

# CIVIC CENTER TOWNHOUSES

860, 858 CIVIC CENTER DRIVE & 1526 ALVISO STREET, SANTA CLARA, CA

## SCOPE OF WORKS

THE SITE IS CURRENTLY OCCUPIED BY THREE BUILDINGS (BODY SHOP AND CAR REPAIR). TOTALING 9,422 SF. THESE BUILDINGS WILL BE DEMOLISHED AND REMOVED FROM THE SITE.

WE ARE PROPOSING A MULTI-FAMILY PROJECT THAT CONSIST OF THREE SEPARATE BUILDINGS, AN EIGHT-UNIT BUILDING (BUILDING #1) WITH 20,672 TOTAL SF, A SIX-UNIT BUILDING (BUILDING #2) WITH 15,523 SF AND A TWO-UNIT BUILDING (BUILDING #3) WITH 6,073 SF WHICH INCLUDES AN ACCESSORY DWELLING UNIT AS PART OF EACH UNIT.

BUILDING #3 (A DUPLEX AND 2 ADUs) WILL BE DESIGNATED AS AFFORDABLE, A COMMERCIAL MEETING SPACE OF 795SF IS PROVIDED IN BUILDING #3 FACING ALVISO STREET THAT IS AVAILABLE TO THE PUBLIC AND THE HOA.

WE ARE PROVIDING TWO GARAGE PARKING FOR EACH TOWNHOUSE, 1 CARPORT FOR EACH DUPLEX UNIT, 1 UNCOVERED GUEST PARKING FOR THE DUPLEX AND 1 UNASSIGNED UNCOVERED PARKING (ACCESSIBLE).

THE PRIVATE OPEN SPACE FOR EACH UNIT IS PROVIDED VIA A ROOF DECK THAT VARIES IN SIZE FROM 204 SF TO 388 SF.

THE COMMON OPEN AREA IS PROVIDED IN THE CENTER OF THE DEVELOPMENT AND IS APPROXIMATELY 2,087 SF IN AREA.

THE CONSTRUCTION TYPE IS TYPE III-A (FULLY SPRINKLERED) AND THE OCCUPANCY TYPE IS R-2.



## CONSULTANTS

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ZONING- DEVELOPMENT STANDARDS	REQUIRED	PROVIDED	CONCESSION	WAIVERS
HEIGHT	40'	44'		YES
SETBACK				
<b>CIVIC CENTER DR</b>				
FRONT	MIN. 5'- MAX. 10'	2'-9 1/2"		YES
LEFT SIDE (R1/R2)		10'-7"		
RIGHT SIDE (R1)		10'		
REAR		4'-11 1/2"		YES
<b>ALVISO ST</b>				
FRONT	MIN. 5'- MAX. 10'	24'-8 1/2"		YES
LEFT SIDE		4'-9 1/2"		YES
RIGHT SIDE (R1/R2)		4'-9 1/2"		YES
REAR		10'-7"		
DENSITY (UNITS/ACRE)	MIN. 20- MAX. 36	26.73		
COMMERCIAL (SF)	4,278	795		YES
PARKING				
TOWNHOUSE/ DUPLEX UNIT	1 /UNIT			
GUEST PARKING	0.5 /UNIT			
TOTAL REQUIRED	24	30 COVERED + 2 UNCOVERED (1 FOR THE DUPLEX AND 1 UNASSIGNED)		
ADU (NOT REQUIRED)				

## PROJECT SUMMARY

PROJECT ADDRESS:	160 CIVIC CENTER DRIVE, SANTA CLARA, CA			
APN:	[24-29-009]01023			
LOT SIZE (SF):	GROSS:	26,537	NET:	26,078
FLOOD ZONE:	EXISTING		PROPOSED	
ZONING:	MU-CC-Mixed-Used		MU-CC-Mixed-Used	Community Commercial
GENERAL PLAN USE	Community Commercial		Community Commercial	COMMUNITY MIXED USE
INDUSTRIAL WAREHOUSE USE				TOWNHOUSES & COMMERCIAL SPACE
NUMBER OF BUILDINGS				44' (4-STORY)
BUILDING HEIGHT				36'
NUMBER OF TOWNHOUSE/ DUPLEX UNITS	R/A		(EXCL. 2 ACCESSORY DWELLING UNITS)	36
DENSITY (DU/ACRE)				26.73
<b>UNIT (SF) BREAKDOWNS</b>	Duplex Unit	Townhouse-End	TH-End-Civic	Townhouse
ABBREVIATION	Duplex	TH-End	TH-End-Civic	TH
	4 bedrm/ 4 bath	4 bedrm/ 4 bath	4 bedrm/ 4 bath	4 bed rm/ 4 bath
LIVING	2,639	2,100	2,130	2,048
	(INCL. 521SF ADU)			
COMMON LIVING AREA PER UNIT	773	651	651	643
	29%	31%	31%	31%
GARAGE/ DETACHED CARPORT	161	526	522	522
TOTAL BUILDING AREA	2,639	2,626	2,652	2,570
NUMBER OF BEDROOMS/UNIT	1	4	4	4
# PARKINGS	1	2	2	2
PRIVATE OPEN SPACE	361	259	259	254
<b>PARKING TYPE</b>	CARPORT	GARAGE	GARAGE	GARAGE
<b>UNIT MIX</b>	1	2	2	10
<b>BUILDING (SF) BREAKDOWNS</b>	BUILDING 3 (MIXED USE)	BUILDING 2		BUILDING 1
NUMBER OF STORIES	3	4		4
UNIT COUNTS	2	6		8
<b>BUILDING SQUARE FOOTAGE (SF) (INCL. COMMERCIAL SPACE) EXCL. COVERED PORCHES</b>	6,073	15,558		20,698
<b>TOTAL 3 BUILDINGS (SF)</b>	9,422			42,329
<b>CARPORT</b>				324
<b>F.A.R.</b>				1.64
<b>LOT COVERAGE</b>	9,422	2,281	4,516	5,982
<b>TOTAL (INCL. CARPORT)</b>				13,108
				50.26%
<b>OPEN SPACE</b>				2,326
<b>PRIVATE OPEN SPACE TOTAL</b>				3,794
<b>COMMERCIAL SPACE (1ST FLR. BUILDING 3)</b>	795 SF			

SEE CIVIL DRAWINGS FOR IMPERVIOUS CALCULATIONS

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Client:  
**SPENO ENTERPRISES**  
73 N KEEBLE AVE  
SAN JOSE, CA 95126

Project:  
**CIVIC CENTER TOWNHOUSES**  
APN: 22-25-009 01023  
860, 858 CIVIC CENTER DR. & 1526 ALVISO ST  
SANTA CLARA, CA



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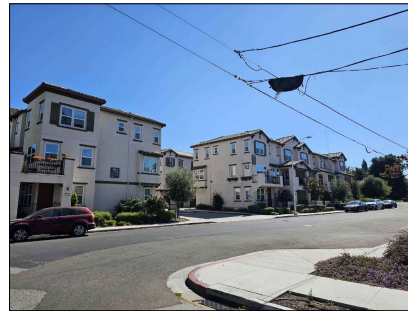
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VIEW 1



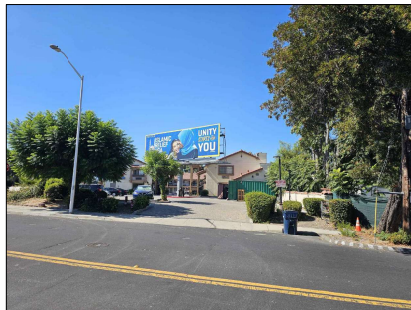
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VIEW 1



VIEW 4



VIEW 5



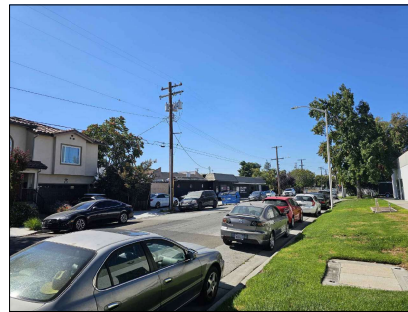
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VIEW 7



VIEW 8



VIEW 8

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73 N KEEBLE AVE  
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Project:

**CIVIC CENTER  
TOWNHOUSES**

APN# 224-25409-010.023  
868, 858 CIVIC CENTER DR. & 1526 ALVISO ST  
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Sheet Title:

*Site Photos*

Sheet No.:

**A0.1**

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Sheet Title:  
**Site Plan**

Sheet No.:

**A1.0**

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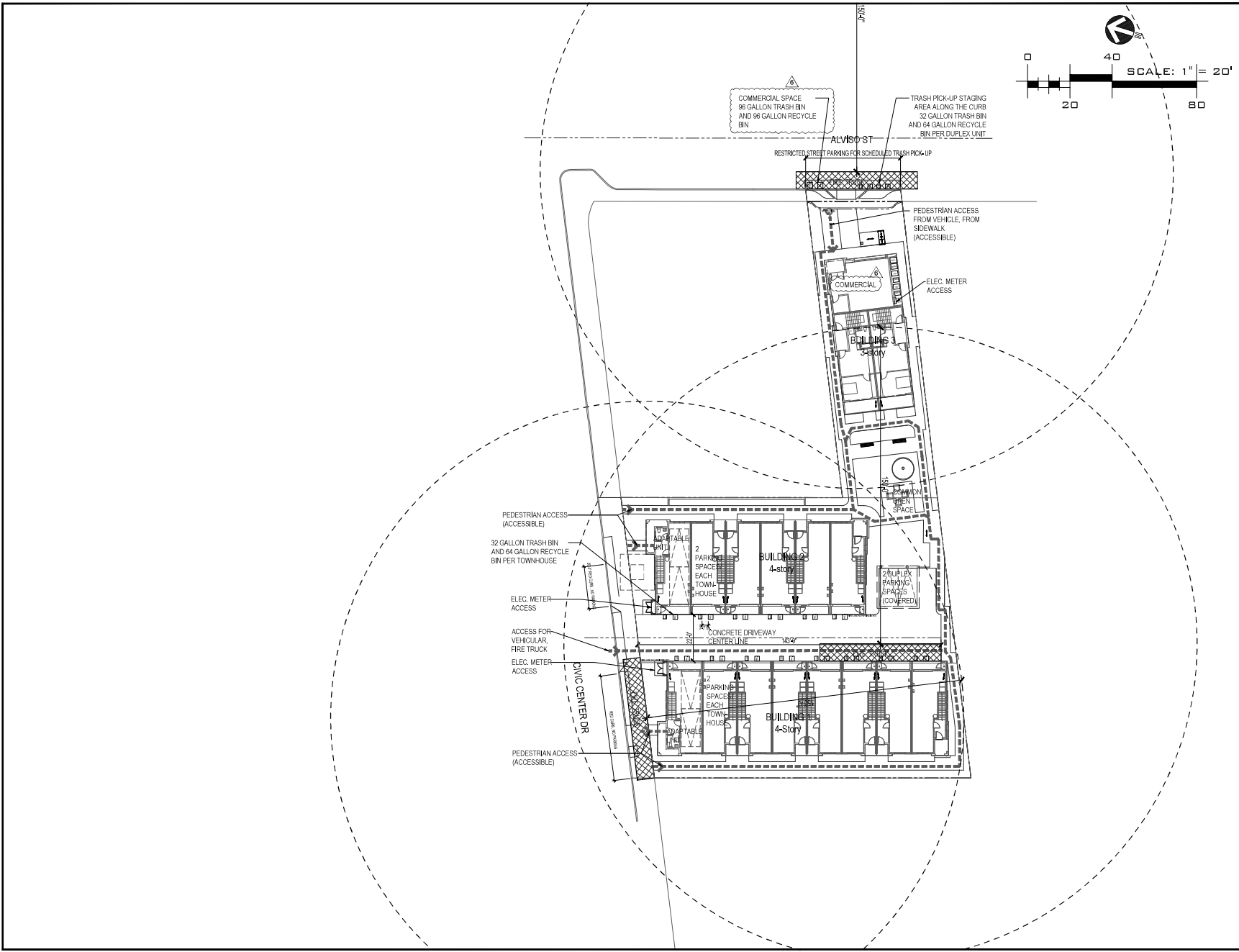
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Fire Department Access**

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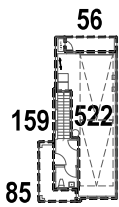
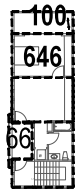
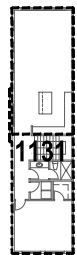
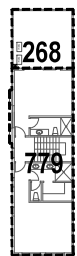
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**Area Calculations  
Graphic Illustrations**

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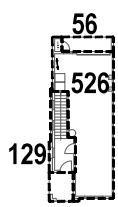
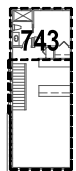
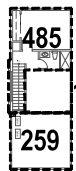
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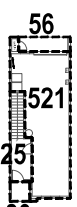
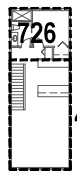
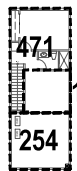


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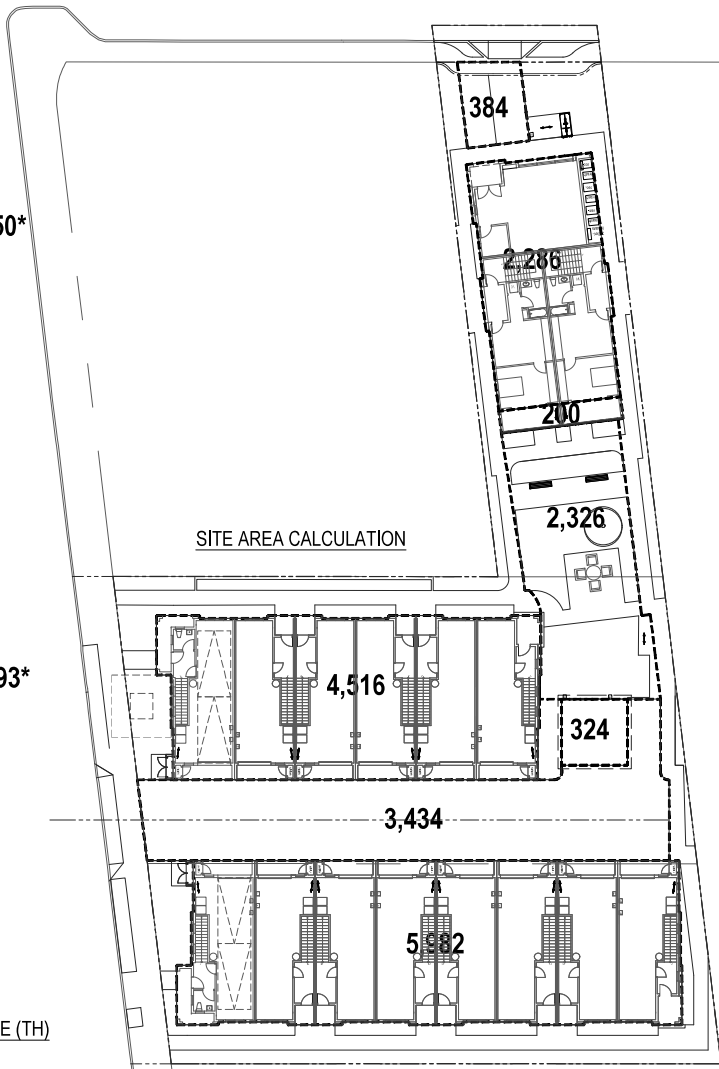
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(TH-End- Civic)



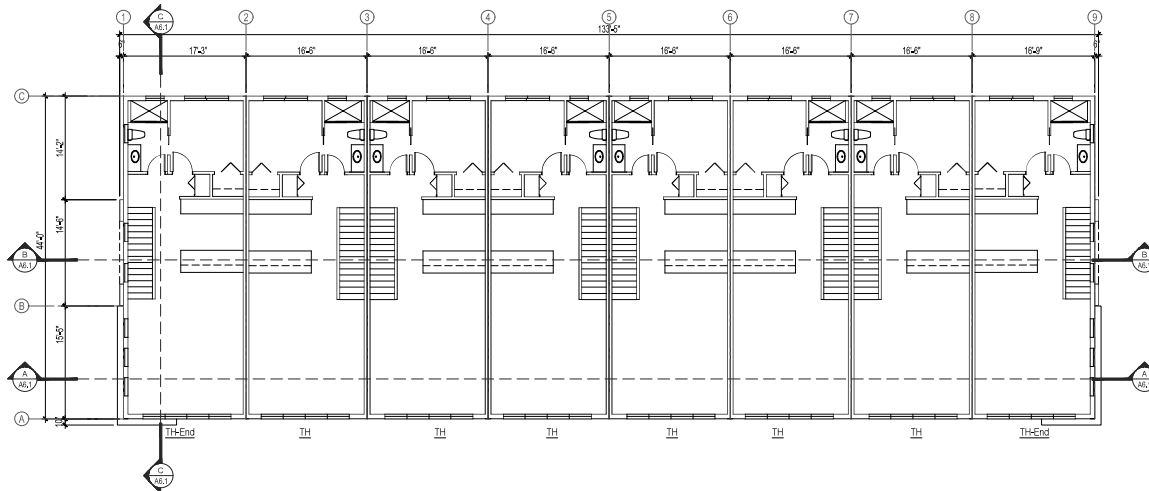
TOWNHOUSE-END  
(TH-End)



TOWNHOUSE (TH)

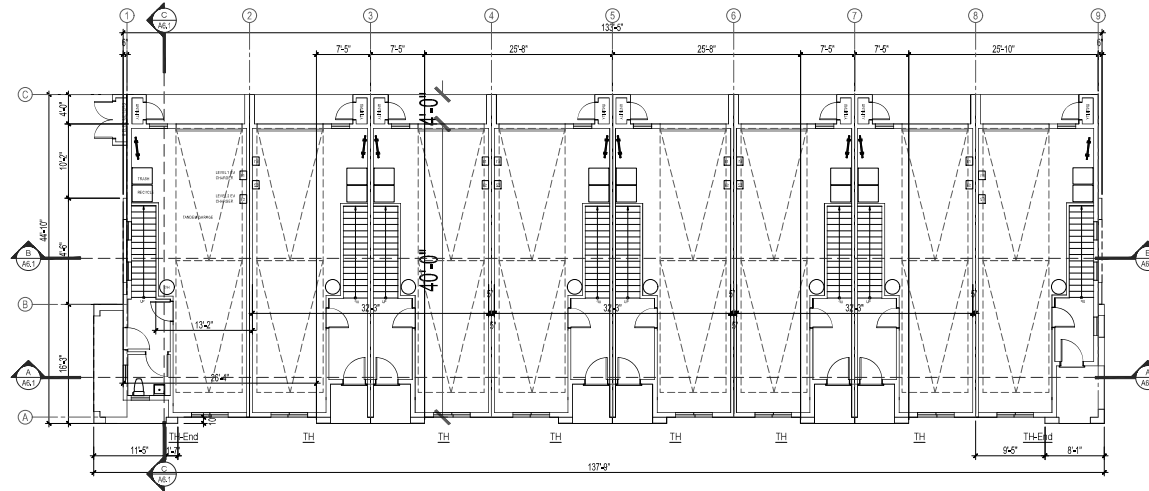


SITE AREA CALCULATION



**BUILDING 1- 2ND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**BUILDING 1- FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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Sheet Title:  
**Building Floor Plans  
Building 1**

Sheet No.:  
**A2.1.1**

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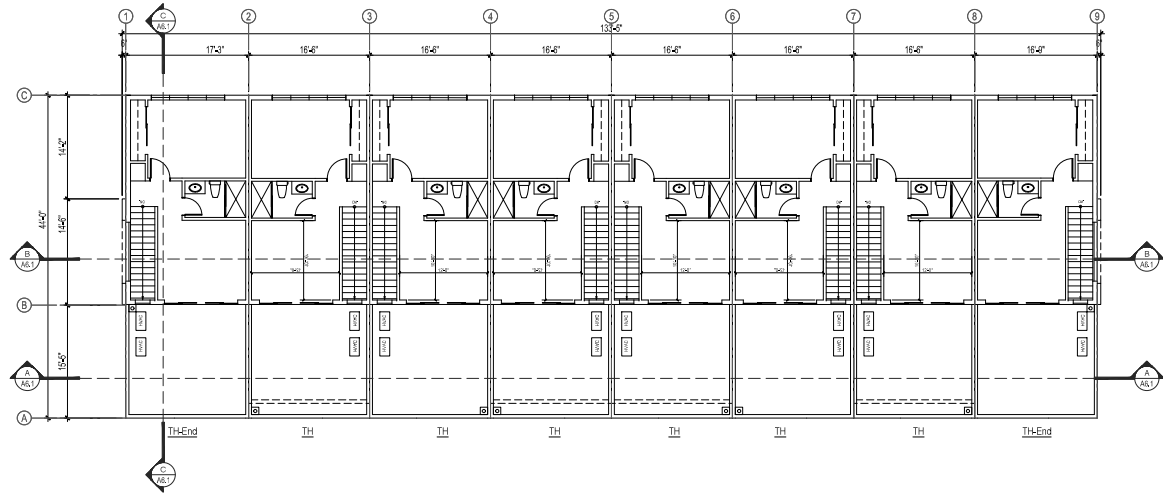
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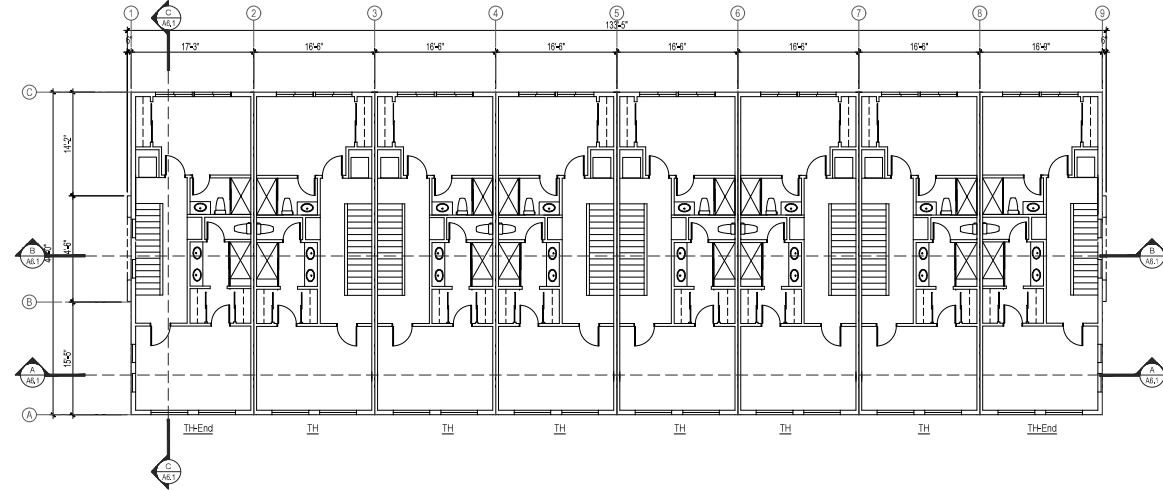
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Sheet Title:  
**Building Floor Plans  
Building 1**

Sheet No.:  
**A2.1.2**



**BUILDING 1- 4TH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BUILDING 1- 3RD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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0	ARCHITECTURAL REVIEW	10/04/24
1	ARCHITECTURAL REVIEW REV 1	01/31/25
2	ARCHITECTURAL REVIEW REV 2	08/22/25
3	ARCHITECTURAL REVIEW REV 3	10/24/25
4	ARCHITECTURAL REVIEW REV 4	12/08/25
5	ARCHITECTURAL REVIEW REV 5	01/09/26
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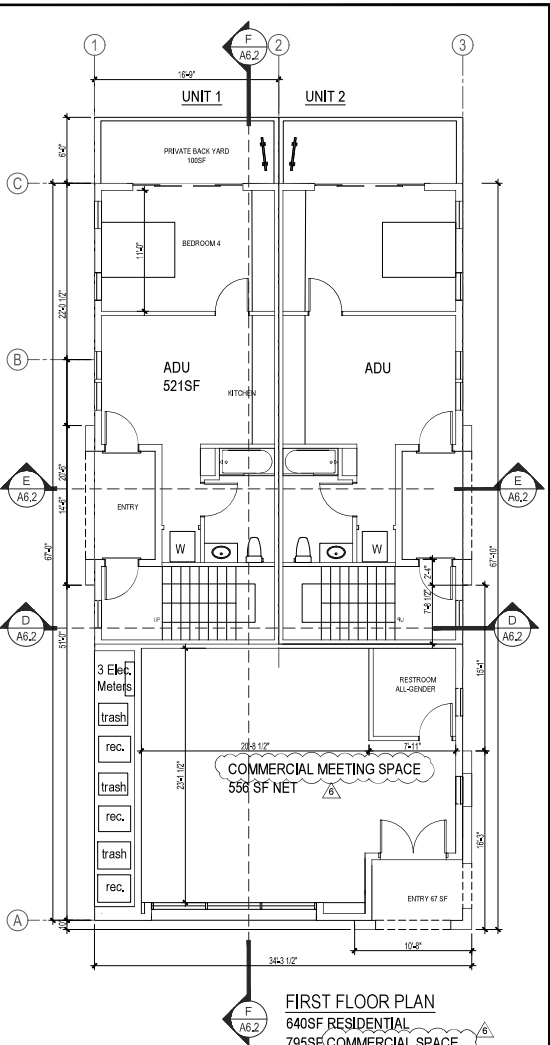
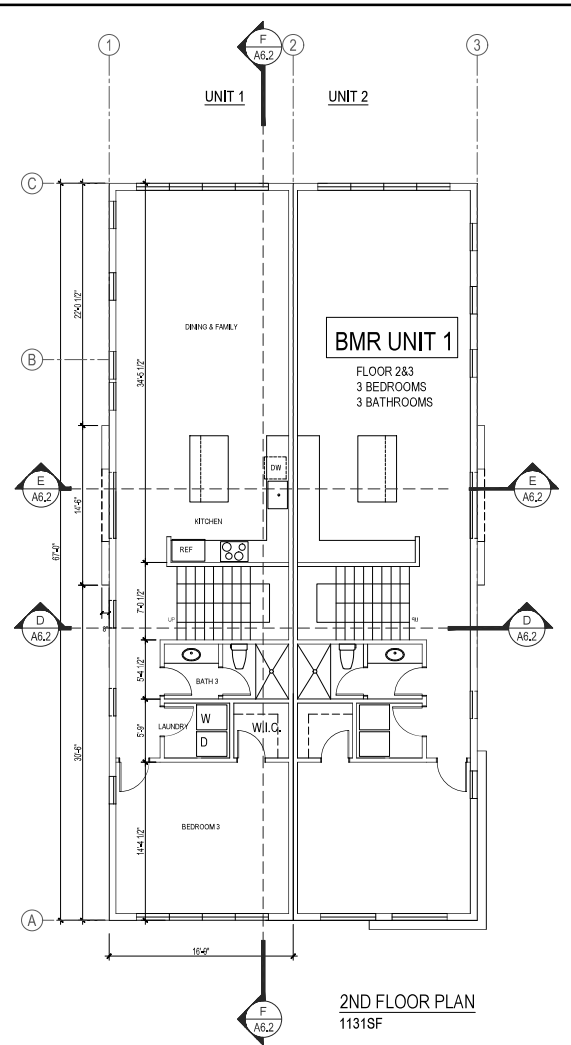
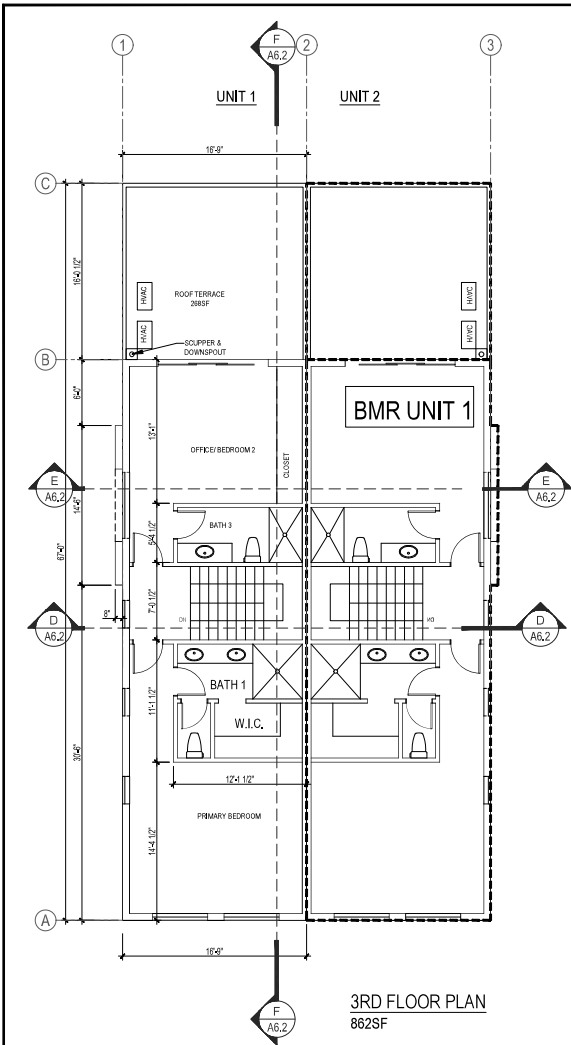
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Drawn By: ANN

Checked By: KBA

Sheet Title:  
**Building Floor Plans  
Building 3**

Share No.:  
**A2.3**



**DUPLEX**  
2639SF/UNIT, TOTAL 5,278SF

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Client:

**SPENO ENTERPRISES**  
73 N KEEBLE AVE  
SAN JOSE, CA 95126

Project:  
**CIVIC CENTER TOWNHOUSES**  
APN# 224-25409-010.023  
868.858 CIVIC CENTER DR. & 1526 ALVISO ST  
SANTA CLARA, CA



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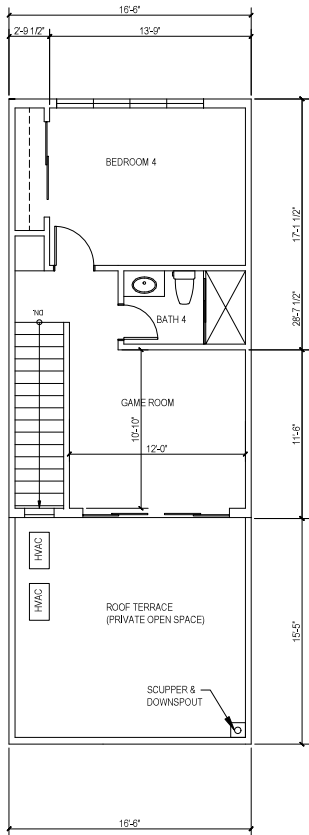
Sheet Title:

**Townhouse Floor Plans**

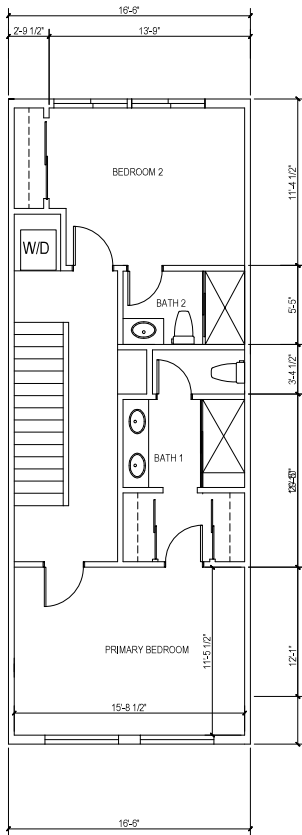
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**A3.1**

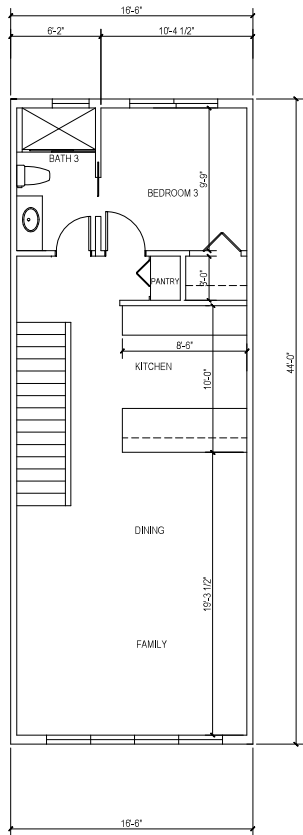
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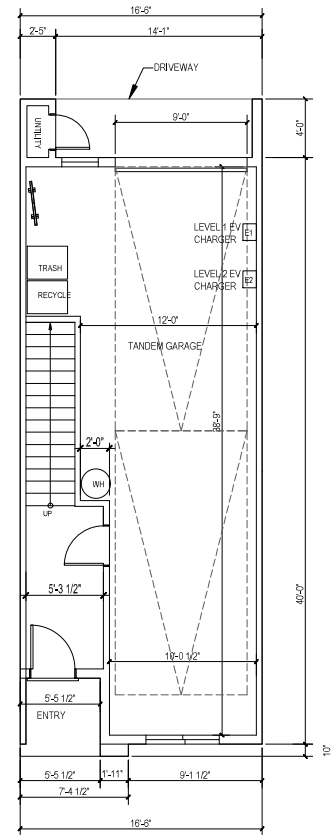
4TH FLOOR PLAN



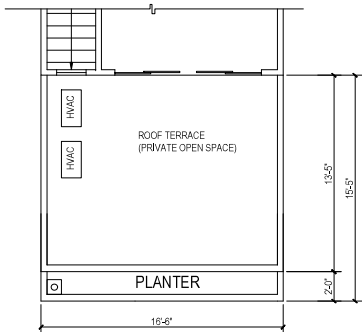
3RD FLOOR PLAN



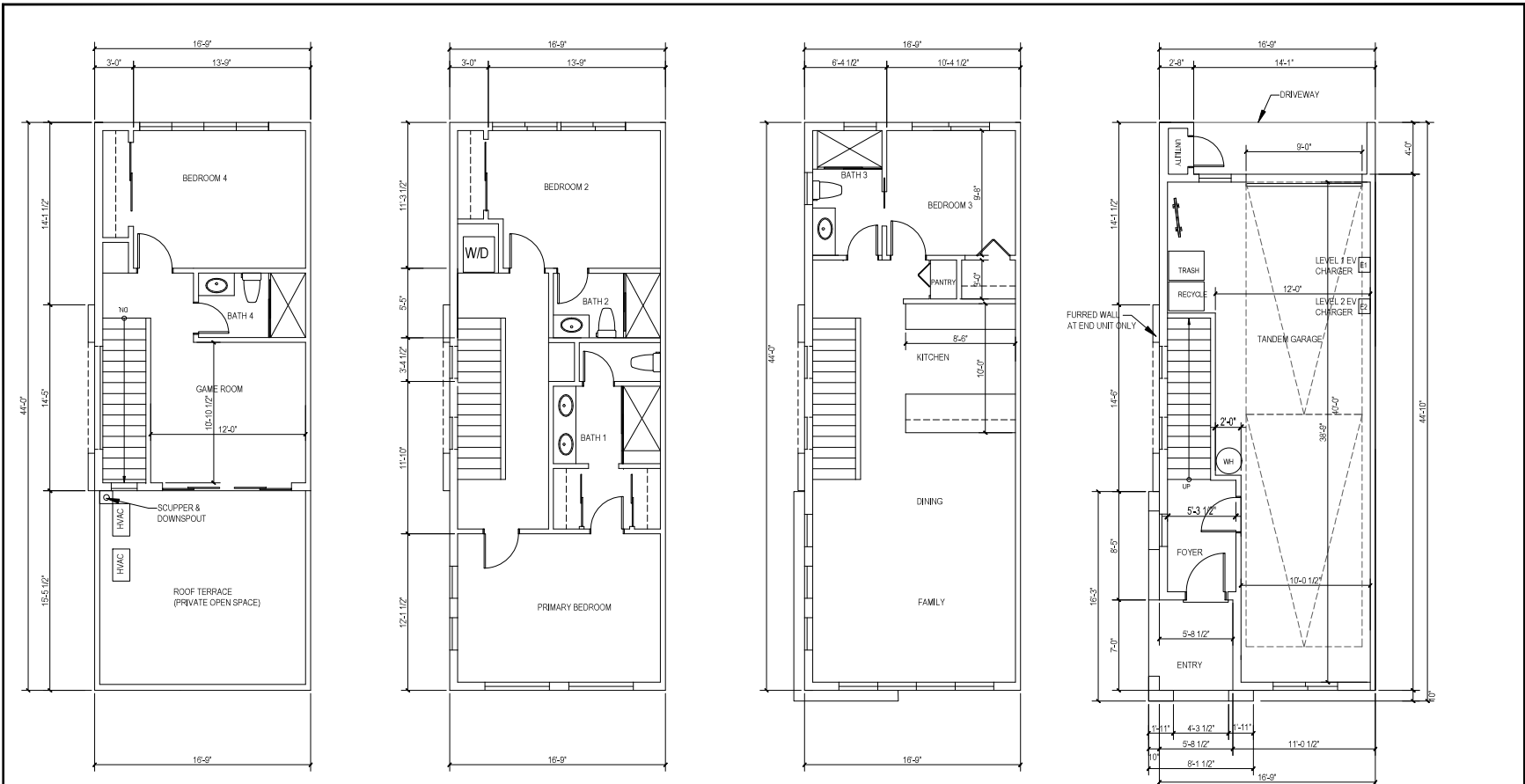
SECOND FLOOR PLAN



FIRST FLOOR PLAN



ROOF TERRACE W/ PLANTER  
(SEE ELEVATION & ROOF PLAN FOR LOCATIONS)



4TH FLOOR PLAN

3RD FLOOR PLAN

SECOND FLOOR PLAN

FIRST FLOOR PLAN

**A n d e r s o n**  
A R C H I T E C T S

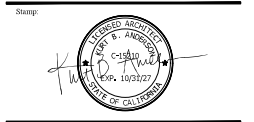
kanderson@anderarch.com  
120 W. Campbell Ave., Suite C  
Campbell, CA 95008

Kurt & Anderson, AIA  
Principals  
Tel. 408/271.1109  
Fax. 408/271.1276

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Drawn By: ANN  
Checked By: KBA

Sheet Title:  
**Townhouse- End Unit Floor Plans**

Sheet No.:  
**A3.2**

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Project:  
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Issued Date: 08/22/25

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Drawn By: ANN

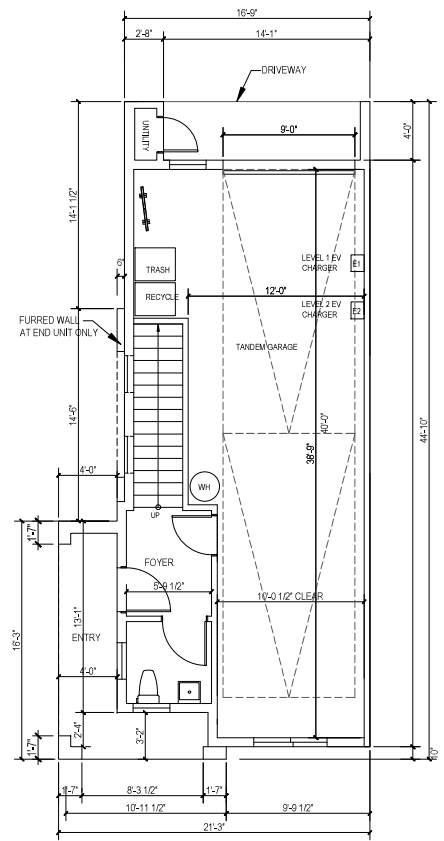
Checked By: KBA

Sheet Title:

*Townhouse- End- Civic Floor Plans*

Sheet No.:

**A3.3**

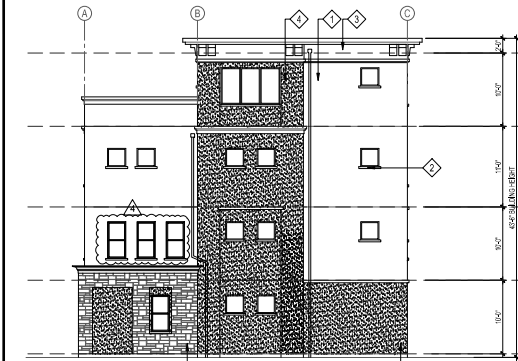


**FIRST FLOOR PLAN**  
Upper floor plans similar to  
Townhouse End Unit Plans



3. BUILDING 1- LEFT/ CIVIC CENTER ST ELEVATION  
SCALE: 1/8"= 1'-0"

2. BUILDING 1- REAR ELEVATION  
SCALE: 1/8"= 1'-0"



4. BUILDING 1- RIGHT ELEVATION  
SCALE: 1/8"= 1'-0"



1. BUILDING 1- FRONT ELEVATION  
SCALE: 1/8"= 1'-0"



- ELEVATION KEYNOTES:**  
SEE COLOR BOARD A4.4 FOR COLOR CODE
1. PAINTED STUCCO FINISH
  2. STUCCO OVER FOAM WINDOW TRIM
  3. STUCCO OVER FOAM CORNICE/ TRIM
  4. ACCENT STUCCO FINISH
  5. MANUFACTURER'S FINISHED GARAGE DOOR
  6. STONE VENEER
  7. SCUPPER AND DOWNSPOUT PAINTED TO MATCH WALL COLORS
  8. 42" HIGH PAINTED WOOD GUARDRAIL

**Anderson  
Architects**

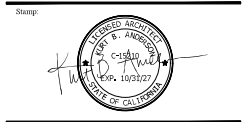
anderson@andersonarch.com  
120 W. Campbell Ave., Suite 210  
Campbell, CA 95008

Kurt & Anderson, AIA  
Principals  
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Fax. 408/271-1276

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SAN JOSE, CA 95126

Project:  
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TOWNHOUSES**  
APN# 22425409 010 023  
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Drawn By: ANN  
Checked By: KBA

Sheet Title:  
**Building 1  
Exterior Elevations**

Sheet No.:

**A4.1**

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73 N KEERLE AVE  
SAN JOSE, CA 95126

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**CIVIC CENTER TOWNHOUSES**  
AP# 22-25409-010-023  
868.858 CIVIC CENTER DR. & 1526 ALVISO ST  
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Issued Date: 08/22/25  
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Drawn By: ANN  
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Sheet Title:  
**Building 2  
Exterior Elevations**

Sheet No.:

**A4.2**



**4. BUILDING 2- LEFT ELEVATION**  
SCALE: 1/8"= 1'-0"

**2. BUILDING 2- REAR ELEVATION**  
SCALE: 1/8"= 1'-0"

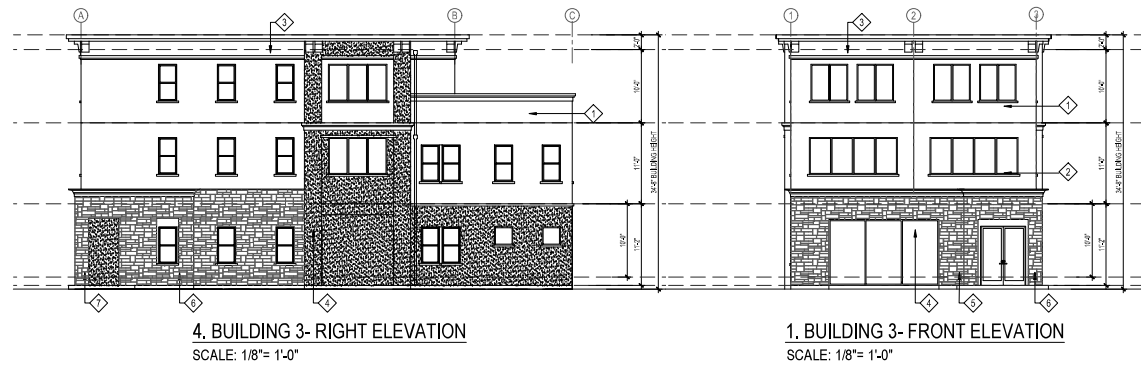
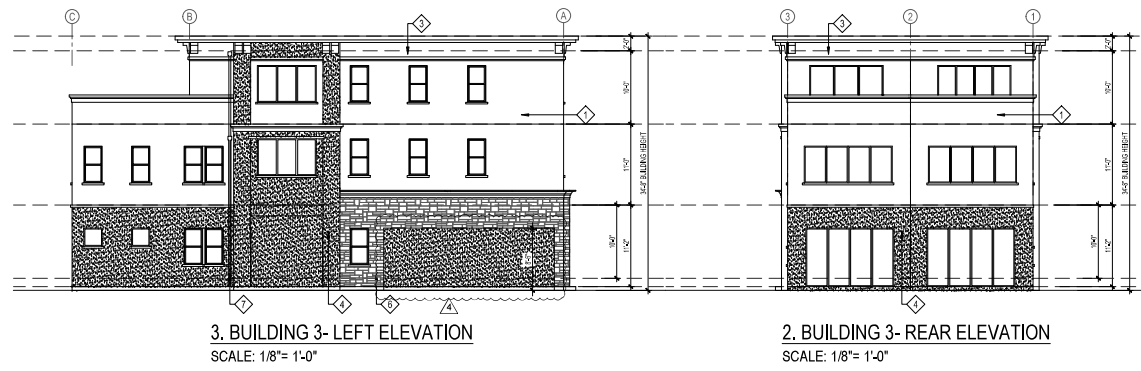


**3. BUILDING 2- RIGHT/ CIVIC CENTER ST ELEVATION**  
SCALE: 1/8"= 1'-0"

**1. BUILDING 2- FRONT ELEVATION**  
SCALE: 1/8"= 1'-0"

- ELEVATION KEYNOTES:**  
SEE COLOR BOARD A4.4 FOR COLOR CODE
1. PAINTED STUCCO FINISH
  2. STUCCO OVER FOAM WINDOW TRIM
  3. STUCCO OVER FOAM CORNICE/ TRIM
  4. ACCENT STUCCO FINISH
  5. MANUFACTURER'S FINISHED GARAGE DOOR
  6. STONE VENEER
  7. SLOPPER AND DOWNSPOUT PAINTED TO MATCH WALL COLORS
  8. 42" HIGH PAINTED WOOD GUARDRAIL





**ELEVATION KEYNOTES:**

- SEE COLOR BOARD A4.4 FOR COLOR CODE
1. PAINTED STUCCO FINISH
  2. STUCCO OVER FOAM WINDOW TRIM
  3. STUCCO OVER FOAM CORNICE/ TRIM
  4. ACCENT STUCCO FINISH
  5. MANUFACTURER'S FINISHED GARAGE DOOR
  6. STONE VENEER
  7. SQUIPPER AND DOWNSPOUT PAINTED TO MATCH WALL COLORS
  8. 42" HIGH PAINTED WOOD GUARDRAIL



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73 N KEERLE AVE  
SAN JOSE, CA 95126

Project:  
**CIVIC CENTER TOWNHOUSES**  
APN# 225-258-009, 010, 023  
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SANTA CLARA, CA



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Checked By: KBA

Sheet Title:  
**Building 3  
Exterior Elevations**

Sheet No.:

**A4.3**



VIEW FROM WEST/ CIVIC CENTER DRIVE



VIEW FROM SOUTH



VIEW FROM NORTH/ ALVISO STREET

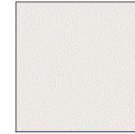


ELEMENTS OF RHYTHM



VIEW FROM EAST

**COLOR BOARD**



1. Stucco Wall/Trim/ Cornice  
Sherwin-Williams  
Snowbound SW 7004  
Sand finish



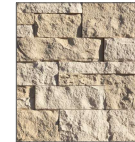
2. Stucco Window Trim/ Wood Railing  
Window manufactured color to match  
Sherwin-Williams  
SW 2927 Weatherwax  
Sand finish



3. Accent Stucco Wall  
Sherwin-Williams  
Hammered Silver SW 2840  
Sand finish



4. Garage Door:  
Overhead door- Thermacore  
Mission Oak  
Obscure Glass



5. Wall Accent Stone  
Eldorado Stone  
Cut Coarse- Seashell

**Anderson  
Architects**

kanderson@andarchinc.com Kurt B. Anderson, AIA  
Cell: 408.202.4262 Principal  
120 W. Campbell Ave., Suite C Tel: 408.371.1109  
Campbell, CA 95008 Fax: 408.371.1276

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Sheet Title:

**3D Views, Colors,  
& Materials  
Design Elements**

Sheet No.:

**A4.4**

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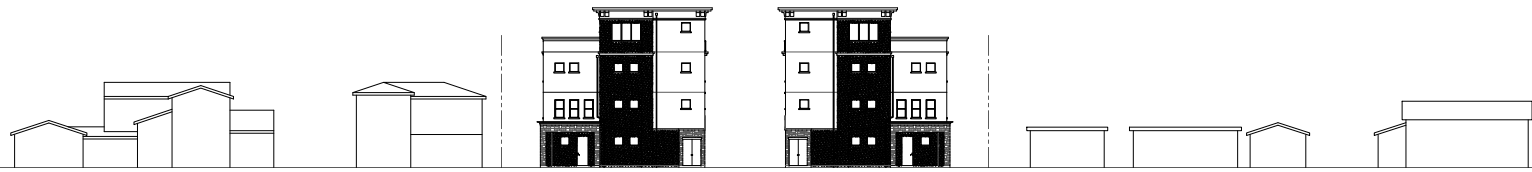
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*Street Elevations*

Sheet No.:

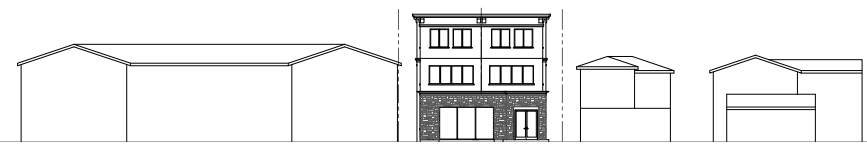
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820 840 PL 860 CIVIC CENTER DR PL 856 864 1566

CIVIC CENTER DRIVE ELEVATION



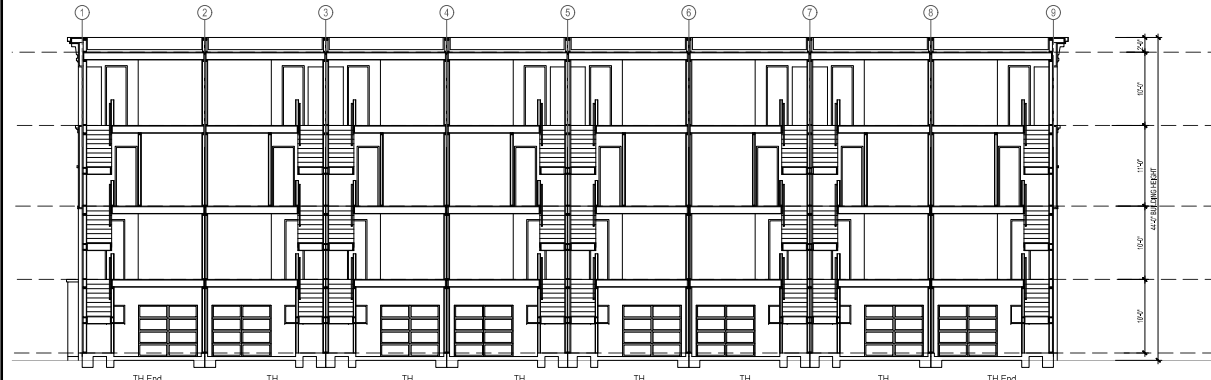
856 PL 1526 ALVISO ST PL 1530 820

ALVISO STREET ELEVATION

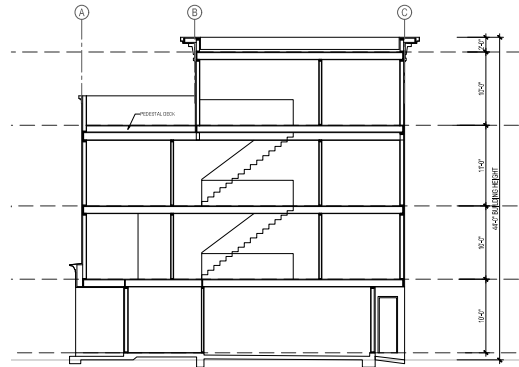




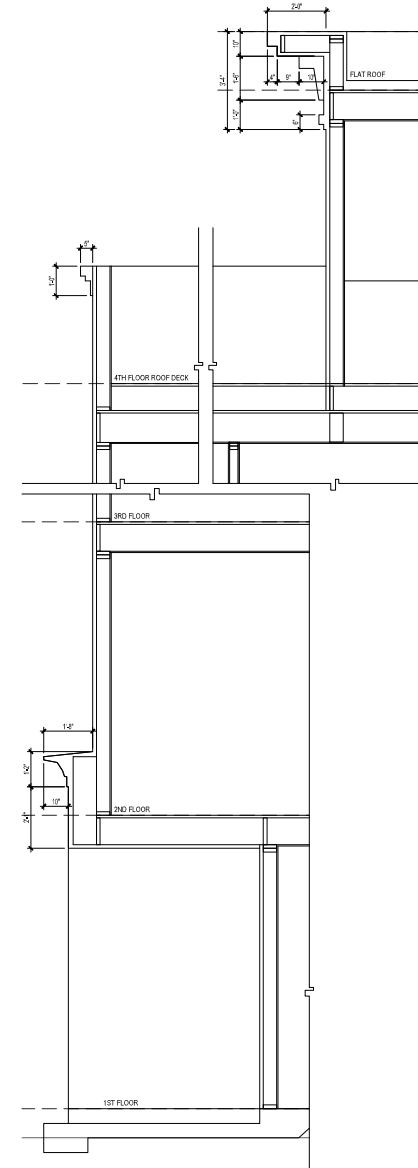
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SECTION B-B  
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SECTION C-C  
SCALE: 1/8" = 1'-0"



WALL SECTION  
THROUGH TYP. PORCH  
SCALE: 1/2" = 1'-0"

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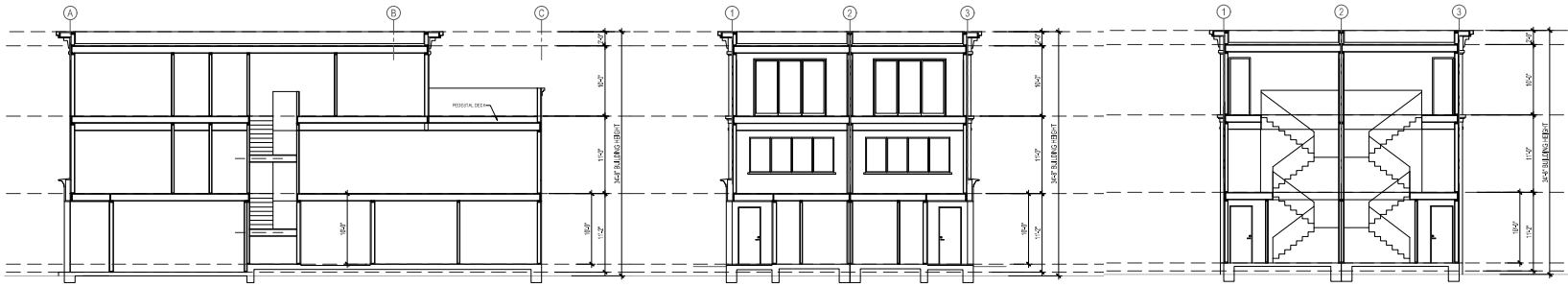
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Issued Date: 08/22/25  
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Sheet Title:  
**Building 1 Sections**

Sheet No.:

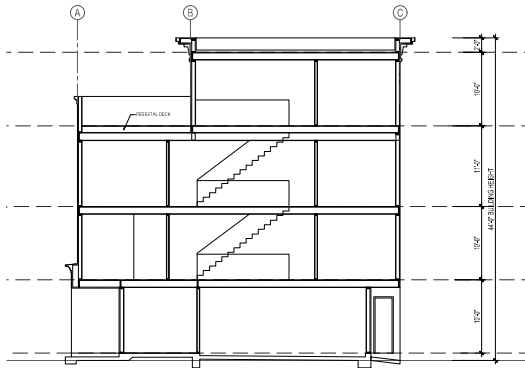
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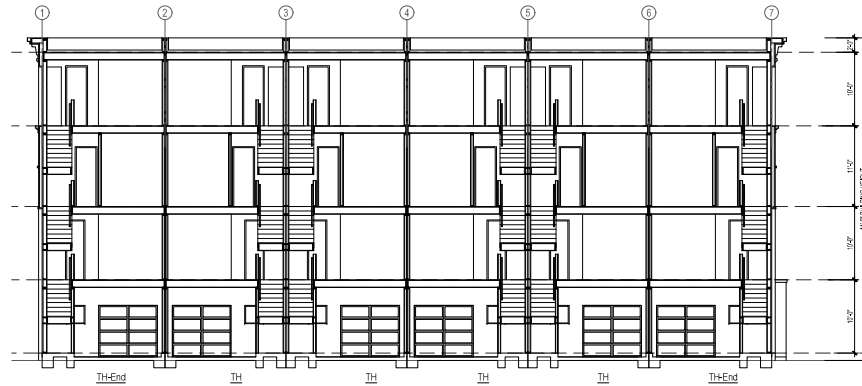
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**SECTION D-D**  
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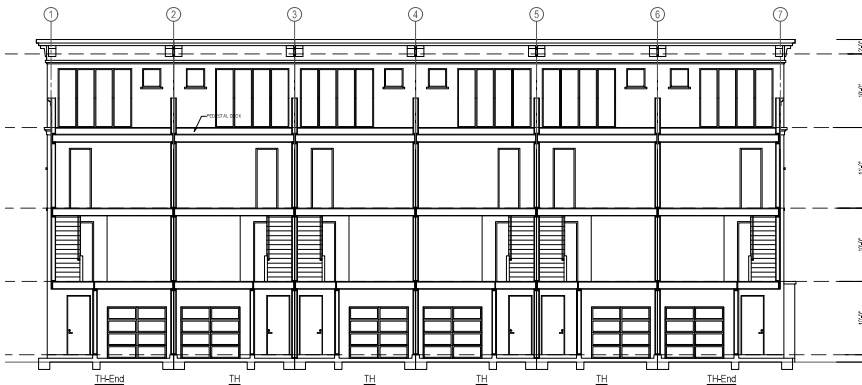
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**SECTION C-C**  
SCALE: 1/8"= 1'-0"



**SECTION B-B**  
SCALE: 1/8"= 1'-0"



**SECTION A-A**  
SCALE: 1/8"= 1'-0"

**Anderson**  
Architects

kanderson@andersonarch.com  
Cell: 408.202.4242

120 W. Campbell Ave., Suite C  
Campbell, CA 95008

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Principal  
Tel: 408.271.1109  
Fax: 408.271.1276

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Client:  
**SPENO ENTERPRISES**  
73 N. KEeble AVE  
SAN JOSE, CA 95126

Project:  
**CIVIC CENTER TOWNHOUSES**  
APN# 224-254-009, 010,023  
868, 858 CIVIC CENTER DR. & 1526 ALVISO ST  
SANTA CLARA, CA



Issued For

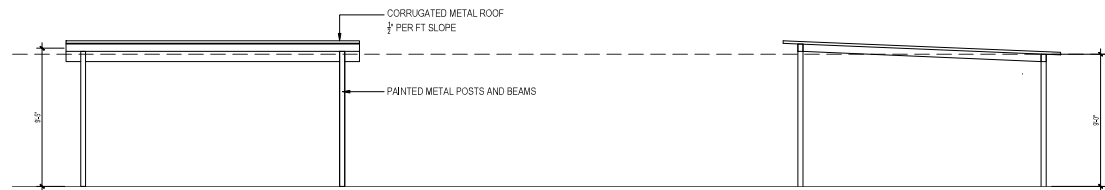
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1	ARCHITECTURAL REVIEW REV 1	01/31/25
2	ARCHITECTURAL REVIEW REV 2	08/22/25
3	ARCHITECTURAL REVIEW REV 3	10/24/25
4	ARCHITECTURAL REVIEW REV 4	12/08/25
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Issued Date: 08/22/25  
Scale: AS NOTED  
Drawn By: ANN  
Checked By: KBA

Sheet Title:  
**Building 2 & 3 Sections**

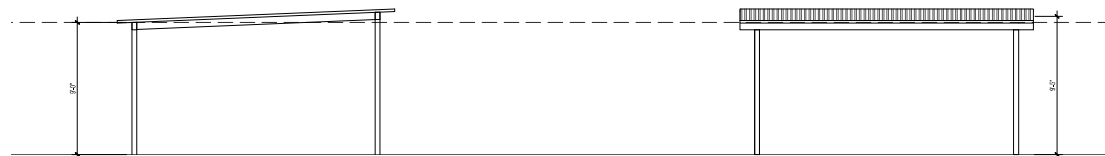
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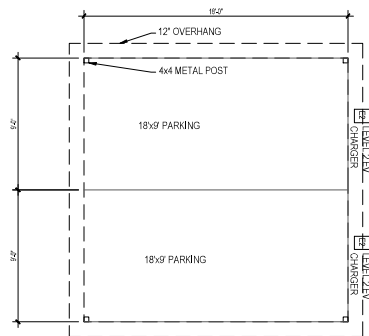
WEST ELEVATION

SOUTH ELEVATION

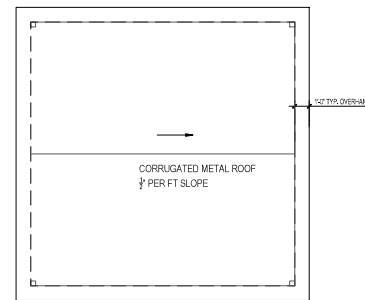


NORTH ELEVATION

EAST ELEVATION



FLOOR PLAN



ROOF PLAN

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Client:

SPENO ENTERPRISES

73 N KEEBLE AVE  
SAN JOSE, CA 95126

Project:

CIVIC CENTER  
TOWNHOUSES

APN# 224-254-009.010.023  
868, 858 CIVIC CENTER DR. & 1526 ALVISO ST  
SANTA CLARA, CA

Stamp:



Issued For

No.	Description	Date
0	ARCHITECTURAL REVIEW	10/04/24
1	ARCHITECTURAL REVIEW REV 1	01/31/25
2	ARCHITECTURAL REVIEW REV 2	08/22/25
3	ARCHITECTURAL REVIEW REV 3	10/24/25
4	ARCHITECTURAL REVIEW REV 4	12/08/25
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Issued Date: 08/22/25

Scale: 1/4"=1'-0"

Drawn By: ANN

Checked By: KBA

Sheet Title:

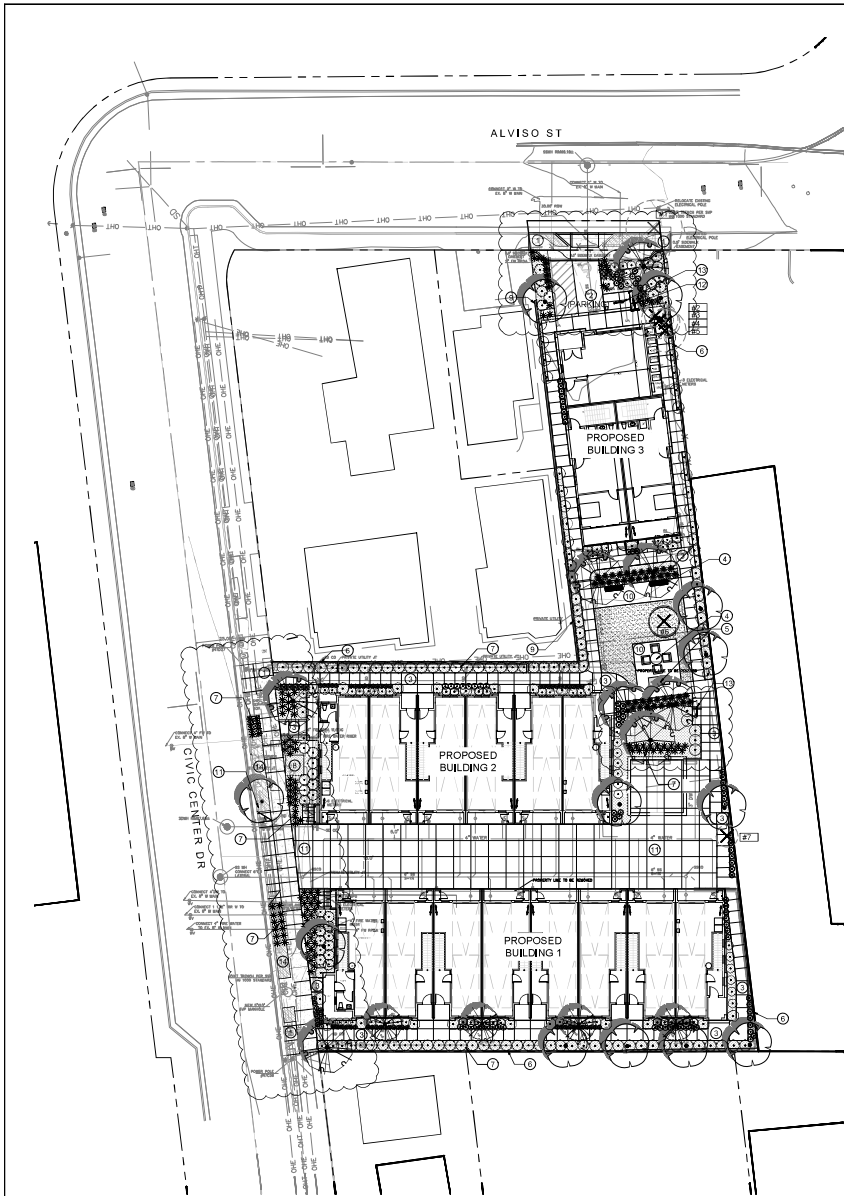
Carport Floor Plans  
& Elevations

Sheet No.:

A7.0

File: P:\Projects\Civic Center Townhouses\Job: Civic Center TH





**KEY NOTES**

- ① PROPOSED SIDEWALK CITY STD.
- ② DRIVEWAY—PERMEABLE PAVERS (SEE CIVIL ENGINEERING DRAWINGS)
- ③ CONCRETE WALK/PAVING
- ④ SITE FURNITURE
- ⑤ BBQ
- ⑥ PROPOSED MASONRY WALL AT PROPERTY LINE, 6 FT HIGH
- ⑦ STORMWATER TREATMENT AREA SEE CIVIL ENGINEER'S STORMWATER TREATMENT PLAN
- ⑧ TRANSFORMER
- ⑨ EXISTING MASONRY WALL AT PROPERTY LINE
- ⑩ PERMEABLE PAVERS—PEDESTRIAN
- ⑪ CONCRETE DRIVEWAY

- ⑫ BIKE LOCKER (1 BIKE CAPACITY)  
MFR: DERO  
MODEL: D1, PADLOCK  
COLOR: RAL 6005, HUNTER GREEN
- ⑬ BIKE RACK (2 BIKE CAPACITY)  
MFR: DER  
MODEL: ARC, SURFACE MOUNT  
COLOR: RAL 6005, HUNTER GREEN
- ⑭ 4 FOOT WIDE PLANTING STRIP AT BACK OF CURB

**NOTES**

1. REFER TO BOTH CIVIL ENGINEER'S UTILITY PLAN.
2. CLEARANCES FROM UTILITY LINES (SEE CIVIL PLANS)  
10' SEWERS  
5' ELECTRICITY/GAS  
5' DOMESTIC WATER/RECYCLED WATER (WITH ROOT BARRIER)  
10' DOMESTIC WATER/RECYCLED WATER (WITHOUT ROOT BARRIER)
3. ROOT BARRIERS PER CITY OF SANTA CLARA WILL BE USED WHEN THE DRIP LINE OF THE CANOPY AT MATURITY COVERS THE SIDEWALK. ROOT BARRIERS SHALL BE 16 FEET LONG OR EXTEND TO THE DRIP LINE OF THE MATURE TREE, WHATEVER IS GREATER, AND BE 1.5 FEET DEPT. AND CENTERED ON TREES. ROOT BARRIERS FOR CURB AND GUTTER PROTECTION SHALL BE 16 FEET LONG OR EXTEND TO DRIP LINE OF THE MATURE TREE, WHICHEVER IS GREATER, AND BE 2 FEET DEEP, AND CENTERED ON TREES.
4. TREE SETBACKS AND ROOT BARRIERS PER SILICON VALLEY POWER, "TREE PLANTING REQUIREMENTS NEAR UNDERGROUND ELECTRIC FACILITIES", SD-1235.

**CIVIC CENTER TOWNHOUSES**

Civic Center Dr.  
Santa Clara, CA  
95050

**Taniguchi Landscape Architecture**  
1013 South Claremont St., Ste 1  
San Mateo, CA 94402  
v 650.638.9985 | f 650.638.9986  
CLA #2942

**EXISTING TREE SUMMARY**

Number	Tree species   Common Name	Trunk Diameter (DBH)
1	Acacia melanoxylon   Blackwood Acacia	24.0
2	Ailanthus altissima   Tree of Heaven	10
3	Ailanthus altissima   Tree of Heaven	16
4	Ailanthus altissima   Tree of Heaven	12
5	Ailanthus altissima   Tree of Heaven	18
6	Schinus molle   California Pepper	24
7	Ailanthus altissima   Tree of Heaven	12

**EXISTING TREES TO BE REMOVED**

Number	Tree species   Common Name	Trunk Diameter (DBH)	Disposition
1	Acacia melanoxylon   Blackwood Acacia	24.0	Remove
2	Ailanthus altissima   Tree of Heaven	10	Remove
3	Ailanthus altissima   Tree of Heaven	16	Remove
4	Ailanthus altissima   Tree of Heaven	12	Remove
5	Ailanthus altissima   Tree of Heaven	18	Remove
6	Schinus molle   California Pepper	24	Remove
7	Ailanthus altissima   Tree of Heaven	12	Remove
<b>Total trees removed = 7</b>			

**PROPOSED REPLACEMENT TREES**

Tree species   Common Name	Container Size	Quantity
Cercis occidentalis   Western Redbud	24" Box	4
Lagerstroemia s. x fauriei 'Tuscarora'   Tuscarora Grape Myrtle	24" Box	8
Laurus x 'Saratoga'   Saratoga Hybrid Laurel	24" Box	12
<b>Total trees proposed</b>		<b>24</b>



EXISTING WALL ON ALVISO FRONTAGE. EXAMPLE OF PROPOSED 6 FT HIGH MASONRY WALL, COATED WITH STUCCO

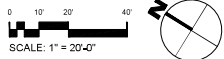
**PROJECT MASONRY WALL**

**PLANT SCHEDULE**

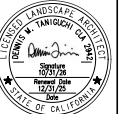
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	REMARKS
<b>TREES</b>							
	CER OCC	Cercis occidentalis / Western Redbud	24"	Box	VL	4	CA Native
	LAG INF	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Grape Myrtle	24"	Box	L	8	
	LAU XSA	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24"	Box	L	12	Stormwater species-SCVWD list
<b>SHRUBS</b>							
	ACH MIL	Achillea millefolium / Common Yarrow	1 gal.	Pot	L	26	
	ANI BRD	Angozanthos x 'Big Red' / Big Red Kangaroo Paw	5 gal.	Can.	L	46	
	ANI YEL	Angozanthos x 'Yellow Gem' / Yellow Gem Kangaroo Paw	5 gal.	Can.	L	11	
	ARB ELF	Arbutus unedo 'Elfin King' / Elfin King Strawberry Tree	5 gal.	Can.	L	30	
	CHO ELE	Chondropetalum elaphanthrum / Large Cape Rush	5 gal.	Can.	L	78	Stormwater species-SCVWD list
	DE EIC	Dianthus bicolor / Fortnight Lily	1 gal.	Field Grown	L	63	
	ERI MOE	Erigeron karwinskianus 'Moenheimii' / Pink Santa Barbara Daisy	1 gal.	Can.	L	53	CA Native/Stormwater Species
	IRI COA	Iris douglasiana 'Pacific Coast Hybrids' / PCH Iris	1 gal.	Can.	L	12	CA Native/Stormwater species-SCVWD list
	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Can.	L	115	CA Native/Stormwater species-SCVWD list
	NAN GUL	Nandina domestica 'Gulf Stream' / Gulf Stream Heavenly Bamboo	5 gal.	Can.	L	16	Stormwater species-SCVWD list
	PRU COM	Prunus caroliniana 'Compacta' / Compact Carolina Laurel Cherry	5 gal.	Can.	L	26	
	RHA MOU	Rhamnus californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	5 gal.	Can.	L	52	CA Native/Stormwater species-SCVWD list
	RHA SPT	Rhaphelepis indica 'Springtime' / Springtime Indian Hawthorn	5 gal.	Can.	L	47	
<b>GROUND COVERS</b>							
	LAN PUR	Lantana montevidensis / Purple Trailing Lantana	1 gal.	Can.	L	30' o.c.	41
<b>SOD/SEED</b>							
	TUR SOD	Turf Sod / Drought Tolerant Fescue Blend	sod	M	M	608 sf	

**LEGEND**

- EXISTING TREES TO BE REMOVED
- TREE NUMBER IN TABLE BELOW



SCALE: 1" = 20'-0"



NAME	DESIGN BY	DATE
138725		09/20/24
138725		09/20/24
138725		09/20/24
138725		09/20/24

SCALE: 1" = 20'-0"  
PROJECT NUMBER: T248-2024

**SCHEMATIC LANDSCAPE PLAN**

SHEET NO. **L-1**



DATE	09/20/24
DESIGNED BY	09/20/24
CHECKED BY	09/20/24
DATE	09/20/24
DESIGNED BY	09/20/24
CHECKED BY	09/20/24
DATE	09/20/24
DESIGNED BY	09/20/24
CHECKED BY	09/20/24

SCALE: 1" = 20'-0"

PROJECT NUMBER: TLAH-2408-001

SHEET TITLE

IRRIGATION HYDROZONE PLAN

SHEET NO.

CONCEPTUAL IRRIGATION STATEMENT

- Irrigation design shall be zoned for 1) turf and annuals and other moderate to higher water use plant materials, 2) groundcovers, and 3) native and water conserving plant materials.
- Irrigation design shall also be zoned for micro climates including cool, shaded and protected areas, as well as hot, sunny and windy areas.
- Partial shade areas include moderate water use areas having morning and/or afternoon shade.
- Cool and full shady areas include low water use areas for plants requiring little or no irrigation water and/or locations that will provide moist conditions.
- Layout shall be designed for minimum runoff and overspray onto non-landscaped areas.
- Low volume sprinklers shall be used wherever possible with head to head coverage.
- Drip emitter or bubbler irrigation shall be utilized at trees to promote deep watering wherever possible.
- Drip irrigation shall be utilized at non-crofit or isolated planting areas to decrease the possibility of vandalism to the micro-tubing.
- The irrigation controller shall have ample capacity in terms of programs and cycles that will match the complexity of the landscape plan for more efficient watering. For example, the controller shall have the ability to have multiple cycles to permit a number of short duration waterings that will allow water to soak into the soil rather than run off.
- Individual bubblers or drip emitters shall be utilized to isolate water for plant materials and eliminate watering of "bare ground."

STANDARDS FOR IRRIGATION EQUIPMENT

- Mainlines shall be 1120 pvc-schedule 40 for pipe size 1 1/2" and smaller, 1120 pvc-class 315 for pipe sizes 2" and 2 1/2", bell and ring pvc-class 160 for pipe sizes 3" and larger.
- Lateral lines shall be 1120 pvc-class 200.
- Depth of mainline: 24" of cover  
Depth of lateral line: 18" of cover  
Depth of pipe under paving: 24" of cover encased in a sleeve
- Backflow preventer shall be a type approved by and installed per local codes.
- Sprinklers shall have matched precipitation rates within each control valve circuit.
- Precipitation rates for sprinklers shall match soil absorption rate.
- Sprinklers shall have pressure compensating feature whenever possible to prevent fogging and misting and to prevent wind drift.
- Sprinkler circuit shall have a check valve installed where necessary to minimize or prevent low head drainage.
- Rain sensing override devices shall be installed with controller.

HYDROZONE LEGEND

- LOW WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS) 4,404 SF OR 88% OF IRRIGATED AREA
- MEDIUM WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS AND/OR TURF ROTORS) 616 SF OR 12% OF IRRIGATED AREA
- HIGH WATER USE (TURF ROTORS AND/OR POP-UP SPRAY HEADS) 0 SF OR 0% OF IRRIGATED AREA

Water Efficient Landscape Worksheet: 458 Civic Center (12/30/2025)

Reference (evapotranspiration (ET))	458 Civic Center			ETAF (P/E)	MAWA requirement (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
	ETWU requirement	ETWU requirement	ETWU requirement				
Hydrozone/Planting Decision	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)		landscaped Area		
<b>Regular Landscaped Areas</b>							
#1 East Perimeter	0.2	Drip	0.81	0.247	316	78.02	2,231
#2 OSS Stormwater	0.2	Drip	0.81	0.247	79	19.51	550
#3 Open Space Turf	0.5	Overhead Spray	0.75	0.667	616	410.67	11,585
#4 Parking	0.2	Drip	0.81	0.247	676	166.51	4,729
#5 South Residences	0.2	Drip	0.81	0.247	307	75.89	2,136
#6 South Perimeter	0.2	Drip	0.81	0.247	265	65.43	1,846
#7 South Stormwater	0.2	Drip	0.81	0.247	201	49.63	1,400
#8 Civic Center Frontage	0.2	Drip	0.81	0.247	846	208.89	5,873
#9 North Residences	0.2	Drip	0.81	0.247	238	58.59	1,598
#10 North Stormwater	0.2	Drip	0.81	0.247	190	46.91	1,323
#11 Open Space	0.2	Drip	0.81	0.247	198	48.89	1,379
#12 West Perimeter	0.2	Drip	0.81	0.247	244	60.25	1,720
#13 Avion Perimeter	0.2	Drip	0.81	0.247	536	129.88	3,654
#14 Civic Center Strip	0.2	Drip	0.81	0.247	328	80.99	2,285
					<b>Totals</b>	<b>5,020</b>	<b>1,498.07</b>
<b>Special Landscaped Areas (SLA)</b>							
1) Pool/Spa					0	0	0
2) Water Features					0	0	0
					0	0	0
					<b>Totals</b>	<b>0</b>	<b>0</b>
						<b>Estimated Total Water Use (ETWU)</b>	<b>42,251</b>
						<b>Maximum Allowed Water Allowance (MAWA)</b>	<b>63,726</b>

Plant Water Use Type	Plant Factor	Irrigation method	Irrigation efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed) = (ET) (0.8) ((ETAF x LA) + ((1-ETAF) x S.A.)

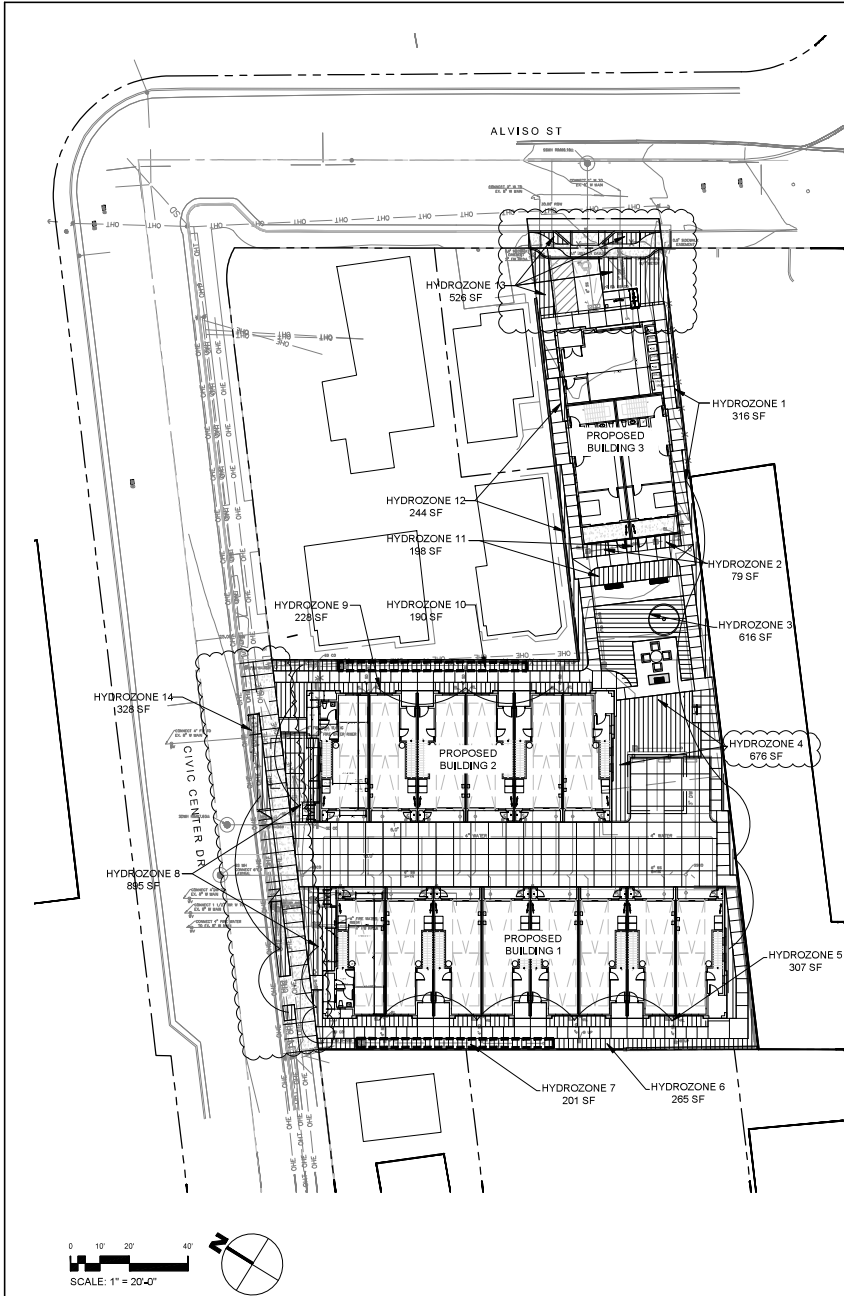
where 0.8 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year, LA is the total landscaped area in sq. ft., S.A. is the total special landscaped area in sq. ft., and ETAF is .85 for residential areas and 0.45 for non-residential areas.

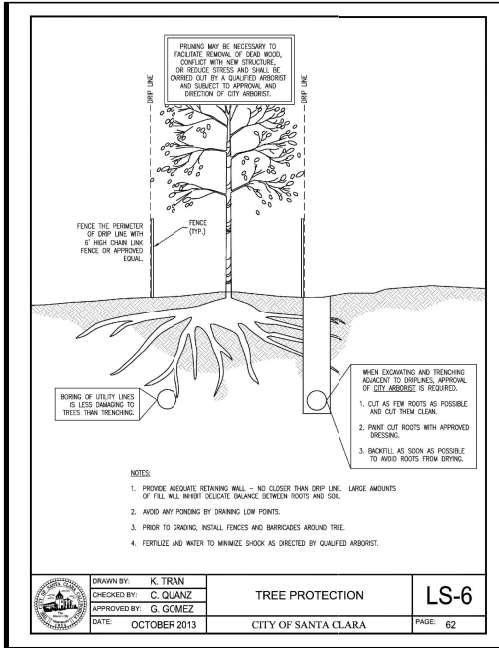
ETAF Calculations

Regular Landscaped Areas	
Total ETAF x Area	1,438
Total Area	5,020 (Average ETAF for regular landscape areas must be 0.25 or below)
Average ETAF	0.30 for residential areas, and 0.45 or below for non-residential areas.

All Landscaped Areas

Total ETAF x Area	1,438
Total Area	5,020
Average ETAF	0.30





**CITY OF SANTA CLARA  
ARBORIST NOTES**

**I. GENERAL**

- No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-615-3080).
- No cutting of any part of private trees, including roots, shall be done without direct supervision of an international society of arboriculture (ISA) certified arborist.
- When construction occurs within the drip line of existing trees, contractor shall pile the soil on the side away from the tree. When this is not possible, place soil on plywood, tarp, or 4" 5" thick bed of mulch. This is to help prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
- Refill open trenches quickly within hours of excavation when they occur within the drip line of existing trees. If this is not possible and the weather is hot, dry, or windy, contractor must keep root ends moist by covering them with wet burlap. If the temperature is 80°F or greater, the burlap must be inspected every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°F, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can dry out and die in 10-15 minutes. Larger roots can succumb in an hour or less under unfavorable weather conditions.
- When roots 2" or larger are required to be cut, shovel by hand near the roots and prune the roots with an industry-approved pruning tool. Roots that are accidentally broken should be pruned two inches from the damaged end. Crushed or torn roots are more likely to allow decay to begin. Sharply cut roots produce a flush of new roots helping the tree to recover from its injury.
- Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
- A clear system of flagging must be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such system from the city arborist or arborist employed by city.
- Materials, equipment, temporary buildings, fuels, paints and other construction items shall not be placed within the drip line of existing trees.



**CITY OF SANTA CLARA  
ARBORIST NOTES**

- Fence all trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fencing shall be placed at the drip line of existing trees or, if possible, 1.5 times the radius of the drip line out from the trunk of the tree. A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 8.5" x 11" and clearly state "warning - tree protection zone this fence shall not be removed without approval from the city arborist/project arborist". Fences shall be 6-foot tall chain link or equivalent, as approved by the city arborist or arborist employed by city. Fences shall remain until all grading and construction work is completed. In addition, wrap all trees with straw waddle up to the first main branch, and then wrap snow fencing around the waddle on all trees in the construction zone to protect them from bark damage caused by the work.
- No trenching shall be done within the drip line of existing trees without the approval of the city arborist or arborist employed by city. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside the drip line of the tree involved. Exceptions may be allowed if, in the opinion of the city arborist or arborist employed by city, the impact of trenching on the tree will be negligible.
- Any cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
- Grading shall not create drainage problems for trees by channeling water into them, or creating sunken areas.
- All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade at the base of existing trees shall not be modified. If a grade increase is necessary, dry wells shall be used.
- When trenching is allowed, the contractor must first cut roots with a vermeer root cutter prior to any trenching to avoid tugging or pulling of roots.
- Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the



**CITY OF SANTA CLARA  
ARBORIST NOTES**

contractor. The city arborist or arborist employed by city shall determine the replacement species size, quantity, and spacing.

- Place 4" 5" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
- Bore pits are not allowed within the drip line of any tree.

**II. BORING**

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 5" DBH, the installation must be made by boring. The beginning and ending distance of the bore from the face of the tree in any direction is determined by the diameter of the tree as specified by the accompanying table:

When the tree diameter at 4' feet is:	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:
0-2 inches	1 foot
3-4 inches	2 feet
6-9 inches	5 feet
10-14 inches	10 feet
15-19 inches	12 feet
over 19 inches	15 feet

Tree diameter	(minimum) depth of bore
9 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

**III. TREE PROTECTION**

- Contractor shall tag and identify existing trees which are to remain within the project limits and on the public right-of-way prior to start of work. Protect all tagged trees at all times from damage by the work. Treatment of all minor damage to tagged trees shall be performed by an ISA certified arborist or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently



**CITY OF SANTA CLARA  
ARBORIST NOTES**

disfigured or killed as a result of the work, contractor shall remove the tree, including its roots, from the site and replace each removed tree with an equal-sized tree. If such replacement is not possible, the contractor shall reimburse to the tree owner the amount listed in the table below. The city arborist or arborist employed by city shall be the sole judge of the condition of any tree. Contractor shall provide regular watering of existing landscaping within the construction area through the construction period.

- Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protection and maintenance. The payment amount shall be in accordance with the following schedule of values, using "tree caliper" method established in the most recent issue of the "guide for establishing values of trees and other plants" prepared by the council of tree and landscape architects.

7 inches	\$ 2,400
8 inches	\$ 3,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$10,000
16 inches	\$11,000
17 inches	\$12,000
18 inches and over: Add for each caliper inch	\$ 1,200

**CIVIC CENTER TOWNHOUSES**

Civic Center Dr.  
Santa Clara, CA  
95050

**Taniguchi Landscape Architecture**

1013 South Claremont St., Ste 1  
San Mateo, CA 94402  
v 650.638.9985 | f 650.638.9986  
CLA #29342



NAME: GONZALEZ DATE: 09/20/24  
DRAWN BY: GONZALEZ DATE: 09/20/24  
CHECKED BY: GONZALEZ DATE: 09/20/24  
APPROVED BY: GONZALEZ DATE: 09/20/24  
SCALE: AS SHOWN DATE: 09/20/24

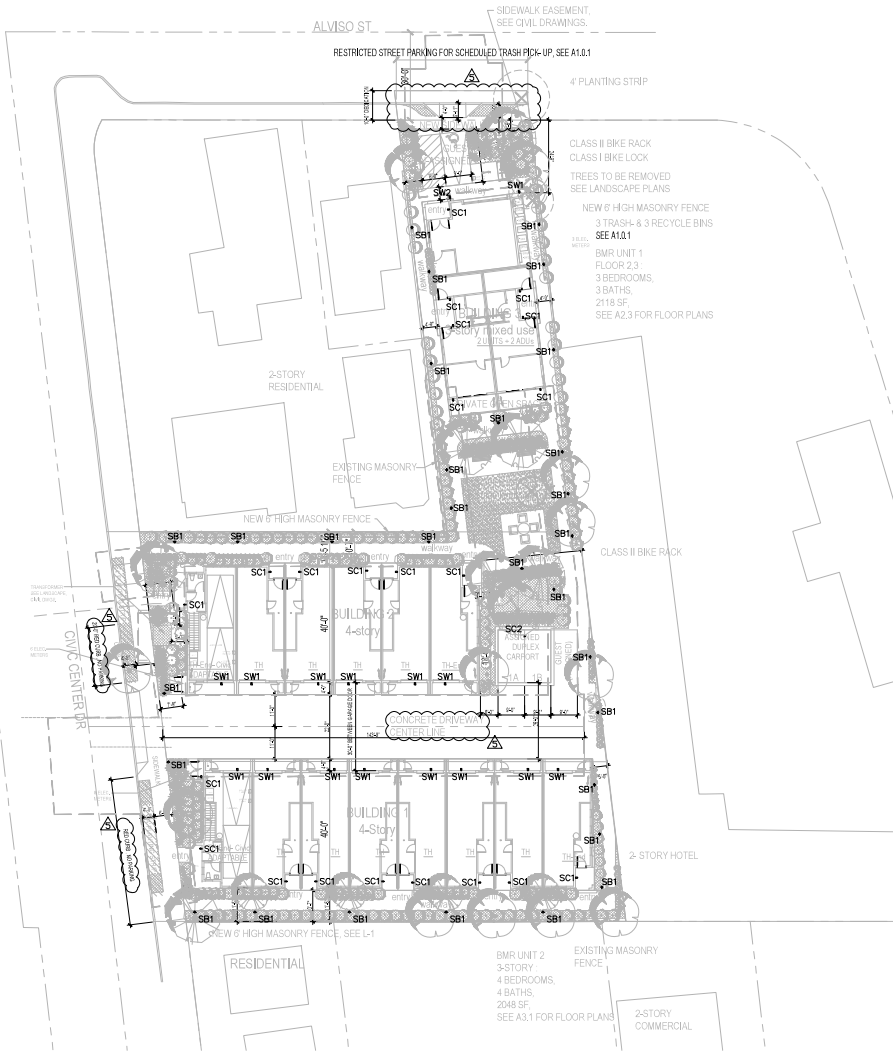
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SHEET TITLE  
**SANTA CLARA  
TREE  
PROTECTION**

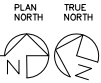
SHEET NO.  
**L-3**

SHEET INDEX	
DRAWING	DESCRIPTION
E1.10	SITE PLAN - LIGHTING
E1.20	SITE PLAN - PHOTOMETRIC
E1.30	LUMINAIRE SCHEDULE & FIXTURE DETAILS

- GENERAL NOTES**
1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
  2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL OR ASTRONOMIC TIME-LOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CEC) REQUIREMENTS 160.5(c)2. PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24" ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24" ABOVE GRADE.
  3. ALL EXTERIOR MOUNTED LUMINAIRES SHALL FOLLOW MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUGC) RATINGS FOUND IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.8.
  4. ALL EXTERIOR LIGHTING SHALL BE DIMMABLE. PROVIDE LIGHTING CONTROLS FOR HIGH END TRIM TO DIM LIGHT FIXTURES TO 80% OUTPUT AT INITIAL INSTALLATION. FUTURE MAINTENANCE SHALL INCREASE OUTPUT POWER TO MAINTAIN INITIAL LIGHT LEVEL.



SITE PLAN - LIGHTING  
SCALE: 1" = 20'



NO.	DATE	DESCRIPTION	REVISIONS
5	12/20/25	ARCHITECTURAL REVIEW REV 5	



DRAWING/AM	DESIGNED/AM	CHECKED/AS	APPROVED/MS
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PROJECT: CIVIC CENTER TOWNHOUSES  
CIVIC CENTER DR. SANTA CLARA, CA

19407 140TH AVE W. SUITE 302  
LYNWOOD, WA 98036  
PHONE: 425.884.8443

**ROBISON**  
ENGINEERING, INC

DATE: 12/30/25

SHEET TITLE:  
SITE PLAN - LIGHTING

SHEET NO.  
E1.10

PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.

Drive Aisle  
Photometric Schedule

AVERAGE FOOT-CANDLES	1.26
MAXIMUM FOOT-CANDLES	3.4
MINIMUM FOOT-CANDLES	0.2
MAXIMUM TO MINIMUM FC RATIO	20.04
AVERAGE TO MINIMUM FC RATIO	7.34

Walkway Photometric Schedule

AVERAGE FOOT-CANDLES	4.54
MAXIMUM FOOT-CANDLES	15.5
MINIMUM FOOT-CANDLES	0.4
MAXIMUM TO MINIMUM FC RATIO	42.55
AVERAGE TO MINIMUM FC RATIO	12.44

NO.	DATE	DESCRIPTION	REVISIONS
5	12/20/25	ARCHITECTURAL REVIEW REV 5	



DRAWING/CAM	DESIGNED/CAM	CHECKED/AS	APPROVED/MS
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PROJECT: CIVIC CENTER TOWNHOUSES  
CIVIC CENTER DR., SANTA CLARA, CA

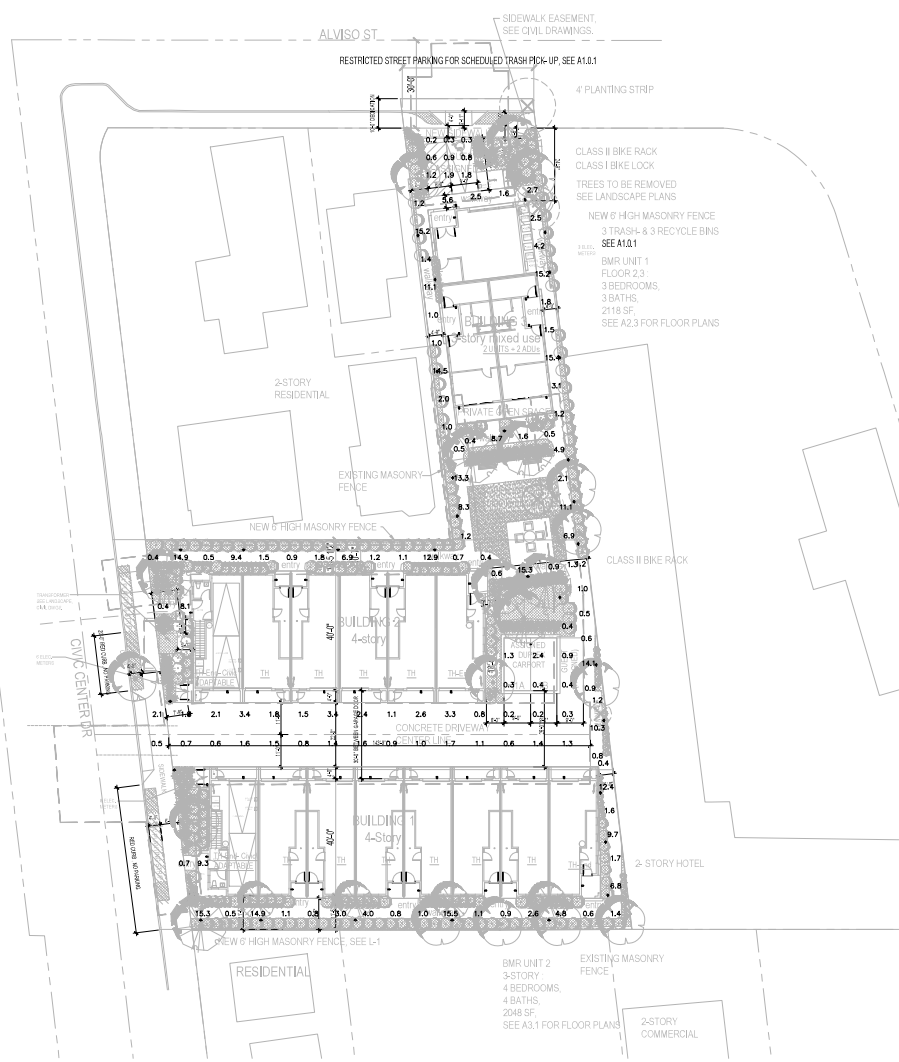
19407 40TH AVE W, SUITE 302  
LYNDEN, CA 94503  
PHONE: 925-946-8434

**ROBISON**  
ENGINEERING, INC.

DATE: 12/30/25

SHEET TITLE:  
SITE PLAN -  
PHOTOMETRIC

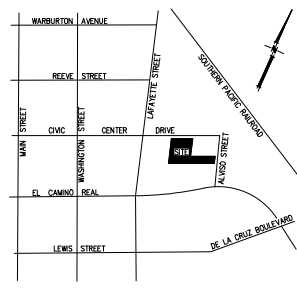
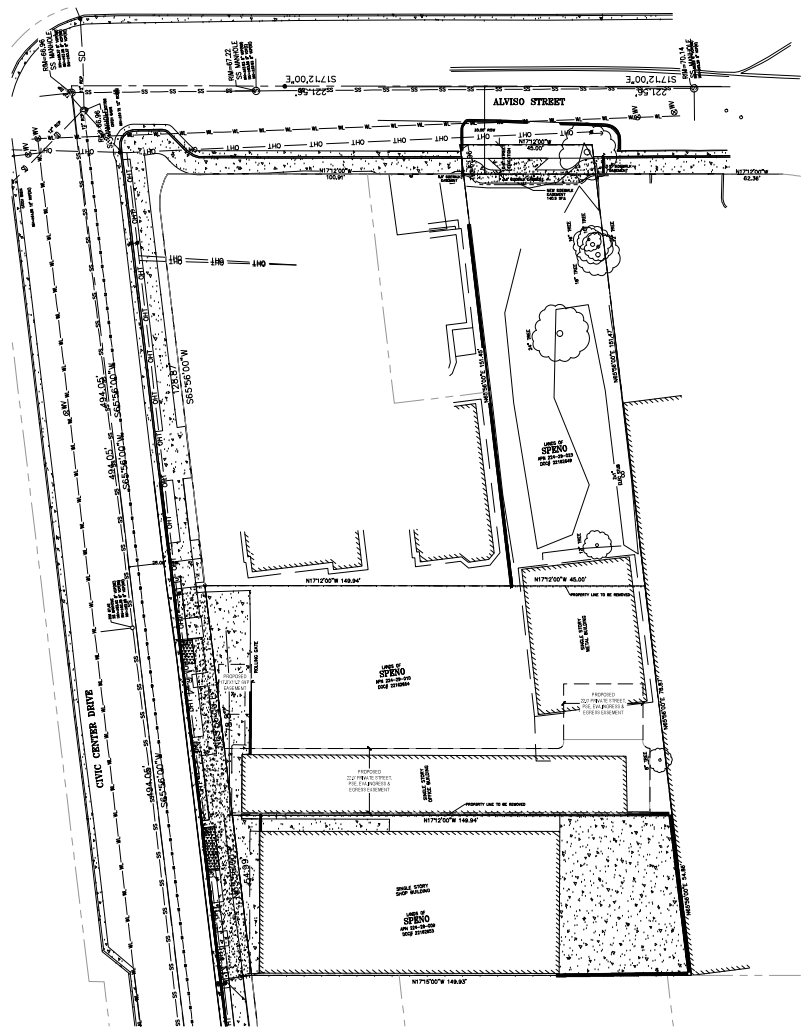
SHEET NO.  
**E1.20**



SITE PLAN - PHOTOMETRIC  
SCALE: 1" = 20'







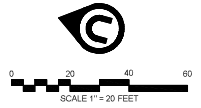
VICINITY  
MAP  
NOT TO SCALE

**GENERAL NOTES**

- (1) ALL DISTANCES WITHIN THE DRAWING ARE BASED UPON THE US SURVEY FOOT AND DECIMALS THEREOF AND ARE GROUND DISTANCES.
- (2) ABOVE GROUND EVIDENCE OF UTILITIES WAS FIELD LOCATED AND IS SHOWN ON THIS SHEET. SUBSURFACE UTILITY INFORMATION WAS NOT PROVIDED. VERIFICATION OF THIS INFORMATION SHOULD BE CONSIDERED MANDATORY IF TO BE USED FOR DESIGN PURPOSES.

—	CONCRETE SURFACE
—	CENTERLINE
—	RIGHT OF WAY
—	PARCEL LINE
—	BUILDING
—	CONCRETE CURB & GUTTER
—	FENCE
—	CONCRETE EDGE
—	OVERHEAD ELECTRICAL
—	WALL AS NOTED
—	UNDERGROUND COMMUNICATIONS
—	UNDERGROUND ELECTRIC
—	UNDERGROUND IRRIGATION
—	UNDERGROUND SANITARY SEWER
—	UNDERGROUND STORM DRAIN
—	UNDERGROUND WATER
—	UNKNOWN UNDERGROUND LINE
—	AREA DRAIN
—	CLEANOUT AS NOTED
—	COMMUNICATION PULL BOX
—	COMMUNICATION VAULT
—	DRAINAGE INLET
—	DRAINAGE MANHOLE
—	FIRE DPT CONNECTION
—	FIRE HYDRANT
—	ELECTRIC PULL BOX
—	ELECTRIC TRANSFORMER
—	ELECTRIC VAULT
—	IRRIGATION BOX
—	SEWER MANHOLE
—	SIGN AS NOTED
—	STREET LIGHT
—	UNKNOWN UTILITY BOX
—	VALVE AS NOTED
—	WATER METER
—	ASPHALT PAVEMENT ELEVATION
—	CONCRETE ELEVATION
—	CENTERLINE
—	COLUMN
—	DRINKING FOUNTAIN
—	ELEVATION AS NOTED
—	ELECTRIC UTILITY
—	ELECTRIC MOTOR
—	FIRE HYDRANT
—	FLOWLINE ELEVATION
—	GAS METER
—	GAS VALVE
—	LIGHT POLE
—	LIP OF GUTTER ELEVATION
—	PLANTER BOX
—	FIN ELEVATION
—	SANITARY SEWER
—	STORM DRAIN
—	TOP OF CURB ELEVATION
—	TRENCH DRAIN
—	TOP OF GRATE ELEVATION
—	WATER METER
—	WATER VALVE

- NOTES:**
1. BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED ON THE CIVIC CENTER DRIVE BEING NORTH 65°56'00" EAST.
  2. DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  3. ELEVATIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF, AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
  4. SYMBOLS IN THE LEGEND AND MAP BODY ARE ICONS ONLY AND DO NOT NECESSARILY SHOW THE ACTUAL SIZE OR SHAPE OF THE FEATURES THEY REPRESENT.
  5. SURVEY PERFORMED BY FULLER SURVEY AND MAPPING, JUNE 2024.



**Anderson Architects**

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Call 408.202.2462

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Principal

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Campbell, CA 95008

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Client:  
**SPENO ENTERPRISES**  
73 KEEBLE  
SAN JOSE, CA 95126

Project:  
**CIVIC CENTER TOWNHOUSES**  
APN: 224-2469-10-23  
838 CIVIC CENTER DRIVE  
1535 ALVISO STREET  
SANTA CLARA, CA



Stamp:  
Professional Engineer  
Civil  
13-31-2025

Client Revisions

No.	Description	Date
1	INCORPORATE CITY COMMENTS	1/29/25
2	INCORPORATE CITY COMMENTS	06/06/25
3	INCORPORATE CITY COMMENTS	10/24/25
4	INCORPORATE CITY COMMENTS	12/31/25
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City Revisions

No.	Description	Date
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Date: 7/6-2024  
Scale: 1"=20'  
Drawn By: DBV  
Checked By: JL  
Sheet Title:

**TOPOGRAPHIC AND BOUNDARY SURVEY**

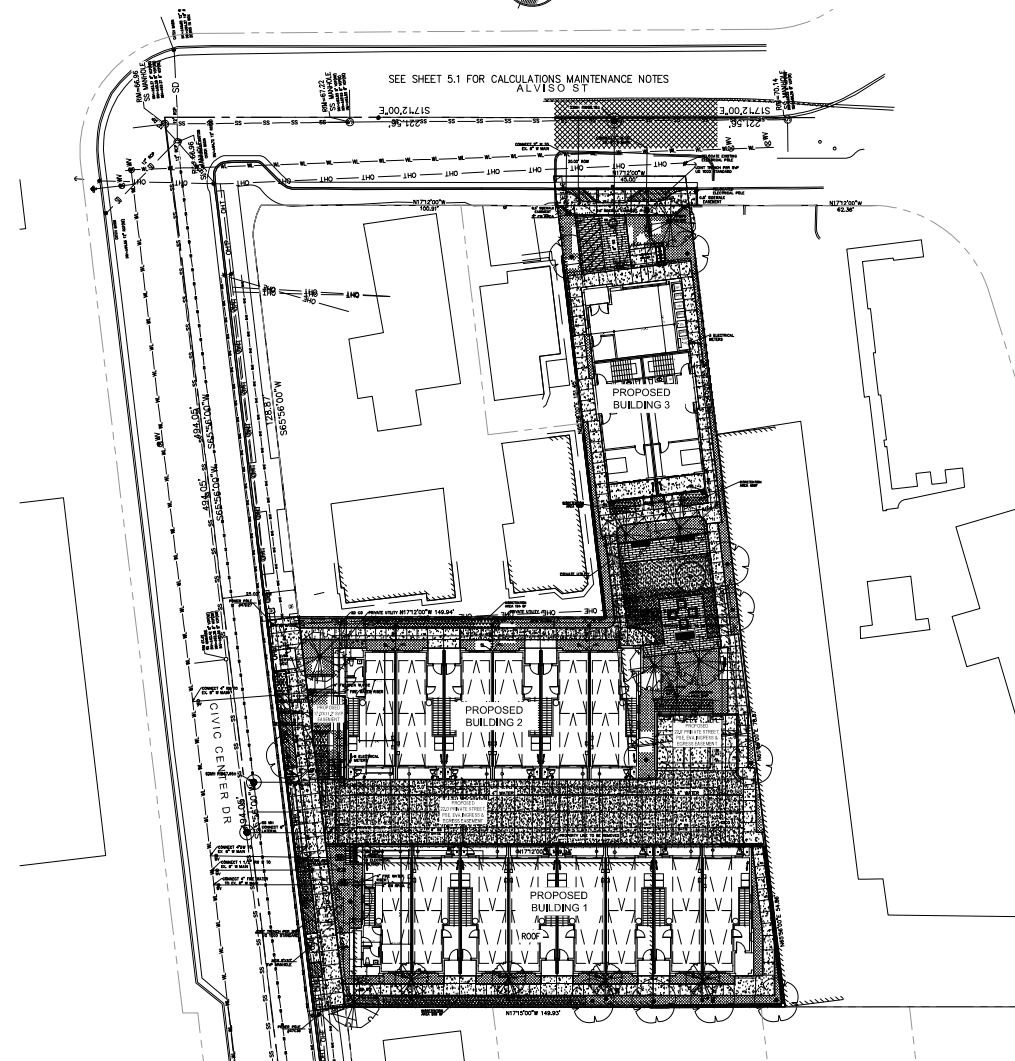
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**C-1.0**





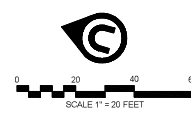
# STANDARD UTILITY NOTES

- ENCROACHMENT PERMIT-PRIOR TO ISSUANCE OF BUILDING PERMITS, THE APPLICANT SHALL SUBMIT AN ENCROACHMENT PERMIT APPLICATION AND DESIGN PLANS FOR THE CONSTRUCTION OF WATER UTILITIES THAT COMPLY WITH THE LATEST EDITION OF THE WATER AND SEWER UTILITIES RULES AND REGULATIONS, WATER SYSTEM NOTES AND STANDARD DETAILS AND SPECIFICATIONS.
- UTILITY SEPARATIONS:
  - 12" MINIMUM VERTICAL CLEARANCE OF WATER MAIN AND SERVICE CROSSINGS WITH OTHER UTILITIES.
  - ALWAYS CROSS WATER MAINS ABOVE OTHER UTILITIES
  - PROVIDE MINIMUM HORIZONTAL CLEARANCES FROM WATER SERVICES:
    - 10' FROM SANITARY SEWER
    - 10' FROM RECYCLED WATER
    - 8' FROM STORM DRAIN
    - 5' FROM FIRE AND OTHER WATER UTILITIES
    - 3' FROM ABANDONED WATER SERVICES
    - 5' FROM THE EDGE OF PROPOSED OR EXISTING DRIVEWAYS
  - FOR SANITARY SEWER, WATER, AND RECYCLED WATER UTILITIES, MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TREES. IF USING TREE ROOT BARRIERS, CLEARANCE FROM TREES REDUCE TO 5' (CLEARANCE MUST BE FROM EDGE OF TREE ROOT BARRIER TO EDGE OF WATER FACILITIES)
  - NO STRUCTURES OR TREATMENT FACILITIES (E.G.FENCING, FOUNDATIONS, BIOFILTRATION SWALES, ETC) SHALL BE PLACED OVER SANITARY SEWER, POTABLE WATER AND OR RECYCLED WATER UTILITIES AND EASEMENTS.
- SEPARATE SERVICES: ALL PROPOSED WATER, RECYCLED WATER, SANITARY SEWER SERVICES SHALL BE SEPARATELY CONNECTED TO A PUBLIC MAIN IN THE PUBLIC RIGHT-OF-WAY. DIFFERENT TYPES OF WATER AND RECYCLED WATER USE (DOMESTIC, IRRIGATION, FIRE) SHALL BE SERVED BY SEPARATE WATER SERVICES, EACH SEPARATELY TAPPED AT THE WATER MAIN. TAPPING ON EXISTING FIRE SERVICE LINE IS PROHIBITED. APPROVED BACKFLOW PREVENTION DEVICES ARE REQUIRED ON ALL POTABLE WATER SERVICES.
- CITY STANDARD METERS AND BACKFLOWS: ALL METERS AND BACKFLOWS FOR ALL WATER SERVICES (NEW AND EXISTING) SHALL BE UPGRADED TO MEET THE CURRENT CITY OF SANTA CLARA WATER AND SEWER UTILITY STANDARD DETAILS. PLANS SHALL SHOW METER AND BACKFLOW CONFIGURATIONS TO SCALE.
- ALL WATER SERVICES WILL BE A MINIMUM OF 1".
- ON-SITE STORM DRAIN TREATMENT: NO WATER, SEWER, OR RECYCLED WATER FACILITIES SHALL BE LOCATED WITHIN 5' OF ANY STORM WATER TREATMENT SYSTEM.
- LANDSCAPING: ALL THE LANDSCAPING FOR THE PROJECT SHALL COMPLY WITH THE CALIFORNIA WATER CONSERVATION IN LANDSCAPING ACT, GOVERNMENT CODE SECTION 45591 ET. SEQ. ALL PLANTS SHALL BE EITHER CALIFORNIA NATIVE OR NON-INVASIVE, LOW WATER-USING OR MODERATE WATER-USING PLANTS. HIGH WATER-USING PLANTS AND NONFUNCTIONAL TURF ARE PROHIBITED.
- UNDERGROUND FIRE PERMIT: ANY CHANGES TO THE FIRE SERVICES TO THE SITE SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO ISSUANCE OF BUILDING PERMITS INCLUDING UPGRADING THE BACKFLOW PREVENTION DEVICE ON ANY SERVICE, THE RELOCATION OF, UPSIZING, DOWNSIZING OR DISCONNECTION OF ANY FIRE SERVICE.



SEE SHEET 5.1 FOR CALCULATIONS MAINTENANCE NOTES

A CITY OF SANRA CLARA ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE CITY RIGHT-OF-WAY.



EXISTING AND PROPOSED WATER SERVICES	
858 OWC CENTER DRIVE EXISTING DOMESTIC   1"   TO BE ABANDONED	
860 OWC CENTER DRIVE EXISTING DOMESTIC   1"   TO BE ABANDONED	
OWC CENTER DRIVE PROPOSED DOMESTIC   4"   RPBP	
OWC CENTER DRIVE PROPOSED DOMESTIC   4"   RPBP	
OWC CENTER DRIVE PROPOSED FIRE   4"   RPDA	
ALVISO STREET PROPOSED FIRE   4"   RPDA	
ALVISO STREET PROPOSED FIRE   4"   RPDA	
OWC CENTER DRIVE PROPOSED IRR.   1 1/2"   RPBP	
ALVISO STREET PROPOSED SEWER   4"	
OWC CENTER DRIVE PROPOSED SEWER   6"	

**A ANDERSON ARCHITECTS**

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Client:  
**SPENO ENTERPRISES**  
73 KEEBLE  
SAN JOSE, CA 95126

Project:  
**CIVIC CENTER TOWNHOUSES**  
APN: 22402491023  
858 CIVIC CENTER DRIVE  
1526 ALVISO STREET  
SANTA CLARA, CA



Client Revisions		
No.	Description	Date
1	INCORPORATE CITY COMMENTS	1/29/25
2	INCORPORATE CITY COMMENTS	08/06/25
3	INCORPORATE CITY COMMENTS	10/24/25
4	INCORPORATE CITY COMMENTS	12/31/25
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City Revisions		
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Issue Date: 16-4-24  
Scale: 1"=20'  
Drawn By: DBV  
Checked By: JL  
Sheet Title:

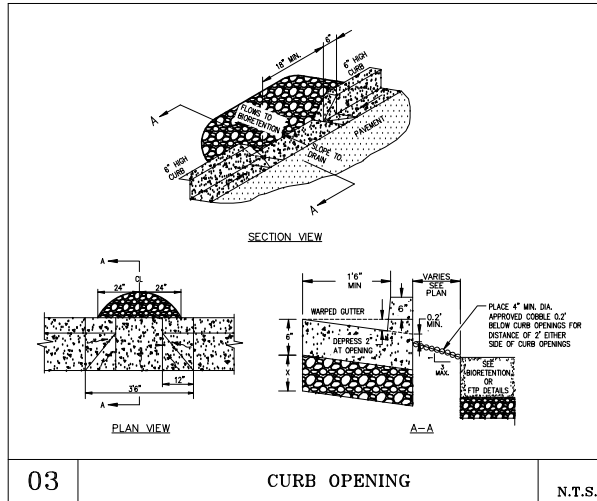
## UTILITY PLAN

Sheet No.

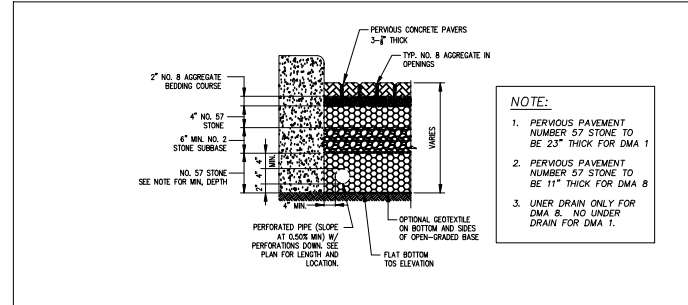
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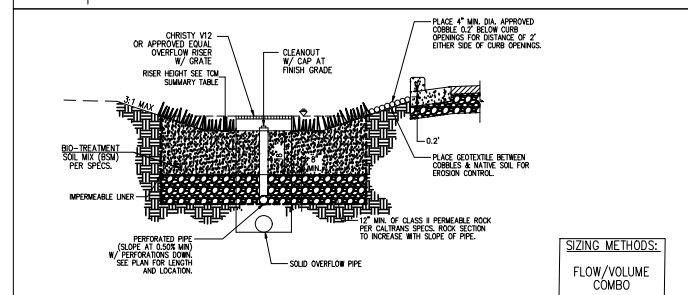




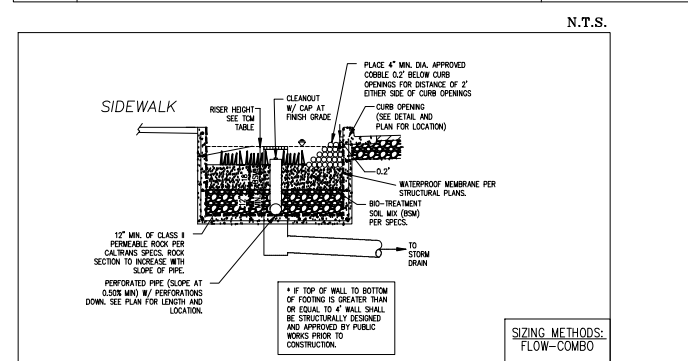
**03** CURB OPENING **N.T.S.**



**01** PERVIOUS PAVEMENT (SELF RETAINING) **N.T.S.**



**02** BIORETENTION BASIN W/ LINER **N.T.S.**



**04** FLOW-THROUGH PLANTER (BELOW GRADE) **N.T.S.**

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Client: **SPENO ENTERPRISES**  
 73 KEEBLE  
 SAN JOSE, CA 95126

Project: **CIVIC CENTER TOWNHOUSES**  
 APN: 224-07409.10.23  
 858 CIVIC CENTER DRIVE  
 1526 ALVARO STREET  
 SANTA CLARA, CA



Client Revisions

No.	Description	Date
1	INCORPORATE CITY COMMENTS	1/29/25
2	INCORPORATE CITY COMMENTS	09/06/25
3	INCORPORATE CITY COMMENTS	10/24/25
4	INCORPORATE CITY COMMENTS	12/31/25
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City Revisions

No.	Description	Date
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Name: Date: 10-4-24  
 Scale: 1"=20'  
 Drawn By: DBV  
 Checked By: JL

**STORMWATER DETAILS**

Sheet No. **C-4.2**