



# City of Santa Clara

## Meeting Agenda

### Development Review Hearing

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**Wednesday, December 1, 2021**

**3:00 PM**

**Virtual Meeting**

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Pursuant to California Government Code section 54953(e) and City of Santa Clara Resolution 21-9023, the Development Review Hearing meeting will be held by teleconference only. No physical location will be available for this meeting; however, the City of Santa Clara continues to provide methods for the public to participate remotely:

• Via Zoom:

o <https://santaclaraca.zoom.us/j/92950218717> or o Phone: 1 (669) 900-6833

Webinar ID: 929 5021 8717

Public Comments prior to meeting may be submitted via email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

The Development Review Officer, staff, and applicants will be participating remotely.

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

#### **CALL TO ORDER AND ROLL CALL**

**21-1670** [Declaration of Procedures](#)

#### **REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES**

#### **PUBLIC PRESENTATIONS**

*Members of the public may briefly address the Development Review Officer on any matter not on the agenda that is within the subject matter jurisdiction.*

**CONSENT CALENDAR**

Consent Calendar items may be enacted, approved, or adopted by the action of the Development Review Hearing Officer unless requested to be removed by anyone for discussion or explanation. If any member of the staff, the applicant, or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Development Review Hearing during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

**1.A 21-1549** [Action on the proposed 329 square-foot second floor addition and interior remodel of an existing one-story single-family residence at 517 Hubbard Avenue](#)

**Recommendation:** Approve 1,110 square feet ground floor addition and interior remodel of an existing one-story three-bedroom, two-bathroom 1,567 square feet single-family residence resulting in a one-story potentially five-bedroom, three-bathroom 2,677 square feet single-family residence with the existing 457 square-foot garage and 38 square-foot front porch to remain for the property located at 517 Hubbard Avenue, subject to conditions.

**1.B 21-1604** [Action on the proposed 1,110 square feet ground floor addition and interior remodel of an existing one-story single-family residence at 2742 Glorietta Circle](#)

**Recommendation:** Approve 1,110 square feet ground floor addition and interior remodel of an existing one-story three-bedroom, two-bathroom 1,567 square feet single-family residence resulting in a one-story potentially five-bedroom, three-bathroom 2,677 square feet single-family residence with the existing 457 square-foot garage and 38 square-foot front porch to remain for the property located at 2742 Glorietta Circle, subject to conditions.

**1.C 21-1608** [Action on the 633 square-foot first floor addition and 550 square-foot second floor addition to a one-story single-family residence at 4739 Snead Drive](#)

**Recommendation:** Approve the 633 square-foot first floor addition, a 550 square-foot second floor addition, a 500 square-foot JADU conversion, and a new 1,150 square-foot second story ADU to an existing 1,170 square-foot 4-bedroom, 2-bathroom, one-story residence resulting in a 2,353 square-foot 6-bedroom, 5-bathroom, two-story residence with a new 600 square-foot attached garage for the property located at 4739 Snead Drive, subject to conditions.

- 1.D 21-1609 [Action on the demolition of an existing 1,680 square-foot one-story residence and the new construction of a 2,563 square-foot two-story single-family residence at 73 Jenkins Place](#)

**Recommendation:** Approve the demolition of the existing 1,680 square-foot one-story residence and the new construction of a 2,563 square-foot 5-bedroom, 4-bathroom, two-story single family residence with a new 445 square-foot attached two-car garage for the property located at 73 Jenkins Place, subject to conditions.

### **GENERAL BUSINESS**

*The following items from this Development Review Hearing agenda will be scheduled for further review following the conclusion of hearings and recommendations by the Development Review Hearing. Please contact the Planning Division office for information on the schedule of hearings for these items.*

2. 21-1600 [Action on the new construction of a two-story, 2,748 square foot, four bedroom and five bathroom single family home, at 1922 Main Street](#)

**Recommendation:** Approve the new construction of a two-story, 2,748 square-foot, four-bedroom and five- bathroom single-family home, at 1922 Main Street, subject to conditions.

3. 21-1607 [Action on the 432 square-foot first floor addition and 1,276 square-foot second floor addition to a one-story single-family residence at 3885 Baldwin Drive](#)

**Recommendation:** Approve the revised project proposal consisting of a 432 square feet ground floor addition and 1,276 second floor addition to an existing 1,806 square feet 4-bedroom and 2-bathroom two-story residence resulting in a two-story 3,514 square feet, 5-bedroom, 1-office, and 4-bathroom house with an existing 550 square feet attached garage for the property located at 3885 Baldwin Drive, subject to conditions.

### **ADJOURNMENT**

*The next regular scheduled meeting is on Wednesday, January 12, 2022 at 3 p.m.*

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

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21-1670

Agenda Date: 12/1/2021

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### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Declaration of Procedures



The Hearing Officer for this agenda will be Development Review Officer, AICP, Gloria Sciara on behalf of and delegated by the Director of Community Development Andrew Crabtree.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

**If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.**

**The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.**



Agenda Report

21-1549

Agenda Date: 12/1/2021

**REPORT TO DEVELOPMENT REVIEW HEARING**

**SUBJECT**

Action on the proposed 329 square-foot second floor addition and interior remodel of an existing one-story single-family residence at 517 Hubbard Avenue

**File No.(s):** PLN21-15279

**Location:** 517 Hubbard Avenue, a 6,700 square feet parcel at the southeast corner of Meadow Avenue and Hubbard Avenue; APN: 316-12-061; property is zoned Single-Family Residential (R1-6L)

**Applicant:** Rudy Para, Para Builders, Inc.

**Owner:** Subhash and Lakshmi BalaKrishna

**Request:** **Architectural Review** for a 329 square foot second floor addition and interior remodel of an existing one story three-bedroom one and a half 1,967 square feet single-family residence resulting in a two story four-bedroom two and a half bathroom 2,296 square feet single-family residence with the existing 390 square foot car port and a 18 square foot porch to remain.

**Project Data**

Lot Size: 6,700 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor Area (sq. ft.)
First Floor	1,967	-	1,967
Second Floor	-	329	329
Garage/Car Port	390	-	390
Porch	18	-	18
Shed	-	-	-
Gross Floor Area	2,375		2,704
Lot Coverage	2,375/6,700 = 35.4%	-	2,375/6,700 = 35.4%
F.A.R.	2,375/6,700= .35		2,704/6,700=.40
% Second Floor to First Floor	-		16.5%
Bedrooms/Baths	3 Bedrooms 1 1/2 Bathrooms	1 Bedrooms 1 Bathrooms	4 Bedrooms 2 1/2 Bathrooms
Flood Zone	A		A

**Points for consideration**

- The proposed project is located in a predominantly one-story homes with occasional two-story homes throughout the immediate neighborhood.
- Project site adjoins one-story single-family homes on all sides
- The site is in the special flood hazard area A that corresponds to the areas of 1-percent annual chance of flooding (Base Flood).
- There are no active City code enforcement cases for this property.
- A 300-foot neighborhood notice was distributed for this project review.

### **Findings supporting the Staff Recommendation**

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The development provides the required two covered parking spaces.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The development provides the minimum required driveway length of twenty feet between the parking and any street right-of-way line.
2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The project proposes a small second-floor addition to the existing house in a manner that is compatible with the scale and character of the neighborhood in that the proposed addition is located to the rear with large front set back.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create an increase in traffic.
3. *Proposed lot coverage within the maximum 40% lot coverage permissible in the R1-6L zoning district. That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed project is compatible with adjacent residential properties and generally consistent with the City's Design Guidelines, in that the project maintains the one to two-story character. The proposed second floor addition is almost 55 foot away from the front property line and provides five foot sidestep back from the first floor walls, rear minimizing any impact on the existing neighborhood character.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health safety and general welfare.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from*

*time to time by the City Council, which set shall be maintained in the planning division office, in that;*

- The proposed addition will be clad in stucco with siding on the front elevation and a new composite shingle roof to match the existing home.

### **CONDITIONS OF APPROVAL**

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to, site plans, floor plans, elevations, landscaping, lighting and signage.
- 2) Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 3) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 4) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.
- 5) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.

### **ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301-Existing Facilities, in that the project is limited to a small addition to the existing single-family residence.

### **FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

### **PUBLIC CONTACT**

On November 18, 2021, a notice of public hearing of this item was posted in three conspicuous places within 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application at the time of preparation of this report.

### **RECOMMENDATION**

**Approve** 1,110 square feet ground floor addition and interior remodel of an existing one-story three-bedroom, two-bathroom 1,567 square feet single-family residence resulting in a one-story potentially five-bedroom, three-bathroom 2,677 square feet single-family residence with the existing 457 square-foot garage and 38 square-foot front porch to remain for the property located at 517 Hubbard Avenue, subject to conditions.

Prepared by: Nimisha Agrawal, Associate Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Development

### **ATTACHMENTS**

1. Development Plans
2. Project Data Table





# PLANNING APPLICATION

CITY OF SANTA CLARA, PLANNING DIVISION

1500 Warburton Avenue, Santa Clara, California 95050

(408) 615-2450 Fax: (408) 247-9857

E-mail: [Planning@santacruz.ca.gov](mailto:Planning@santacruz.ca.gov)

Website: [www.santacruz.ca.gov](http://www.santacruz.ca.gov)

See page 2 for application requirements

### APPLICATION FOR:

(Please check all applicable boxes)

- VARIANCE
- USE PERMIT
- ZONING CHANGE
- TENTATIVE MAP
- TENTATIVE PARCEL MAP
- LOT LINE ADJUSTMENT
- MODIFICATION
- SPECIAL PERMIT
- HISTORICAL & LANDMARKS COMMISSION
- GENERAL PLAN AMENDMENT
- OFF-SITE PARKING PERMIT
- (OTHER):

### ARCHITECTURAL REVIEW FOR:

- RESIDENTIAL
- NON-RESIDENTIAL
- MIXED-USE
- LANDSCAPE
- SIGNS
- TEMPORARY SIGNS

### FOR PLANNING STAFF USE ONLY

Checked in by: \_\_\_\_\_ on \_\_\_\_\_

Fee: \_\_\_\_\_ Receipt number: \_\_\_\_\_

PCC-SC meeting date: \_\_\_\_\_

Tentative Commission date: \_\_\_\_\_

Tentative AC meeting date: \_\_\_\_\_

File number(s): \_\_\_\_\_

### ENVIRONMENTAL REVIEW:

EXEMPT  NEG DEC  EIR

Fax to: \_\_\_\_\_

Fax #: \_\_\_\_\_

Project Address: 517 HUBBARD AVE Building area: 2704 square feet

County Assessor's Parcel Number (APN): 316 - 12 - 061 Gross lot area: 6700 acres / square feet

Development Project Description: ADDITION OF 2 STORY M. SUITE, BATH, CLOSET OVER EXISTING FAMILY ROOM TOTAL 399 SF

### Hazardous Wastes and Substances Statement (Calif. Gov. Code 65962.5):

- This site is **not** included on the Hazardous Wastes and Substances Sites List
- This site is on the Hazardous Wastes and Substances Sites List.
- (Copies of the applicable Lists are available online at these addresses:  
<http://www.ethicostor.org/california> and <http://geotracker.waterboards.ca.gov/>)
- Date of list: \_\_\_\_\_
- Regulatory ID #: \_\_\_\_\_

Urban Runoff Pollution Prevention Program (URPPP) information provided to applicant ([C 1 cal form](#))

Please print all information legibly, including correct zip code.

Applicant: RUDY PARRA Mailing address: 22650 3RD ST Day phone: 510-715-7691

Company: PARRA BUILDERS INC City: HAYWARD CAL. Zip code: 94541

Signature: Rudy Parra E-Mail: PARRABUILDERSINC@GMAIL.COM

Property Owner: SUBASH BALAKRISHNA Mailing address: 517 HUBBARD AVE Day phone: 408-582-3805

Company: OWNER City: SANTA CLARA CAL Zip code: 95051

Signature: BSB E-Mail: bsubash@gmail.com

NOTE: Please attach the names and full addresses, including zip codes, of all other involved parties to which you would like agendas and minutes sent.

### Statement of justification for the above APPLICATION:

This statement will be included in the staff report to the Planning Commission; a separate statement may be attached, if necessary. Contact staff for assistance on preparing a statement.

REQUESTING TO ELIMINATE PLANNING STAFF REVIEW SINCE NO NEIGHBORHOOD PROPERTY IS @ REAR YARD.

### Tentative Map / Tentative Parcel Map / Lot-Line Adjustment application only:

Engineering firm: \_\_\_\_\_ Engineer's name: \_\_\_\_\_

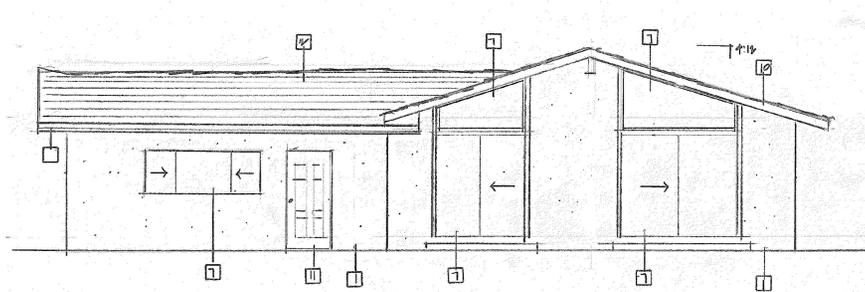
Address: \_\_\_\_\_ Phone #: \_\_\_\_\_

Internet E-Mail (Optional): \_\_\_\_\_ Fax #: \_\_\_\_\_

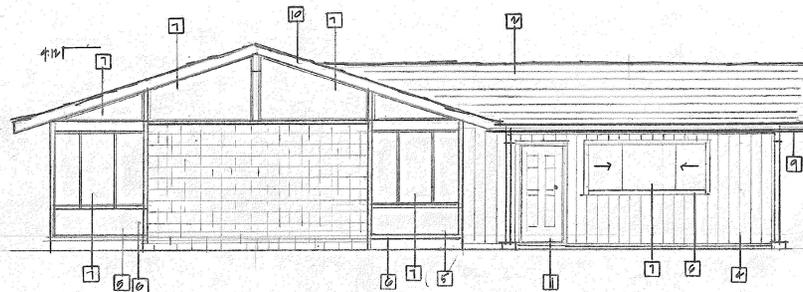
Engineer's signature: \_\_\_\_\_

STAFF COMMENTS: \_\_\_\_\_

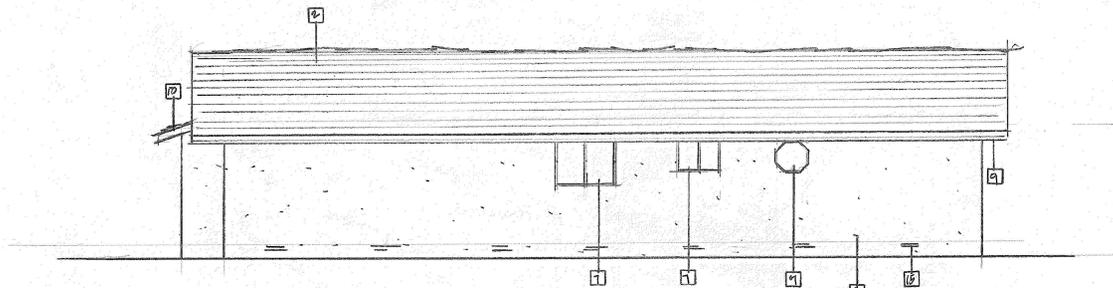




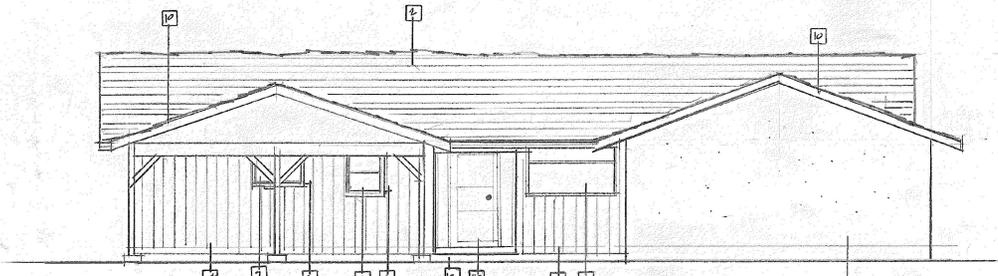
EXISTING REAR ELEVATION 1/4"=1'-0"



EXISTING FRONT ELEVATION 1/4"=1'-0"



EXISTING LEFT SIDE ELEVATION 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION 1/4"=1'-0"

- EXTERIOR ELEVATION NOTES EXISTING**
1. 3/8" CEMENT PLASTER 3 COATS O/LATH O/L 2 LAYERS TYPE O PAPER O/ O/SB SHEATHING (OWNER TO SELECT COLOR) DASH FINISH
  2. ROOFING COMPOSITION SHINGLE EXISTING/NEW
  3. METAL FLASHING COLOR TO MATCH
  4. T-111 WOOD SIDING
  5. PLYWOOD SIDING
  6. 2X4 WOOD TRIM
  7. EXISTING VINYL WINDOWS/DOORS
  8. WINDOWS INCL. SLIDING DOORS: MILGARD "TUSCANY" OR EQUAL: DUAL PANE
  9. GUTTER ALUMINUM DESIGN GUTTERS COLOR BY OWNER
  10. BARGE RAFTERS COLOR BY OWNER
  11. EXISTING EXTERIOR DOOR
  12. CONCRETE FLOOR+ SLATE TILE, STAMP CONCRETE FINISH
  13. FRONT ENTRY DOORS TRIM, DESIGN, COLOR & STYLE BY OWNER.
  14. NEW EXTERIOR DOOR
  15. FOUNDATION VENT
  16. WEEP SCREED

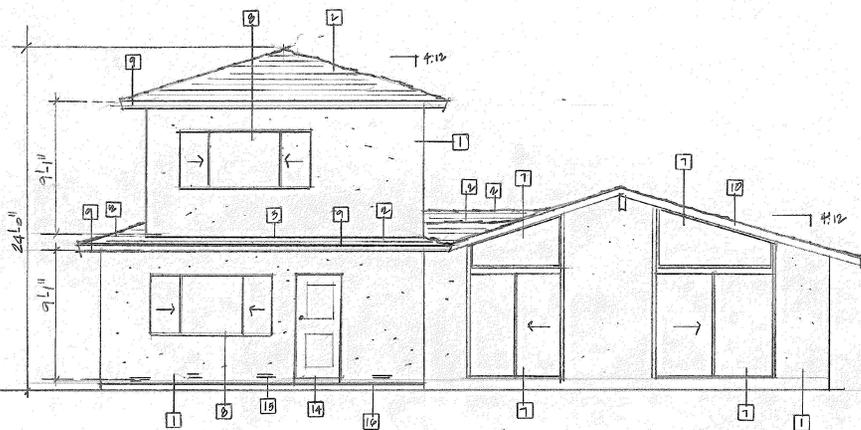
REVISION	BY:

**PARRA BUILDERS INC.**  
 RUDY PARRA  
 GENERAL CONTRACTOR  
 LIC# B-79848  
 PHONE (610) 715-1091

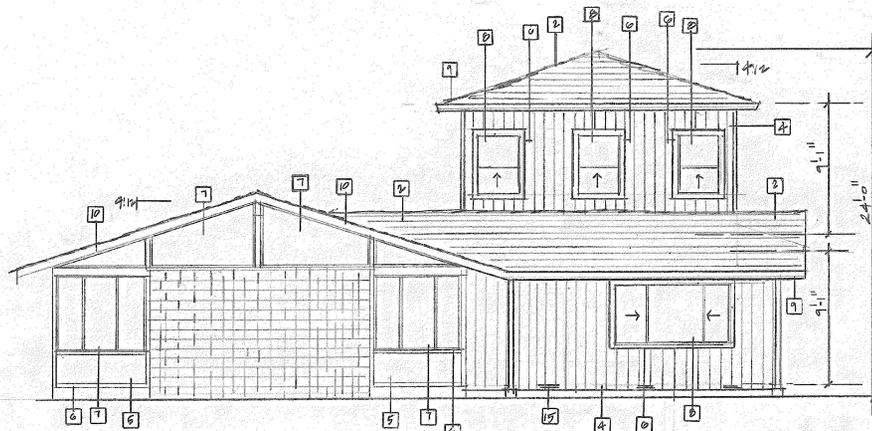
**PROPOSED ADDITION & REMODEL**  
**BALAKRISHNA RESIDENCE**  
 517 HUBBARD AVE. SANTA CLARA, CAL.

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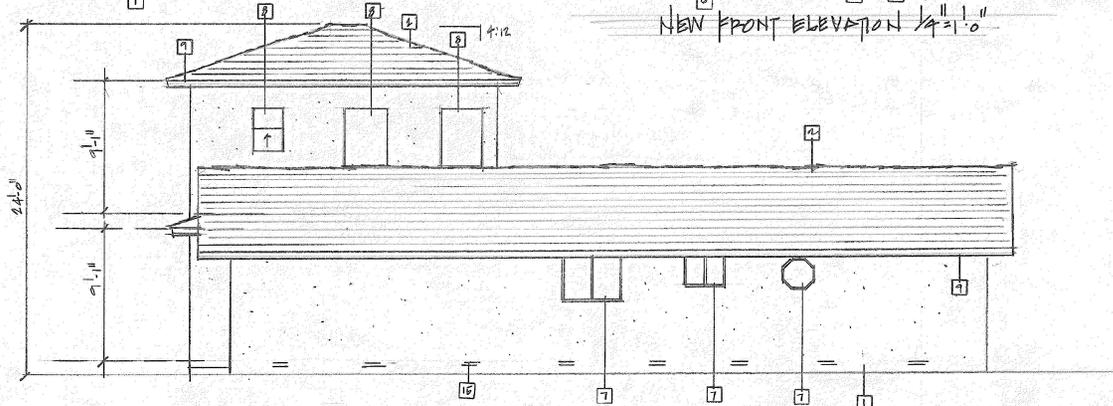
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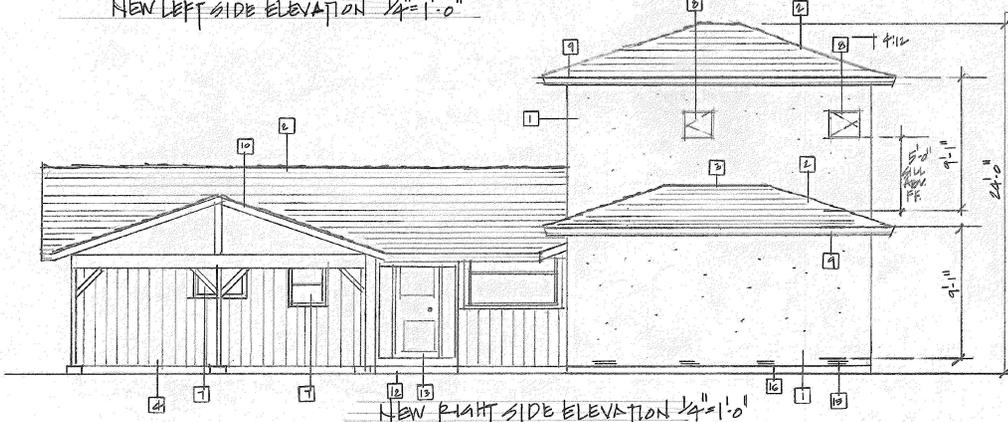
NEW REAR ELEVATION  $\frac{1}{4}'' = 1'-0''$



NEW FRONT ELEVATION  $\frac{1}{4}'' = 1'-0''$



NEW LEFT SIDE ELEVATION  $\frac{1}{4}'' = 1'-0''$



NEW RIGHT SIDE ELEVATION  $\frac{1}{4}'' = 1'-0''$

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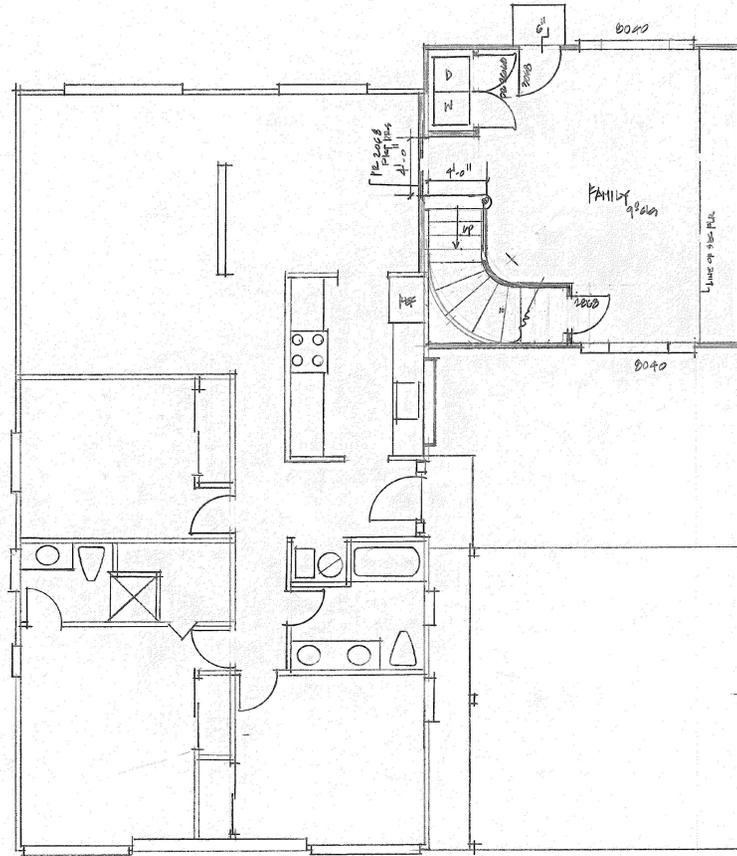
**PARRA BUILDERS INC.**  
 RUDY PARRA  
 GENERAL CONTRACTOR  
 LIC# B-79458  
 PHONE (510) 715-7691

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DRAWN <i>[Signature]</i>	CHECKED
DATE 10/20/21	SCALE
JOB NO.	SHEET
<b>A-3</b>	
OF	SHEETS





NEW FIRST FLOOR PLAN 1/4" = 1'-0"

REVISION	BY:
1	9/27/21

**PARRA BUILDERS INC.**  
 RUBY PARRA  
 GENERAL CONTRACTOR  
 LIC# B-79448  
 PHONE (510) 715-7691

**PROPOSED ADDITION & REMODEL**  
**BALAKRISHNA RESIDENCE**  
 517 HUBBARD AVE. SANTA CLARA, CAL.

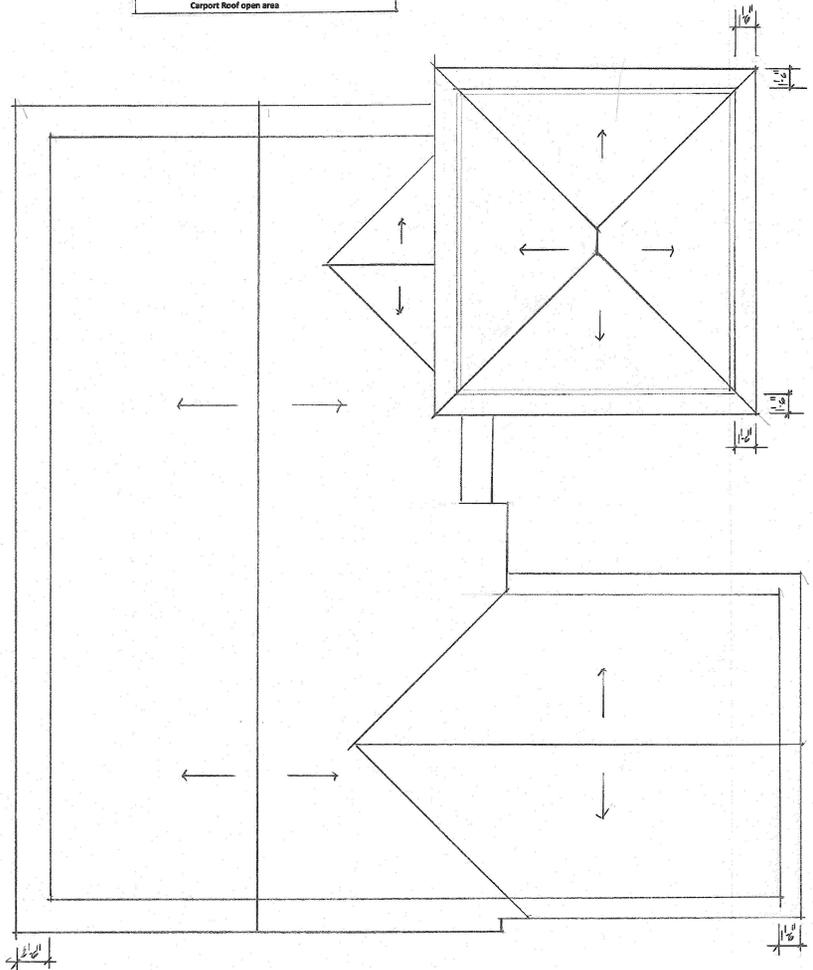
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DRAWN
CHECKED
DATE 9/27/21
SCALE
JOB NO.
SHEET
<b>A-5</b>
OF SHEETS



**ROOF NOTES :**

1. Roof Pitch 4:12
2. 40 yr. Dimensional shingle class 'A'
3. 1 Layer #30 Felt Paper
4. 1/2" OSB/ply Roof sheathing /Radiant Barrier
5. 2x8 Facia Board / Gutter
6. Soffit w/ Stucco
7. Attic Ventilation:  
 Upper Roof = 399 sq. ft. --- 150 sq. ft. = 2.6 sq. ft. req.  
 4"x 22 1/2" vent = .5 sq ft. x 6 = 3 sq. ft.  
 9" x 22 1/2" eyebrow vent = 1.9 sq. ft. x 2 = 2.6 sq. ft.  
 Total Ventilation = 5.2 sq. ft.  
 Lower Roof = 1586 sq. ft. --- 150 sq. ft. = 10.5 sq. ft.  
 4"x 22 1/2" vent = .5 sq. ft. x 21 = 10.5 sq. ft.  
 Carport Roof open area



ROOF PLAN 1/4" = 1'-0"

REVISION	BY:

**PARRA BUILDERS INC.**  
 RUDY PARRA  
 CONTRACTOR  
 LIC# B-79648  
 PHONE (510) 715-7691

**PROPOSED ADDITION & REMODEL**  
**BALAKRISHNA RESIDENCE**  
 517 HUBBARD AVE. SANTA CLARA, CAL.

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Drawn  
 DATE 10/11/21  
 SCALE  
 JOB NO.  
 SHEET  
**A-7**  
 OF SHEETS

**Project Data**

<b>Lot Size: 6,700 sq. ft.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	1,967	-	1,967
<b>Second Floor</b>	-	329	329
<b>Garage/Car Port</b>	390	-	390
<b>Porch</b>	18	-	18
<b>Shed</b>	-	-	-
<b>Gross Floor Area</b>	2,375		2,704
<b>Lot Coverage</b>	$2,375/6,700 = 35.4\%$	-	$2,375/6,700 = 35.4\%$
<b>F.A.R.</b>	$2,375/6,700 = .35$		$2,704/6,700 = .40$
<b>% Second Floor to First Floor</b>	-		16.5%
<b>Bedrooms/Baths</b>	3 Bedrooms 1 1/2 Bathrooms	1 Bedrooms 1 Bathrooms	4 Bedrooms 2 1/2 Bathrooms
<b>Flood Zone</b>	A		A



Agenda Report

21-1604

Agenda Date: 12/1/2021

**REPORT TO DEVELOPMENT REVIEW HEARING**

**SUBJECT**

Action on the proposed 1,110 square feet ground floor addition and interior remodel of an existing one-story single-family residence at 2742 Glorietta Circle

**File No.(s):** **PLN21-15053**

**Location:** 2742 Glorietta Circle, a 7,930 square feet parcel at the southeast corner of Glorietta Circle and Kiely Boulevard; APN: 294-33-023; property is zoned Single-Family Residential (R1-6L)

**Applicant:** Stephanie Walker, Bridgford Construction Inc.

**Owner:** Michelle Kim and David Wu

**Request:** **Architectural Review** for a 1,110 square feet ground floor addition and interior remodel of an existing one story three-bedroom two-bathroom 1,567 square feet single-family residence resulting in a one story potentially five-bedroom three-bathroom 2,677 square feet single-family residence with the existing 457 square foot garage and 38 square foot front porch to remain.

**Project Data**

Lot Size: 7,930 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor Area (sq. ft.)
<b>First Floor</b>	1,567	1,110	2,677
<b>Garage</b>	457		457
<b>Porch</b>	38	-	38
<b>Shed</b>	-	-	-
<b>Gross Floor Area</b>	2,062		3,172
<b>Lot Coverage</b>	2,062/7,930 = 26%	-	3,172/7,930 = 40%
<b>F.A.R.</b>	2,062/7,930= .26		3,172/7,930=.40
<b>Bedrooms/Baths</b>	3 Bedrooms 2 Bathrooms	2 Bedrooms 1 Bathrooms	5 Bedrooms 3 Bathrooms
<b>Flood Zone</b>	X		X

**Points for consideration**

- The proposed project is located in a predominantly one-story homes with occasional two-story homes throughout the immediate neighborhood.
- Project site adjoins one-story single-family homes on all sides.
- There are no active City code enforcement cases for this property.

- A 300-foot neighborhood notice was distributed for this project review.

### **Findings supporting the Staff Recommendation**

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The development provides the required two covered parking spaces.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The development provides the minimum required driveway length of twenty feet between the parking and any street right-of-way line.
2. *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The project proposes a first-floor addition to the existing house in a manner that is compatible with the scale and character of the neighborhood in that the proposed addition is located to the rear and is a one story addition.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create an increase in traffic.
3. Proposed lot coverage within the maximum 40% lot coverage permissible in the R1-6L zoning district. *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed project is compatible with adjacent residential properties and generally consistent with the City's Design Guidelines, in that the project maintains the one-story character. The addition is proposed to the rear minimizing any impact on the existing neighborhood character.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health safety and general welfare.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*
  - The proposal compliments the existing architectural style of the home by following the features and design, such as the roof pitch, window proportions from the existing house. The proposed addition will be clad in stucco and stone veneer to the front with a new composite shingle roof to match the existing home.

**CONDITIONS OF APPROVAL**

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to, site plans, floor plans, elevations, landscaping, lighting and signage.
- 2) Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 3) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 4) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.
- 5) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.

**ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301-Existing Facilities, in that the project is limited to a small addition to the existing single-family residence.

**FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

**PUBLIC CONTACT**

On November 18, 2021, a notice of public hearing of this item was posted in three conspicuous places within 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application at the time of preparation of this report.

**RECOMMENDATION**

**Approve** 1,110 square feet ground floor addition and interior remodel of an existing one-story three-bedroom, two-bathroom 1,567 square feet single-family residence resulting in a one-story potentially five-bedroom, three-bathroom 2,677 square feet single-family residence with the existing 457 square-foot garage and 38 square-foot front porch to remain for the property located at 2742 Glorietta Circle, subject to conditions.

Prepared by: Nimisha Agrawal, Associate Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Development

**ATTACHMENTS**

1. Development Plans
2. Project Table

# Interior Remodel and Addition For: 2742 Glorietta Cr. Santa Clara, CA 95051 APN: #294-33-023

REVISIONS	
7/29/21	1
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**BRIDGFORD CONSTRUCTION**  
2380 S. BASCOM AVE. STE 100  
CAMPBELL, CA 95008

**KIM / WU RESIDENCE**  
2742 GLORIETTA CIRCLE  
SANTA CLARA, CA 95051

**TITLE PAGE**

**SCALE:** See Drawing  
**DATE:** 06/23/21  
**SHEET:**  
**A 0.0**

### General Notes:

**EXTERIOR PLASTER LATH:** Exterior plaster lath shall be of an approved paper backed, corrosion resistant metal or wire fabric and shall be self-furring (1/4" min). Apply lath over underlayment with the long dimension horizontal and lap a minimum 1/2" at the sides and a minimum 1" at the ends. Where the ends laps of sheets do not occur over supports, they shall be overlapped at all corners or the lath shall be carried around corners at least one support. A 28 ga. galv. iron weep screed shall be provided at or below the foundation line on all exterior stud walls a minimum of 4" above the highest adjacent grade. The screed shall allow trapped water to drain to the outside. Weep screed on exterior plaster lath shall be placed at 2" minimum above paved areas.

**EXTERIOR PLASTER (Areas of infill construction):** Plastering with cement plaster shall be not less than three coats where applied over metal lath or wire fabric lath or gypsum board backing as specified in CRC R703 and shall be not less than two coats where applied over masonry or concrete. If the plaster surface is to be completely covered by veneer or other facing material, or is completely concealed by another wall, plaster application need only be two coats, provided that the total thickness is as set forth in ASTM C926.

**FLASHING:** All roof, wall and floor flashing shall be 26 AG, galvanized iron unless otherwise noted on plans. Set all flashing in plastic cement and set in butyl mastic. Roof flashing shall be installed per CRC, R703.8, typical.

**DOORS AND WINDOWS:** All new doors and windows are to be double paned. Any new exterior doors and windows are to be fully weather-stripped, certified and labeled for compliance to energy conservation regulations.

**GLAZING:** All glazing shall conform to federal glazing regulations CRC R308.4. Glazing in doors and within 18" of doors shall be fully tempered glass. Shower/tub enclosure glazing to be fully tempered.

**CAULKING:** All joints and penetrations at the exterior walls, ceilings and floor assemblies shall be fully caulked and sealed.

**WEATHER BARRIER:** All weather exposed wall surfaces shall be protected with an underlayment of two layers of building paper conforming to CRC chapter 7 or with #15 felt conforming to CRC or an approved paper backed metal lath.

**GYPSUM WALLBOARD:** All interior wall and ceiling faces are to be sheathed with 1/2" gypsum board. Nail all gypsum board to wall studs, plates, blocking, etc., with 5d cooler nails at 7" o.c. unless other specific nail spacing is noted on plans. Tape and texture walls and ceilings to match existing finishes to remain.

**BACKING AT BATHTUBS OR SHOWERS:** Water resistant gypsum backing board (i.e. Green Board) shall not be used in bath tubs or showers where there will be direct exposure to water or subject to continuous high humidity per CRC R702.3.8.1. For gypsum board used as the backer or base for ceramic tiles or other non-absorbent finish materials, provide fiber-reinforced, flow-mix reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers such as Wonder-board, Hardi-backer, Dens sheikl or equivalent.

**INSULATION:** Ceilings, walls and floors shall have insulation (refer to Title 24 documentation).

### General Notes (continued)

**EXTERIOR WALL VENTS:** All exterior wall vents must be screened with a corrosion resistant, non-combustible wire mesh w/ 1/4" openings or its equivalent. (e.g. exhaust vents for dryer, hood fan, etc.)

**SMOKE DETECTORS:** Provide smoke detectors in locations indicated on plan. Smoke detectors shall be powered by permanent building wiring without a disconnection switch other than circuit breakers. They shall be equipped with a battery back-up that will emit a signal when batteries are low. The primary source of power shall not be from batteries. All smoke detectors shall be interconnected so that one alarm activated will sound all alarms. Smoke detectors shall be installed in each sleeping room and centrally in the hall or area giving access to each sleeping room. Detectors shall be audible in all sleeping areas of the house.

**BEDROOM ESCAPE OR RESCUE WINDOWS:** Shall have a minimum net clear opening area of 5.7 square feet. The minimum net clear opening height dimension shall be 24 inches and the minimum net clear opening width dimension shall be 20". When windows are provided as a means of escape or rescue they shall have a finished opening height of not more than 4" above the floor.

**G1 SITE MANAGEMENT:**  
a. Construction site shall be enclosed by 6' opaque fence at all times during construction.  
b. No Construction material, equipment, portable toilets, trash containers, or debris shall be placed in the public right-of-way.  
c. A trash container shall be maintained on site at all times and debris on site which could otherwise blow away, shall be regularly collected and placed in container.  
d. All construction debris (wood scraps and other debris, which cannot blow away) shall be piled within the property lines of the project in a neat and safe manner.  
e. The project shall have a signage viewable from the public street that indicates the hours of construction as: Mon- Fri from 7:30 am to 6 pm, Saturdays from 9am to 5 pm.

**COMPOSITION SHINGLES:** New roofs are to be covered with asphalt/composition roofing material. Shingles shall comply with applicable CRC standards and shall be installed in accordance with CRC R905. Shingles shall be fastened to solidly sheathed roofs and shall be fastened according to the CRC. The shingles shall be approved self sealing or hand sealed and shall be installed with and underlayment consisting of two layers of nonperforated Type 15 felt applied shingle fashion. Attach with corrosion resistant staples, minimum 12-gauge, 3/8" (9.5mm) head, or approved corrosion-resistant staples, minimum 16-gauge 15/16" (23.8mm) crown width. Fasteners shall comply with the requirements of CRC R905.2.5. Fasteners shall be long enough to penetrate into the sheathing 3/4" (19m) or through the thickness of the sheathing, whichever is less. Number of fasteners shall be per CRC R905.2.8.

### Project Data:

PROJECT ADDRESS	2742 Glorietta Cr. Santa Clara, CA 95051
PROJECT OWNER	Michelle Kim and David Wu
STRUCTURAL ENGINEER	SELVIN & MOON STRUCTURAL ENGINEERING, INC. 274 E. Hamilton Avenue, Suite C Campbell, CA 95008
CONTRACTOR	BRIDGFORD CONSTRUCTION 2380 BASCOM AVE. STE. 100 CAMPBELL, CA 95008
ZONING	R1-4L - Single Family, Larger Lot Area
APN NUMBER	# 294-33-023
TYPE OF CONSTRUCTION	V48
SPRINKLERS REQUIRED	NO
YEAR BUILT	1971
STORIES	1 STORY
WUI	NO
PROPOSED BUILDING HEIGHT	178
AREA (E) HOUSE (INCLUDING GARAGE)	2024
AREA (E) HOUSE (EXCLUDING GARAGE)	1567
(E) GARAGE AREA	457
(N) BUILDING AREA	1110
(N) GARAGE AREA	457 (NO CHANGE)
TOTAL BUILDING AREA (INCLUDING GARAGE)	2077
TOTAL BUILDING AREA (EXCLUDING GARAGE)	3134
(E) PORCH	38
(N) PORCH	38 (NO CHANGE)
PARCEL SIZE	7930 SQFT
ALLOWABLE SITE COVERAGE	40% of parcel
EXISTING SITE COVERAGE	20%
PROPOSED SITE COVERAGE	3172 <b>TOTAL BUILDING AREA + PORCH + PARCEL SIZES WUI = 30,793 = 40%</b>

### Codes

- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 ENERGY CODE
- ALL APPLICABLE LOCAL, STATE & FEDERAL CODES, ORDINANCES, LAWS, & REGULATIONS AS AMENDED BY SANTA CLARA BUILDING ORDINANCES

### Sheet Index:

#### ARCHITECTURAL

A 0.0	COVER SHEET, GENERAL NOTES, SHEET INDEX
A 1.0	EXISTING SITE PLAN
A 1.1	PROPOSED SITE PLAN
A 2.0	DEMOLISHED PROPOSED FLOOR PLAN
A 3.0	EXISTING EXTERIOR ELEVATIONS
A 3.1	PROPOSED EXTERIOR ELEVATIONS
A 3.2	PROPOSED EXTERIOR ELEVATIONS

1. Provide a Site Plan showing the proposed house, including addition, with dimensions from the property lines to the house. Also show any attached or detached accessory buildings/structures and their square footage(s).

PLEASE REFER TO SHEET A 2.0 FOR THE PROPOSED ADDITION, WITH REQUESTED DIMENSIONS. THERE ARE NO ATTACHED ACCESSORY BUILDINGS.

2. Provide a calculation of the amount of existing exterior walls (linear feet) that is either proposed to be demolished or will be enclosed in new walls. If more than 50% of existing walls demolished or enclosed, this would be considered a demolition and the proposal would be required to meet all current Zoning requirements, including providing a 2-car garage with minimum 20-foot by 20-foot interior clear dimensions.

PLEASE REFER TO SHEET A 2.0 FOR THE REQUESTED CALCULATION:

TOTAL EXISTING EXTERIOR WALL = 208'-5"  
EXTERIOR WALLS TO BE DEMOLISHED = 65'-2" LIN. FT.  
EXTERIOR WALLS TO BE ADDED = 91'-6" LIN FT.

PERCENTAGE TO BE DEMOLISHED = 31.28%

3. The rooms labeled "office" are functionally bedrooms. New or expanded single-family homes that result in 5 or more bedrooms trigger the requirement for a publicly noticed Development Review Hearing (DRH).

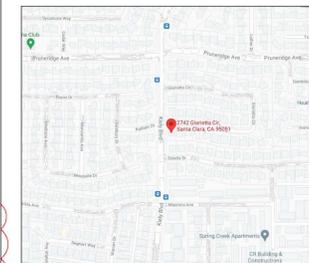
APPLICATION SUBMITTED FOR REVIEW.

4. The 40% maximum building coverage is based on all building/structure square footage, including attached and detached accessory buildings/structures. The total existing and proposed building area is 3,271 square feet divided by the lot size (7,930 square feet) = 41.25%, which exceeds the allowable building coverage. Reduce the size of the addition so that the maximum building coverage is not exceeded.

REVISED THE CALCULATIONS TO INCLUDE THE FRONT PORCH. IN ORDER TO REACH 40% SITE COVERAGE, THE FLOOR PLAN SQUARE FOOTAGE WAS REDUCED. SOUTH WALL @ LIVING ROOM AND MASTER BEDROOM WAS PUSHED BACK

PLEASE SEE NEW CALCULATION IN ADJACENT TABLE - PROJECT DATA. ALSO PLEASE REFER TO SHEET A 2.0 FOR GRAPHIC REPRESENTATION.

### Location Map:



### Scope of Work

EXISTING SINGLE FAMILY HOUSE REMODEL AND ADDITION WHICH INCLUDES THE FOLLOWING:

- ADD 1100 SQFT, INCLUDING A MASTER BATH, TWO OFFICES, AND GREAT ROOM
- RELOCATE KITCHEN
- NEW ROOF
- NEW WINDOWS THROUGHOUT

### Regulations Per City Zoning Code

PER CITY ZONING CODE CHAPTER 18.10 REGULATIONS FOR R1-4L - SINGLE-FAMILY, LARGER LOT AREA ZONING DISTRICTS

**18.10.070 BUILDING HEIGHT LIMITATIONS.**  
REQUIRED: 25' MAX.  
PROVIDE: 17'8"

**18.10.080 FRONT YARD.**  
REQUIRED: 20'  
REQUIRED: MIN. 35% LANDSCAPED AREA  
PROVIDE: 35% LANDSCAPED AREA

**18.10.090 SIDE YARD.**  
REQUIRED: 19' AT STREET SIDE (CORNER LOT REQUIREMENT) AND 8' FOR OTHER SIDE  
PROVIDED: 5' AT STREET SIDE (CORNER LOT REQUIREMENT) AND 8' FOR OTHER SIDE

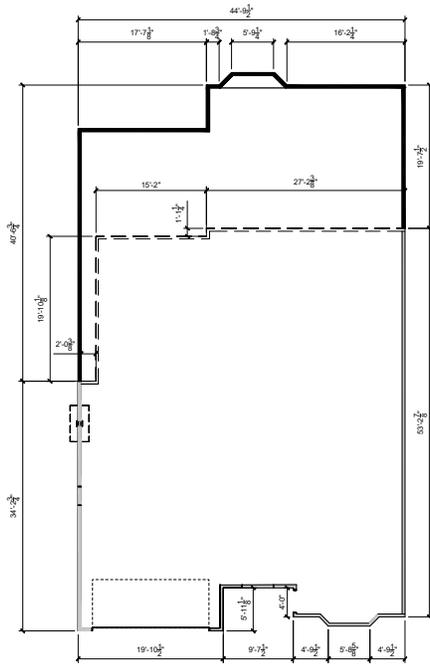
**18.10.100 REAR YARD.**  
REQUIRED: 20'  
PROVIDE: 20'

**18.10.110 MAXIMUM BUILDING COVERAGE.**  
REQUIRED: BUILDINGS, INCLUDING ACCESSORY BUILDINGS, SHALL NOT COVER A TOTAL OF MORE THAN FORTY PERCENT (40%) OF THE AREA OF ANY LOT.  
PROVIDE: 39%

**18.10.120 MAXIMUM PARKING REQUIREMENTS.**  
REQUIRED: 2 COVERED SPACES  
PROVIDE: 2 COVERED SPACES

**18.10.130 FENCING.**  
REQUIRED: 6' HIGH  
PROVIDE: 6' HIGH



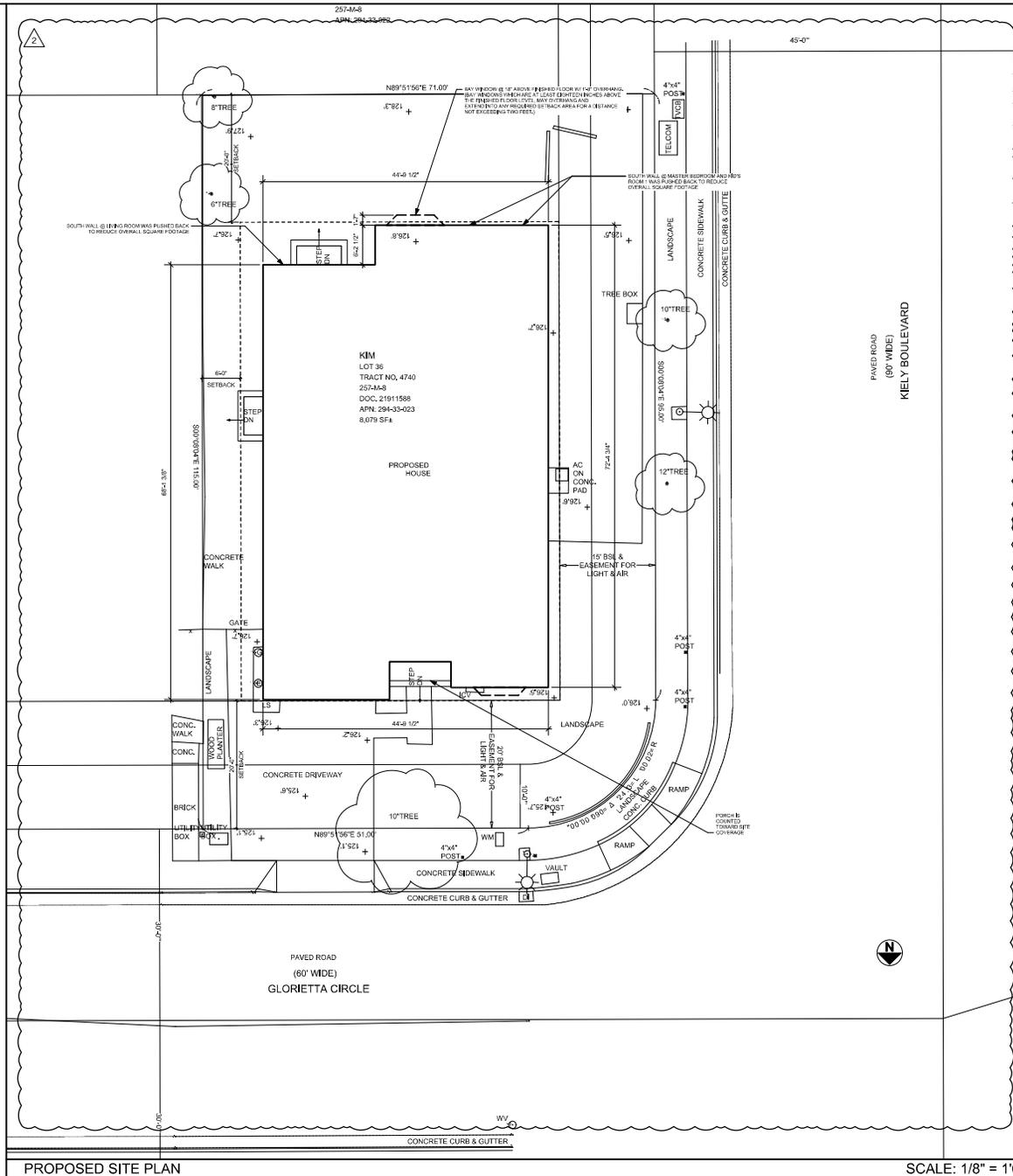


TOTAL EXISTING EXTERIOR WALL = 208'-5" LIN. FT.  
 EXTERIOR WALLS TO BE DEMOLISHED = 65'-2" LIN. FT.  
 EXTERIOR WALLS TO BE ADDED = 91'-6" LIN. FT.  
 TOTAL EXTERIOR WALL AFTER COMPLETION = 234'-9" LIN. FT.

PERCENTAGE TO BE DEMOLISHED = 31.28%

**NEW vs. EXISTING EXTERIOR LINEAR WALL CALC.'S**

$\frac{1}{8}'' = 1'-0''$



PROPOSED SITE PLAN

SCALE: 1/8" = 10"

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**BRIDGFORD CONSTRUCTION**  
 2380 S. BASCOM AVE. STE 100  
 CAMPBELL, CA 95008

**KIM/ WU RESIDENCE**  
 2742 GLORIETTA CIRCLE  
 SANTA CLARA, CA 95051

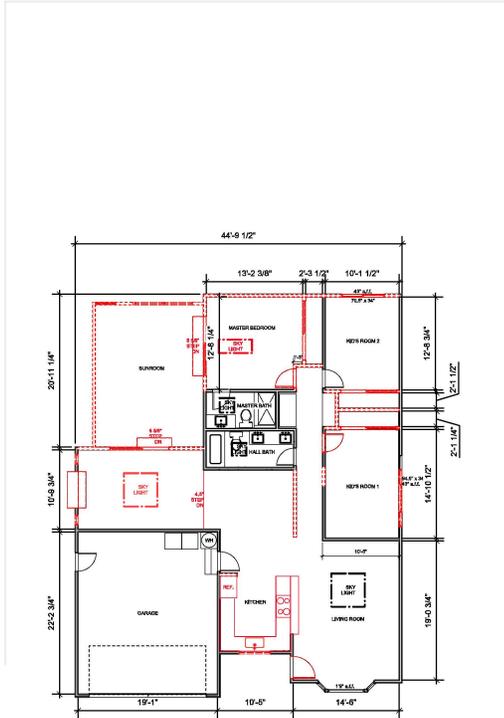
**PROPOSED SITE PLAN**

SCALE: See Drawing

DATE: 06/23/21

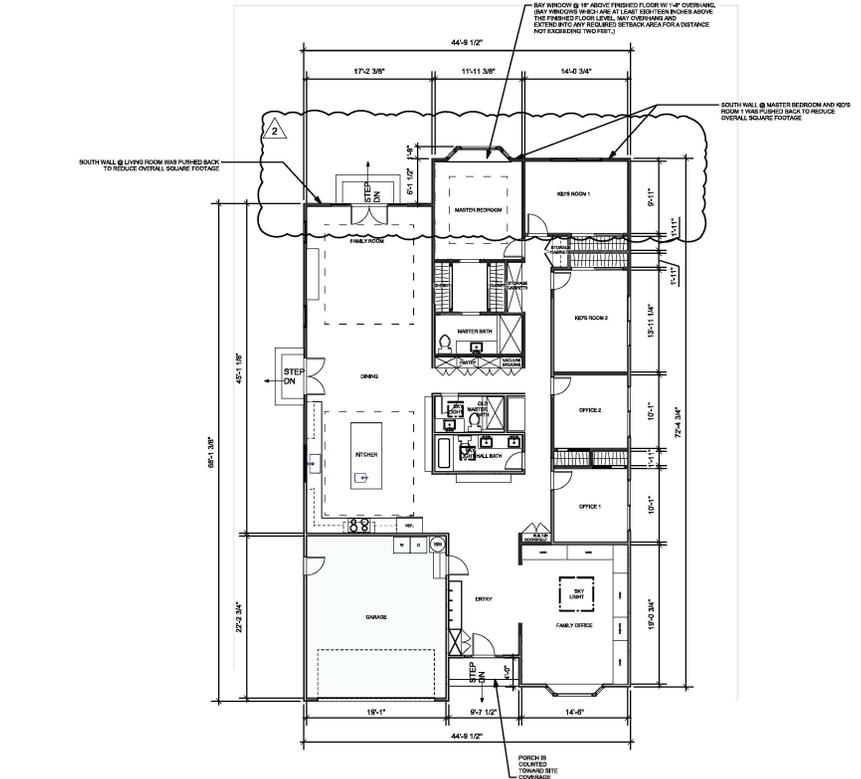
SHEET:

**A 1.1**



EXISTING/ DEMO PLAN

SCALE: 1/8" = 1'0"



PROPOSED PLAN



DEMO WALL	
EXISTING WALL	
NEW WALL	
FIRE-RATED WALL BETWEEN GARAGE AND HABITABLE SPACE	

SCALE: 1/8" = 1'0"

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 SANTA CLARA, CA 95051

**DEMO/ PROPOSED PLAN**

SCALE: See Drawing

DATE: 06/23/21

SHEET:

**A 2.0**

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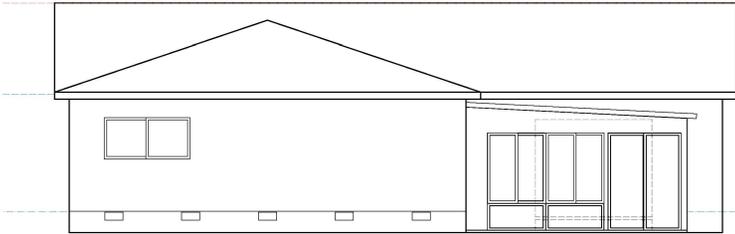
**EXISTING  
EXTERIOR  
ELEVATIONS**

SCALE: See Drawing

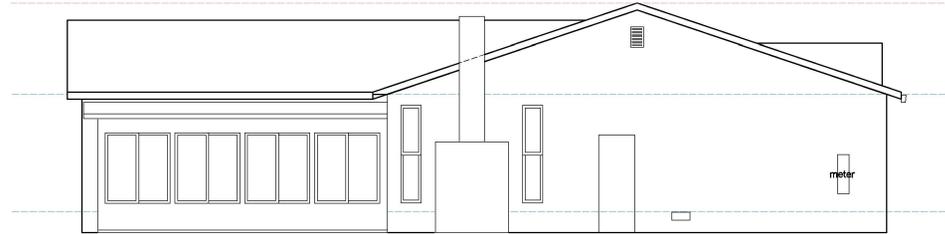
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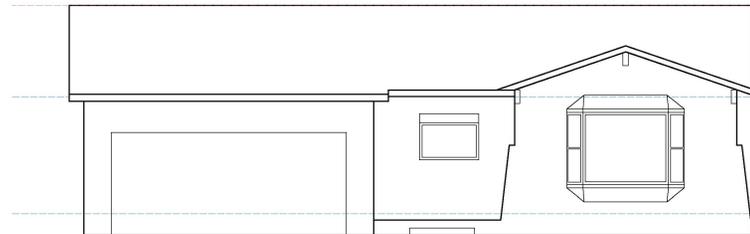
**A 3.0**



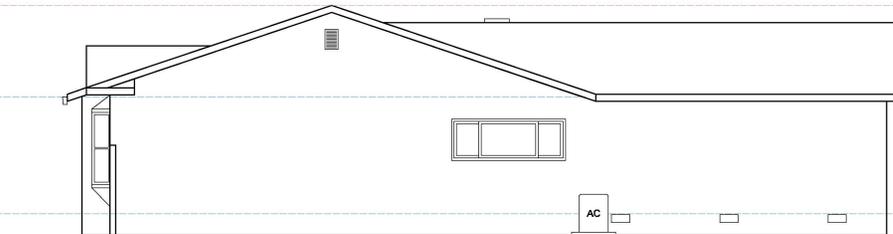
1 NORTH (EXISTING)  
Scale: 1/4" = 1'-0"



2 EAST (EXISTING)  
Scale: 1/4" = 1'-0"



3 SOUTH (EXISTING)  
Scale: 1/4" = 1'-0"



4 WEST (EXISTING)  
Scale: 1/4" = 1'-0"

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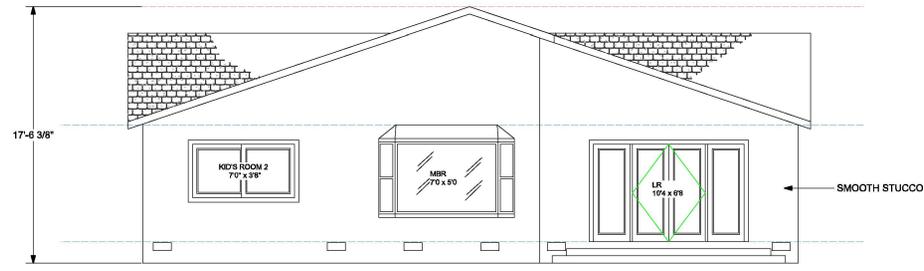
**PROPOSED  
EXTERIOR  
ELEVATIONS**

SCALE: See Drawing

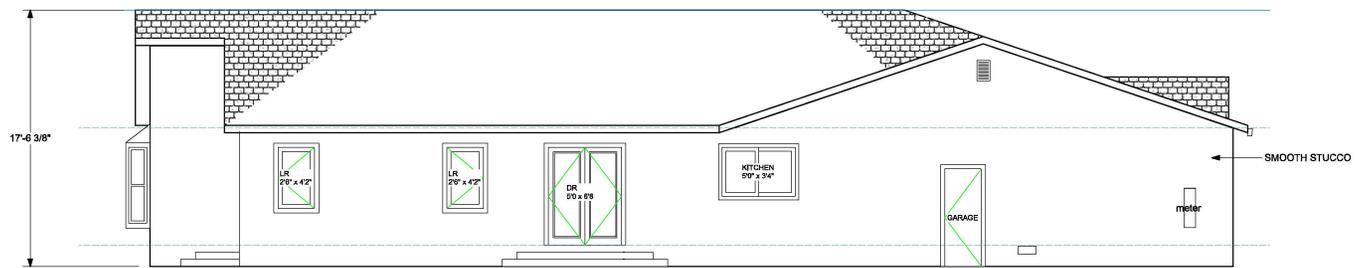
DATE: 06/23/21

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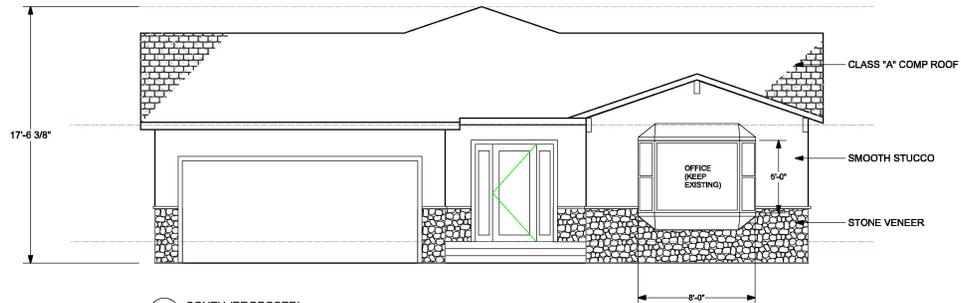
**A 3.1**



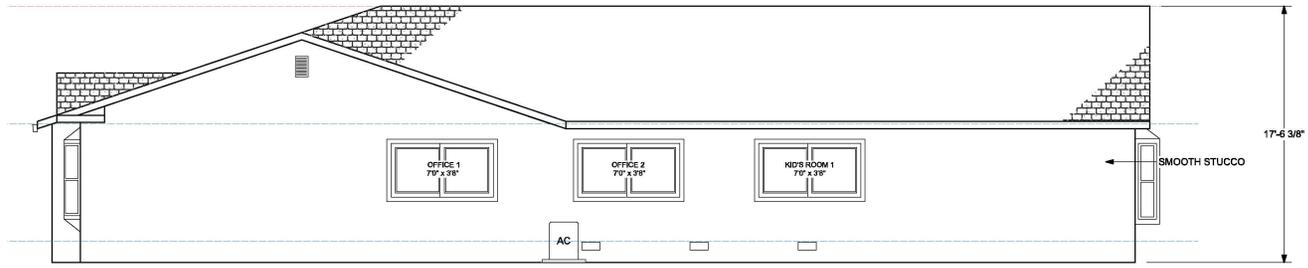
5 NORTH (PROPOSED)  
Scale: 1/4" = 1'-0"



6 EAST (PROPOSED)  
Scale: 1/4" = 1'-0"



7 SOUTH (PROPOSED)  
Scale: 1/4" = 1'-0"



8 WEST (PROPOSED)  
Scale: 1/4" = 1'-0"

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**BRIDGFORD**  
CONSTRUCTION  
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**KIM/ WU RESIDENCE**  
2742 GLORIETTA CIRCLE  
SANTA CLARA, CA 95051

**PROPOSED  
EXTERIOR  
ELEVATIONS**

SCALE: See Drawing

DATE: 06/23/21

SHEET:

**A 3.2**

## Project Table

<b>Lot Size: 7,930 sq. ft.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq. ft.)</b>
<b>First Floor</b>	1,567	1,110	2,677
<b>Garage</b>	457		457
<b>Porch</b>	38	-	38
<b>Shed</b>	-	-	-
<b>Gross Floor Area</b>	2,062		3,172
<b>Lot Coverage</b>	$2,062/7,930 = 26\%$	-	$3,172/7,930 = 40\%$
<b>F.A.R.</b>	$2,062/7,930 = .26$		$3,172/7,930 = .40$
<b>Bedrooms/Baths</b>	3 Bedrooms 2 Bathrooms	2 Bedrooms 1 Bathrooms	5 Bedrooms 3 Bathrooms
<b>Flood Zone</b>	X		X



Agenda Report

21-1608

Agenda Date: 12/1/2021

**REPORT TO DEVELOPMENT REVIEW HEARING**

**SUBJECT**

Action on the 633 square-foot first floor addition and 550 square-foot second floor addition to a one-story single-family residence at 4739 Snead Drive

**File No.(s):** PLN21-15079

**Location:** 4739 Snead Drive, a 7,600 square feet lot on the southeast corner of Snead Drive and Hogan Drive; APN: 097-17-111; property is zoned Single-family Residential (R1-6L).

**Applicant:** Ricky Luo

**Owner:** Niranjon Kumar

**Request:** Architectural Review of a 633 square foot first floor addition, a 550 square foot second floor addition, a 500 square foot JADU conversion, and a new 1,150 square foot second story ADU to an existing 1,170 square foot 4 bedroom 2 bathroom one-story residence resulting in a 2,353 square foot 6 bedroom 5 bathroom two-story residence with a new 600 square foot attached garage.

**Project Data- see Attachment 2 for full-sized table**

Lot Size: 7,600 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor (sq.ft.)
First Floor	1,170	633	1,803
Second Floor	n/a	550	550
JADU (First Floor)	n/a	500	500
ADU (Second Floor)	n/a	1,150	1,150
Garage	360	-360/+600	600
Gross Floor Area	1,530		4,003
Lot Coverage	1,530/7,600=20%		2,403/7,600 = 32%
F.A.R.	1,530/7,600=0.2		2,953/7,600 = 0.39
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor	n/a		550/2,403=23%
Bedrooms/Baths	4/2		6/5
JADU Bedrooms/Baths	n/a		1/1
ADU Bedrooms/Baths	n/a		2/1
Flood Zone	X		X

Points for consideration

- The project includes a 663 square foot first floor addition and a 550 square foot second floor addition resulting in a two-story single-family residence with 6 bedrooms and 5 bathrooms.
- The project includes a 500 square foot conversion into a 1 bedroom 1 bathroom Junior Accessory Dwelling Unit (JADU).
- The project includes a 1,150 square foot addition to the second floor for a 2 bedroom 1 bathroom Accessory Dwelling Unit (ADU).
- The proposed residence will consist of a mix in materials including stucco, brick, and wood siding with wood shingle roofing.
- The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The proposal provides the required two covered parking spaces within the new 600 square-foot garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The proposed new residence resulting in 6 bedrooms and 5 bathrooms would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences with Craftsman style architecture.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the*

*public welfare or injuries to property or improvements in said neighborhood, in that;*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*

- The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood as the proposed design of the subject property will have similar massing and height to the adjacent properties.

Conditions of Approval:

- 1) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard. Tree shall be planted prior to the final inspection by the Building division and verified by planning staff.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

**ENVIRONMENTAL REVIEW**

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

**FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

**PUBLIC CONTACT**

On November 19, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. No public comments have been

received yet.

**RECOMMENDATION**

**Approve** the 633 square-foot first floor addition, a 550 square-foot second floor addition, a 500 square-foot JADU conversion, and a new 1,150 square-foot second story ADU to an existing 1,170 square-foot 4-bedroom, 2-bathroom, one-story residence resulting in a 2,353 square-foot 6-bedroom, 5-bathroom, two-story residence with a new 600 square-foot attached garage for the property located at 4739 Snead Drive, subject to conditions.

Prepared by: Tiffany Vien, Assistant Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Development

**ATTACHMENTS**

1. Development Plan
2. Project Data

**GENERAL NOTES**

- The contractor shall furnish all materials, labor and equipment required for the full performance of the work herein, unless specifically noted otherwise. All work shall be performed in a good and workman-like manner and conform to all pertinent regulations and instructions.
- Before starting any portion of work, the Contractor shall verify any and all existing conditions as shown on the drawings against the actual existing conditions at the site. Any discrepancies shall be brought to the attention of the Designer. If the Contractor proceeds with the work without verifying existing conditions and discovers after the work has started any discrepancies, he shall proceed to perform whatever work is required to correct the discrepancies and bring about the proper execution of the project to the satisfaction of the Designer, at no extra cost to the owner.
- The Contractor shall be responsible for cutting, fitting and patching as required to make the several parts fit together properly.
- All work shall be in accordance with all applicable Local or State codes and regulations.
- All material, equipment and products shall be installed in accordance with the respective manufacturer's latest printed instructions.
- All dimensions are rough unless otherwise noted. All cabinetry, tile and the like need to be field verified prior to installation.
- Do not scale the drawings. All dimensional discrepancies shall be brought to the attention of the Designer as soon as they are discovered.
- No extra compensation shall be allowed for extra work resulting from lack of coordination between trades or failure of the Contractor to verify locations and measurements on the job.
- The Contractor is responsible for obtaining separate permits for electrical, mechanical, plumbing, grading, or other permits as may be required by the local authorities. Issuance of a building permit based on these Drawings does not constitute granting of these separate permits.
- The Contractor shall be responsible for coordinating with the Structural Engineer for any site visits or special testing as needed to complete all structural work as directed by the Structural Engineer.
- The Contractor shall be responsible for forwarding all shop drawings to the designer for review and approval. No fabrication shall commence until both designer and owner have reviewed and approved by signature all shop drawings.

**PROJECT INFORMATION**

**SINGLE FAMILY REMODEL**

**PROJECT ADDRESS:** 4739 Snead Drive, Santa Clara, CA  
**A.P.N:** 09717111  
**LOT AREA:** 76x100=7600 Sq. Ft.  
**ZONING:** R1-6L  
**YEAR BUILT:** 1960  
**STORIES:** 1  
**OCCUPANCY:** R-3/U  
**CONSTRUCTION TYPE:** V-B

**LOT AREA:** 7600 Sq. Ft.  
**BUILDING COVERAGE(EXISTING):** 1550 Sq. Ft.  
**BUILDING COVERAGE(PROPOSED):** 3040 Sq. Ft.  
**FLOOR AREA(EXISTING):** 1530 Sq. Ft. (INCLUDING GARAGE: Sq. Ft.)  
**FLOOR AREA(PROPOSED):** 4860 Sq. Ft. (INCLUDING GARAGE: Sq. Ft.)  
**ADDITION AREA:** 3330 Sq. Ft.  
**NEW GARAGE AREA :** 595 Sq. Ft.  
**EXISTING:** 1170 one story living space + 360 garage  
**PROPOSED:** First Floor: 1803 Main house + 500 JADU + 600 GARAGE  
 Second Floor: 550 Main house + 1150 ADU

**PROJECT DIRECTORY**

**OWNER**  
 Niranjan Kumar  
 10665 CORDOVA DR,  
 CUPERTINO, CA 95014  
 EMAIL: teammetricinc@gmail.com

**DESIGNER**  
 TEAM METRIC INC.  
 1141 RINGWOOD CT STE 110,  
 SAN JOSE, CA 95131  
 TEL (412) 680 3449  
 EMAIL: teammetricinc@gmail.com

**BUILDER**

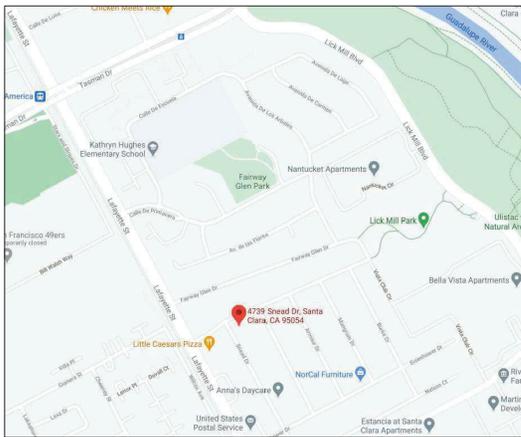
**SCOPE OF WORK**

- ADDITIONAL AREA AT NORTH SIDES OF EXISTING RESIDENTIAL, CONSTRUCT A SECOND FLOOR.
- CHANGED FLOOR&ROOF PLAN AND ADD TWO MORE BEDROOM AND BATH FOR MAIN HOUSE.
- CONVERT SOME AREA IN TO JADU ON FIRST FLOOR WITH A KITCHEN, DINING,LIVING, BATH , LAUNDRY AND BEDROOM
- CONVERT SOME AREA IN TO ADU ON SECOND FLOOR WITH A KITCHEN, DINING,LIVING,BATH,LAUNDRY, BATH AND TWO BEDROOM
- REMOVE THE EXISTING SUN ROOM AND GARAGE, CONSTRUCT A NEW ONE CAR GARAGE AND ANOTHER TWO CAR GARAGE
- PROVIDE PLUMBING FOR NEW EQUIPMENT.
- PROVIDE ELECTRICAL FOR NEW EQUIPMENT.
- PROVIDE HVAC TO ADDITIONAL AREA.
- NEW LIGHTING WHERE OCCURS.
- NEW WINDOWS AND DOORS.

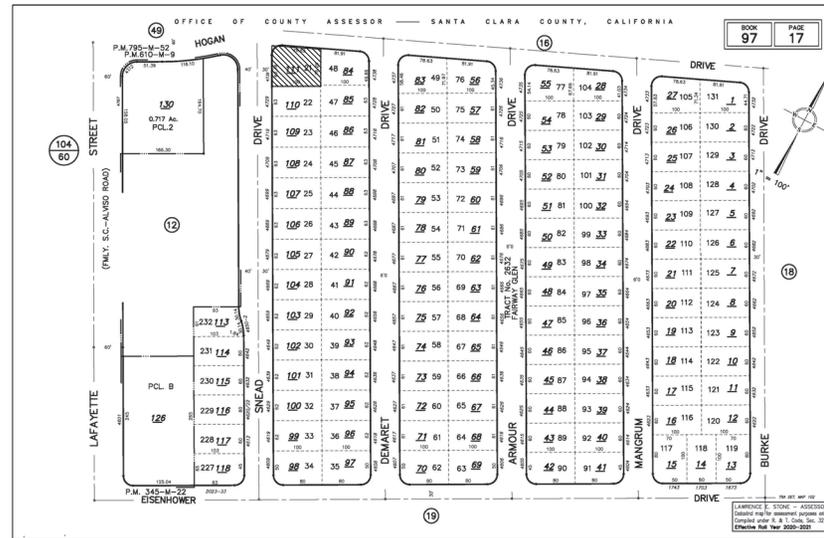
**SHEET INDEX**

- A1 COVER SHEET/AREA MAP/ PLOT LOCATION MAP
- A2 EXISTING SITE PLAN
- A3 PROPOSED SITE PLAN
- A4 EXISTING FLOOR+DEMO PLAN
- A5 PROPOSED FLOOR PLAN
- A6 EXISTING ELEVATIONS
- A7 PROPOSED ELEVATIONS
- A8 3D RENDERING SHOT
- A9 EXISTING SECTIONS
- A10 PROPOSED SECTION
- A11 PROPOSED ROOF PLAN

**PLANS**



**1 VICINITY MAP**  
 A0.1 NIS



**2 LOT LOCATION**  
 A0.1 1"=100'

**LEGEND**  
 PROJECT LOCATION



**TEAM METRIC INC.**

1141 RINGWOOD CT STE 110,  
 SAN JOSE, CA 95131

TEL (412) 680 3449  
 EMAIL: teammetricinc@gmail.com

**SINGLE FAMILY REMODEL**

4739 SNEAD DRIVE,  
 SANTA CLARA, CA 95054

JOB NUMBER: TM1021721  
 DATE: 05/28/2021  
 SCALE: AS SHOWN IN DRAWINGS  
 SHEET TITLE: COVER SHEET/AREA MAP/ PLOT LOCATION MAP  
 SHEET NUMBER: A1

DRAWN BY: R L  
 CHECKED BY: Y L

**A1**























**4739 Snead Drive Project Data**

<b>Lot Size: 7,600 sq. ft.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>First Floor</b>	1,170	633	1,803
<b>Second Floor</b>	n/a	550	550
<b>JADU (First Floor)</b>	n/a	500	500
<b>ADU (Second Floor)</b>	n/a	1,150	1,150
<b>Garage</b>	360	-360/+600	600
<b>Gross Floor Area</b>	1,530		4,003
<b>Lot Coverage</b>	$1,530/7,600=20\%$		$2,403/7,600 = 32\%$
<b>F.A.R.</b>	$1,530/7,600=0.20$		$2,953/7,600 = 0.39$
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	n/a		$550/2,403=23\%$
<b>Bedrooms/Baths</b>	4/2		6/5
<b>JADU Bedrooms/Baths</b>	n/a		1/1
<b>ADU Bedrooms/Baths</b>	n/a		2/1
<b>Flood Zone</b>	X		X



Agenda Report

21-1609

Agenda Date: 12/1/2021

**REPORT TO DEVELOPMENT REVIEW HEARING**

**SUBJECT**

Action on the demolition of an existing 1,680 square-foot one-story residence and the new construction of a 2,563 square-foot two-story single-family residence at 73 Jenkins Place

**File No.(s):** PLN21-15224

**Location:** 73 Jenkins Place, a 5,914 square feet lot on the northeast corner of Jenkins Place and McKinley Drive; APN: 296-36-033; property is zoned Single-family Residential (R1-6L).

**Applicant:** Kyle Chan

**Owner:** Mo Bai

**Request:** Architectural Review of the demolition of the existing 1,680 square foot one-story residence and the new construction of a 2,563 square foot 5 bedroom 4 bathroom two-story single family residence with a new 445 square foot attached two-car garage.

**Project Data- see Attachment 2 for full-sized table**

Lot Size: 5,914 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor (sq.ft.)
First Floor	1,680	-1,680/+1,716	1,716
Second Floor	n/a	847	847
Garage	325	-325/+445	445
Porch	n/a	44	44
Gross Floor Area	2,005		3,052
Lot Coverage	2,005/5,914= 34		2,205/5,914 = 37
F.A.R.	2,005/5,914 = 0.		3,052/5,914 = 0.
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor	n/a		847/2,161=39%
Bedrooms/Baths	3/2		5/4
Flood Zone	X		X

**Points for consideration**

- The project includes the demolition of an existing 1,680 square foot one-story residence and the new construction of a 2,563 square foot 5 bedroom 4 bathroom two-story single family residence.

- The proposed residence will consist of a mix of materials including stone, veneer panel, and cement plaster siding with asphalt shingle roofing.
- The proposed project includes a 6'9" x 9'0" balcony on the front of the second story floor facing the street.
- The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

### **Findings supporting the Staff Recommendation**

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The proposal provides the required two covered parking spaces within an new 445 square-foot garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The proposed new residence resulting in 5 bedrooms and 4 bathrooms would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences with Craftsman style architecture.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the*

*set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*

- The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood as the proposed design of the subject property will have similar massing and height to the adjacent properties.

Conditions of Approval:

- 1) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard. Tree shall be planted prior to the final inspection by the Building division and verified by planning staff.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

**ENVIRONMENTAL REVIEW**

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

**FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

**PUBLIC CONTACT**

On November 18, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. No public comments have been received yet.

**RECOMMENDATION**

**Approve** the demolition of the existing 1,680 square-foot one-story residence and the new construction of a 2,563 square-foot 5-bedroom, 4-bathroom, two-story single family residence with a new 445 square-foot attached two-car garage for the property located at 73 Jenkins Place, subject to

conditions.

Prepared by: Tiffany Vien, Assistant Planner, Community Development

Approved by: Gloria Sciara, Development Review Officer, Community Development

**ATTACHMENTS**

1. Development Plan
2. Project Data



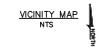


**GENERAL NOTES**

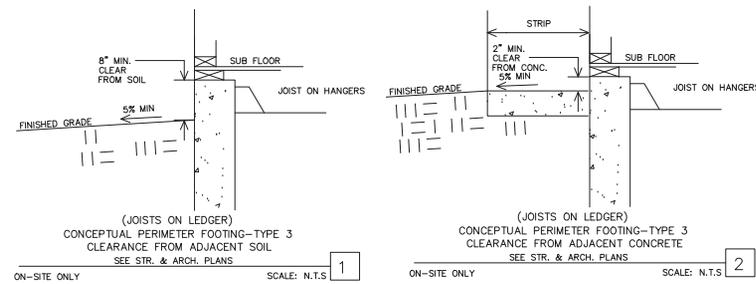
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENTS OF THE CITY OF SANTA CLARA.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800/642-2444.
- EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL FORTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATION FOR NEW FACILITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ALL STREET MONUMENTS, LOT CORNER PIPES, AND GRADE STAKES DISTURBED DURING THE PROCESS OF CONSTRUCTION AT THE REGULAR ENGINEER'S FEE.
- PROVIDE CONCRETE PROTECTION BETWEEN UNDERGROUND PIPE CROSSINGS WITH 12" OR LESS VERTICAL CLEARANCE.
- ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PROJECT SITE AND FROM PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- GRADE BREAKS ON CURBS AND SIDEWALKS ARE TO BE ROUNDED OFF ON FORM WORK AND FINISHED SURFACING.
- CONTRACTOR SHALL PERFORM HIS CONSTRUCTION AND OPERATION IN MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE SAN MATEO COUNTYWIDE STORM WATER POLLUTION PREVENTION PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED, EXCEPT AT LOCATION(S) APPROVED BY THE CITY TRAFFIC ENGINEER.

**GRADING NOTES**

- DATE OF SURVEY: AUGUST, 2021
- FINISHED GRADES ALONG THE PERIMETER OF THE FOUNDATION TO BE SLOPED AT A MINIMUM OF 5% FOR FIRST 5 FEET.
- ALL CONCRETE SHALL BE CLASS "A" CONFORMING TO SECTION 90 OF CALTRANS SPECIFICATIONS AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS PER CALIFORNIA TEST METHOD NO. 521
- ON-SITE UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL. THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED EIGHT (8) INCHES IN UNCOMPACTED THICKNESS AND SHALL BE MECHANICALLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- LOCATION OF TREES SHOWN HEREON ARE TAKEN AT A POINT THAT THE TREE ENTERS THE GROUND. SIZES OF TREES SHOWN HEREON ARE TAKEN AT DBH (DIAMETER AT BREAST HEIGHT)
- LOCATION OF METERS ARE AS NOTED. COORDINATE ALL SUCH WORK WITH THE UTILITY COMPANY HAVING JURISDICTION.
- CONTRACTOR SHALL BARRICADE AND PROTECT ALL EXISTING SITE FEATURES INCLUDING TREES, FENCES, GATES, UTILITIES, ETC.
- ALL ON-SITE STORM DRAINAGE AND SANITARY SEWER PIPE TO BE PVC SCHEDULE 40.

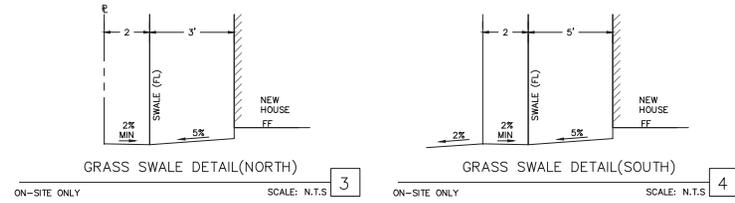


EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	CENTER LINE
---	---	FENCE LINE
---	G	GAS LINE
---	W	WATER LINE
---	SS	SANITARY SEWER LINE
---	SD	STORM DRAIN, PVC SCH. 40
□		UTILITY BOX-AS NOTED
○		SPOT ELEVATION
○		FINISH GRADE
○		CLEAN OUT TO GRADE
○		CONCRETE
○		DOWNSPOUT WITH SPLASH BLOCK



**UNDERGROUND UTILITY NOTES**

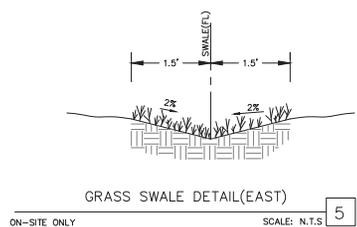
- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.



**BENCHMARK "TBM"**  
 THE RELATIVE ELEVATIONS SHOWN HEREON ARE BASED ON GPS NAVD 88 DATUM. THE TOP OF CURB CATCH BASIN ADJACENT THE SE CORNER WAS USED FOR THE SITE "TBM" ELEVATION = 141.72 (ASSUMED)

**BASIS OF BEARINGS**  
 CENTERLINE OF MCKINLEY DRIVE PER TRACT 1289 BOOK 51 MAPS, PAGE 7 SANTA CLARA COUNTY RECORDS

**LOT AREA**  
 5914 SQ. FT. ±



**ABBREVIATIONS**

AB	AGGREGATE BASE	MH	MAN HOLE
AC	ASPHALT CONCRETE	MON	MONUMENT
APN	ASSESSOR'S PARCEL NUMBER	N	NEW
BLD	BUILDING	NHW	OVERHEAD WIRE
CB	CATCH BASIN	PL	PROPERTY LINE
CD	CLEAN OUT	PM	PARCEL MAP
CONC	CONCRETE	P.U.E.	PUBLIC UTILITY EASEMENT
CP	CONTROL POINT	PMT	PAVEMENT
DS	DOWN SPOUT	RD	ROOF DRAIN
DWY	DRIVEWAY	RM	TOP OF GRATE
EX	EXISTING	SD	STORM DRAIN
EM	ELECTRICAL METER	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SS	SANITARY SEWER
FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEANOUT
FG	FINISH GRADE	S/W	SIDEWALK
FH	FIRE HYDRANT	TBM	TEMPORARY BENCH MARK
FS	FINISH SURFACE	VG	VALLEY GUTTER
GM	GAS METER	W	WATER
INV	PIPE INVERT	WDF	WOOD FENCE
JP	JOINT POLE	WM	WATER METER
		WV	WATER VALVE

**SHEET INDEX**

- C1 NOTES & DETAILS
- C2 GRADING & DRAINAGE PLAN
- C3 EROSION CONTROL PLAN
- C4 EROSION CONTROL NOTES AND DETAILS



**BAY LAND CONSULTING**  
 LAND SURVEYORS/CIVIL ENGINEERS  
 PO BOX 299  
 Santa Clara, California 95052  
 Ph: (408) 296-6000 FAX: (408) 404-5579  
 SERVING THE BAY AREA



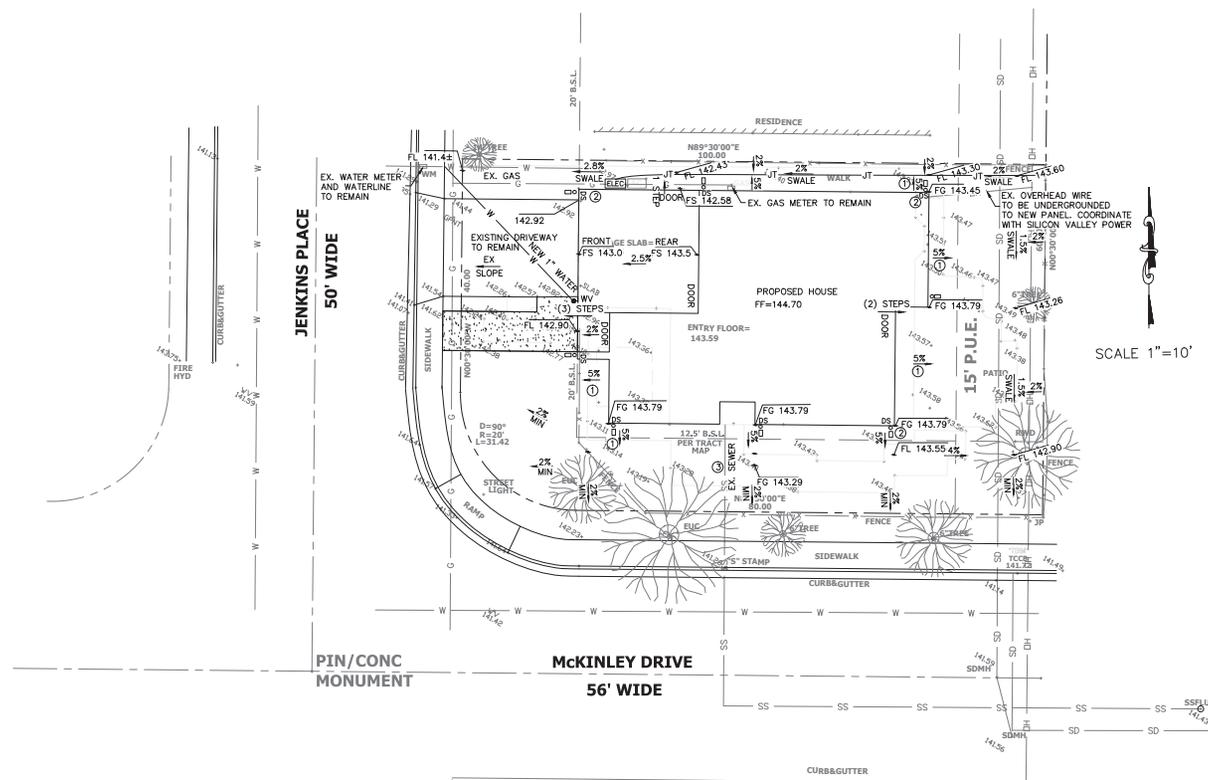
**GRADING AND DRAINAGE DETAILS**  
 73 JENKINS PL  
 APN 296-36-033  
 SANTA CLARA, CA 95051

**REVISIONS**

DATE	DESCRIPTION

JOB NO. 21073  
 SCALE: AS SHOWN  
 DRAWN BY: YC  
 CHECKED BY: SH  
 DATE: 09/13/21

SHEET  
**C1**  
 OF 4 SHEETS



- NOTATIONS
- 1 SLOPE GRAD AWAY FROM FOUNDATION @ 5% MIN ON SOIL AND @ 2% MIN ON CONCRETE FOR FIRST 5 FEET.
  - 2 INSTALL SPLASH BLOCKS AT ALL DOWNSPOUTS WHICH DO NOT DISCHARGE TO HARDSCAPE OR ARE NOT CONNECTED TO THE DRAINAGE SYSTEM.
  - 3 SEWER SERVICE  
NEW 4" PVC SCH 40 (SDR 35 OR BETTER) SEWER LATERAL @ 2%MIN.  
EXISTING LATERAL CLEAN OUT NOT FOUND AT TIME OF SURVEY. CONTRACTOR TO LOCATE EXISTING LATERAL AND CLEAN-OUT AND EXTEND LATERAL FROM PROPERTY LINE TO HOUSE PER CITY OF SANTA CLARA SEWER DISTRICT REQUIREMENTS AND DETAILS. INSTALL NEW CLEAN-OUT AT PROPERTY LINE PER CITY OF SANTA CLARA DISTRICT REQUIREMENTS.
  - 4 ALL SERVICES TO BE UNDERGROUND INCLUDING ELECTRIC, CABLE AND TELEPHONE. CONTACT SILICON VALLEY POWER FOR ELECTRIC SERVICES. CONTACT PG&E FOR GAS SERVICES.

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GRADING AND DRAINAGE  
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 73 JENKINS PL  
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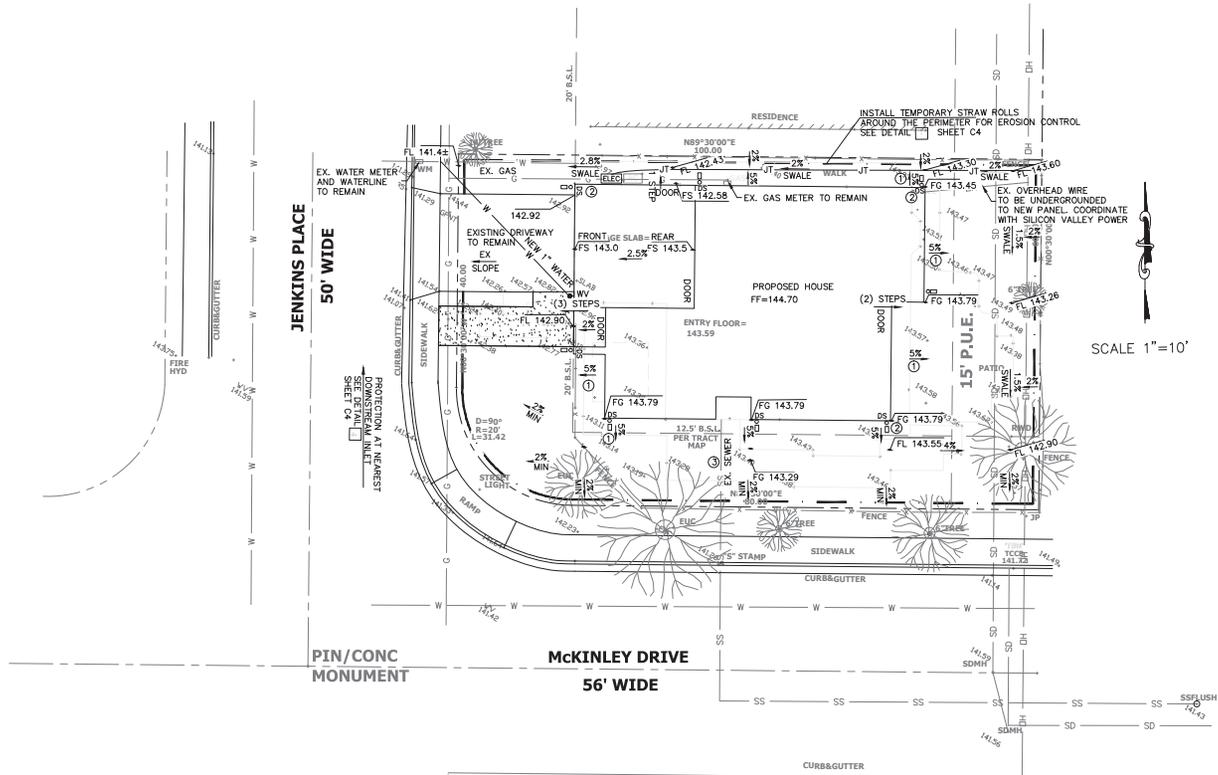
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SHEET  
 C2  
 OF 4 SHEETS





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GRADING AND DRAINAGE  
 EROSION CONTROL PLAN  
 73 JENKINS PL  
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SHEET  
 C3  
 OF 4 SHEETS

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

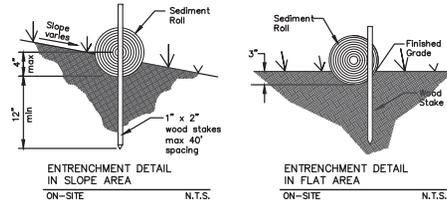
- Contractor/Owner: It shall be the owner's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the soil erosion control measures.
- Civil Engineer: Bay Land Consulting, 2005 De La Cruz Blvd. Ste 230, Santa Clara, CA Ph: 408-296-6000.
- Construction Superintendent: \_\_\_\_\_ Contractor: \_\_\_\_\_
- Owner/contractor shall be responsible for monitoring erosion and sediment control measures prior, during, and after storm events.
- Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediate remedy shall occur.
- Sanitary facilities shall be maintained on the site.
- During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage system, including existing drainage swales and water courses.
- Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
- Contractor shall provide dust control as required by the appropriate federal, state and local agency requirements.

**EROSION AND SEDIMENT CONTROL MEASURES**

- The facilities shown on this plan are designed to control erosion and sediment during the rainy season, October 15 to April 15. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes. During the non-rainy season Best Management Practices (BMPs) must be implemented during construction which includes, but is not limited to: stabilized construction entrance, the wash area and inlet protection.
- Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrance ways. (Also include this note on grading plans.)
- Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the City.
- If hydroseeding is not used or is not effective by 10/10, then other immediate methods shall be implemented, such as Erosion control Blankets, or a three-step application of 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
- Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
- Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
- This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the City Representative of any field changes.

**Maintenance Notes**

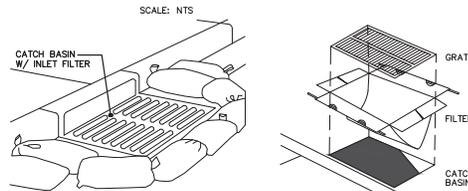
- Maintenance is to be performed as follows:
  - Repair damages caused by soil erosion or construction at the end of each working day.
  - Swales shall be inspected periodically and maintained as needed.
  - Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
  - Sediment shall be removed and sediment trap restored to its original dimensions when sediment has accumulated to a depth of 1 foot.
  - Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
  - Rills and gullies must be repaired.
- Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.



**NOTES:**  
 FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION. IN GENERAL, THESE WILL BE AS FOLLO:  
 1. FINE GRADE THE SUBGRADE BY HAND DRESSING WHERE NECESSARY TO REMOVE LOCAL DEVIATIONS AND TO REMOVE LARGER STONES OR DEBRIS THAT WILL INHIBIT INTIMATE CONTACT OF THE FIBER ROLL WITH THE SUBGRADE.  
 2. PRIOR TO ROLL INSTALLATION, CONTOUR A CONCAVE KEY TRENCH 2 TO 4 INCHES DEEP ALONG THE PROPOSED INSTALLATION ROUTE.  
 3. SOIL EXCAVATION IN TRENCHING SHOULD BE PLACED ON THE UPHILL OR FLOW SIDE OF THE ROLL TO PREVENT WATER FROM UNDERCUTTING THE ROLL.  
 4. PLACE FIBER ROLLS INTO THE KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL WITHIN 6 FEET OF EACH END AND THEN 3-5 FEET WITH 1"x2" STAKES OR AS SUGGESTED BY MANUFACTURER.  
 5. STAKES ARE TYPICAL DRIVEN IN ON ALTERNATING SIDES OF THE ROLL. WHEN MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE ABUTTED SECURELY TO ONE ANOTHER TO PROVIDE A TIGHT JOINT, NOT OVERLAPPED.  
 6. ON SLOPES PLACE ROLL TO FOLLOW CONTOUR AS CLOSELY AS POSSIBLE. CURVE ENDS UPHILL AT THE ENDS.  
 7. REPAIR OR REPLACE SPILT, TORN, UNRAVELING OR SLUMPING FIBER ROLLS.  
 8. INSPECT FIBER ROLLS WHEN RAIN IS FORECAST, FOLLOWING RAIN EVENTS AND AT LEAST DAILY DURING PROLONGED RAINFALL. PERFORM REQUIRED MAINTENANCE.

FIBER ROLLS

1



**NOTES:**  
 BRING THE DISTURBED AREA TO THE GRADE OF THE DROP INLET AND SMOOTH AND COMPACT IT. APPROXIMATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

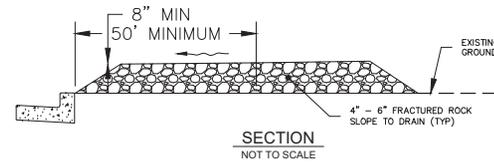
**PROPERLY DISPOSE OF ACCUMULATED SEDIMENT**  
 INSPECT ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS, AND WEEKLY THROUGHOUT THE RAIN SEASON. DURING EXTENDED RAINFALL EVENTS, INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY 24 HOURS.  
 REMOVE ALL INLET PROTECTION DEVICES WITHIN THIRTY DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTIONS IS NO LONGER REQUIRED.

CATCH BASIN INLET FILTER

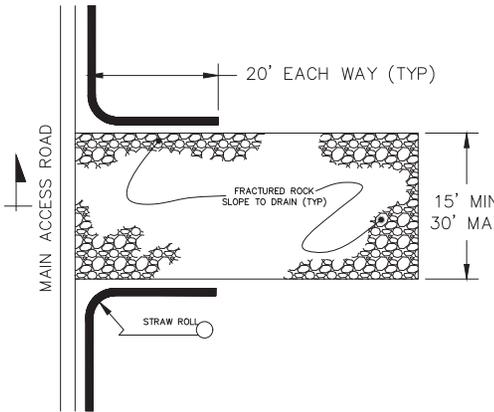
**INSTALLATION**  
 REMOVE DRAIN GRATE  
 INSERT CATCH BASIN FILTER INTO BASIN LEAVING 3" FLAP EXPOSED  
 REPLACE GRATE TO BASIN THEREBY PINCHING FABRIC BETWEEN GRATE AND CATCH BASIN AND HOLDING FILTER IN PLACE.  
**INSPECTION AND MAINTENANCE**  
 INSPECT CATCH-BASIN FILTERS WEEKLY AND AFTER EVERY RAIN EVENT  
 EMPTY CATCH BASIN FILTERS WHEN FILTERS APPEAR TO BE HALF FULL  
 DISPOSE OF TRAPPED SEDIMENT IN ACCORDANCE WITH LOCAL REQUIREMENTS  
 CLEAN AND REUSE INLET FILTERS OR DISCARD AND REPLACE AS NECESSARY

STORM DRAIN INLET PROTECTION (PUBLIC STREET)

4



SECTION NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE

3



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**GRADING AND DRAINAGE  
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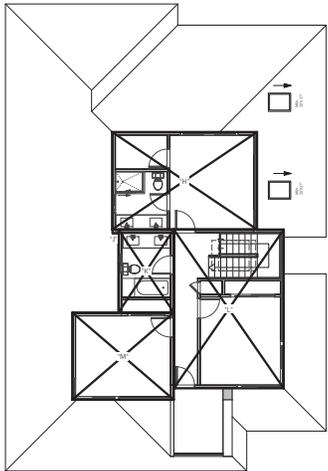
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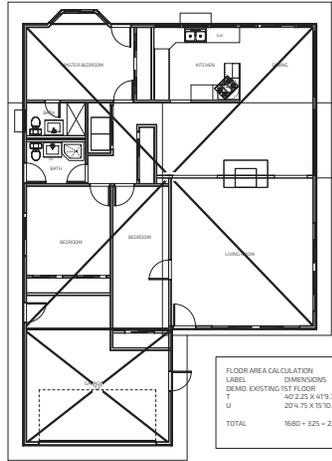
SHEET

C4

OF 4 SHEETS

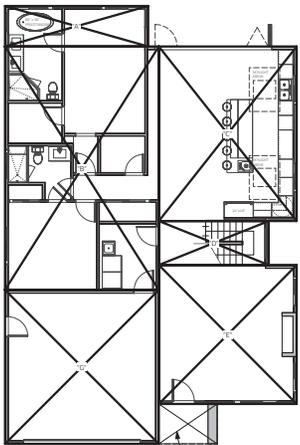


2ND FLOOR RISER/DIGGER PLAN



FLOOR AREA CALCULATION LABEL	DIMENSIONS	AREA
DEMO. EXISTING 1ST FLOOR	40'2.25" X 41'9"77"	1,680 SF
U	20'4.75" X 10'10"	325 SF
TOTAL	1680 + 325 = 2,005 SF	

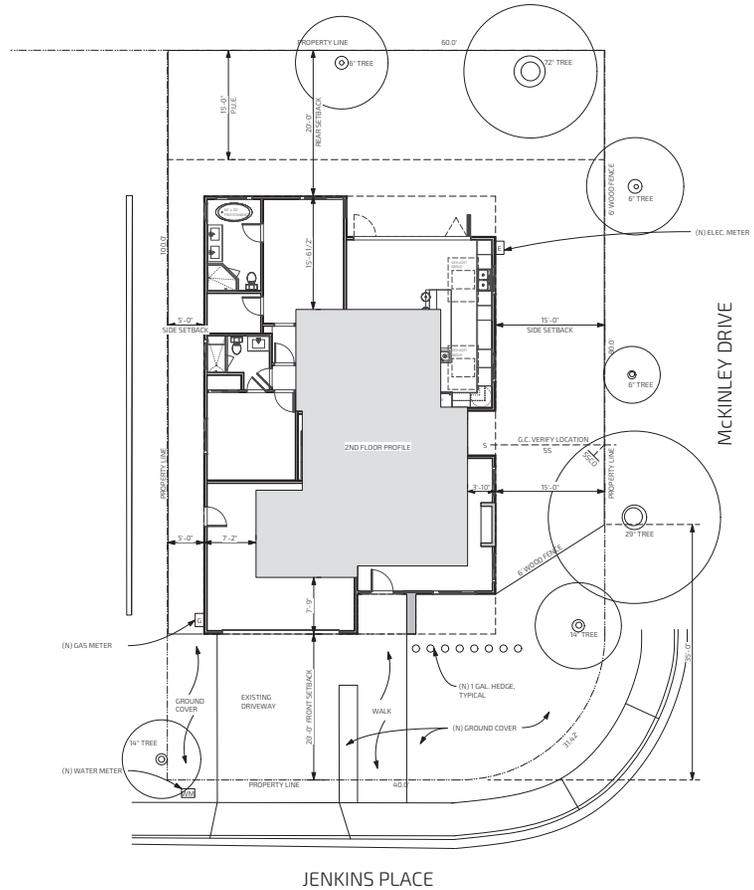
AREA CALCULATION (DEMO. EXISTING HOUSE) SCALE 1/8" = 1'-0" 4



2ND FLOOR RISER/DIGGER PLAN

FLOOR AREA CALCULATION LABEL	DIMENSIONS	AREA
1ST FLOOR	197'5.5X5'6.5	109 SF
A	27'X34'X4.5	704 SF
B	18'X32'X11	642 SF
C	15'X10'5	91 SF
D	18'X10'5	360 SF
E	21'X2'1	445 SF
2ND FLOOR	1910.5X13'4.5	266 SF
H	10.5X6.5	1 SF
K	77'X11'4.5	89 SF
L	15'X2'1	328 SF
M	15'X2'1	328 SF
N	13'X11'11.5	166 SF
CONDITIONED AREA		1,716 SF
1ST FLOOR (A-E)		847 SF
2ND FLOOR (H-M)		2,363 SF
TOTAL CONDITIONED AREA		3,210 SF
GARAGE (G)		445 SF
TOTAL BUILDING AREA		3,008 SF
LOT COVERAGE CALCULATION		5,914 SF
LOT SIZE		444 SF
FRONT PORCH	8'0X5'5	175S-445S-44
TOTAL COVERAGE		-2,205 SF (37%)
2ND		847/7716S-445
1ST RATIO		= 39.2%

AREA CALCULATION (PROPOSED HOUSE) SCALE 1/8" = 1'-0" 3



PROPOSED SITE PLAN SCALE 1/8" = 1'-0" 1



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PLANNING SET  
9.15.2021

Sheet Revisions:  
PLAN CHECK COMMENTS  
10.25.2021

BAI RESIDENCE  
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SANTA CLARA, CA 95051

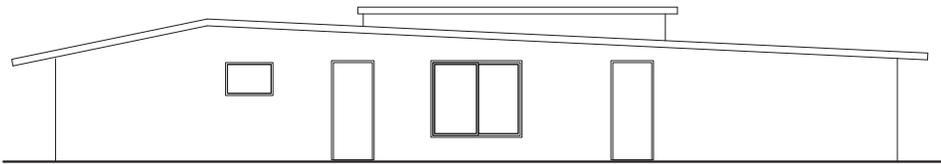
PROGRESS SET  
NOT FOR CONSTRUCTION

SITE PLAN /  
ROOF PLAN

ELECTRONIC PLAN REVIEW

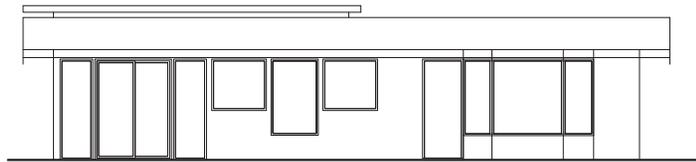
PROJECT NUMBER: 2102  
73 JENKINS PLACE

A0.5



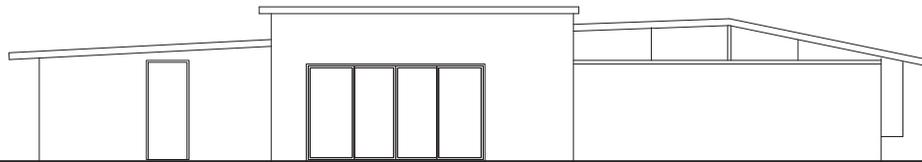
EXISTING LEFT ELEVATION  
SCALE 1/4" = 1'-0"

4



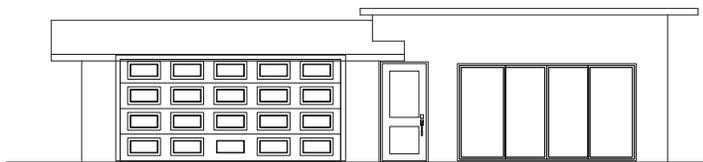
EXISTING BACK ELEVATION  
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3



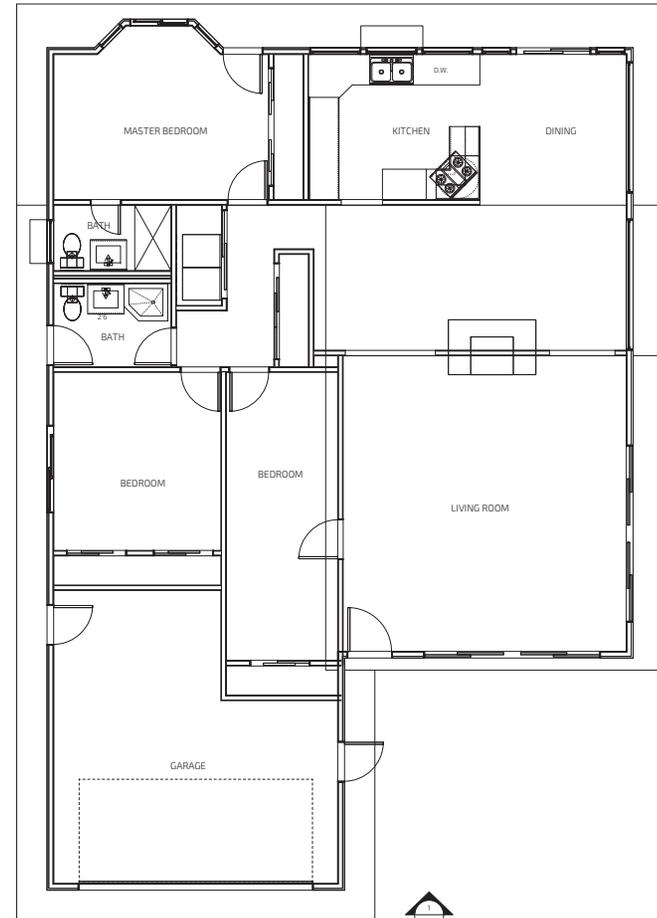
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2



EXISTING FRONT ELEVATION  
SCALE 1/4" = 1'-0"

1



EXISTING FLOOR PLAN / ROOF PLAN  
SCALE 1/4" = 1'-0"

5



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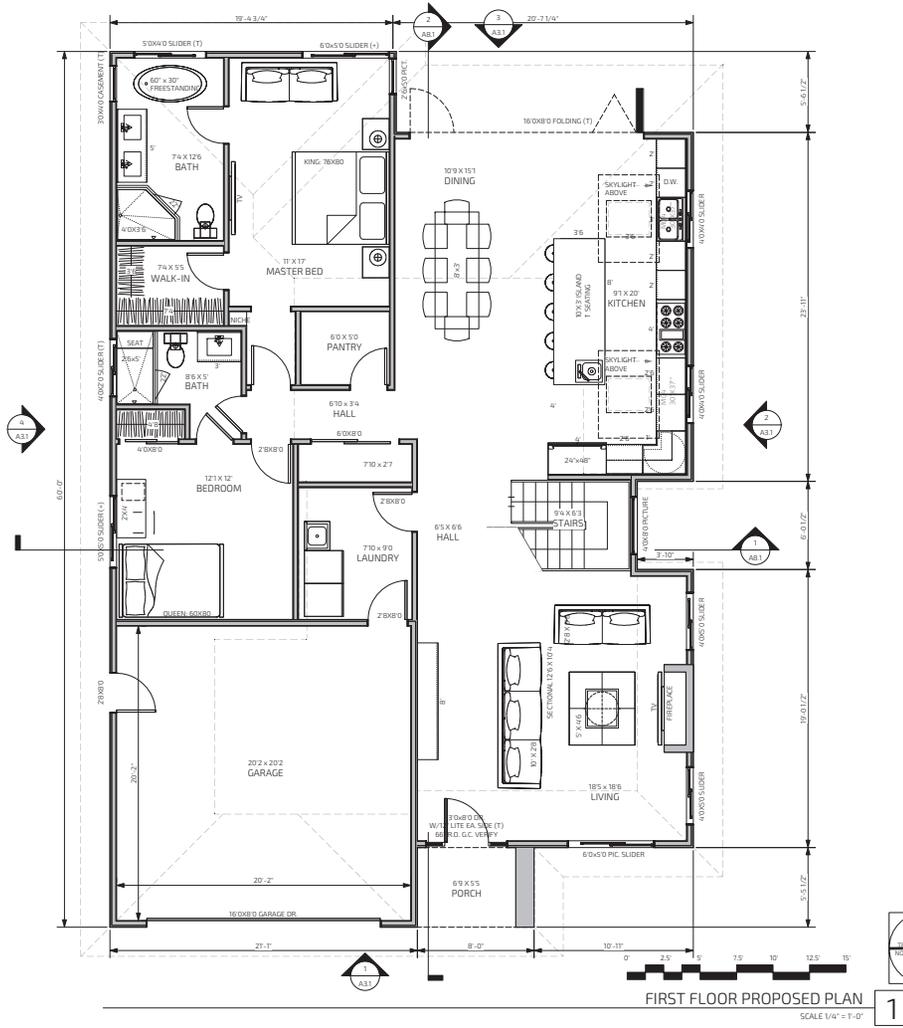
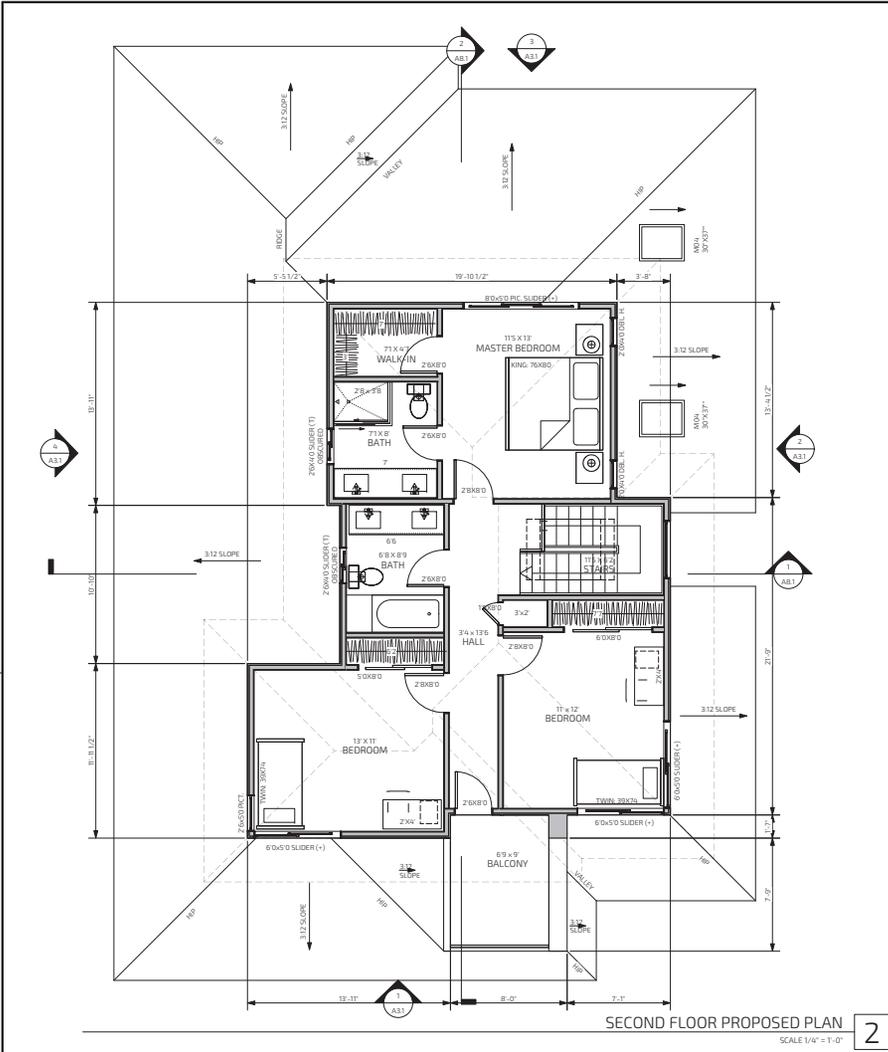
EXISTING  
FLOOR PLAN /  
ELEVATIONS

ELECTRONIC PLAN REVIEW

PROJECT NUMBER 2102  
73 JENKINS PLACE

A1.1

PROJECT NUMBER 2102  
73 JENKINS PLACE



ROOF PLAN KEY NOTES

SEE A0.5 KEYNOTES FOR ALL ROOF PLAN KEYNOTES

FLOOR PLAN KEY NOTES

SEE A2.1 KEYNOTES FOR ALL ROOF PLAN KEYNOTES 1-9



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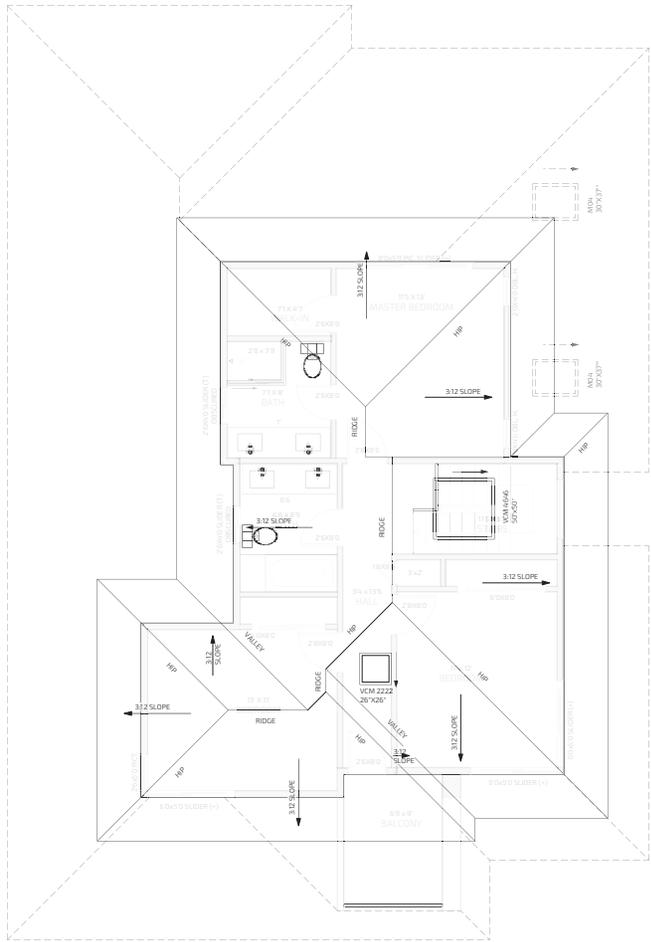
PROGRESS SET  
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PROPOSED  
ROOF PLAN

ELECTRONIC PLAN REVIEW

A2.2

PROJECT NUMBER: 2102  
73 JENKINS PLACE



PROPOSED ROOF PLAN  
SCALE 1/4" = 1'-0"

1



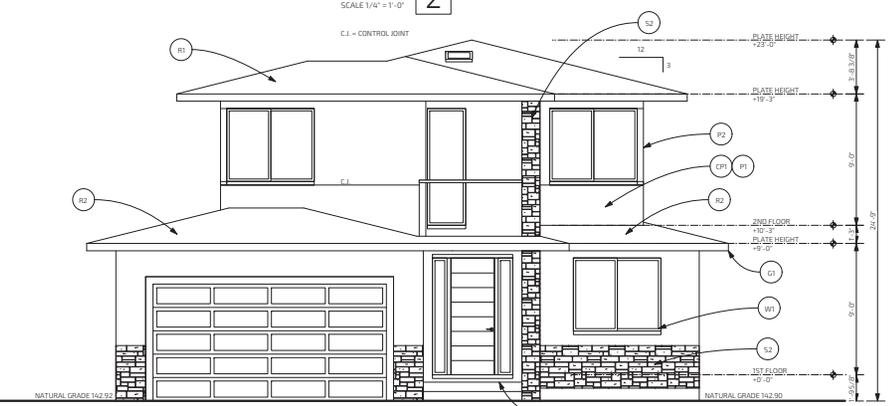
PROPOSED LEFT ELEVATION 4  
SCALE 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION 2  
SCALE 1/4" = 1'-0"



PROPOSED BACK ELEVATION 3  
SCALE 1/4" = 1'-0"



PROPOSED FRONT ELEVATION 1  
SCALE 1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE				
SYMBOL	MATERIAL	MFR./DEALER	MODEL # / DESCRIPTION / LOCATION	COLOR
S1	STONE OVERLAY / OR STAMP CONCRETE	U-SAVE ROCKERY OR SIM.	(N) CONC. LANDING/W/ FLAG STONE OVERLAY; PENNY LUNA L/LAC PATIO BY U-SAVE ROCKERY OR SIM. WWW.U-SAVE.COM	-
S2	LIGHTWEIGHT CLAD STONE VENEER PANEL (1")	ELBORADO STONE OR SIM.	STACKED STONE - BLACK RIVER COLOR FINISH PROVIDE STONE CAP AT TOP. TYPICAL STONE TO WRAP TO BOTH SIDES OF WALL. TYPICAL C.C. ESR-1215	-
R1	ASPHALT ROOF SHINGLES (1")	-	NEW ASPHALT ROOF SHINGLES PER <a href="#">CALIFORNIA RESIDENTIAL SPECIFICATIONS</a> ROOF TO BE CLASS 'A' OR BETTER. CERTANTERED PRESIDENTIAL SERIES OR SIM.	LIGHT GRAY
R2	STANDING SEAM METAL ROOF (1")	-	NEW STANDING SEAM ROOF PER <a href="#">CALIFORNIA RESIDENTIAL SPECIFICATIONS</a> ROOF TO BE CLASS 'A' OR BETTER. 12" MAX PROFILE & V-GROOVE. W/ PVDF COATING	METALLIC GRAY
G1	GUTTER	-	ALUM. - PAINTED	GRAPHITE
EP1	CEMENT PLASTER	-	EXTERIOR SMOOTH HARD STEEL TOWEL FINISH (ACCEPTS STUCCO FIN. SIMILAR)	MATCH
P1	EXTERIOR PAINT	-	PAINT AT CEMENT PLASTER	BEIGE
P2	TRIM PAINT	-	MATCH WINDOW TRIM	GRAPHITE
W1	SIDING	-	PAINTED HARDIE ARTISAN SIDING OVER GRADE 'D' BUILDING PAPER OVER PLYWOOD SHEATHING. C.C. IS REPORT ESR-2229	BEIGE
	WINDOW	-	WINDOW SASH AND TRIM FINISH (SEE A2.1 SPEC FOR FINISH MATERIALS)	GRAPHITE

1. PAINT ALL EXTERIOR WINDOW TRIM, SILLS, NON-VINYL SASH, MULTINS, DECK RAILINGS, DECK FASCIA, BEAMS AND TRUSSES, W/TER TALS AND EAVE SHEATHING BOARDS. PROTECT ANY AND ALL VINES / PLANTINGS FROM DAMAGE.
2. CONTRACTOR TO CONFIRM ALL FINISH WITH OWNER BEFORE ORDERING.
3. PROVIDE COEFFICIENT OF FRICTION OF 0.6 OR HIGHER FOR ALL FLOOR TILE & EXTERIOR FLAG STONE SURFACE.



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PROPOSED ELEVATIONS

ELECTRONIC PLAN REVIEW

A3.1

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73 JENKINS PLACE



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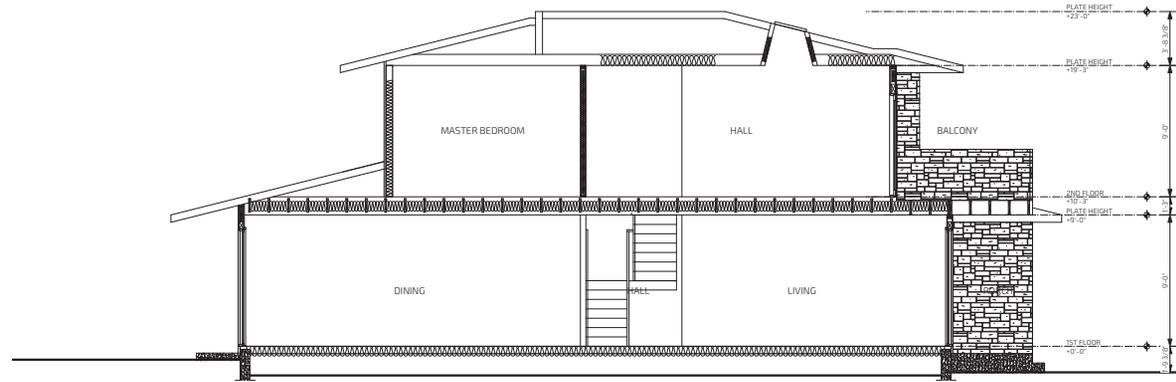
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 NOT FOR CONSTRUCTION

BUILDING SECTIONS

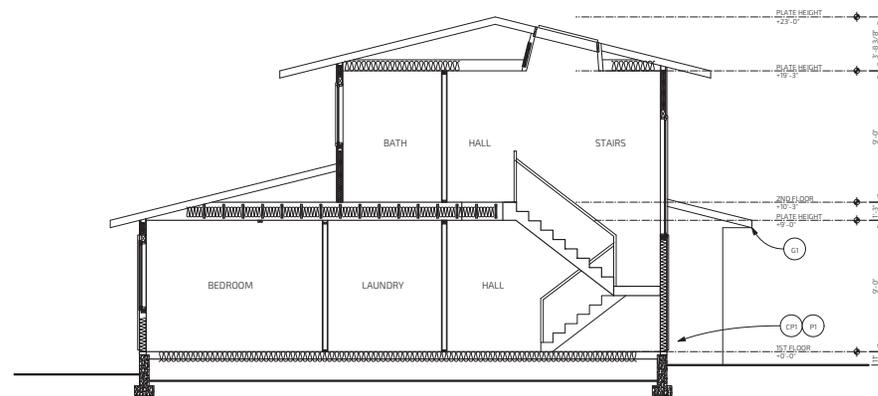
ELECTRONIC PLAN REVIEW

A8.0

PROJECT NUMBER: 2102  
 73 JENKINS PLACE



BUILDING SECTION 2  
 SCALE 1/4" = 1'-0"



BUILDING SECTION 1  
 SCALE 1/4" = 1'-0"

**73 Jenkins Place Project Data:**

<b>Lot Size: 5,914 sq. ft.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>First Floor</b>	1,680	-1,680/+1,716	1,716
<b>Second Floor</b>	n/a	847	847
<b>Garage</b>	325	-325/+445	445
<b>Porch</b>	n/a	44	44
<b>Gross Floor Area</b>	2,005		3,052
<b>Lot Coverage</b>	$2,005/5,914 = 34\%$		$2,205/5,914 = 37\%$
<b>F.A.R.</b>	$2,005/5,914 = 0.34$		$3,052/5,914 = 0.52$
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	n/a		$847/2,161 = 39\%$
<b>Bedrooms/Baths</b>	3/2		5/4
<b>Flood Zone</b>	X		X



Agenda Report

21-1600

Agenda Date: 12/1/2021

REPORT TO DEVELOPMENT REVIEW HEARING

**SUBJECT**

Action on the new construction of a two-story, 2,748 square-foot, four-bedroom and five- bathroom single-family home, at 1922 Main Street

**File No.:** PLN2020-14727

**Location:** 1922 Main Street, a 6,500 square-foot lot, located on the west side of Main Street approximately 150 feet north of Reed Street; APN: 224-23-011; property is zoned Single-Family Residential (R1-6L).

**Applicant:** Augustine Designs

**Owner:** Daljit Kaur

**Request:** **Architectural Review** of the proposed demolition of an existing 1,285 square-foot one-story, three bedroom and one bathroom single family home, and the proposed construction of a new two-story, 2,748 square-foot, four bedroom and four bathroom single family home with attached two-car garage, *(A new detached 750 square-foot, two bedroom and one bathroom accessory dwelling unit (ADU) proposed with this project is subject to administrative approval only).*

**Project Data - see Attachment 2 for full-sized table**

Lot Size: 6,500 sq.ft.	Existing Floor Area (sq.ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,045	1,219
Second Floor	n/a	1,052
Garage	240	441
Covered Porches	0	92
Shed	120	0
Gross Floor Area	1,285	2,712
Lot Coverage	1,405 / 6,500 = 22%	1,752 / 6,500 = 27%
ADU	n/a	750
2 <sup>nd</sup> :1 <sup>st</sup> Floor Coverage	n/a	1,052 / 1,752 = 60%
F.A.R.	1,285 / 6,500= 0.20	2,712 / 6,500 = 0.42
Bedrooms/Baths	3 / 1	4/5

Flood Zone	X	X
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### **Points for Consideration**

1. The project site was developed with the existing house in 1948.
2. The project site is located in the historic Old Quad Area of the City and is not located within 200 feet of any HRI property.
3. 300-foot neighborhood notice was distributed for this project review. No public comments have been received as of the date of this report preparation.
4. There are no active City code enforcement cases for this property.
5. The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk flood area.
6. The project includes demolition of an existing 3 bedroom and 2 bathroom single family home and detached one car garage, and the new replacement construction of a two-story, 2,712 square-foot, 4 bedroom and 4.5 bathroom single family home including an attached 441 square foot two-car garage at front.
7. The project also proposes to construct a new detached 750 square-foot, two bedroom and one bathroom accessory dwelling unit in the rear yard but is not part of the architectural review approval process. The ADU is subject to administrative review approval only.
8. The City's Single Family Residential Design Guidelines encourage that second floor walls be stepped back at least 5 feet from the front ground floor wall below, and at least 3 to 5 feet from side and rear ground floor walls to minimize building massing - more if the proposed second-floor area has a greater-than-35% footprint over the ground floor. The applicant is proposing to address the building massing through a combination of stepping back the second floor walls at least 5 feet from the front walls below, 4 feet from the north ground floor side wall, 5 feet from the south ground floor side wall, and further by breaking up the second floor walls through additional step-ins along both sides.
9. The project proposes 8-foot ceiling heights for the first and second floor living areas as supported by the City's Design Guidelines.
10. The project also proposes a combination of 6:12 roof pitch for the ground floor and 5:12 roof pitch for the second floor resulting in a proposed overall building height of 24 feet, 6 inches where 25' is the maximum height allowed by the R1-6L Zoning Code.
11. The main house is proposed to be clad in stucco siding with 2x4 wood trim around windows and doors, and asphalt composition shingle roofing, which is consistent with the materials used on other residential buildings in the neighborhood.

### **Findings**

1. *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The project provides two off-street parking spaces within an attached two-car garage, and additional off-street parking on a proposed two-car wide driveway.
  - The property is served by existing infrastructure adequate in size and capacity to support the proposed use.
2. *That the design and location of the proposed development and its relation to neighboring*

*developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*

- Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
3. *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and will not be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- the proposed project design incorporates several measures intended to be compatible the neighborhood character, including stucco siding, wood trim around windows and doors, composition shingle roofing, elevated side wall windows on the second floor, and step-back of second floor walls from the front and side ground floor walls below.
4. *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project would be subject to the California Building Code and City Code requirements.
5. *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office, in that;*
- The proposed design incorporates materials and architectural design features identified in the City's Single Family and Duplex Residential Design Guidelines to make the project consistent with these adopted Guidelines as a new two-story house.

Conditions of Approval:

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans and elevations.
- 2) Developer shall remove existing driveway and pavement from the street park- strip planter in the public right-of-way frontage for the property, and shall plant new landscape ground cover with irrigation and a new street tree in coordination with Planning and the Department of Public Works - Streets Division.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 4) Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 5) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays, and shall not be allowed on recognized State and Federal

holidays.

- 6) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits, including the disconnection of roof downspouts to drain over landscaped yards on site.

### **ENVIRONMENTAL REVIEW**

Categorically Exempt per CEQA Section 15303 (a) - New Construction or Conversion of Small Structures.

### **FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

### **PUBLIC CONTACT**

On November 18, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application.

### **RECOMMENDATION**

**Approve** the new construction of a two-story, 2,748 square-foot, four-bedroom and five- bathroom single-family home, at 1922 Main Street, subject to conditions.

Reviewed by: Jeff Schwilk, Associate Planner, Community Development

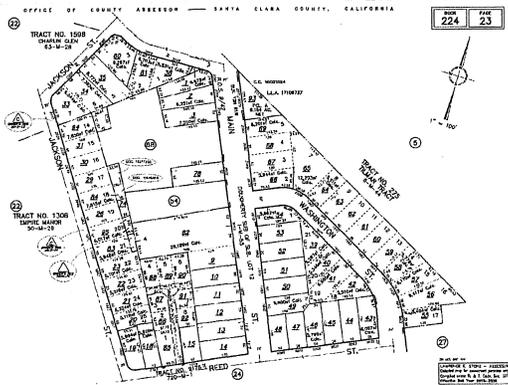
Approved by: Gloria Sciara, Development Review Officer, Community Development

### **ATTACHMENTS**

1. Development Plans
2. Project Data

**Project Data – 1922 Main Street**

<b>Lot Size: 6,500 sq.ft.</b>	<b>Existing Floor Area (sq.ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>First Floor</b>	1,045	1,219
<b>Second Floor</b>	n/a	1,052
<b>Garage</b>	240	441
<b>Covered Porches</b>	0	92
<b>Shed</b>	120	0
<b>Gross Floor Area</b>	1,285	2,712
<b>Lot Coverage</b>	1,405 / 6,500 = 22%	1,752 / 6,500 = 27%
<b>ADU</b>	n/a	
<b>2<sup>nd</sup>:1<sup>st</sup> Floor Coverage</b>	n/a	1,052 / 1,752 = 60%
<b>F.A.R.</b>	1,285 / 6,500 = 0.20	2,712 / 6,500 = 0.42
<b>Bedrooms/Baths</b>	3 / 1	4/5
<b>Flood Zone</b>	X	X



VICINITY MAP

SHEET INDEX		
NO.	DATE	DESCRIPTION
1.	5/22/2020	SITE PLAN
2.	5/22/2020	ELEVATIONS
3.	5/22/2020	PROPOSED 1 <sup>ST</sup> FLOOR PLAN
4.	5/22/2020	PROPOSED 2 <sup>ND</sup> FLOOR PLAN
5.	5/22/2020	ELECTRICAL 1 <sup>ST</sup> FLOOR PLAN
6.	5/22/2020	ELECTRICAL 2 <sup>ND</sup> FLOOR PLAN
7.	5/22/2020	FOUNDATION PLAN
8.	5/22/2020	ROOF PLAN
9.	5/22/2020	CROSS SECTIONS
10.	5/22/2020	DETAIL SHEET "A"
11.	5/22/2020	DETAIL SHEET "B"
ADU PLANS		
1A.	5/22/2020	ADU ELEVATIONS
2A.	5/22/2020	ADU FLOOR PLAN
3A.	5/22/2020	ADU FOUNDATION
4A.	5/22/2020	ADU ROOF PLAN
TITLE - 24 MAIN RESIDENCE		
EN-1		TITLE - 24
EN-2		TITLE - 24
GR-1		CALOREEN
TITLE - 24 ADU		
EN-1		TITLE - 24
EN-2		TITLE - 24
GR-1		CALOREEN
STRUCTURAL		
S1.		STRUCTURAL
S2.		STRUCTURAL
S3.		STRUCTURAL
S4.		STRUCTURAL
S5.		STRUCTURAL

**GENERAL NOTES**

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:
 

2019 CALIFORNIA BUILDING CODE	2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA RESIDENTIAL CODE	2019 CALIFORNIA HISTORICAL BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE	2019 CALIFORNIA TESTING BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE	2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- AND ALL STATE OF CALIFORNIA CITY COUNTY AND MUNICIPAL CODES
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDS AND SPECIFICATIONS AND LETTERING ON DRAWINGS, THE SPECIFICATION SHALL TAKE PRECEDENCE. IF ANY ERROR (TYP) IS NOT EXPLORED BY THE CONTRACTOR PRIOR TO THE DRAWINGS OR SPECIFICATIONS BECAUSE APPARENT, THE CONTRACTOR SHALL REFER THEM TO THE DRAFTSMAN FOR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR MUST TO SCALE DRAWINGS. DRAWING DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ERRORES AND OMISSIONS IN THE EVENT THAT AN OMISSION OR ERROR MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER/DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SO SHALL RELIEVE DESIGNER OF RESPONSIBILITY COMMENCEMENT OF WORK. FAILURE TO DO SO SHALL RELIEVE DESIGNER OF RESPONSIBILITY.

**PROJECT INFORMATION**

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:

2019 CALIFORNIA BUILDING CODE	2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA RESIDENTIAL CODE	2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA ELECTRICAL CODE	2019 CA. GREEN BUILDING STANDARD CODE
2019 CALIFORNIA MECHANICAL CODE	

(AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)

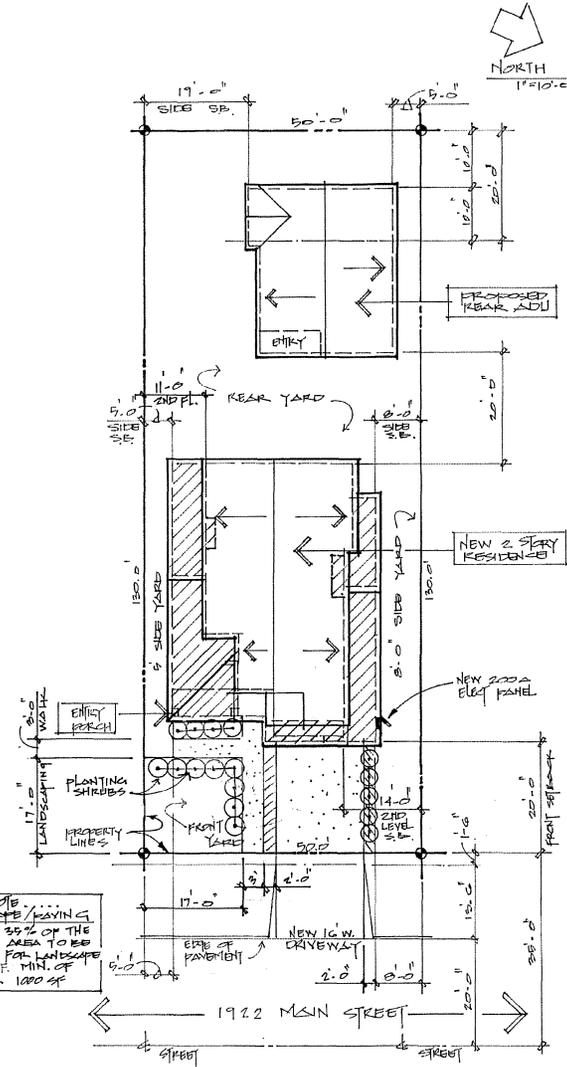
**PROJECT PROPOSAL**

- PROPOSED NEW 2 STORY RESIDENCE WITH ATTACHED 2 CAR GARAGE
- PROPOSED REAR DETACHED ADU (2<sup>ND</sup> DWELLING UNIT) WITH 2 BEDROOMS
- (E) SINGLE FAMILY RESIDENCE TO BE DEMOLISHED

<b>PROJ. LOC/OWNER</b>	<b>PROPERTY INFORMATION</b>
DALJIT KAUR 1922 MAIN STREET SANTA CLARA, CA. 95050	A) PARCEL NUMBER ..... 224 - 23 - 011 B) ZONING DISTRICT ..... R-1-G (SFR) C) CURRENT LOT SIZE ..... 6,500 S.F.
<b>PARKING</b> (M) 2 MINIMUM PROVIDED	D) GENERAL PLANS ..... VERY LOW DENSITY RESIDENTIAL
<b>CBC 2019 / CONSTRUCTION INFORMATION</b>	
A) CONSTRUCTION TYPE ..... VB	D) OCCUPANCY GROUP ..... R-3U
B) NUMBERS OF STORIES ..... 2	E) SPRINKLERS ..... REQUIRED
C) YEAR BUILT ..... 1948 (R) RESIDENCE TO BE DEMOLISHED	
<b>BUILDING SQ. FTG/LOT COVERAGE/FLOOR AREA RATIO (FAR)</b>	
1) (R) 2 STORY RESIDENCE ..... 2,397 S.F.	
2) (M) ATTACHED 2 CAR GARAGE ..... 441 S.F.	
3) (M) FRONT PORCH ..... 92 S.F.	
4) NEW DETACHED ADU ..... 750 S.F.	
A) MAX. FAR: ..... N/A	A) MAX. LOT COVERAGE: .. 40% OR 2,600 S.F.
B) ACT. FAR: ..... N/A	B) ACT. LOT COVERAGE: .. 27% OR 1,782 S.F.

**SCOPE OF WORK**

- PROPOSED NEW 2 STORY RESIDENCE WITH ATTACHED 2 CAR GARAGE
- PROPOSED REAR DETACHED ADU (2<sup>ND</sup> DWELLING UNIT) WITH 2 BEDROOMS
- EXISTING SINGLE FAMILY RESIDENCE TO BE DEMOLISHED



..... NOTE / .....  
LANDSCAPE / LAYING  
A MIN. OF 35% OF THE  
MIN. FRONT AREA TO BE  
RESERVED FOR LANDSCAPE  
OR 350 S.F. MIN. OF  
20'X50 OR 1000 SF

**SPECIAL SITE DRAINAGE NOTE:**

- THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOOTING FOR A MIN. OF 1% FOR A MIN. DISTANCE OF 5'
- DISCHARGE THE ROOF DRAINAGE SYSTEM INTO ITS DISCHARGE TO 2" MIN. FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM.

REVISIONS

DATE: \_\_\_\_\_

Professional Design Consultant  
2023 Montgomery Ave., #1 San Jose, CA 95128  
(408) 294-7900

**4 ARCHITECTURE & DESIGN**

OWNER  
MR. DALJIT KAUR  
1922 MAIN STREET  
SANTA CLARA, CA. 95050  
(408) 210 - 9856

PROPOSED NEW 2 STORY  
RESIDENCE AND A DETACHED  
2ND UNIT (ADU)

DATE: 5-13-2020  
SCALE: 1" = 10'-0"  
DRAWN: BKA  
JOB: \_\_\_\_\_

**1**

OF SHEETS

OFFICE OF COUNTY ASSESSOR - SANTA CLARA COUNTY



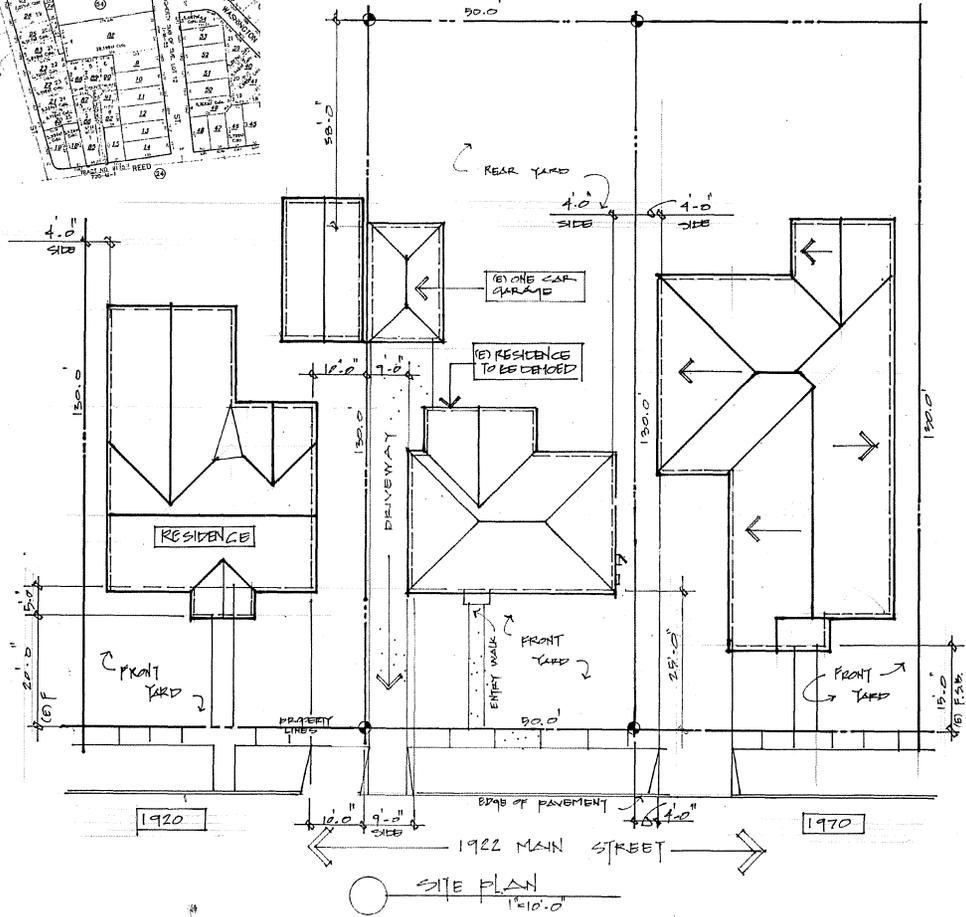
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DRAIN CLIN  
6000-18

MAP 224 SHEET 23

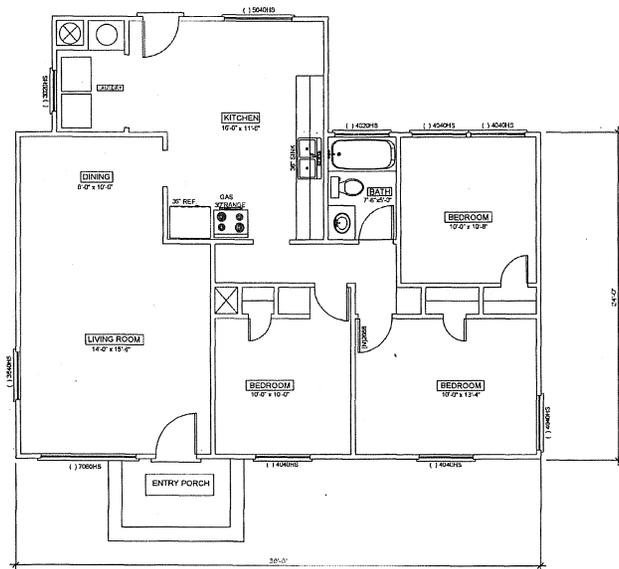
**SCOPE OF WORK**

- A) PROPOSED NEW 2 STORY RESIDENCE WITH ATTACHED 2 CAR GARAGE
- B) PROPOSED REAR DETACHED ADU (2<sup>ND</sup> DWELLING UNIT) WITH 2 BEDROOMS
- C) EXISTING SINGLE FAMILY RESIDENCE TO BE DEMOLISHED

NORTH  
1"=10'-0"



A EXISTING FRONT ELEVATION



E EXISTING / DEMO FLOOR PLAN  
SCALE: 1/4" = 1'-0"

REVISIONS  
DATE:

OWNER  
MR. DALJIT KUAR  
1922 MAIN STREET  
SANTA CLARA, CA. 95050  
(408) 210-9856



PROPOSED NEW 2 STORY  
RESIDENCE AND A DETACHED  
2ND UNIT (ADU)

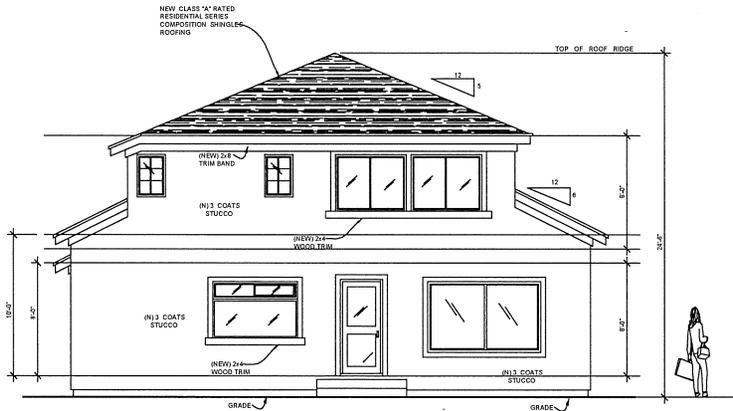
DATE: 12-26-2020  
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DRAWN: BRA  
JOB:

1a

OF SHEETS

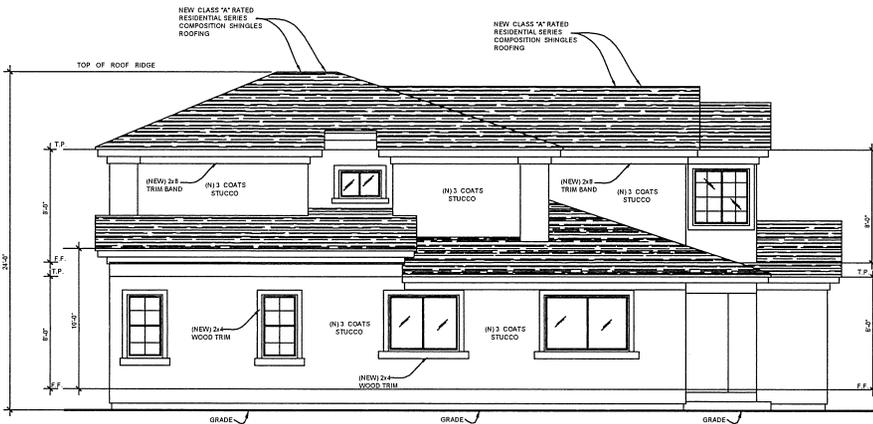
**EXTERIOR BUILDING NOTES**

- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHIMMING, AND BATHS ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 4" OR LESS THAN 2" MEASURED VERTICALLY FROM
- WHERE ROOF GUTTERS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPASH BLOCK AND SHALL CARRY WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE. CIRCUMSTANCE CLARIFY IF THERE ARE NEW GUTTERS AT NEW ADDITION



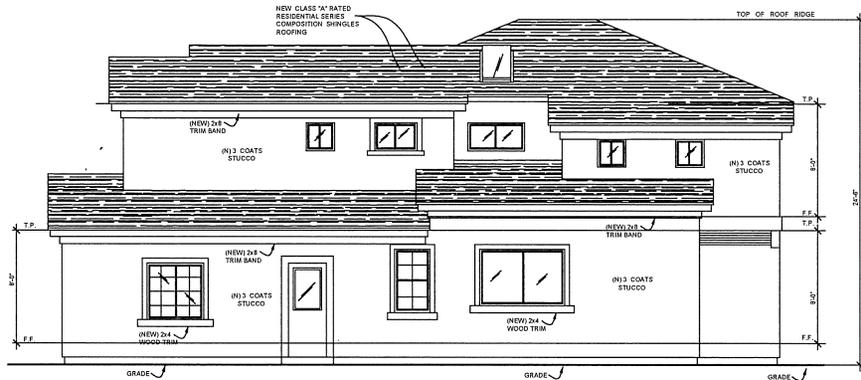
**REAR ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"

**SITE GRADING NOTE**  
PROVIDE A MINIMUM 2% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1.29)



**LEFT SIDE ELEVATION (SOUTH)**  
SCALE: 1/4" = 1'-0"

**SITE GRADING NOTE**  
PROVIDE A MINIMUM 2% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1.29)



**RIGHT SIDE ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- PLANS TO CONFORM WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS ENFORCED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SETBACK DESIGN CATEGORY E)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF DIMENSIONS, GENERAL FINISH AND REQUIREMENTS, REFERENCE IS MADE TO THE DRAWINGS. SHOULD ANY DISCREPANCY APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDS OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACT OR TO THE CITY OF SAN DIEGO, FOR CONSTRUCTION REFERENCE WITH THE WORK CONTRACTOR IS NOT TO SCALE DRAWINGS.
- ERRORS AND OMISSIONS: IN THE EVENT THAT ANY ALGEBRAIC ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SO, SHALL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND ITS SETBACKS, IT SHALL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS & DRAWINGS FOR REFERENCE AND SHIELDS NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT.

**GENERAL EXTERIOR NOTES**

- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 1/8 POUND FELT OR ONE FEET WITH A MIN SLOPE OF 1:12. ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 3:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE MANUFACTURED WITH 'BULDER LAMINATE' SHALL CONSIST OF 2 LAYERS OF 1/8 POUND FELT INSTALLED SINGLE FASHION MAX LAYERS OR A SINGLE ROOF SHALL NOT EXCEED 3
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPERABLE WINDOWS PER UPC 906.2
- SEE ADDRESS NUMBERS. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS EASILY LEGIBLE AND VISIBLE FROM THE STREET OR ON ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS OR ALPHABETICAL LETTERS, NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH AN MINIMUM STROKE WIDTH OF 1/2" (12.7 MM). THESE ACCESSIBLE NUMBERS OR ALPHABETIC LETTERS AND THE BELOW ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

**EXTERIOR WEATHER PROTECTION NOTES**

- STUCCO OR SHIELDS OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH 6 MIL MINIMUM GALVANIZED METAL OR OTHER APPROVED UNDERLAYER PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 4" AT VERTICAL JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR OSB SHEETS THERE SHALL BE TWO LAYERS OF GRADE D BUILDING PAPER. BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING:
  - WHERE THERE IS HIGH MOISTURE OCCURRENCE
  - WHERE EXTERIOR COVERINGS IS APPROVED W.P. MATERIAL OVER 1/8" (3.175 MM) SHIMMING
  - WHERE EXTERIOR COVERINGS IS APPROVED W.P. PANELS
- STUCCO SHALL BE 7/16" THICK AND THREE COATS APPLIED OVER APPROVED WEATHER AND TWO LAYERS OF GRADE D BUILDING PAPER. PROVIDE VEEF CREED
- SING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY



**FRONT ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"

REVISIONS  
DATE

Professional Design Consultants  
3523 Imperial Ave., 3rd Floor, CA 92128  
(609) 244-7069



OWNER  
**DALJIT KAUR**  
1922 MAIN STREET  
SANTA CLARA, CA 95050  
PHONE: (196) 756-1311

PROPOSED NEW SINGLE  
FAMILY RESIDENCE

DATE: 04/22/2020  
SCALE: 1/4" = 1'-0"  
DRAWN: BRA  
JOB:

**2**

07 SHEETS



**ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES**

- PLUMBING**
1. ALL SINK FACETS, SHOWER FACETS AND URINALS SHALL COMPLY WITH CALIFORNIA CODE SECTION 101.01. BATHROOM FIXTURES SHALL NOT EXCEED 1.6 MAX PER FLUSH. SINK SINKY FACETS SHALL NOT EXCEED 1.0 GALLONS PER FLUSH. SHOWER FACETS SHALL NOT EXCEED 2.0 GALLONS PER FLUSH. URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
  2. PER CFC SECTION 402.2.2, SINGLE FLUSH WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.5 GALLONS.
  3. INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 30% USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASELINE WATER PER SECTION 402.1.
  4. ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CODE SECTION 402.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION. CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT.

- ELECTRICAL**
1. ALL BRANCH CIRCUITS SHALL BE SINGLE PHASE, 15 AMP, 120 V AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT, LIVING AND FAMILY ROOMS, KITCHENS, BEDROOMS, LIBRARIES, DINING HALLWAYS, RECREATION ROOMS, CLOSETS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED RESIDUAL CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. SEE ARTICLE 210.2.
  2. ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER RESISTANT "TYPE B" PER SEC 210.21.
  3. AT LEAST TWO 20 AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP. (SEC 210.52)
  4. ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED 4' OF C/C.
  5. ALL EXHAUST FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEMS.
  6. ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR.
  7. ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILING SHALL BE IC INSULATION COVER AND 1/4" AIR TIGHT TRAYED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE OFF WITH A GASKET OR CAULK.

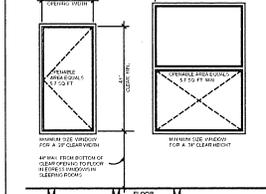
**SMOKE DETECTOR NOTES**

- A. SMOKE DETECTOR:**  
PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
- A) POWER SOURCE:**  
IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SYSTEM OR BE DERIVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL NOT BE A BATTERY OPERATED DETECTOR. THE DETECTOR SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTOR SHALL BE COULDED OR BATTERY OPERATED DETECTOR UNDER GO ALTERNATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CFC 2019.
- B) LOCATION WITHIN DWELLING UNITS:**  
IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WITH MORE THAN ONE ROOM OR IN THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR 10% OF MORE. SMOKE DETECTOR SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREA OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

**PLUMBING NOTES:**

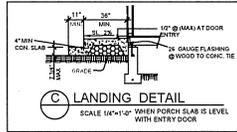
- ALL WORK SHALL BE PERMITTED AND INSPECTED BY THE CITY BUILDING DEPT. AND PLUMBING DEPT.
1. ALL FACETS ON ALL SINKS AND FLUSH VALVES ON ALL TOILETS SHALL HAVE A FLOW RATE IN COMPLIANCE WITH THE STATE OF CALIFORNIA C.E.C. CONSERVATION STANDARDS.
  2. ALL PLUMBING WALLS TO BE 2 x 4 @ 16" O.C. WALL CONSTRUCTION UNLESS OTHERWISE NOTED.
  3. ALL NEW HOT AND COLD WATER LINES SHALL BE COPPER PIPE FOR THIS TYPE OF WORK. USE APPROVED CONNECTORS.
  4. PLUMBING SIZE REQUIRED:  
1) TUBS ..... 1/2" MIN. WATER  
2) SHOWERS ..... 1/2" MIN. WATER  
3) SINKS ..... 1/2" MIN. WATER  
4) TUBS ..... 1/2" MIN. WATER  
5) SHOWERS ..... 1/2" MIN. WATER  
WATER LINES... 3/4" MIN. COPPER
  5. PLUMBING VENTS AND CLEANOUTS  
1) VENT PIPES TO BE MIN. 1/2" DIAMETER VENT THRU ROOF MAX. 1/4" FOUR FIXTURES PER VENT.  
2) PROVIDE AT EACH ROOF VENT, A 24 GAUGE, GALVANIZED STEEL FLASHING WITH 4" OVERLAP.
  6. CLEANOUTS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY CODE AND AT ALL BENDS, ANGLES AND UPPER TERMINALS. TOPS OF COVER PLATES SHALL BE FLUSH WITH THE FINISHED FLOOR OR GRADE.
  7. ALL WALLS BEHIND SHOWERS AND TUBS TO HAVE APPROVED WATER PROOF GREEN BOARD OR WOODER BOARD OVER STUDS PRIOR TO INSTALLATION OF PARTIERS AND FINAL LAYER OF ENAMEL BASE PAINT OR VINYL TILE BACKING.
  8. TOILETS: PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET.
  9. WATER HEATERS: SHALL BE PROVIDED WITH PRESSURE TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE.
  10. ALL NEW & EXISTING WATER HEATERS TO BE SEISMIC STRAPPED TO WALL AT TOP AND BOTTOM WITH 24 GAUGE GAUGE METAL STRAPS PER CBC 2019.

**RESIDENTIAL EGRESS WINDOWS (2016 CBC) EMERGENCY ESCAPE AND RESCUE**



Because so many fire deaths occur when occupants of residential buildings are asleep at the time of the fire, the 2016 California Building Code (CBC), Section 102 requires that:

- 1. Egress windows must be readily accessible.
- 2. Egress windows must be unobstructed.
- 3. Egress windows must be operable from the inside without the use of tools, ladders, or other special equipment.
- 4. Egress windows must be operable from the inside without the use of tools, ladders, or other special equipment.



**SPECIAL TITLE - 24 NOTES**

1. ALL LIGHTING TO BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.06 AND JOINT APPROVAL JAL.
2. ALL LUMINAIRES THAT ARE INSTALLED WITH GAS-CERTIFIED LIGHT SOURCES NEED TO BE CONTROLLED BY A DIMMER OR WACAY'S DIMMER. THIS IS NOT REQUIRED FOR LIGHTING IN CLOSETS LESS THAN 10 SQ FT OR IN HALLWAYS.
3. ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS:
  - A. PHOTOCELL AND MOTION SENSOR
  - B. PHOTOCELL AND DAY SWITCH
  - C. ASTRONOMICAL TIME CLOCK
  - D. DIMMER WITH FEATURES OF ASTRONOMICAL TIME CLOCK
4. LUMINAIRES RECESSED IN INSULATED CEILING SHALL COMPLY WITH THE FOLLOWING:
  - A. SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT.
  - B. BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAKS.
  - C. SHALL NOT CONTAIN SCRIBED BASE SOCKETS

**ELECTRICAL / MECHANICAL LEGEND**

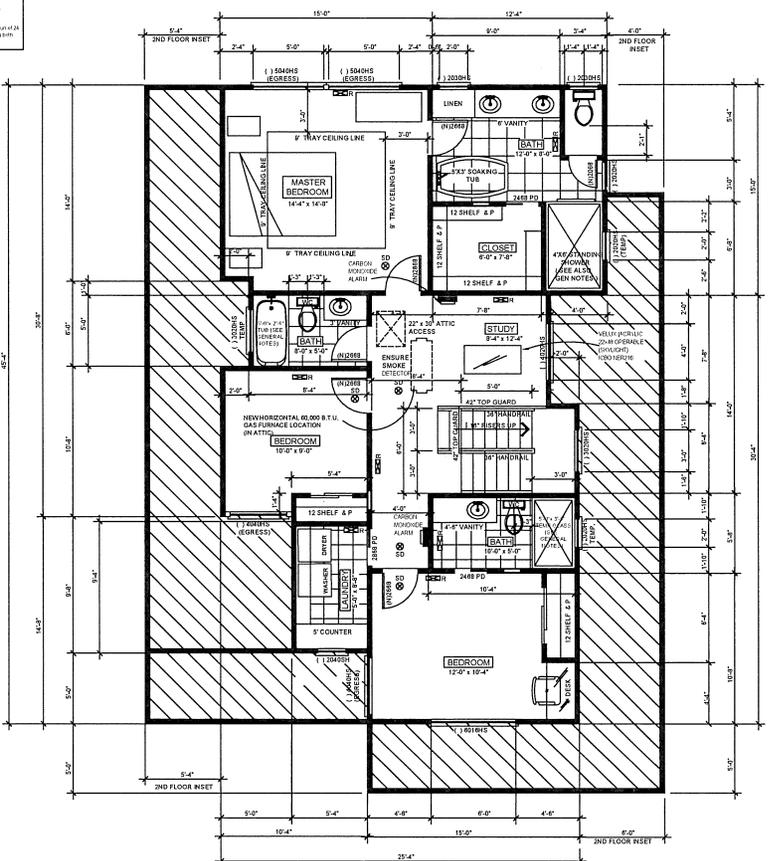
EXISTING WALLS	CHIME
NEW WALLS	DOORBELL PUSHBUTTON
WALLS TO BE REMOVED	COIN EXHAUST LIGHT FIXT
CLOSE WALLS	ELECT. FAN
DUPLEX RECEPTACLE OUTLET	HEAT LAMP
GROUND FAULT INTERRUPT CIRCUIT	HEATER RESIST
SUP. REC. OUTLET MOUNTING	CEILING AIR REGISTER
FOUR PLEX RECEPTACLE	WATER HEATER
220 V RECEPTACLE OUTLET	FURNACE
RECESSED CEILING LIGHT	HOSE BIBB
HIGH EFFICACY LIGHT	CARBON MONOXIDE ALARMS
WALL LIGHT	INTERCOM
WATERPROOF WALL LIGHT FIXTURE	ELECT. METER MAIN PANEL
FLUORESCENT LIGHT	ELECTRICAL SUB-PANEL
SMALL FLUORESCENT FIXTURE	RECESSED LIGHT
SPOTLIGHT	DISPOSAL
WALL SWITCH	CONCRETE
THREE-WAY SWITCH	STUCCO
FOUR-WAY SWITCH	EXISTING
SMOKE DETECTOR	H.S. HORIZONTAL SLIDER
TELEPHONE OUTLET	S.H. SINGLE HUNG
TW CABLE OUTLET	FIX
	FIXED GLASS

**GENERAL INTERIOR NOTES**

1. ALL PLUMBING VENTS TO BE MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPENABLE SKYLIGHTS PER CFC 2019.
2. ALL BATHROOM SHOWER ROOMS AND WALLS TO BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 1 FEET (17") ABOVE FINISHED FLOOR.
3. PROVIDE EXHAUST FAN IN KITCHEN AREA FOR LOCAL VENTILATION. ROOM AIR CHANGE REQUIREMENTS PER 2019 CALIFORNIA ENERGY CODE SECTION 150.06 AND MINIMUM 62.0 CFM. OTHERWISE SPROUT KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
4. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED.
5. ALL NEW & EXISTING DUPLEX RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER CFC 408.11.
6. PROVIDE SEPARATE SWITCHES FOR ALL EXTERIOR LIGHTS IN BATHROOMS PER CALIFORNIA ENERGY CODE (HOURS) FANS AND SWITCHES TO BE SEPARATELY SWITCHED.
7. ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30

**GENERAL NOTES**

1. PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES.
2. INTERPRETATION OF DRAWINGS FOR ASSIGNMENT OF FLOOR, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DISCREPANCY APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICITY SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT FIRST APPEARS EITHER BY REFERENCE TO THE DRAWINGS CONTRACTOR TO REPORT DRAWING DEVELOPER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR NOT TO SCALE DRAWINGS.
3. ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DEVELOPER PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, SHALL BE DEEMED ACCEPTANCE OF THE WORK.
4. PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
  - A) POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SYSTEM OR BE DERIVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL NOT BE A BATTERY OPERATED DETECTOR. THE DETECTOR SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTOR SHALL BE COULDED OR BATTERY OPERATED DETECTOR UNDER GO ALTERNATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CFC 2019.
  - B) LOCATION WITHIN DWELLING UNITS: IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WITH MORE THAN ONE ROOM OR IN THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR 10% OF MORE. SMOKE DETECTOR SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREA OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
5. INSULATION CEILING:
  - R-20 BATT INSULATION NEW CONST. ONLY
  - WALLS: ..... R-13 BATT INSULATION NEW CONST. ONLY
  - FLOOR: ..... R-19 FLOOR INSULATION
  - ACCESS UNDERFLOOR: ..... 1/2" x 2" MIN. SQ. (IF WOOD FLOOR)
  - CEILING: ..... 2" x 3" MIN. VENT CLEAR HEIGHT
  - VOIDS: ..... APPROVED DOUBLE GLAZED
6. NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.
  1. ROOF MEANING AND SLOPE: NUMBER OVER NUMBER OF INCHES SHALL BE INSTALLED.
  2. ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENT OF .40 OR BETTER.
  3. ALL GLAZING IN OR WITHIN 36" OF DOORS, OVER 6 SQUARE FEET AND WITHIN 10' OF FLOOR AND ALL GLAZING IN PROGRESSIVE BATHS TO BE SAFETY GLASS.
  4. ALL GLAZING IN OR WITHIN 36" OF DOORS SHALL BE REINFORCED AND LABELED.
  5. BATHROOM FINISH NOTE: ENSURE A SMOOTH, HARD NONABSORBENT SURFACE OVER A HOSTILE RESISTANT UNDERLAYER TO A HEIGHT OF 17" ABOVE THE DRAIN RIM FOR SHOWERS PER CBC 1213.3
  6. VENTER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.20 GALLONS PER FLUSH.



**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
1,052 SQ. FT.

REVISED  
DATE  
REV. 05/18/2020

Professional Design Consultants  
12321 Broadway Ave., 12 San Jose, CA 95131  
(408) 244-7000



OWNER  
DALJIT KAUR  
1922 MAIN STREET  
SANTA CLARA, CA 95050  
PHONE: (408) 755-1311

PROPOSED NEW SINGLE FAMILY RESIDENCE WITH DETACHED (ADU)

DATE: 05/18/2020  
SCALE: 1/4" = 1'-0"  
DRAWN: BRA

JOB: 4  
07 SHEETS



**ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES**

**PLUMBING**

- ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA C.S.A. CODE SECTION 1601.8. KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GPM PER FLUSH. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS. SHOWER HEADS SHALL NOT EXCEED 2.0 GALLONS. AND URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
- PER CEC SECTION 402.2.2, SINGLE FLUSH WATER CLOSURES SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS.
- INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 30% USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASIN/WATER PER SECTION 5.1.0.3.1
- ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES.
- NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CEC SECTION 1611.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT.

**ELECTRICAL**

- ALL BRANCH CIRCUITS THAT SUPPLY 120V AC LE, SINGLE PHASE, 15-AMP OR AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PORCHES, TERRACES, BALCONIES, SIDEWALKWAYS, RECREATION ROOMS, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED RESIDUAL CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT, CEC ARTICLE 210.6.
- ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE, 2016 CEC 406.12
- AT LEAST TWO TAMPER-RESISTANT CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
- ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED 4" O.C.
- ALL EXHAUST FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM.
- ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR.
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN FLOOR AREAS SHALL BE CEILING INSULATION COVER AND AT LEAST TIGHT RATED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE OFF-PATH A GASKET OR CAULK.

**GENERAL EXTERIOR NOTES**

- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 1/2" POUND FELT OR OVER FIBERGLASS MATS OF 1/2" POUND FELT. SHINGLES SHALL BE INSTALLED ON ROOFS WITH A MIN. SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED (SEE SEALING OR ASSESSMENT) UNDER THE ROOFING LAWS. SEAL SHALL CONSIST OF 2 LAYERS OF 1/2" POUND FELT INSTALLED SINGLE FASHION MANLAYS OR A SHINGLE ROOF SHALL NOT EXCEED 3
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPERABLE LIGHTS PER CEC 406.2
- SITE ADDRESS NUMBERS, BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS EASILY LEGIBLE AND VISIBLE FROM THE STREET OR ON ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL COINCIDE WITH THEIR BACKGROUND, ADDRESS NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" (103 MM) HIGH WITH AN ARABIAN STROKE WIDTH OF 1/2" (12.7 MM). WHERE ACCESS TO THE REAR OR FRONT OF THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A SIGNMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

**EXTERIOR WEATHER PROTECTION NOTES**

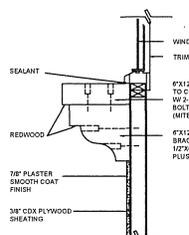
- STUDS OR SHEATHING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH BRUSHWOOD ADHESIVE, SAKSULATED FELT OR OTHER APPROVED WATERPROOF PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 6" AT VERTICAL JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATHING, THERE SHALL BE TWO LAYERS OF GRADE OF BUILDING PAPER, BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING:
  - A. WHERE THERE IS MINIMUM OCCUPANCY
  - B. WHERE EXTERIOR COVERINGS OF APPROVED W.P. MATERIAL OVER WEATHER RESISTANT SHEATHING
  - C. WHERE EXTERIOR COVERING IS APPROVED W.P. PANELS
- STUCCO SHALL BE 7/8" THICK AND THREE COATS APPLIED OVER APPROVED WATER AND TWO LAYERS OF GRADE BUILDING PAPER, PROVIDE KEEP DRY
- SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY

**IMPORTANT GRADING NOTE**

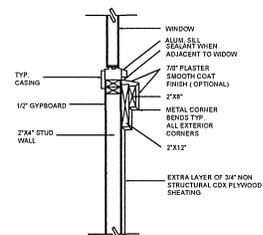
THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5 PER CENT FOR A MIN. DISTANCE OF 10 FEET (1:02 MIN. RATIO)

**ROOF FRAMING NOTES**

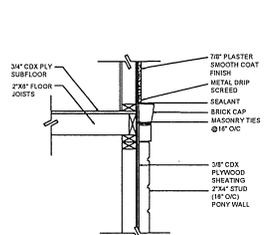
ALL FASTENERS FOR THE ROOF FRAMING SHALL CORROSION RESISTANT



**D POTSH/ELF / CORBEL ATTACHMENT DETAIL**  
NOT TO SCALE



**L EXTERIOR TRIM DETAIL**  
NOT TO SCALE



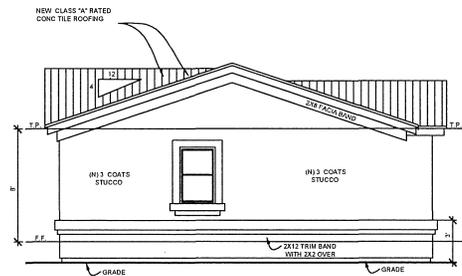
**K VENEER ATTACHMENT DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

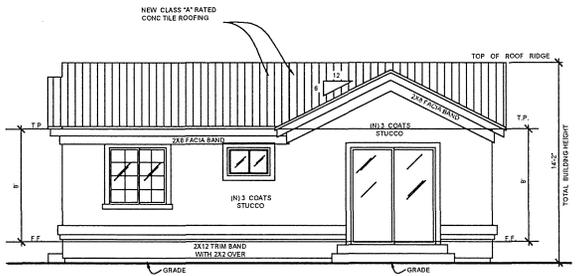
- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY RESIAR DESIGN CATEGORY E).
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOOR, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DISCREPANCY APPEAR BETWEEN SCALE MEASUREMENTS AND FIGURES OR BETWEEN WORDS OF DESCRIPTION AND LETTERS OR DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS OR CONTRADICTION TO LETTERS OR DRAWINGS, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK, CONTRACTOR IS TO NOTIFY THE ARCHITECT.
- REMOVE AND OVERBONE. IN THE EVENT THAT AN ANNOTATION OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, QUANTIFY AND PRIOR TO THE COMMENCEMENT OF WORK, FAILURE TO DO SO WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND ITS SETBACKS, IT WILL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LOTS. ALL SITE PLANS, ACCORDANCE FOR REFERENCE AND SHOULD NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT.

**EXTERIOR BUILDING NOTES**

- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHEATHING AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 1" MEASURED VERTICALLY FROM:
- WHERE ROOF OUTLETS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPLASH BLOCK AND SHALL DRAIN WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE. ORDINANCE CLARIFY IF THERE ARE NEW OUTLETS AT NEW ADDITION



**REAR ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"

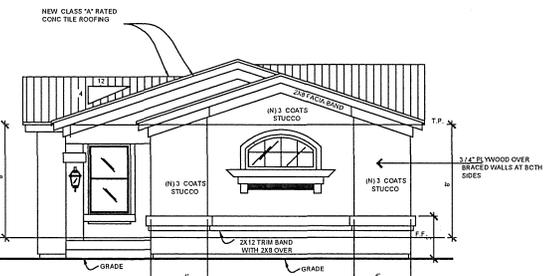


**RIGHT SIDE ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"

**IMPORTANT GRADING NOTE**  
THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5 PER CENT FOR A MIN. DISTANCE OF 10 FEET (1:02 MIN. RATIO)



**LEFT SIDE ELEVATION (SOUTH)**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"

**IMPORTANT GRADING NOTE**

THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5 PER CENT FOR A MIN. DISTANCE OF 10 FEET (1:02 MIN. RATIO)

**PROPOSED 2ND UNIT ELEVATIONS**

SCALE: 1/4" = 1'-0"

**REVISIONS**

DATE:

Professional Design Consultant  
2021 Newport Blvd, Suite 200  
Newport Beach, CA 92660  
(949) 841-7600



**OWNER**  
DALJIT KAUR  
1922 MAIN STREET  
SANTA CLARA, CA 95050  
PHONE: (199) 756-1311

**PROPOSED NEW SINGLE FAMILY RESIDENCE AND NEW REAR DETACHED ADU**

DATE: 05-15-2020  
SCALE: 1/4" = 1'-0"  
DRAWN: BIRA  
JOB:

**1a**

CP SHEETS





Agenda Report

21-1607

Agenda Date: 12/1/2021

**REPORT TO DEVELOPMENT REVIEW HEARING**

**SUBJECT**

Action on the 432 square-foot first floor addition and 1,276 square-foot second floor addition to a one-story single-family residence at 3885 Baldwin Drive

**File No.(s):** PLN2021-14941

**Location:**3885 Baldwin Drive, a 7,636 square feet lot on the northeast corner of Dawson Drive and Baldwin Drive; APN: 316-13-094; property is zoned Single-family Residential (R1-6L).

**Applicant:** Jeff Guinta

**Owner:** David and Penny Hull

**Request:** Revised project proposal for the Architectural Review of a 432 square feet first floor addition and a 1,276 square foot second floor addition to an existing 1,806 square foot 4 bedroom 2 bathroom one-story residence resulting in a 3,514 square foot 5 bedroom 1 office 4 bathroom two-story residence with an attached 550 square foot garage to remain.

**Project Data- see Attachment 2 for full-sized table**

Lot Size: 7,636 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor (sq. ft.)
First Floor	1,806	432	2,238
Second Floor	n/a	1,276	1,276
Garage	550		550
Porch	34	66	100
Gross Floor Area	2,390		4,755
Lot Coverage	2,390/7,636= 31		2,888/7,636 = 38
F.A.R.	2,390/7,636 = 0.		4,164/7,636 = 0.
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor	n/a		1,276/2,788=46%
Bedrooms/Baths	4/2		5/4
Flood Zone	X		X

**Points for consideration**

- The project was continued for redesign at the October 20, 2021 Development Review Hearing, the previous staff report and development plans are attached.

- The project has reduced the proposed new additional square footage on the first and second floor and has reduced the number of proposed bedrooms and bathrooms.
- The project includes a 432 square foot first floor addition and a 1,276 square foot second floor addition resulting in a two-story single-family residence with 5 bedrooms, 1 office, and 4 bathrooms.
- The prior proposal consisted of a 518 square foot first floor addition and a 1,823 square foot second floor addition resulting in a two-story single-family residence with 7 bedrooms, 1 office, and 4.5 bathrooms.
- The proposed addition to the residence will match the existing residence in material, with composition shingle roofing and stucco siding.
- The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

### **Findings supporting the Staff Recommendation**

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The proposal provides the required two covered parking spaces within an existing 550 square-foot garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The proposed new residence resulting in 5 bedrooms and 4 bathrooms would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed development is a two-story home that is more consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences with Craftsman style architecture.
  - The second floor massing has been reduced in scale and volume and includes greater offsets from the ground floor thereby reducing the overall massing of the structure.
- 4) *That the granting of such approval will not, under the circumstances of the particular case,*

*materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood as the proposed design of the subject property will have similar massing and height to the adjacent properties.

**Conditions of Approval:**

- 1) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard. Tree shall be planted prior to the final inspection by the Building division and verified by planning staff.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

**ENVIRONMENTAL REVIEW**

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

**FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

**PUBLIC CONTACT**

On November 19, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. No public comments have been received yet.

**RECOMMENDATION**

**Approve** the revised project proposal consisting of a 432 square feet ground floor addition and 1,276 second floor addition to an existing 1,806 square feet 4-bedroom and 2-bathroom two-story residence resulting in a two-story 3,514 square feet, 5-bedroom, 1-office, and 4-bathroom house with an existing 550 square feet attached garage for the property located at 3885 Baldwin Drive, subject to conditions.

Prepared by: Tiffany Vien, Assistant Planner, Community Development

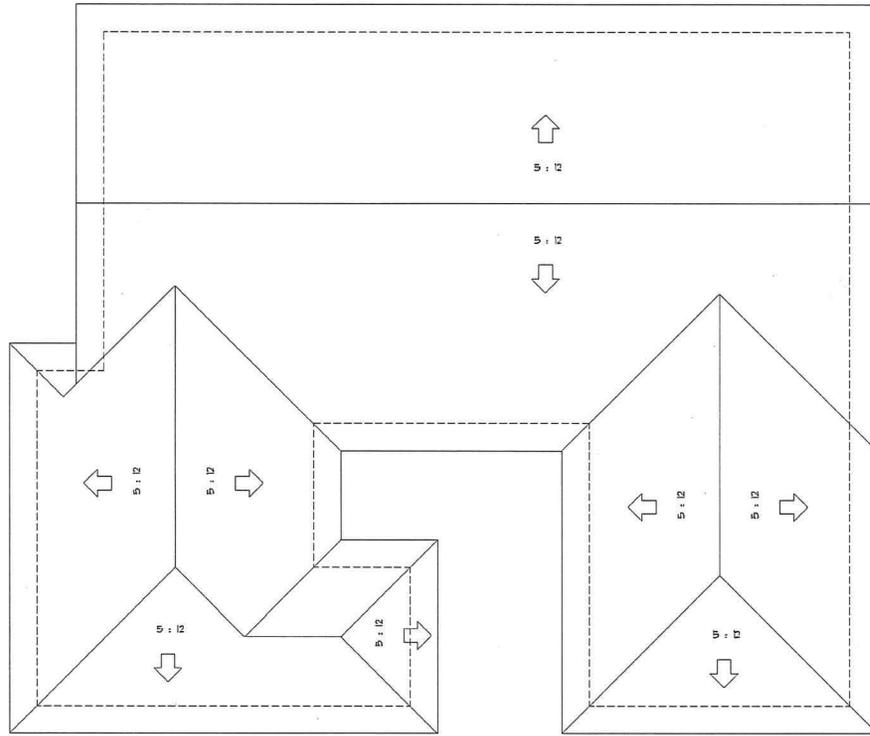
Approved by: Gloria Sciara, Development Review Officer, Community Development

**ATTACHMENTS**

1. Development Plan
2. Project Data
3. October 20, 2021 Development Plans
4. October 20, 2021 DRH Staff Report







EXISTING ROOF PLAN  
 1/4" = 1'-0"

Revisions	By


  
**INNOVATIVE CONCEPTS**  
 PROFESSIONAL BUILDING DESIGN AND PLANNING  
 2509 Stevens Creek, Redwood Shire, CA 94568  
 Redwood Shire, CA 94568 Phone: (916) 938-5100  
 Email: info@icdesign.net

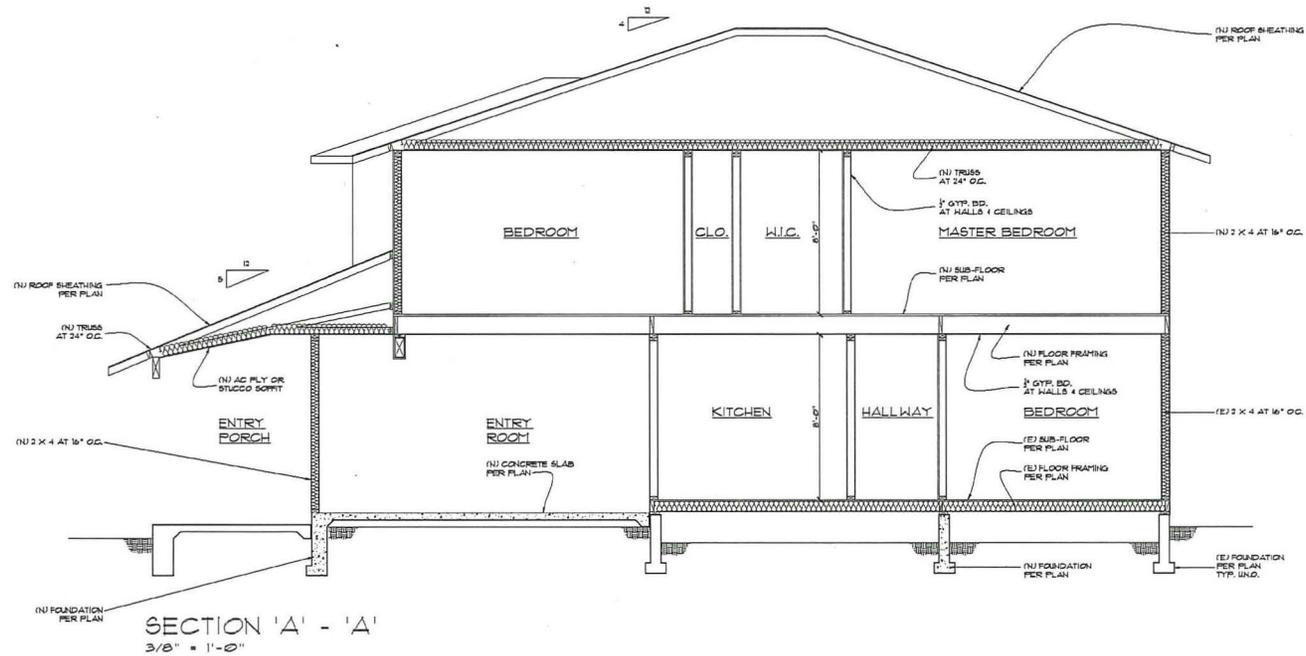
An Addition to:  
**The Hull Residence**  
 3085 Baldwin Dr  
 Santa Clara, CA 95051

Date	11/01/2021
Drawn	NOTED
Check	JAG

**A2**

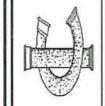






Revisions	By

**INNOVATIVE CONCEPTS**  
 1000 PERSONAL BUILDING DESIGN & PLANING  
 2000 Stevens Creek Boulevard Suite 200  
 San Jose, CA 95128  
 Tel: (408) 955-0310  
 Email: info@innovativeconcepts.com



An Addition to:  
**The Hull Residence**  
 2085 Baldwin Dr  
 Santa Clara, CA 95051

DATE	11/01/2021
REVISION	NOTED
BY	JAG

**A8**

**3885 Baldwin Drive: Project Data**

<b>Lot Size: 7,636 sq. ft.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>First Floor</b>	1,806	432	2,238
<b>Second Floor</b>	n/a	1,276	1,276
<b>Garage</b>	550		550
<b>Porch</b>	34	66	100
<b>Gross Floor Area</b>	2,390		4,755
<b>Lot Coverage</b>	$2,390/7,636 = 31\%$		$2,888/7,636 = 38\%$
<b>F.A.R.</b>	$2,390/7,636 = 0.31$		$4,164/7,636 = 0.55$
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	n/a		$1,276/2,788 = 46\%$
<b>Bedrooms/Baths</b>	4/2		5/4
<b>Flood Zone</b>	X		X

# AN ADDITION TO: The Hull Residence 3885 Baldwin Dr, Santa Clara, CA 95051

## SCOPE OF WORK:

ADD FIRST FLOOR FAMILY ROOM, HALF BATHROOM, AND EXTEND 2 BEDROOMS, CONVERT 1 BEDROOM TO OPEN OFFICE. ADD 2ND FLOOR, 2 BEDROOMS, 1 BATHROOM, LIBRARY, DEN AND BOYS ROOM WITH WET BAR, CREATE 2ND FLOOR UNCOVERED BALCONY.



VICINITY MAP

## GENERAL NOTES:

- The proposed residence is to be constructed by a Contractor and the architectural plans are based on site plans, exterior elevations, scaled floor plans and material construction specifications approved by the owner. The architectural plans are not intended to be comprehensive and it shall be the responsibility of the subcontractors to notify the Contractor of any necessary clarifications or modifications.
- All work connected with this project shall be done in a professional manner in accordance with the traditionally and legally defined "best accepted practice" of the trade involved. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work, including but not limited to the 2019 California Building Code (CBC), 2019 California Mechanical Code (CMC), 2019 California Fire Code (CFC), 2019 California Electrical Code (CEC), American Concrete Institute Code (ACI), 2019 California Plumbing Code (CPC) and all applicable local codes and/or legislation.
- The Contractor shall be responsible for notifying the Designer of any unusual or unforeseen foundation conditions, discrepancies of omissions within the plans or any deviations or changes from the plans before proceeding with the work. Involvement otherwise they will be considered adequate for proper completion of the project. The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.
- Adequate supervision and periodic inspection during the construction phase are recommended. The Contractor shall be responsible to ensure that this inspection and supervision are provided by qualified persons.
- These plans shall not be considered complete and ready for construction until a building permit has been issued.
- In all cases written dimensions take precedence over scaled dimensions. Dimensions are to the face of stud or face of concrete unless otherwise noted.
- Larger scale details take precedence over smaller scale details.
- Lay out all structural work by referring to dimensions and elevation notes on the architectural plans. Do not scale structural drawings work detail dimensions from controlling surface points and actual material dimensions.
- Slope finish exterior surface away from foundation.

## INDEX OF PAGES:

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EXISTING FLOOR PLAN	SHEET A1
EXISTING ROOF PLAN	SHEET A2
EXISTING ELEVATIONS	SHEET A3
PROPOSED FIRST FLOOR PLAN	SHEET A4
PROPOSED SECOND FLOOR PLAN	SHEET A5
PROPOSED ROOF PLAN	SHEET A6
PROPOSED ELEVATIONS	SHEET A7

## PROJECT DESCRIPTION:

BUILDING OCCUPANCY	: R-3/U
TYPE OF CONSTRUCTION	: V-B
STORIES	: 1
YEAR BUILT/EFF	: 1958
LOT SIZE	: 7,636 SF
ZONING	: R1
<b>EXISTING BUILDING AREA</b>	
(E) HOUSE	: 1,806 SF
(E) GARAGE	: 596 SF
(E) PORCH	: 34 SF
(E) SHED	: 120 SF
(F)	
TOTAL	: 2,556 SF
2,556 / 7,636	= 0.335 (33.5%)
<b>PROPOSED BUILDING AREA</b>	
(E) HOUSE	: 1,806 SF
(E) GARAGE	: 596 SF
(N) 1ST FLOOR ADDITIONS	: 518 SF
(N) ENTRY PORCH	: 12 SF
(N) 2ND FLOOR	: 1,823 SF
(N) 2ND FLOOR BALCONY	: 32 SF
TOTAL	: 4,787 SF
4,787 / 7,636	= 0.627 = 62.7%
<b>PROPOSED BUILDING FOOTPRINT</b>	
PROPOSED 1ST FLOOR	: 2,932 SF
<b>2ND FLOOR TO 1ST FLOOR RATIO</b>	
PROPOSED 2ND FLOOR	: 1,823 SF
1,823 / 2,932	= 0.621 = 62.1%

## ABBREVIATIONS:

### WINDOW ABBREVIATIONS:

3030	-	3'-0" X 3'-0"
CT	-	CIRCLE TOP
SLDR	-	HORIZONTAL SLIDER
CSMT	-	CASEMENT
FIX	-	FIXED
SL	-	SIDELIGHT
TEMP	-	TEMPERED GLASS
HC	-	HALF CIRCLE
SH	-	SINGLE HUNG
DH	-	DOUBLE HUNG
ARCH	-	ARCHED
EGRESS	-	EGRESSIBLE WINDOW
		SEE NOTE BELOW

### DOOR ABBREVIATIONS:

210	-	2'-0" WIDE X 6'-8" TALL
		UNLESS OTHERWISE NOTED
3080	-	3'-0" WIDE X 8'-0" TALL
3070	-	3'-0" WIDE X 7'-0" TALL
3068	-	3'-0" WIDE X 6'-8" TALL

CL	-	CENTERLINE
DIM	-	DIMENSION
EL	-	ELEVATION
(E)	-	EXISTING
F.A.	-	FINISH FLOOR
G.C.	-	GENERAL CONTRACTOR
NEU	-	NEW
N.T.S.	-	NOT TO SCALE
R.O.	-	ROUGH OPENING
PL	-	PROPERTY LINE
T.O.S.	-	TOP OF SLAB
TYP.	-	TYPICAL
UNO.	-	UNLESS NOTED OTHERWISE
V.I.F.	-	VERIFY IN FIELD

## LEGEND:

### WALL LEGEND:

	-	EXISTING WALL TO REMAIN
	-	EXISTING WALL REMOVED
	-	NEW WALL CONSTRUCTION

	-	SECTION CUT
		SECTION NAME
		SECTION PAGE

	-	DIMENSIONAL REFERENCE
		/ELEVATION

	-	REVISION
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	-	REVISION CLOUD
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	-	DETAIL NUMBER
		PAGE

	-	ROOF PITCH
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Revisions	By

INNOVATIVE CONCEPTS  
PROFESSIONAL BUILDING DESIGN AND PLANNING  
3500 Stevens Canyon Boulevard Suite 225  
Santa Clara, CA 95051  
Phone: (408) 545-1079 Fax: (408) 545-1343  
E-Mail: info@innovativeconcepts.com



An Addition to:  
The Hull Residence  
3885 Baldwin Dr  
Santa Clara, CA 95051

Date	07/16/2021
Notes	NOTED
Form	TR
Job	
Sheet	





















Agenda Report

21-1378

Agenda Date: 10/20/2021

**REPORT TO DEVELOPMENT REVIEW HEARING**

**SUBJECT**

Action on the 518 square-foot first floor addition and 1,823 square-foot second floor addition to a one-story single-family residence at 3885 Baldwin Drive

**File No.(s):** PLN2021-14941

**Location:** 3885 Baldwin Drive, a 7,636 square feet lot on the northeast corner of Dawson Drive and Baldwin Drive; APN: 316-13-094; property is zoned Single-family Residential (R1-6L).

**Applicant:** Jeff Guinta

**Owner:** David and Penny Hull

**Request:** Architectural Review of a 518 square feet first floor addition and a 1,823 square foot second floor addition to an existing 1,806 square foot 4 bedroom 2 bathroom one-story residence resulting in a 4,147 square foot 7 bedroom 1 office 4.5 bathroom two-story residence with an attached 596 square foot garage to remain.

**Project Data- see Attachment 2 for full-sized table**

Lot Size: 7,636 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor (sq.ft.)
First Floor	1,806	518	2,324
Second Floor	n/a	1,823	1,823
Garage	596		596
Porch	34	-22	12
Shed	120	-120	0
Gross Floor Area	2,556		4,755
Lot Coverage	2,556/7,636= 33%		2,932/7,636 = 38%
F.A.R.	2,556/7,636 = 0.33		4,755/7,636 = 0.62
% of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor	n/a		1,823/2,920=62%
Bedrooms/Baths	4/2		7/4.5
Flood Zone	X		X

**Points for consideration**

- The project includes a 518 square foot first floor addition and an 1,823 square foot second

floor addition resulting in a two-story single-family residence with 7 bedrooms, 1 office, and 4.5 bathrooms.

- The proposed addition to the residence will match the existing residence in material, with composition shingle roofing and stucco siding.
- The project site is located in FEMA Flood Zone X, which is considered a moderate to low risk area.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

### **Findings supporting the Staff Recommendation**

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The proposal provides the required two covered parking spaces within an existing 596 square-foot garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The proposed new residence resulting in 7 bedrooms and 4.5 bathrooms would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood which consists of both one- and two-story residences with Craftsman style architecture.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the*

*set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*

- The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood as the proposed design of the subject property will have similar massing and height to the adjacent properties.

**Conditions of Approval:**

- 1) The garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard. Tree shall be planted prior to the final inspection by the Building division and verified by planning staff.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

**ENVIRONMENTAL REVIEW**

Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

**FISCAL IMPACT**

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

**PUBLIC CONTACT**

On October 7, 2021, a notice of public hearing of this item was posted 300 feet of the project site and mailed to property owners within 300 feet of the project site. Public comments received on this item are attached to this report.

**RECOMMENDATION**

**Approve** the 518 square feet ground floor addition and 1,823 second floor addition to an existing 1,806 square feet 4-bedroom and 2-bathroom two-story residence resulting in a two-story 4,147 square feet, 7-bedroom, 1-office, and 4.5-bathroom house with an existing 596 square feet attached

garage for the property located at 3885 Baldwin Drive, subject to conditions.

Prepared by: Tiffany Vien, Assistant Planner, Community Development Department

Approved by: Gloria Sciara, Development Review Officer, Community Development Department

**ATTACHMENTS**

1. Development Plan
2. Project Data

# AN ADDITION TO: The Hull Residence 3885 Baldwin Dr, Santa Clara, CA 95051

## SCOPE OF WORK:

ADD FIRST FLOOR FAMILY ROOM, HALF BATHROOM, AND EXTEND 2 BEDROOMS, CONVERT 1 BEDROOM TO OPEN OFFICE. ADD 2ND FLOOR, 2 BEDROOMS, 1 BATHROOM, LIBRARY, DEN AND BOYS ROOM WITH WET BAR, CREATE 2ND FLOOR UNCOVERED BALCONY.



VICINITY MAP

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EXISTING ELEVATIONS	SHEET A3
PROPOSED FIRST FLOOR PLAN	SHEET A4
PROPOSED SECOND FLOOR PLAN	SHEET A5
PROPOSED ROOF PLAN	SHEET A6
PROPOSED ELEVATIONS	SHEET A7

## PROJECT DESCRIPTION:

BUILDING OCCUPANCY	: R-3/U
TYPE OF CONSTRUCTION	: V-B
STORIES	: 1
YEAR BUILT/EFF	: 1958
LOT SIZE	: 7,636 SF
ZONING	: R1
<b>EXISTING BUILDING AREA</b>	
(E) HOUSE	: 1,806 SF
(E) GARAGE	: 596 SF
(E) PORCH	: 34 SF
(E) SHED	: 120 SF
(F)	
TOTAL	: 2,556 SF
2,556 / 7,636	= 0.335 (33.5%)
<b>PROPOSED BUILDING AREA</b>	
(E) HOUSE	: 1,806 SF
(E) GARAGE	: 596 SF
(N) 1ST FLOOR ADDITIONS	: 518 SF
(N) ENTRY PORCH	: 12 SF
(N) 2ND FLOOR	: 1,823 SF
(N) 2ND FLOOR BALCONY	: 32 SF
TOTAL	: 4,787 SF
4,787 / 7,636	= 0.627 = 62.7%
<b>PROPOSED BUILDING FOOTPRINT</b>	
PROPOSED 1ST FLOOR	: 2,932 SF
<b>2ND FLOOR TO 1ST FLOOR RATIO</b>	
PROPOSED 2ND FLOOR	: 1,823 SF
1,823 / 2,932	= 0.621 = 62.1%

## GENERAL NOTES:

- The proposed residence is to be constructed by a Contractor and the architectural plans are based on site plans, exterior elevations, scaled floor plans and material construction specifications approved by the owner. The architectural plans are not intended to be comprehensive and it shall be the responsibility of the subcontractors to notify the Contractor of any necessary clarifications or modifications.
- All work connected with this project shall be done in a professional manner in accordance with the traditionally and legally defined "best accepted practice" of the trade involved. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work, including but not limited to the 2019 California Building Code (CBC), 2019 California Mechanical Code (CMC), 2019 California Fire Code (CFC), 2019 California Electrical Code (CEC), American Concrete Institute Code (ACI), 2019 California Plumbing Code (CPC) and all applicable local codes and/or legislation.
- The Contractor shall be responsible for notifying the Designer of any unusual or unforeseen foundation conditions, discrepancies of omissions within the plans or any deviations or changes from the plans before proceeding with the work. Involvement otherwise they will be considered adequate for proper completion of the project. The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.
- Adequate supervision and periodic inspection during the construction phase are recommended. The Contractor shall be responsible to ensure that this inspection and supervision are provided by qualified persons.
- These plans shall not be considered complete and ready for construction until a building permit has been issued.
- In all cases written dimensions take precedence over scaled dimensions. Dimensions are to the face of stud or face of concrete unless otherwise noted.
- Larger scale details take precedence over smaller scale details.
- Lay out all structural work by referring to dimensions and elevation notes on the architectural plans. Do not scale structural drawings work detail dimensions from controlling surface points and actual material dimensions.
- Slope finish exterior surface away from foundation.

## ABBREVIATIONS:

### WINDOW ABBREVIATIONS:

3030	-	3'-0" X 3'-0"
CT	-	CIRCLE TOP
SLDR	-	HORIZONTAL SLIDER
CSMT	-	CASEMENT
FIX	-	FIXED
SL	-	SIDELIGHT
TEMP	-	TEMPERED GLASS
HC	-	HALF CIRCLE
SH	-	SINGLE HUNG
DH	-	DOUBLE HUNG
ARCH	-	ARCHED
EGRESS	-	EGRESSIBLE WINDOW
		SEE NOTE BELOW

### DOOR ABBREVIATIONS:

2/0	-	2'-0" WIDE X 6'-8" TALL
		UNLESS OTHERWISE NOTED
3080	-	3'-0" WIDE X 8'-0" TALL
3070	-	3'-0" WIDE X 7'-0" TALL
3068	-	3'-0" WIDE X 6'-8" TALL

CL	-	CENTERLINE
DIM	-	DIMENSION
EL	-	ELEVATION
(E)	-	EXISTING
F.A.	-	FINISH FLOOR
G.C.	-	GENERAL CONTRACTOR
NEU	-	NEW
N.T.S.	-	NOT TO SCALE
R.O.	-	ROUGH OPENING
PL	-	PROPERTY LINE
T.O.S.	-	TOP OF SLAB
TYP.	-	TYPICAL
UNO.	-	UNLESS NOTED OTHERWISE
V.I.F.	-	VERIFY IN FIELD

## LEGEND:

### WALL LEGEND:

	- EXISTING WALL TO REMAIN
	- EXISTING WALL REMOVED
	- NEW WALL CONSTRUCTION

	- SECTION CUT
	SECTION NAME
	SECTION PAGE

	- DIMENSIONAL REFERENCE
	/ELEVATION

	- REVISION
	- REVISION CLOUD

	- DETAIL
	NUMBER
	PAGE

	- ROOF PITCH
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Revisions By

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An Addition to:  
The Hull Residence  
3885 Baldwin Dr  
Santa Clara, CA 95051

Date: 07/16/2021  
Scale: NOTED  
Form: TR  
Job:  
Sheet:

0



















**3885 Baldwin Drive Project Data**

<b>Lot Size: 7,636 sq. ft.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed Addition (sq. ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>First Floor</b>	1,806	518	2,324
<b>Second Floor</b>	n/a	1,823	1,823
<b>Garage</b>	596		596
<b>Porch</b>	34	-22	12
<b>Shed</b>	120	-120	0
<b>Gross Floor Area</b>	2,556		4,755
<b>Lot Coverage</b>	$2,556/7,636 = 33\%$		$2,932/7,636 = 38\%$
<b>F.A.R.</b>	$2,556/7,636 = 0.33$		$4,755/7,636 = 0.62$
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	n/a		$1,823/2,920 = 62\%$
<b>Bedrooms/Baths</b>	4/2		7/4.5
<b>Flood Zone</b>	X		X

**From:** [Jason C](#)  
**To:** [Tiffany Vien](#)  
**Subject:** Concerns about the planned project 3885 Baldwin Dr, santa clara  
**Date:** Monday, October 11, 2021 1:40:32 PM

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Dear Madam/Sir,

I am a house owner in the Westwood oaks community. I received a notice that there is a planned rebuilding project at 3885 Baldwin Dr, Santa Clara, a house close to my house. From the description of the project, the owner is trying to expand the house as much as possible, and they are trying to build a 8 room house, which is unusual in this neighborhood. As far as I know, there are many Airbnb houses in this neighborhood, since the community easy to communicate to anywhere in the south bay area, and walking distance to the headquarter of the Apple. More importantly, there is no airbnb regulation rules in Santa Clara City. Those airbnb houses have brought many issues to our communities, such as more traffic, crimes and bad people. These airbnb owners make money by sacrificing the safety and peace of our community. please refer the crime cases happened in our neighborhood because of airbnb houses.

<https://www.santaclaraca.gov/Home/ShowDocument?id=72635>

I am not saying that the owners of 3885 Baldwin Dr are going to airbnb their house for sure, but it is highly possible, unless they have solid reasons to build such a huge house in our neighborhood. Since Santa Clara city hasn't have airbnb regulation rules as other cities, there are many airbnb business owners target Santa Clara city. We have to do something to protect our city and our community.

I strongly against the current plan of this project, unless the owner changes his plan to reasonable footage and number of rooms.

Thanks a lot!

Jason

**From:** [Steve Xu](#)  
**To:** [Tiffany Vien](#)  
**Subject:** Re: 3885 Baldwin Drive Proposal Feedback  
**Date:** Saturday, October 09, 2021 9:32:33 PM  
**Attachments:** [image001.png](#)

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Hi Tiffany,

Thanks for sending me the plan! I have looked at the rear and right-side elevation. The rear side second floor has 4 windows and two are pretty large. They directly look into our backyard. Is it possible to adjust the windows to be 5 feet above the floor? I remember when we proposed development plan 9 years ago, that was the requirement. The right-side second floor has two windows, they directly look into one of our bedroom window. Is it possible to have them removed? At the very minimum, I hope they could be fixed (cannot be opened) and use frosted glass?

Please let me know if this is possible.

Thanks,  
Steve

On Friday, October 8, 2021, 10:20:50 AM PDT, Tiffany Vien <[tvien@santaclaraca.gov](mailto:tvien@santaclaraca.gov)> wrote:

Hello Steve,

I have attached their proposed development plans. Please let me know if you have any questions or comments!

Thank you,

**Tiffany Vien** | Assistant Planner I

Planning Division | Community Development Department

1500 Warburton Avenue | Santa Clara, CA 95050

O:408.615.2450



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**From:** [REDACTED]  
**Sent:** Wednesday, October 06, 2021 9:08 PM  
**To:** Tiffany Vien <[TVien@SantaClaraCA.gov](mailto:TVien@SantaClaraCA.gov)>  
**Subject:** 3885 Baldwin Drive Proposal Feedback

Dear Tiffany,

I am a neighbor of David and Penny Hall. I saw a new development proposal at 3885 Baldwin drive. The proposal only shows the front and left-side of the elevation graph. Is it possible to send me the back and left-side of the elevation graph as well? I would like to make sure that there is no second floor window directly facing our backyard. This is to protect our privacy.

Thanks,

Steve

10/12/2021

Dear Planning Committee members,

We received the notice of the Development Review Hearing regarding the 3885 Baldwin Drive addition proposal scheduled at 3:00pm on October 30<sup>th</sup>, 2021.

Under the proposal, 3885 Baldwin Drive will turn into a mansion with 4,147 square feet, 8 rooms, and 4.5 bathrooms. The enormous size of the house dwarfs the 1,508 median house size on Baldwin Drive. It is an outlandish mismatch with the surrounding community.

In addition, both the size of the house and the number of rooms go way beyond what a single family typically needs. If the 8 rooms are fully occupied, increased traffic and crowded street parking will be the neighborhood's daily norm.

More importantly, the excessive number of rooms caused grave concerns among our neighbors for future potential conversion into Airbnb short term rentals. The gunshots heard during a March 29<sup>th</sup>, 2021 arrest of an Airbnb renter at 371 Lowell Dr., a rental that had 9 rooms, still resonate in the minds of our community. Another Airbnb rental at 431 Lowell Dr. hosted loud overnight parties, and a neighbor's expensive bike was stolen during the same night. The high turnover and number of renters wreak havoc on the safe and quiet Westwood Oaks community. A 4,147 square feet, 8 room, 4.5 bathroom Airbnb rental down the road should not be permitted at the planning stage.

Please kindly revise the size and room number of the proposed addition at 3885 Baldwin Drive.

Sincerely Yours,

Xiuduan Fang

Owners of [REDACTED] Giannini Dr Santa Clara

