



City of Santa Clara

Meeting Agenda

Development Review Hearing

Wednesday, July 8, 2026

4:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

- o Via Zoom:
- o <https://santaclaraca.zoom.us/j/92950218717>
Meeting ID: 929 5021 8717
- o Phone: 1 (669) 900-6833

How to Submit Written Public Comment Before Development Review Hearing Meeting:
By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

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CALL TO ORDER AND ROLL CALL

26-754 [Declaration of Procedures](#)

CONSENT CALENDAR

1. 26-752 [Development Review Hearing Meeting Minutes of June 17, 2026](#)

Recommendation: Approve the Development Review Hearing Meeting Minutes of the June 17, 2026, meeting.

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

GENERAL BUSINESS

2. 26-651 [Public Hearing: Action on the Architectural Review \(PLN25-00483\) to Allow a New Second Floor Approximately 800 Square Foot Accessory Dwelling Unit to an Existing Single-Family Residence located at 746 Woodhams Road. CEQA Status: Exempt from CEQA per Section 15303.](#)

Recommendation: Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), and Approve the Architectural Review to allow a new second floor approximately 800 square foot accessory dwelling unit addition to an existing single-family residence, located at 746 Woodhams Road, subject to the findings and conditions of approval.

3. **26-665** [Public Hearing: Action on the Architectural Review \(PLN26-00130\) for a 977 Square Foot Single-Story Addition to an Existing 1,176 Square Foot One-Story Residence Resulting in a 2,153 Square Foot One-Story Residence Located at 1205 Janice Drive. CEQA Status: Exempt from CEQA per Section 15301\(e\)\(1\) \(Class 1 -- Existing Facilities\).](#)

Recommendation: Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a 977 Square Foot Single-Story Addition to an Existing 1,176 Square Foot One-Story Residence Resulting in a 2,153 Square Foot One-Story Residence, located at 1205 Janice Drive, subject to the findings and conditions of approval.

4. **26-713** [Public Hearing: Action on an Architectural Review \(PLN26-00182\) for the Demolition of an Existing Structure for the Construction of a 2,225 Square Foot Four-Bedroom, Three-and-a-Half-Bathroom Two-Story Single-Family Residence with an Attached 489 Square Foot Garage and a 798 Square Foot Attached Accessory Dwelling Unit on a 5,942 Square Foot Lot at 2331 Castro Place. CEQA Status: Exempt from CEQA per Section 15332.](#)

Recommendation: Based on the project's consistency with the Zoning Code, Santa Clara City Code and the Single Family Design Guidelines, staff recommends the Development Review Officer approve the project as follows:

1. **Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill Development Projects), and
2. **Approve** the Architectural Review for the demolition of an existing structure for the construction of a 2,225 square foot four-bedroom, three-and-a-half-bathroom two-story single-family residence with an attached 489 square foot garage and a 798 square foot attached accessory dwelling unit at 2331 Castro Place, subject to the conditions of approval.

5. **26-714** [Public Hearing: Action on an Architectural Review \(PLN26-00258\) to Demolish an Existing One-Story Residence and Construct a New 2,917 Square Foot Two-Story Three-Bedroom, Four-Bathroom Single-Family Residence with a 420 Square Foot Attached Garage and a 315 Square Foot Attached Accessory Dwelling Unit on a 5,000 Square Foot Lot at 3074 McKinley Drive. CEQA Status: Exempt from CEQA per Section 15303.](#)

Recommendation: Based on the project's consistency with the Zoning Code, the Santa Clara City Code and the City's Single-Family & Duplex Residential Design Guidelines, staff recommends that the Development Review Officer approve the project as follows:

1. **Determine** the project to be exempt from the California Environmental Quality Act ("CEQA") formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) and
2. **Approve** the Architectural Review to demolish an existing one-story residence and construct a new 2,917 square foot two-story three-bedroom, four-bathroom single family residence with a 420 Square Foot attached garage and a 315 square foot attached accessory dwelling unit at 3074 McKinley Drive, subject to the conditions of approval.

6. **26-652** [Public Hearing: Action on the Architectural Review \(PLN26-00029\) to Allow for the Full Demolition of an Existing Single-Family Residence and the Construction of a New Approximately 2,675 Square Foot Single-Family Residence With an Attached Second-Story Accessory Dwelling Unit located at 754 Ridge Road. CEQA Status: Exempt from CEQA per Section 15303.](#)

Recommendation: Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), and Approve the Architectural Review to allow the full demolition of an existing single-family residence and the construction of a new approximately 2,675 square foot two-story single-family residence, located at 754 Ridge Road, subject to the findings and conditions of approval.

ADJOURNMENT

The next regular scheduled meeting is August 19, 2026 in the City Hall Council Chambers and via Zoom.

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

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City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
@SantaClaraCity

Agenda Report

26-754

Agenda Date: 7/8/2026



**City of
Santa Clara**
The Center of What's Possible

DEVELOPMENT REVIEW HEARING DECLARATION OF PROCEDURES

The Hearing Officer for this agenda will be Sheldon Ah Sing on behalf of and delegated by the Director of Community Development Afshan Hamid.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.

The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
@SantaClaraCity

Agenda Report

26-752

Agenda Date: 7/8/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Development Review Hearing Meeting Minutes of June 17, 2026

RECOMMENDATION

Approve the Development Review Hearing Meeting Minutes of the June 17, 2026, meeting.



City of Santa Clara

Meeting Minutes

Development Review Hearing

06/17/2026

4:00 PM

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CALL TO ORDER AND ROLL CALL

Development Review Officer Sheldon Ah Sing called the meeting to order at 4:00 p.m. The meeting was held in the Sparacino Conference Room.

[26-689](#) Declaration of Procedures

Development Review Officer Sheldon Ah Sing read the Declaration of Procedures.

CONSENT CALENDAR

1. [26-687](#) Development Review Hearing Meeting Minutes of May 13, 2026

Recommendation: Approve the Development Review Hearing Meeting Minutes of the May 13, 2026, meeting.

Action: Development Review Officer Sheldon Ah Sing approved the consent calendar.

PUBLIC PRESENTATIONS

None.

GENERAL BUSINESS

1. [26-621](#) Public Hearing: Action on the Architectural Review (PLN26-00121) for the Demolition of an Existing One-Story Residence and the Construction of a new 4,829 Square-Foot Two-Story Residence located at 108 Brookside Avenue. CEQA Status: Exempt from CEQA per Section 15303 (Class 3 -- New Construction). Continued from the May 13, 2026, Development Review Hearing.

Recommendation:

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for the demolition of an existing one-story residence and the construction of a new 4,829 square-foot two-story residence with four bedrooms and three and a half bathrooms, located at 108 Brookside Avenue.

Associate Planner Daniel Sobczak provided the staff presentation.

Bess Wiersema (Applicant) spoke about the changes made to the project from the May 13, 2026, Development Review Hearing.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved the staff recommendation.

2. [26-623](#) Public Hearing: Action on the Architectural Review (PLN26-00008) for the Demolition of an Existing One-Story Residence and the Construction of a New 2,050 Square-Foot One-Story Residence Located at 717 Flannery Street. CEQA Status: Exempt from CEQA per Section 15303 (Class 3 - New Construction). Continued from the May 13, 2026, Development Review Hearing.

Recommendation:

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction"), and **Approve** the Architectural Review for the demolition of an existing one-story residence and the construction of a new three bedroom two and a half bathroom 2,050 square-foot one-story residence

Associate Planner Daniel Sobczak provided the staff presentation.

Ramin Zohoor (Applicant) spoke about the changes made to the project, and how they were addressing the concerns from the May 13, 2026, Development Review Hearing.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved the staff recommendation.

3. [26-624](#) Public Hearing: Adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program (MMRP) and Action on the Architectural Review (PLN24-00633) for the Demolition of Existing Buildings and Construction of 147 Units in Seven Four-Story Stacked Flat Condos and Seven Three-Story Attached Townhomes Buildings and a 4,991 Square-Foot Commercial Building Located at 3521 and 3591 Homestead Road, Subject to Senate Bill (SB) 330.

Recommendation: **Adopt** the Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program (MMRP) based on findings and **Approve** the Architectural Review for the demolition of the existing buildings for the construction of a 147-unit residential mixed-use project that includes 90 four-story stacked condos and 57 three-story townhome units and 4,991 square-foot commercial building.

Associate Planner Meha Patel provided the staff presentation.

Jim Sullivan (Applicant) provided a presentation.

Public Speakers:

Public Speaker
HOA President of of Bing Townhomes
Steve Kelly
Linda
Vince
Rita
Krishna

Development Review Officer Sheldon Ah Sing announced there were technical difficulties with Zoom during this portion of the meeting.

Development Review Officer Sheldon Ah Sing inquired about how the commercial space would be marketed, and pending action items.

Associate Planner Meha Patel replied that the pending action item is the map that requires City Council approval.

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation with the added conditions to: (1) have windows in the garage door; (2) improve the landscape plan adjacent to buildings 10 and 11.

4. [26-614](#) Public Hearing: Action on the Architectural Review (PLN24-00533) for the Demolition of Existing Buildings and Construction of Three Separate Multi-Family Buildings Resulting in 14 Townhomes and a Duplex Building With Commercial Space Located at 860 and 858 Civic Center Drive and 1526 Alviso Street. CEQA Status: Exempt from CEQA per Assembly Bill (AB) 130.

Recommendation: **Determine** the project to be exempt from California Environmental Quality Act (CEQA) pursuant to AB 130 and **Approve** the Architectural Review for the demolition of existing buildings and construction of three separate multi-family buildings, including an eight-unit 20,672 square-foot building, a six-unit 15,323 square-foot building, and a two-unit 6,012 square-foot building with 715 square-foot commercial space, located at 860 and 858 Civic Center Drive and 1526 Alviso Street, subject to findings and conditions of approval.

Associate Planner Meha Patel provided the staff presentation.

Kurt Anderson (Applicant) provided a presentation.

Public Speakers:

Mike Fisher
Kerin Chen
Shirly Fisher
Jane Chester

Development Review Officer Sheldon Ah Sing inquired about pending action items for the project.

Associate Planner Meha Patel replied that the map requires City Council approval.

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

5. [26-619](#) Public Hearing: Action on the Architectural Review (PLN26-00162) for a 245 Square Foot First Floor Addition and 1,146 Square Foot Second Floor Addition to an Existing One-Story Residence Resulting in a 3,319 Square Foot Five Bathroom Four Bedroom Two-Story Residence located at 2250 Bohannon Drive. CEQA Status: Exempt from CEQA per Section 15301 (Class 1 - Existing Facilities).

Recommendation:

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a 245 Square Foot First Floor Addition and 1,146 Square Foot Second Floor Addition to an Existing One-Story Residence Resulting in a 3,319 Square Foot Five Bathroom Four Bedroom Two-Story Residence located at 2250 Bohannon Drive

Associate Planner Daniel Sobczak provided the staff presentation.

Kunal Sunil Chawla (Applicant) spoke about the project.

Public Speaker:

Ellie Barbosa

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

6. [26-625](#) Public Hearing: Action on the Architectural Review (PLN24-00521) for Demolition of the Existing 1,198 Square Foot One-Story Residence and the Construction of a New 3,817 Square Foot Two-Story Residence at 4435 Fillmore Street Located Within 200 Feet of Two Historic Resource Inventory Properties. CEQA Status: Exempt from CEQA per Section 15332 - In-Fill Development Projects.

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 - Infill; and **Approve** the Architectural Review for a demolition of the existing 1,198 square-foot residence and the construction of a 3,327 square-foot five-bedroom and four-bathroom two-story residence located at 4435 Fillmore Street, subject to findings and conditions of approval.

Associate Planner Meha Patel provided the staff presentation.

Daniel Warren (Applicant) spoke about the project.

Public Speakers: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

7. [26-501](#) Public Hearing: Action on an Architectural Review (PLN26-00079) for the Demolition of More than 50% of an Existing Single-Family Residence to Construct a 2,387 Square Foot Four-Bedroom Three-Bathroom Single Family Residence with an Attached Two-Car Garage on a 7,840 Square Foot Lot at 2035 Jackson Street. CEQA Status: Exempt from CEQA per Section 15332.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and **Approve** the Architectural Review for the demolition of more than 50% of an existing single-family residence to construct a 2,387 square foot four bedroom three-bathroom single family residence with an attached two-car garage, subject to the conditions of approval.

Associate Planner Alex Tellez provided the staff presentation.

Minh Pham (Applicant) spoke about the project.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

8. [26-606](#) Public Hearing: Action on an Architectural Review (PLN25-00453) for the Construction of a 117 Square Foot First-Floor Addition and a 957 Square Foot Second-Floor Addition to an Existing 1,749 Square Foot Single Family Residence on a 5,338 Square Foot Lot at 2693 Toledo Avenue. CEQA Status: Exempt from CEQA per Section 15332.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and **Approve** the Architectural Review for the construction of a 117 square foot first-floor addition and a 957 square foot second-floor addition to an existing 1,749.5 square foot single story residence with an attached two-car garage, subject to the conditions of approval.

Associate Planner Alex Tellez provided the staff presentation.

Bena Chang (Applicant) spoke about the project.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

9. [26-520](#) Public Hearing: Action on the Architectural Review (PLN26-00159) For a 1,093 Square Foot Single Story Addition to An Existing 1,388 Square Foot Single Story Residence With an Attached 459 Square Foot Garage Resulting in a 2,940 Square Foot Single Story Residence with Five Bedrooms and Four Bathrooms Located at 1013 Bluebird Avenue. CEQA Status: Exempt from CEQA per Section 15301(e)(1) (Class 1 -- Existing Facilities).

Recommendation: **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a for a 1,093 square foot single story addition to an existing 1,388 square foot single story residence with an attached 459 square foot garage resulting in a 2,940 square foot single story residence with five bedrooms and four bathrooms, located at 1013 Bluebird Avenue, subject to the findings and conditions of approval.

Development Review Officer Sheldon Ah Sing waived the staff and applicant presentation.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

10. [26-587](#) Public Hearing: Action on the Architectural Review (PLN25-00389) to Allow an Approximately 310 Square Foot First-Floor Addition and an Approximately 440 Square Foot Second-Floor Addition to an Existing Two-Story Single-Family Residence located at 852 Laurie Avenue. CEQA Status: Exempt from CEQA per Section 15303(a).

Recommendation: Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), and Approve the Architectural Review to allow for an approximately 310 square foot first-floor addition and an approximately 440 square foot second-floor addition to an existing two-story single-family residence, located at 852 Laurie Avenue, subject to the findings and conditions of approval.

Development Review Officer Sheldon Ah Sing waived the staff and applicant presentation.

Public Comments: **None.**

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

ADJOURNMENT

The meeting adjourned at 6:25 p.m.

The next regular scheduled meeting is on July 8, 2026, at 4 p.m. in the City Hall Council Chambers and via Zoom.

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Agenda Report

26-651

Agenda Date: 7/8/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN25-00483) to Allow a New Second Floor Approximately 800 Square Foot Accessory Dwelling Unit to an Existing Single-Family Residence located at 746 Woodhams Road. CEQA Status: Exempt from CEQA per Section 15303.

File No.: PLN25-00483
Location: 746 Woodhams Road
Applicant: Guanghong Ou
Owner(s): Minh Hang Vu
Request: **Architectural Review** to allow a new second floor approximately 800 square foot accessory dwelling unit addition to an existing single-family residence.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The project site is located on Woodhams Road between Fairlane Avenue and Stevenson Street and is in a primarily single-family neighborhood. North of the project site is a two-story multi-family development. Single-family detached residences are located to the east, west, and south of the project site. West of the project site are primarily single-story single-family residences and east of the project site are a mixture of single-story and two-story single-family residences. See Vicinity Map in Attachment 1.
- The project site currently contains a single-story single-family residence with an attached garage.
- Per the Santa Clara City Code (SCCC) 18.120.020(D)(1)(d), the request requires Architectural Review approval through a Development Review Hearing.
- The proposed project involves a new second story addition of approximately 800 square feet for an attached accessory dwelling unit (ADU). The attached ADU will be accessed by an exterior staircase located along the southern property line and towards the rear of the single-family residence. The proposed project has implemented privacy measures by partially enclosing the ADU entrance and incorporating frosted and high sill windows on the second floor.
- A new second story is allowed by the Santa Clara City Code pursuant to Chapter 18.10 (Residential Zones).
- The project is subject to the adopted Single-Family and Duplex Residential Design Guidelines (2014). The project is found consistent with these design guidelines in that the project:
 - Includes a setback from the second floor exterior wall to the first floor exterior wall,
 - The second-floor square footage is approximately 49% of the first floor square footage,

- which is less than the 66% noted in the design guidelines, and
- Incorporates high sill windows and a frosted window on the second floor to reduce privacy impacts to adjacent properties.
 - The design went through couple of rounds of revisions to ensure compliance with the SCCC and the Residential Guidelines. A previously proposed deck on the south side was reduced in size to primarily serve as the entrance to the ADU. The second floor was altered to meet the setback requirement of 10 feet from the property line. A horizontal wood siding material was added to the entryway element for the single-family residence to reduce the scale.
 - The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
 - There are no active City code enforcement cases for this property.
 - A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposed project is a second-story addition to an existing single-family residence located in a single-family neighborhood. The existing single-family residence has an existing two car garage which will remain. The existing two-car garage satisfies the city's parking requirement.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed project is a second story addition to an existing single-family residence located in a primarily single-family neighborhood. The nature of the proposed project is expected in single-family neighborhoods, and the proposed project is not anticipated to generate additional traffic.
 - The proposed project is designed to reduce privacy impacts to adjacent properties.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
 - The proposed project is located in a primarily single-family neighborhood with single-story residences (primarily to the west) and two-story residences (to the east). The Santa Clara City Code allows for two-story single-family residences within the associated zoning district.
 - With implementation of setbacks, stepbacks, and privacy measures, including high sill windows and a frosted window, the proposed project has taken measures to reduce privacy impacts to adjacent properties.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in*

the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:

- The proposed project is an addition to an existing single-family residence located in a single-family neighborhood. The proposed project does not alter the nature of the neighborhood as it is a single-family residence in a single-family neighborhood.

5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:

- The proposed project is subject to the City's adopted Single-Family and Duplex Residential Design Guidelines (2014). The project has incorporated the following into the project design:
 - A setback from the second-floor exterior wall to the first floor exterior wall to reduce the massing;
 - Ensuring the second-floor square footage is less than the first floor square footage (approximately 49%) which is less than the 66% as noted in the design guidelines; and
 - High sill windows and a frosted window on the second floor to reduce privacy impacts to adjacent properties.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), in that the proposed project involves an addition to an existing single-family residence in a residential zone.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed on June 25, 2026, to 142 property owners and tenants within a 300-foot radius of the project site, in addition to the residents who requested notification for this project. As of the writing of this report, planning staff has received five public comments for this application, which are attached to this report. The public comments raise the following concerns: 1) loss of privacy/privacy impacts, 2) bulk/scale of the 2nd story, and 3) neighborhood inconsistency/incompatibility.

To reduce privacy impacts, the proposed project incorporates high sill windows on the second floor and where a high sill window cannot be accommodated, the proposed project incorporates a frosted window. Furthermore, the proposed entrance to the accessory dwelling unit has been significantly reduced from prior iterations. To reduce the bulk and scale, the proposed project incorporates setbacks from the first floor exterior wall to the second floor exterior wall. Additionally, the square

footage for the proposed second floor is approximately 49% of the square footage of the first floor, which is less than the 66% as noted in the design guidelines. While two-story residences in single-family neighborhoods are allowed, second story proposals should be designed in a manner that is sensitive to the privacy of adjacent properties. The proposed project has incorporated the privacy measures noted in the design guidelines.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), and Approve the Architectural Review to allow a new second floor approximately 800 square foot accessory dwelling unit addition to an existing single-family residence, located at 746 Woodhams Road, subject to the findings and conditions of approval.

Prepared by: Tracy Tam, Associate Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Public Comments
5. Development Plans

Vicinity Map (Zoning) - 746 Woodhams Road



Zoning

Land Parcels

- MUNC - Mixed Use-Neighborhood Commercial
- OS - Parks/Open Space
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R3 - Medium Density Residential

Base Layers

Site Addresses

- Single
- Utility

Land Parcels

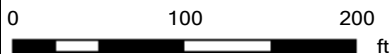
- Land Parcels
- Flood Control Easement
- Common Areas

Streets

-

Notes:

PLN25-00483



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance (SFR/Duplex)

Project Address: 746 Woodhams Avenue
Zoning: R1-6L

Project Number: PLN25-00483

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	5,253	5,253	6,000	Y
Building Square Footage (SF)				
1st Floor:	--	1,766	--	--
2nd Floor:	--	800	--	--
Porch/Patio:	--	81	--	--
Total (enclosed):	--	2,566	--	--
% of 2nd floor to 1st floor:	--	45%	66% max	Y
Building Coverage (%)				
Building Coverage (All):	--	39%	40% max	Y
Rear Yard Accessory Building Coverage:	--	18%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor):	25'-0"	25'-0"	20'-0"	Y
(2nd floor):	--	32'-6"	25'-0"	
Left Side (1st floor):	5'-0"	5'-0"	5'-0"	Y
(2nd floor):	--	10'-0"	10'-0"	
Right Side (1st floor):	5'-9"	5'-9"	5'-0"	Y
(2nd floor):	--	17'-0"	10'-0"	
Rear (1st floor):	22'-0"	22'-0"	20'-0"	Y
(2nd floor):	--	25'-4"	20'-0"	
Height (FT)				
Main building:	--	23'-4"	25'-0"	Y
# of Bedrooms/Bathrooms:	3/2	3/2	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				Y
Off-street	--	2	2	Y
Common Living Area (SFR)	--	34%	Min 25%	Y

Conditions of Architectural Review Approval

PLN25-00483 / 746 Woodhams Avenue

Architectural Review to allow a new second floor approximately 800 square foot accessory dwelling unit addition to an existing single-family residence.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is July 16, 2028.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DURING CONSTRUCTION

- P1. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P2. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- W1. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban

Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P3. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.

- P4. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.

- W2. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.

- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City’s Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

W = Sewer and Water

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

Tracy Tam

From: Qian Sun <sunqian715@gmail.com>
Sent: Saturday, December 27, 2025 5:51 PM
To: Tracy Tam <TTam@SantaClaraca.gov>
Subject: Request information on PLN25-00483

You don't often get email from sunqian715@gmail.com. [Learn why this is important](#)

Hi Tracy

We recently received a notice of development proposal PLN25-00483, 746 Woodhams Road, Santa Clara, CA. However, when I search on Permitting Online Portal (POP), I did not find the project.

Are you able to help me find more information about this project? Or if I did not search in the correct website, please let me know. As the adjacent rear neighbor, we want to ensure any privacy impacts to our backyard are adequately addressed and mitigated.

Thanks a lot!

Regards,
Qian

Tracy Tam

From: Kay Z <florence.kaiyi@gmail.com>
Sent: Tuesday, January 13, 2026 8:52 PM
To: Tracy Tam
Cc: margaret_hinebaugh@yahoo.com; Pat Zhang
Subject: Strong Opposition to Development Proposal PLN25-00483 – 746 Woodhams Road

You don't often get email from florence.kaiyi@gmail.com. [Learn why this is important](#)

Dear Tracy Tam, Associate Planner

I am writing regarding the Notice of Development Proposal for **PLN25-00483**, which proposes a second-story addition to an attached ADU at **746 Woodhams Road**. I live at **743 Hamilton Ln**, a single-story single-family home that directly faces the rear yard of the subject property.

After reviewing the proposal, I would like to state clearly and unequivocally that I **strongly oppose** the proposed second-story ADU.

The proposed second floor would create significant and unavoidable privacy impacts on adjacent properties, including ours. A second-story ADU would introduce elevated windows and sightlines that directly overlook our backyard and private space. Given the proximity between properties, this would represent a substantial loss of privacy compared to existing conditions, and these impacts cannot be adequately mitigated through fencing or landscaping.

The proposal is also incompatible with the established character of the neighborhood. The surrounding area consists predominantly of single-story single-family homes. A two-story ADU is out of scale with this pattern and would disrupt the visual continuity and residential character of the neighborhood. In addition, an ADU is intended to remain subordinate to the primary residence; however, a second-story ADU of approximately 800 square feet significantly increases the apparent height and mass of the accessory structure, making it visually prominent rather than accessory in nature.

Beyond privacy and scale, the proposed massing would negatively affect light, openness, and the overall sense of space currently enjoyed by neighboring properties. These qualities are fundamental to the livability of this single-story neighborhood and would be permanently altered by the introduction of a second-story ADU.

I also want to note that these concerns are shared by other nearby neighbors. The strong opposition to this proposal reflects broader neighborhood concern regarding privacy impacts, excessive scale, and inconsistency with the existing residential context.

For these reasons, I respectfully urge the City **not to approve** the proposed second-story ADU as currently designed. At a minimum, the project should be substantially revised to eliminate the second story and limit the ADU to a single-story configuration that is more consistent with the surrounding neighborhood.

Thank you for your time and consideration of my comments. I appreciate the opportunity to provide input on this proposal.

Sincerely,

Kay Wu

743 Hamilton Ln, Santa Clara CA

310-291-9656

Tracy Tam

From: Sanzhong Bai <sanzhong.bai@gmail.com>
Sent: Wednesday, January 14, 2026 9:44 AM
To: Tracy Tam
Subject: Formal Opposition to Proposed Second-Story Addition – PLN25-00483 – 746 Woodhams Road

You don't often get email from sanzhong.bai@gmail.com. [Learn why this is important](#)

Dear Tracy Tam,

I am writing to express my strong opposition to the proposed second-story addition at 746 Woodhams Road. As a resident of 739 Hamilton Ln, I am deeply concerned that this project, if approved, would fundamentally undermine the character of our neighborhood and cause irreparable harm to the privacy and value of adjacent properties.

I respectfully request that the Planning Division deny this proposal based on the following grounds:

1. Incompatibility with Neighborhood Character (Mass and Scale) Our immediate community consists almost exclusively of modest, single-story, single-family homes. The introduction of a two-story structure is entirely incongruous with the established architectural fabric of this block. According to the city's Residential Design Guidelines, new development must be compatible with the mass, scale, and height of surrounding homes. This proposal represents a drastic departure from that standard, creating a "looming" effect that is out of proportion with the streetscape.

2. Severe Violation of Privacy and Residential Amenity The transition from a single-story to a two-story residence directly adjacent to my property will result in a total loss of privacy for my backyard and interior living spaces. The height of the proposed structure will allow for a direct, downward line of sight into areas of my home that have been private for decades. This is a significant infringement on my right to the "quiet enjoyment" of my property—a core tenet of residential zoning.

3. Negative Precedent for the Community Approving a second-story addition in a block of single-story homes sets a damaging precedent. It encourages "mansionization" and the gradual erosion of the low-profile character that defines our neighborhood. I believe it is the City's responsibility to protect the integrity of established neighborhoods from developments that serve a single property owner at the expense of the collective community.

For the reasons stated above, this project is detrimental to the public welfare and inconsistent with the intent of the Santa Clara Single-Family Residential Design Guidelines. I urge the Planning Division and the Architectural Review committee to reject this application.

Thank you for your time and consideration of my feedback. I look forward to any further update.

Sincerely,

Sanzhong Bai
919-599-8468
739 Hamilton Ln, Santa Clara CA

Tracy Tam

From: Margaret Hinebaugh <margaret_hinebaugh@yahoo.com>
Sent: Wednesday, January 14, 2026 2:59 PM
To: Tracy Tam; Planning
Cc: florence.kaiyi@gmail.com
Subject: Please reject PLN25-00483 development proposal for 746 Woodhams Road

You don't often get email from margaret_hinebaugh@yahoo.com. [Learn why this is important](#)

Dear Tracy,

I would like to voice my strong opposition to the **PLN25-00483** development proposal for the property at 746 Woodhams Road in Santa Clara.

The proposed development will have negative impacts:

- Loss of Privacy: The second story will allow direct views into adjacent living spaces and back yards.
- Bulk and Scale: The proposed house is out of scale with the existing, predominantly single-story homes on small lots, creating a "mansionization" effect that is visually incompatible with the surrounding area.
 - Santa Clara city zoning code 18.02.020 A 5 indicates that Santa Clara intends to "maintain and enhance desirable characteristics of the neighborhoods." This proposed development will be out of place in the neighborhood.
 - 746 Woodhams Road is in zone R1-6L - Single Family, which is considered Very Low Density Residential. It is the intent of this zone to protect and preserve the residential characteristics of existing single-family neighborhoods.

There is a better option: Just five (5) doors down from this proposed development, the property at 720 Woodhams Road (permit # BLD23-70376) added a similar amount of new square footage (over 800 square feet) with an ADU on a similarly-sized small lot (~5,200 square feet). They were able to do so while keeping the residence and ADU as a single story, and keeping the aesthetic of the building completely in line with the surrounding neighborhood. It blends in perfectly.

I kindly request that the Santa Clara Planning Division:

- **Reject** the currently submitted development plans for 746 Woodhams Rd.
- **Request** that the property owner(s) of 746 Woodhams Rd. re-scope and resubmit their development plans, such that the development will remain a single-story building with ADU, similar in scope to what was done at 720 Woodhams Rd.
- Please send me a copy of the full plans and variance application for this development or direct me to where they are available to access.
- Please keep me informed of any/all public hearings concerning this proposed development.

Best regards,

Margaret Hinebaugh
740 Hamilton Lane, Santa Clara
(510) 815-8343

Tracy Tam

From: Timothy Freeman <tim_freepress@yahoo.com>
Sent: Wednesday, January 21, 2026 8:41 PM
To: Tracy Tam; Planning
Cc: Margaret Hinebaugh; florence.kaiyi@gmail.com
Subject: PLN25-00483, 746 Woodhams Rd. - neighborhood petition
Attachments: Neighbor Petition Regarding Proposed Second-Story ADU.pdf

You don't often get email from tim_freepress@yahoo.com. [Learn why this is important](#)

Dear Tracy and Planning Commission,

Attached is our neighborhood petition requesting that the city *not* approve the development at 746 Woodhams Rd. (PLN25-00483) as currently planned, and to limit the addition to a single-story house. The development plan looks more like an apartment building rather than a house in a low-density, residential neighborhood, and would be completely out of place if built as currently planned. A development similar to what was done at 720 Woodhams Rd. would be more appropriate.

Thank you for your consideration.

Tim Freeman
740 Hamilton Ln.

Neighbor Petition Regarding Proposed Second-Story ADU

Development Proposal PLN25-00483 – 746 Woodhams Road

We, the undersigned residents of the surrounding neighborhood, respectfully express our strong opposition to the proposed second-story addition intended to be used as an attached Accessory Dwelling Unit (ADU) at 746 Woodhams Road.

Our shared concerns include:

- Significant privacy impacts (elevated sightlines into neighboring rear yards and private outdoor spaces);
- Incompatibility with the predominantly single-story character and scale of the surrounding neighborhood;
- Excessive height and massing for an accessory use;
- Potentially establishing an undesirable precedent leading to cumulative changes that alter neighborhood character.

We respectfully urge the City to not approve the proposed second-story ADU as currently designed, and to require substantial modification such as limiting the ADU to a single-story configuration to better protect privacy and maintain neighborhood character.

Name(s)	Address	Email / Phone (optional)	Signature	Date
MUGHISUDDIN GURESHI	SANTA CLARA 729 HAMILTON LN, CA 95051	mughisg@gmail.com	(408) 759-1134	1/15/26
Ra'azia Gureshi	729 Hamilton Ln CA 95051	RaaziaG@gmail.com mughis	408-888-8986	1/15/26
Vernica Tinsu	703 Hamilton Ln	vmoreno401@yahoo.com	408-680-7305	1/15/26
K. Hawthorne	704 Hamilton Ln	slguitarist@sbcglobal.net	408 247 2684	1/15/26
R. Michelle Hawthorne	704 Hamilton Ln	reachmichelle@sbcglobal.net		1/15/26
GAIL CAETZ	722 HAMILTON LN.	xsubelt@gmail.com	(408) 781 4500	1/15/2026
BECKY JUNTADO	731 WOODHAMS RD S.C.		B. Quintas	1/17/2026
GANDER MAGHAR	740 WOODHAMS RD SANTA			1/17/26

Chenfan Zhang 720 WOODHAMS RD. CLARA berylangel@gmail.com 1/17/26
 Ashley Herrington 730 Hamilton Ln Ash.herrington@gmail.com 1/17/26

GENERAL NOTES

- 1. CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED AS A CONDITION OF THE CONTRACT TO ACQUAINT HIMSELF WITH THE MATERIALS CONTAINED IN THE GENERAL NOTES AND TO NOTIFY AND APPROVE ALL SUBMITTALS AND ALL OTHER PARTS OF THE CONTRACT OF AND FROM THE ACTUAL DRAWINGS OF THE BUILDING CONSTRUCTION ARE GENERATED FROM AS-BUILT DRAWINGS AND SHALL BE SUBJECT TO THE OBSERVATION BY THE ARCHITECT. ANY CONDITIONS MAY DIFFER FROM THOSE SHOWN.

CONTRACTOR USE OF PREMISES

- 1. CONSTRUCTION OPERATIONS INCLUDING STAGING AREAS SHALL BE LIMITED TO AREAS NOTED ON DRAWINGS OR AS AGREED TO BY THE OWNER AND AS PERMITTED BY THE AUTHORITY HAVING JURISDICTION. CONSTRUCTION WORK SHALL BE SCHEDULED TO BE PERFORMED DURING NORMAL BUSINESS HOURS ONLY UNLESS OTHERWISE AGREED TO BY THE OWNER AND AS PERMITTED BY THE AUTHORITY HAVING JURISDICTION.

STANDARDS AND CODES

- 1. REFER TO TITLE SHEET FOR APPLICABLE CODES.
2. ONE ALL NOTES AND COMPLY WITH ALL LOCAL ORDINANCES, CODES, RULES AND REGULATIONS REGARDING THE CONDUCT OF THE WORK. IF THE CONTRACTOR DISCOVERS THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH THE APPLICABLE CODES, RULES AND REGULATIONS, HE SHALL IMMEDIATELY NOTIFY THE PROJECT MANAGER AND ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS.

DIMENSION NOTES

- 1. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
A. TO FACE OF FRAMING
B. TO CENTER OF DOORS AND OTHER OPENINGS
C. TO TOP OF FINISHED FLOOR
D. TO BOTTOM OF FINISH AT CEILING
E. TO CENTER FACE OF FINISH MILL WORK TO WINDOW FRAME

LIGHTING NOTES

- 1. ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY (EPC 150 LUMENS).

MECHANICAL NOTES

- 1. REFER TO CAL GREEN SHEET FOR CALIFORNIA GREEN BUILDING STANDARDS REQUIREMENTS.
2. UNDERSTANDING NOTES: MECHANICAL SYSTEMS TO BE DISASSEMBLED GENERAL CONTRACTOR IS RESPONSIBLE FOR BRINGING ON DISASSEMBLED MECHANICAL SYSTEMS TO THE PROJECT, PERMITTING CODE COMPLIANCE AND INSTALLATION OF A FUNCTIONAL SYSTEM. DEVICES SHOWN ARE MEANT TO ILLUSTRATE AND NOT TO BE USED FOR ANY STRUCTURAL OR ELECTRICAL LAYOUT. IN CASE OF CONFLICT, THE ARCHITECT'S DRAWING SHOWING LOCATION FOR MECHANICAL ITEMS AND PENETRATIONS SHALL TAKE PRECEDENCE.

ELECTRICAL NOTES

- 1. REFER TO CAL GREEN SHEET FOR CALIFORNIA GREEN BUILDING STANDARDS REQUIREMENTS.
2. DRAWINGS AND DIAGRAMS FOR ELECTRICAL WORK SHALL BE CONSIDERED AS DIAGNOSTIC ONLY. NOT TO BE USED FOR ANY STRUCTURAL, GEOMETRIC OR PHYSICAL LAYOUT. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECT'S DRAWING SHOWING LOCATION FOR ELECTRICAL ITEMS AND PENETRATIONS SHALL TAKE PRECEDENCE.

PLUMBING NOTES

- 1. PROVIDE LABOR, MATERIAL, EQUIPMENT, AND SERVICES NECESSARY FOR THE INSTALLATION OF A COMPLETE PLUMBING SYSTEM WHERE SHOWN ON THE DRAWING AND AS NOTED HEREIN. THIS PLUMBING SYSTEM IS TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE INCLUDING BUT NOT LIMITED TO FIXTURES, HOT/COLD WATER AND GAS PIPING, SIZING AND VENT/INTAKE, WATER HEATING, PRESSURE REGULATION, PERMITS, WATER DRAINS, ETC. VERIFY ALL DRAWINGS AND OVERFLOW SYSTEMS THAT THE VENT/INTAKE AND DRAINAGE SYSTEMS, REFER TO PLAN BY THE CONTRACTOR OR LICENSED ENGINEER FOR ACTUAL LAYOUT AND SPECIFICATIONS.

HAZARDOUS MATERIALS

- 1. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR ANY OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB THEM. IMMEDIATELY NOTIFY THE OWNER, OWNER'S REPRESENTATIVE/AGENT AND ARCHITECT.

TESTING & INSPECTION

- 1. REFER TO T-24 REPORT FOR REQUIRED HOME INSPECTIONS.
2. GENERAL CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANCY.

APPROVAL STAMP

PER T-24, 181 W/P SYSTEM TO BE PROVIDED.
REQUIRED SPECIAL FEATURES:
NURS FEATURE SUMMARY:
SMOKE ALARMS - CRC 314
INITIAL SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH OCCUPANCY STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS.
CARBON MONOXIDE ALARMS - CRC 314
INITIAL CO ALARMS OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS.

T-24 NOTES

PER T-24, 181 W/P SYSTEM TO BE PROVIDED.
REQUIRED SPECIAL FEATURES:
NURS FEATURE SUMMARY:
SMOKE ALARMS - CRC 314
INITIAL SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH OCCUPANCY STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS.
CARBON MONOXIDE ALARMS - CRC 314
INITIAL CO ALARMS OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS.

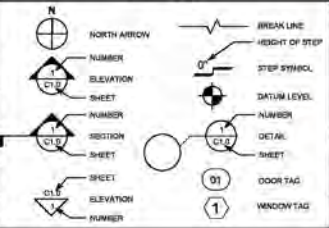
BIDDING AND/OR PRICING NOTES

- 1. CONTRACTOR SHALL REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS. ANY CONFLICTS OR DISCREPANCIES SHALL BE REPORTED IN WRITING. THE GENERAL CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT WORK IS BIDDABLE AS SHOWN.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Notes. Includes items like S.H. SINGLE HUNG, D.H. DOUBLE HUNG GLIDER, C.A. CASEMENT, etc.

SYMBOLS



746 WOODHAMS ADU

746 WOODHAMS RD, SANTA CLARA, CA 95051

PLANNING/ BUILDING PERMIT

09/16/2025



Approval Stamp:



COLLABORATIVE DESIGN STUDIO
Dublin, CA 94508
+1.415.799.1318
contact@cds-us.net
cds-us.net

CDS Project #

Project Contact: Guanghong Ou
Email: guanghong Ou@cds-us.net
Project Designer: Danny Cao
Email: danny.cao@cds-us.net

Project Designer:

Signature of Danny Cao

Danny Cao

PROJECT INFORMATION

SITE INFORMATION:
ADDRESS: 746 WOODHAMS RD, SANTA CLARA, CA 95051
APN #: 233-115-116
SCOPE OF WORK: NEW 800 SQ-FOOT ATTACHED ADU ABOVE AN EXISTING GARAGE WITH 2 BEDROOMS, 2 BATHROOMS, AND INTERIOR RENOVATION OF THE MAIN HOUSE WITH A NEW DOWNER, REDESIGNED KITCHEN, LIVING ROOM, DINING ROOM AREAS, NEW CABINETS, AND NEW LIGHTING AND HVAC SYSTEM.

ZONE: R-1.6
OCCUPANCY TYPE: R-3
CONSTRUCTION TYPE: SINGLE FAMILY
OPEN SPACE REQUIREMENTS: NO
ADDITIONAL PARKING REQUIREMENTS: NO
FIRE SPRINKLER: NO

APPLICABLE CODES

Table listing applicable codes: CALIFORNIA BUILDING CODE (2022), CALIFORNIA RESIDENTIAL BUILDING CODE (2022), CALIFORNIA ELECTRICAL CODE (2022), CALIFORNIA PLUMBING CODE (2022), CALIFORNIA MECHANICAL CODE (2022), CALIFORNIA ENERGY CODE (2022), CALIFORNIA GREEN BUILDING STANDARDS CODE (2022), ALL OTHER APPLICABLE LOCAL ORDINANCES.

PROPERTY SUMMARY

Table with 2 columns: Description and Area. Includes: EXISTING LOT AREA (9,251 SF), EXISTING HOUSE AREA (3,851 SF), EXISTING GARAGE AREA (400 SF), EXISTING STORAGE AREA (120 SF), PROPOSED ADU AREA (800 SF), PORCH AND STAIR AREA (180 SF), LOT COVERAGE (1,383 SF + 400 SF + 120 SF + 172 SF / 5,375 SF + 33%), EXISTING UTILITIES AREA (300 SF).

UNIT SUMMARY

Table with 2 columns: Description and Count. Includes: MAIN HOUSE (1), NUMBER OF EXISTING BEDROOMS (2), NUMBER OF PROPOSED BEDROOMS (4), NUMBER OF EXISTING BATHROOMS (2), NUMBER OF PROPOSED BATHROOMS (2).

VICINITY MAP



SHEET INDEX

Table listing sheet titles: NO. COVER SHEET, YES EXISTING SITE PLAN, NO PROPOSED SITE PLAN, NO NEIGHBORHOOD CONTEXT, YES EXISTING FLOOR PLAN, YES PROPOSED FLOOR PLAN, YES PROPOSED CEILING PLAN, YES PROPOSED CEILING PLAN, YES PROPOSED CEILING PLAN, YES PROPOSED CEILING PLAN, YES PROPOSED CEILING PLAN, YES PROPOSED CEILING PLAN, YES PROPOSED CEILING PLAN.

PLOT MAP



No. Date Description

Table with 3 columns: No., Date, Description. Includes: 1 09/16/2025 ISSUE FOR PERMIT, 2 09/16/2025 PLANNING PERMIT FC RESPONSE #1.

I is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contradiction through knowledge with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractor proceeding with the work. The client will be responsible for any delays in construction if these procedures are not followed.

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Scale: COVER SHEET

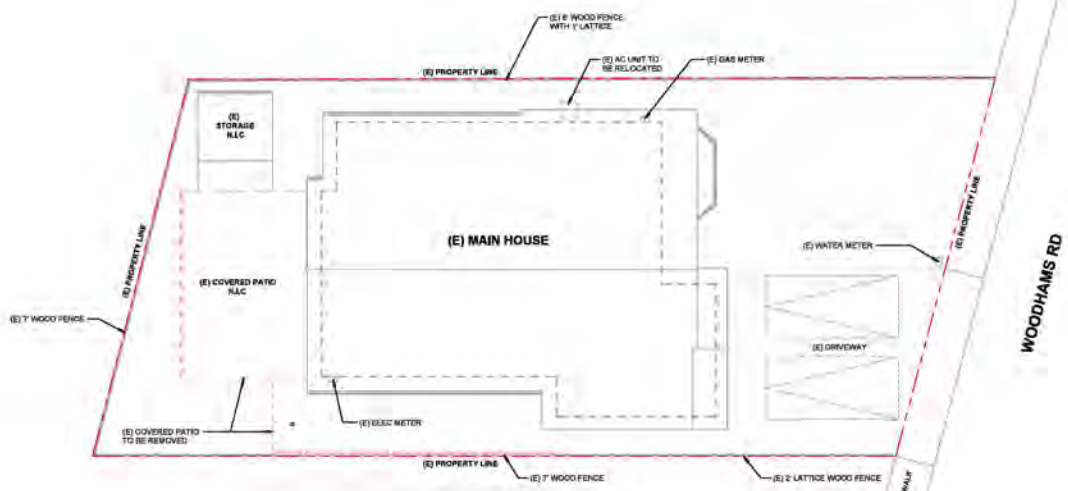
Sheet No: A0.0

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SCALE: 1/8" = 1'-0"

THIS DRAWING IS A PRELIMINARY DESIGN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.



EXISTING SITE PLAN 1
A0.6

- DEMOLITION NOTES:**
1. THE INTENT OF THE DEMOLITION WORK IS TO COMPLETE REMOVALS NECESSARY IN ORDER TO CONSTRUCT THE NEW WORK. THE REMOVAL NOTES ARE GENERAL IN NATURE AND IT SHALL BE UNDERSTOOD THAT IT IS NOT FEASIBLE TO SHOW EACH AND EVERY SPECIFIC REMOVAL. DEMOLITION DRAWINGS SHOULD NOT BE USED ALONE BUT SHOULD BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS. SEE STRUCTURAL DRAWINGS FOR CERTAIN ADDITIONAL WORK TO BE REMOVED, RE-USED, AND/OR REWIRED NOT MENTIONED HERE. UNLESS OTHERWISE NOTED, THE SCOPE OF WORK OUTLINED BY DEMOLITION NOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. PLEASE REFER TO PROJECT GENERAL NOTES ON SHEET A0.1 PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
 2. STRUCTURAL ITEMS SHOWN AS TO BE REMOVED ARE FOR REFERENCE ONLY. VERIFY APPROPRIATE SHOWING OR REINFORCEMENT CONDITIONS WITH STRUCTURAL DRAWINGS.
 3. ARCHITECT IS NOT RESPONSIBLE FOR THE REMOVAL/ADAPTMENT OF HAZARDOUS MATERIALS. THE CONTRACTOR TO PROVIDE REMOVAL/ADAPTMENT AT LOCATIONS NECESSARY. IN THE EVENT TOXIC MATERIALS ARE UNCOVERED GENERAL CONTRACTOR IS TO NOTIFY HEALTH & SAFETY AGENCIES OF THE GOVERNING JURISDICTION.
 4. DEMOLITION DRAWINGS SHOW REMOVALS BY GENERAL AND ARE BASED ON ORIGINAL DRAWINGS. THERE MAY HAVE BEEN CHANGES SINCE THAT DATE. CONTRACTORS SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE COMPLETE SCOPE OF REMOVAL/DEMOLITIONS AND TO FIELD VERIFY CONDITIONS.
 5. RESPECTIVE CONTRACTORS SHALL REMOVE PLUMBING, MECHANICAL, ELECTRICAL, OR MISCELLANEOUS AS REASONABLY INFERRED. CAP OR RECONNECT ALL EXISTING LINES AS REQUIRED.
 6. CONTRACTOR FOR GENERAL WORK SHALL REMOVE THE REMAINING PLUMBING, MECHANICAL, ELECTRICAL, OR MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN SUCH AS PIPES AND CONDUITS IN WALLS THAT HAVE BEEN DISCONNECTED AND REMAINING PORTIONS CAPPED OR RECONNECTED.
 7. THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT, ETC., INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTIONS WITH OWNER.
 8. DEMOLISHED MATERIAL, OR ITEMS REMOVED AND NOT SCHEDULED TO BE TURNED OVER TO THE OWNER SHALL BE REMOVED FROM THE SITE.
 9. CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH NATIONAL, STATE, AND/OR LOCAL REQUIREMENTS, AS APPROPRIATE.



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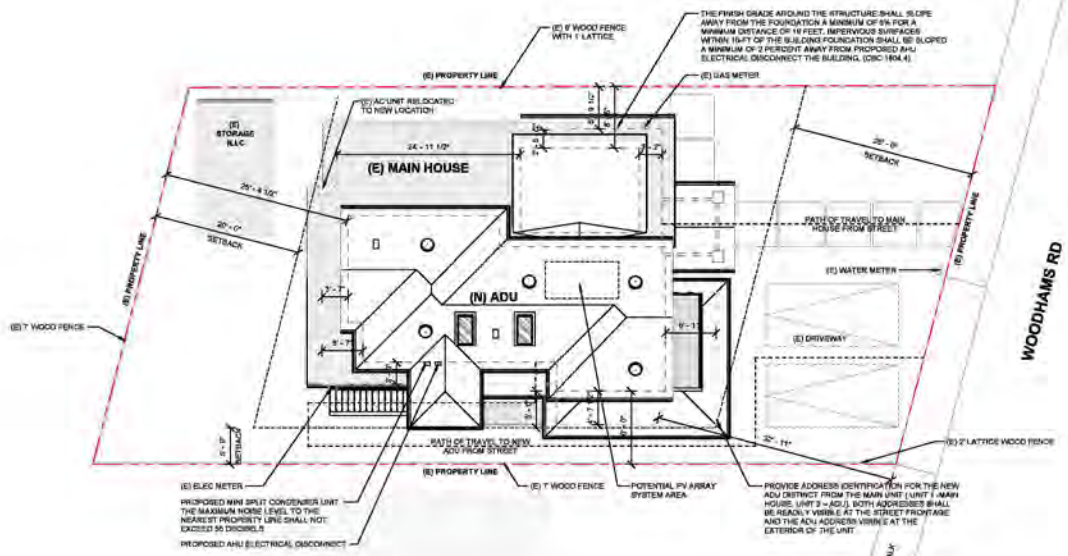
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Drawn By: DC Check By: DC
 Scale: 1/8" = 1'-0"
 Sheet Title: EXISTING SITE PLAN

Sheet No: **A0.6**



THIS DRAWING IS A PRELIMINARY DESIGN. THE CLIENT ACCEPTS THE DESIGNER'S RESPONSIBILITY FOR THE DESIGN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT DUE TO THE CLIENT'S FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT DUE TO THE CLIENT'S FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS.



PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"
1/80.7

NET PLAN NOTES:

- OBTAIN THE REQUIRED OFF-SITE PERMITS FOR ANY WORK IN THE PUBLIC RIGHT OF WAY.
- NOTE AND BUILDING STORM DRAINAGE SHALL BE CONDUCTED TO THE STREET STORM DRAINAGE SYSTEM IN AN APPROVED MANNER BY THE CITY ENGINEER.
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET ALLEY FRONTING THE PROPERTY.
- DIMENSIONS SHOWN ON THE SITE PLAN ARE MEASURED FROM THE EXTENSION FACE OF THE JOBS OF EXTERIOR WALLS. EXTERIOR WALL ASSEMBLY FINISH NOT TO EXCEED 2" MAX. SEE DETAILS FOR THE ACTUAL EXTERIOR WALL ASSEMBLY FINISH THICKNESS.
- PER CBC SECTION 302.12, WHERE INTERIOR NOISE LEVEL REQUIREMENTS ARE MET BY REQUIREMENTS THAT WOULD BE UNPRACTICAL OR LIKELY AN ALTERNATIVE METHOD OF SUPPLYING FRESH AIR (E.G. MECHANICAL VENTILATION) MUST BE PROVIDED. THIS APPLIES TO THE UNITS THAT HAVE SOUND-ATTENUATED WINDOWS. SEE THE SITE PLAN, ENVIRONMENTAL NOISE REPORT, AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
- FIRE SEPARATION DISTANCE IS MEASURED FROM THE BUILDING FACE OF STUD OR SUPPORT POST TO THE FIRE SEPARATION LINE. THE FIRE SEPARATION LINE IS EITHER (1) THE CLOSEST INTERIOR FINISH LINE (2) THE CENTERLINE OF THE STREET, ALLEY OR PUBLIC WAY. PER CBC SECTION 702. SEE NOTE AND RECORDING WALL FINISH THICKNESS IN RELATION TO MEASUREMENTS.
- AIR CONDITIONING CONDENSATE: CONDENSATE FROM AIR CONDITIONING UNITS SHALL BE DROUGHTED TO APPROPRIATELY SIZED LANDSCAPED AREAS OR THE GROUND. ALL ANTI-FALG OR DESCALING AGENTS MUST BE PROPERLY DROUGHTED OR ANY AIR CONDITIONING CONDENSATE THAT DISCHARGES TO LAND WITHOUT FLOWING TO A STORM DRAIN MAY BE SUBJECT TO THE REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD'S STATEWIDE GENERAL WASTE DISCHARGE REQUIREMENTS (GWR) FOR DISCHARGES TO LAND WITH LOW THREAT TO WATER QUALITY.
- CONTRACTOR TO VERIFY BUILDING SETBACK AND ADJUST WALL TO MEET MINIMUM SETBACK.
- PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LICENSED LAND SURVEYOR RECORDS SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS COMPLY WITH THE APPROVED PLANS. WHICH NOTE SHALL REPRESENT A CONDITION THAT MUST BE SATISFIED TO REMAIN IN COMPLIANCE WITH THIS DESIGN REVIEW APPROVAL.
- SLOPE THE GROUND AWAY FROM THE FOUNDATION AT A 4% GRADE FOR 10 FEET. IF THIS ISN'T FEASIBLE, INSTALL A SWALE. USE A 2% SLOPE IF IMPROVED SURFACES ARE USED. (CBC 190.3) AVOID CONCENTRATED FLOW ACROSS THE FRONT-YARD AND DRAINAGE ONTO NEIGHBORING PROPERTIES. DIRECT ALL DRAINAGE TO LANDSCAPING.
- DIRECT ROOF RUNOFF SHALL BE:
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREAS.
 - DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS AND/OR PATIOS ONTO VEGETATED AREAS.
 - DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PAVING LOTS ONTO VEGETATED AREAS.
 - CONSTRUCT SIDEWALKS, WALKWAYS, AND/OR PATIOS WITH PERMEABLE SURFACES.
- CONNECT ALL DOWNSPIUTS TO 2" SOLID DRAIN LINE AROUND THE PERIMETER OF THE HOUSE DRAIN TO THE CURB OR PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM THE STRUCTURE.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AT THE JOB SITE.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY FOAM, CABLE TV INSTALLATION AN REQUIRED VALVE BOXES & MANHOLES, AND STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER FRAMING.
- CONSTRUCTION SITE SHALL BE ENCLOSED BY A 6' GRANITE FENCE AT ALL TIMES DURING CONSTRUCTION.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS THAT COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAP AND OTHER DEBRIS, WHICH CANNOT BE ON ADRY) SHALL BE FILED WITHIN THE PROPERTY LINES OR THE PROJECT IN A HEAT AND SAFE MANNER.
- SEE OWNER FOR LANDSCAPE HARDSHIP FINISH FOR DRIVEWAY, WALKWAY & PATIO.
- ALL METAL ANCHORS, FASTENERS, CONNECTORS, ETC. THAT WILL BE IN CONTACT WITH PRESSURE-TREATED LUMBER MUST BE HOT-DIPPED GALVANIZED OR OTHER APPROVED CORROSION-RESISTANT MATERIAL.
- REFER TO SHEET A0.7 FOR MORE GENERAL NOTES RELATED TO THE SITE PLAN.

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No.	Date	Description
	04/16/2024	ISSUE FOR PERMIT

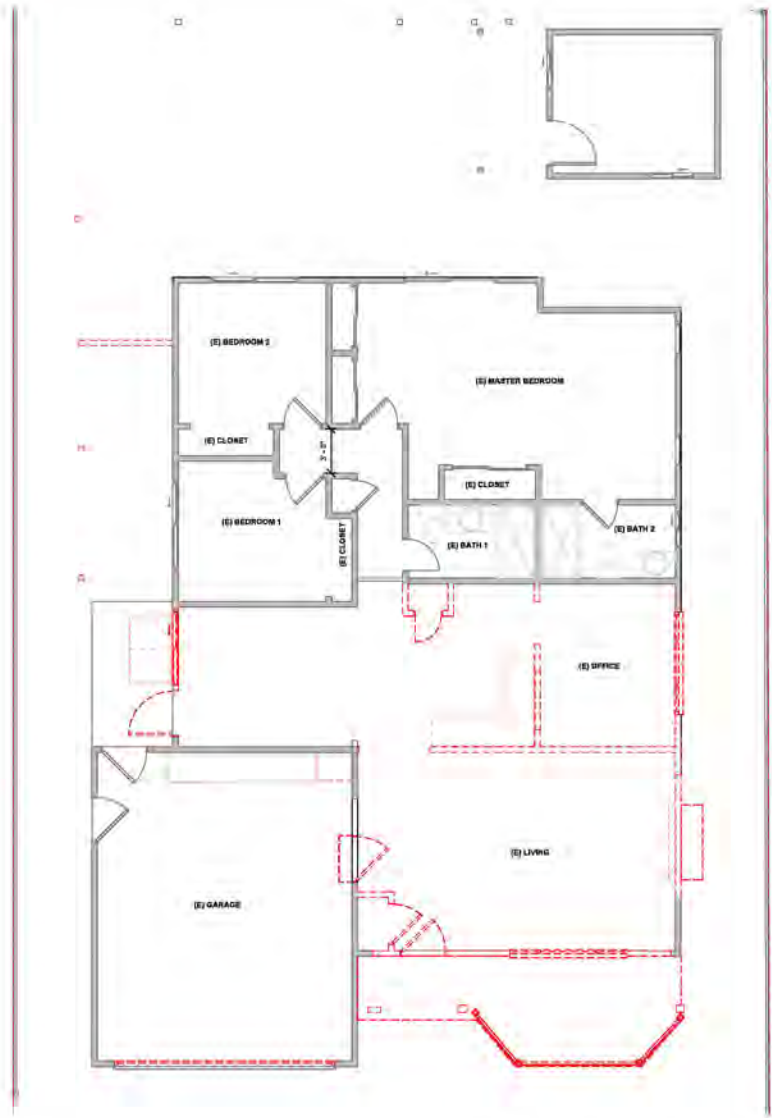
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Drawn By: DC Check By: DC
Scale: 1/8" = 1'-0"
Sheet Title: PROPOSED SITE PLAN

Sheet No: A0.7

SCALE: 1/4" = 1'-0"

THIS DRAWING IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR VERIFYING ALL INFORMATION AND REGULATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL GOVERNING BODIES BEFORE COMMENCING ANY DEMOLITION WORK. CONDUCT A THOROUGH SITE INSPECTION TO IDENTIFY ANY HAZARDOUS MATERIALS (E.G. ASBESTOS, LEAD PAINT) AND ARRANGE FOR THEIR SAFE REMOVAL BY CERTIFIED PROFESSIONALS.



EXISTING FLOOR PLAN 1/ALD
Scale: 1/4" = 1'-0"

GENERAL NOTES:

- PRE-DEMOLITION REQUIREMENTS:**
 - VERIFY AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL GOVERNING BODIES BEFORE COMMENCING ANY DEMOLITION WORK.
 - CONDUCT A THOROUGH SITE INSPECTION TO IDENTIFY ANY HAZARDOUS MATERIALS (E.G. ASBESTOS, LEAD PAINT) AND ARRANGE FOR THEIR SAFE REMOVAL BY CERTIFIED PROFESSIONALS.
- SITE PREPARATION:**
 - ERECT TEMPORARY FENCING AND SAFETY BARRIERS AROUND THE DEMOLITION SITE TO PROTECT THE PUBLIC AND RESTRICT ACCESS.
 - POST APPROPRIATE WARNING SIGNS AND NOTICES AROUND THE PERIMETER OF THE SITE.
 - DISCONNECT AND CAP ALL UTILITY SERVICES (ELECTRICITY, GAS, WATER, SEWER) IN COORDINATION WITH LOCAL UTILITY PROVIDERS.
- STRUCTURE DEMOLITION:**
 - BEGIN DEMOLITION FROM THE ROOF AND PROCEED DOWNWARDS.
 - SYSTEMATICALLY DEBRANTLINE THE STRUCTURE TO ENSURE SAFETY AND PREVENT COLLAPSE.
 - USE APPROPRIATE MACHINERY AND TOOLS TO CAREFULLY DISMANTLE STRUCTURAL ELEMENTS.
 - MAINTAIN CONTROL OF DUST AND DEBRIS BY USING WATER SPRAYS OR OTHER DUST SUPPRESSION METHODS.
- WASTE MANAGEMENT:**
 - SEGREGATE DEMOLITION DEBRIS FOR RECYCLING AND DISPOSAL AS PER LOCAL REGULATIONS.
 - REMOVE AND PROPERLY DISPOSE OF ALL NON-RECYCLABLE MATERIALS IN COMPLIANCE WITH LOCAL WASTE MANAGEMENT GUIDELINES.
 - MAINTAIN RECORDS OF WASTE DISPOSAL, INCLUDING QUANTITIES AND DESTINATIONS OF RECYCLED AND NON-RECYCLED MATERIALS.
- ENVIRONMENTAL CONSIDERATIONS:**
 - TAKE MEASURES TO MINIMIZE NOISE, VIBRATION, AND DUST POLLUTION, ENSURING COMPLIANCE WITH LOCAL ENVIRONMENTAL REGULATIONS.
 - PROTECT EXISTING TREES, VEGETATION, AND ANY OTHER SITE FEATURES DESIGNATED TO REMAIN.
 - AVOID RUNOFF AND SOIL EROSION BY IMPLEMENTING APPROPRIATE SITE DRAINAGE AND EROSION CONTROL MEASURES.
- SAFETY PROCEDURES:**
 - ENSURE ALL WORKERS ARE EQUIPPED WITH AND USE APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) INCLUDING HELMETS, GLOVES, MASKS, AND SAFETY BOOTS.
 - CONDUCT REGULAR SAFETY BRIEFINGS AND TRAINING SESSIONS FOR ALL PERSONNEL INVOLVED IN THE DEMOLITION.
 - ESTABLISH EMERGENCY PROCEDURES AND HAVE FIRST AID EQUIPMENT READILY AVAILABLE ON SITE.
- POST-DEMOLITION:**
 - CLEAR THE SITE OF ALL DEMOLITION DEBRIS AND PERFORM A FINAL SITE CLEANUP.
 - BACKFILL AND GRADE THE SITE AS SPECIFIED IN THE PROJECT PLAN.
 - RESTORE ANY DISRUPTED PUBLIC PATHWAYS OR NEIGHBORING PROPERTIES TO THEIR ORIGINAL CONDITION OR BETTER.
- DOCUMENTATION AND REPORTING:**
 - MAINTAIN DETAILED RECORDS OF ALL DEMOLITION ACTIVITIES, INCLUDING DAILY LOGS, PHOTOGRAPHS, AND INCIDENT REPORTS.
 - SUBMIT A FINAL REPORT TO THE RELEVANT AUTHORITIES, INCLUDING PROOF OF PROPER DISPOSAL OF HAZARDOUS MATERIALS AND COMPLIANCE WITH ALL LOCAL REGULATIONS.
- THE DEMOLITION PLAN SHOWS THE BUILDING'S EXISTING CONDITION, SEE THE PROPOSED PLAN FOR THE BUILDING'S FINAL CONDITION.

LEGEND
 WALL TO BE REMOVED
 EXISTING WALL



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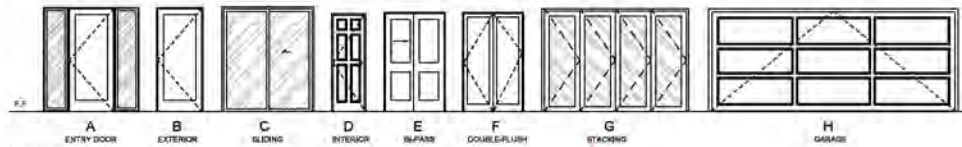
No.	Date	Description
1	04/16/2024	ISSUE FOR PERMIT
	12/04/2025	PLANNING PERMIT PC RESPONSE #1

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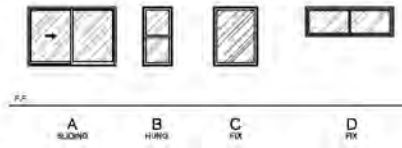
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 Scale: 1/4" = 1'-0"
 Sheet Title: **EXISTING FLOOR PLAN**

Sheet No: **A1.0**

FLOOR SIZE: 3/16" = 1'-0"



- DOOR NOTES:**
- VERIFY/COORDINATE ALL DOOR SIZES WITH CHOSEN MANUFACTURER.
 - DIMENSIONS GIVEN ARE FOR ACTUAL DOOR LEAF DIMENSIONS. COORDINATE ROUGH OPENINGS.
 - DOOR JAMBS SHALL BE 4" OFF ADJACENT WALL ON HINGE SIDE, UNLESS OTHERWISE PERMITTED BY MANUFACTURER.
 - CLOSET DOORS ARE IDENTIFIED ON CLOSET (WIDTH, U.N.O.).
 - PROVIDE 1/2" ROUNDOVER ON ALL WHOLE IF WILL NOT INTERFERE WITH APPROPRIATE DOOR STOP BASED ON FLOOR TYPE AND UNDERLAY.
 - COORDINATE ENTRY DOOR HARDWARES WITH SECURITY CONTRACTOR.
 - PROVIDE SAFETY OR TEMPERED GLAZING IN ALL GLASS PANELS IN FIXED GLAZING SWINGING, OPERABLE, OR BIFOLD DOORS.
 - SEE ELEVATIONS FOR OPENING INDICATION.
 - DOOR JOISTS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - WIDTH AND HEIGHT OF REQUIRED DOORWAYS SHALL COMPLY WITH IRC R310.2.
 - VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R412.1.
 - SEE FLOOR PLAN FOR DOOR LOCATIONS.
 - AUTOMATIC GARAGE DOOR OPERATOR SHALL BE LISTED IN ACCORDANCE WITH U.L.202.



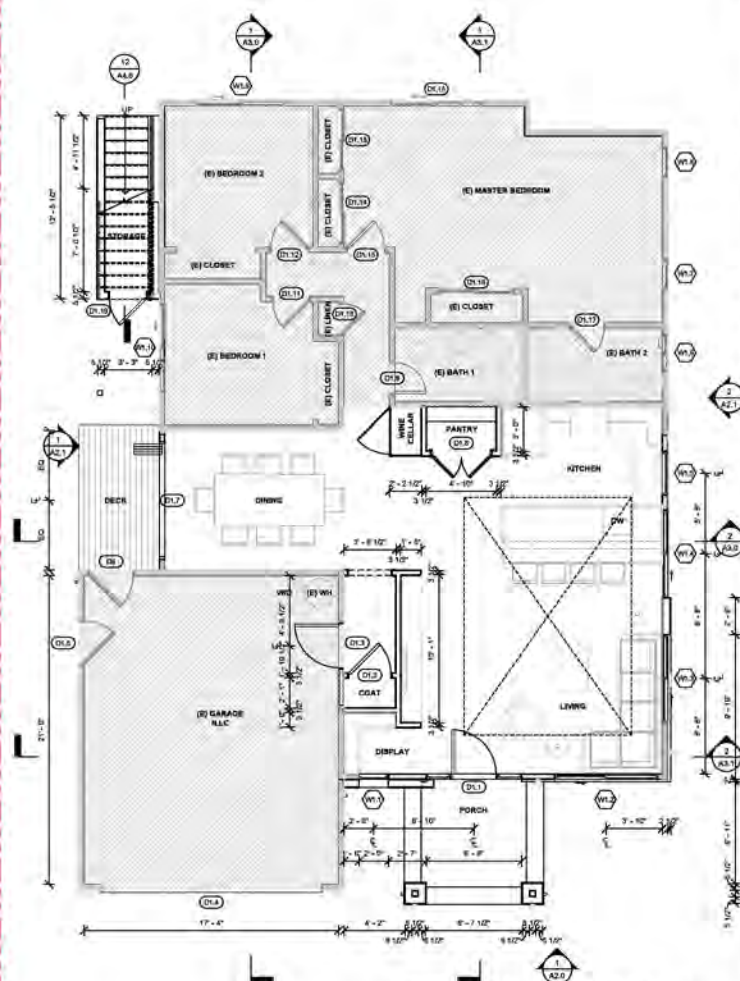
- WINDOW NOTES:**
- VERIFY/COORDINATE ALL WINDOW SIZES WITH SELECTED MANUFACTURER.
 - SLUICING OPENING SIZES AS PER MANUFACTURER SPECIFICATIONS. VERIFY/COORDINATE ALL ROUGH OPENINGS WITH WINDOW MANUFACTURER.
 - OWNER TO VERIFY SIZES/TYPE/COLOR OF ALL WINDOWS.
 - * WINDOW UNITS OPERABLE OR NOT.
 - REFER TO "3A ANALYSIS FOR WINDOWS PERFORMANCE REQUIREMENTS."
 - FREE FLOOR PROTECTION OF OPENINGS SHALL COMPLY WITH IRC R610.1(1).
 - BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL SCREEN WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 7' 0" AT GRADE. FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 6' 0" FT. THE MIN NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 4" ABOVE THE FLOOR (PER IRC R610.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
 - THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS SHALL BE A MINIMUM OF 20" ABOVE FINISH FLOOR. WHEN OPERABLE PORTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 24" ABOVE FINISHED FLOOR, THE OPENING SHALL BE PROTECTED BY A GUARD THAT WILL NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE.
 - ALL OPERABLE WINDOWS SHALL HAVE SCREENS. U.O.M.

DOOR SCHEDULE - MAIN HOUSE

NUMBER	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	TEMPERED GLASS	NOTES
DL1	A	3'-0"	7'-0"	WOOD/GRNVL	PAINT		NEW-LIVING
DL2	D	2'-10"	6'-8"	WOOD/GRNVL	PAINT		NEW-CLOSET
DL3	D	2'-0"	7'-0"	WOOD/GRNVL	PAINT		NEW-GARAGE
DL4	H	18'-0"	7'-0"	WOOD/GRNVL	PAINT		EXISTING-GARAGE
DL5	B	2'-0"	7'-0"	WOOD/GRNVL	PAINT		EXISTING-GARAGE
DL6	D	4'-0"	7'-0"	WOOD/GRNVL	PAINT		NEW-ENTRY
DL7	F	4'-0"	6'-6"	WOOD/GRNVL	PAINT		NEW-PANTRY
DL8	D	2'-4"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-BATH 1
DL9	D	2'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-LINEN
DL10	D	2'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-BEDROOM 1
DL11	D	2'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-BEDROOM 2
DL12	E	2'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-MASTER BEDROOM
DL13	E	4'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-CLOSET MASTER BEDROOM
DL14	E	4'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-CLOSET MASTER BEDROOM
DL15	E	4'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-CLOSET MASTER BEDROOM
DL16	E	4'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-CLOSET MASTER BEDROOM
DL17	D	2'-4"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-BATH MASTER BEDROOM
DL18	D	4'-0"	6'-6"	WOOD/GRNVL	PAINT		EXISTING-MASTER BEDROOM
DL19	D	2'-0"	6'-6"	WOOD/GRNVL	PAINT		NEW-STORAGE

WINDOW SCHEDULE - MAIN HOUSE

NUMBER	TYPE	WIDTH	HEIGHT	HEAD	SILL	MATERIAL	FINISH	TEMPERED GLASS	NOTES
WF1	A	2'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		NEW-DISPLAY
WF2	A	7'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		NEW-LIVING
WF3	A	6'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		NEW-LIVING
WF4	A	6'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		NEW-KITCHEN PENINSULA
WF5	C	3'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		NEW-KITCHEN
WF6	A	2'-0"	2'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		EXISTING-BATH 2
WF7	B	2'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		EXISTING-MASTER BEDROOM
WF8	B	2'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		EXISTING-MASTER BEDROOM
WF9	A	6'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		EXISTING-BEDROOM 2
WF10	A	6'-0"	4'-0"	7'-0"	3'-0"	WOOD/GRNVL	PAINT		EXISTING-BEDROOM 1
WF11	D	6'-0"	7'-0"	10'-0"	10'-0"	WOOD/GRNVL	PAINT		NEW-LIVING
WF12	D	6'-0"	7'-0"	10'-0"	10'-0"	WOOD/GRNVL	PAINT		NEW-LIVING

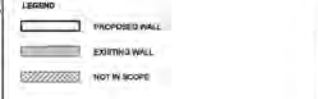


FIRST FLOOR - MAIN HOUSE

Scale: 1/4" = 1'-0"

GENERAL NOTES:

- PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP AT EACH BEDROOM AND IMMEDIATE CORNER AREA OUTSIDE OF BEDROOM AND LOCATED AT NOT LESS THAN 3 FT FROM A DOOR TO A BEDROOM WITH OR WITHOUT EXCEPT WITH THIS REQUIREMENT WALL PREVENT THE INSTALLATION OF A SMOKE ALARM IN A REQUIRED LOCATION.
- ALL ROOMS INCLUDE BEDROOMS TO BE ACPI PROTECTED.
- ALL RECIPICLES IN BATHROOMS AND KITCHENS TO BE CPC PROTECTED EXHAUST FAN TO MEET "24" REQUIREMENT. (SELECTED MODEL - HAMPFON BAY BY GEM CEILING MOUNT INSTALLATION BATHROOM EXHAUST FAN OR EQUIVALENT)
- ALL ELECTRIC TO BE ROUTED THROUGH RIGID PVC CONDUIT.
- ETHERNET, FIBER OPTIC, AND USB CHARGING PROVIDED THROUGHOUT.
- AUDIOVISUAL TO BE DETERMINED.
- GROUND FAULT AND VOLTAGE SURGE PROTECTION TO BE PROVIDED BY THE MAIN ELECTRICAL PANEL.
- WATER CLOSET TO BE 1.2 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2.
- KITCHEN FAUCET TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 407.2.1.1.
- LAUNDRY FAUCET TO BE 1.2 GALLONS PER MINUTE, MAXIMUM, PER CPC 407.2.2.
- SHOWER HEADS TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 408.2.
- LANDING SHALL NOT BE MORE THAN 1'-0"
- BELIEF THE TOP OF THE THRESHOLD.
- EXHAUST DUCT TERMINATION IS AS FOLLOWS PER CPC 502.2: 3 FEET FROM A PROPERTY LINE. 1 FEET FROM A FORCE-AIR INLET AND 3 FEET FROM OPENINGS INTO THE BUILDING. EXHAUST DUCT SHALL NOT DISCHARGE ONTO A PUBLIC WAY, CMO 902.2 UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRIVER. MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE CITY. DOWNSTREAM DRIVER MONTHLY EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN FEET, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. CPC 504.2.1
- CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND EQUIPPED WITH A BACKDRAFT DAMPER, CMO 904.4.
- ALL PLUMBING AND ELECTRICAL RENTAL SHALL BE FINISHED WITH CPC, SEC. AND APPLICABLE CODES PRIOR TO STARTING. THE CONTRACTOR IS RESPONSIBLE FOR FINISHING TO THE FINISHED CONSTRUCTION.
- BATHUBS AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 8 FEET ABOVE THE FLOOR.
- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE OUTSIDE OF THE SHOWER COMPARTMENT OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER. CPC 408.8.
- CONTROL VALVES SHALL PROVIDE SCALD AND THERMAL SHOCK PROTECTION AND SHALL HAVE A MAXIMUM MIXING TEMPERATURE OF 120 DEGREES PER CPC 408.3.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 8 FEET ABOVE THE FLOOR PER CPC 407.2.
- SYSTEM BOARD SHALL NOT BE USED WHERE THERE WILL BE OVER EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. CPC 901.3.7.
- AT THE DOORWAY DOOR, THE LANDING SHALL NOT BE MORE THAN 1' 4" LOWER THAN THE TOP OF THE THRESHOLD WHERE THE DOOR SWINGS DOWN THE LANDING. CPC 901.11.1.
- PROVIDE LIGHT FIXTURE TO ILLUMINATE THE WALKING SURFACE OF THE STAIRS PER CPC 901.12.2.
- ELECTRIC DRIVEN PROVIDE 20V, 30 AMP CIRCUIT PER CPC 200.4.
- RANGE HOOD SHALL BE 30" DIA. OR 30" DIA.
- SHOWER STALL TO BE 1204 SQUARE INCHES MINIMUM AND CAPABLE OF ENCLOSING A 90 DEGREE CORNER. CPC 408.4.
- SHOWER AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES FOR THE THERMOSTATIC BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. CPC 408.3.
- WATER CLOSETS TO HAVE A SEIF CLEARANCE OF 45 INCHES ON EACH SIDE MEASURED FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALL OR OTHER OBSTRUCTIONS. CPC 402.5.
- NEW CHANGELING SHALL COMPLY WITH THE ASSEMBLY PLACE DESIGN AND FALL PREVENTION REQUIREMENTS OF CPC 930.7.
- IF THE WATER CLOSET REINFORCEMENT TO BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. A WHERE THE WATER CLOSET IS NOT LOCATED ADJACENT TO THE SIDE WALL, GRAB BAR REINFORCEMENT FOR A GROUND-MOUNTED INSTALLATION IS ACCEPTABLE. THE SHOWER REINFORCEMENT SHALL BE CONTINUOUS WIRE WALL PLUMBING IS PROVIDED.
- BATHUBS AND COMBINATION BATHTUBS/SHOWERS REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHUB AND THE BACK WALL. ADDITIONALLY:
- BACK WALL REINFORCEMENT FOR A COVER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 8" ABOVE THE TUB/RIM.
- THE BATHROOM REINFORCEMENT TO BE SOLID LUMBER AND NOT LESS THAN 2X6.
- THE BATHROOM REINFORCEMENT SHALL BE LOCATED BETWEEN 32" AND 36" ABOVE THE FINISHED FLOOR.
- AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32 INCHES (32 1/8" MIN. MEASURED BETWEEN THE FACE OF THE DOOR AND THE DOOR STOP) AND WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION, PER R310.1.3.
- FOR ALL STAIRS:
- A STAIR TREAD DEPTH (10" MINIMUM PLUS TREAD RISING AND RISER HEIGHT (7" MAXIMUM PER CPC 901.11.1.1).
- 8" 3/8" MINIMUM LANDING AT THE TOP AND BOTTOM OF THE STAIRS PER CPC 901.11.8.
- ADDITION, ALTERATION, OR REPAIRS TO ANY STRUCTURE SHALL CONFORM TO THE REQUIREMENTS FOR THE NEW STRUCTURE; 2022 CBC SECTION R102.1.1



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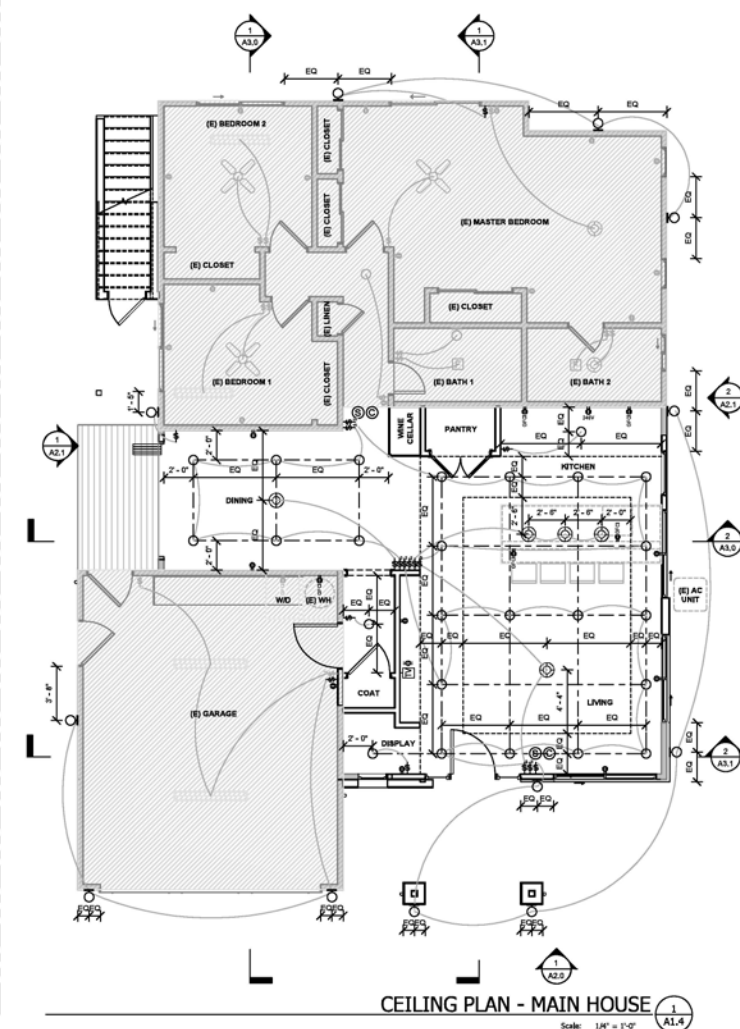
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No.	Date	Description
	04/05/2024	ISSUE FOR PERMIT

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Drawn By: DC Check By: DC
Scale: 1/4" = 1'-0"
Sheet Title: **PROPOSED FLOOR PLAN**

Sheet No: **A1.1**



CEILING PLAN - MAIN HOUSE
Scale: 1/4" = 1'-0"

CEILING GENERAL NOTES:

1. PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS AND LOCATED AT NOT LESS THAN 3 FT FROM A DOOR TO A BATHROOM WITH TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALLATION OF A SMOKE ALARM IN A REQUIRED LOCATION.
2. ALL RECEPTACLES IN BEDROOMS TO BE AFCI PROTECTED.
3. ALL RECEPTACLES IN BATHROOMS AND KITCHENS TO BE GFCI PROTECTED.
4. ENERGY STAR BATHROOM FAN HAS CERTIFIED WITH HUMIDISTAT CONTROL.
5. ALL UNDERGROUND ELECTRIC TO BE ROUTED THROUGH RIGID PVC CONDUIT.
6. ETHERNET, FIBER OPTIC, AND USB CHARGING PROVIDED THROUGHOUT.
7. AUDIOVISUAL TO BE DETERMINED.
8. GROUND FAULT, ARC FAULT, AND VOLTAGE SURGE PROTECTION TO BE PROVIDED BY MAIN ELECTRIC PANEL.
9. A MINIMUM OF TWO DUMP DEDICATED CIRCUITS SHALL BE PROVIDED FOR SMALL APPLIANCES. SEC 210.52(C)(3).
10. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 18 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR, PER CIRC R327.1.2.
11. DOOR BELL BUTTONS OF CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY, WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES AND REQUIRED TO BE INSTALLED ABOVE 48 MEASURED FROM THE EXTERIOR FLOOR OR LANDING. A STANDARD DOORBELL BUTTON OR CONTROL, SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL, PER CIRC R327.1.2.
12. EXTERIOR LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO OR THE AUTOMATIC ACTIONS OF PHOTOCELL MOTION SENSOR OR TIME CONTROL SYSTEM.
13. ALL LIGHTING IN HABITABLE SPACES SHALL HAVE DIMMER CONTROLS. DIMMER CONTROLS ARE NOT REQUIRED WHERE VACANCY SENSORS ARE USED.
14. ALL ACCESSIBLE OUTLETS SHALL BE TAMPER-RESISTANT PER SECTION E4502.14.

LEGEND:

- ⊕ DUPLEX RECEPTACLE ABOVE COUNTER TOPS
- ⊕ DUPLEX RECEPTACLE
- RECESSED CEILING DOWNLIGHT LED
- ⊕ WALL SCONCE / WALL MOUNTED LED FEATURE
- ⊕ CEILING PENDANT LIGHT LED
- WL FUTURE IN WET LOCATIONS
- WP FUTURE TO BE WEATHER PROOF
- F 90 CFM INTERMITTENT VENTILATION EXHAUSTED DIRECTLY TO THE OUTSIDE
- S SMOKE DETECTOR
- C CARBON MONOXIDE DETECTOR
- GFCI DUPLEX RECEPTACLE, GROUND-FAULT CIRCUIT INTERRUPTER
- FAN WITH LIGHT FEATURE
- UNDER COUNTER STRIP LED LIGHT
- SWITCH WITH OCCUPANCY SENSOR
- SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- IDU AC INDOOR UNIT
- ODU AC OUTDOOR UNIT



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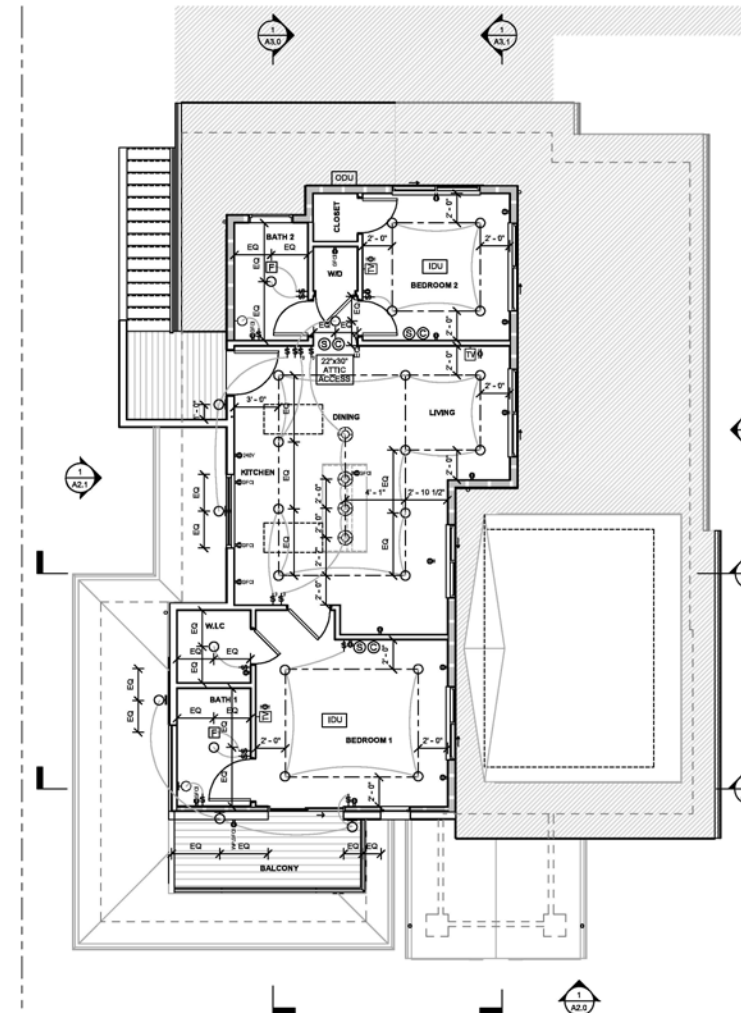
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No.	Date	Description
1	04/16/2025	ISSUE FOR PERMIT
	12/04/2025	PLANNING PERMIT PC RESPONSE #1

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

Drawn By: DC Check By: DC
Scale: 1/4" = 1'-0"
Sheet Title: **PROPOSED CEILING PLAN**

Sheet No: **A1.4**



CEILING PLAN - ADU
Scale: 1/4" = 1'-0"

- CEILING GENERAL NOTES:**
1. PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS AND LOCATED AT NOT LESS THAN 3 FT FROM A DOOR TO A BATHROOM WITH TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALLATION OF A SMOKE ALARM IN A REQUIRED LOCATION.
 2. ALL RECEPTACLES IN BEDROOMS TO BE AFCI PROTECTED.
 3. ALL RECEPTACLES IN BATHROOMS AND KITCHENS TO BE GFCI PROTECTED.
 4. ENERGY STAR BATHROOM FAN HAS CERTIFIED WITH HUMIDISTAT CONTROL.
 5. ALL UNDERGROUND ELECTRIC TO BE ROUTED THROUGH RIGID PVC CONDUIT.
 6. ETHERNET, FIBER OPTIC, AND USB CHARGING PROVIDED THROUGHOUT.
 7. AUDIOVISUAL TO BE DETERMINED.
 8. GROUND FAULT, ARC FAULT, AND VOLTAGE SURGE PROTECTION TO BE PROVIDED BY MAIN ELECTRIC PANEL.
 9. A MINIMUM OF TWO DEDICATED CIRCUITS SHALL BE PROVIDED FOR SMALL APPLIANCES. (CEC 210.52(C)(3)).
 10. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 18 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR, PER CIRC R327.1.2.
 11. DOOR BELL BUTTONS OF CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY, WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 MEASURED FROM THE EXTERIOR FLOOR OR LANDING. A STANDARD DOORBELL BUTTON OR CONTROL, SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL, PER CIRC R327.1.2.
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 13. ALL LIGHTING IN HABITABLE SPACES SHALL HAVE DIMMER CONTROLS. DIMMER CONTROLS ARE NOT REQUIRED WHERE VACANCY SENSORS ARE USED.
 14. ALL ACCESSIBLE OUTLETS SHALL BE TAMPER-RESISTANT PER SECTION E402.14.

LEGEND:

⊕	DUPLEX RECEPTACLE ABOVE COUNTER TOPS
⊙	DUPLEX RECEPTACLE
○	RECESSED CEILING DOWNLIGHT LED
○	WALL SCONCE / WALL MOUNTED LED FIXTURE
⊗	CEILING PENDANT LIGHT LED
WL	FIXTURE IN WET LOCATIONS
WP	FIXTURE TO WEATHER PROOF
F	80 CFM INTERMITTENT VENTILATION EXHAUSTED DIRECTLY TO THE OUTSIDE
S	SMOKE DETECTOR
C	CARBON MONOXIDE DETECTOR
GFCI	DUPLEX RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER
⊗	FAN WITH LIGHT FIXTURE
⊗	UNDER COUNTER STRIP LED LIGHT
⊕	SWITCH WITH OCCUPANCY SENSOR
⊕	SWITCH
⊕	3 WAY SWITCH
⊕	4 WAY SWITCH
IDU	AC INDOOR UNIT
ODU	AC OUTDOOR UNIT



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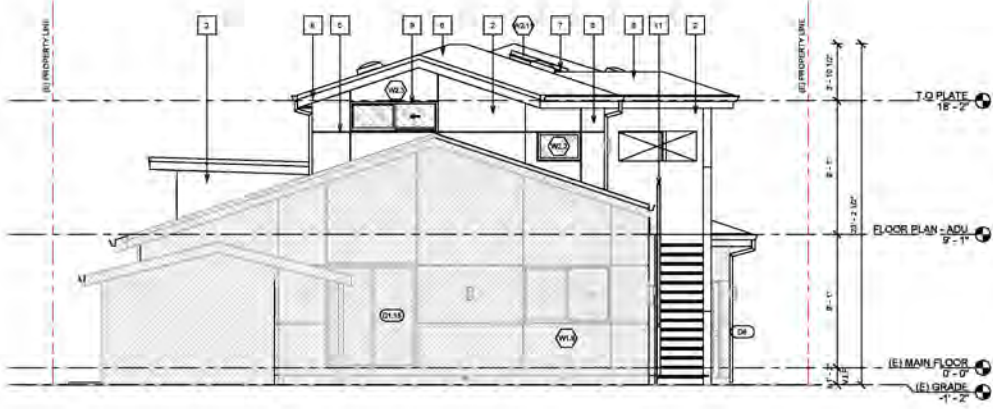
No.	Date	Description
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	12/04/2025	PLANNING PERMIT PC RESPONSE #1

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Drawn By: DC Check By: DC
Scale: 1/4" = 1'-0"
Sheet Title: PROPOSED CEILING PLAN

SCALE: 1/4" = 1'-0"

THIS DRAWING IS A REPRESENTATION OF THE DESIGN AND SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR BY ANY WORK.



REAR 2
A2.0



FRONT 1
A2.0

GENERAL NOTES:

- ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING APPLIED IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
 AT EXTERIOR WINDOWS AND DOORS.
 AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION UP OR BOTH SIDES UNDER STUCCO COURSE.
 UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL CORNICES AND SILLS.
 CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.
 AT WALL AND ROOF INTERSECTIONS.
 AT BUILT-IN GUTTERS.
- HOUSE ADDRESS SHALL BE ILLUMINATED - NOT STANDED WITH LIGHT ABOVE. NUMBERS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2" AND SHALL CONTRAST WITH THEIR BACKGROUND. CIRC IS 18
- LAP SIDING SHALL BE HORIZONTAL PANEL OR SOLID. W/IF SIDING IS INSTALLED FOR MANUFACTURER'S SPEC'S 1/4" MIN. BUILDING PAPER OR SHEATHING WHERE OCCURS. S.D.D. SHEATHING SHALL HAVE 1/4" GAP BETWEEN PANELS.

NOTES:

- WOOD SIDING
- NEW STUCCO - OFF-WHITE
- NEW STUCCO - GRAY
- WHITE WOOD
- NEW BEVEL STUCCO MOLDING
- BLACK ROOF SHINGLES
- LIGHT TUBE SPULBUNT
- PANED METAL WOOD FASCIA
- ALUMINUM W/INK WINDOW
- ALUMINUM ACCO DOOR
- METAL MAILBOX
- LIGHT FIXTURE



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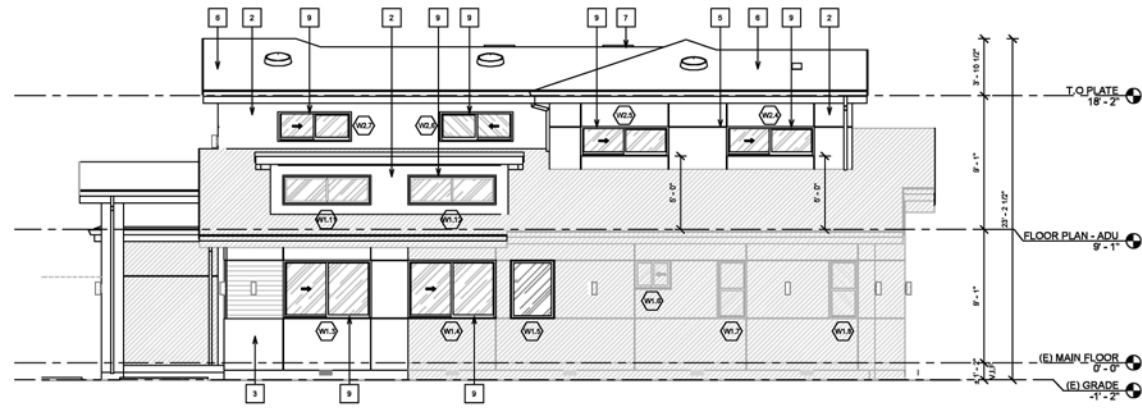
No.	Date	Description
	04/16/2024	ISSUE FOR PERMIT

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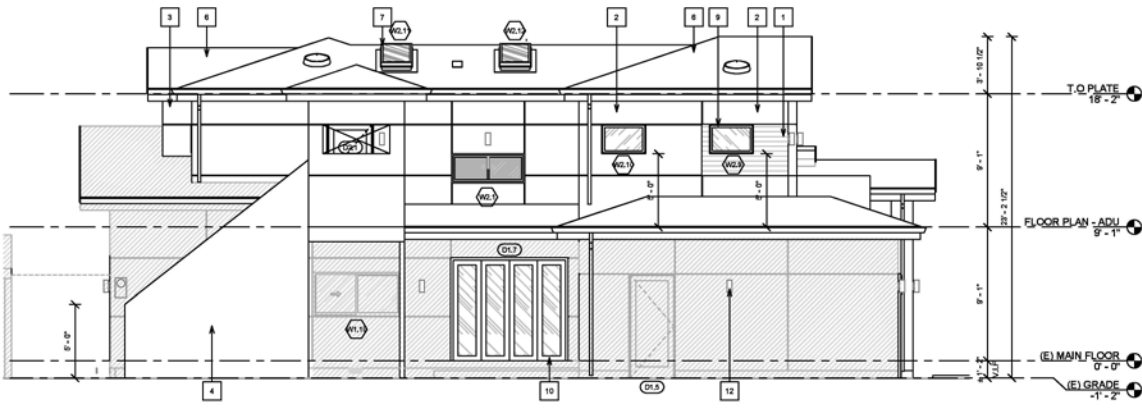
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 Scale: 1/4" = 1'-0"

Sheet Title: **BUILDING ELEVATIONS**

Sheet No: **A2.0**



RIGHT 2
A2.1
Scale: 1/4" = 1'-0"



LEFT 1
A2.1
Scale: 1/4" = 1'-0"

GENERAL NOTES:

- ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
 . EXTERIOR WINDOWS AND DOORS.
 . AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION UP ON BOTH SIDES UNDER STUCCO CORNICES.
 . UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND BELLS.
 . CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 . WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.
 . AT HALL AND ROOF INTERSECTIONS.
 . AT BUILT-IN GUTTERS.
- HOUSE ADDRESS SHALL BE ILLUMINATED - NOT STANDARD WITH LIGHT ABOVE. NUMBERS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2", AND SHALL CONTRAST W/ THEIR BACKGROUND. CRC R319
- LAP SIDING SHALL BE HARDIE PANEL OR EQUAL, W/ 6" EXPOSURE. INSTALLED PER MANUFACTURER'S SPEC'S OF 60 MIN. BUILDING PAPER OF SHEATHING WHERE OCCURS, S.D.J. SHEATHING SHALL HAVE 1/8" GAP BETWEEN PANELS.

NOTES:

- WOOD SIDING
- NEW STUCCO - OFF-WHITE
- NEW STUCCO - GRAY
- WHITE WOOD
- NEW RUSKAL STUCCO MOLDING
- BLACK ROOF SHINGLES
- LIGHT TUBE SKYLIGHT
- PAINTED METAL/ WOOD FASCIA
- ALUMINUM VINYL WINDOW
- ALUMINUM WOOD DOOR
- METAL RAILING
- LIGHT FIXTURE



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No.	Date	Description
	08/16/2025	ISSUE FOR PERMIT

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should necessarily be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

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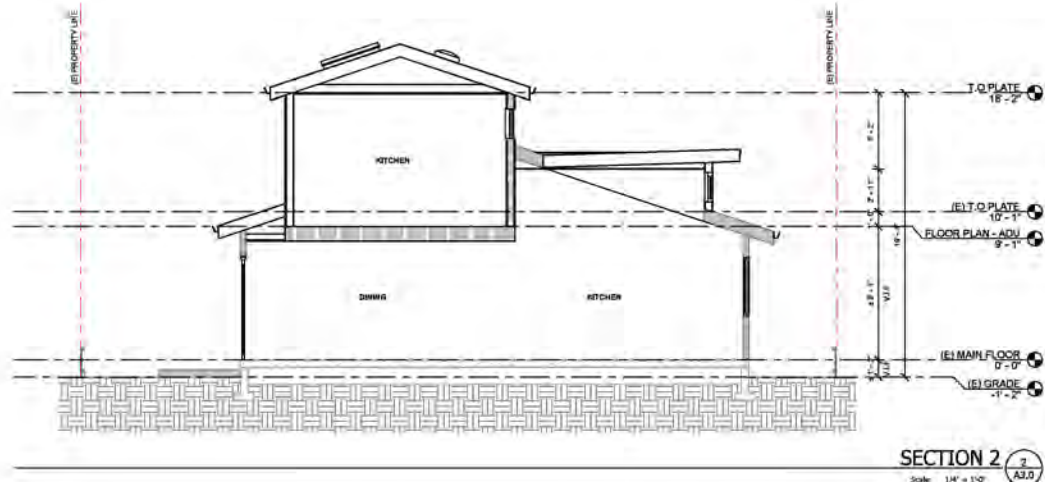
Scale: 1/4" = 1'-0"

Sheet Title: **BUILDING ELEVATIONS**

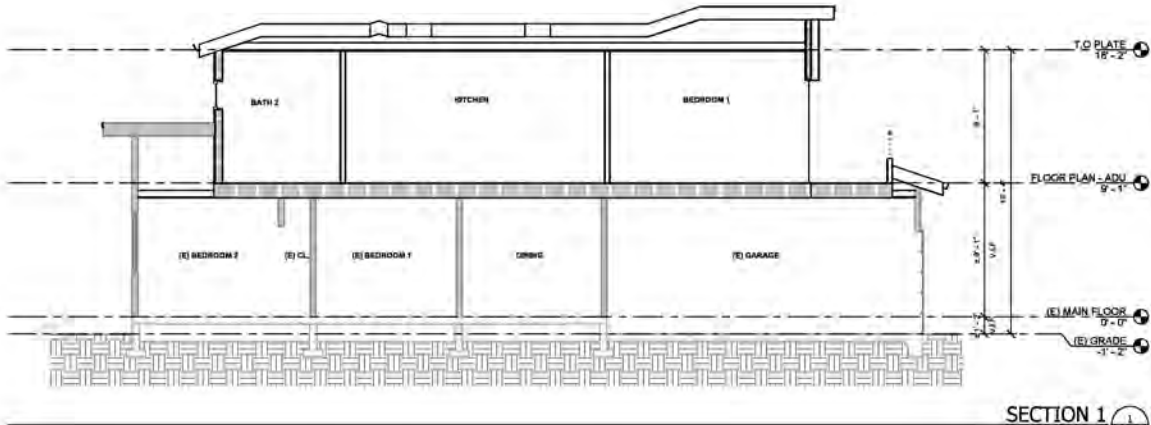
Sheet No: **A2.1**

SCALE: 1/4" = 1'-0"

THIS DRAWING IS PREPARED BY THE ARCHITECT FOR THE CLIENT'S USE ONLY. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



SECTION 2
Scale: 1/4" = 1'-0" 2
A3.0



SECTION 1
Scale: 1/4" = 1'-0" 1
A3.0

- GENERAL NOTES:**
- SECTION DRAWINGS PROVIDED FOR ARCHITECTURAL INTENT. BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN-OPTION" CONDITIONS. REFER TO FLOOR PLAN DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN.
 - FOR EXTERIOR FINISHES, SEE ELEVATION. FOR ROOFING MATERIALS, SEE ROOF PLAN.
 - FINISH GRADE VARIES - REFER TO CIVIL DRAWINGS FOR FINAL GRADES AND DRAINAGE.
 - REFER TO STRUCTURAL DRAWINGS FOR LOCATION AND SIZES OF ALL BEAMS, HEADERS, JOISTS, RAFTERS, SHEAR WALLS, TRUSSES, AND CONCRETE SLABS.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR LOCATION OF ALL EQUIPMENT, DUCTS, PIPING, COILS, ETC. PROVIDE PROPER CLEARANCES AND BLOODING FOR EACH AS REQUIRED.
 - FOR INSULATION REQUIREMENTS, SEE ENERGY SHEETS, AND CGC 19B.6 (4), (5), (6) & (8).
 - TAPER INSULATION AT VENTED ROOF BLOCKS TO ALLOW AIR PASSAGE.
 - PROVIDE BLOODING FOR ALL MASONRY, VENEER, STONE & CONCRETE MOUNTING, WALL AND CEILING MOUNTED CABINETS, FIXTURES, & CABINETS, ETC. AS REQUIRED. COORDINATE WITH SUPPLIERS FOR REQUIREMENTS.
 - SEE ROOF PLAN FOR OVERHANG DIMENSIONS, VENT AND ACCESS LOCATIONS AND ROOF DRAINAGE.
 - FIRE BLOODING SHALL BE INSTALLED VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTAL AT INTERVALS AND EXCEEDING 10' ON 19B.2.11.



Approval Stamp:

CDS

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No.	Date	Description
1	04/16/2024	ISSUE FOR PERMIT
1	12/26/2023	PLANNING PERMIT PC RESPONSE #1

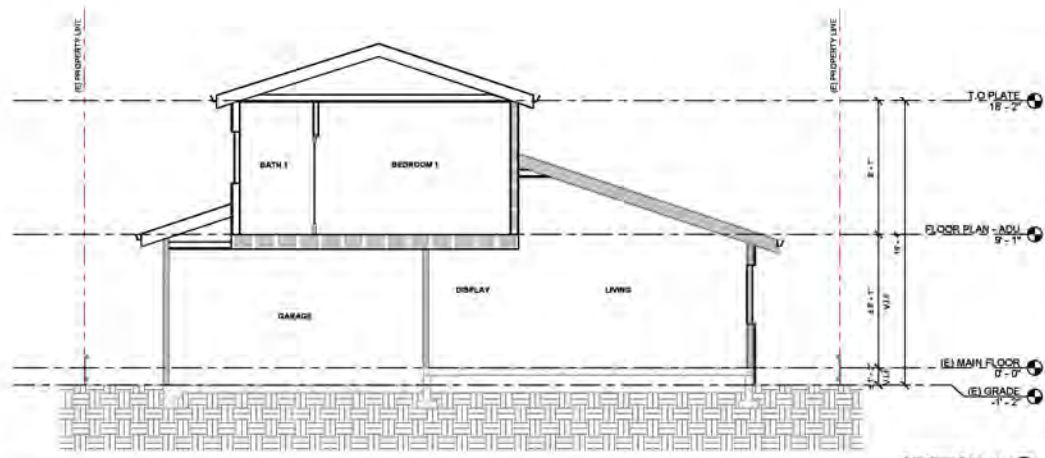
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Scale: 1/4" = 1'-0"
Sheet Title: **BUILDING SECTIONS**

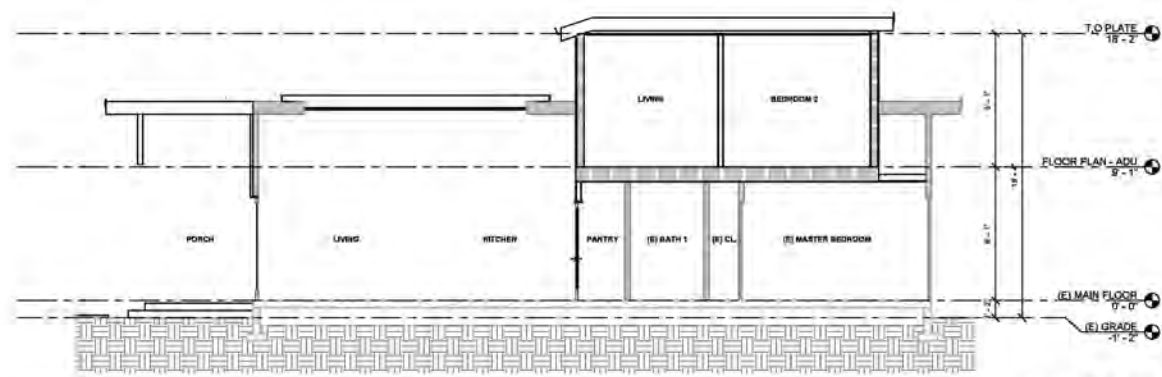
Sheet No: **A3.0**

SCALE: 1/4" = 1'-0"

THESE DRAWINGS REPRESENT THE DESIGNER'S BEST PROFESSIONAL JUDGMENT AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR FOR ANY WORK.



SECTION 4 3
 Scale: 1/4" = 1'-0" A3.1



SECTION 3 1
 Scale: 1/4" = 1'-0" A3.1

GENERAL NOTES:

1. SECTION DRAWINGS PROVIDED FOR ARCHITECTURAL INTENT. BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN-OPTION" CONDITIONS. REFER TO FLOOR PLAN DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN.
2. FOR EXTERIOR FINISHES, SEE ELEVATION. FOR ROOFING MATERIALS, SEE ROOF PLAN.
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5. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR LOCATION OF ALL EQUIPMENT, DUCTS, PIPING, COILS, ETC. PROVIDE PROPER CLEARANCES AND SLOPING FOR EACH AS REQUIRED.
6. FOR INSULATION REQUIREMENTS, SEE ENERGY SHEETS, AND CIRC 190.6 (4), (5), (6), & (8).
7. TAPER INSULATION AT VENTED ROOF BLOCKS TO ALLOW AIR PASSAGE.
8. PROVIDE SMOORING FOR ALL MASONRY, GYPSUM, STONE & CONCRETE MOUNTING, WALL AND CEILING MOUNTED CABINETS, FIXTURES, & CABINETS, ETC. AS REQUIRED. COORDINATE WITH SUPPLIERS FOR REQUIREMENTS.
9. SEE ROOF PLAN FOR OVERHANG DIMENSIONS, VENT AND ACCESS LOCATIONS AND ROOF DRAINAGE.
10. FIRE SMOORING SHALL BE INSTALLED VERTICALLY AT CEILING AND FLOOR LEVELS, AND HORIZONTAL AT INTERVALS NOT EXCEEDING 10' ONCE FIRE IS

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Drawn By: DC Check By: DC
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Sheet Title: **BUILDING SECTIONS**

Sheet No: **A3.1**





Agenda Report

26-665

Agenda Date: 7/8/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN26-00130) for a 977 Square Foot Single-Story Addition to an Existing 1,176 Square Foot One-Story Residence Resulting in a 2,153 Square Foot One-Story Residence Located at 1205 Janice Drive. CEQA Status: Exempt from CEQA per Section 15301(e)(1) (Class 1 -- Existing Facilities).

File No.: PLN26-00130

Location: 1205 Janice Drive; on the east side of Janice Drive southwest from the intersection of Los Padres Boulevard and Harrison Street; APN 290-12-040; Zoning R1-6L

Applicant: Chia Chi Chang

Owner(s): Antonio Nieves

Request: **Architectural Review** for a 977 square foot single-story addition to an existing 1,176 square foot single-story residence resulting in a 2,153 square foot single-story residence.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of both one- and two-story residences. See Vicinity Map in Attachment 1.
- The site is currently developed with a 1,176 square-foot one-story single-family residence with a 559 square-foot detached garage constructed in 1955.
- Per the Santa Clara City Code 18.120(D)(7), the request requires Architectural Review approval through a Development Review Hearing due to the demolition of more than fifty percent of the structure.
- The project proposes a 977 square-foot addition to the existing 1,176 square-foot single-story single-family residence. The rear detached garage will be demolished, and a new attached garage will be constructed. The renovated residence is designed as a contemporary one-story four-bedroom three-bathroom residence with stucco cladding, natural stone wainscoting, and composite shingle roof.
- The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:
 - The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
 - The massing and scale is appropriate relative to the homes within the neighborhood.
 - Proposed materials update the design of the house, while being compatible with the aesthetic of the neighborhood.

- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMENDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposal provides the required two covered parking spaces at the front of the residence with a two-car garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed residence would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
 - Architectural features of the proposed design area are true to architectural form and appropriate for the neighborhood. Surrounding properties are one to two story homes with mixed architectural styles. The design includes white stucco cladding, natural stone wainscoting shingle roof, and a small front entry porch element.
 - The proposed project is consistent with the scale found in the existing surrounding neighborhoods.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if*

written into and made a part of this title, in that:

- The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
- The massing and scale is appropriate relative to the homes within the neighborhood.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 -- Existing Facilities), in that the project is a small addition to the existing single-family residence.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to 77 tenants and property owners within a 300-foot radius of the project site on June 25, 2026. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15301(e)(1) (Class 1 - "Existing Facilities"), and **Approve** the Architectural Review for a 977 Square Foot Single-Story Addition to an Existing 1,176 Square Foot One-Story Residence Resulting in a 2,153 Square Foot One-Story Residence, located at 1205 Janice Drive, subject to the findings and conditions of approval.

Prepared by: Summer Foss, Assistant Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning)- 1205 Janice Drive



Zoning

Land Parcels

- MURC - Mixed Use-Regional Commercial
- OS - Parks/Open Space
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R2 - Low-Density Residential

Base Layers

Site Addresses

- Single

Land Parcels

- Land Parcels

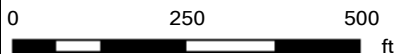
Streets

- Streets

Notes:

PLN26-00130

6/5/2026 3:42:18 PM



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance (SFR/Duplex)

Project Address: 1205 Janice Drive
Zoning: R1-6L

Project Number: PLN26-00130

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	6,048	6,048	--	--
Building Square Footage (SF)				
1st Floor:	1,176	1,996	--	--
Garage:	559	400	--	--
Porch/Patio:	98	23	--	--
Total (enclosed):	1,735	2,396	--	--
Building Coverage (%)				
Building Coverage (All):	28%	40%	40% max	Y
Main Building Setbacks (FT)				
Front (1st floor):	21'-4"	20'-6"	20	Y
Left Side (1st floor):	5'-1"	5'-1"	5	Y
Right Side (1st floor):	11'-8"	5'-1"	5	Y
Rear (1st floor):	54'-2"	35'-2"	20	Y
Accessory Garage Setbacks (FT)				
Between Structures:	22'-2"	--	6	--
Left Side:	24	--	4	--
Right Side:	2'-9"	--	4	--
Rear	11'-1"	--	4	--
Height (FT)				
Main building:	13'-9"	14'-10"	25	Y
# of Bedrooms/Bathrooms:	3/1.5	4/3	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				Y
Off-street	2	2	0	Y
Common Living Area (SFR)	--	35%	Min 25%	Y

Conditions of Architectural Review Approval

PLN26-00130 / 1205 Janice Drive

Action on the Architectural Review (PLN26-00130) for a 977 Square Foot Single Story Addition to an Existing 1,176 Square Foot One-Story Residence Resulting in a 2,153 Square Foot One-Story Residence located at 1205 Janice Drive. CEQA Status: Exempt from CEQA per Section 15301(e)(1) (Class 1 -- Existing Facilities).

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is July 15, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Tree Replacement (Alternative Means).** Trees permitted by the City for removal shall be replaced at a ratio of 1:1 with a minimum 15-gallon tree size pursuant to an alternative plan approved by the Director of Community Development. (SCC 12.35.090)

DURING CONSTRUCTION

- P3. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.

- P4. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- W1. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- W2. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

W = Sewer and Water

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

GENERAL REQUIREMENTS:

1A. GENERAL:
THESE DRAWINGS AND SPECIFICATIONS ARE WRITTEN TO DESIGNATE CERTAIN PRODUCTS AND METHODS OF EXECUTION BUT ARE NOT INTENDED TO BE COMPLETE AND COVER ALL ITEMS OF CONSTRUCTION. THE CONTRACTOR SHALL USE REGIONALLY RECOGNIZED STANDARDS AND PROCEDURES IN HIS CONSTRUCTION UNLESS OTHERWISE SPECIFICALLY CALLED FOR. IN CASE OF QUESTION, NOTIFY ARCHITECT.

1B. CODES:
ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING STANDARDS CODE AND SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES AND REQUIREMENTS.

1C. ERRORS AND OMISSIONS:
THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY UNINTENTIONAL ERROR OR OMISSION IN THE DRAWING OR SPECIFICATIONS. THE CONTRACTOR SHALL BE EXPECTED TO FURNISH ALL NECESSARY MATERIAL AND LABOR THAT ARE NECESSARY TO MAKE A COMPLETE JOB TO THE TRUE INTENT OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE TO BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT IN WRITING.

1D. DIMENSIONS AND SCALE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO START OF CONSTRUCTION. WRITTEN DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DIMENSIONS AT ALL TIMES. SIMILAR DETAILS SHALL APPLY AT SIMILAR CONDITIONS. LARGE SCALE DRAWINGS ARE TO TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. NO DEVIATION FROM THE DRAWINGS SHALL BE MADE EXCEPT WITH THE CONSENT OF THE ARCHITECT.

1E. CONSTRUCTION OBSERVATION/ REVIEWS DEFINITION:
CONSTRUCTION OBSERVATION AS USED IN THESE SPECIFICATIONS MEAN VISUAL OBSERVATION OF MATERIALS, EQUIPMENT AND CONSTRUCTION WORK ON AN INTERMITTENT BASIS TO DETERMINE THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND ITS DESIGN INTENT. SUCH OBSERVATION DOES NOT CONSTITUTE ACCEPTANCE OF THE WORK NOR SHALL BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY OF HIS RESPONSIBILITY TO PROVIDE AND INSTALL ITEMS AS CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS.

1F. GUARANTEE:
ALL LABOR, MATERIAL AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF (1) ONE YEAR FROM DATE OF ACCEPTANCE AGAINST DEFECTS IN WORKMANSHIP AND/OR MATERIALS, UNLESS OTHERWISE STATED OR NOTED, WHERE THE STATUTE OF LIMITATIONS APPLIES, IT SHALL TAKE PRECEDENCE.

1G. CLEAN - UP:
CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS. ALL ITEMS SHALL BE LEFT FREE FROM ALL FOREIGN MATTER. AT COMPLETION, HOUSE SHALL BE PROFESSIONALLY CLEANED.

LEGEND	
	PROPERTY LINE
- E -	ELECTRICAL POWER LINE
- S -	SEWER LINE
- CW -	COLD WATER LINE
- G -	GAS LINE
TPZ	TREE PROTECTION ZONE
	DOOR SCHEDULE
	WINDOW SCHEDULE
RWL	RAIN WATER LEADER
(E)	EXISTING
(N)	NEW
(R)	REMODELLED
UON	UNLESS OTHERWISE NOTED
BO	BY OWNER
OCPI	OWNER PROVIDE, CONTRACTOR INSTALL
VIF	VERIFY IN FIELD
FF	FACE OF FINISH
AFF	ABOVE FINISH FLOOR
TYP	TYPICAL

SUPPLEMENTARY CONDITIONS:

1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID UPON EXISTING CONDITIONS. ALL EXISTING CONDITIONS SHALL BE VERIFIED FOR COMPATIBILITY WITH HIS NEW CONSTRUCTION SHOWN HEREIN. IN THE EVENT THAT DISCREPANCIES ARE FOUND IN THE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED BEFORE WORK CAN PROCEED.

2. THE CONTRACTOR SHALL FIELD INSPECT THE JOB SITE PRIOR TO COMMENCEMENT OF WORK AND SHALL ADHERE ACCESS, SAFETY AND THE USE OF THE FACILITIES AS SET BY THE BUILDING OWNER, BUILDING DEPARTMENT AND ALL OTHER LOCAL AGENCIES.

3. THE CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES PER INDUSTRY STANDARDS UNLESS NOTED OTHERWISE. ALL PRODUCTS SHALL BE USED PER MANUFACTURERS RECOMMENDATION.

4. ANY PORTION OF THE EXISTING BUILDING, SITE OR LANDSCAPING DAMAGED BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE RESTORED TO THE CONDITION PRIOR TO DAMAGE AT NO COST TO THE OWNER OR TENANT.

5. NEITHER THE ARCHITECTS REVIEW OR APPROVAL OF SHOP DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR DEVIATIONS FROM THE INTENT OF THE DRAWINGS AND SPECIFICATIONS UNLESS AGREED TO BY ARCHITECT IN WRITTEN FORM.

6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK IN THE FIELD TO ENSURE TIMELY COMPLETION OF THE PROJECT.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED TO COMPLETE THE WORK, INCLUDING, BUT NOT LIMITED TO:

- i) ALL WORK REQUIRED TO PREPARE FOR NEW WORK.
- ii) THE REMOVAL OR RELOCATION OF ALL EXISTING PIPES, CONDUITS, WIRES, ETC. AS REQUIRED IN ORDER TO COMPLETE THE WORK.
- iii) ALL TEMPORARY SHORING REQUIRED DURING CONSTRUCTION TO ALLOW FOR NEW WORK.
- iv) THE PROTECTION OF THE WORK FROM ANY DAMAGE DUE TO FIRE, WEATHER OR VANDALISM.
- v) THE REMOVAL OF ALL DEBRIS AND EXCESS MATERIAL AND BROOM CLEANING EACH AREA AFTER WORK IS COMPLETED.

APPLICABLE CODES:

- The 2025 California Building Standards Code consists of the following 13 parts:
- Part 1 California Administrative Code (CAC)
 - Part 2 California Building Code (CBC)
 - Part 2.5 California Residential Code (CRC)
 - Part 3 California Electrical Code (CEC)
 - Part 4 California Mechanical Code (CMC)
 - Part 5 California Plumbing Code (CPC)
 - Part 6 California Energy Code (CEC)
 - Part 7 (Currently Vacant)
 - Part 8 California Historical Building Code (CHBC)
 - Part 9 California Fire Code (CFC)
 - Part 10 California Existing Building Code (CEBC)
 - Part 11 California Green Building Standards Code (CALGreen)
 - Part 12 California Reference Standards Code
 - Part 13 City of Sunnyvale Municipal Codes.



SITE MAP

PROJECT INFORMATION:

OWNER: ANTONIO NIEVES
 ADDRESS: 1205 JANICE DR, SANTA CLARA, CA 95050
 CONTACT: 669 499 7240
 EMAIL: ANTONIONIEVES09@GMAIL.COM
 DESIGNER: CHIA CHI CHANG
 COMPANY: HOMEE RENOVATION LLC
 ADDRESS: 351 FENLEY AVE, SAN JOSE, CA 95117
 CONTACT: 949 423 4651
 EMAIL: NICOLE.HOMEERENOVATION@GMAIL.COM

PROJECT DATA TABLE:

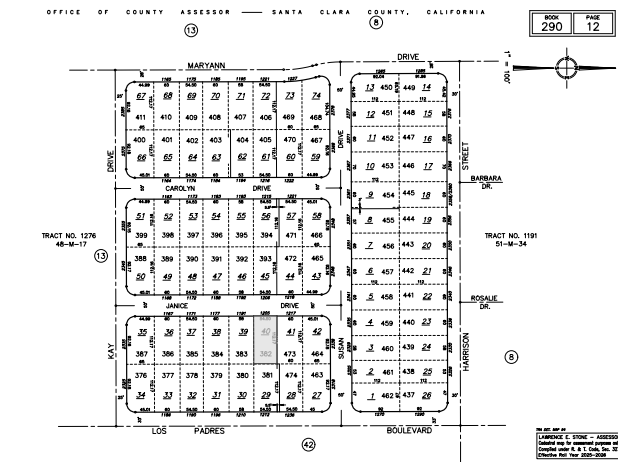
APN #:	29012040
ADDRESS:	1205 JANICE DR, SANTA CLARA, CA 95050
STORIES:	1
USE:	SINGLE-FAMILY RESIDENCE
TYPE OF CONSTRUCTION:	VB
OCCUPANCY TYPE :	R1-6L
ZONE:	X
EXISTING AND PROPOSED FIRE SPRINKLERS:	NO
NET LOT SIZE:	6,048 SQ.FT
(E) HOUSE LIVING AREA:	1,176 SQ.FT
(E) FRONT PORCH:	98 SQ.FT
(P) ADDITION AREA:	577 SQ.FT
(P) FRONT PORCH:	23 SQ.FT
(P) GARAGE:	400 SQ.FT
REMODEL AREA:	2,200 SQ.FT
(P) HOUSE LIVING AREA:	1,674 SQ.FT

BUILDING COVERAGE (%)
 (E) LOT COVERAGE CALCULATION:
 1,455 (MAIN HOUSE COVER AREA)+ 98 (FRONT PORCH)+ 559 (DETACHED GARAGE)=2,112 SQ.FT
 (P) LOT COVERAGE CALCULATION:
 2,396(NEW MAIN HOUSE COVER AREA) + 23 (FRONT PORCH) = 2,419 SQ.FT
 2,419/6048 = 40% (MAX SITE OVERAGE IS 40%)
COMMON LIVING AREA (%)
 415 LIVING RM + 234 KITCHEN + 186 DINING + 186 BEDROOM 1 + 42 W.I.C + 66 BATH 1 + 11 LAUNDRY + 38 BATH 2 + 105 BEDROOM 2 + 10 CLO. + 10 CLO + 105 BEDROOM 3 + 159 BEDROOM 4 + 66 BATH3 + 41 W.I.C. = 1,674 SQ.FT

SCOPE OF WORK:

1. RELOCATE HVAC AND FURNACE TO ATTIC
2. CHANGE WATER HEATER TO TANKLESS WATER HEATER
3. CHANGE FROM 3 BEDROOMS, 1.5 BATH TO 4 BEDROOMS AND 3 BATHROOMS
4. RELOCATE KITCHEN
5. DEMO (E) GARAGE AND RELOCATE TO THE FRONT OF THE HOUSE 400 SQ.FT
6. RELOCATE LAUNDRY
7. EXTAIN WALL FROM 8' TO 9'
8. ADDING ADDITIONAL 577 SQ.FT TO THE HOUSE TOTAL COVERAGE AREA TO 2,429 SQ.FT
9. RELOCATE AND UPGRADE ELECTRIC PANEL TO 200 AMP

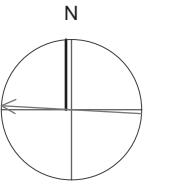
SHEET INDEX	
ID	NAME
A-1.0	COVER SHEET
A-1.1	EXISTING / PROPOSED SITE PLAN
A-1.2	EXISTING FLOOR PLAN
A-1.3	EXISTING ELEVATIONS
A-2.1	PROPOSED FLOOR PLAN
A-2.2	PROPOSED RCP
A-2.3	PROPOSED ROOF PLAN
A-2.4	PROPOSED ELEVATIONS
A-2.5	PROPOSED SECTIONS



ANTONIO NIEVES

1205 JANICE DR,
SANTA CLARA, CA 95050

Chia Chi Chang



APN NUMBER	29012040
DATE	Wednesday, June 3, 2026
PLAN CHECK	
BID DATE	
FINAL PERMIT	
REVISIONS	
PLAN PREPARED BY:	HOMEE RENOVATION 4675 STEVENS CREEK BLVD, STE 215 SANTA CLARA, CA 95051 (549) 423-4651 DESIGN@SAYHOMEE.COM
PLAN VIEWED BY:	WELU
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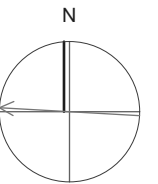
COVER SHEET

A-1.0

ANTONIO NIEVES

1205 JANICE DR,
SANTA CLARA, CA 95050

Chia Chi Chang



APN NUMBER	2001040
DATE	Wednesday, June 3, 2026
PLAN CHECK	
BID DATE	
FINAL PERMIT	
REVISIONS	

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EXISTING /
PROPOSED SITE
PLAN

A1.1

NOTE:
THE CONSTRUCTION OF PERMANENT STRUCTURE IS NOT PERMITTED WITHIN THE PUBLIC UTILITY EASEMENT (PUE). BUILDINGS, STRUCTURE, BALCONIES, OR OVERHANGS ARE NOT PERMITTED WITHIN PUEs. IF THERE ARE EXISTING STRUCTURE(S) WITHIN THE PUE, IF MAINTENANCE OR INSTALLATION OF PUBLIC FACILITIES ARE REQUIRED WITHIN THE PUE, YOUR STRUCTURE(S) MAY NEED TO BE REMOVED AND NOT REPAIRED/ REINSTALLED IF THEY IMPEDE THE PUBLIC AGENCY'S USE OR ACCESS TO THE EASEMENT.

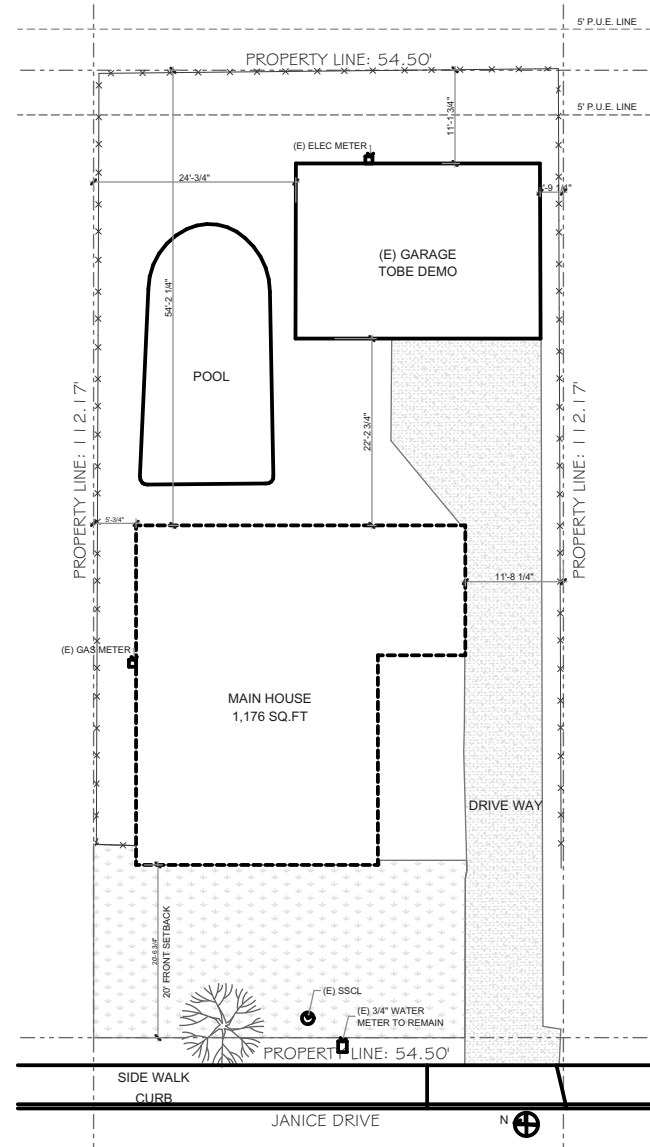
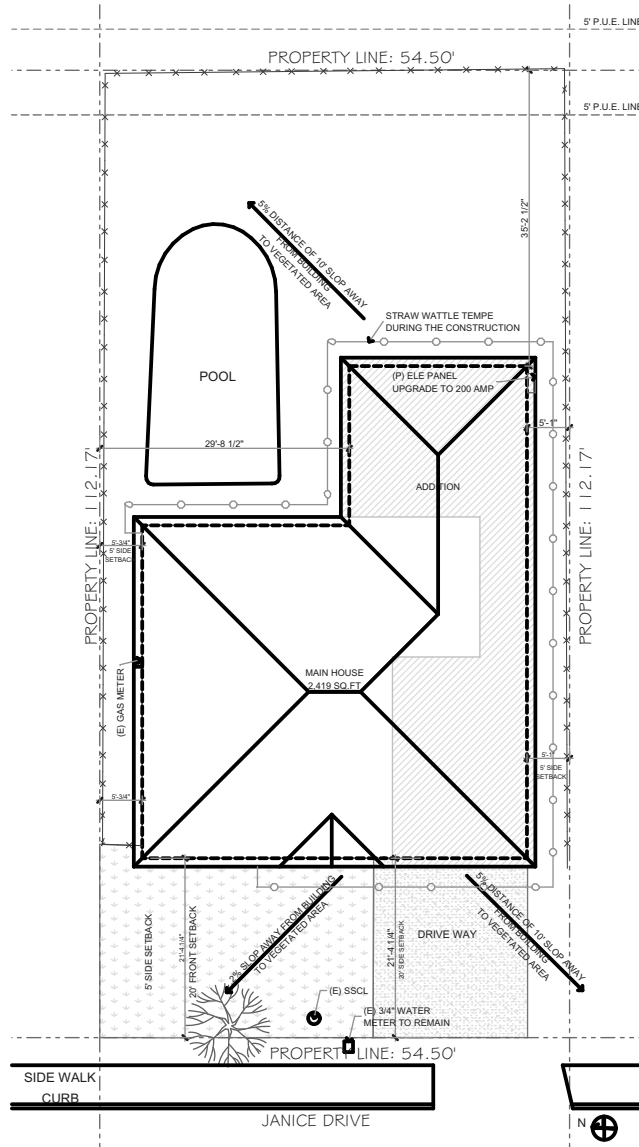
CONSTRUCTION RELATED MATERIALS, EQUIPEMNT, ETC. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID CAUSING SAFETY AND/OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS, CYCLISTS AND VEHICULAR TRAFFIC.

THE APPLICANT IS RESPONSIBLE FOR RESTORING AND REPLACING ANY DAMAGE IN THE PUBLIC RIGHT OF WAY CAUSED DUE TO CONSTRUCTION ACTIVITIES.

IF IT IS DETERMINED THAT A WATER METER UPGRADE IS REQUIRED FOR THIS PROJECT, AND ENCROACHMENT PERMIT MUST BE SUBMITTED FOR REVIEW AND APPROVAL OF THE WATER METER UPGRADE AND REMOVAL OF DECORATIVE CONCRETE FROM PARK STRIP
<https://sunnyvaleca-energypub.tylerhost.net/apps/SelfService#/home>.

INCREMENTAL SEWER CONNECTION FEE WILL NOT APPLY AS A 3-BEDROOM DWELLING UNIT EXISTS.

NOTE:
THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET. CBC 1804.4. IMPERVIOUS SURFACES WITHIN 10-FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. CBC 1804.4. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE LEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%. CBC 1808.7.4



SITE LEGEND

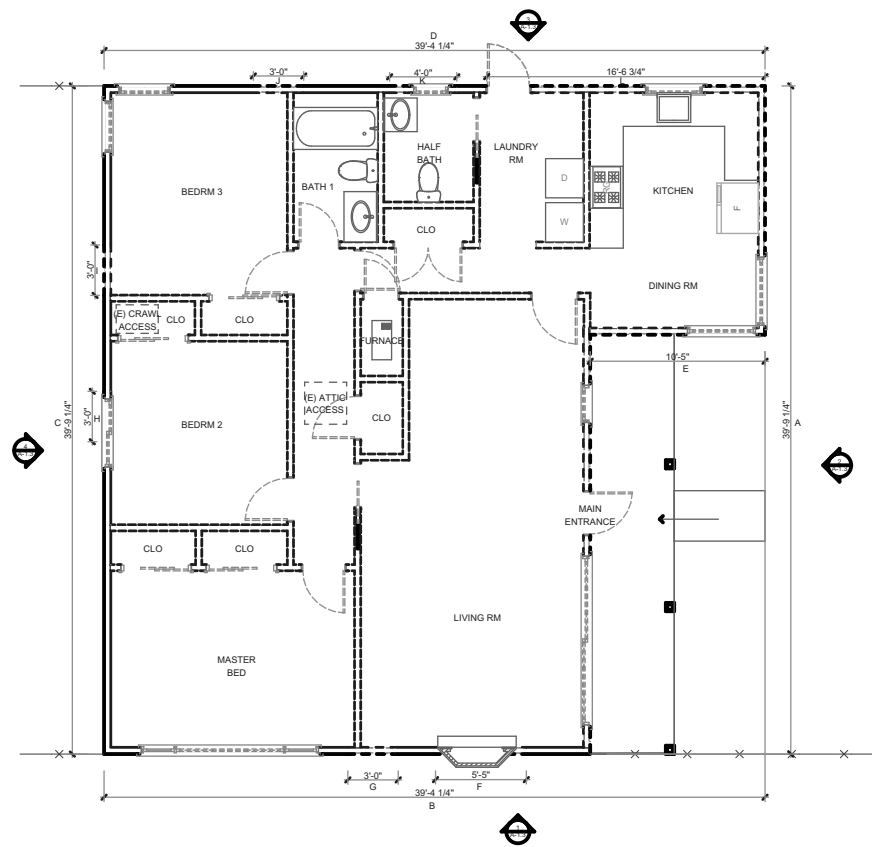
	PROPERTY LINE
	FENCE
	EXISTING
	NEW ADDITION
	GRASS
	CONCRETE

CONSTRUCTION WASTE & DEMO PLAN

1. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY & SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION THE ENFORCING AGENCY.
2. CONSTRUCTION & DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED).
3. CONSTRUCTION & DEMO WASTE MATERIALS WILL BE TAKEN TO A LOCAL FACILITY AT 333 SHOREWAY ROAD, SAN CARLOS, CA 94070
4. FOLLOWING CONSTRUCTION METHODS SHALL BE EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION & DEMOLITION WASTE GENERATED.
 - A. EFFICIENT DESIGN, DIMENSIONS OF BUILDING COMPONENTS ARE DESIGNED TO AVAILABLE MATERIAL, SIZES OR STANDARD SIZES.
 - B. CAREFUL & ACCURATE MATERIAL ORDERING.
 - C. CAREFUL MATERIAL HANDLING & STORAGE.
 - D. WASTE REDUCTION & RECYCLING STRATEGIES SHALL BE DISCUSSED AT PERIODIC PROJECT MEETINGS.
 - E. EVERY EFFORT SHALL BE MADE TO USE RECYCLING AND/OR/REUSE MEASURES TO REDUCE THE AMOUNT OF CONSTRUCTION WASTE & OTHER MATERIALS TO LANDFILL WHEREVER POSSIBLE, SITE SORTED DEBRIS BOXES SHALL BE USED TO SEGREGATE CONSTRUCTION WASTE MATERIALS TO MAXIMIZE DIVERSION RATE.
 - F. THE CONTRACTOR SHALL PROVIDE DEBRIS BOXES FOR MATERIALS SORTED ON SITE (SOURCE SEPARATED) AND/OR BULK MIXED (SINGLE STREAM) WASTER FOR ALL CONSTRUCTION RELATED WASTE GENERATED ON THE PROJECT SITE. MIXED CONSTRUCTION WASTE SHALL BE TAKEN TO A RECYCLING FACILITY THAT HAS DIVERSION RATE OF MIN. 65%. IN THE EVENT A SUB CONTRACTOR PROVIDES THEIR OWN DEBRIS BOX, THEY SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR WITH A MONTHLY REPORT OF THE TOTAL RECYCLED & REUSED (DIVERTED) & TOTAL NON RECYCLE MATERIAL(DISPOSED) TO BE INCLUDED IN THE PROJECT OVERALL WASTE MANAGEMENT/WASTE REDUCTION PROGRAM.
 - G. ANY SUPPLIER HAULING AWAY PACKAGING OR WASTE MATERIALS SHALL NOTIFY THE CONTRACTOR OF THE AMOUNT OF THESE MATERIALS & HOW THEY WILL BE DISPOSED OF (REUSED, RECYCLED, SALVAGED, OR TAKEN TO LANDFILL).
5. 65% OR MORE OF CONSTRUCTION & DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT.
6. THE CONTACTOR SHALL MONITOR THE PROCESS OF WASTE MANAGEMENT, RECYCLING & REUSE OF CONSTRUCTION WASTE MATERIALS TO ENSURE COMPLIANCE WITH CWMP DURING THE COURSE OF THE PROJECT.
7. THE CONTRACTOR SHALL ENSURE THAT ALL SUPPORTING DOCUMENTATION WHICH DEMONSTRATES COMPLIANCE WITH THE WASTE MANAGEMENT IS PROVIDED TO THE LOCAL ENFORCEMENT AGENCY UPON COMPLETION OF THE PROJECT. SAN CARLOS TRANSFER STATION SHALL BE UTILIZED WHICH SHALL PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION & DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS IN SECTION 4.408.1.

GENERAL NOTES:

1. TOILETS MUST BE 1.28 GPM OR BE A QUALIFIED DUAL FLUSH SYSTEM. SINGLE SHOWERS MUST BE 1.8 GPM PER MINUTE AT 80 PSI AND LAVATORY FAUCETS MUST BE 1.2 GPM OR LESS. IF THERE IS MORE THAN ONE SHOWER HEAD IN A SINGLE SHOWER, IT MUST HAVE A CONTROL THAT PROHIBITS THEM FROM OPERATING SIMULTANEOUSLY.
2. EXHAUST FANS, WHICH ARE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, SHALL BE PROVIDED IN EVERY NEW/REMODELED BATHROOM.
3. ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS WILL BE RODENT-PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY .
4. CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.
5. AN OPERATION AND MAINTENANCE MANUAL WILL BE DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. 2019 CGC 4.410.1
6. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM.
7. ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT STANDARDS. CGC 4.504.2.1
8. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2
9. AEROSOL PAINTS AND COATINGS WILL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS CGC 4.504.2.3
10. 4.504.3 CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF AT LEAST ONE OF THE FOLLOWING:
 1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
 3. NSF/ANSI 140 AT THE GOLD LEVEL.
 4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGETM GOLD
11. HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS (SUCH AS BATHROOM CABINETS, BASEBOARD, DOOR AND WINDOW TRIM, ETC) WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS.
12. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED.
13. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18 INCHES BY 24 INCHES. R408.4
14. OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16 INCHES BY 24 INCHES. R408.4
15. WHERE ANY PORTION OF THE THROUGH-WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16 INCHES BY 24 INCHES SHALL BE PROVIDED. R408.4
16. THE BOTTOM OF THE AREAWAY SHALL BE BELOW THE THRESHOLD OF THE ACCESS OPENING.
17. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE.



EXISTING / DEMO FLOOR PLAN
SCALE: 1:137.14

WALL LEGEND

- (E) WALLS TO BE DEMO
- (E) WALLS TO BE REMAIN

CALCULATION FOR DEMOLISHED AND MODIFIED EXTERIOR WALLS

(E) TOTAL EXTERIOR WALLS: EAST 39'-9 1/4" + NORTH 39'-4 1/4" + WEST 39'-9 1/4" + SOUTH 39'-4 1/4" = 185'-3"
 (E) TOTAL INTERIOR WALLS: 190'-7 1/2"
 TOTAL EXISTING WALL: 375'-10 1/2" (4510.5")

(P) EXTERIOR WALLS TO BE MODIFIED:
 A 39'-9 1/4" + B 39'-4 1/4" + L 16'-6 3/4" = 95'-8 1/4" (1,148.25")

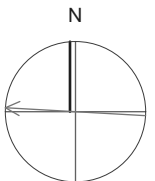
ALTERATION CHANGING %
 1148.25" / 4510.5" = 0.25 x 100 = 25%



ANTONIO NIEVES

1205 JANICE DR,
SANTA CLARA, CA 95050

Chia Chi Chang



APN NUMBER	20012040
DATE	Wednesday, June 3, 2026
PLAN CHECK	
BID DATE	
FINAL PERMIT	
REVISIONS	

PLAN PREPARED BY:
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 4675 STEVENS CREEK BLVD, STE 215 SANTA CLARA, CA 95051
 (408) 423-4851
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 PLAN VIEWED BY:
 WELLD
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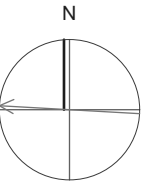
EXISTING FLOOR PLAN

A-1.2

ANTONIO NIEVES

1205 JANICE DR,
SANTA CLARA, CA 95050

Chia Chi Chang



APN NUMBER 20012040

DATE Wednesday, June 3, 2006

PLAN CHECK

BID DATE

FINAL PERMIT

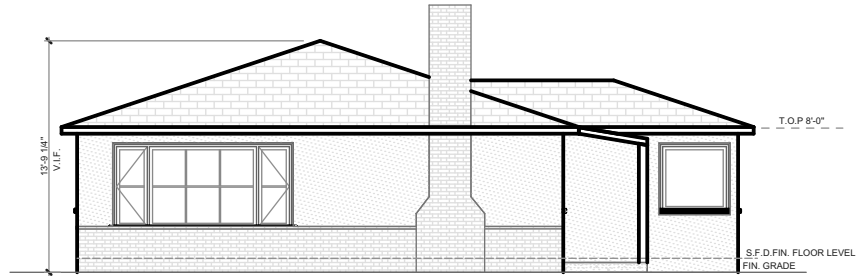
REVISIONS

PLAN PREPARED BY:
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EXISTING
ELEVATION

A-1.3



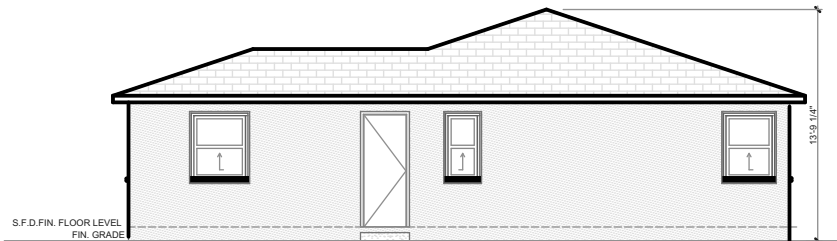
(E) FRONT ELEVATION
SCALE: 1:137.14

1



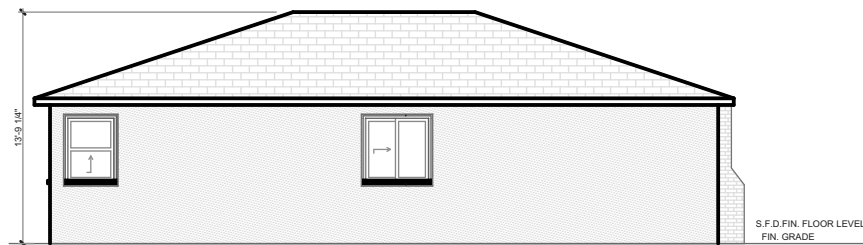
(E) RIGHT ELEVATION
SCALE: 1:137.14

2



(E) REAR ELEVATION
SCALE: 1:137.14

3



(E) LEFT ELEVATION
SCALE: 1:137.14

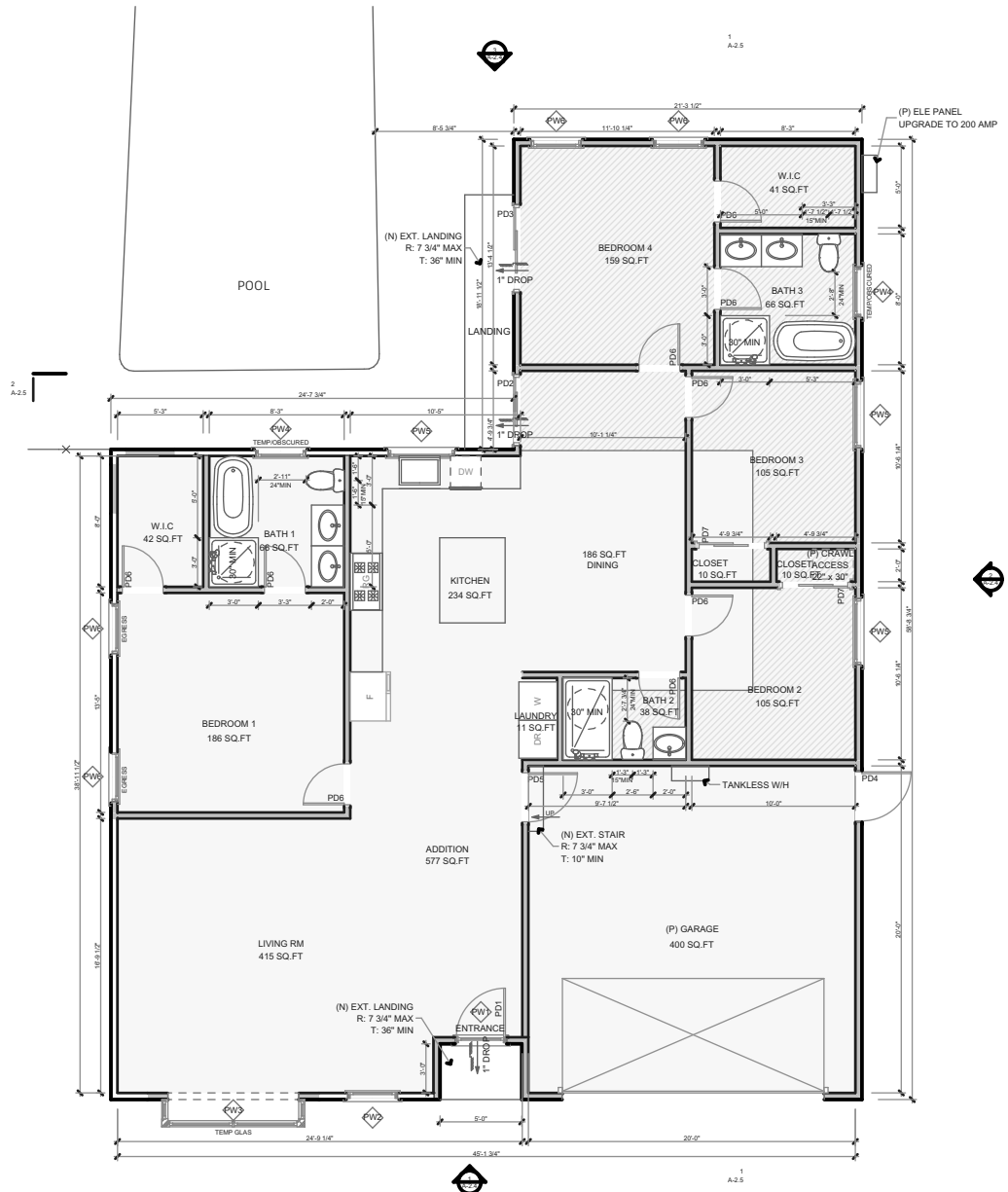
4

RESIDENTIAL BATHROOM NOTES:

- 1- MINIMUM CEILING HEIGHT IN A BATHROOM IS 7'-0" CLEAR, FROM THE FINISHED FLOOR TO THE FINISHED CEILING.
- 2- INSULATION SHALL BE INSTALLED IN ALL WALLS, FLOORS AND CEILINGS OPEN FOR CONSTRUCTION BETWEEN CONDITIONED SPACE AND UNCONDITIONED SPACE SUCH AS EXTERIOR WALLS, GARAGES, CRAWL SPACES, AND ATTICS. WALLS: R-13; CEILINGS: R-30; FLOORS: R-19.
- 3- CALIFORNIA RESIDENTIAL CODE FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS ARE ALLOWED TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
- 4- TILE SHALL NOT BE INSTALLED DIRECTLY ON GREEN BOARD OR PLAIN GYPSUM BOARD IN SHOWER AND TUB AREAS.
- 5- WINDOWS LESS THAN 60° OF THE STANDING SURFACE OF THE TUB OR SHOWER SHALL BE TEMPERED GLAZING.
- 6- ALL SHOWER AND TUB DOOR ASSEMBLIES AND GLASS SPLASHGUARDS SHALL BE SAFETY GLAZING.
- 7- THE 20-AMP BATHROOM CIRCUIT SHALL ONLY SERVE RECEPTACLES WITHIN THE BATHROOM. THE CIRCUIT MAY ERVE THE RECEPTACLES AND LIGHTS IN STAND-ALONE BATHROOMS. THE CIRCUIT MAY SERVE MULTIPLE BATHROOMS FOR RECEPTACLES ONLY.
- 8- A GFCI PROTECTED RECEPTACLE SHALL BE LOCATED WITHIN 36" FROM THE EDGE OF THE SINK.
- 10- LIGHT FIXTURES LOCATED IN WET LOCATION SHALL BE LISTED FOR WET LOCATION AND REQUIRE WATER RESISTANT TRIMS.
- 11- ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS.
- 12- TOILETS SHALL HAVE A MINIMUM NET CLEARANCE OF 15" MEASURED FROM THE CENTER OF THE TOILET TO WALL OR OBSTRUCTION.
- 13- TOILETS SHALL HAVE A MINIMUM NET CLEAR SPACE IN FRONT OF TOILET OF 24".
- 14- TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWER HEAD.
 - A. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE 1016 OR ASME 112.18.1(CSA B12.1).
 - B. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED FOR THE MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120°F.
- 15- SHOWERS SHALL HAVE A MINIMUM INTERIOR DIAMETER OF 30".
- 16- NON ABSORBENT WALL SURFACES FOR SHOWERS OR TUB / SHOWERS SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE FLOOR.
- 17- PLASTIC LINERS AND UNDERLAYMENT SHALL BE SLOPED A MINIMUM OF 1/4" TO THE DRAIN AND BE WRAPPED UP THE WALL A MINIMUM OF 3 INCHES ABOVE THE TOP OF FINISHED DAM.
- 18- A WATER TEST IS REQUIRED TO VERIFY THE PAN DOES NOT LEAK AND TO VERIFY THE WEEP HOLES ARE DRAINING CORRECTLY (SEE BACK FOR SHOWER PAN TEST).
- 19- BATHROOM FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY HUMIDITY CONTROL. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ~ 50 % TO A MAXIMUM OF 80 %. A HUMIDITY CONTROL MAU UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (1.6 BUILT IN).
- 20- SMOKE ALARMS SHALL BE OPERATIONAL AND BE LOCATED IN ALL SLEEPING ROOMS, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH STORY, INCLUDING BASEMENTS. SMOKE DETECTORS & CARBON MONOXIDE SHALL BE HARDWIRED.
- 22- CARBON MONOXIDE ALARMS SHALL BE OPERATIONAL AND LOCATED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
23. ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, SUNROOMS, DINING ROOMS, LIVING ROOMS, PARLORES, LIBRARIES, DEN, BEDROOMS, AND SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) THROUGH (6). ALL AFCI'S ARE REQUIRED TO BE THE "COMBINATION" TYPE, RATHER THAN A "BRANCH FEEDER". PROTECTION CAN BE IN THE FORM OF A CIRCUIT BREAKER OR AN OUTLET. HOWEVER, THE WIRING FROM THE CIRCUIT BREAKER TO THE AFCI OUTLET MUST BE METAL CLAD. THE OUTLET DOWNSTREAM MAY BE WIRED USING NON-METALLIC SHEATHED CABLE.
- 24- TERMINATION OF ALL DRYER AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES AND 3 FT FROM ANY OPENINGS INTO THE BUILDING (I.E., DRIVERS BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS. CMC 504.5.
- 25- RESIDENTIAL OUTDOOR LIGHTING:

LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE:

 - A. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY, OR MAY BE LOW EFFICACY IF IT MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 - I. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND
 - II. CONTROLLED BY A MOTION SENSOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE MOTION SENSOR, OR CONTROLLED BY A MOTION SENSOR HAVING A TEMPORARY OVERRIDE SWITCH WHICH TEMPORARILY BYPASSES THE MOTION SENSING FUNCTION AND AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS
 - III. CONTROLLED BY ONE OF THE FOLLOWING METHODS:
 - A. PHOTO CONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTOCONTROL; OR
 - B. ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK, AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS; OR
 - C. ENERGY MANAGEMENT CONTROL SYSTEM WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 - AT A MINIMUM PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK IN ACCORDANCE WITH SECTION 10.9; MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION 10.4; MEETS THE REQUIREMENTS FOR AN EIMCS IN SECTION 10.5; DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON; AND, IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.
- 26- ALL RECEPTACLES SHALL BE TAMPER-RESISTANT CEC 406.11, CEC 210.52, CEC 210.8



(P) FONDATION VENT TABULATION

RESIDENCE: 577 SQ.FT
 VENT REQUIRE : 577/150 = 3.84 SQ.FT

1. VENT SIZE= 6" X 14" = 0.58 SQ.FT
 1/0.58 X 3.84 = 6.62 VENT

7 VENTS REQUIRED MIN

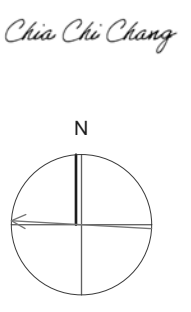
WALL LEGEND

	NEW WALLS
	WALLS TO BE REMAIN
	WORK AREA
	ADDITION

PROPOSED FLOOR PLAN
 SCALE: 1:137.14



ANTONIO NIEVES
 1205 JANICE DR,
 SANTA CLARA, CA 95050



APN NUMBER	20012040
DATE	Wednesday, June 3, 2026
PLAN CHECK	
BID DATE	
FINAL PERMIT	
REVISIONS	

PLAN PREPARED BY:
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 PLAN VIEWED BY:
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PROPOSED FLOOR PLAN

A-2.1

ELECTRICAL NOTES:

1. THE CONTRACTOR IS TO PROVIDE THE OWNER AND THE TOWN BUILDING DIVISION W/ A COPY OF THE CF2R INSTALLATION CERTIFICATE SHALL BE REGISTERED WITH A HERS PROVIDER DATA REGISTRY BEFORE THE TIME OF FINAL INSPECTION (CF2R FORM IS OBSOLETE)
2. PROVIDE AT LEAST TWO DEDICATED 20 AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM, BREAKFAST ROOM AND SIMILAR AREAS WITH NO OTHER OUTLETS ON THE CIRCUITS. [CEC 210.11(c); 210.11(c)(9)]
3. PROVIDE AT LEAST ONE DEDICATED 20 AMP CIRCUIT FOR BATHROOM AND LAVATORY OUTLETS WITH NO OTHER OUTLETS ON THE CIRCUIT [CEC 210.11(c)(9)].
4. A DEDICATED CIRCUIT FOR A DISHWASHER IS REQUIRED.
5. A DEDICATED CIRCUIT FOR A GARBAGE DISPOSAL IS REQUIRED.
6. ALL READY ACCESSIBLE, NON- DEDICATED OUTLETS IN ALL BATHROOMS, KITCHEN, LAUNDRY ROOM AND SIMILAR SPACES SHALL BE GFCI PROTECTED.
7. ALL OUTLETS ARE 48" (C/L) ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
8. ALL 120- VOLT, SINGLE PHASE, 15- & 20- AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER CEC 210.12
9. 125- AND 250-VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHER-PROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSTALLED.
10. AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS, SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS [CEC 210.11(c)(9)].
11. ALL 125-V, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
12. ALL RECEPTACLES AT KITCHEN AND COUNTERTOP TO BE GFCI PROTECTED PER CEC 210.8(a).
13. FOR ALL OUTLETS AND PORTS NOT NOTED WITH SPECIFIC REQUIREMENTS, CONTRACTOR TO ASSUME STANDARD LOCATION AND HEIGHT OFF FLOOR, PLACED AT NEAREST STUD.
14. ALL INTERNET / DATA WIRING TO HOME RUN TO COMPUTER CLOSET.
15. U O N ALL TELEPHONE/ DATA PORTS ARE 1X TELEPHONE AND 1X DATA.
16. ALL ENTRY SYSTEM VIDEO WIRING TO HOME RUN TO COMPUTER CLOSET.
17. ALL ENTRY SYSTEM VIDEO WIRING TO BE CAT 6 WIRE.
18. ALL TELEPHONE WIRING TO HOME RUN TO PHONE BOARD.
19. ALL TELEPHONE WIRING TO BE CAT 6 WIRE.
20. CABLE TO BE COORDINATED AS NEEDED TO ALLOW FOR NEW HOME RUN FROM STREET TO TERMINATION BOARD INSIDE HOUSE.
21. CONTRACTOR ELECTRICAL SUB TO WALK THE OWNER THROUGHOUT MARKED JOB SITE TO CONFIRM ACTUAL LOCATION OF OUTLETS IN FIELD PRIOR TO HARD WIRING AND BOX PLACEMENT IF THE OWNER REQUESTS.
22. RECEPTACLES SHALL BE INSTALLED IN GENERAL USE ROOMS ON WALLS SUCH THAT NO POINT ON THE WALL IS MORE THAN 6'-0" FROM A RECEPTACLE.

RCP NOTES:

1. THE CONTRACTOR IS TO PROVIDE THE OWNER AND THE TOWN BUILDING DIVISION W/ A COPY OF THE COMPLETED CF-2R INSTALLATION CERTIFICATE PRIOR TO FINAL INSPECTION.
2. VERIFY EXACT LOCATION AND MOUNTING HEIGHT OF ALL LIGHTING FIXTURES AND SWITCHES WITH ARCHITECT OR OWNER PRIOR TO ROUGH INSTALL.
3. ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH A BATTERY BACK-UP; SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS.
4. ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY.
5. ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAA, EXCEPT HALLWAYS AND CLOSETS OVER 70 SF, SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS. THIS ALSO APPLIES TO ALL GU24 LEADS AND RECESSED LUMINAIRES, CBEES 150.0(k)(2).
6. LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS, ALL LUMINAIRES SHALL BE HIGH EFFICACY AND AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR. CBEES 150.0(k)(2).
7. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES OR OTHER WET/ DAMP LOCATIONS SHALL BE LABELLED " SUITABLE FOR WET LOCATIONS" PER CEC 418.4(a).
8. LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING PER 150.0(k) 1C LISTED FOR ZERO CLEARANCE INSULATION, LABELLED THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH A LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS, SEALED WITH A GASKET OR CAULK, ALLOW REPLACEMENT AND MAINTENANCE TO BE READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT CUTTING HOLES IN THE CEILING, SHALL NOT CONTAIN SCREW BASE SOCKETS, AND SHALL CONTAIN LIGHTING SOURCES THAT COMPLY WITH JAA.
9. CLOTHES LIGHT FIXTURE CLEARANCES SHALL CONFORM TO CEC 419.8.
10. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC.

MECHANICAL NOTES:

1. A DUCTED RESIDENTIAL EXHAUST HOOS IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWNDRAFT EXHAUST (VENT) ALUMINUM FLEX DUCT IS NOT APPROVED, PER CMC 504.30.
2. AS AN ELECTRIC RANGE IN A DWELLING OVER 1000 SQUARE FEET, THE HOOD CAPACITY MUST BE 110 cfm, OR HAVE A 50% CAPTURE EFFICIENCY (CE). [CEC TABLE 150.0-G CEC 150.0 (a) G. 1] IF A GAS RANGE, THEN SPECIFY 180 cfm.
3. KITCHEN RANGE HOODS REQUIRED MIN. VENTILATION PER 2022 ASHRAE 62.2, SEC. 5 (SECTION 150.0(O)2B) AND MAXIMUM SOUND RATING PER 2018 ASHRAE 26.2, SECTION 7.2 (SECTION 150.0 (O)12).
4. THE MINIMUM LOCAL EXHAUST RATES AT BATHROOM FANS SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. [R303.3, EXCEPTION]

(P) WINDOW SCHEDULE						
ID	PW1	PW2	PW3	PW4	PW5	PW6
3D Front view						
Nominal W x H Size	3'-0"x1'-6"	3'-0"x5'-0"	8'-0"x5'-0"	3'-0"x4'-0"	4'-0"x4'-0"	3'-0"x4'-0"
Quantity	1	1	1	2	3	4
Sill Height	8'-0"	2'-0"	2'-0"	3'-0"	3'-0"	3'-0"

(P) DOOR SCHEDULE							
ID	PD1	PD2	PD3	PD4	PD5	PD6	PD7
3D Front view							
Nominal W x H Size	3'-0"x6'-8"	4'-0"x6'-8"	5'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	2'-6"x6'-8"	4'-0"x6'-8"
Quantity	1	1	1	1	1	9	2

KEY NOTE:
CONTRACTOR SHALL VERIFY LOCATION OF ALL LIGHTS W/ OWNER ON SITE.

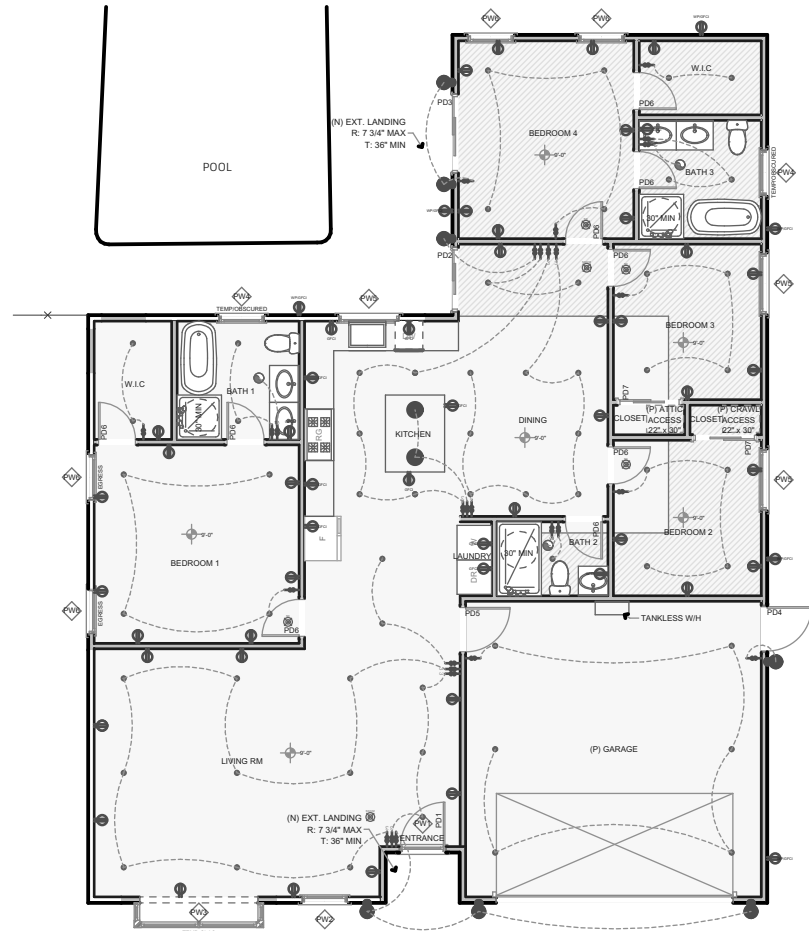
KITCHEN FAN FLOW(CFM)= 279 CFM
DUCT TYPE= RIGID HARD METAL DUCT
AND DUCT SIZE (in) = 8"
LENGTHS : 12 1/4"
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 3 SONES.

BATHROOM FAN FLOW(CFM)= 110 CFM
DUCT TYPE= RIGID HARD METAL DUCT
AND DUCT SIZE (in) = 4"
LENGTHS : 13"
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 3 SONES.

NOTE:
WHETHER THE SKYLIGHTS ARE FIXED OR OPERABLE. FOR OPERABLE SKYLIGHTS, RELOCATE THE EXHAUST DUCT TERMINATIONS TO BE 10 FEET AWAY. CMC 502.2

ELECTRICAL LEGEND

	EXHAUST FAN
	4" RECESSED LIGHTS
	WEATHERPROOF RECEPTACLE/GROUND FAULT CIRCUIT INTERRUPTER
	OUTLET DOUBLE
	GROUND FAULT CIRCUIT INTERRUPTER
	SWITCH
	3 WAY SWITCH
	VACANCY SWITCH
	SMOKE DETECTOR/CARBON MONOXIDE
	SMOKE DETECTOR
	DATA OUTLET
	CABLE (AV)
	CEILING FAN W/ LIGHT
	PENDANT LIGHT
	WALL LIGHT



PROPOSED RCP PLAN
SCALE: 1:155.90

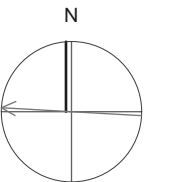
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ANTONIO NIEVES

1205 JANICE DR,
SANTA CLARA, CA 95050

Chia Chi Chang



APN NUMBER 20012040

DATE Wednesday, June 3, 2026

PLAN CHECK

BID DATE

FINAL PERMIT

REVISIONS

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PROPOSED RCP

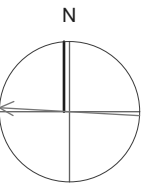
A-2.2

PAGE 6

ANTONIO NIEVES

1205 JANICE DR,
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Chia Chi Chang



APN NUMBER 20012040
DATE Wednesday, June 3, 2026
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PROPOSED ROOF PLAN

A-2.3

(P) ROOF VENT TABULATION FOR HOUSE ADDITION

TOTAL VENT AREA: 2,429 SQ. FT.
ROOF VENT REQUIRE: 2429/150 = 16.1 SQ. FT.

ROOF VENT PROVIDED: 10 SQ.FT FOR ROOF VENT
EAVE VENT PROVIDED: 15 SQ.FT FOR EAVE VENT

VENT TYPE AND SIZE
ROOF VENT
1. VENT SIZE = 12" X 12" = 1 SQ.FT
EAVE VENT
1. VENT SIZE = 6" X 14" = 0.58 SQ.FT

ROOF VENT:
1 ROOF VENT = 1 SQ.FT
10/1 = 10 (10 VENTS PROVIDED)

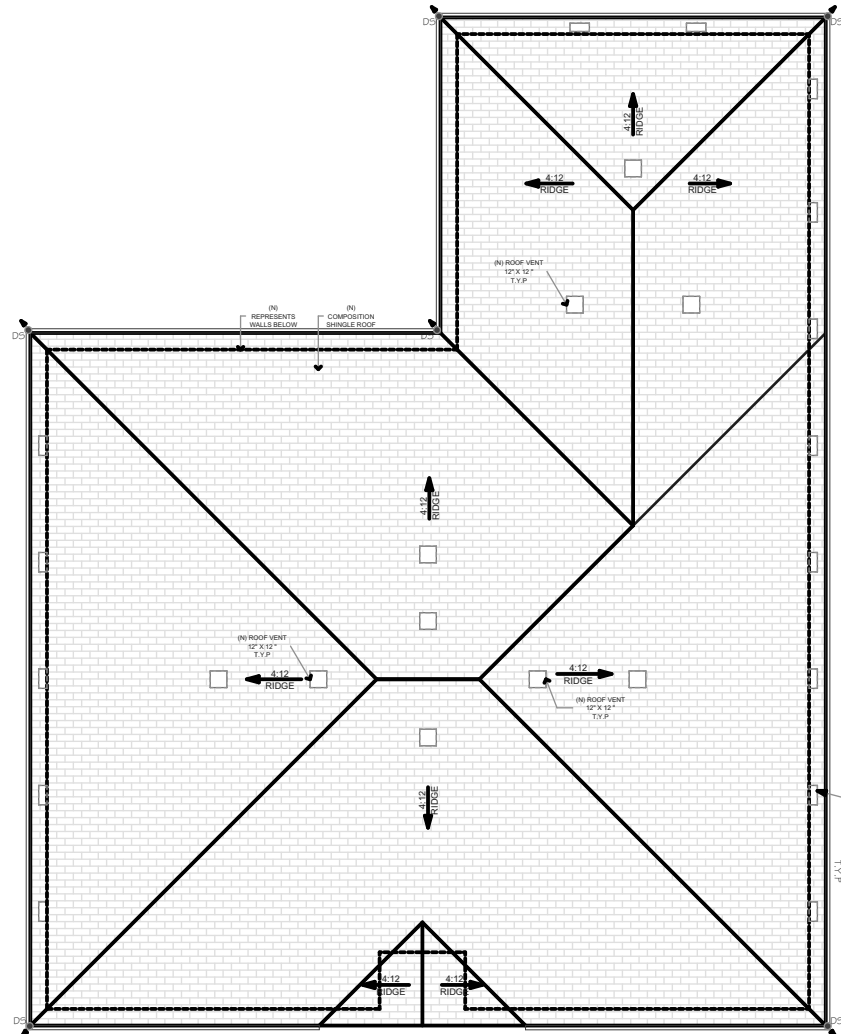
EAVE VENT:
1 EAVE VENT = 0.58 SQ.FT
0.58 SQ.FT = 1 EAVE VENT
6.1/0.58 = 10.5 (15 VENTS PROVIDED)

ROOF NOTES:

1. ALL NEW ROOF PENETRATIONS, EXHAUST FANS, MECHANICAL UNITS, ETC ARE TO HAVE CRICKETS INSTALLED IN ORDER TO DIVERT WATER AWAY FOR POSITIVE DRAINAGE.
2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK FREE FLOW OF AIR. MINIMUM 1" SPACE SHALL BE PROVIDED BETWEEN INSULATION & ROOF SHEATHING AT LOCATION OF VENT.
3. FASTENERS FOR THE ROOFING ARE CORROSION RESISTANT IN ACCORDANCE WITH CRC R905.2.5
4. NEW ROOF SHALL BE CLASS 'A' MIN.
5. FOR ROOF SLOPES FROM 2:12 TO 4:12. PROVIDE DOUBLE UNDERLAYMENT. CRC R905.2.2

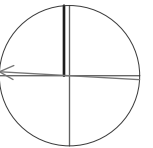
VENTILATION NOTES:

- 1- REQUIRED INDOOR AIR QUALITY EXHAUST VENTILATION RATE SHALL BE MIN. 50 CFM FOR EXHAUST FAN(S).
- 2- MASTER BATH SHALL BE DESIGNATED AS THE INDOOR AIR QUALITY VENTILATION FAN
- 3- MINIMUM 100 SQUARE INCHES SHALL BE PROVIDED FOR DRYER MAKE-UP AIR







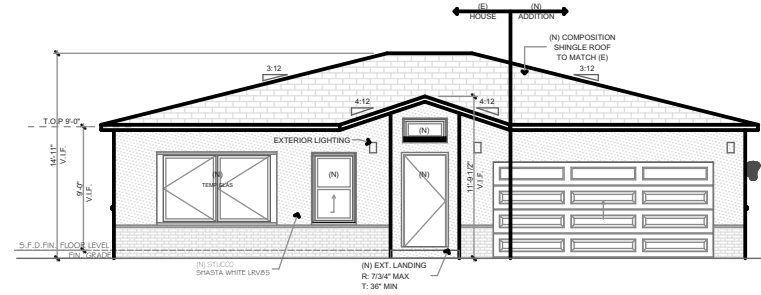
PROPOSED ROOF PLAN
SCALE: 1:138.47

1

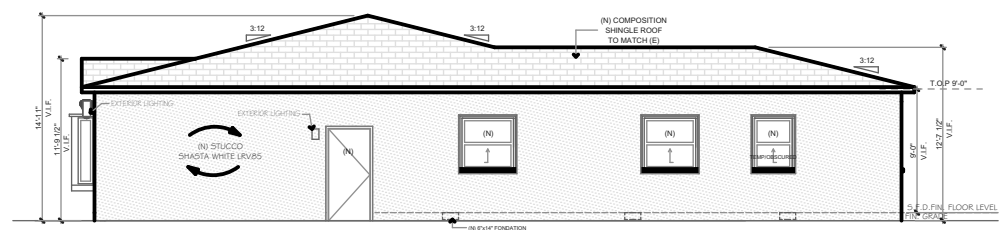


APN NUMBER	20012040
DATE	Wednesday, June 3, 2026
PLAN CHECK	
BID DATE	
FINAL PERMIT	
REVISIONS	
PLAN PREPARED BY:	HOME RENOVATION 4675 STEVENS CREEK BLVD, STE 215 SANTA CLARA, CA 95051 (849) 433-4801 DESIGN@SAHHOME.COM
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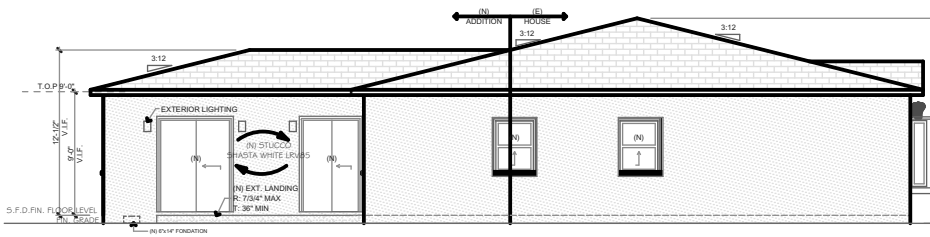
MATERIAL SCHEDULE		
#	ITEM	DESCRIPTION
1	PRESIDENTIAL SHAKE SHINGLE ROOF	40 YEARS CLASS A PRESIDENTIAL SHAKE ROOF WITH MIN. OF TWO LAYER OF 30# FELT ON 1/2" PLYWOOD 
2	WALL - STUCCO	STUCCO PAINT EXTERIOR FINISH 3 COATS, 7/8" MIN. THICK, CRC R703.72, AND CBC 25134 TWO LAYERS OF GRADED PAPER UNDER CEMENT PLASTER COVERING WHERE OCCURS OVER PLAYWOOD SHEATHING, CRC R703.7.3 COLOR: STUCCO SUPPLY CO. SHASTA WHITE LRV85 
3	EXTERIOR LIGHTING	RODHAM BLACK INTEGRATED LED OUTDOOR WALL LIGHT LANTERN PORCH SCONCE MODEL # IZC1691L-2 
4	WALL-STONE	NATURAL STONE VENEER REFER TO BUILDING ELEVATION FOR SIZE DETAILS COLOR: SIMILAR TO IMAGE 



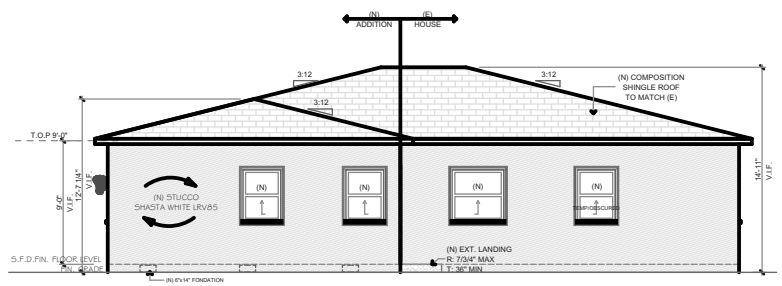
(P) FRONT ELEVATION
SCALE: 1:167.69 ①



(P) RIGHT ELEVATION
SCALE: 1:167.69 ②



(P) LEFT ELEVATION
SCALE: 1:167.69 ④

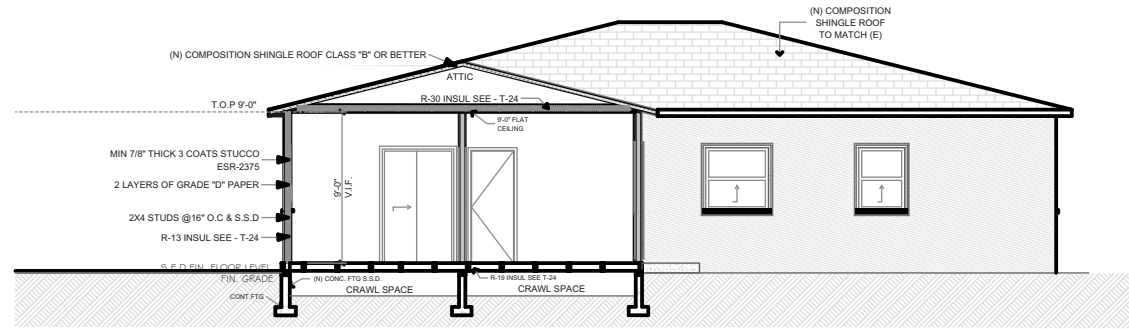
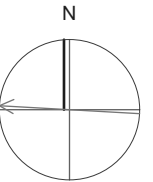


(P) REAR ELEVATION
SCALE: 1:167.69 ③

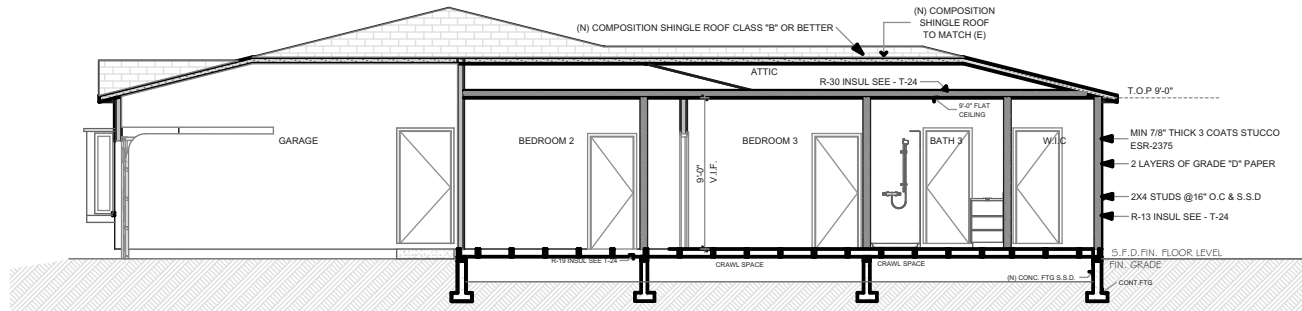
ANTONIO NIEVES

1205 JANICE DR,
SANTA CLARA, CA 95050

Chia Chi Chang



SECTION 2
SCALE: 1:137.14



SECTION 1
SCALE: 1:137.14

APN NUMBER	20012040
DATE	Wednesday, June 3, 2009
PLAN CHECK	
BID DATE	
FINAL PERMIT	
REVISIONS	
PLAN PREPARED BY:	HOME RENOVATION
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	(549) 433-4851
	DESIGN@SAHOME.COM
PLAN VIEWED BY:	WELU
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PROPOSED SECTION

A-2.5

TOPOGRAPHIC & BOUNDARY SURVEY

1205 JANICE DRIVE,
SANTA CLARA, CA 95050

SAN CLARA COUNTY - CALIFORNIA
SCALE: 1 inch = 10 feet MAY 2025

OWNER:
ANTONIO NIEVES
536 WEST COURT
SAN JOSE, CA 95116

APN: SURFACE AREA:
290-12-040 S=6,113.27 (S.F.)

LEGAL DESCRIPTION:

LOT 382, MAP OF "TRACT No. 1276, SUNNY BRAE UNIT No. 10", FILED MARCH 8, 1954, IN MAP BOOK 48, PAGE 17, SANTA CLARA COUNTY RECORDS, CALIFORNIA.

BASIS OF BEARINGS:

THE BEARING OF THE LINE BETWEEN THE TWO MONUMENTS FOUND ON SUSAN DRIVE, IS TAKEN AS N 89°51'00" E, BASED ON TRACT MAP #1191 SUNNY BRAE, UNIT No., AS SHOWN.

BASIS OF ELEVATION:

ASSUMED 60.00 FT ELEVATION AS SHOWN.

UTILITY NOTE

THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THERE ARE NOT HORIZONTAL CURVES OR VERTICAL CURVES, WITHIN 300 FEET OF THE PROPERTY.
- WATER, GAS, SEWER AND ELECTRIC UTILITIES ARE AVAILABLE ON JANICE DRIVE.
- NEAREST HYDRANT: IS LOCATED 147 +/- FEET TO THE NORTHWEST ON JANICE DRIVE, AS SHOWN.
- NEAREST INTERSECTION: SUSAN DRIVE, 125 FEET TO THE NORTH.

SURVEYOR'S STATEMENT:

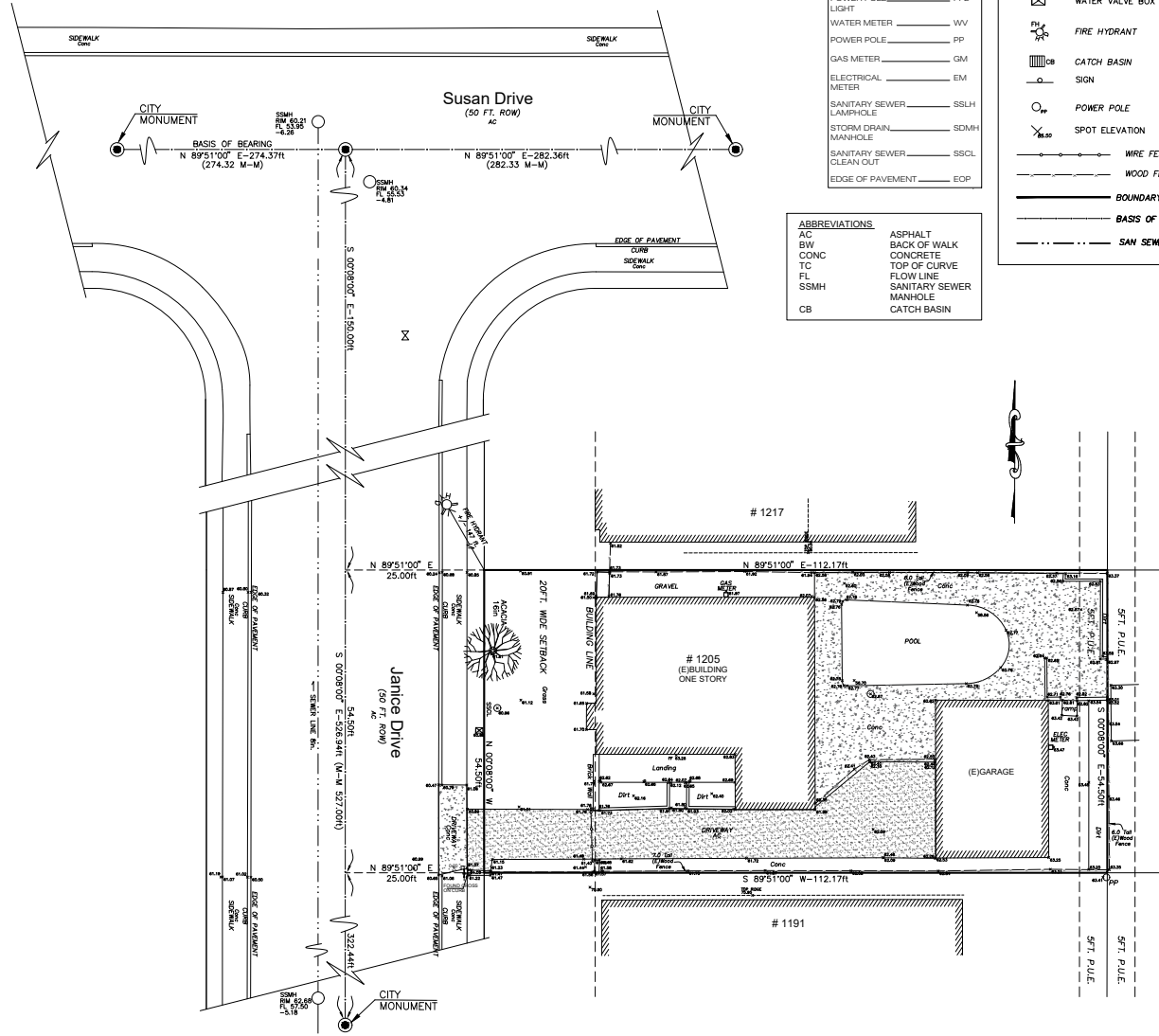
THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF:

ANTONIO NIEVES ON: MAY, 2025

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE THE FILING OF A RECORD OF SURVEY. I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE A PUBLIC RECORD, AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

ALBERTO G. MASSO 06/02/2025
DATE

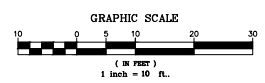


ABBREVIATIONS	
AC	ASPHALT
BW	BACK OF WALK
CONC	CONCRETE
TC	TOP OF CURVE
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE
CB	CATCH BASIN
FH	FIRE HYDRANT
SSMH	SANITARY SEWER MANHOLE
PPL	POWER POLE
PP	POWER POLE
WV	WATER VALVE
GM	GAS METER
EM	ELECTRICAL METER
SSLH	SANITARY SEWER LAMPHOLE
SSMH	SANITARY SEWER MANHOLE
SSCL	SANITARY SEWER CLEAN OUT
EOP	EDGE OF PAVEMENT

ABBREVIATIONS	
AC	ASPHALT
BW	BACK OF WALK
CONC	CONCRETE
TC	TOP OF CURVE
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE
CB	CATCH BASIN

SYMBOLS:
(ALL SYMBOLS NOT NECESSARILY ON DRAWINGS)

	FOUND MONUMENT WELL, 2" BRASS DISK WITH PUNCH.
	WATER METER
	WATER VALVE BOX
	FIRE HYDRANT
	CATCH BASIN
	SIGN
	POWER POLE
	SPOT ELEVATION
	WIRE FENCE
	WOOD FENCE
	BOUNDARY LINE
	BASIS OF BEARING LINE
	SAN SEWER MAIN



SUMMIT ENGINEERING
5855 CASTLE DRIVE
OAKLAND, CA 94611
PHONE: (510) 842-8064
FAX: (510) 482-5848

OWNER:
ANTONIO NIEVES
536 WEST COURT
SAN JOSE, CA 95116

RS CAD SERVICE
510-355-2174
510-302-9272
Email:
rs.ardtop@gmail.com

NO.	DATE	DESCRIPTION	BY

BOUNDARY SURVEY
1205 JANICE DRIVE
SANTA CLARA, CA 95050
SANTA CLARA COUNTY - CALIFORNIA
SCALE: 1 inch = 10 feet MAY 2025

SHEET 1
OF 1 SHEETS
ORIG.DWG. BS
REV.DWG. _____
JOB_TOP37-2025



Agenda Report

26-713

Agenda Date: 7/8/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on an Architectural Review (PLN26-00182) for the Demolition of an Existing Structure for the Construction of a 2,225 Square Foot Four-Bedroom, Three-and-a-Half-Bathroom Two-Story Single-Family Residence with an Attached 489 Square Foot Garage and a 798 Square Foot Attached Accessory Dwelling Unit on a 5,942 Square Foot Lot at 2331 Castro Place. CEQA Status: Exempt from CEQA per Section 15332.

File No.: PLN26-00182

Location: 2331 Castro Place

Applicant: Moe Jalili

Owner(s): Jensen Hsu

Request: **Architectural Review** for the demolition of an existing structure for the construction of a 2,225 square foot four-bedroom, three-and-a-half-bathroom two-story single-family residence with an attached 489 square foot garage and a 798 square foot attached accessory dwelling unit.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project is in a predominantly single-story residential tract as shown in the Vicinity Map on Attachment 1.
- The site consists of a single-story three-bedroom one-bathroom patio-style residence built in 1954.
- There are no significant historical features in the existing residence other than the structure's age, therefore is not eligible to be designated a Historical Resource under Santa Clara City Code ("SCCC") 18.130.030.
- Per the SCCC 18.120.020.D.7, the demolition of an existing structure requires Architectural Review approval through a Development Review Hearing ("DRH").
- The proposal will result in a 2,225 square foot four-bedroom, three-and-a-half-bathroom two-story residence with a 489 square foot garage and a 798 square foot-attached accessory dwelling unit.
- The proposed 798 square foot attached accessory dwelling unit meets all the objective standards under SCCC 18.60.020.E.3 and will be approved ministerially under SCCC 18.60.020.A.
- The applicant proposes a modern California vernacular style residence with minimalistic massing and architectural features like simple vertical wood siding wall planes, and low-sloped gable roof.
- The proposed construction materials include faux wood siding, a multi-panel garage door, soft

white stucco, and black asphalt shingle roof.

- The project as conditioned is consistent with the City's Single-Family & Duplex Residential Design Guidelines ("Residential Guidelines") (2014):
 - The building height and bulk is appropriate relative to the neighborhood as the proposed roof is low sloped with a second story element setback approximately six feet from the first-floor walls.
 - The proposed architectural features of the structure are appropriate to the neighborhood as they are derived from architectural features commonly found in the residential tract like perpendicular oriented overhanging eaves.
 - The roof materials, building materials, and finishes work in conjunction with one another, are consistent with the architectural style of the building as they are typical materials found in other modern California vernacular style residences.
- The design went through one round of revisions and is being conditioned to ensure compliance with the SCCC and the Residential Guidelines. The roof pitched of the second floor was lowered to be below the height limit, the interior floor plan was reorganized so the guest bedroom's window is on the front elevation instead of a bathroom window, the front door was center to the entry feature, and the proposed pillars were widened to create a more prominent architectural feature.
- The project is being conditioned ("Condition P2") to redesign their entry feature to blend with the orientation of the rest of the eaves on the first floor's front elevation as currently the proposed entry feature's roof is oriented perpendicular to the rest of the first floor's roof.
- The proposed project meets the required findings set forth in SCCC 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposal is consistent with SCCC 18.38.060.D as the garage's interior dimensions exceed the 20' by 20' minimum interior dimensions.
 - The existing parking spaces are not located in the required front yard or side yard landscaped area as they are in the existing garage.
 - The parking spaces are in an all-weather material surfaced area.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed construction would not create any traffic congestion or hazards.
 - The public streets are adequate in size to accommodate a single-family residence of this size.
 - The proposed design matches nearby residence in scale and would not impair the desirability

of the neighborhood.

- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
- Building height and bulk are appropriate relative to the neighborhood.
 - Roof materials, building materials, and finishes work in conjunction with one another and are consistent with the proposed architectural style of the building.
 - Architectural features of the proposed design are true to the architectural form and are appropriate for the neighborhood.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
- The project is subject to the California Building Code & City Code requirements. Which serves to regulate new construction to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*
- The proposed construction is consistent with the Residential Guidelines as conditioned:
 - The project will create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.
 - The proposed construction complies with the R1-6L Zoning District development standards.
 - The proposed construction complies with the intent of the Santa Clara General Plan and all its policies.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill Development Projects), in that the project site is less than five acres, served by utilities, and complies with the General Plan.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

An early project notification notice was mailed out to 81 property owners/ tenants within 300-foot radius of the project site to inform them of the proposal. No public comments were received.

A public hearing notice was mailed to 81 property owners/tenants within a 300-foot radius of the project site on June 25, 2026. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Based on the project's consistency with the Zoning Code, Santa Clara City Code and the Single Family Design Guidelines, staff recommends the Development Review Officer approve the project as follows:

- 1. Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill Development Projects), and
- 2. Approve** the Architectural Review for the demolition of an existing structure for the construction of a 2,225 square foot four-bedroom, three-and-a-half-bathroom two-story single-family residence with an attached 489 square foot garage and a 798 square foot attached accessory dwelling unit at 2331 Castro Place, subject to the conditions of approval.

Prepared by: Alex Tellez, Associate Planner, Community Development Department

Review by: Nimisha Agrawal, Senior Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning) - 2331 Castro



Zoning

Land Parcels

- LI, ML - Light Industrial
- MUCC - Mixed Use Community Commercial
- MURC - Mixed Use-Regional Commercial
- OS - Parks/Open Space
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R3 - Medium Density Residential

Base Layers

Air Parcels

Land Parcels

- Land Parcels
- Right of Ways
- Common Areas

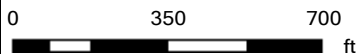
Streets



Notes:

PLN26-00182

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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance

**Project Address: 2331 Castro Place
Zoning: R1-6L**

Project Number: PLN26-00182

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	5,942	5,942	6,000	N (Existing Non-Conforming)
Lot Area per Dwelling Unit (SF):	5,942	2,971	--	--
Building Square Footage (SF)				
1st Floor:	866	1020	--	--
2nd Floor:	--	905	--	--
Accessory Dwelling Unit	--	798	800	Y
Detached Garage	242	--	600	Y
Attached Garage	--	489	600	Y
Porch/Patio:	--	300	--	--
Total:	1,108	3,512	--	--
Total: (Excludes ADU)	--	2,714	--	--
Floor Area Ratio (Excludes ADU):	0.18	0.45	--	--
% of 2nd floor to 1st floor: (Excludes ADU)	--	0.59	66% max	--
Building Coverage (%)				
Building Coverage (Excludes ADU):	0.18	30.4	40% max	Y
Rear Yard Accessory Building Coverage:	--	--	40% max	--
Main Building Setbacks (FT)				
Front (1st floor):	20	20'-5"	20	Y
(2nd floor):	--	27'-2"	25	Y
Left Side (1st floor):	24'-6"	5'-1"	5'	Y
(2nd floor):	--	23'-10"	10'	Y
Right Side (1st floor):	13'-2"	6	6	Y
(2nd floor):	--	13'-5"	10	Y
Side, Corner:	--	--	--	--
Rear (1st floor):	24'-2"	25'-5"	20	Y
(2nd floor):	--	28'-10"	20	Y
Accessory Dwelling Unit Setbacks (FT)				
Front:	--	35	20	Y
Side (left):	--	5'-1"	4	Y
(right):	--	43	4	Y
Side, Corner:	--	--	--	--
Rear:	--	5'-6"	4	Y

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Height (FT)				
Main building:	14	24'- 9"	25	Y
Accessory Dwelling Unit:	--	14	16	Y
# of Bedrooms/Bathrooms:	3/1	4/3.5	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				N
Off-street	0	2	2	Y
Common Living Area (SFR)	32%	41%	Min 25%	Y
Open Landscaped Area (Front):	1,320	1,320	--	--

Conditions of Architectural Review Approval

2331 Castro Place / PLN26-00182

Architectural Review for the demolition of an existing structure for the construction of a 2,225 square foot four-bedroom, three-and-a-half-bathroom two-story single-family residence with an attached 489 square foot garage and a 798 square foot attached Accessory Dwelling Unit.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is July 15, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Entry Feature.** The roof of the entry feature needs to match the orientation of the rest of the roof.

DURING CONSTRUCTION

- P3. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.

- P4. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P5. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P6. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P7. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P8. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

2331 Castro Pl Residence

Santa Clara, CA 95050

VICINITY MAP:



PROPERTY LOCATION / NTS

PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 234-12-045
 PROJECT TYPE: NEW RESIDENTIAL HOUSE
 PROJECT LOCATION: 2331 CASTRO PL, SANTA CLARA, CA 95050
 ZONING: R-16
 OCCUPANCY GROUP: R-3 / U
 CONSTRUCTION TYPE: V-B
 NUMBER OF FLOORS: 2
 FIRE PROTECTION: HOUSE & ADU FIRE SPRINKLERS UNDER SEPARATE PERMIT
 BEDROOM NUMBER: MAIN HOUSE 4 BEDROOMS, ADU 1
 BATHROOM NUMBER: MAIN HOUSE 3.5 BATHROOMS, ADU 1.5
 GARAGE: 2 COVERED ATTACHED
 LOT SIZE: 5942 SQ.FT.
 FLOOR AREA RATIO: 40 % (NOT INCLUDING ADU)
 SF OF COMMON LIVING SPACE: 1925 HABITABLE MAIN HOUSE
 ADU HABITABLE SPACE: 756 HABITABLE ATTACHED ADU
 OPEN LANDSCAPE AREA: 3000 SQ.FT.
 EXISTING BUILDING YEAR: 1964

CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL: 2025 EDITION
 B. CALIFORNIA BUILDING: 2025 EDITION
 C. CALIFORNIA GREEN BUILDING: 2025 EDITION
 D. CALIFORNIA MECHANICAL: 2025 EDITION
 E. CALIFORNIA PLUMBING: 2025 EDITION
 F. CALIFORNIA ELECTRICAL: 2025 EDITION
 G. CALIFORNIA ENERGY: 2025 EDITION
 H. CALIFORNIA FIRE: 2025 EDITION
 ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS: 2025 EDITION
 I. SANTA CLARA MUNICIPAL CODE: 2025 EDITION

PROJECT CONTACT:

OWNER: JENSEN HOJ
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DRAWING INDEX:

ARCHITECTURAL PLAN:
 A-00: COVER SHEET
 TOPO & BOUNDARY MAP
 A-01: SITE PLAN CONDITIONS
 A-01: FIRST FLOOR PLAN CONDITIONS
 A-02: SECOND FLOOR PLAN CONDITIONS
 A-03: ROOF PLAN CONDITIONS
 A-04: WINDOW & DOOR SCHEDULE
 A-05: PROPOSED ELEVATIONS
 A-06: PROPOSED ELEVATIONS
 A-07: PROPOSED SECTIONS
 A-08: MATERIAL BOARDS
 CE: COVER SHEET
 C1: GRADING AND DRAINAGE PLAN
 C2: UTILITY PLAN
 C3: CONSTRUCTION DETAILS
 CA-01: EROSION AND SEDIMENT CONTROL PLAN
 CA-02: BEST MANAGEMENT PRACTICES (BMP SHEET)
 CS: CITY STANDARDS

AREA CALCULATION:

EXISTING CONDITION:
 DEMO EXISTING HOUSE FULL STRUCTURAL AT 1168 SQ.FT.
 *** NEW CONDITIONS

** MAIN HOUSE:	1020	SQ.FT (1ST FLR)
** MAIN HOUSE:	905	SQ.FT (2ND FLR)
** ATTACHED ADU FLR:	756	SQ.FT
** ATTACHED GARAGE:	489	SQ.FT
** PORCH & REAR PATIO:	300	SQ.FT
LOT AREA:	5942	SQ.F

LOT COVERAGE (NOT INCLUDING ADU)
 $1020+489+300 / 5942 = 1609 / 5942 = 0.204 = 20.4 %$
 LOT COVERAGE (INCLUDING ADU)
 $1020+489+300+756 = 2607 / 5172 = 0.504 = 50.4 %$

SCOPE OF WORK

- DEMO EXISTING SINGLE STORY HOUSE.
- NEW SINGLE FAMILY HOME WITH AN ATTACHED ADU.
- CREATE NEW TWO STORY MAIN HOUSE WITH TOTAL OF 4 BEDROOMS, 3 FULL BATHS AND ONE HALF BATHROOM.
- MAIN HOUSE TO HAVE OPEN CONCEPT KITCHEN, DINING, & FAMILY ROOM SPACE.
- NEW TWO CARS GARAGE.
- SECOND FLOOR WITH THREE BEDROOMS, AND TWO FULL BATHROOMS.
- MAIN HOUSE TO HAVE 400 AMP.
- HEAT PUMP WATER HEATER AND FURNACE FOR THE MAIN HOUSE.
- ATTACHED ADU WITH TWO BEDROOMS, ONE FULL BATHROOM AND ONE HALF BATHROOM.
- OPEN CONCEPT KITCHEN AND LIVING ROOM.
- STACKABLE WASHER & DRYER.
- 200 AMP PANEL CONNECTED TO THE MAIN HOUSE PANEL GROUPED TOGETHER.
- HEAT PUMP FURNACE SERVING THE ADU.
- TANKLESS WATER HEATER SERVING THE ADU.

- * FIRE SPRINKLERS UNDER SEPARATE PERMIT
- * 2.92 kWdc DC PV SYSTEM REQUIRED.
- * EV CHARGER SEPARATE PERMIT

PLUMBING NOTES: (IMPORTANT READ)

All existing non-compliant plumbing fixtures in the dwelling unit shall be replaced with water conserving fixtures as listed in the table below. Note the requirements on plans.

Fixture Type	Non-Compliant (Flow (gpc/cmin))	Conserving Fixtures (Flow (low rate))
Kitchen Faucet	2.2 Gal/min	1.8 Gal/min @ 60 psi
Other Faucets	2.2 Gal/min	1.2 Gal/min @ 60 psi
Shower *	2.5 Gal/min	1.8 Gal/min @ 80 psi
Water Closet	1.6 Gal/Flush	1.28 Gal/Flush

* Flow rates combined for all showers and/or other fixtures controlled by a single valve. (CGS&C 4.30, California CV 1101.4)

PERMIT NOTES:

- Applications for which no permit is issued within 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandoned for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than ONE extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactivation fee shall be approximately 100% of the original permit fee, per CRC R105.5.

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFERRED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

HERS NOTES:

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT, PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS), TO PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

ADDITIONAL NOTES:

MINIMUM 85 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED PER CALIFORNIA GREEN BUILDING CODE SECTION 4.408.1

Rev: Project & Admin: 03/20

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 Santa Clara, CA 95050

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 Santa Clara, CA 95050

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DATE:

03/20/2025

SCALE:

AS SHOWN

DRAWN BY:

RAMIN ZOHOR

DATE:

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RAMIN ZOHOR

DATE:

03/20/2025

COVER SHEET

PROJECT ID: _____
 DATE: 03/20/2025
 SCALE: _____
 DRAWN BY: RAMIN ZOHOR
 NBI INC. 03/20/2025

SHEET TITLE:

A-00.01

DESIGNER:
 NILSENE BUILDER INC.
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 ZOHOR@RAMIN@GMAIL.COM

DATE:

03/20/2025

SCALE:

AS SHOWN

DRAWN BY:

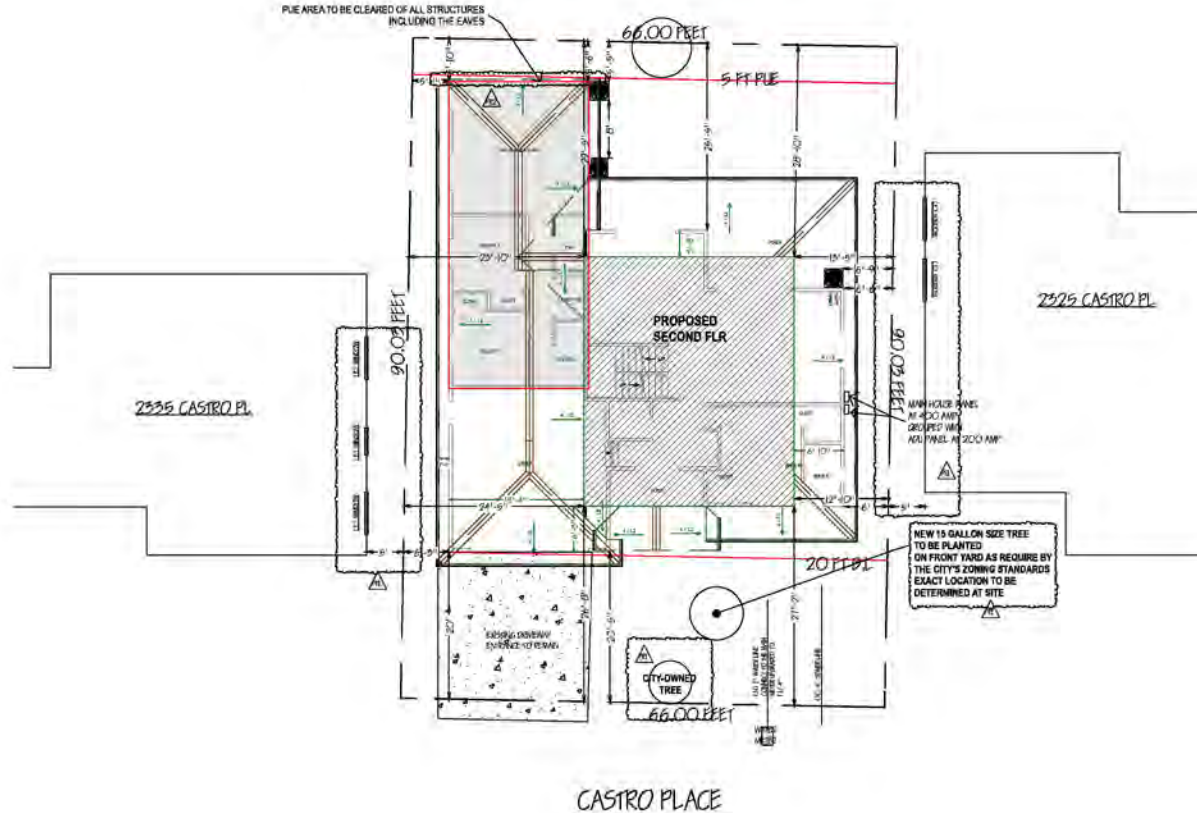
RAMIN ZOHOR

GRADING and DEMO NOTES:

1. CONTACT PUBLIC WORKS FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAIN/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. N/A
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 3% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL WITH EXCEPTION:
11. IF BUILDING SITE DOES NOT ALLOW 15 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
12. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
13. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

TREE PROTECTION NOTES:

1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/LANDSCAPE ARCHITECT SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREES.
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE AND ARMOR AS NEEDED, THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS, PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY REDIGNIFIED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN, NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
7. TREES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/LANDSCAPE ARCHITECT WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.



1 PROPOSE SITE PLAN
30.10"=1'-0"



2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl
Santa Clara, CA 95050

NBI
NILSENE BUILDER INC.

DESIGNER:
NILSENE BUILDER INC.
2180 HUNTERSTEAD ROAD,
8215
CLIPPERTON, CA 95014
TEL: 408-487-6571
ZOHOOOR.RAMIN@GMAIL.COM

**SITE PLAN
CONDITIONS**

PROJECT NO: _____
DATE: _____ 2008
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR
CHECKED BY: NILSENE BUILDER INC.

A-S1

DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMIN@GMAIL.COM

LEGEND:

- NEW CONSTRUCTION WALL
2x4 @ 16" O.C. WALL STUDS
OR PER STRUCTURAL DRAWINGS
- GARAGE WALL SEPARATION
HOUSE
- ADU & HOUSE FIRE WALL
- ATTACHED ADU
BOUNDARIES



NORTH



New Home & Attached ADU

**2331 Castro Pl
Santa Clara, CA 95050**

2331 Castro Pl,
Santa Clara, CA 95050

REVISION	DATE	DESCRIPTION
1	06/22/2024	PLANNING RESPONSE
2	06/22/2024	PLANNING RESPONSE
3	06/22/2024	PLANNING RESPONSE



DESIGNER:
NILSENSE BUILDER INC.
2180 HOMESTEAD ROAD,
#216
CLIPPERTON, CA 95014
TEL: 408-487-8071
ZOHOOORAMIN@GMAIL.COM

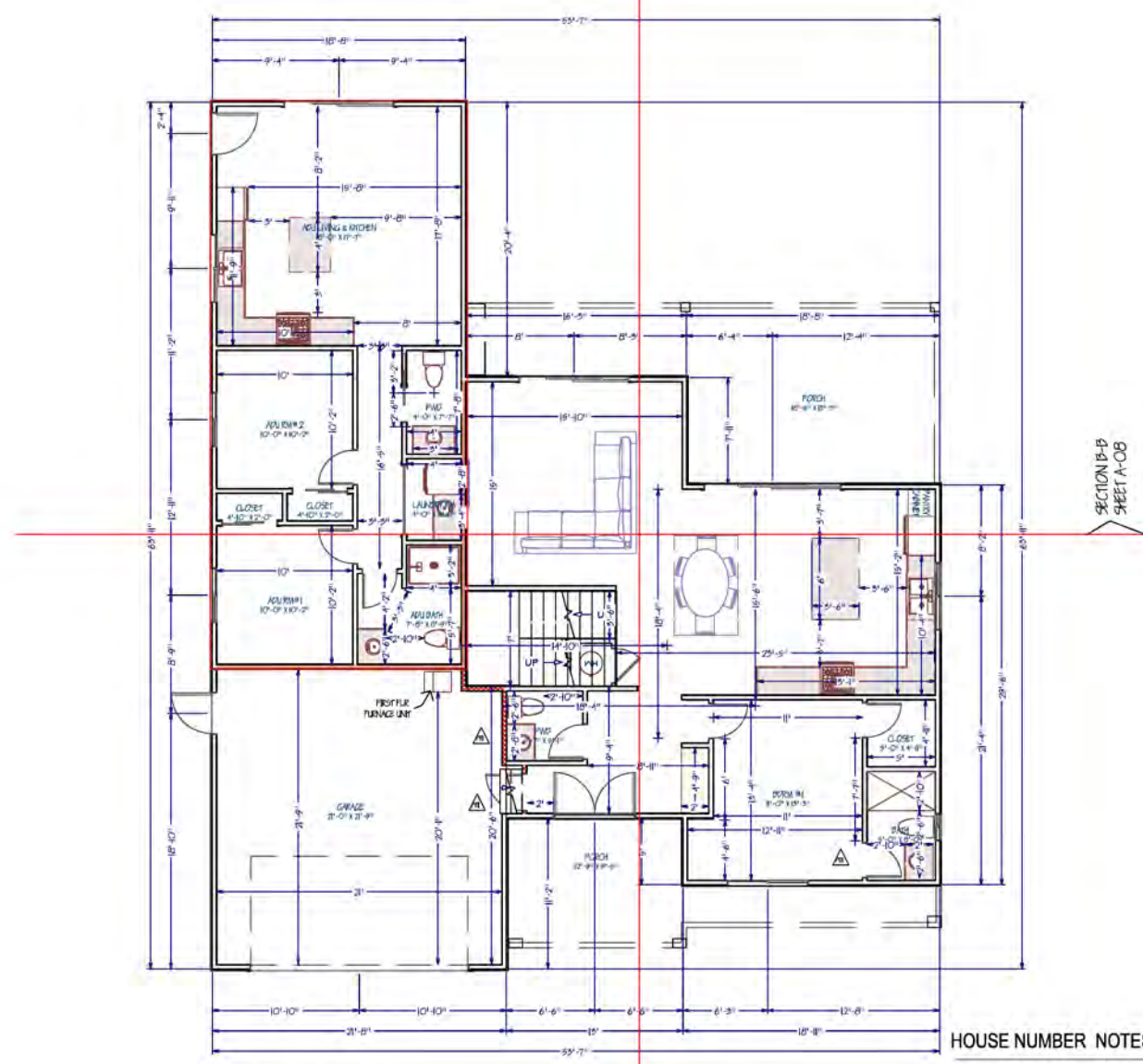
**FIRST LEVEL
FLOOR PLAN**

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____
SHEET NUMBER: _____

A-01

OWNER:
DESIGNER:
NILSENSE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOORAMIN@GMAIL.COM

R. Johnson



1 PROPOSE FLOOR PLAN
FIRST FLOOR
SC: 1/8" = 1'-0"

SECTION A-A
SHEET A-0B

SECTION B-B
SHEET A-0B

HOUSE NUMBER NOTES:

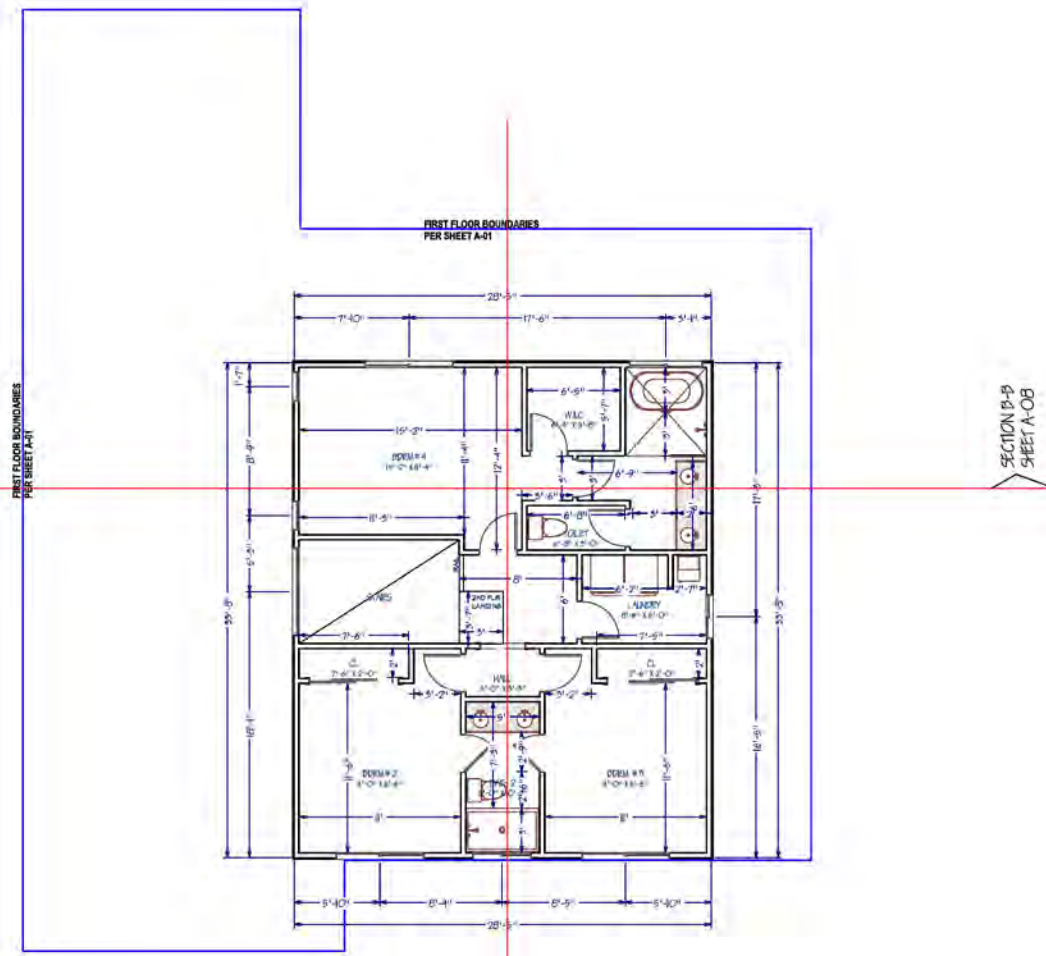
NEW MAIN & ADU : APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS, EACH CHARACTERS SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 318.1)

LEGEND:

NEW CONSTRUCTION WALL
2x4 @ 16" O.C. WALL STUDS
OR PER STRUCTURAL DRAWINGS

FIRST FLOOR
BOUNDARIES

GRAPHIC SCALE: 1/4" = 1'-0"



1 PROPOSE FLOOR PLAN
SECOND FLOOR
SC: 1/8" = 1'-0"

2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:

A	PLANNING RESPONSE
B	PERMITS RESPONSE
C	PERMITS RESPONSE
D	PERMITS RESPONSE

NBI
NILSENE BUILDER INC.

DESIGNER:
NILSENE BUILDER INC.
2180 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-8071
ZOHOO.RAMIN@GMAIL.COM

**SECOND LEVEL
FLOOR PLAN**

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____

SHEET TITLE:
A-02

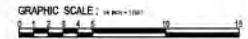
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOOR.RAMIN@GMAIL.COM

R. Johnson

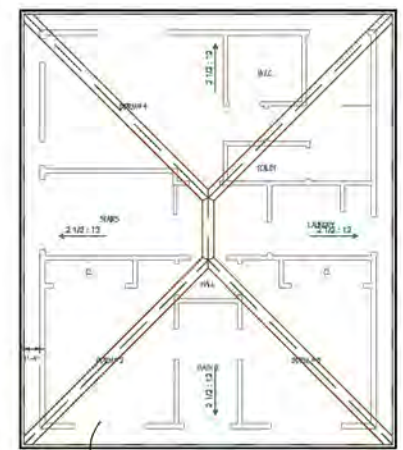
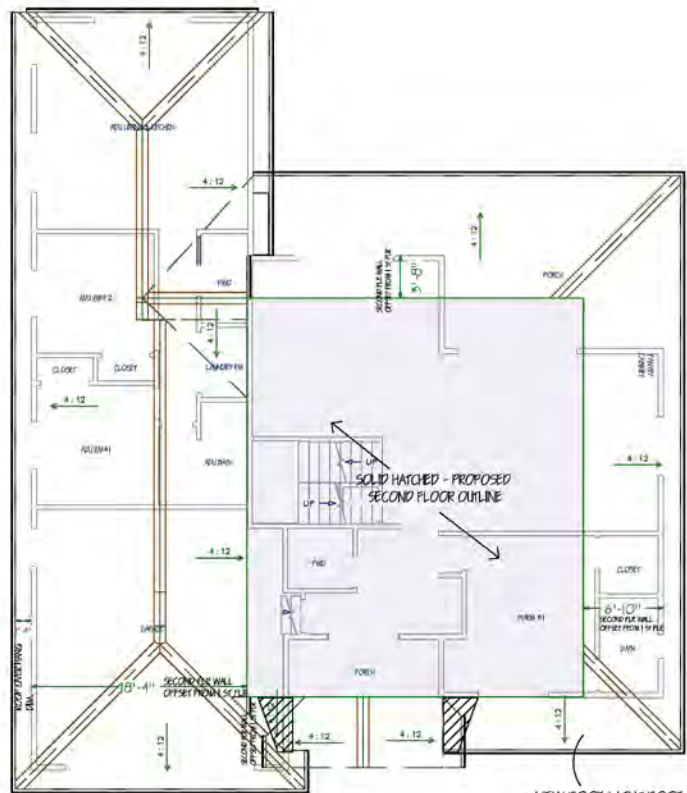
LEGEND:

NEW CONSTRUCTION WALL
2x4 @ 16" O.C. WALL STUDS
OR PER STRUCTURAL DRAWINGS

SECOND FLOOR
OUTLINE



NORTH



New Plans & Addendum A01
**2331 Castro Pl
Santa Clara, CA 95050**
2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:
▲ PLANNING RESPONSE REVISION 1/06/2018
▲ PLANNING RESPONSE REVISION 2/06/2018
▲

DESIGNER:
NILSENE BUILDER INC.
21880 HOMESTEAD ROAD,
#216
CLIPPERTWO, CA 95014
TEL: 408-487-8071
ZOHOOOR.RAMIN@GMAIL.COM

**ROOF PLAN
CONDITIONS**

PROJECT ID: _____
DATE: _____ 2018
SCALE: _____
DRAWN BY: RAMIN ZHOOR
NILSENE BUILDER INC.

A-03

DESIGNER:
NILSENE BUILDER INC.
RAMIN ZHOOR
ZOHOOOR.RAMIN@GMAIL.COM

WINDOW NOTES:

Every sleeping room shall have at least one operable emergency escape and rescue opening. Emergency escape and rescue opening shall open directly into a public way, or to a yard or court that opens to a public way. (R310.2).

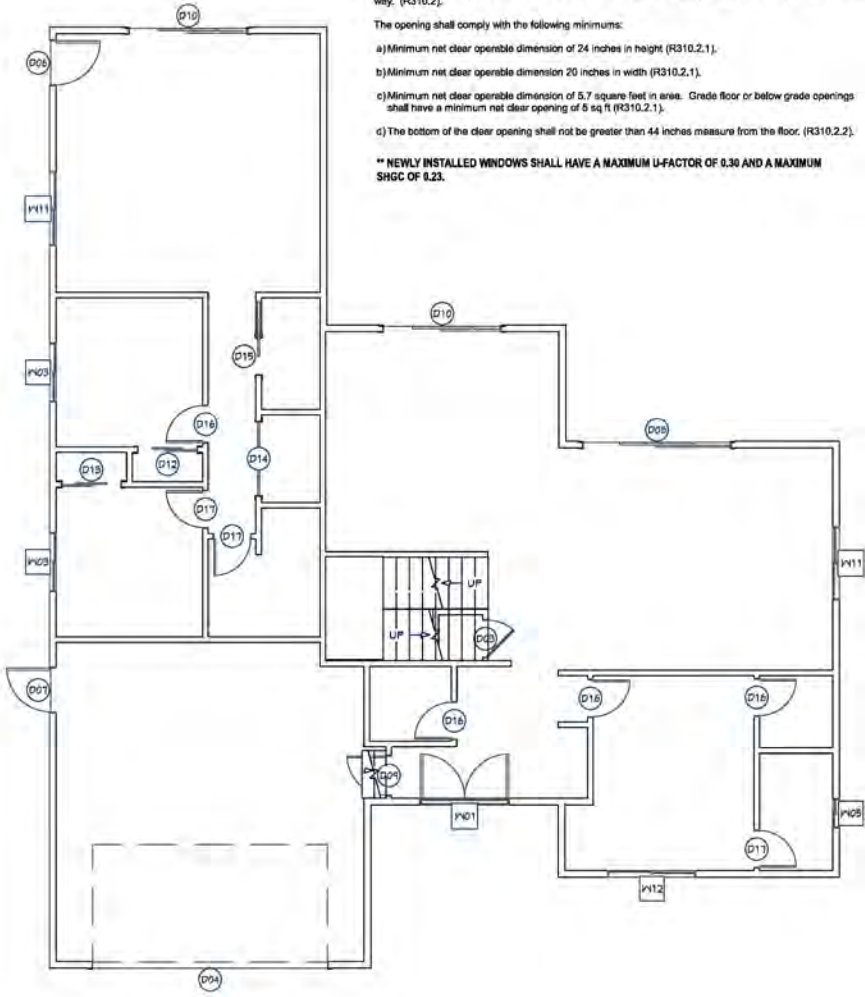
The opening shall comply with the following minimums:

- a) Minimum net clear operable dimension of 24 inches in height (R310.2.1).
- b) Minimum net clear operable dimension 20 inches in width (R310.2.1).
- c) Minimum net clear operable dimension of 5.7 square feet in area. Grade floor or below grade openings shall have a minimum net clear opening of 8 sq ft (R310.2.1).
- d) The bottom of the clear opening shall not be greater than 44 inches measure from the floor. (R310.2.2).

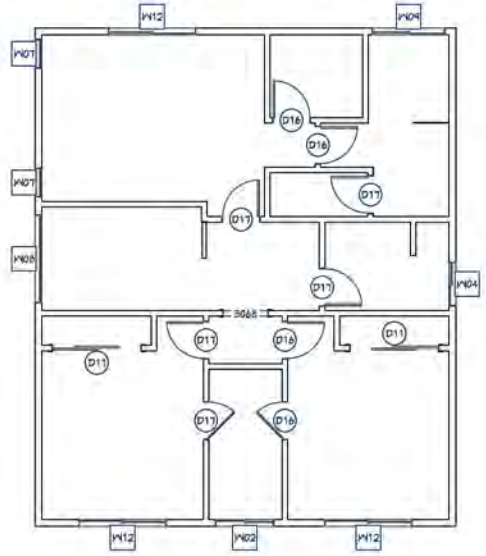
**** NEWLY INSTALLED WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30 AND A MAXIMUM SHGC OF 0.23.**

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	GLASS	TEMPER	RE-SCHEM	COMMENTS
W01	6034P	1	6034P	72"	60"	100 S/4"			
W02	4020LS	1	4020LS	48"	24"	72"			FIXED GLASS
W03	4020LS	2	4020LS	48"	60"	56"			LEFT SLIDING
W04	2020LS	1	2020LS	24"	24"	72"			LEFT SLIDING
W05	2020LS	2	2020LS	24"	24"	60"			LEFT SLIDING
W07	2020SH	2	2020SH	24"	60"	56"			SINGLE HING
W08	6020P	1	6020P	72"	60"	56"			FIXED GLASS
W09	2020LS	1	2020LS	24"	24"	72"			LEFT SLIDING
W11	6020LS	2	6020LS	60"	48"	48"			LEFT SLIDING
W12	6020LS	4	6020LS	72"	60"	56"			LEFT SLIDING

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	6020	1	6020 L / R	72"	66"	EXT. DOUBLE HINGED PANEL	
D04	2668	1	2668 R / L	50"	60"	HINGED DOOR FLM	
D04	6020	1	6020	60"	66"	EXTERIOR DOUBLE DOOR FCM	
D06	6020	1	6020 L / R	56"	66"	EXT. HINGED PANEL	
D07	6020	1	6020 L / R	56"	66"	EXT. HINGED PANEL	
D08	6020	1	6020 L / R	56"	66"	EXT. SLIDER GLASS PANEL	
D09	2668	1	2668 R / L	50"	66"	HINGED DOOR FCM	
D10	6020	2	6020 L / R	66"	66"	EXT. SLIDER GLASS PANEL	
D11	6020	2	6020 L / R	72"	66"	SLIDER DOOR FCM	
D12	4020	1	4020 L / R	48"	66"	SLIDER DOOR FCM	
D13	4020	1	4020 R / L	48"	66"	SLIDER DOOR FCM	
D14	6020	1	6020 L / R	60"	66"	4 PR. INFOS. GLASS PANEL	
D15	2668	1	2668 L / R	50"	66"	HINGED DOOR FCM	
D16	2668	5	2668 L / R	50"	66"	HINGED DOOR FCM	
D17	2668	6	2668 R / L	50"	66"	HINGED DOOR FCM	



1 PROPOSE OPENING PLAN
FIRST FLOOR
SC: 1/8" = 1'-0"



2 PROPOSE OPENING PLAN
FIRST FLOOR
SC: 1/8" = 1'-0"

Ben Jones & Abigail ABV

**2331 Castro Pl
Santa Clara, CA 95050**

2331 Castro Pl,
Santa Clara, CA 95050

WINDOW TABLE:
 A PLANING RESPONSE
 B MEASUREMENT RESPONSE
 C PLANING RESPONSE
 D MEASUREMENT RESPONSE

NBI
NILSENE BUILDER INC.

DESIGNER:
NILSENE BUILDER INC.
2180 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-6071
ZOHOOORAMIN@GMAIL.COM

PROJECT NO.:
DATE: 2/28
SCALE: 1/8" = 1'-0"
DRAWN BY: TAMAR ZOHOOOR
NILSENE BUILDER INC.

OPENING SCHEDULES

PROJECT NO.:
DATE: 2/28
SCALE: 1/8" = 1'-0"
DRAWN BY: TAMAR ZOHOOOR
NILSENE BUILDER INC.

A-04

DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOORAMIN@GMAIL.COM

R. Zohoor

NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



PROPOSED FRONT ELEVATION
SC: 1/4" = 1'-0"

ELEVATIONS NOTES:

1. STUCCO 7/8" THICK IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER CORROSION RESISTANT METAL LATH OR WIRE LATH PER CRC R703.7.1
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.7.2.1
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.7.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.
7. R703.7.3 Water-resistive barriers. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall comply with Section R703.7.3.1 or R703.7.3.2.

NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



PROPOSED REAR ELEVATION
SC: 1/4" = 1'-0"

VERTICAL GLASS WALL COVERINGS, ROOF COVERINGS, AND FENESTRATION NOTES:

- a. Glass sloped 15 degrees (0.26 rad) or less from vertical in windows, curtain and window walls, doors and other exterior applications shall be designed to resist the wind loads due to ultimate design wind speed, Vult, in Section 1609 for components and cladding per CBC §2404.1.
- b. Wall coverings, backing materials and their attachments shall be capable of resisting wind loads in accordance with Tables R301.2.1(1) and R301.2.1(2) per Wind Resistance CRC §R703.1.2.
- c. Roof coverings installed on roofs in accordance with Section 1507 that are mechanically attached or adhered to the roof deck shall be designed to resist the design wind load pressure for components and cladding in accordance with Section 1609.5.2 per CBC §1504.4.
- d. Exterior windows and sliding doors shall be tested and labeled per CBC §1709.5.1 and CBC §1709.5.2.
- e. Fenestration Products and Exterior Doors shall meet CENIC Section 110.6 Mandatory Requirements listed in the Residential Certificate of Compliance (CFIR) form.
- f. Labeling per CENIC §110.6(f)(5A). Fenestration products and exterior doors shall have a temporary label for gas-tightness, separation products and exterior doors. This temporary label shall not be removed before inspection by the enforcement agency.

2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl
Santa Clara, CA 95050

NBI
Nilsene Builder Inc.

DESIGNER:
NILSENE BUILDER INC.
2400 HUNTERSTEAD ROAD,
8715
CLIPPERTOWN, CA 95014
TEL: 408-487-8571
ZOHORRAMIN@GMAIL.COM

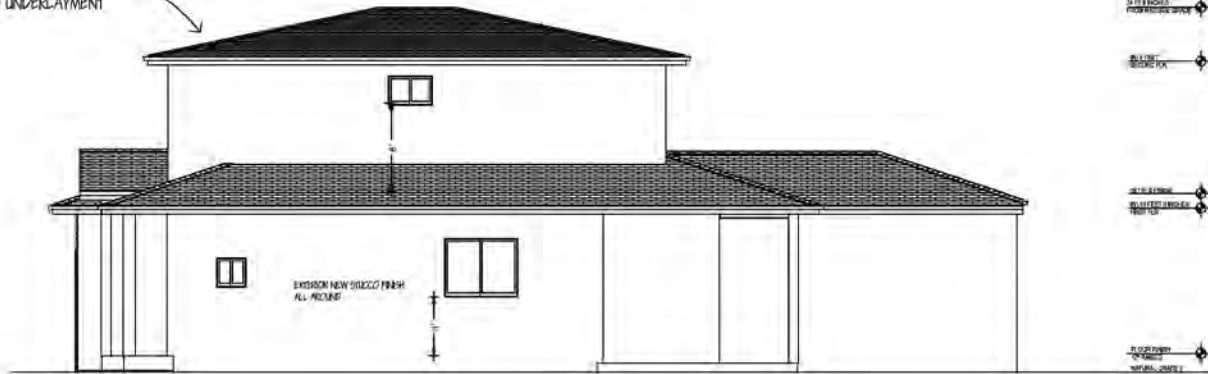
PROPOSED ELEVATIONS

PROJECT NO: _____
DATE: _____ 2024
SCALE: _____
DRAWN BY: RAMIN ZOHOR
ZOHORRAMIN@GMAIL.COM
SHEET NUMBER: _____

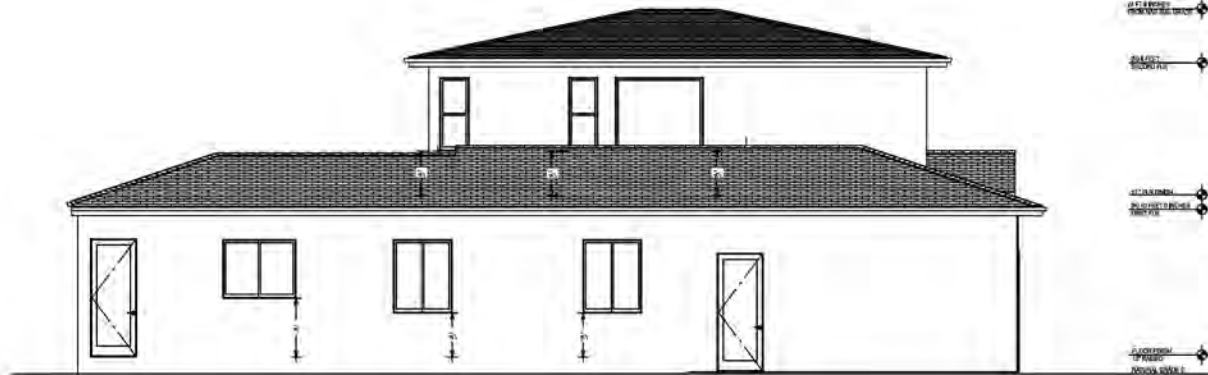
A-05

DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOR
ZOHORRAMIN@GMAIL.COM

NEW ROOF LIGHT ROOF TILES CLASS 'B'
ALL FIRST AND SECOND FLR
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



PROPOSED RIGHT ELEVATION
1/8" = 1' 0"



PROPOSED LEFT ELEVATION
1/8" = 1' 0"

2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl
Santa Clara, CA 95050

REVISION TABLE

1	PLANNING RESPONSE
2	PERMITS RESPONSE
3	PERMITS RESPONSE
4	PERMITS RESPONSE

DESIGNER:
NLSENE BUILDER INC.
2400 HOMESTEAD ROAD,
8715
CUPERTINO, CA 95014
TEL: 408-487-8571
ZOHOCR.RAMIN@GMAIL.COM

PROJECT NO: 2008

DATE: 2008

SCALE: 1/8" = 1' 0"

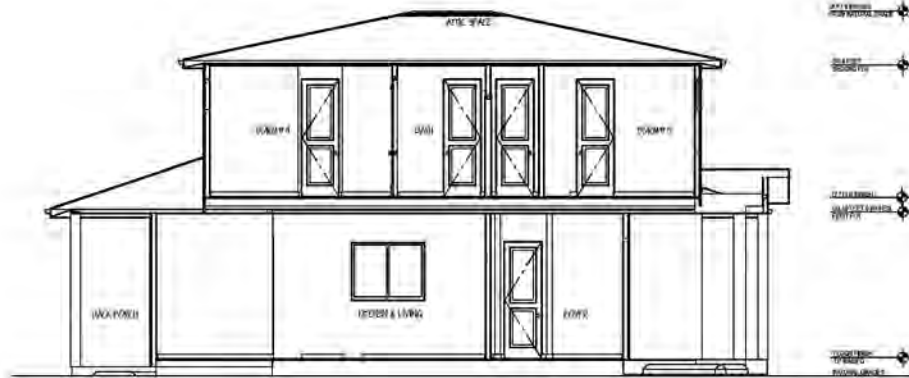
DRAWN BY: RAMIN ZOHOCR

PROJECT NO: 2008

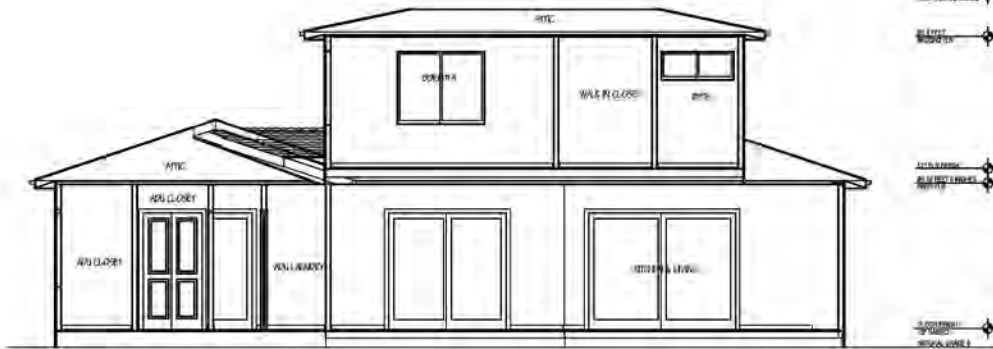
PROPOSED ELEVATIONS

A-06

DESIGNER:
NLSENE BUILDER INC.
RAMIN ZOHOCR
ZOHOCR.RAMIN@GMAIL.COM



PROPOSED CROSS SECTION A-A
SCALE: 1/4" = 1'-0"



PROPOSED CROSS SECTION B-B
SCALE: 1/4" = 1'-0"

2331 Castro Pl
Santa Clara, CA 95050

2331 Castro Pl
Santa Clara, CA 95050

- ▲ FINISHED FLOOR
- ▲ FINISHED FLOOR
- ▲ FINISHED FLOOR
- ▲ FINISHED GRADE



DESIGNER:
NILSENE BUILDER INC.
2380 HEMSTEAD ROAD,
8715
CLIPPERTOWN, CA 95014
TEL: 408-487-8571
ZOHORRAMIN@GMAIL.COM

PROPOSED SECTIONS

PROJECT NO:
DATE:
SCALE:
DRAWN BY: RAMIN ZOHOR

A-07

DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOR
ZOHORRAMIN@GMAIL.COM



INSPIRATION PHOTO
EVES
FACIA BOARDS AND GUTTER BLACK COLOR



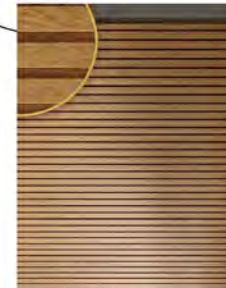
James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish
2X10 FASCIA
JAMES HARDY - WITH ROYAL MOLDING



LIGHT ROOF TILES MIN CLASS 'A'
ON BOTH FIRST AND SECOND FLOOR



Milgard 6560 Ultra™
Series Thermaflex windows - "black brass color"
* ALL EXTERIOR WINDOWS TO BE FIBER GLASS
**NO WINDOW TRIM PROPOSED
* ALL EXTERIOR DOORS TO BE FIBER GLASS



WPC Exterior Wall Slat Panels Waterproof Outdoor
Composite Siding Cladding 94.5 in x 8.62 in 16.98
sq.ft Light Walnut 3 Pack



EXTERIOR STUCCO
BENJAMIN MOORE
EGGLES
2143-70
SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES

Per Owner & Attached ADP

**2331 Castro Pl
Santa Clara, CA 95050**

2331 Castro Pl,
Santa Clara, CA 95050

REVISION TABLE:
NO. DATE DESCRIPTION
1 08/11/2028
2 08/11/2028
3 08/11/2028
4 08/11/2028
5 08/11/2028
6 08/11/2028
7 08/11/2028
8 08/11/2028
9 08/11/2028
10 08/11/2028

DESIGNER:
NILSENE BUILDER INC.
21680 HOMESTEAD ROAD,
#216
CUPERTINO, CA 95014
TEL: 408-487-6071
ZOHOOORRAMIN@GMAIL.COM

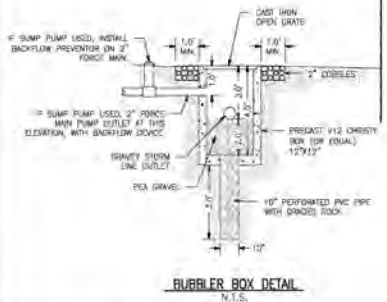
**MATERIAL
BOARDS**

PROJECT ID: _____ 2028
DATE: _____
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR NILSENE BUILDER INC.

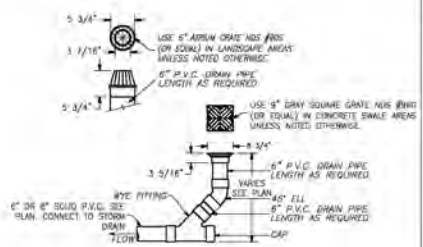
SHEET NUMBER:
A-08

OWNER:
DESIGNER:
NILSENE BUILDER INC.
RAMIN ZOHOOOR
ZOHOOORRAMIN@GMAIL.COM

THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF OSUNA ENGINEERING INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF OSUNA ENGINEERING INC. IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

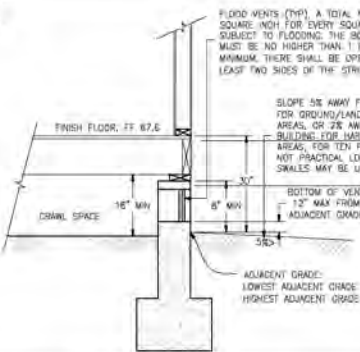


BUBBLER BOX DETAIL
N.T.S.



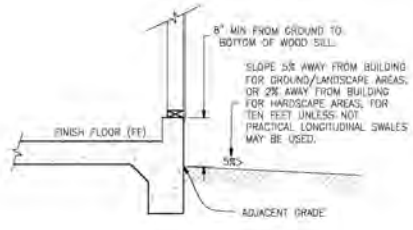
LANDSCAPE DRAIN DETAIL
N.T.S.

NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND FT DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY THE ENGINEER BEFORE MAKING ANY CHANGES.

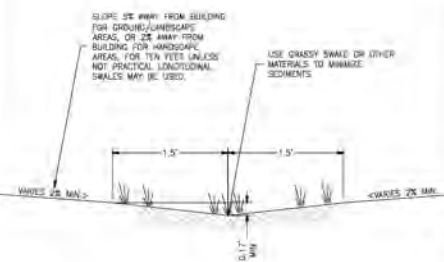


TYPICAL FOUNDATION/FF/GROUND SECTION
N.T.S.

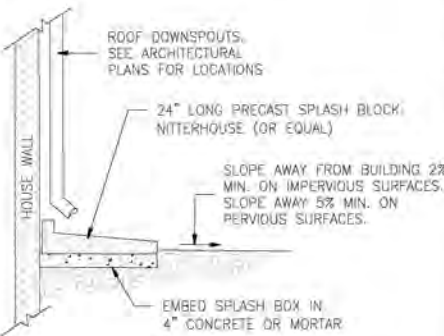
NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND FT DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY THE ENGINEER BEFORE MAKING ANY CHANGES.



TYPICAL FOUNDATION/GFF/GROUND SECTION
N.T.S.



EARTHEN SWALE DETAIL
N.T.S.



SPLASH BLOCK/DOWNSPOUT DETAIL
N.T.S.

SPLASH BLOCK/DOWNSPOUT DETAIL

NO.	DATE	BY	CHKD.



OSUNA ENGINEERING INC.
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 2331 CASTRO PI
 SAN ANTONIO, TEXAS 78205
 PHONE: (214) 520-3272
 FAX: (214) 520-3273
 EMAIL: info@osunaeng.com

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters: Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloth big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavations work during dry weather.
- ❑ Stabilize all denuded areas: install and maintain temporary erosion controls (such as erosion control fabric or banded fiber mats) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. all fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Barrels, barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect landscaped landscaping material from wind and rain by storing them under tarps all year-round.
- ❑ Stack bugged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- ❑ Store both dry and wet material under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry mixers from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area, (2) drain onto a bermed surface from which it can be pumped and disposed of properly, or (3) block up storm drain inlets and vacuum wastewater from the surface. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASCIA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street (after or storm drain). Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not yet cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, top seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or reuse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint off brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint off brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids in hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or other bio must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



Santa Clara Valley
Urban Runoff
Pollution Prevention Program

Storm drain polluters may be liable for fines of up to \$10,000 per day!

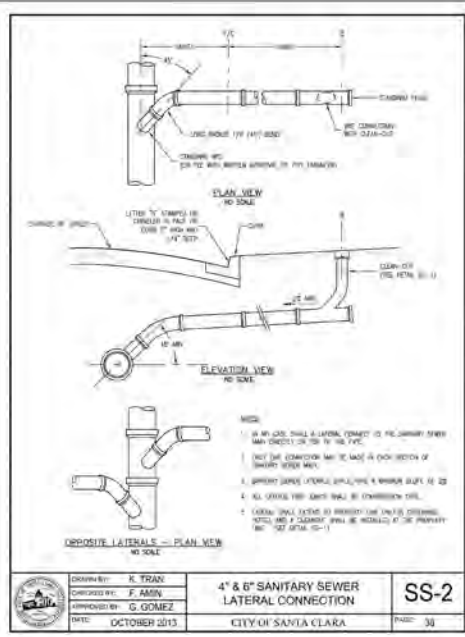
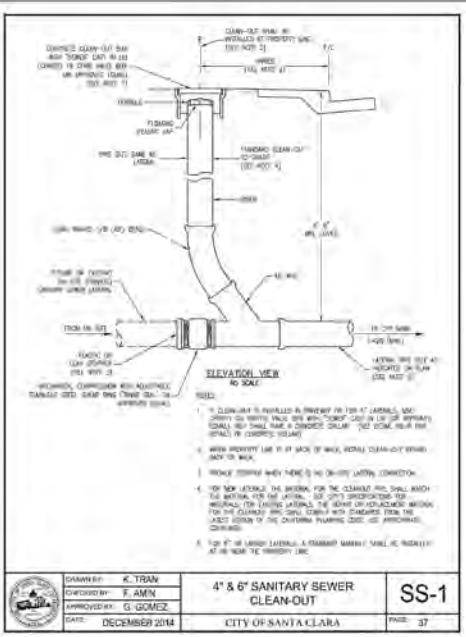


GRADING & DRAINAGE PLAN
BMP SHEET
2381 CASTRO PI
CASTRO CLARK
Project No. 0128 | Engineer: J.M.C. | Owner: CCL | Date: 3/27/23

SHEET
C5
OF 8 SHEETS

CONSTRUCTION SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF ALL BMPs. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF ALL BMPs. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF ALL BMPs.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.



	REV. DATE
GRADING & DRAINAGE PLAN CITY STANDARDS 2381 CASTRO PI SANTA CLARA, CA 95051 Project No. 152 Sheet 1A1 Sheet 03 of 37	SHEET C6 OF 8 SHEETS



Agenda Report

26-714

Agenda Date: 7/8/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on an Architectural Review (PLN26-00258) to Demolish an Existing One-Story Residence and Construct a New 2,917 Square Foot Two-Story Three-Bedroom, Four-Bathroom Single-Family Residence with a 420 Square Foot Attached Garage and a 315 Square Foot Attached Accessory Dwelling Unit on a 5,000 Square Foot Lot at 3074 McKinley Drive. CEQA Status: Exempt from CEQA per Section 15303.

File No.: PLN26-00258

Location: 3074 McKinley Drive

Applicant: Ravikiran Thirumalai

Owner(s): Ravikiran Thirumalai

Request: **Architectural Review** to demolish an existing one-story residence and construct a new 2,917 square foot two-story three-bedroom, four-bathroom single family residence with a 420 Square Foot attached garage and a 315 square foot attached accessory dwelling unit.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The proposed project was previously entitled under PLN23-00406, but the approval expired on November 8, 2025, during the building permit review, thus requiring a new entitlement.
- The project site is in a predominately single-story residential tract that abuts a commercial property to the south as shown in the Vicinity Map on Attachment 1.
- The project site is currently developed with a three-bedroom, two-bathroom 1,643 square foot one-story patio style residence built approximately in 1954.
- There are no significant historical features in the existing residence other than the structure's age, therefore is not eligible to be designated as a Historical Resource under Santa Clara City Code ("SCCC") 18.130.030.
- Per the Santa Clara City Code 18.120.D.7, the demolition of an existing structure requires approval through a Development Review Hearing ("DRH").
- The proposal will result in a 2,917 square foot two-story three-bedroom, four-bathroom single-family residence with an attached two-car garage and an attached accessory dwelling unit.
- The proposed 315 square foot attached accessory dwelling unit meets all the objective standards under SCCC 18.60.020.E.3 and will be approved ministerially under SCCC 18.60.020.A.
- The applicant proposes to maintain the patio style architectural design found throughout the residential tract by proposing a low pitch shed roof of 1:12 and simple vertical wood siding in the new residence.

- The proposed construction materials include new wood siding, metal roofing, and smooth white stucco.
- Since the expired entitlement (PLN23-00406) was approved on November 8, 2023, the City adopted a comprehensive zoning code update that introduced second story setback requirements for the R1-6L zoning district. This structure as proposed does not meet the current second-story setback requirements and would require a Minor Modification that can be approved administratively. There is an active building permit (BLD24-03043) in review, the lot is smaller in size (5,000 square feet) than a minimum lot size (6,000 square feet), and the lot width (50 feet) is less than the minimum lot width (60 feet) in the R1-6L zoning district, therefore the project meets the required findings for a Minor Modification.
- The Minor Modification allows up to a 25% reduction in the required setback as long it meets the findings under SCCC 18.124.050.D. The proposal provides 8-foot second story side setbacks instead of the required 10-foot. The Minor Modification will be for a 20% reduction of the requirement which is within the allow allowance under the Minor Modification process..
- The project is consistent with the City’s Single-Family & Duplex Residential Design Guidelines (“Residential Guidelines”) (2014):
 - The building height and bulk are appropriate relative to the neighborhood as it has a low pitch shed roof and large front second-story step back which creates a mass break between the garage and the second-story third bedroom.
 - The proposed architectural features of the structure are appropriate of the neighborhood as they are derived from architectural features found in patio style residences.
 - The roof materials, building materials, and finishes work in conjunction with one another, and are consistent with the architectural style of the building as they are typical materials used in a patio home style residence.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF’S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposal is consistent with SCCC 18.38.060.D as the garage meets the 20’ by 20’ minimum interior dimensions.
 - The existing parking spaces are not located in the required front yard or side yard landscape area as they are in the existing garage.
 - The parking spaces are in an all-weather material surfaced area.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*

- The proposed construction would not create any traffic congestion or hazards
 - The public streets are adequate in size to accommodate a single-family residence of this size.
 - The proposed design matches nearby residence in scale and would not impair the desirability of the neighborhood.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
- The building height and bulk are appropriate relative to the neighborhood.
 - Roof materials, building materials, and finishes work in conjunction with one another and are consistent with the proposed architectural style of the building.
 - Architectural features of the proposed design are true to the architectural form and are appropriate for the neighborhood.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
- The project is subject to the California Building Code & City Code requirements. Which serves to regulate new construction to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*
- The proposed construction is consistent with the Residential Guidelines:
 - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.
 - The proposed construction mostly complies with the R1-6L Zoning District development standards and will require a minor modification for the second story setbacks.
 - The proposed construction complies with the intent of the Santa Clara General Plan and all its policies.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Section 15303 (Class 3 -- New Construction or Conversion of Small Structures), in that the proposed use consists of construction of new, small structures where only minor modifications are made in the exterior of the structure.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on

the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov [<mailto:clerk@santaclaraca.gov>](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to 77 property owners/tenants within a 300-foot radius of the project site on June 25, 2026. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Based on the project's consistency with the Zoning Code, the Santa Clara City Code and the City's Single-Family & Duplex Residential Design Guidelines, staff recommends that the Development Review Officer approve the project as follows:

- 1. Determine** the project to be exempt from the California Environmental Quality Act ("CEQA") formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) and
- 2. Approve** the Architectural Review to demolish an existing one-story residence and construct a new 2,917 square foot two-story three-bedroom, four-bathroom single family residence with a 420 Square Foot attached garage and a 315 square foot attached accessory dwelling unit at 3074 McKinley Drive, subject to the conditions of approval.

Prepared by: Alex Tellez, Associate Planner, Community Development Department

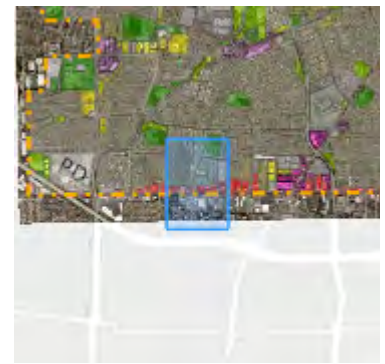
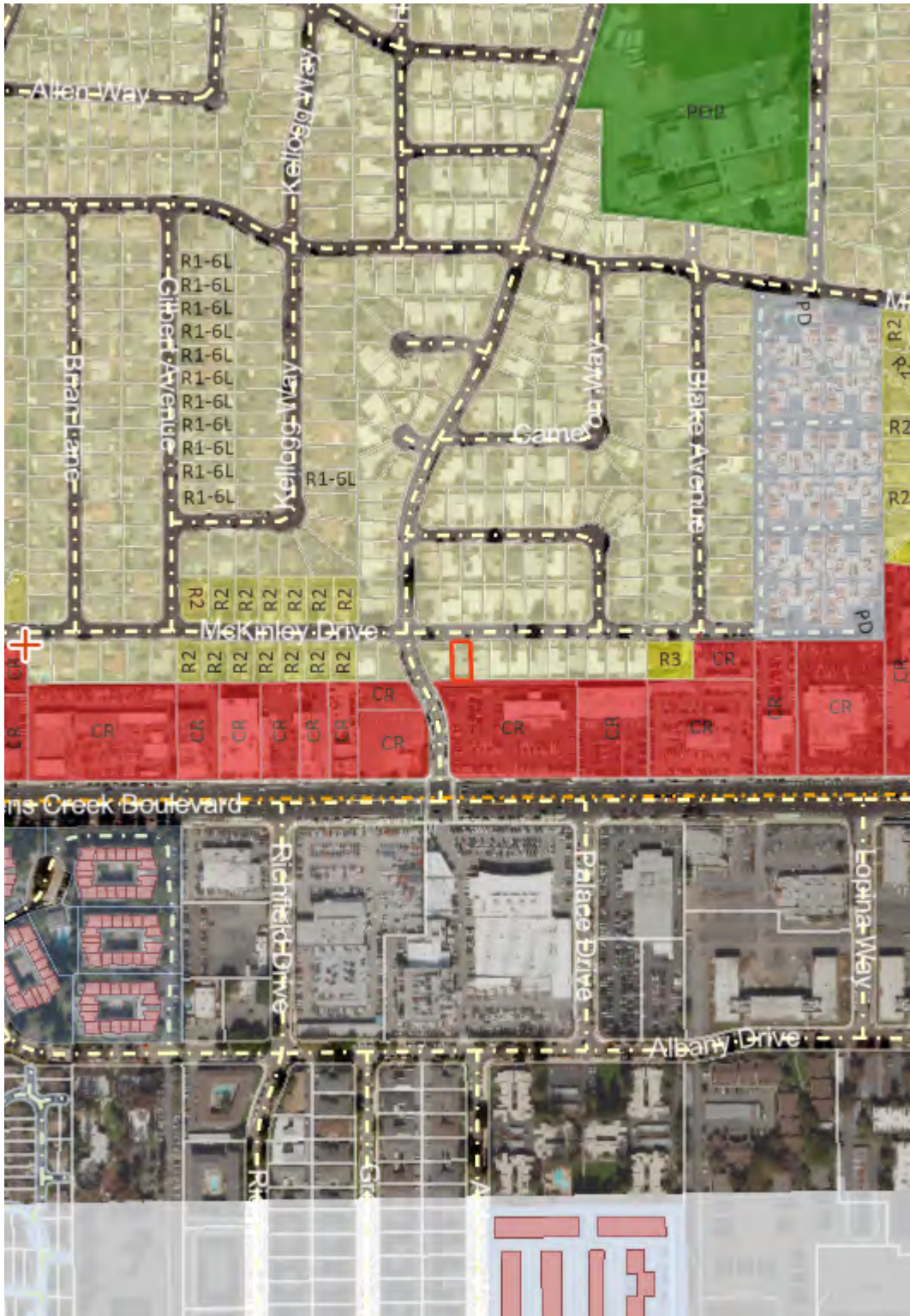
Reviewed by: Nimisha Agrawal, Senior Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning) 3074 McKinley



Zoning

Land Parcels

- CR - Commercial Regional
- OS - Parks/Open Space
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R2 - Low-Density Residential
- R3 - Medium Density Residential

Base Layers

Air Parcels

Land Parcels

- Land Parcels
- Common Areas

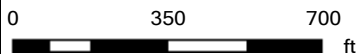
Streets



Notes:

PLN26-00258

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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance (SFR/Duplex)

Project Address: 3074 Mckinley Drive
Zoning: R1-6L

Project Number: PLN26-00258

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	5,000	5,000	6,000	N (Existing)
Building Square Footage (SF)				
1 st Floor:	1,240	1,553	--	--
2 nd Floor:	--	1,364	--	--
Attached Garage:	402	420	600 SF max	--
Porch/Patio:	--	31	--	--
Total (enclosed):	1,642	3,368	--	--
% of 2 nd floor to 1 st floor:	-	59.3%	66% max	--
Building Coverage (%)				
Building Coverage (All):	32.8%	40%	40% max	
Main Building Setbacks (FT)				
Front (1 st floor):	20	20	20	Y
(2 nd floor):	--	24'-10"	25	Y
Left Side (1 st floor):	5	5	5	Y
(2 nd floor):	--	8	10	N (Requesting Minor Mod)
Right Side (1 st floor):	5	5	5	Y
(2 nd floor):	--	8	10	N (Requesting Minor Mod)
Rear (1 st floor):	20	20'-2"	20	Y
(2 nd floor):	--	20'-2"	20	Y
Height (FT)				
Main building:	12	24'-10"	25	Y
# of Bedrooms/Bathrooms:	3/2	3/4	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				Y
Off-street	2	2	2 (if not AB 2097 eligible)	Y
Common Living Area (SFR)	22%	37%	Min 25%	Y
Open Landscaped Area (Front):	--	39.1%	35%	Y

Conditions of Architectural Review Approval

PLN26-00258/ 3074 McKinley Drive

Architectural Review for the demolition of an existing one-story residence and construct a new 2,917 square foot two-story three-bedroom, four-bathroom single family residence with a 420 Square Foot attached garage and a 315 square foot attached accessory dwelling unit.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is July 15, 2028
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Placement (On-site).** At minimum, one 15-gallon size tree needs to be planted in the front yard as require by Santa Clara City Code 18.36.070.

DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

W1. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

P4. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.

P5. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.

W2. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.

E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

W = Sewer and Water

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

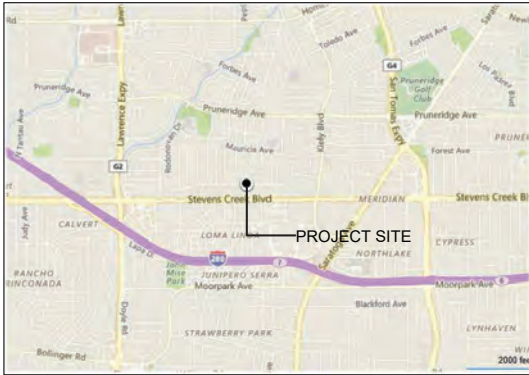
Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

3074 MCKINLEY DR., SANTA CLARA, CA.--A NEW HOME



VICINITY MAP

PROJECT DESCRIPTION:

1. DEMOLISH EXISTING 1-STORY HOME COMPLETELY.
2. BUILD NEW 2-STORY HOME WITH 3 BEDROOMS, 4 FULL BATHS, 1 OFFICE, 2-CAR GARAGE, AND AN ATTACHED ADU OF 315SF
3. (N)tankless water heater & 2 heat pump AC units.
4. (N) 400 AMP electrical main panel
5. Existing driveway and landscaping to remain in the front.

- DRAWING INDEX:**
- A-0 COVER SHEET AND SITE PLAN
 - A-1 (E) SITE PLAN AND ELEVATIONS
 - A-2 PROPOSED FLOOR PLANS
 - A-3 PROPOSED BASEMENT PLAN
 - A-4 PROPOSED ELEVATIONS
 - A-5 PROPOSED ELEVATIONS
 - A-6 PROPOSED ELEVATIONS

PROJECT DATA:
 LOCATION: 3074 MCKINLEY DR., SANTA CLARA, CA
 LOT SIZE: 5000 SF
 ZONING: R1-6L
 CONSTRUCTION TYPE: TYPE V/B
 STORIES: 2
 APN#: 373-01-014
 (E) FLOOR AREA TO BE DEMOLISHED: 1240 SF
 (E) GARAGE AREA TO BE DEMOLISHED: 402.5 SF

(N) 1ST FLOOR LIVING AREA: 1553 SF
 (N) 2ND FLOOR LIVING AREA: 1364 SF
 (N) TOTAL LIVING AREA (1ST+ 2ND): 2917 SF

(N) ATTACHED ADU AREA: 325 SF
 (N) GARAGE AREA: 420 SF
 (N) PORCH AREA: 31 SF

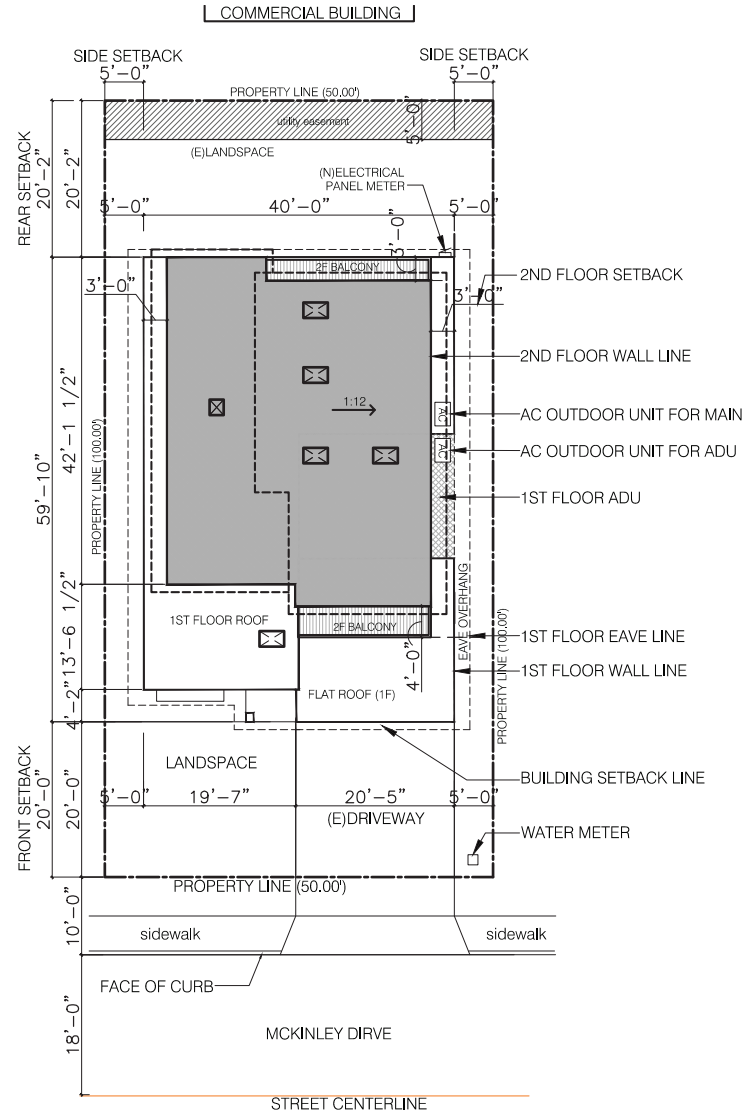
(N) 1ST FL. GROSS AREA (WITHOUT ADU): 1973 SF
 (N) 1ST FL. GROSS AREA (WITH ADU): 2298 SF
 LOT COVERAGE RATE: $\frac{1973}{5000} = 39.5\%$

2ND FL. TO 1ST FL. RATIO: $\frac{1364}{2298} = 59.3\%$

BUILDING HEIGHT: 24'-10"



PROJECT SITE



SITE PLAN

SCALE: 3/32" = 1'-0"



LNx ARCHITECTURE INC.
 6710 ORTE SANTA MARIA
 SAN JOSE, CALIFORNIA 95128
 TEL: 925.357.5801

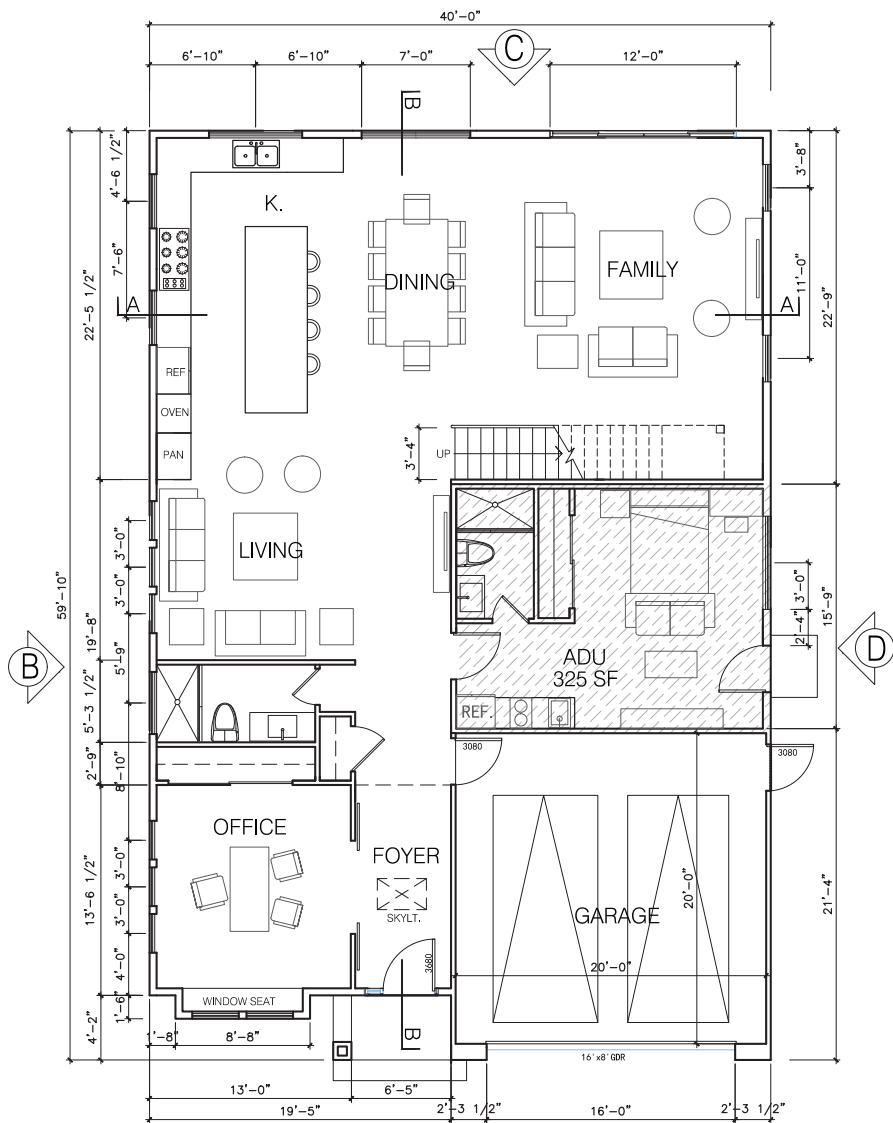
PROJECT NAME

3074 MCKINLEY DR., SANTA CLARA
 A NEW HOME
 OWNER NAME: KIRAN THIRUMALAI

DATE: 05/25/2023
 SCALE: AS SHOWN
 SHEET NAME

FLOOR PLANS

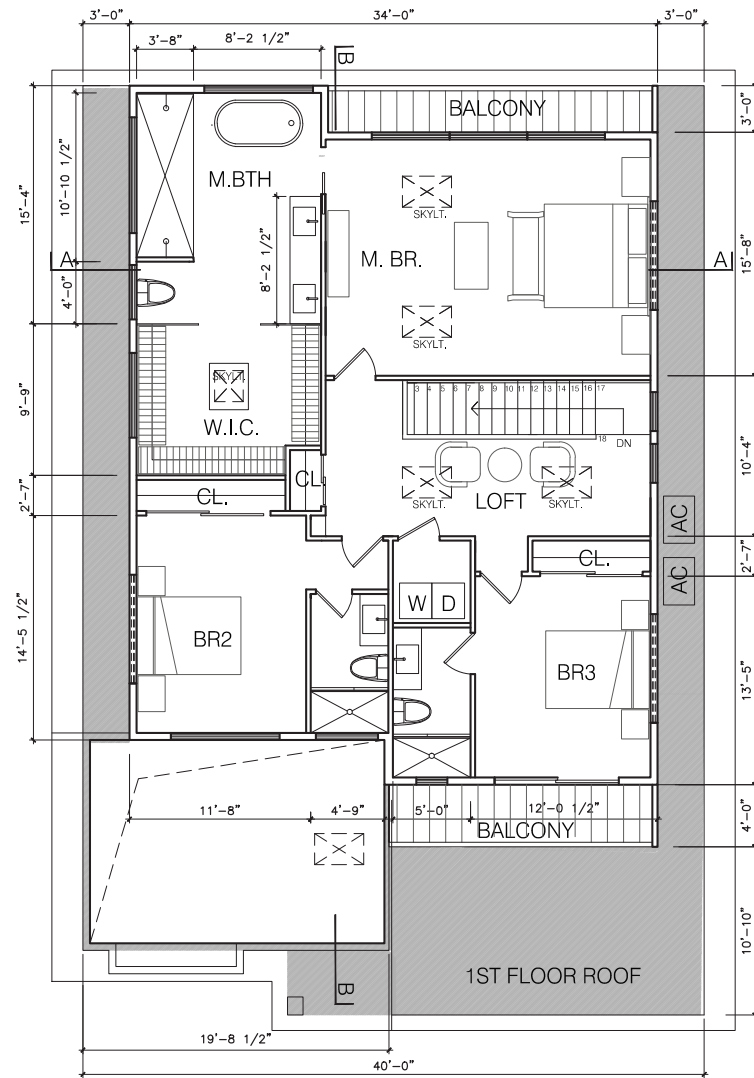
SHEET NO. A-1.1



1ST FL: 1568+325 (ADU)+420 (G) SF

1F FLOOR PLAN

SCALE: 1/8" = 1'-0"



2ND FL: 1364 SF

2F FLOOR PLAN

SCALE: 1/8" = 1'-0"



LNx
ARCHITECTURE
INC.
6710 ORTE SANTA MARIA
SAN ANTONIO, TEXAS 78249
TEL: 925.357.5801

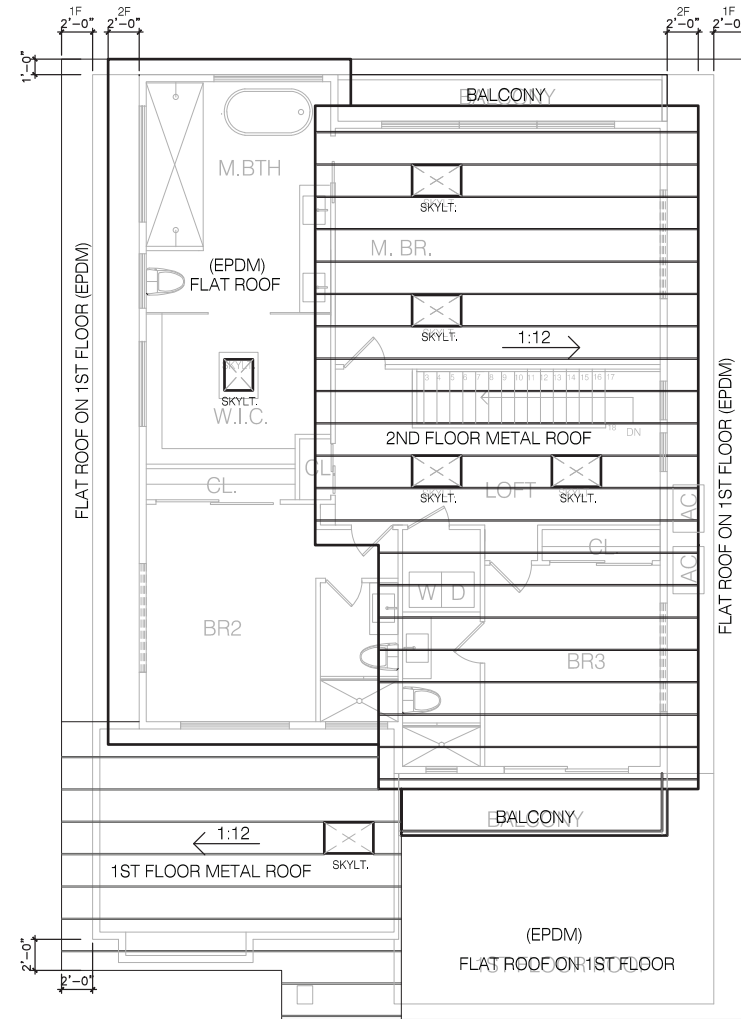
PROJECT NAME

3074 MCKINLEY DR., SANTA CLARA
A NEW HOME
OWNER NAME: KIRAN THIRUMALAI

DATE: 05/25/2023
SCALE: AS SHOWN
SHEET NAME
FLOOR PLANS

SHEET NO.

A-2.1



ROOF PLAN
SCALE: 1/8" = 1'-0"



LNx ARCHITECTURE INC.
6710 ORTE SANTA MARIA
SAN ANTONIO, TEXAS 78239
TEL: 925.357.5801

PROJECT NAME

3074 MCKINLEY DR., SANTA CLARA
A NEW HOME
OWNER NAME: KIRAN THIRUMALAI

DATE: 05/25/2023
SCALE: AS SHOWN
SHEET NAME

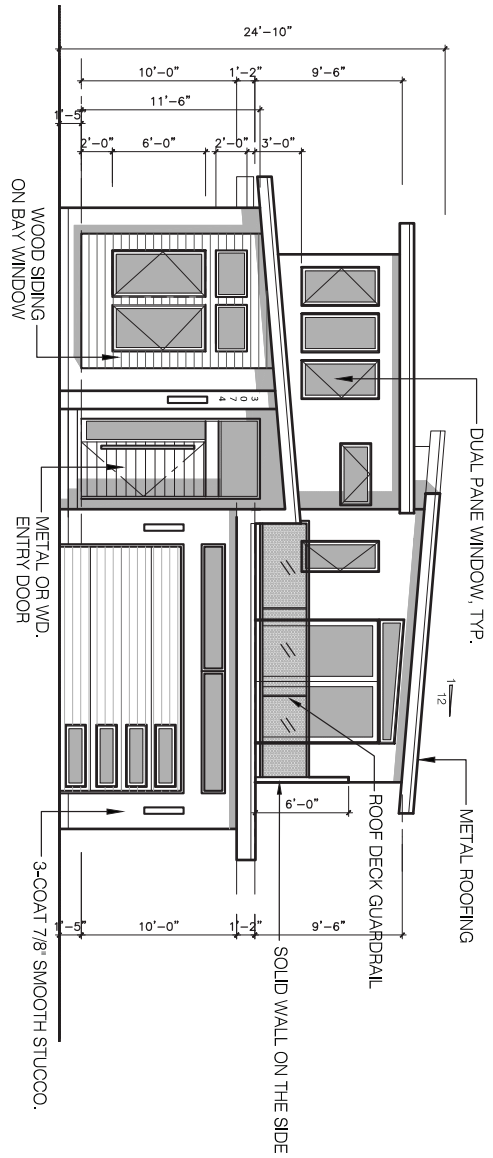
ROOF PLAN

SHEET NO.

A-2.2

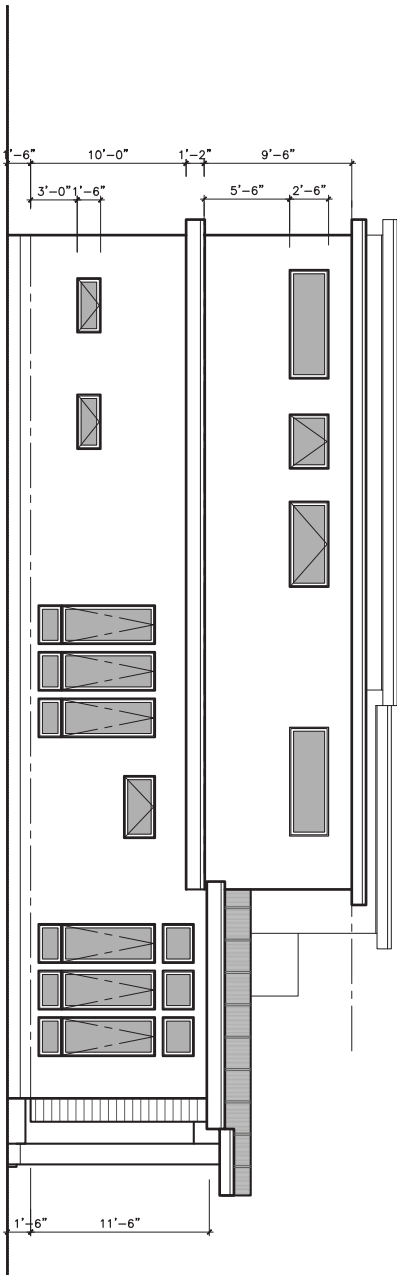
ELEVATION A (FRONT)

SCALE: 1/8" = 1'-0"



ELEVATION B (LEFT)

SCALE: 1/8" = 1'-0"



LNx
ARCHITECTURE
INC.

6710 CORTE SANTA MARIA
PLEASANTON, CA 94566
38411_LNARCHITECTURE@GMAIL.COM
TEL: 925 357 5801

PROJECT NAME

3074 MCKINLEY DR., SANTA CLARA
A NEW HOME

OWNER NAME: KIRAN THIRUMALAI

DATE: 02/25/2023
SHEET NUMBER:
SHEET TITLE:
ELEVATIONS

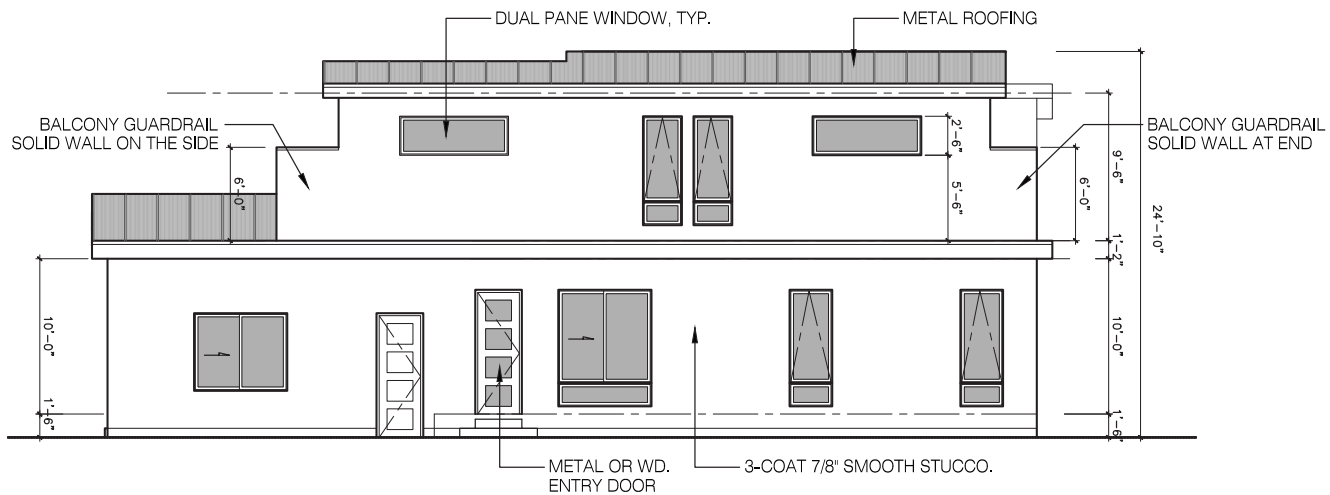
SHEET NO.

A-3.1



ELEVATION C (REAR)

SCALE: 1/8" = 1'-0"



ELEVATION B (RIGHT)

SCALE: 1/8" = 1'-0"



LNK
ARCHITECTURE
INC.
6710 ORTE SANTA MARIA
BAYVIEW LINDERO TESTE@GMAIL.COM
TEL: 925.357.5801

PROJECT NAME

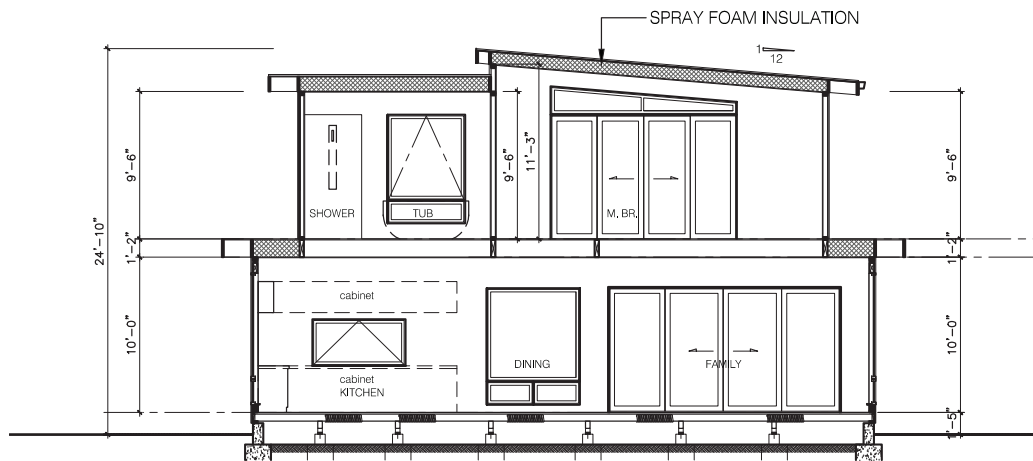
3074 MCKINLEY DR., SANTA CLARA
A NEW HOME
OWNER NAME: KIRAN THIRUMALAI

DATE: 05/25/2023
SCALE: AS SHOWN
SHEET NAME

ELEVATIONS

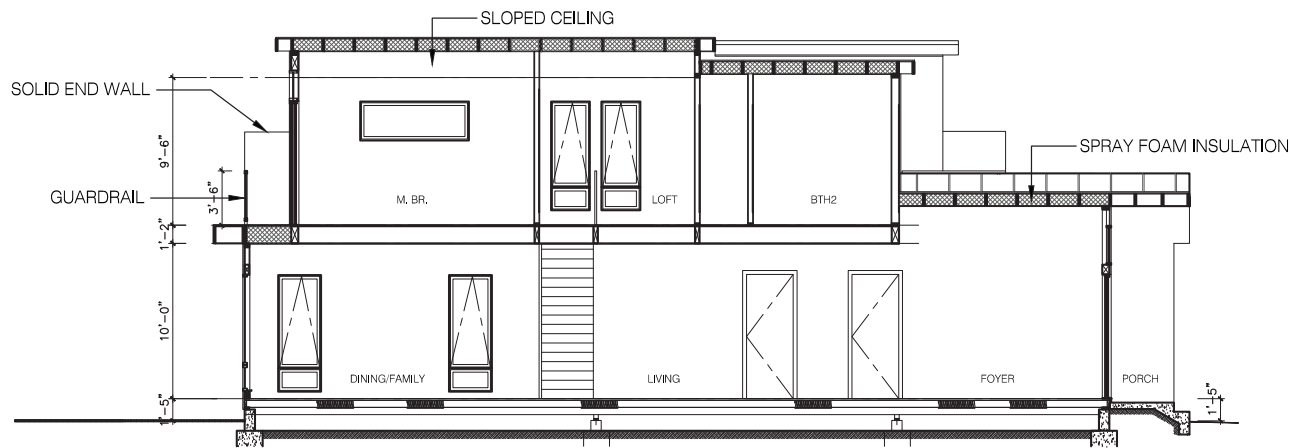
SHEET NO.

A-3.2



BUILDING SECTION A - A

SCALE: 1/8" = 1'-0"



BUILDING SECTION B - B

SCALE: 1/8" = 1'-0"



**LNK
ARCHITECTURE
INC.**
6710 ORTE SANTA MARIA
BANKRUPTCY COURT
TEL: 925.357.5801

PROJECT NAME

3074 MCKINLEY DR., SANTA CLARA
A NEW HOME
OWNER NAME: KIRAN THIRUMALAI

DATE: 05/25/2023
SCALE: AS SHOWN
SHEET NAME

SECTIONS

SHEET NO.

A-3.3



Agenda Report

26-652

Agenda Date: 7/8/2026

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Public Hearing: Action on the Architectural Review (PLN26-00029) to Allow for the Full Demolition of an Existing Single-Family Residence and the Construction of a New Approximately 2,675 Square Foot Single-Family Residence With an Attached Second-Story Accessory Dwelling Unit located at 754 Ridge Road. CEQA Status: Exempt from CEQA per Section 15303.

File No.: PLN26-00029

Location: 754 Ridge Road

Applicant: Hillel Benizri (Level Up Remodeling)

Owner(s): Asit Ashwin Desai and Jasmina Shah

Request: **Architectural Review** to allow the full demolition of an existing single-family residence and the construction of a new approximately 2,675 square foot single-family residence with an attached second-story accessory dwelling unit (ADU).

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The project site is located along Ridge Road between Withrow Place and Howell Avenue and is in a single-family neighborhood. The project site is surrounded by single-family homes to the north, south, and east and an existing place of assembly (e.g. church) to the west. See Vicinity Map in Attachment 1.
- The project site currently contains a single-story single-family residence with an attached garage. Most structures within the block are single-story.
- Per the Santa Clara City Code (SCCC) 18.120.020(D)(1)(d), the request requires Architectural Review approval through a Development Review Hearing.
- The proposed project involves the demolition of an existing single-family residence and the construction of a new approximately 2,675 square foot two-story single-family residence. The second floor will be an attached accessory dwelling unit (ADU), which is allowed under State law and the City of Santa Clara Zoning ordinance.
- The proposed project is subject to the adopted Single-Family and Duplex Design Guidelines (2014). The project is found consistent with the design guidelines in that:
 - The project includes setbacks between the first floor exterior wall and the second floor exterior wall,
 - The second floor square footage is approximately 34% of the first floor square footage, which is less than the 66% noted in the design guidelines,
 - The project includes materials found in the neighborhood, and
 - The second story windows are high sill windows, reducing privacy impacts to adjacent

neighbors.

- The project design went through a few revisions to comply with the SCCC and Design Guidelines. The roofline for the entryway element was simplified, a new base material was added, and the garage door was centered for symmetry.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There is one active City code enforcement case for this property. The code enforcement case notes work was done to the property without the benefit of a permit. The unpermitted work includes: kitchen remodel, two bathroom remodels, recessed lights, switches, and outlets, and a water heater replacement.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

FINDINGS SUPPORTING STAFF'S RECOMMENDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
 - The proposed project is a new single-family residence located in a single-family neighborhood and satisfies the requirements of the Zoning Code as noted in Attachment 2. As such, the proposed project satisfies the development standards, incorporates an attached two-car garage and complies with the design guidelines.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
 - The proposed project is a new single-family residence located in a single-family Zoning District and General Plan designation, which allows single-family residences.
 - The proposed project is not anticipated to generate additional traffic, and is designed in such a manner to limit any privacy impacts to adjacent properties.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
 - The proposed project is designed in such a manner to complement the neighborhood by incorporating similar materials, reducing the massing by incorporating building step backs, and proposing an architectural style that compliments the neighborhood.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
 - The proposed project is a new single-family residence located in a single-family Zoning District and General Plan Designation, which is allowed and expected in this zoning district and

general plan designation.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- As described above, the proposed project complies with the Single-Family and Duplex Design Guidelines in that the project:
 - The project includes setbacks between the first floor exterior wall and the second floor exterior wall,
 - The second floor square footage is approximately 34% of the first floor square footage, which is less than the 66% noted in the design guidelines,
 - The project includes materials found in the neighborhood, and
 - The second story windows are high sill windows, reducing privacy impacts to adjacent neighbors.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), in that the proposed project involves the demolition of a non-historic single-family residence and the construction of a new single-family residence in a residential zone.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to 63 property owners and tenants within a 300-foot radius of the project site on June 25, 2026. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (Class 3 - New Construction or Conversion of Small Structures), and Approve the Architectural Review to allow the full demolition of an existing single-family residence and the construction of a new approximately 2,675 square foot two-story single-family residence, located at 754 Ridge Road, subject to the findings and conditions of approval.

Prepared by: Tracy Tam, Associate Planner, Community Development Department

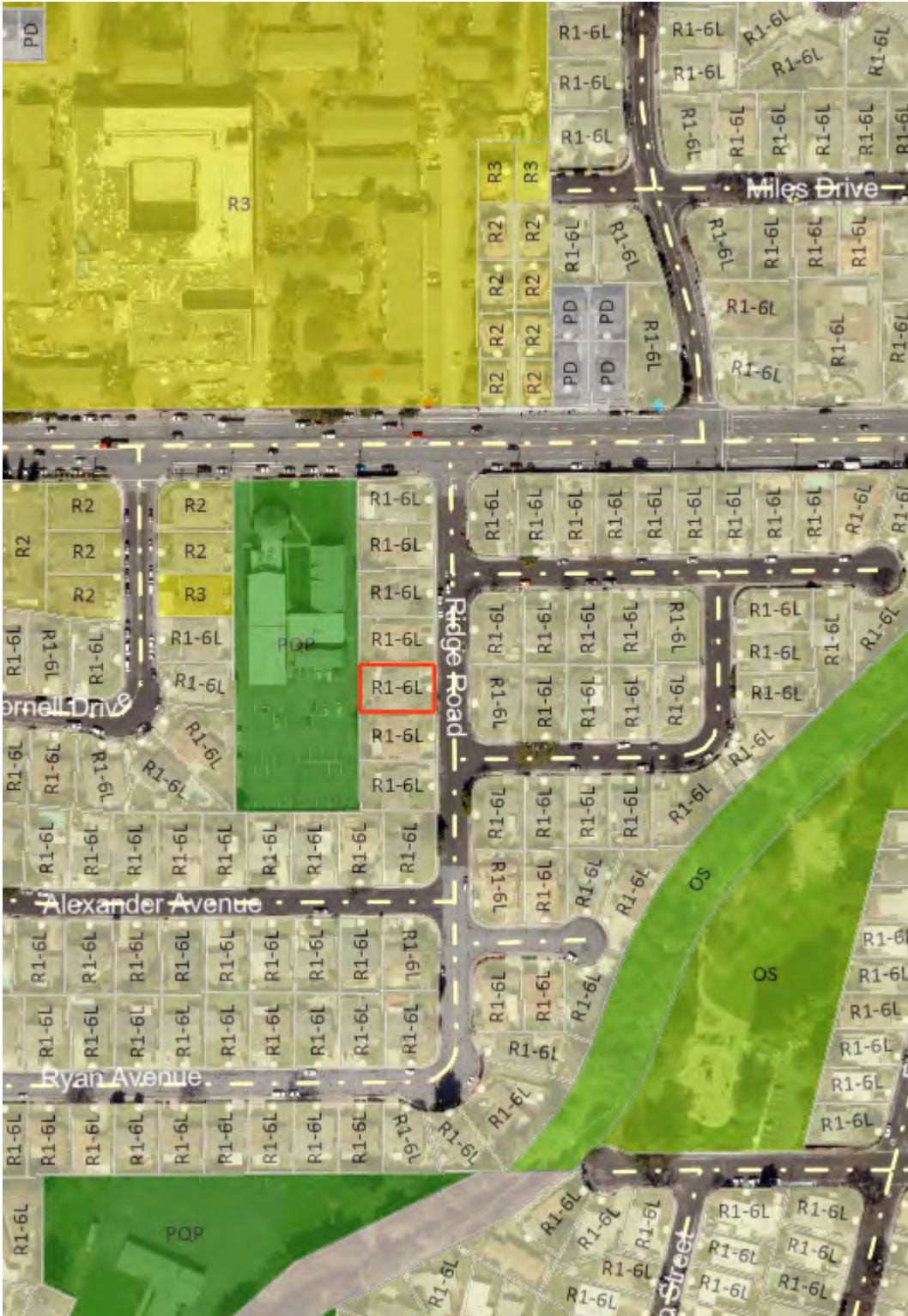
Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development

Department

ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

Vicinity Map (Zoning) - 754 Ridge Road



Zoning

Land Parcels

- OS - Parks/Open Space
- PD - Planned Development
- PQP - Public/Quasi Public
- R1 - Single-Family Residential
- R2 - Low-Density Residential
- R3 - Medium Density Residential

Base Layers

Site Addresses

- Single
- Transit
- Utility

Land Parcels

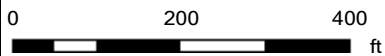
- Land Parcels
- Flood Control Easement
- Right of Ways
- Common Areas

Streets

-

Notes:

PLN26-00029



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment 2: Project Data/Compliance (SFR/Duplex)

Project Address: 754 Ridge Road
Zoning: R1-6L

Project Number: PLN26-00029

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Parcel Area (SF) (min):	6,700	6,700	6,000	Y
Building Square Footage (SF)				
1 st Floor:	--	2,620	--	--
2 nd Floor:	--	879	--	--
Porch/Patio:	--	23	--	--
ADU Porch/Patio:	--	15	--	--
Total (enclosed):	--	3,500	--	--
% of 2 nd floor to 1 st floor:	--	34%	66% max	Y
Building Coverage (%)				
Building Coverage (All):	--	40%	40% max	Y
Rear Yard Accessory Building Coverage:	--	14%	40% max	Y
Main Building Setbacks (FT)				
Front (1 st floor):	--	20'-0"	20'-0"	Y
(2 nd floor):	--	33'-2"	25'-0"	
Left Side (1 st floor):	--	5'-11"	5'-0"	Y
(2 nd floor):	--	12'-8"	10'-0"	
Right Side (1 st floor):	--	5'-9"	5'-0"	Y
(2 nd floor):	--	17'-10"	10'-0"	
Rear (1 st floor):	--	29'-0"	20'-0"	Y
(2 nd floor):	--	32'-4"	20'-0"	
Height (FT)				
Main building:	--	24'-8"	25'-0"	Y
# of Bedrooms/Bathrooms:	--	3/2	--	--
Parking:				
Is the site Gov. Code 65863.2 (AB 2097) eligible?				Y
Off-street	--	2	2	Y
Common Living Area (SFR)	--	30%	Min 25%	Y

Conditions of Architectural Review Approval

PLN26-00029 / 754 Ridge Road

Architectural Review to allow the full demolition of an existing single-family residence and the construction of a new approximately 2,675 square foot two-story single-family residence.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is July 16, 2028.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall substantially conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DURING CONSTRUCTION

- P1. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P2. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- W1. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban

Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P3. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.

- P4. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.

- W2. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.

- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

W = Sewer and Water

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

754 Ridge Road, RESIDENCE

SANTA CLARA, CA 95051

- * FIRE SPRINKLERS UNDER SEPARATE PERMIT
- * 2.92 kWdx DC PV SYSTEM REQUIRED.
- * EV CHARGER SEPARATE PERMIT

VICINITY MAP:



PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 295-11-005
 PROJECT TYPE: NEW RESIDENTIAL HOUSE
 PROJECT LOCATION: 754 RIDGE ROAD, SANTA CLARA, CA 95051
 ZONING: R1-B
 OCCUPANCY GROUP: R-3 / U
 CONSTRUCTION TYPE: V-5
 NUMBER OF FLOORS: 1
 FIRE PROTECTION: HOUSE & ADU FIRE SPRINKLERS UNDER SEPARATE PERMIT
 BEDROOM NUMBER: MAIN HOUSE 3 BEDROOMS
 BATHROOM NUMBER: ADU 2
 GARAGE: MAIN HOUSE 2 FULL BATHROOMS
 LOT SIZE: ADU 2 COVERED ATTACHED
 FLOOR AREA RATIO: 40 % (NOT INCLUDING ADU)
 SF OF COMMON LIVING SPACE: 2270 HABITABLE MAIN HOUSE
 ADU HABITABLE SPACE: 1050 HABITABLE ATTACHED ADU
 OPEN LANDSCAPE AREA: 3606 SQ.FT
 EXISTING BUILDING YEAR: 1999

CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL 2025 EDITION
 B. CALIFORNIA BUILDING 2025 EDITION
 C. CALIFORNIA GREEN BUILDING 2025 EDITION
 D. CALIFORNIA MECHANICAL 2025 EDITION
 E. CALIFORNIA PLUMBING 2025 EDITION
 F. CALIFORNIA ELECTRICAL 2025 EDITION
 G. CALIFORNIA ENERGY 2025 EDITION
 H. CALIFORNIA FIRE 2025 EDITION
 ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. 2025 EDITION
 I. SANTA CLARA MUNICIPAL CODE 2025 EDITION

PROJECT CONTACT:

OWNER: 754 Ridge Road, Santa Clara, CA 95051
 DESIGNER: RAMIN ZOHOR LEVEL UP HOMES REMODELING INC. 569 CLYDE AVE., STE 150 MOUNTAIN VIEW, CA 94043 TEL: 408-487-5071 LIC: 1034500
 BUILDER: HILLEL BENZRI LEVEL UP HOMES REMODELING INC. 569 CLYDE AVE., STE 150 MOUNTAIN VIEW, CA 94043 TEL: 408-487-5071 LIC: 1034500
 STRUCTURAL: ADX ENGINEERING, INC. 5525 CROWN BLVD, #41088 SAN JOSE, CA 95108 TEL: 408-223-5517
 T24 & ENERGY: GM DESIGNS 122 WENDY CT, UNION CITY, CA 94587 TEL: 408-988-5677 EMAIL: gmarines501@gmail.com
 SURVEY: LEA & BRACE ENGINEERING INC. 2495 INDUSTRIAL PKWY WEST, HAYWARD, CA 94540 TEL: 916-487-4088
 ARBORIST: DAVEY RESOURCE GROUP A Division of The Davey Tree Expert Company 1500 North Meridian Street Kent, OH 44260

DRAWING INDEX:

ARCHITECTURAL PLAN:
 A-001: COVER SHEET
 T-010: T-010 & BOUNDARY MAP
 A-1: SITE PLAN CONDITIONS
 L1-9: LANDSCAPE PLAN
 A-11: FIRST FLOOR PROPOSED PLAN
 A-12: SECOND FLOOR PROPOSED PLAN
 A-13: ROOF PLAN
 A-14: WINDOW AND DOOR SCHEDULE
 A-15: PROPOSED ELEVATIONS
 A-16: PROPOSED ELEVATIONS
 A-17: PROPOSED SECTION
 A-18: EXISTING MODEL
 A-19: FAR EXTERIOR

AREA CALCULATION:

EXISTING CONDITION:
 DEMO EXISTING HOUSE FULL STRUCTURAL AT 1188 SQ.FT.
 *** NEW CONDITIONS

"N" MAIN HOUSE	2095	SQ.FT.
"N" ATTACHED ADU FLR	1090	SQ.FT (GROSS 1ST FLR + 2ND FLR)
"N" ADU PORCH	15	SQ.FT
"N" ATTACHED GARAGE	434	SQ.FT
"N" PORCH	23	SQ.FT
LOT AREA	6700	SGF

LOT COVERAGE (NO INCLUDING ADU)
 2099+434+23+15 / 6700 = 2837 / 6700 = 42.34 %
 FIRST AND SECOND FLOOR RATIO CALCULATION
 MAXIMUM 66 %
 PROPOSED 1ST FLOOR + GARAGE = 2095 + 435 + 2900 * 0.66 = 1850 SQ.FT. ON SECOND FLR PROPOSED 2ND FLOOR = 1090 SQ.FT.

SCOPE OF WORK

- DEMO EXISTING SINGLE STORY HOUSE.
- NEW SINGLE FAMILY HOME WITH AN ATTACHED ADU ON THE SECOND FLOOR WITH SEPARATE ENTRANCE.
- TOTAL 3 BEDROOMS & 2 FULL BATHROOM NEW RESIDENCE.
- ATTACHED ADU TO HAVE TWO BEDROOMS AND TWO FULL BATHROOMS ON THE SECOND FLOOR.
- NEW ATTACHED TWO CARS GARAGE.
- OPEN CONCEPT KITCHEN.
- FURNACE TO BE LOCATED INSIDE THE ATTKG. HEAT PUMP.
- NEW TANK HEAT PUMP WATER HEATER.
- NEW 400 AMP ELECTRICAL PANEL.

PLUMBING NOTES: (IMPORTANT READ)

All existing non-compliant plumbing fixtures in the dwelling unit shall be replaced with water conserving fixtures as listed in the table below. Note the requirements on plans.

Fixture Type	Non-Compliant (Flow (gpc oem))	Conserving Fixtures (Max flow rate)
Kitchen Faucet	2.2 Gal/min	1.8 Gal/min @ 60 psi
Other Faucets	2.2 Gal/min	1.2 Gal/min @ 60 psi
Shower *	2.5 Gal/min	1.8 Gal/min @ 80 psi
Water Closet	1.6 Gal/flush	1.28 Gal/flush

*Flow rates combined for all showerheads and/or other outlets controlled by a single valve. (CGSBC 4.30, California CIV 1101.41)

PERMIT NOTES:

- Applications for which no permit is issued with 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- Any permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandoned for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than ONE extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactivation fee shall be approximately 100% of the original permit fee, per CRC R105.5.

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

HERS NOTES:

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT, PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

ADDITIONAL NOTES:

MINIMUM 65 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED PER CALIFORNIA GREEN BUILDING CODE SECTION 4.408.1

754 Ridge Road, RESIDENCE

754 Ridge Rd, Santa Clara, CA 95051

REVISION TABLE:
 A-001 PLUMBING RESPONSE
 A-002 PLUMBING RESPONSE
 A-003 PLUMBING RESPONSE



DESIGNER: RAMIN ZOHOR LEVEL UP HOMES REMODELING INC. 569 CLYDE AVE., STE 150 MOUNTAIN VIEW, CA 94043 TEL: 408-487-5071

SHEET TITLE:

COVER SHEET

PROJECT ID: _____
 DATE: _____
 SCALE: _____
 DRAWN BY: TAMAR ZOHOR LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:

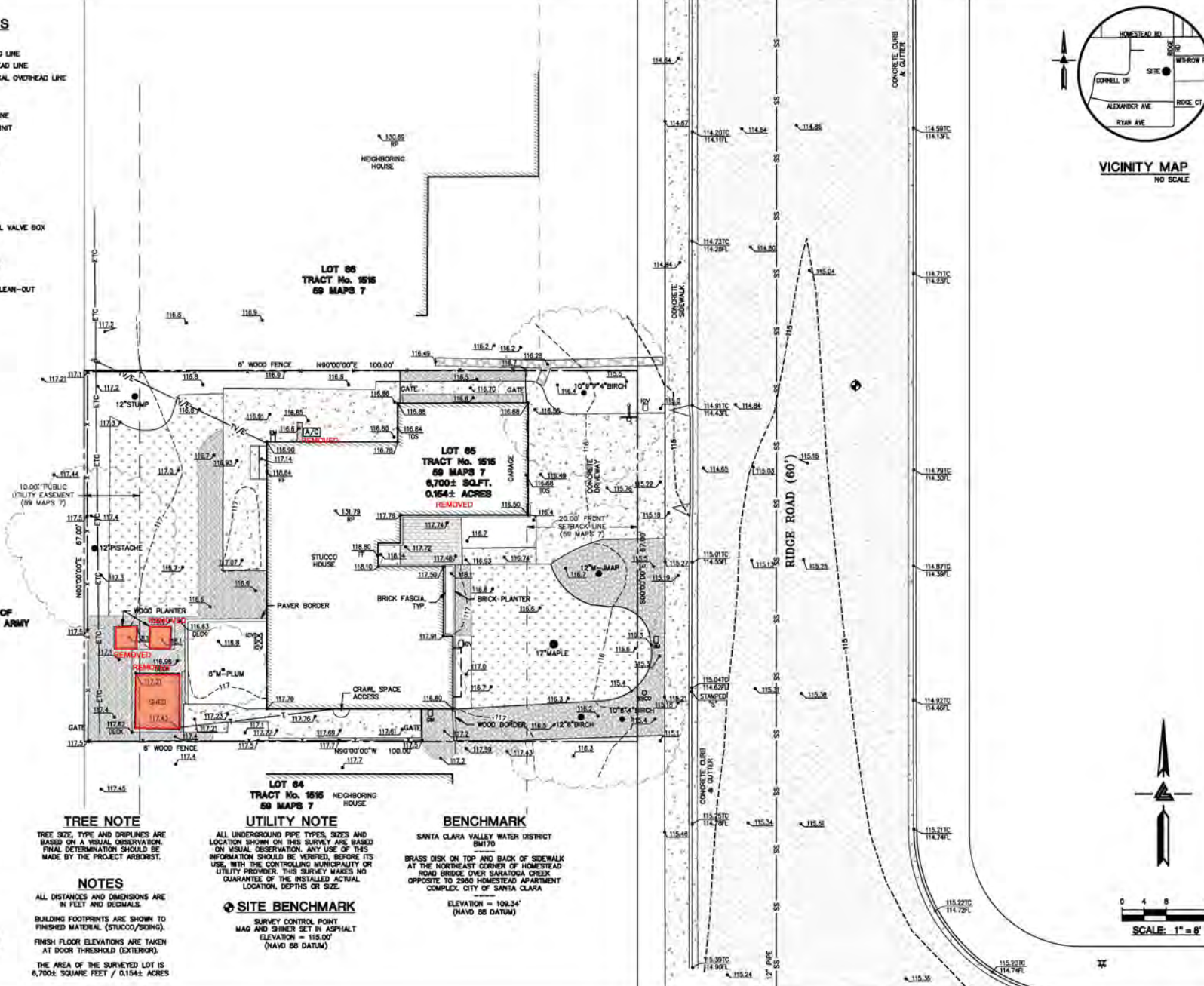
A-00.01

DESIGNER: RAMIN ZOHOR LEVEL UP HOMES REMODELING INC. TEL: 408-487-5071 EMAIL: ZOHOR.RAMIN@GMAIL.COM

LEGEND AND NOTES

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- T TELEPHONE OVERHEAD LINE
- TV/E CABLE TV/ELECTRICAL OVERHEAD LINE
- EASEMENT
- x FENCE LINE
- SS SANITARY SEWER LINE
- A/C AIR CONDITIONING UNIT
- B BASKETBALL HOOP
- ⊕ BENCHMARK
- EM ELECTRICAL METER
- FF FRESH FLOOR
- FF FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- ICV IRRIGATION CONTROL VALVE BOX
- JMAP JAPANESE MAPLE
- ⊕ JOINT POLE
- M- MULTI-TRUNK TREE
- RP ROOF PEAK
- SSCO SANITARY SEWER CLEAN-OUT
- TC TOP OF CURB
- TOS TOP OF SLAB
- WM WATER METER
- WV WATER VALVE
- XXX SPOTGRADE

- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- LAWN
- PAVING
- RIVER ROCK
- STONE
- WOOD



FEMA FLOOD NOTE

FLOOD ZONE: X (SHADED)
 AREAS OF REDUCED FLOOD RISK
 1% ANNUAL CHANCE FLOOD DISCHARGE
 CONTAINED IN STRUCTURE
 FEMA FLOOD INSURANCE RATE MAP
 NO. 060802020H
 MAP REVISED: MAY 18, 2009

EASEMENT NOTE

A CURRENT TITLE REPORT FOR THE SUBJECT
 PROPERTY HAS NOT BEEN EXAMINED BY LEA
 & BRAZE ENGINEERS, INC. EASEMENTS OF
 RECORD MAY EXIST THAT ARE NOT SHOWN
 ON THIS MAP.
 EASEMENTS ARE SHOWN PER 59 MAPS 7

TREE NOTE

TREE SIZE, TYPE AND DRIFLINES ARE
 BASED ON A VISUAL OBSERVATION.
 FINAL DETERMINATION SHOULD BE
 MADE BY THE PROJECT ARBORIST.

NOTES

ALL DISTANCES AND DIMENSIONS ARE
 IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO
 FINISHED MATERIAL (STUCCO/SIDING).
 FINISH FLOOR ELEVATIONS ARE TAKEN
 AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS
 6,700± SQUARE FEET / 0.154± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND
 LOCATION SHOWN ON THIS SURVEY ARE BASED
 ON VISUAL OBSERVATION. ANY USE OF THIS
 INFORMATION SHOULD BE VERIFIED BEFORE ITS
 USE. WITH THE CONTROLLING MUNICIPALITY OR
 UTILITY PROVIDER. THIS SURVEY MAKES NO
 GUARANTEE OF THE INSTALLED ACTUAL
 LOCATION, DEPTHS OR SIZE.

⊕ SITE BENCHMARK

SURVEY CONTROL POINT
 MAG AND SHIRNER SET IN ASPHALT
 ELEVATION = 115.00'
 (NAVD 88 DATUM)

BENCHMARK

SANTA CLARA VALLEY WATER DISTRICT
 BM70
 BRASS DISK ON TOP AND BACK OF SIDEWALK
 AT THE NORTHEAST CORNER OF HOMESTEAD
 ROAD BRIDGE OVER SARATOGA CREEK
 OPPOSITE TO 2865 HOMESTEAD APARTMENT
 COMPLEX, CITY OF SANTA CLARA
 ELEVATION = 109.34'
 (NAVD 88 DATUM)



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS | LAND SURVEYORS
 REGIONAL OFFICES:
 SAN JOSE, CALIFORNIA
 SAN JOSE, CALIFORNIA
 SAN JOSE, CALIFORNIA
 (415) 987-1038
 WWW.LEAANDBRAZE.COM

754 RIDGE ROAD
 SANTA CLARA
 CALIFORNIA

TOPOGRAPHIC SURVEY

REVISIONS	BY

JOB NO: 2251875
 DATE: 10-8-25
 SCALE: 1" = 8'
 DNDY BY: RW
 FIELD BY: EH
 DRAWN BY: KF
 SHEET NO:

SU1
 1 OF 1 SHEETS

GRADING and DEMO NOTES:

- CONTACT PUBLIC WORKS FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAIN/DOWN SPOUTS.
- ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- THE CONTRACTOR SHALL REVIEW STD. DETAIL 64 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- N/A
- TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
- ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
- PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
- PROVIDE MIN. 3% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL, WITH EXCEPTION:
- IF BUILDING SITE DOES NOT ALLOW 15 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
- (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

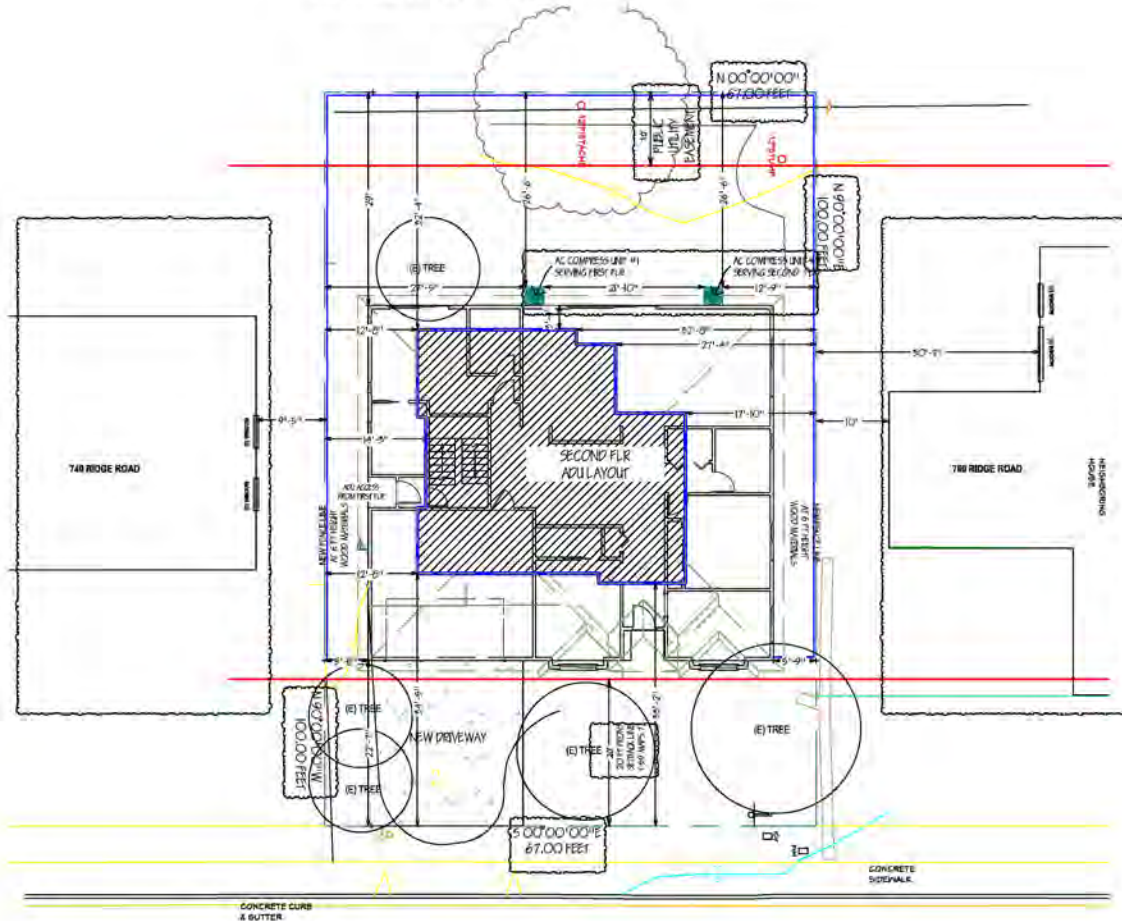
TREE PROTECTION NOTES:

- A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/LANDSCAPE ARCHITECT SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREES.
- ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR FOOT HIGH FENCE AROUND THE DRIP LINE AND ARMOR AS NEEDED, THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
- NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
- IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS, PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
- TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
- THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN, NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
- TREES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
- THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/LANDSCAPE ARCHITECT WITH APPROVAL OF STAFF.
- ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
- NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
- TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

1. REFER TO SHEET LI.0 FOR ALL LANDSCAPE FEATURES & LAYOUT
 2. NO ACCESSORY STRUCTURE OR SHEDS ON THE PROPERTY. ALL FIXTURES BEING REMOVED FROM EXISTING SITE AS MARKED ON THE TOPO AND BOUNDARY MAP.

LEGEND:

	PROPERTY LINE
	FENCE LINES
	EXTERIOR WALLS
	ROOF LINE
	SECOND FLR FOOTPRINT
	PUBLIC UTILITY EASEMENT



1 PROPOSE SITE PLAN
 SD-18(1) 1-C



NEW CONSTRUCTION PERMITS ATTACHED AND

754 Ridge Road, RESIDENCE

754 Ridge Rd.
 Santa Clara, CA 95051

DESIGNER:
 RAMIN ZOHROOR
 LEVEL UP HOMES REMODELING INC.
 580 CLYDE AVE., STE 150
 MOUNTAIN VIEW, CA 94043
 TEL: 408-487-5071

Level UP

SITE PLAN CONDITIONS

PROJECT NO: _____
 DATE: _____
 SCALE: _____
 DRAWN BY: RAMIN ZOHROOR
 LEVEL UP HOMES REMODELING INC.
 SHEET NUMBER:
A-S1

RAMIN ZOHROOR
 LEVEL UP HOMES REMODELING INC.
 TEL: 408-487-5071
 EMAIL: ZOHROOR.RAMIN@GMAIL.COM

LEGEND

- SYMBOL DESCRIPTION**
- PROPERTY LINE
 - SCOPE OF WORK — 4362 SQ.FT.
 - EXISTING TREE
 - PLANTING AREA
 - EXISTING REMOVE TREE

FRONT YARD

SYMBOL	NAME	SQ.FT.
	PERMEABLE SURFACE AREA	1028
	MULCH	693
	DECOMPOSED GRANITE	93
	DECOMPOSED GRANITE	242
	IMPERVIOUS SURFACE AREA	759
	CONCRETE, BROOM FINISH	759
TOTAL FRONT YARD SURFACE AREA:		1787

BACK YARD

SYMBOL	NAME	SQ.FT.
	PERMEABLE SURFACE AREA	1119
	MULCH	360
	SYNTHETIC TURF	487
	DECOMPOSED GRANITE	272
	IMPERVIOUS SURFACE AREA	1219
	CONCRETE, BROOM FINISH	506
	DECK PAVERS	609
	BONFIRE PAVERS	104
TOTAL BACKYARD SURFACE AREA:		2338

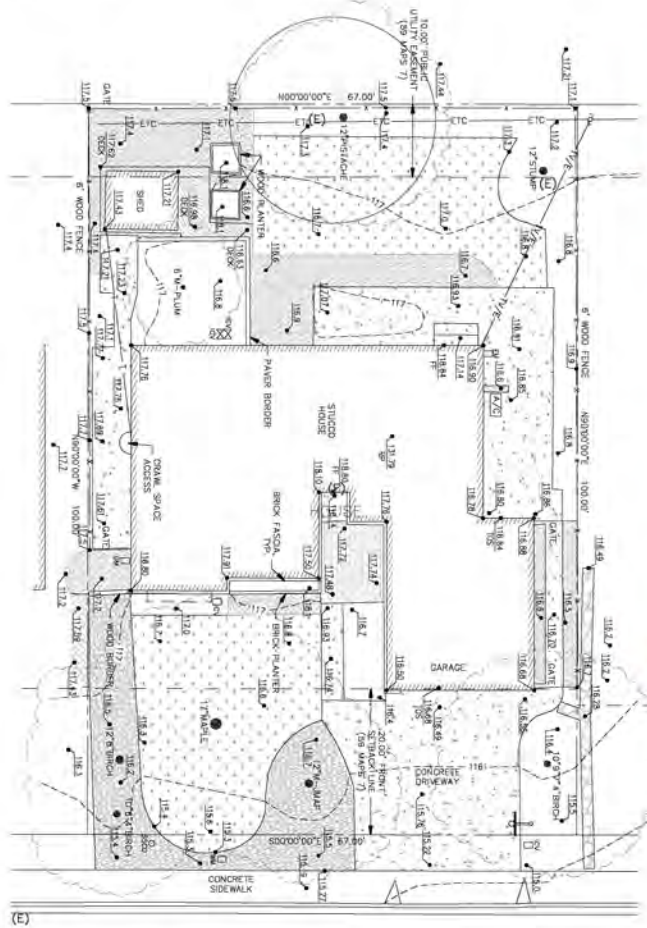
FRONT YARD - PROPOSED:	BACK YARD - PROPOSED:
Total Area: 1787 SQ.FT.	Total Area: 2338 SQ.FT.
Impervious: 759sq.ft. - 42%	Impervious: 1219 sq.ft. - 42%
Permeable: 1028 sq.ft. - 58%	Permeable: 1119 sq.ft. - 58%

PLANT SCHEDULE

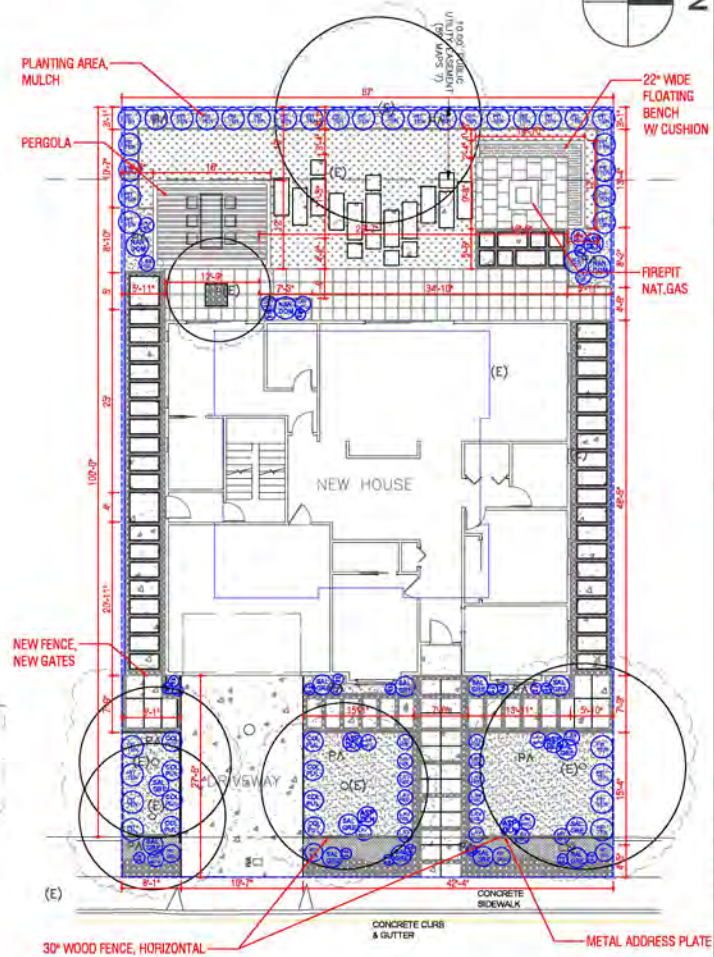
Code	Qty	Size	Discussion	Common	Water
AC3 BGN	1	15 gal	Alexia spectabilis 'Barry's'	Bonnie's Intentional Artistic	Medium
601 BGC	7	3 gal	Wedding bells 'Big Bell'	Big Bell Bougainvillea	Low
60P LGW	5	3 gal	Wedding bells 'Dwarf'	Myers' Bougainvillea	Low
100 PLO	6	3 gal	Ludwigia palustris 'Hummer Gold'	Golden-wreath C'Nerveus	Low
103 CA	14	1 gal	Impatiens 'Vivid All Star'	Clay's Red Impatiens	Low
104 MR	10	3 gal	Lambertia saccata 'Endless Blue'	Endless Spring Lambertia	Low
105 MR	5	3 gal	Lambertia saccata 'Madrid Purple'	Purple Heart of Spring Lambertia	Very Low
106 DDM	11	3 gal	Impatiens 'Bicolor'	Impatiens 'Bicolor'	Low
107 GCL	4	3 gal	Impatiens 'Coral Reef'	Coral Reef Impatiens	Very Little to None
108 TR	10	1.5 gal	Impatiens 'Coral Reef'	Impatiens 'Coral Reef'	Low
109 LRS	15	1 gal	Sedum 'Sedum'	Sedum 'Sedum'	Very Little



EXISTING



PROPOSED



KEEP AND PROTECT EXISTING TREES

FRONTYARD SURFACE AREA PERCENTAGE CALCULATION:

SYMBOL	NAME	SQ.FT.	%
	PERMEABLE SURFACE AREA	1028	58%
	MULCH	693	
	DECOMPOSED GRANITE	93	
	DECOMPOSED GRANITE	242	
	IMPERVIOUS SURFACE AREA	759	42%
	CONCRETE, BROOM FINISH	759	
TOTAL FRONT YARD SURFACE AREA:		1787	100%

569 Clyde Ave. #550
Mountain View, CA 94033
+1 (408) 692-7203
leveluphomeremodeling.com

GNUCHEV & PARTNERS
LANDSCAPE DESIGN COMPANY

706 Santa Susana St
Sunnyvale, CA 94085
+1 (650) 810 - 3793
www.gnuchev.com

APR:
293-11-005

ADDRESS:
754 Ridge Rd, Santa Clara, CA 95051

REVISIONS:

DRAWING TITLE:
LANDSCAPE PLAN

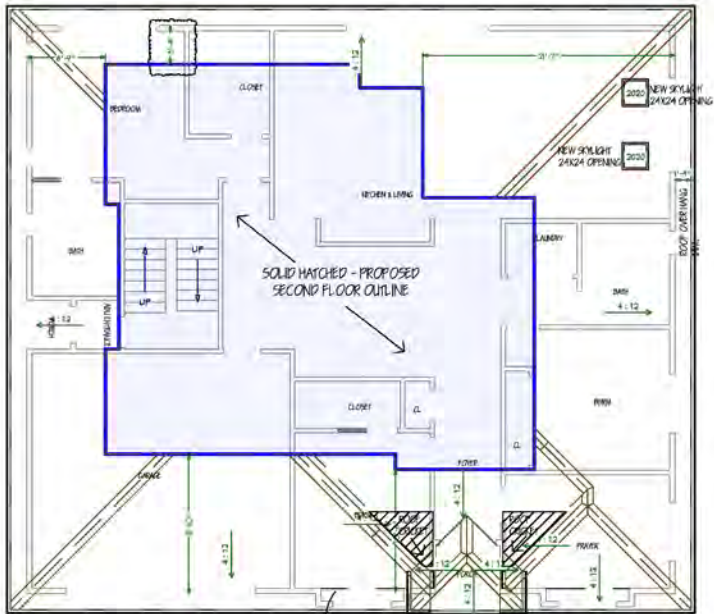
SCALE:
1/8" = 1'-0"

DRAWN BY:
VASY GNUCHEV

ISSUE DATE:
05 / 07 / 2026

DRAWING NO:
L1.0

OWNER/CONTRACTOR TO NOTIFY LANDSCAPING DESIGNER OF ANY SIGNIFICANT CHANGES TO PLANT SCHEDULES BEFORE WORK BEGINS. THESE PLANS ONLY AS AN APPROXIMATION OF PLANT SIZE AND LOCATION.



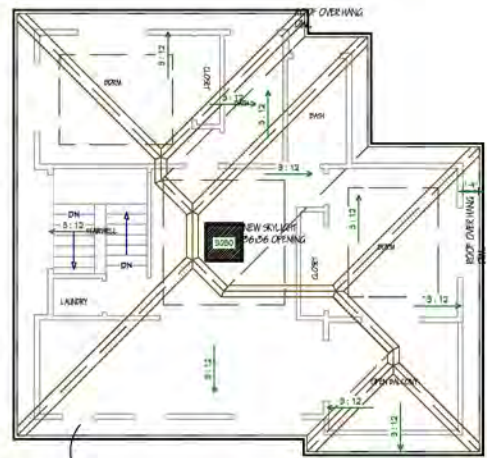
SOLID HATCHED - PROPOSED SECOND FLOOR OUTLINE

PROPOSED ROOF COMP. SHINGLES MIN CLASS 'A' WITH TWO LAYERS OF #15 UNDERLAYMENT S ALL AROUND FIRST AND SECOND FLR

ROOF PITCHED AT 4:12

PROPOSE ROOF PLAN FIRST FLOOR

30' 10" x 14'



PROPOSED ROOF COMP. SHINGLES MIN CLASS 'A' WITH TWO LAYERS OF #15 UNDERLAYMENT S ALL AROUND FIRST AND SECOND FLR

ROOF PITCHED AT 5:12

PROPOSE ROOF PLAN SECOND FLOOR

30' 10" x 14'

NEW CONSTRUCTION VIEW
ATTACHED A31

754 Ridge Road, RESIDENCE

754 Ridge Rd.
Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
AREA	WORKING IN BLUE/BLACK
AREA	PLANNING RESPONSE
AREA	WORKING IN BLUE/BLACK

DESIGNER:
RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
590 CLYDE AVE., STE 500
MOUNTAIN VIEW, CA 94043
TEL: 408-497-5071

SHEET TITLE:

ROOF PLAN CONDITIONS

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:

A-03

DESIGNED BY: *Ramin Zohdoor*

RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-497-5071
EMAIL: ZOHDOOR.RAMIN@GMAIL.COM



PROPOSE OPENING PLAN
FIRST FLOOR

SC: 1/8" = 1'-0"



PROPOSE OPENING PLAN
SECOND FLOOR

SC: 1/8" = 1'-0"

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	1	1	84"	96"	EXT. SLIPK GLASS PANEL	
W02	1	1	84"	96"	EXT. SLIPK GLASS PANEL	
W03	5	2	50"	50"	HINGED DOOR F04	
W04	1	1	50"	96"	2 PM. BULL DOOR	
W05	2	1	50"	96"	HINGED DOOR F04	
W06	1	2	50"	50"	HINGED DOOR F04	
W07	2	1	50"	96"	HINGED DOOR F04	
W08	1	2	50"	50"	2 PM. BULL DOOR	
W09	1	1	50"	96"	HINGED DOOR F04	
W10	1	1	50"	96"	HINGED DOOR F04	
W11	1	1	50"	96"	HINGED DOOR F04	
W12	1	1	50"	96"	HINGED DOOR F04	
W13	1	1	50"	96"	HINGED DOOR F04	
W14	1	1	50"	96"	HINGED DOOR F04	
W15	1	1	50"	96"	HINGED DOOR F04	
W16	1	1	50"	96"	HINGED DOOR F04	
W17	1	1	50"	96"	HINGED DOOR F04	
W18	1	1	50"	96"	HINGED DOOR F04	
W19	1	1	50"	96"	HINGED DOOR F04	
W20	1	1	50"	96"	HINGED DOOR F04	
W21	1	1	50"	96"	HINGED DOOR F04	
W22	1	1	50"	96"	HINGED DOOR F04	
W23	1	1	50"	96"	HINGED DOOR F04	
W24	1	1	50"	96"	HINGED DOOR F04	
W25	1	1	50"	96"	HINGED DOOR F04	
W26	1	1	50"	96"	HINGED DOOR F04	
W27	1	1	50"	96"	HINGED DOOR F04	
W28	1	1	50"	96"	HINGED DOOR F04	
W29	1	1	50"	96"	HINGED DOOR F04	
W30	1	1	50"	96"	HINGED DOOR F04	
W31	1	1	50"	96"	HINGED DOOR F04	
W32	1	1	50"	96"	HINGED DOOR F04	
W33	1	1	50"	96"	HINGED DOOR F04	
W34	1	1	50"	96"	HINGED DOOR F04	
W35	1	1	50"	96"	HINGED DOOR F04	
W36	1	1	50"	96"	HINGED DOOR F04	
W37	1	1	50"	96"	HINGED DOOR F04	
W38	1	1	50"	96"	HINGED DOOR F04	
W39	1	1	50"	96"	HINGED DOOR F04	
W40	1	1	50"	96"	HINGED DOOR F04	
W41	1	1	50"	96"	HINGED DOOR F04	
W42	1	1	50"	96"	HINGED DOOR F04	
W43	1	1	50"	96"	HINGED DOOR F04	
W44	1	1	50"	96"	HINGED DOOR F04	
W45	1	1	50"	96"	HINGED DOOR F04	
W46	1	1	50"	96"	HINGED DOOR F04	
W47	1	1	50"	96"	HINGED DOOR F04	
W48	1	1	50"	96"	HINGED DOOR F04	
W49	1	1	50"	96"	HINGED DOOR F04	
W50	1	1	50"	96"	HINGED DOOR F04	
W51	1	1	50"	96"	HINGED DOOR F	



PROPOSED FRONT ELEVATION
SC: 1/8" = 1'-0"



PROPOSED REAR ELEVATION
SC: 1/8" = 1'-0"

NEW CONSTRUCTION SET
ATTACHED A01

**754 Ridge Road,
RESIDENCE**

754 Ridge Rd.
Santa Clara, CA 95051

REVISION TABLE:

NO.	DATE	DESCRIPTION

Level UP
Home Remodeling

DESIGNER:
RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
580 CLYDE AVE., STE 100
MOUNTAIN VIEW, CA 94043
TEL: 408-487-5071

PROJECT TITLE:
PROPOSED ELEVATIONS

PROJECT NO.:
DATE:
SCALE:
DRAWN BY: RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
SHEET NUMBER:
A-05

APPROVED BY: *Ramin Zohdoor*
RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-487-5071
EMAIL: ZOHDOOR.RAMIN@GMAIL.COM



PROPOSED RIGHT ELEVATION
SC: 1/8" = 1'-0"



PROPOSED LEFT ELEVATION
SC: 1/8" = 1'-0"

NEW CONSTRUCTION WITH ATTACHED ADX

754 Ridge Road, RESIDENCE

754 Ridge Rd.
Santa Clara, CA 95051

REVISION TABLE:

PLUMBING RESPONSE	REVISION #	DATE
PLUMBING RESPONSE	REVISION #	DATE

Level UP

DESIGNER:
RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
580 CLYDE AVE., STE 180
MOUNTAIN VIEW, CA 94043
TEL: 408-487-5071

PROJECT TITLE:

PROPOSED ELEVATIONS

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: TUNAY ZOHDOOR
LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:

A-06

DESIGNED BY: *Ramin Zohdoor*

RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-487-5071
EMAIL: ZOHDOOR.RAMIN@GMAIL.COM



INSPIRATION PHOTO
EYES
FASCIA BOARDS AND GUTTER BLACK COLOR



James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish
2X10 FASCIA
JAMES HARDY - WITH ROYAL MOLDING



INSPIRATION PHOTO
Edge HDZ Charcoal Algae Resistant Laminated High Definition Shingles



Milgard C900 1800
Series Singlepane window - black been color
*ALL EXTERIOR WINDOWS TO BE FIBER GLASS
**NO WINDOW TRIM PROPOSED
*ALL EXTERIOR DOORS TO BE FIBER GLASS



EXTERIOR STUCCO
BENJAMIN MOORE
ICDLE
214270
SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES

NEW CONSTRUCTION WITH ATTACHED ADU

754 Ridge Road, RESIDENCE

754 Ridge Rd.
Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
APR 15, 2024	ROUND 01 RUL,2024
MAY 15, 2024	PLANNING RESPONSE
MAY 15, 2024	ROUND 02 RUL,2024

Level Up
Home Remodeling

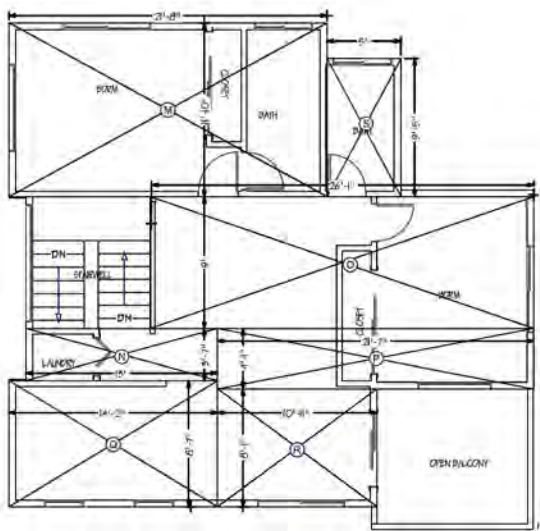
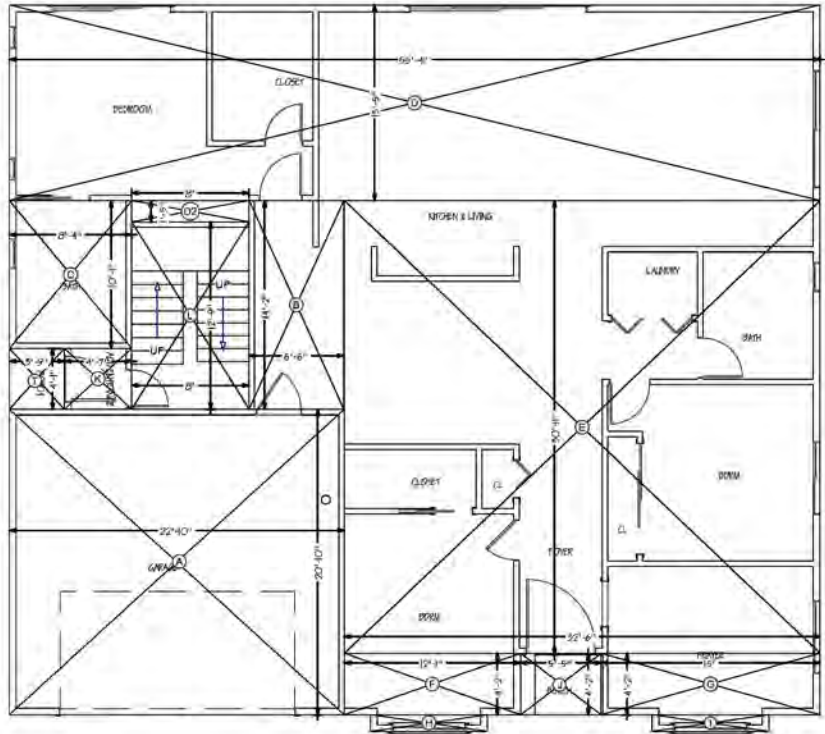
DESIGNER:
RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
590 CLYDE AVE., STE 500
MOUNTAIN VIEW, CA 94043
TEL: 408-497-5071

SHEET TITLE:
MATERIAL BOARDS

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:
A-08

OWNER:
Ramin Zohoor
RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-497-5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM



FIRST FLOOR

CONDITION	LABEL	SIZE	AREA
GARAGE	A	30'10" X 20'10"	434 GARAGE
MAIN HOUSE 1ST FLR	B	14'2" X 6'6"	92 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	C	10'7" X 8'3"	84 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	D	25'4" X 23'3"	742 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	E	30'1" X 33'0"	1005 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	F	12'7" X 14'2"	80 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	G	4'2" X 15'	62 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	H	12' X 18'2"	8 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	J	12' X 28'2"	9 MAIN HOUSE 1ST FLR
PORCH	I	42' X 20'3"	23 PORCH
ADU EGRESS	K	4'7" X 6'1"	15 ADU EGRESS
ADU EGRESS	L	12'3" X 6'0"	102 ADU EGRESS
MAIN HOUSE 1ST FLR	SD	18'0" X 12'0"	11 MAIN HOUSE 1ST FLR

SECOND FLOOR

CONDITION	LABEL	SIZE	AREA
ADU	M	21'3" X 11'10"	236 ATTACHED ADU
ADU	N	13'0" X 12'4"	86 ATTACHED ADU
ADU	O	26'1" X 9'0"	234 ATTACHED ADU
ADU	P	21'7" X 4'1"	86 ATTACHED ADU
ADU	Q	37' X 14'2"	529 ATTACHED ADU
ADU	R	10'11" X 10'1"	86 ATTACHED ADU
ADU	S	9'5'6" X 0"	47
ADU	T	11'9" X 1'1"	15 ADU PORCH

SECOND FLR ADU

			1000
GARAGE			434
MAIN HOUSE 1ST FLR			2086
PORCH			33
ADU PORCH			15

NEW CONSTRUCTION WITH
ATTACHED ADU
**754 Ridge Road,
RESIDENCE**
754 Ridge Rd.
Sanita Clara, CA 95051

REVISION TABLE

NO.	DESCRIPTION
1	PLANNING RESPONSE
2	PLANNING RESPONSE
3	WOODS BULLDOG



DESIGNER:
RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
260 G. VINE AVE., STE 150
MOUNTAIN VIEW, CA 94043
TEL: 408-487-5071

FAR DIAGRAM

PROJECT NO: _____
DATE: _____
SCALE: _____
DRAWN BY: RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.

A-09

DESIGNED BY: *Ramin Zohdoor*
RAMIN ZOHDOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-487-5071
EMAIL: ZOHDOOR.RAMIN@GMAIL.COM