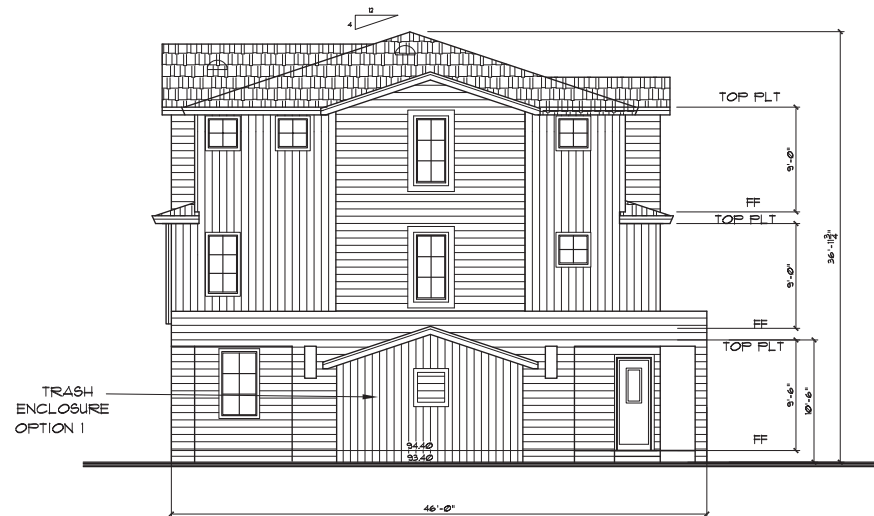
SHEET NO.
A2.4

OF SHEETS



ENTRANCE SIDE ELEVATIONS - NORTH

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R319.1.



FRONT ELEVATIONS - EAST - POMEROY VIEW

ELEVATIONS

3/16" = 1'-0"

REVISIONS	BY

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1540 POMEROY AVE.
ELEVATIONS

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE.
SANTA CLARA, CA

DATE: 12-18-2022

SCALE: 3/16" = 1'-0"

DRAWN: CB

JOB NO: 1

SHEET NO.

A3.1

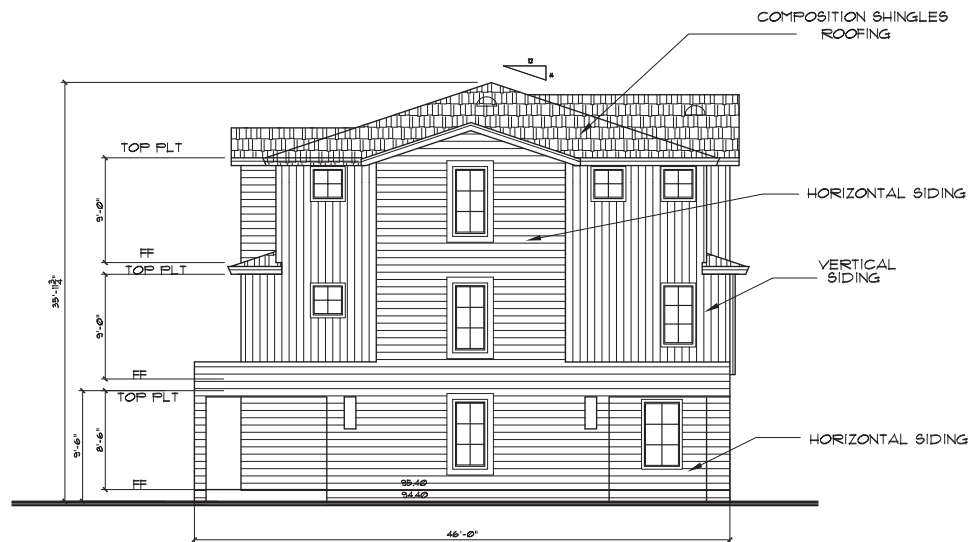
OF SHEETS

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1540 POMEROY AVE.
DRIVEWAY ELEVATIONS - SOUTH

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2", PER CRC R319.1.



REAR ELEVATIONS - WEST

ELEVATIONS

3/16" = 1'-0"

REVISIONS	BY



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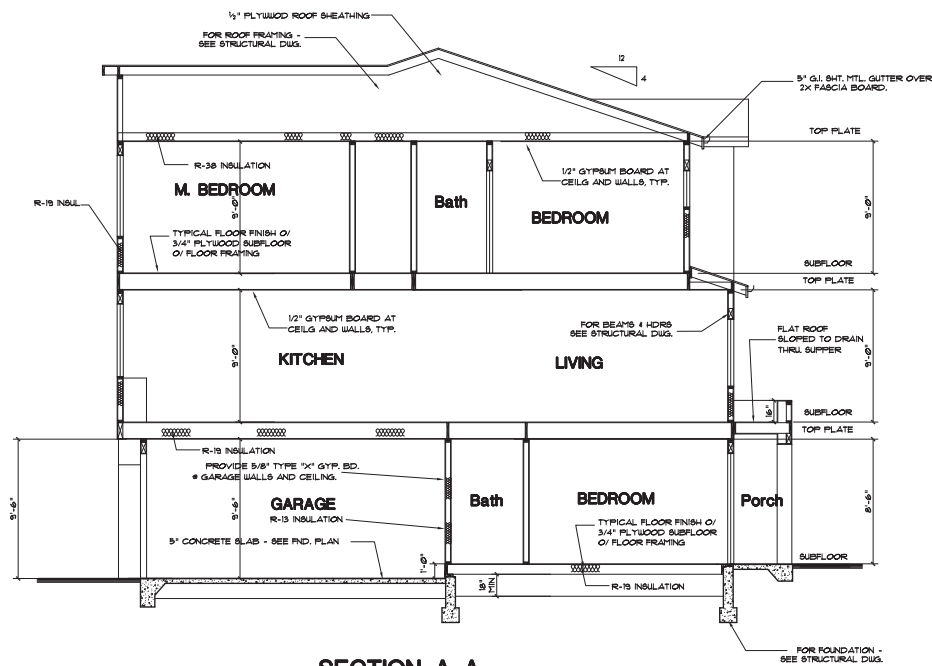
1540 POMEROY AVE
ELEVATIONS

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE
SANTA CLARA, CA

DATE: 12-18-2022
SCALE: 3/16" = 1'-0"
DRAWN: CB
JOB NO:

SHEET NO.
A3.2

OF SHEETS



SECTION A-A

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ROOF PLAN
SECTION / DETAILS

RESIDENTIAL PROJECT AT:
1540 POMEROY AVE.
SANTA CLARA, CA

DATE:	12-19-2022
SCALE:	NOTED
DRAWN:	1/4"=1'-0"
JOB NO.	-

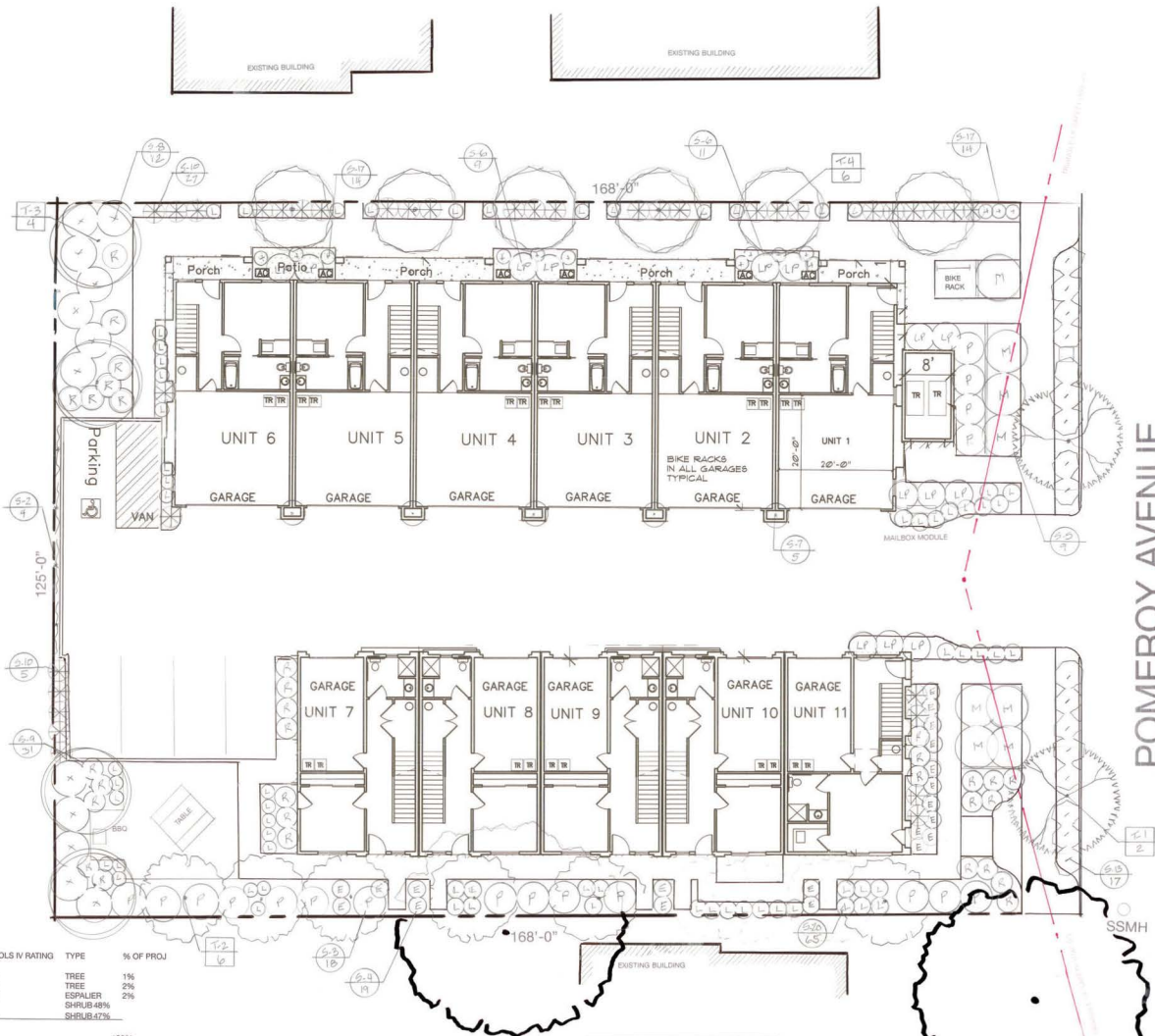
SHEET NO.
A4

OF SHEETS

SECTION

1/4"=1'-0"

1



PLANT MIX:

QUAN	SIZE	WUCOLS IV RATING	TYPE	% OF PROJ
2	36" BOX	LOW	TREE	1%
6	24" BOX	LOW	TREE	2%
4	5 GAL	LOW	ESPAULIER	2%
123	5 GAL	LOW	SHRUB-48%	
111	1 GAL	LOW	SHRUB-47%	

256 PLANTS 100%

LANDSCAPE WATER EFFICIENCY REGULATION

WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.88.030) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

DESIGNED BY
JON NELSON

FEBRUARY 21, 2025

DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



CANDIDATE ID NUMBER **CALWEP-4087**



PLAN VIEW
Scale: 1" = 10'-0"



SHEET INDEX:

- L-1 LANDSCAPE PLAN
- L-2 IRRIGATION PLAN
- L-3 EXISTING TREE CONDITION/ STATUS
- L-4 HARDSCAPE PLAN
- L-5 HARDSCAPE NOTES
- L-6 LANDSCAPE NOTES

PLANT PALETTE

KEY	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME	WUCOLS IV RATING	PLANTING NOTES
TREES						
T-1	2	36" BOX	CHAPPE MYRTLE	LAURUSTROBILIA	LOW	CITY OF SANTA CLARA ST TREE
			BRANCHES TO BE PRUNED UP TO A MAXIMUM OF 8'-0" NEW			CLIPPING
T-2	8	24" BOX	CHAPPE MYRTLE	LAURUSTROBILIA	LOW	STANDARD
			"TUSCANY"			AS MITIGATION
T-3	4	24" BOX	BOTTLE TREE	BRACHYDONTION	LOW	STANDARD
			FORNUS			
T-4	8	24" BOX	FLOWERING CHERRY	PRUNUS	LOW	STANDARD
			"PURPLE PONY"			
SHRUBS						
S-1	3	5 GALLON	JUNIPER	JUNIPER	LOW	
			"MEDORA"			
S-2	4	5 GALLON	BOUGAINVILLEA	BOUGAINVILLEA	LOW	ESPAULIER
			"BANGS KART"			
S-3	18	5 GALLON	CAROLINA CHERRY	PRUNUS CAROLINA	LOW	
			"WHITE & TIGHT"			
S-4	19	1 GALLON	EREBORUM	MYOPORUM	LOW	
			"MIDNIGHT"			
S-5	10	1 GALLON	MYOPORUM	MYOPORUM	LOW	
			"12' MAX HEIGHT"			
S-6	11	5 GALLON	LOREOPORUM	LOREOPORUM	LOW	
			"NEW JAZZ HANDS"			
S-7	12	5 GALLON	XYLODIA	XYLODIA	LOW	
			"COMANCHE"			
S-8	21	5 GALLON	INDIAN HAWTHORNE	RAHNOLEPS	LOW	
			"GEORGIA PETITE"			
S-9	22	5 GALLON	HEAVENLY BARBERRY	"NADINA"	LOW	
			"COMANCHE"			
S-10	17	1 GALLON	MANDARINA	ARCTOSTAPHYLOS	LOW	
			"12' MAX HEIGHT"			
S-11	14	5 GALLON	RYTHOPODIUM	RYTHOPODIUM	LOW	
			"ELFIN"			
S-12	85	1 GALLON	NOV	LOMANDIA	LOW	
			"ARTIC FROST"			

PLANTING NOTES:

THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THIS INCLUDES NOTIFICATION OF GUESTS UTILITIES BY USA NORTH 811. ALL WORK TO BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.

ALL LANDSCAPED AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL WATER 100% OF PLANTED AREAS WITH A MINIMUM OF RUNOFF TO STREETS AND SIDEWALKS. IRRIGATION WILL BE ADJUSTED TO ELIMINATE OVER AND UNDER COVERAGE ON ALL BUILDINGS, FENCES AND CURBS. THE SYSTEM SHALL BE SET TO WATER LANDSCAPED AREAS DURING THE NIGHT TIME OR AS EARLY IN THE MORNING AS POSSIBLE TO REDUCE WATER LOST TO EVAPORATION (10:00 PM UNTIL 6:00 AM ONLY). IRRIGATION CONTROLLER SHALL ALSO HAVE A RAIN SENSOR INSTALLED TO OVERRIDE THE IRRIGATION SYSTEM.

ALL PLANTING AREAS, TREE/ SHRUB PLANTING HOLES SHALL BE FREE FROM ROCKS AND CONSTRUCTION DEBRIS LARGER THAN 2" IN DIAMETER.

ALL LANDSCAPED AREAS SHALL HAVE NITROFIED REDWOOD SAWDUST ROTOTILLED INTO THE TOP 6" OF SOIL. THE APPLICATION RATE WILL BE 6 CUBIC YARDS OF NITROFIED SAWDUST PER 1,000 SQUARE FEET OF AREA. THIS AMOUNTS TO A 2" LAYER OF TREATED SAWDUST INCORPORATED AS SOIL AMENDMENT INTO THE EXISTING SOIL.

IN ADDITION 40 POUNDS OF GYPSUM SULPHATE SHALL BE APPLIED TO 1,000 SQUARE FEET OF LANDSCAPED AREA, THEN ROTOTILLED INTO THE TOP 6" OF SOIL.

FINISH SOIL GRADE SHALL BE 2" BELOW TOP OF PAVING, SIDEWALKS, AND CURBS. LANDSCAPE CONTRACTOR SHALL ENSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDING FOUNDATION AND HARDSCAPE CONTROL SURFACES.

THE PLANT MATERIAL LOCATIONS ARE DIAGRAMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE PLANNER. LAYOUT PLANTS ACCORDING TO THE PLAN SO THAT PLANTS ARE PROPERLY SPACED FOR FUTURE GROWTH MINOR ADJUSTMENTS MAY BE NECESSARY DUE TO VARIATIONS IN SITE CONDITIONS (EXAMPLE: MAILBOXES, UTILITIES, LIGHT FIXTURES, DRAINAGE STRUCTURES).

ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS OF NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.

ALL TREES AND SHRUBS SHALL HAVE AGRIFORM 21 GRAM FERTILIZER TABLETS INSTALLED IN THE BACKFILL AND ROOT ZONE OF PLANTS. TABLET APPLICATION RATE SHALL BE 36" BOX CONTAINER STOCK - 8 TABLETS. ALL 24" BOX CONTAINER STOCK SHALL HAVE 6 TABLETS. 15 GALLON SHALL HAVE 4 TABLETS. 5 GALLON CONTAINER SHALL HAVE 2 TABLETS, AND ALL 1 GALLON STOCK SHALL GET 1 TABLET.

THE PLANT COUNT IS FOR THE CONTRACTORS CONVENIENCE, IN CASE OF DISCREPANCY THE PLAN SHALL GOVERN.

ALL GROUND COVER AND LANDSCAPED BEDS SHALL RECEIVE A 3" DEPTH OF SMALL SIZE RECYCLE BROWN WOOD MULCH. ALL MATERIAL SHALL BE CERTIFIED FROM THE SUPPLIER TO CONTAIN NO CHEMICAL, PAINT, LEAD OR OTHER HAZARDOUS MATERIAL PRIOR TO SHIPPING TO SITE.

ALL TREES TO BE STAKED AS NOTED. ALL TREES SHALL HAVE TOURNEISOL ROOT SOLUTIONS RS-24 PANELS INSTALLED. THIS SHALL CONSIST OF A 10'-0" LONG JOINED SET OF PANELS PARALLEL TO EACH OTHER ON BOTH SIDES OF PLANTED TREE. AVAILABLE FROM TOURNEISOL.COM PHONE (800) 542-2282.

CONTRACTOR SHALL APPLY ONE APPLICATION OF LESCO 8270 PRE-EMERGENT WEED CONTROL TO ALL CONTAINER PLANTED AREAS. THE PRE-EMERGENT WEED CONTROL SHALL BE APPLIED USING THE MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. DO NOT APPLY ON WINDY DAYS. BE SURE TO WATER INTO AREA PRIOR TO WOOD MULCH APPLICATION.

CONTRACTOR SHALL PERFORM A 30 DAY LANDSCAPE MAINTENANCE PERIOD BEGINNING FROM THE DATE OF FINAL PLANT INSTALLATION, APPLICATION OF WEED CONTROL, AND FINAL PROJECT CLEANUP.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANTING FOR A PERIOD OF 6 MONTHS FROM THE DATE OF FINAL PLANT INSTALLATION, MAINTENANCE AND OWNERS ACCEPTANCE.

BASED ON SITE PLAN PROVIDED BY BASSAL ARCHITECTURE DATE: 1.2.2025

ALL PLANTING MATERIALS AND SUPPLIES SHALL BE PROVIDED BY THE CONTRACTOR. ALL PLANTING MATERIALS AND SUPPLIES SHALL BE PROVIDED BY THE CONTRACTOR. ALL PLANTING MATERIALS AND SUPPLIES SHALL BE PROVIDED BY THE CONTRACTOR.

REVISIONS	BY

J.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDELV@AOL.COM

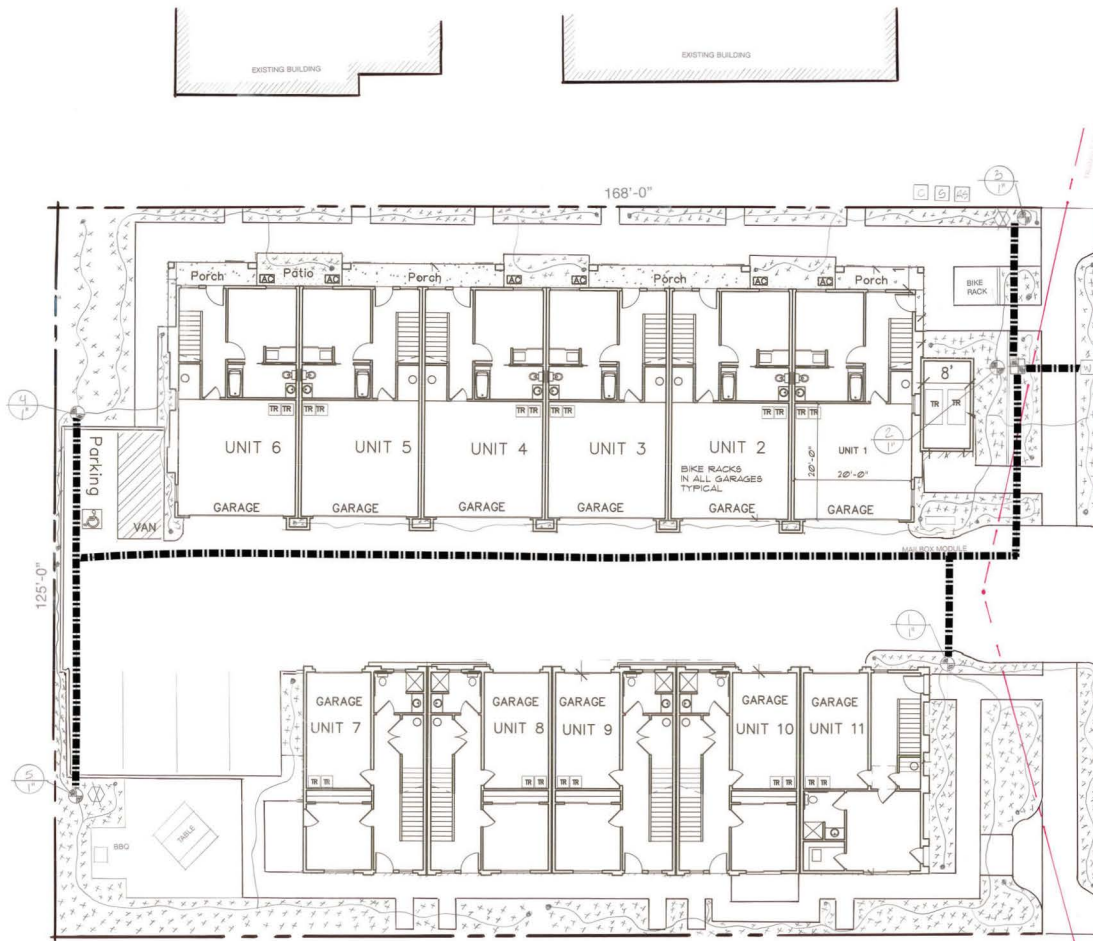


LANDSCAPE DEVELOPMENT FOR:
1530/ 1540 POMEROY AVE
SANTA CLARA, CALIFORNIA

DRAWN
JRN
CHECKED
DATE
2/21/2025

SCALE
1" = 10'-0"
JOB NO.
2025-0456
SHEET

L-1
OF SHEETS



VALVE DEMAND:

VALVE #1	1"	5.1 GPM	SUNNY
VALVE #2	1"	5.4 GPM	SUNNY
VALVE #3	1"	5.0 GPM	SUNNY
VALVE #4	1"	5.3 GPM	SUNNY
VALVE #5	1"	4.9 GPM	SUNNY

MIN WATER SUPPLY OF 12 GPM @ 60 PSI/ CFSFC WATER METER

LANDSCAPE WATER EFFICIENCY REGULATION

WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE (CITY OF SANTA CLARA SECTION 18.08.030) AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

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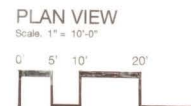
JOHN NELSON

FEBRUARY 21, 2025

DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



CANDIDATE ID NUMBER CALWEP-4097



POMEROY AVENUE

IRRIGATION LIST:

KEY	SIZE	NAME	MODEL	NOTES
	1"	RP BACKFLOW	FEBCO #825Y	INSTALL PER LOCAL CODES
	1"	RAINBIRD VALVE	#XCZ-100-PRB-COM	INSTALL WITH BALL VALVE NOTE: WITH DC LATCHING VALVE ACTIVATOR
	3/4"	RAINBIRD QCV	#3-RC	INSTALL IN A CARSON R-10 VALVE BOX
	1 1/4"	MAIN LINE SCH #40 PVC		BURY TO 24" BELOW FIN GR
	3/4"	DRIP IRRIGATION LINE	FLEX LINE	PLACE ON FG WITH STL STAPLE
	C	AUTOMATIC CLOCK	HUNTER #XCH-600-SSP	PLACE ON FENCE 6 STATION SS SOLAR POWER CABINET CONTROLLER
	S	HUNTER SOLAR KIT	#SPXCH	MOUNT ON FENCE
	RS	HUNTER RAIN SENSOR	RAIN CLK	MOUNT ON FENCE
		HUNTER FLUSH CAP	#SWG0505	PLACE IN ROUND BOX WITH HUNTER #800 FLUSH CAP
		RAINBIRD EMITTER	#SW-30PS "RED" 2.0 GPH	PRESSURE COMPENSATING DRIP EMITTER WITH 1/4" BUG PLUGS. 2 EMITTERS ON ALL 1 GALLON 3 EMITTERS ON ALL 5 GALLON 4 EMITTERS ON 24" BOX 6 EMITTERS ON 36" BOX

WATER AND LANDSCAPE EFFICIENCY CHECKLIST

IRRIGATION POINTS:

- MANUAL SHUTOFF OF ENTIRE IRRIGATION SYSTEM WITHIN 10'-0" OF THE POINT OF CONNECTION. EXISTING POC IS A 1" SIZE. SYSTEM IS DESIGNED FOR A MINIMUM OF STATIC PRESSURE OF 65 PSI, PRODUCING 17 GPM.
- ALL DRIP EMITTERS ARE DESIGNED FOR MATCHED PRECIPITATION RATES THROUGHOUT ALL VALVES AND SYSTEMS.
- IRRIGATION WATER AUDIT SHALL BE PERFORMED UPON PROJECT COMPLETION.
- SITE IS PRIMARILY FLAT, NOT SLOPED, REDUCING ANY RUNOFF CONDITIONS.
- DRIP EMITTERS AND BUBBLERS ARE ALL DESIGNED TO CURRENT ANSI STANDARDS FOR THE MOST EFFICIENT IRRIGATION.
- AUTOMATIC IRRIGATION CONTROLLER IS DESIGNED USING REDUCING CARBON IMPACT, WITH NON VOLATILE MEMORY ALLOWING FOR FULL MEMORY IF SYSTEM IS SHUT-OFF FOR ANY REASON.
- AUTOMATIC IRRIGATION IS CONTROLLED BY A RAIN-CLICK SENSOR PROVIDING POSITIVE CLOCK SHUTOFF IN A RAIN EVENT.
- EACH AUTOMATIC IRRIGATION VALVE HAS ITS OWN INDIVIDUAL BALL VALVE SHUT-OFF LOCATED AT EACH VALVE BOX LOCATION. THIS ALLOWS FOR QUICK POSITIVE CONTROL OF EACH CONTROL VALVE.
- ALL DRIP VALVES HAVE ACCU-SYNC #40 PRESSURE REDUCING VALVES ATTACHED TO ELIMINATE ANY MISTING OR BLOWOUTS OF DRIP EMITTERS AND MAINTAIN A CONSTANT PRESSURE OF 40 PSI OR LESS.
- SYSTEM DESIGNED USING DRIP EMITTERS AND BUBBLER IRRIGATION. POPUP SPRAY HEADS ARE USED IN ONLY A VERY LIMITED WAY ON THIS PROJECT. THIS PROMOTES HEALTHY PLANT GROWTH, REDUCES OVERALL WATER USE.
- BACKFLOW PREVENTION UNIT IS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN UPON COMPLETION TO ASSURE COMPLIANCE.

WHEEL O'Clock - Residential
1530-1540 POMEROY AVE
Santa Clara

Hydrozones

Zone number 1 Plant factor Low.3 Irrigation type Drip Area in square feet (number only) 4183

Plant	Zone	Factor	Irr. Eff.	ETAF (PF/E)	Area	ETAF x Area	ETWU	Delete
1	3	Drip	0.81	0.37	4183 s.f.	1,548	43,512	
TOTALS					4,183 s.f.		43,512 gal/yr	
TOTAL SPECIAL LANDSCAPE AREA 0 s.f.								

MAWA: 64,616 gal/yr
ETWU: 43,512 gal/yr
Santa Clara Annual ETo = 43.3 in.

Project Name and City

Project name 1530-1540 POMEROY AVE

Choose city (for ETo data) Santa Clara

Continue

IRRIGATION PLAN

REVISIONS	BY

L.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDEL@AOL.COM



LANDSCAPE DEVELOPMENT FOR:
1530/ 1540 POMEROY AVE
SANTA CLARA, CALIFORNIA

DRAWN	JEN
CHECKED	
DATE	2/21/2025
SCALE	1" = 10'-0"
JOB NO.	SANTA CLARA
SHEET	

L-2

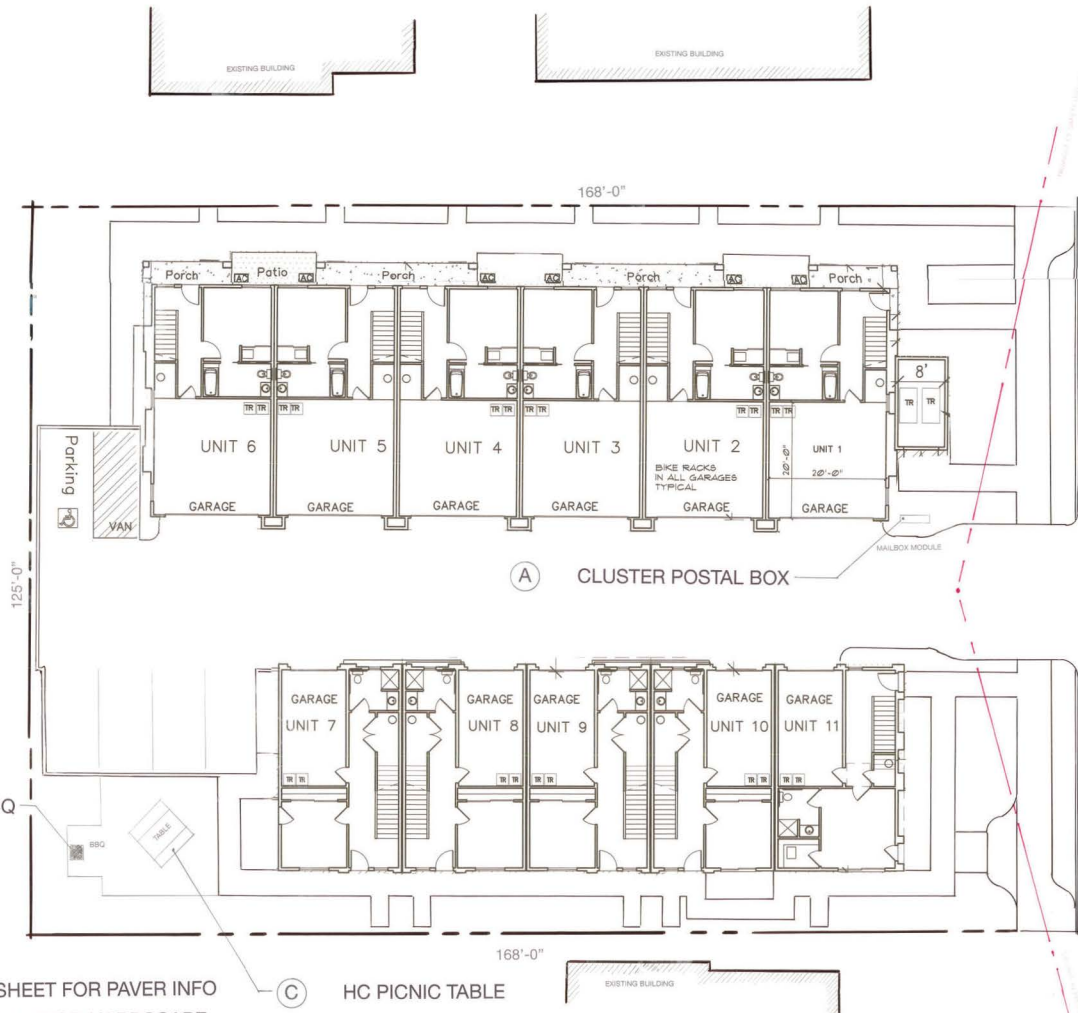


TABLE 298
HOME >> PRODUCTS >> TABLE 298



POMEROY AVENUE

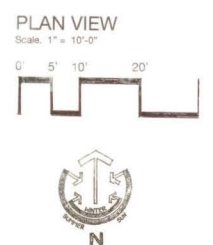
★ SEE CIVIL SHEET FOR PAVER INFO
SEE SHEET L-5 FOR HARDSCAPE NOTES

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DESIGN PREPARED UNDER SECTION 7027.5 OF THE BUSINESS AND PROFESSIONS CODE.



REVISIONS

NO.	DATE	BY

LANDSCAPE DEVELOPMENT FOR:

J.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDEVEY@AOL.COM

1530/ 1540 POMEROY AVE
SANTA CLARA, CALIFORNIA

DRAWN: JRN
CHECKED: JRN
DATE: 2/21/2025
SCALE: 1" = 10'-0"
JOB NO.: SANTA CLARA
SHEET: **L-4**

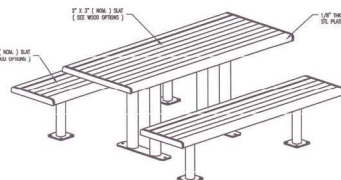
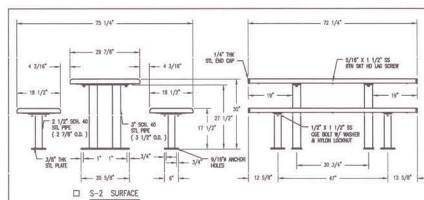


The diagram illustrates three different methods for supporting a wall. On the left, three vertical wall sections are shown. On the right, a cross-section of a wall is shown with a blue support structure. Below the wall sections, the text 'Support Options:' is followed by three diagrams: 'Embedment' (a wall section with a support structure embedded into it), 'Surface Mount' (a wall section with a support structure mounted on its surface), and 'Sub Floor' (a wall section with a support structure mounted on a sub-floor).

*Available services must ADA school chair accessible standard



A HC PICNIC TABLE



WOOD OPTIONS:

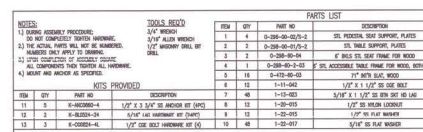
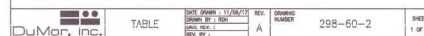
☐ 'C' & BTR. DOUGLAS FIR KD S4S EE

☐ 1PE S4S EE

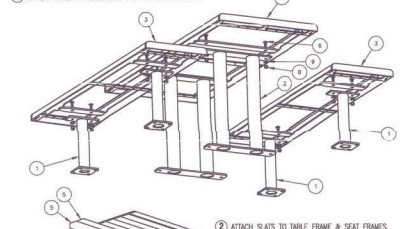
☐ OTHER

NOT

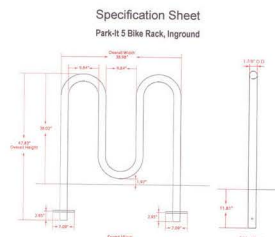
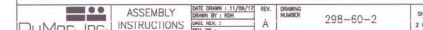
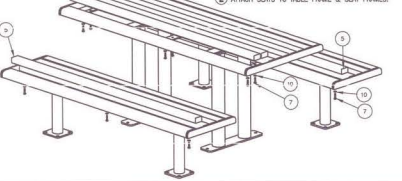
- NOTES
- 1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
 - 2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLT PROVIDED FOR S-2 SURFACE MOUNT.



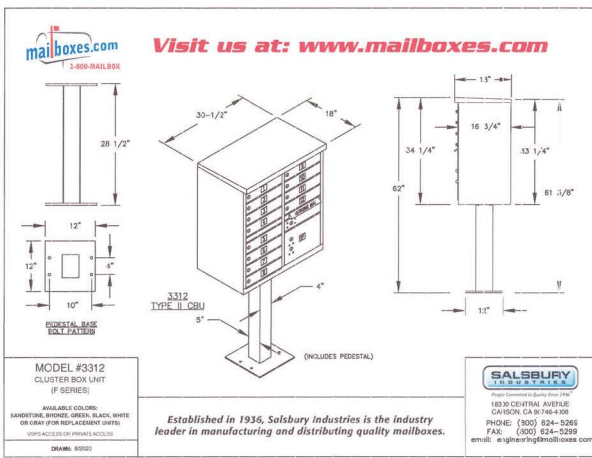
- ① ATTACH TABLE FRAME & SEAT FRAMES TO SUPPORTS



- ② ATTACH SLATS TO TABLE FRAME & SEAT FRAMES



Material	Finish	Dimensions	Weight
Steel tubing	Powder coated black	38.98" w x 47.83" h Above ground: 38.98" w x 36.02" h	35 lbs
Type of Mount:	Inground mount		
Size of Tubing:	1-7/8" O.D. x 11-gauge		



(B) CLUSTER POSTAL BOX

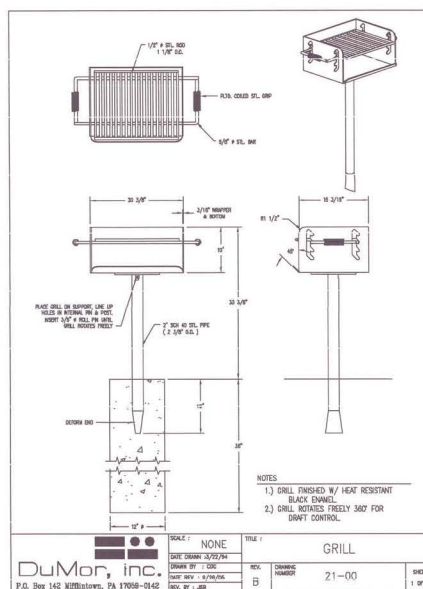


ROSS RECREATION EQUIPMENT CO.

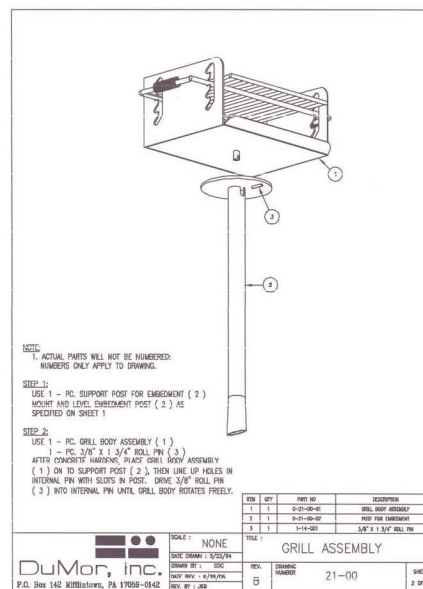
Toll Free: 855-892-3240
Fax: 707-538-3826
Northern California, Western Nevada

VISIT WEBSITE

100 Brush Creek Road
Suite 206
Santa Rosa, CA 95404
info@rossrec.com



C BBQ

[illegible]

HARDSCAPE NOTES

J.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591-0873 EMAIL: CNDEV@AOL.COM



LANDSCAPE DEVELOPMENT FOR:
1530/ 1540 POMEROY AVE
SANTA CLARA, CA

HARDSCAPE

DRAWN
JRN
CHECKED
DATE
SCALE
JOB NO.
SANTA CLARA

L-5

OF SHEETS

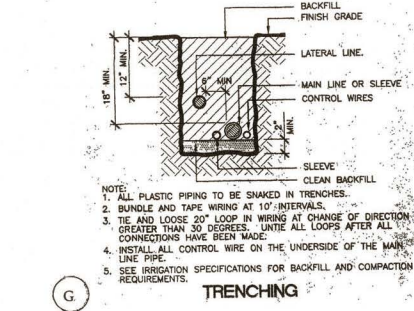
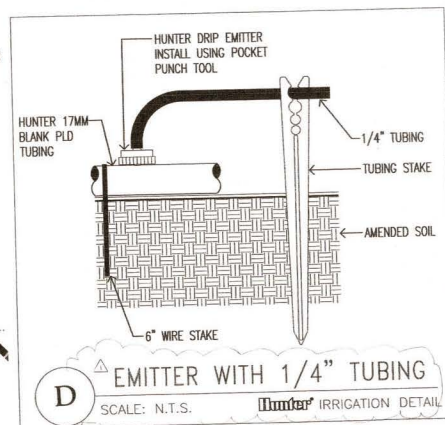
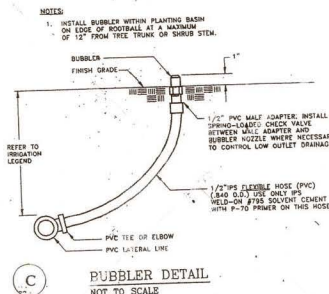
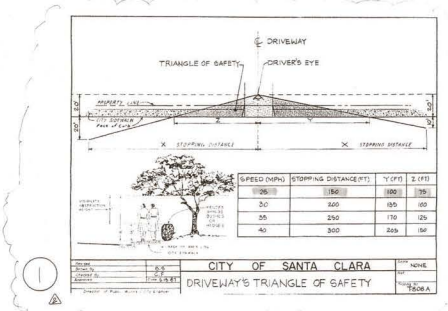
WATER AND LANDSCAPE EFFICIENCY CHECKLIST

IRRIGATION POINTS:

- MANUAL SHUTOFF OF ENTIRE IRRIGATION SYSTEM WITHIN 10'-0" OF POINT OF CONNECTION. EXISTING POC IS 3/4" AND 1" SIZE, SYSTEM DESIGNED FOR A MINIMUM OF STATIC PRESSURE OF 65 PSI, PRODUCING 17 GPM AT WATER METER.
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- SITE IS PRIMARILY FLAT, NOT SLOPED, REDUCING ANY RUNOFF CONDITIONS.
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- AUTOMATIC IRRIGATION IS CONTROLLED BY A RAIN-CLICK SENSOR PROVIDING POSITIVE CLOCK SHUT-OFF IN A RAIN EVENT.
- EACH AUTOMATIC IRRIGATION VALVE HAS ITS OWN INDIVIDUAL BALL VALVE. SHUT-OFF LOCATED AT EACH VALVE BOX LOCATION, THIS ALLOWS FOR QUICK POSITIVE CONTROL OF EACH CONTROL VALVE.
- ALL DRIP VALVES HAVE ACCU-SYNC 40 PRESSURE REDUCING VALVES. ATTACHED TO ELIMINATE ANY MISTING OR BLOWOUTS OF DRIP EMITTERS. AND MAINTAIN A CONSTANT PRESSURE OF 40 PSI OR LESS.
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- A MASTER VALVE IS INSTALLED BETWEEN THE BACKFLOW PREVENTION VALVE AND THE FIRST AUTOMATIC VALVE (6-4) TO REDUCE WATER LOSS DUE TO MAINLINE PIPE DAMAGE.
- BACKFLOW PREVENTION UNIT IS TO BE INSTALLED PER LOCAL CODES, UPON INSTALLATION UNIT SHALL HAVE BACKFLOW TEST GIVEN TO ASSURE COMPLIANCE.

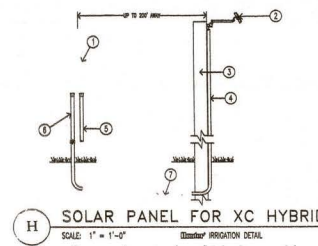
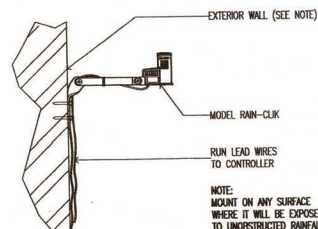
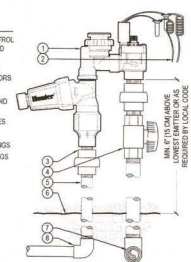
PLANTING ITEMS

- PROJECT IS NOT DESIGNED WITH ANY FORM OF NOXIOUS OR INVASIVE TREES, SHRUBS OR GROUNDCOVERS.
- HEAVY AMOUNTS OF WOOD MULCH CHIPS IN LANDSCAPE AREAS, 3" DEPTH IN GENERAL PLANTING BEDS. THIS DEPTH OF MULCH WILL REDUCE WEED GROWTH AND IRRIGATION WATER EVAPORATION AT EMITTER SITE.
- HEAVY USE OF SOIL ADJUVANTS IN PLANTING AREAS ALLOWS FOR BETTER PLANT GROWTH AND REDUCED AMOUNTS OF IRRIGATION WATER. THE MIX SHOWN ON PLAN IS DOUBLE THE AMOUNT OF ORGANIC MATERIAL REQUIRED BY THE CURRENT STATE STANDARD.
- SOIL ADJUVANT WILL BE: 6 CUBIC YARDS OF NITROFIED REDWOOD COMPOST PER 1,000 SQUARE FEET OF LANDSCAPED AREA. THIS WILL BE ROTOTILLED INTO THE TOP 6" OF TOPSOIL.
- ALL PLANTING IS DERIVED FROM THE MOST CURRENT WULCOS IV SOFTWARE AND FROM THE LATEST EAST BAY MUNICIPAL UTILITY DISTRICT PLANTING RECOMMENDATIONS TITLED "LOW WATER USE PLANTINGS".
- LANDSCAPE PLANTINGS FEATURE NO LAWN SOD OR ANNUAL FLOWER COLOR, DECORATIVE WATER FEATURES OR VEGETABLE GARDENS.
- ALL FERTILIZER REQUIRED WILL BE ORGANIC, SLOW RELEASE VARIETY. THIS WILL REDUCE THE NITROGEN SPIKE AND SUBSEQUENT INCREASED IRRIGATION TO WATER RAPIDLY GROWING PLANTINGS.
- ALL PLANTINGS USED ARE RELATIVELY LOW WATER USE MATERIAL. PLANT PALETTE WATER RATIO IS 100% LOW WATER USE PLANTINGS NO HIGH USE NURSERY MATERIAL INCLUDED SUCH AS FLOWER/ GARDEN OR WATER FEATURE USE INCORPORATED IN DESIGN OF THIS PROJECT.

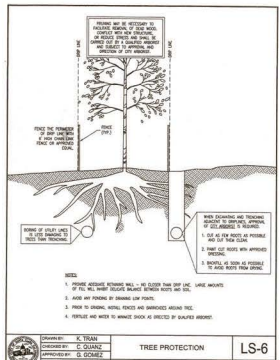


LEGEND

- HUNTER DRIP ZONE CONTROL KIT (ACV) WITH FILTER AND PRESSURE REGULATOR
- 18-20 COILED WIRE WITH WATERPROOF CONNECTORS
- THREADED UNIONS
- ISOLATION VALVE, SIZE AND TYPE PER PLAN
- SCHEDULE 80 PVC NIPPLES
- FINISH GRADE
- MAINLINE PIPE AND FITTINGS
- LATERAL PIPE AND FITTINGS



- HUNTER XC HYBRID CONTROLLER
- MODEL: SPK10
- DIAPHRAGM PUMP, POLE OR BUTTER MOUNT, MOUNT IN LOCATION THAT MAXIMIZES DIRECT SUNLIGHT TO A POINT 12" BELOW GRADE
- CONDUIT FROM SOLAR PANEL TO CONTROLLER OR TO A POINT 12" BELOW GRADE
- CONDUIT FOR VALVE CONTROL WIRE
- CONDUIT FOR CONTROLLER POWER SOURCE
- POWER WIRE, 18-20AWG WIRE TYPE TO MEET INSTALLATION CODE REQUIREMENTS, FROM MODULE TO SENSOR. MAXIMUM TOTAL WIRE DISTANCE 51M (200 FEET)



TO BE USED IN PRIVATE/ COMMON SPACE LANDSCAPE AREAS ONLY

LANDSCAPE NOTES

REVISIONS	BY
1/1/24 ADD	
TELAJUE OF	
SAFETY NOTE	
1/1/24 CHANGE SHEET NUMBERING	
ADD TREE	
PLANTING DETAIL	

L.R. NELSON & ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA
PHONE (408) 591-0873 EMAIL: CNDEYE@AOL.COM



NEW RESIDENTIAL PROJECT AT:
RESIDENTIAL PROJECT AT:
1530 / 1540 POMEROY AVE.
SANTA CLARA, CA

DRAWN	JRN
CHECKED	
DATE	5/9/2023
SCALE	AS NOTED
DESIGN	NE
SHEET	

L-6
OF SHEETS