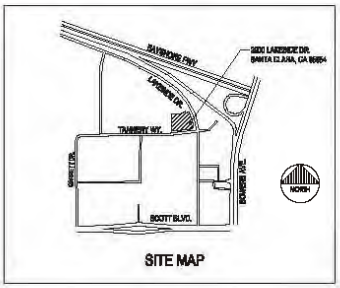
CAMBRIA HOTEL AND SUITES

SANTA CLARA, CALIFORNIA

HANNOUCHE ARCHITECTS
949.261.2070



SITE MAP

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ARCHITECTURAL

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- A1.0 ARCHITECTURAL SITE PLAN
- A1.1 1ST & 2ND FLOOR PLAN
- A1.2 3RD & 4TH FLOOR PLAN
- A1.3 5TH FLOOR PLAN
- A1.4 ROOF PLAN
- A1.6 PARKING STRUCTURE PLANS
- A1.6 ELEVATIONS
- A1.7 ELEVATIONS
- A2.1 COLORED ELEVATIONS
- A2.2 COLORED ELEVATIONS
- A2.3 COLORED ELEVATIONS
- A2.4 COLORED RENDERING
- A3.1 SITE SECTIONS

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- L2 PLANT SCHEDULE & AMENITIES
- L3 PRELIMINARY IRRIGATION PLAN
- L4 TRASH ENCLOSURE DETAIL
- L5 TREE REMOVAL AND REPLACEMENT
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- C1 COVER SHEET
- C2 GENERAL NOTES
- C3 EXISTING SITE CONDITIONS
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- C4 DEMOLITION PLAN
- C5 HORIZONTAL CONTROL PLAN
- C6A COMPOSITE UTILITY PLAN
- C6 GRADING PLAN
- C7 GRADING PLAN
- C8 GRADING PLAN
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- C10 C.3 TREATMENT PLAN
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JOINT TRENCH

- J1 COVER SHEET SHEET
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- J3 JOINT TRENCH DETAILS
- J4 JOINT TRENCH DETAILS
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ELECTRICAL

- E1.1 SITE PHOTOMETRIC PLAN
- E1.2 LIGHTING FIXTURE COUNT
- E1.3 LIGHTING FIXTURE COUNT

SITE AREA:

1.96 ACRES (85,420 SQFT)

DATA:

FAR: 1.36
LOT COVERAGE: 42.3%
LANDSCAPE AREA: 19.0%

PARKING SUMMARY:

ACCESSIBLE SPACES	=	8
ACCESSIBLE VAN	=	1
STANDARD SPACES (8 ELEC VEH)	=	37
ELECTRIC VEHICLE (17 ADDITIONAL SPACES WILL BE WIRED FOR FUTURE EV SPACES)	=	8
COMPACT SPACES	=	41
SHUTTLE	=	1
TOTAL SPACES	=	121
PARKING RATIO	=	.75

BUILDING SQ. FT.:

1ST FLOOR = 22,000 SF
2ND FLOOR = 22,000 SF
3RD FLOOR = 22,200 SF
4TH FLOOR = 22,320 SF
5TH FLOOR = 22,320 SF
TOTAL = 110,860 SF

GUEST ROOMS: 160

PROJECT TEAM:

DEVELOPER

DC LAKESIDE SANTA CLARA LLC
17 CORPORATE PLAZA, SUITE 200
NEWPORT BEACH, CA 92660
(949) 422-6521
DAVID WOOD
dwood@pacificrim.com
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CIVIL ENGINEER

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CONCORD, CA 94520
(925) 674-0202
KEN ALCOCK
kalcock@millerassoc.com

LANDSCAPE ARCHITECT

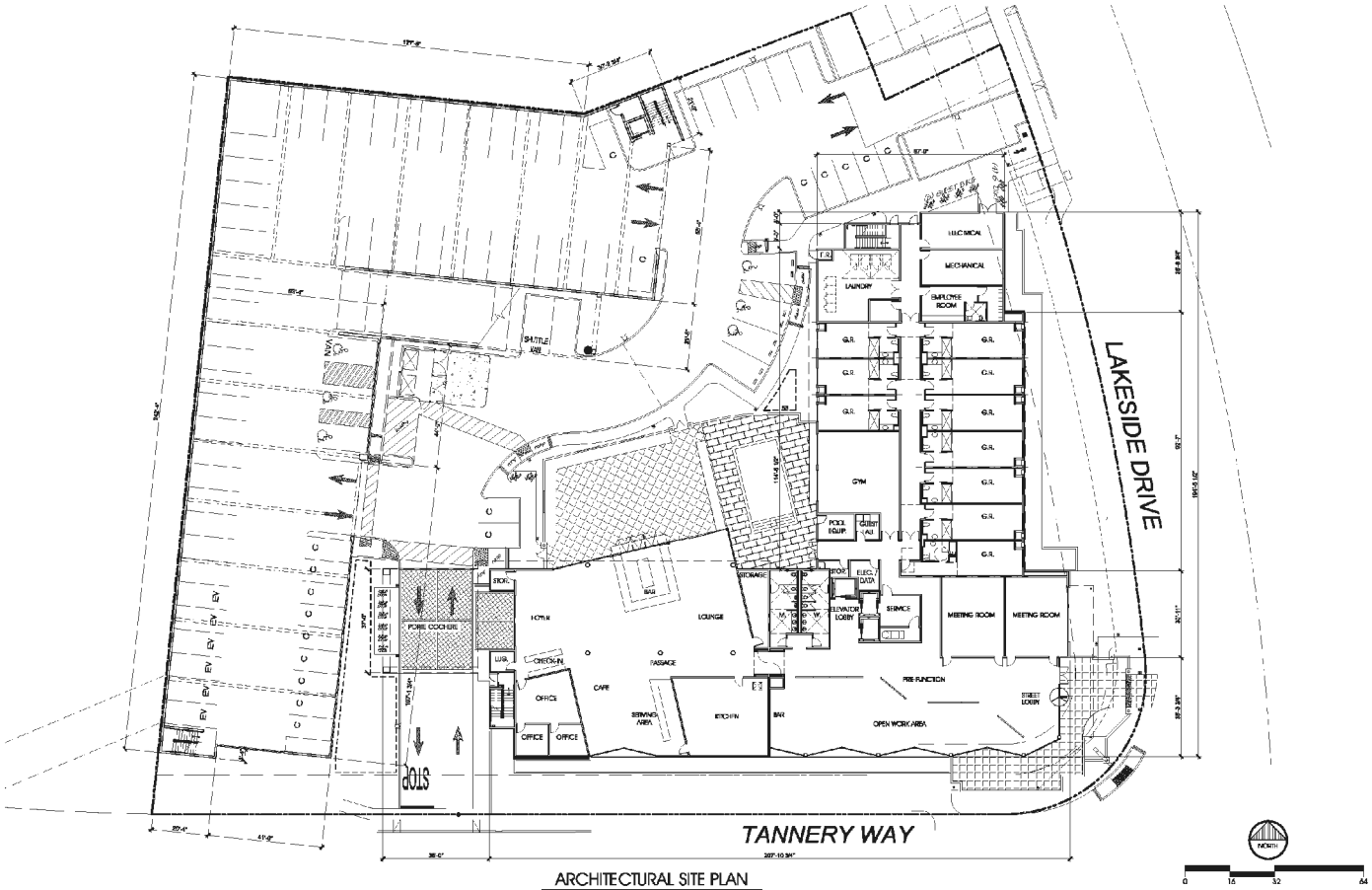
OAMI-MEANS, LTD.
LANDSCAPE ARCHITECT
943 RESERVE DRIVE, SUITE 100
ROSEVILLE, CA 95678
(916) 782-8200
SCOTT A. ROBERTSON
srobertson@oamimeans.com

LIGHTING DESIGN

DC ENGINEERING
440 EAST COMPORATE DR., STE. 160
MERIDIAN, ID 83642
(208) 884-0101

JOINT TRENCH DESIGN

TARMAN UTILITY CONSULTANTS
415 FIRST STREET
SAN LEANDRO, CA 94577
(510) 310-0300



ARCHITECTURAL SITE PLAN

CAMBRIA HOTEL SANTA CLARA

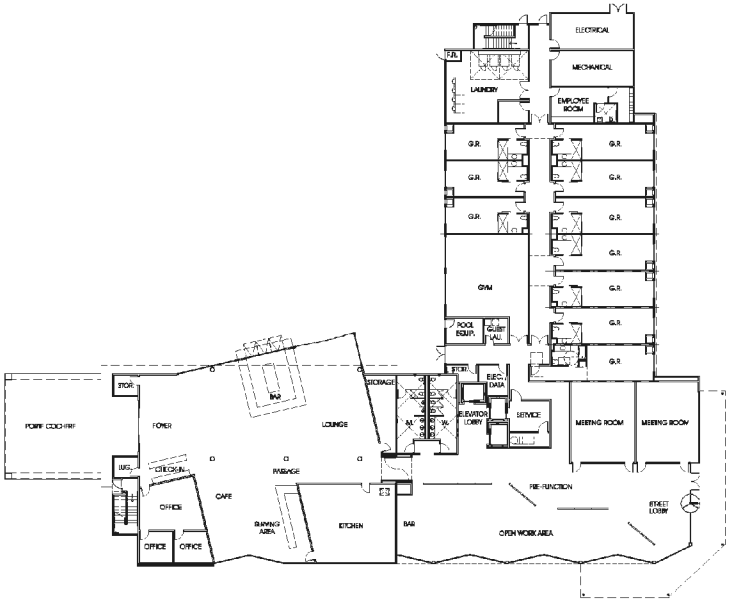
Santa Clara, CA

ARCHITECTURAL SITE PLAN

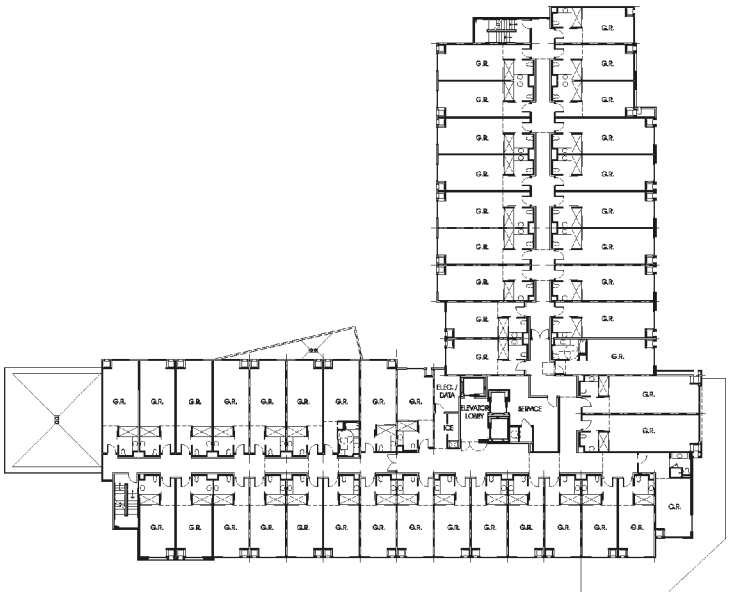
HANNOUCHE ARCHITECTS
949.261.2070
20250 SW ACACIA ST. #110 NEWPORT BEACH, CA 92660
PROJECT 2010014 01/04/17

CS LAKESIDE SANTA CLARA, LLC
17 Corporate Plaza, Suite 200
Newport Beach, CA 92660
PHONE: (949) 294-6990

A1.0



FIRST FLOOR PLAN
10 ROOMS



SECOND FLOOR PLAN
46 ROOMS

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

1ST & 2ND FLOOR PLAN

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32880 RIV. ACACIA ST. #140 NEWPORT BEACH, CA 92660
PROJECT 2012012 01/05/15

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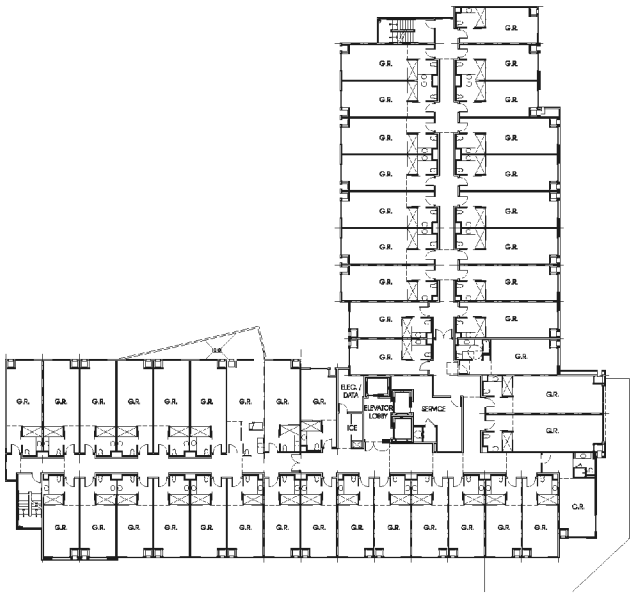
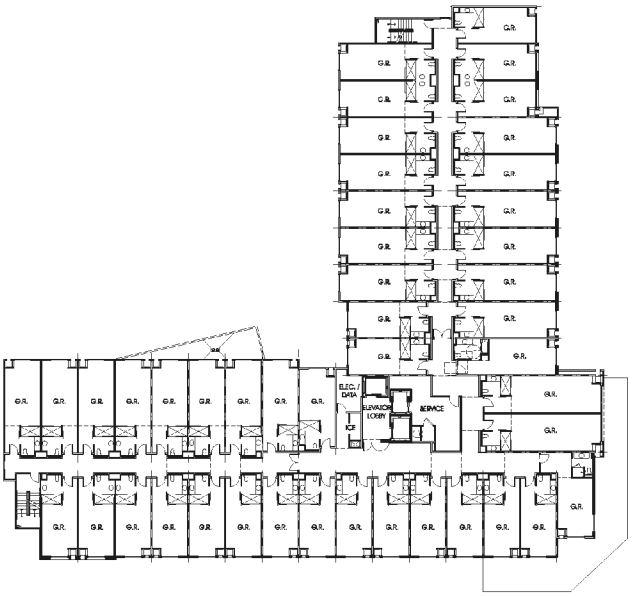
A1.1



THIRD FLOOR PLAN
45 ROOMS



FOURTH FLOOR PLAN
45 ROOMS

SCALE 1/16" = 1' - 0"

HANNOUCHE
ARCHITECTS
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32882 RY ALVORA ST. #140 NEWPORT BEACH, CA 92660
PROJECT 2012012 01/05/15

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3RD & 4TH FLOOR PLAN

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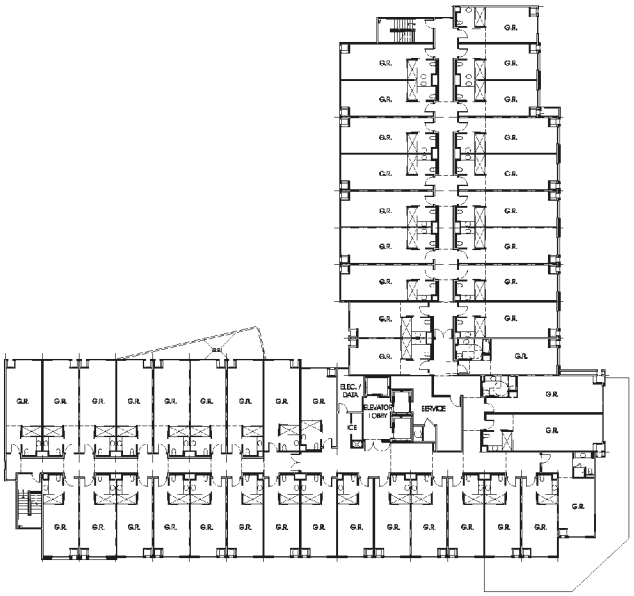
A1.2



FIFTH FLOOR PLAN
45 ROOMS

SCALE 1/16" = 1' - 0"

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

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5TH FLOOR PLAN

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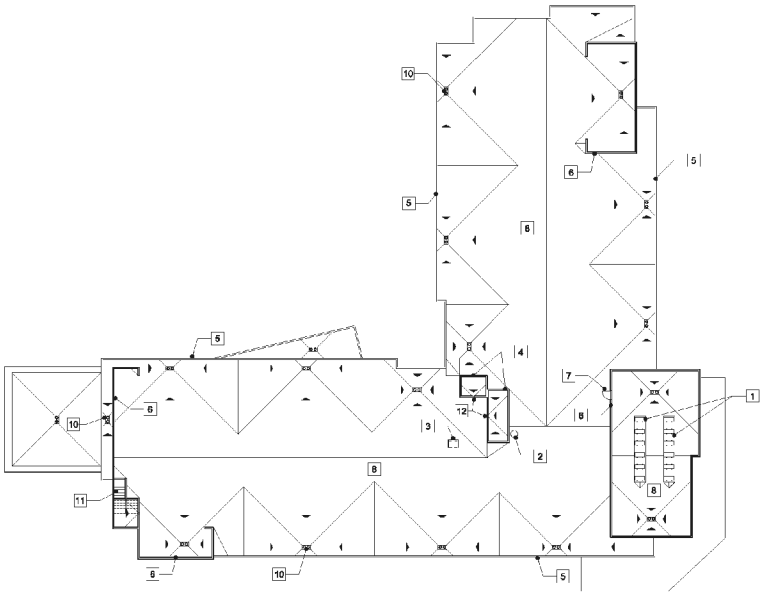
A1.3



ROOF PLAN

ROOF PLAN NOTES

1. MECHANICAL HEAT PUMP, TYP.
2. LINEN CHUTE EXTENSION (3'-0" ABOVE ROOF)
3. KITCHEN EXHAUST VENT
4. PARAPET AT ELEVATOR ROOF (TO MATCH HIGH PARAPET WALL)
5. LOW PARAPET WALL AT EDGE OF BLDG.
6. HIGH PARAPET WALL
7. 3'-0" WIDE GATE
8. SINGLE-PLY ROOFING (MIN. 1/4"/FT. SLOPE)
9. N.A.
10. ROOF DRAIN, TYP.
11. STAIR TO ROOF
12. SCUPPER AT ELEVATOR ROOF

NORTH

0 16 32 64

SCALE 1/16" = 1' - 0"

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

ROOF PLAN

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PROJECT 2012012 01/03/13

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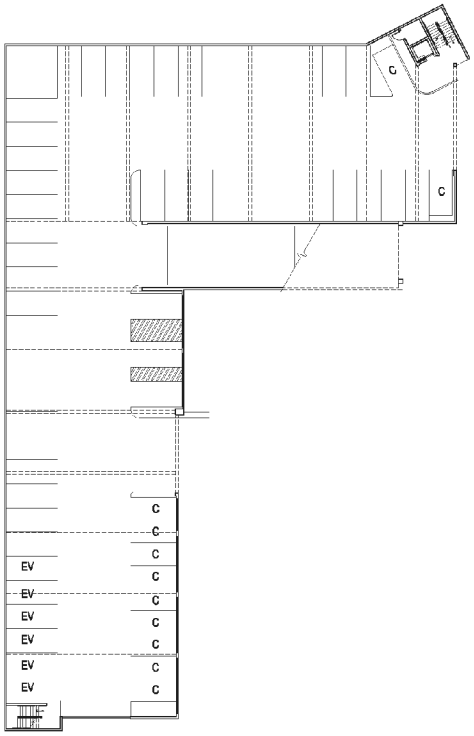
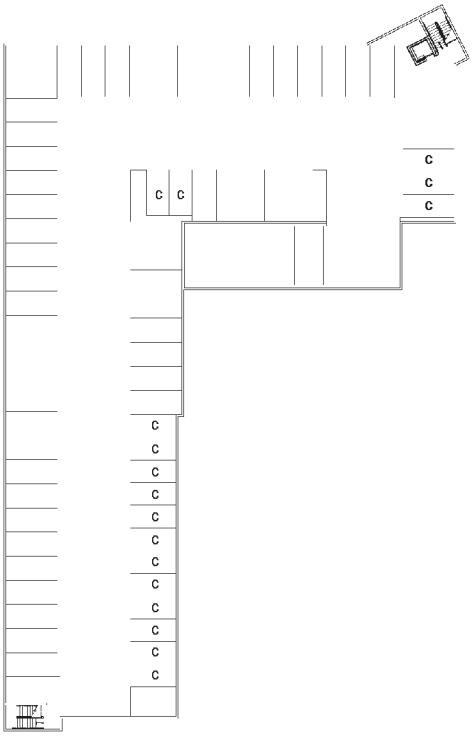
A1.4



FIRST LEVEL PLAN

Accessible: 2 spaces	Standard (6 EV): 50 spaces
Accessible Van: 1 space	Compact: 11 spaces
	Total Parking: 64 spaces



SECOND LEVEL PLAN

Standard: 54 spaces
Compact: 17 spaces

Total Parking: 71 spaces

SCALE 1/16" = 1' - 0"

CAMBRIA HOTEL SANTA CLARA

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PARKING STRUCTURE PLANS

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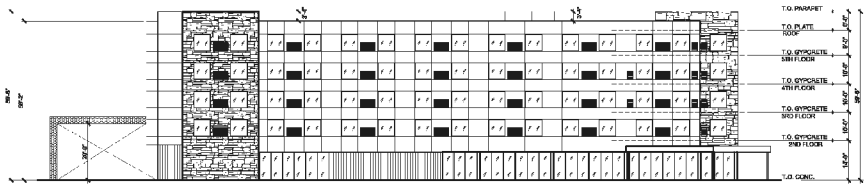
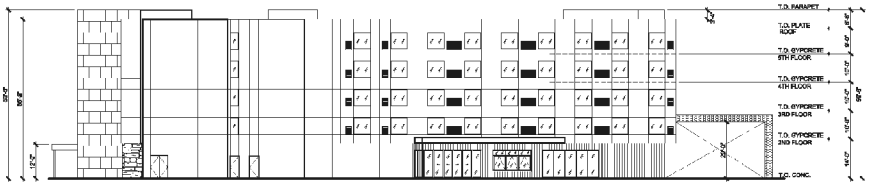
A1.5



SOUTH ELEVATION



NORTH ELEVATION

0 16 32 64

SCALE 1/16" = 1' - 0"

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

ELEVATIONS

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30200 SW ALICIA ST. #140 RANCHO SANTA MARGARITA, CA 92688
PROJECT 2010-02 D 01/20/10

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Newport Beach, CA 92660
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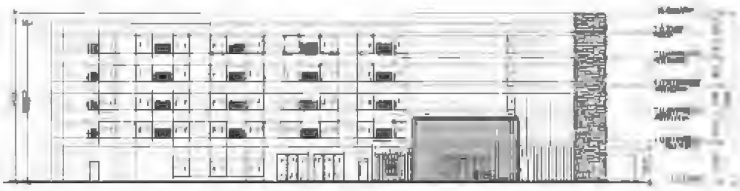
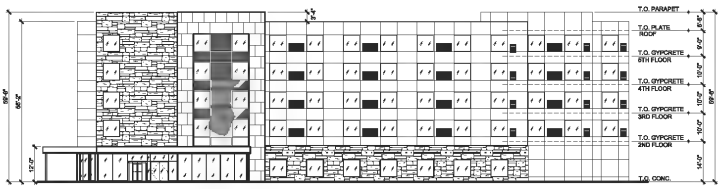


WEST ELEVATION



EAST ELEVATION

0 16 32 64

SCALE 1/16" 1' - 0"

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

ELEVATIONS

HANNOUCHE ARCHITECTS
949.261.2070
PROJECT 2021-021.6 01/05/19

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Newport Beach, CA 92660
PHONE: (949) 294-6990

A1.7

EXTERIOR ELEVATION NOTES

1. CEMENT PLASTER SYSTEM
2. STONE VENEER
3. FAUX WOOD TILE
4. BLACK PORCELAIN TILE
5. VINYL FRAME WINDOWS WITH INSULATED GLASS
6. VINYL FRAME SLIDING DOORS WITH INSULATED GLASS
7. ALUMINUM FRAME STOREFRONT WINDOWS WITH INSULATED GLASS
8. ALUMINUM FRAME STOREFRONT REVOLVING DOOR, ENTRY DOOR AND WINDOW SYSTEM WITH INSULATED GLASS
9. FORM COLUMNS
10. METAL DECORATIVE SCREEN SYSTEM
11. ENTRANCE CANOPY
12. 2-STORY PARKING STRUCTURE
13. HOTEL SIGNAGE
14. METAL LOUVER
15. CEMENT PLASTER LOW WALL
16. ALUMINUM FRAME WINDOWS WITH INSULATED GLASS AND SPANDREL GLASS SYSTEM
17. 1/2" REVEAL JOINTS, TYP.

SOUTH ELEVATION

HANNOUCHE ARCHITECTS
949.361.2070

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

N.T.S.

COLORED ELEVATIONS

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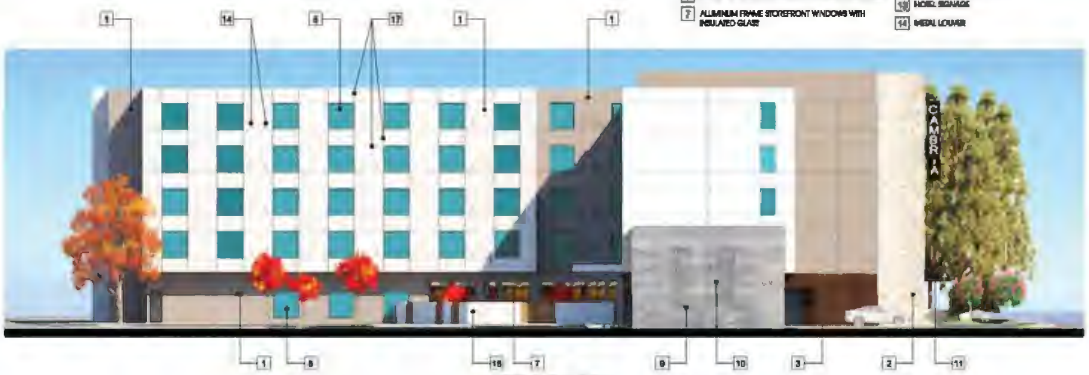
Newport Beach, CA 92660
PHONE: (949) 294-6990

A2.1

EXTERIOR ELEVATION NOTES

1. CEMENT PLASTER SYSTEM
2. STONE VENEER
3. FAUX WOOD TILE
4. BLACK PORCELAIN TILE
5. VINYL FRAME WINDOWS WITH INSULATED GLASS
6. VINYL FRAME SLIDING DOORS WITH INSULATED GLASS
7. ALUMINUM FRAME STOREFRONT WINDOWS WITH INSULATED GLASS
8. ALUMINUM FRAME STOREFRONT REVOLVING DOOR, ENTRY DOOR AND WINDOW SYSTEM WITH INSULATED GLASS
9. FORM COCKTAIL
10. METAL DECORATIVE SCREEN SYSTEM
11. ENTRANCE CANOPY
12. 2-STORY PARKING STRUCTURE
13. HOTEL SIGNAGE
14. METAL LOUVER
15. CEMENT PLASTER LOW WALL
16. ALUMINUM FRAME WINDOWS WITH INSULATED GLASS AND SPANDREL GLASS SYSTEM
17. 1/2" REVEAL JOINTS, TYP.



WEST ELEVATION

NORTH ELEVATION

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

N.T.S.

COLORED ELEVATIONS

HANNOUCHE ARCHITECTS
949.361.2070

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Newport Beach, CA 92660
PHONE: (949) 294-6990

A2.2

EXTERIOR ELEVATION NOTES

1. CEMENT PLASTER SYSTEM
2. STONE VENEER
3. FAUX WOOD TILE
4. BLACK PORCELAIN TILE
5. VINYL FRAME WINDOWS WITH INSULATED GLASS
6. VINYL FRAME SLIDING DOORS WITH INSULATED GLASS
7. ALUMINUM FRAME STOREFRONT WINDOWS WITH INSULATED GLASS
8. ALUMINUM FRAME STOREFRONT REVOLVING DOOR, ENTRY DOOR AND WINDOW SYSTEM WITH INSULATED GLASS
9. FORM COCKTAIL
10. METAL DECORATIVE SCREEN SYSTEM
11. ENTRANCE CANOPY
12. 2-STORY PARKING STRUCTURE
13. HOTEL SIGNAGE
14. METAL LOUVER
15. CEMENT PLASTER LOW WALL
16. ALUMINUM FRAME WINDOWS WITH INSULATED GLASS AND SPANDREL GLASS SYSTEM
17. 1/2" REVEAL JOINTS, TYP.

EAST ELEVATION

EAST ELEVATION (WITH LANDSCAPING)

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

N.T.S.

COLORED ELEVATIONS

HANNOUCHE ARCHITECTS
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A2.3

CAMBRIA HOTEL SANTA CLARA

N.T.S.

COLORED RENDERING

Santa Clara, CA

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ARCHITECTS
949.361.2070

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Newport Beach, CA 92660
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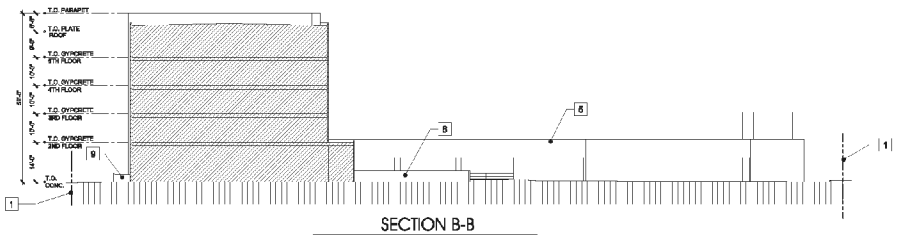
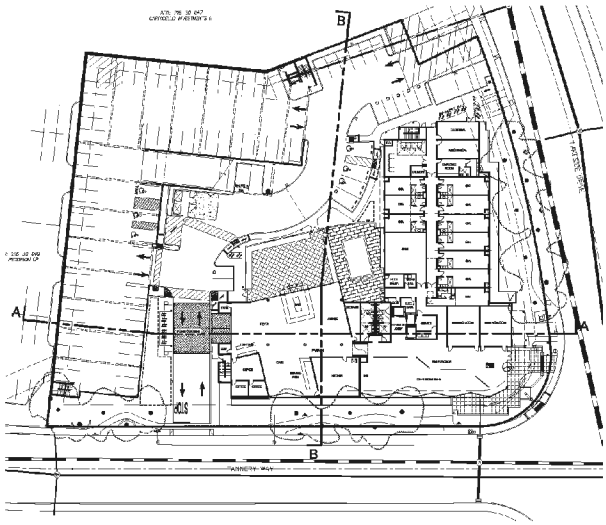
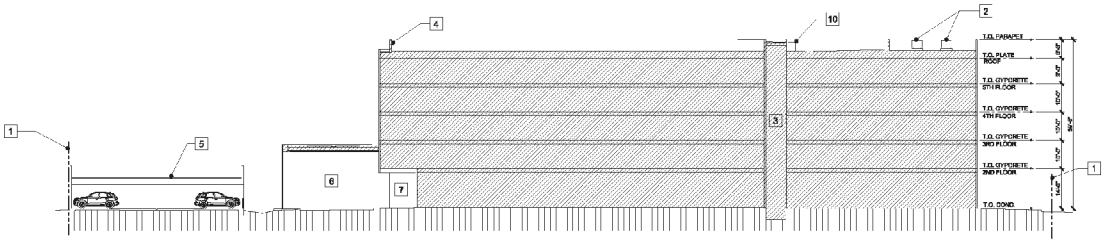
A2.4



SECTION B-B





SECTION A-A

BUILDING / SITE SECTION NOTES

1. PROPERTY LINE
2. MECHANICAL EQUIPMENT
3. ELEVATOR SHAFT
4. PARAPET
5. PARKING GARAGE
6. PORTE COCHERE
7. MAIN ENTRY
8. PATIO
9. FLOW THROUGH PLANTER
10. LAUNDRY CHUTE

NORTH

0 16 32 64

SCALE 1/16" = 1' - 0"

CAMBRIA HOTEL SANTA CLARA

Santa Clara, CA

SITE / BUILDING SECTIONS

HANNOUCHE ARCHITECTS
949.261.2070
20250 SW ACACIA ST. #150 NEWPORT BEACH, CA 92660
PROJECT 2010014 01/04/17

CS LAKESIDE SANTA CLARA,LLC
17 Corporate Plaza, Suite 200
Newport Beach, CA 92660
PHONE: (949) 294-6990

A3.1

TREE SCHEDULE

See tree images Sheet L2

TREES	BOTANICAL NAME	COMMON NAME	CONT
	Acer rubrum 'Autumn Blaze' M Water Use	Autumn Blaze Maple	36" Box
	Acer rubrum 'Boswell Red' M Water Use	Boswell Red Maple	36" Box
	Cupressus sempervirens L Water Use	Italian Cypress	15 gal
	Lagerstroemia indica 'Muskogee' L Water Use	Muskogee Crape Myrtle	36" Box
	Sequoia sempervirens 'Soquel' M Water Use	Coast Redwood	36" Box
	Trachycarpus fortunei 12FT High Brown Trunk L Water Use	Windmill Palm	B & B

PLANTER AREAS

SHRUB AREAS	BOTANICAL NAME	COMMON NAME
	Bio-retention Planting Area Plants that will withstand water inundation and provide water quality aspects	C-3 Water Quality Area Plants
	Building and Public Access Area Planting intended to enhance / compliment the building areas and public access areas	Shrubs and Ground Covers
	Interior Parking Area Plants to soften the interior hardscape and parking garage areas	Hardy Shrubs and Ground Covers
	Pool and Terrace Planting Area Ornamental shrubs and ground covers with a variety of textures and colors, appropriate for use in close proximity to furniture and patio areas	Lush Shrubs and Ground Covers
	Right-of-Way Planting Area New ground cover plantings between existing sidewalk and curb to replace existing grass	Ground Covers Under Existing Redwoods

DESIGN NOTES

1. The Plant List is sensitive and may expand or contract as the final planting design is prepared. See **Sheet L2 for a complete plant schedule of the type of plants proposed.**
2. Plant Container Size:
   a. Trees to be planted from minimum 15-gallon size containers
   b. Shrubs to be planted from 5-gallon and 1-gallon containers
   c. Ground Covers to be planted from 1-gallon containers
3. Tree Placement: Proposed Trees within the planter between the back of curb and the building will carefully consider existing and proposed utilities so as to not damage or impact lines or conduits. Toward that end, a 15-ft separation between trunk and lines will be provided

PRELIMINARY PLANTING PLAN

LANDSCAPE ARCHITECTURE PLANNING APPLICATION SUBMITTAL

CAMBRIA HOTEL

STRATUS DEVELOPMENT PARTNERS, LLC

Santa Clara, CA

SCALE	AS NOTED
JOB NO	113/0232
REVIEWED	SAR
DRAWN	LF
FILE	0002T.DWG
CHECKED	SAR
DATE	02-26-13

L1

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT
	Acer rubrum Autumn Blaze M Water Use	Autumn Blaze Maple	36" Box
	Acer rubrum Bowhall Red M Water Use	Bowhall Red Maple	36" Box
	Cupressus sempervirens L Water Use	Italian Cypress	15 gal
	Lagerstroemia indica 'Muskogee' L Water Use	Muskogee Crape Myrtle	36" Box
	Sequoia sempervirens 'Soquel H Water Use	Coast Redwood	36" Box
	Trachycarpus fortunei 12FT High Brown Trunk L Water Use	Windmill Palm	B & B

(Shrubs and Ground Covers not illustrated on Preliminary Landscape Plan - to be completed via Landscape Construction Plans)

SHRUBS	BOTANICAL NAME	COMMON NAME	CONT
	Abelia x grandiflora Kaleidoscope M Water Use	Kaleidoscope Abelia	5 gal
	Abelia x Mardi Gras M Water Use	Mardi Gras Abelia	5 gal
	Aspidistra elatior L Water Use	Cast Iron Plant	5 gal
	Berberis thunbergii "Atropurpurea L Water Use	Red-Leaf Japanese Barberry	5 gal
	Callistemon viminalis 'Little John L Water Use	Dwarf Bottlebrush	5 gal
	Loropetalum chinense 'Purple Pixie L Water Use	Purple Pixie Loropetalum	5 gal
	Nandina domestica Compacta L Water Use	Compact Heavenly Bamboo	5 gal
	Nandina domestica Moon Bay TM L Water Use	Moon Bay Nandina	5 gal
	Rhaphiolepis indica Pink Dancer L Water Use	Pink Dancer Hawthorne	5 gal

ACCENT/GRASSES	BOTANICAL NAME	COMMON NAME	CONT
	Agapanthus orientalis 'BLUE' L Water Use	Blue' Lily of the Nile	5 gal
	Cordyline Electric Pink L Water Use	Pink Variegated Dracaena	5 gal
	Dietes bicolor L Water Use	Fortnight Lily	5 gal
	Equisetum hyemale H Water Use	Horsetail Reed Grass	1 gal
	Festuca glauca 'Elijah Blue L Water Use	Blue Fescue	1 gal
	Festuca mairei L Water Use	Atlas Fescue	1 gal
	Juncus patens Elk Blue L Water Use	Spreading Rush	1 gal
	Lomandra longifolia 'Breeze L Water Use	Dwarf Mat Rush Breeze	1 gal
	Phormium tenax 'Purpurea' L Water Use	Purpurea N.Z. Flax	5 gal
	Phormium tenax 'Yellow Wave L Water Use	New Zealand Flax	5 gal
	Tulbaghia violacea 'Silver Lace' L Water use	Silver Lace Society Garlic	1 gal

GROUND COVER	BOTANICAL NAME	COMMON NAME	CONT
	Ceanothus maritimus 'Valley Violet L Water Use	Maritime Ceanothus	5 gal
	Teucrium cossonii L Water Use	Creeping Germander	1 gal
	Trachelospermum jasminoides M Water Use	Chinese Star Jasmine	5 gal
	Zauschneria cana 'Catalina' L Water Use	California Fuchsia	1 gal

VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	CONT
	Ficus pumila L Water Use	Creeping Fig	1 gal

PLANTER AREAS

SHRUB AREAS	BOTANICAL NAME	COMMON NAME
	Bio-retention Planting Area Plants that will withstand water inundation and provide water quality aspects	C-3 Water Quality Area Plants
	Building and Public Access Area Planting intended to enhance / compliment the building areas and public access areas	Shrubs and Ground Covers
	Interior Parking Area Plants to soften the interior hardscape and parking garage areas	Hardy Shrubs and Ground Covers
	Pool and Terrace Planting Area Ornamental shrubs and ground covers, with a variety of textures and colors, appropriate for use in close proximity to furniture and patio areas.	Lush Shrubs and Ground Covers
	Right-of-Way Planting Area New ground cover plantings between existing sidewalk and curb to replace existing grass.	Ground Covers Under Existing Redwoods

TREE IMAGES

WINDMILL FAN PALM

SOWHALL RED MAPLE

AUTUMN BLAZE MAPLE

CRAPE MYRTLE

SOQUEL COAST REDWOOD

ITALIAN CYPRESS

ENHANCED PAVING EXAMPLE

ENHANCED PAVING EXAMPLE

BOLLARD LIGHT EXAMPLE

OUTDOOR TERRACE AMENITY EXAMPLES

FIRE TABLE AMENITY EXAMPLE

FIRE PLACE AMENITY EXAMPLE

PLUNGE POOL EXAMPLE

GROUP SEATING EXAMPLE

642 Bowling Green Drive
Santa Clara, CA 95054
P 1 408 262 9000 W www.ghd.com
GHD Inc.

PRELIM. PLANT SCHEDULE & AMENITIES

LANDSCAPE ARCHITECTURE PLANNING APPLICATION SUBMITTAL

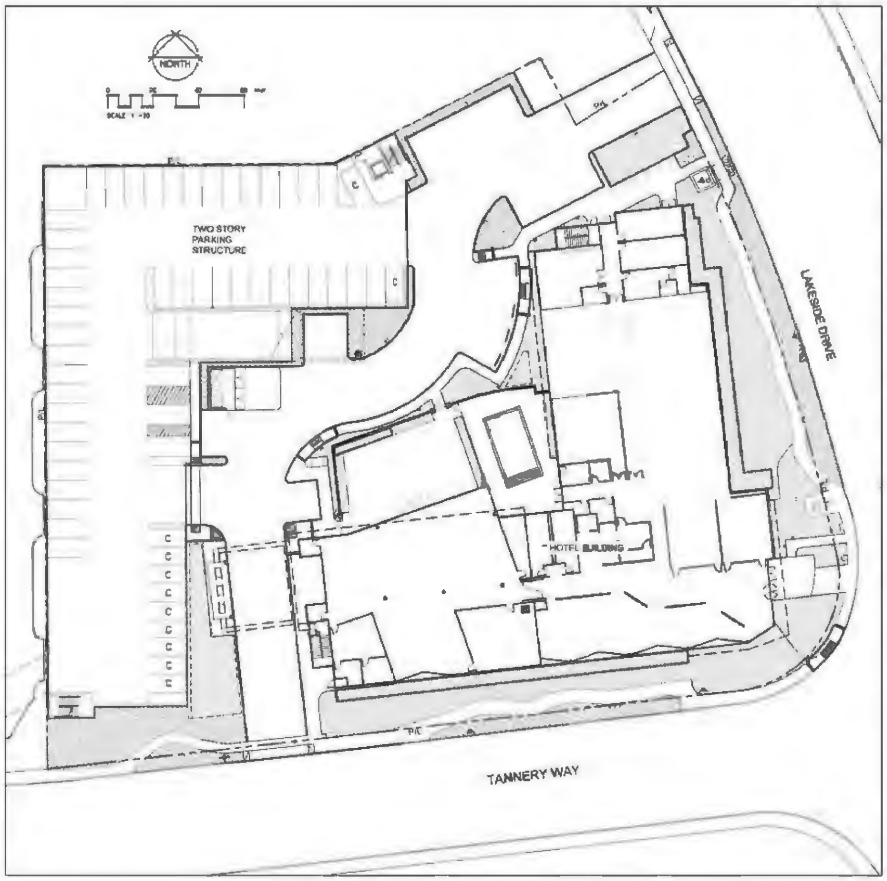
CAMBRIA HOTEL

STRATUS DEVELOPMENT PARTNERS, LLC

Santa Clara, CA

SCALE	AS NOTED
JOB NO	11-00239
DESIGNED	SJR
DRAWN	LF
FILE	00-PLAN
CHECKED	SJR
DATE	12-13-12

L2



PROPOSED HYDROZONE AREAS

SYMBOL	NOTES	QTY
	HYDROZONE - LOW Areas consisting of plant materials needing only low water application	5,437 sf
	HYDROZONE - BIORETENTION Bio-retention planters of possible moderate water use	3,649 sf
	POOL OR SPA - SPECIAL WATER USE Recreational pool or spa water use	450 sf
	HYDROZONE - MEDIUM Medium water use area, consisting of a combination of low and medium use plants	7,579 sf

PRELIMINARY WATER USE CALCULATIONS

MAWA (Maximum Allowed Water Allowance) Calculation

[redacted]

Annual Gallons Allowed 217,575.22

[redacted]

ETWU (Estimated Total Water Use) Calculation [redacted]

REGULAR LANDSCAPE AREAS

[redacted]								
Water Features	na	0	N/A	1	1.00	0.00	0.00	0.00
Very Low		0.1	Drip	0.81	0.12	5,437.00	671.23	18,852.29
Low	na	0.3	Drip	0.81	0.37	0.00	0.00	0.00
Medium		0.4	Drip	0.81	0.49	13,228.00	5,544.69	155,728.20
High	na	0.7	Drip	0.81	0.86	0.00	0.00	0.00
					Totals	[redacted]		

SPECIAL LANDSCAPE AREAS

[redacted]						
	Pool	1	450	450.00	12,638.70
		Totals	[redacted]	[redacted]	
				[redacted]	

(ETWU should be less than MAWA)

[redacted]

[redacted]

ETo Rate	(Regional [redacted]	[redacted]
ETAF	(factor from state for residential - used for MAWA)	0.55
CF (Conversion Factor)	(used to convert acre-inches/year to gallons per year)	0.62
IE (Irrigation Efficiency)	(from state - efficiency for drip)	0.81
IE (Irrigation Efficiency)	(from state - efficiency for spray)	0.75
PF (Plant Factor) High	(factor from state for irrigation)	0.9-0
PF (Plant Factor) Medium	(factor from state for irrigation)	0.5
PF (Plant Factor) Low	(factor from state for irrigation)	0.3
PF (Plant Factor) Very Low	(factor from state for irrigation)	0.1

IRRIGATION NOTES

CALGreen+Tier 1 Checklist

The design of the landscape / irrigation system is intended to meet the CALGreen+ Tier 1 Checklist associated with landscape elements. Toward this end the project will include the following best practices

1. Hydrozone irrigation techniques will be incorporated
2. Irrigation will be designed to meet or exceed the State's Model Water Efficient Landscape Ordinance
3. The plant palette will utilize at least 75% native California or drought tolerant plant materials appropriate to the climate zone region
4. Common area and perimeter area landscape irrigation will consist of a low volume drip system from Recycled Water
5. Existing and proposed Redwood trees will be irrigated from a Potable water source
6. The use of potable water will be reduced to a quantity that does not exceed 85% of ETo times the landscape area
7. All irrigation valves shall be connected to an automatic control system.
8. All irrigation systems shall be designed to meet the most current water conservation policies and available equipment.

CMD

PRELIMINARY IRRIGATION PLAN

LANDSCAPE ARCHITECTURE PLANNING APPLICATION SUBMITTAL

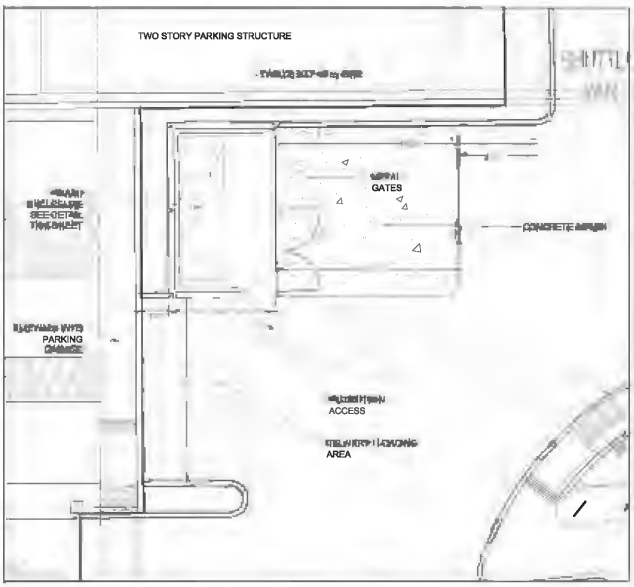
CAMBRIA HOTEL

STRATUS DEVELOPMENT PARTNERS, LLC

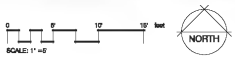
Santa Clara, CA

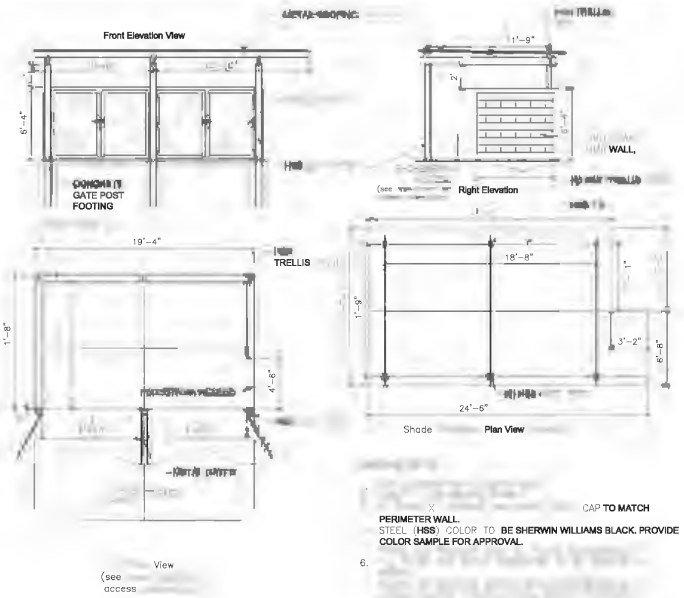
SCALE	AS NOTED
JOB NO.	1108037
DESIGNED	SAR
DRAWN	LF
DATE	2/07/2020
CHECKED	SAR
DWG.	P-06-12

L3



TRASH ENCLOSURE LAYOUT





1 TRASH ENCLOSURE EXAMPLE

1/4" = 1'-0"

P-BA-73

PRELIMINARY TRASH ENCLOSURE DETAIL

LANDSCAPE ARCHITECTURE PLANNING APPLICATION SUBMITTAL

CAMBRIA HOTEL

STRATUS DEVELOPMENT PARTNERS, LLC

Santa Clara, CA

913 Reserve Drive, Suite 100
Roseville, CA 95678 USA
t 916 782 8888 w www.ghd.com

L4

PROPOSED NEW TREES

TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Acer rubrum 'Autumn Blaze'	Autumn Blaze Maple	36" Box	2
	Acer rubrum 'Bowhall Red'	Bowhall Red Maple	36" Box	1
	Cupressus sempervirens	Italian Cypress	15 gal	2
	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	36" Box	11
	Sequoia sempervirens 'Sequal'	Coast Redwood	36" Box	5
	Trachycarpus fortunei	Windmill Palm	B & B	6

EXISTING TREE IMPACT TABLE

Tree #	Common Name	Species	DBH (Inches)	TO BE REMOVED?	REPLACEMENT REQUIRED
1	Crape myrtle	*Lagerstroemia indica*	5.5	YES	YES
2	Crape myrtle	*Lagerstroemia indica*	7.5	YES	YES
3	Horse chestnut	*Aesculus sp.*	17.2	YES	YES
4	Coast redwood	*Sequoia sempervirens*	34.5	YES	YES
5	Coast redwood	*Sequoia sempervirens*	33.1	YES	YES
6	Coast redwood	*Sequoia sempervirens*	31.6	NO	NO
7	Coast redwood	*Sequoia sempervirens*	32.3	NO	NO
8	Coast redwood	*Sequoia sempervirens*	31	NO	NO
9	Coast redwood	*Sequoia sempervirens*	30.8	NO	NO
10	Coast redwood	*Sequoia sempervirens*	30.5	NO	NO
11	Coast redwood	*Sequoia sempervirens*	30.2	NO	NO
12	Coast redwood	*Sequoia sempervirens*	32.8	NO	NO
13	Coast redwood	*Sequoia sempervirens*	31.4	NO	NO
14	Coast redwood	*Sequoia sempervirens*	34.4	NO	NO
15	Coast redwood	*Sequoia sempervirens*	34.2	NO	NO
16	Coast redwood	*Sequoia sempervirens*	29	NO	NO
17	Coast redwood	*Sequoia sempervirens*	31.3	NO	NO
18	Coast redwood	*Sequoia sempervirens*	28.3	NO	NO
19	Coast redwood	*Sequoia sempervirens*	33.6	NO	NO
20	Horse chestnut	*Aesculus sp.*	14.5	YES	YES
21	Horse chestnut	*Aesculus sp.*	12.8	YES	YES
22	Coast redwood	*Sequoia sempervirens*	33.8	YES	YES
23	Coast redwood	*Sequoia sempervirens*	30.7	YES	YES
24	Coast redwood	*Sequoia sempervirens*	31.2	NO	NO
25	Coast redwood	*Sequoia sempervirens*	31.7	NO	NO
26	Coast redwood	*Sequoia sempervirens*	29	NO	NO
27	Coast redwood	*Sequoia sempervirens*	33.5	NO	NO
28	Coast redwood	*Sequoia sempervirens*	29.4	NO	NO
29	Coast redwood	*Sequoia sempervirens*	35.3	YES	YES
30	Crape myrtle	*Lagerstroemia indica*	4.2	YES	YES
31	Crape myrtle	*Lagerstroemia indica*	5.3	YES	YES
32	Crape myrtle	*Lagerstroemia indica*	5.6	YES	YES
33	Purple-leaf plum	*Prunus cerasifera*	9.6	YES	YES
34	Purple-leaf plum	*Prunus cerasifera*	9.1	YES	YES
35	Crape myrtle	*Lagerstroemia indica*	4.1	YES	YES
36	Purple-leaf plum	*Prunus cerasifera*	10.6	YES	YES
37	Purple-leaf plum	*Prunus cerasifera*	12.3	YES	YES

TREE REMOVAL NOTES

1. Tree Removal: Directions to the site Contractor will be provided on demolition plans to ensure that removal of trees / root ball is done carefully with full knowledge of existing underground utility lines / conduits that could be damaged by tree removal.
2. Tree Placement: Proposed Trees within the planter between the back of curb and the building will carefully consider existing and proposed utilities so as to not damage or impact lines or conduits.

TREE REPLACEMENT REQUIREMENTS

EXISTING

TREES PRESERVED.....19

TREES REMOVED.....18

PROPOSED

TREES TO BE PLANTED.....28

TREES AT 1:1 (36" BOX) REPLACEMENT.....20

(5) REDWOODS REMOVED FOR THIS PROJECT WILL BE REPLACED AT A 1:1 RATIO USING 36" BOX CONTAINER REDWOOD TREE PLANTINGS.

TREE REMOVAL AND REPLACEMENT PLAN

LANDSCAPE ARCHITECTURE PLANNING APPLICATION SUBMITTAL

CAMBRIA HOTEL

STRATUS DEVELOPMENT PARTNERS, LLC

Santa Clara, CA

SCALE: AS NOTED

JOB NO: 11002.00

DRAWN: SJR

CHECKED: SJR

DATE: 08-26-15

L5

CITY OF SANTA CLARA ARBORIST NOTES

I GENERAL

1 NO CUTTING OF ANY PART OF CITY TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT SECURING APPROVAL AND DIRECT SUPERVISION FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY (408-615-3080)

2 NO CUTTING OF ANY PART OF PRIVATE TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT DIRECT SUPERVISION OF AN INTERNATIONAL SOCIETY OF ARBORICULTURE (I.S.A.) CERTIFIED ARBORIST

3. WHEN CONSTRUCTION OCCURS WITHIN THE DRIP LINE OF EXISTING TREES, CONTRACTOR SHALL PILE THE SOIL ON THE SIDE AWAY FROM THE TREE. WHEN THIS IS NOT POSSIBLE, PLACE SOIL ON PLYWOOD, TARP, OR 4"-5" THICK BED OF MULCH. THIS IS TO HELP PREVENT CUTTING INTO THE SOIL SURFACE WHEN THE BACKHOE OR TRACTOR BLADE REFILLS THE TRENCH

4 REFILL OPEN TRENCHES QUICKLY WITHIN HOURS OF EXCAVATION WHEN THEY OCCUR WITHIN THE DRIP LINE OF EXISTING TREES. IF THIS IS NOT POSSIBLE AND THE WEATHER IS HOT, DRY, OR WINDY, CONTRACTOR MUST KEEP ROOT ENDS MOIST BY COVERING THEM WITH WET BURLAP. IF THE TEMPERATURE IS 80°F OR GREATER, THE BURLAP MUST BE INSPECTED EVERY HOUR AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL MOIST CONDITION. IF THE TEMPERATURE IS BELOW 80°, THE BURLAP MUST BE INSPECTED EVERY FOUR HOURS AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL MOIST CONDITION. SMALL ROOTS CAN DRY OUT AND DIE IN 10-15 MINUTES. LARGER ROOTS CAN SUCCUMB IN AN HOUR OR LESS UNDER UNFAVORABLE WEATHER CONDITIONS

5. WHEN ROOTS 2" OR LARGER ARE REQUIRED TO BE CUT, SHOVEL BY HAND NEAR THE ROOTS AND PRUNE THE ROOTS WITH AN INDUSTRY-APPROVED PRUNING TOOL. ROOTS THAT ARE ACCIDENTALLY BROKEN SHOULD BE PRUNED TWO INCHES FROM THE DAMAGED END. CRUSHED OR TORN ROOTS ARE MORE LIKELY TO ALLOW DECAY TO BEGIN. SHARPLY CUT ROOTS PRODUCE A PLUSH OF NEW ROOTS HELPING THE TREE TO RECOVER FROM ITS INJURY

6. CONTRACTOR SHALL NOTIFY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY 72 HOURS IN ADVANCE OF ANY WORK REQUIRING DIGGING AROUND OR WITHIN THE DRIP LINE OF EXISTING TREES.

7. A CLEAR SYSTEM OF FLAGGING MUST BE PROVIDED AROUND TREES WITHIN 20' OF THE PROPOSED GRADING. CONTRACTOR SHALL SECURE
APPROVAL OF SUCH SYSTEM FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY

8. MATERIALS, EQUIPMENT, TEMPORARY BUILDINGS, FUELS, PAINTS AND OTHER CONSTRUCTION ITEMS SHALL NOT BE PLACED WITHIN THE DRIP LINE OF EXISTING TREES

9. FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCING SHALL BE PLACED AT THE DRIP LINE OF EXISTING TREES OR, IF POSSIBLE, 1.5 TIMES THE RADIUS OF THE DRIP LINE OUT FROM THE TRUNK OF THE TREE. A WARNING SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH FENCE. THE SIGN SHALL BE A MINIMUM OF 8.5"x11" AND CLEARLY STATE "WARNING - TREE PROTECTION ZONE. THIS FENCE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE CITY ARBORIST/PROJECT ARBORIST". FENCES SHALL BE 6-FOOT TALL CHAIN LINK OR EQUIVALENT, AS APPROVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. FENCES SHALL REMAIN UNTIL ALL GRADING AND CONSTRUCTION WORK IS COMPLETED. IN ADDITION, WRAP ALL TREES WITH STRAW WADDLE UP TO THE FIRST MAIN BRANCH, THEN WRAP SHOW FENCING AROUND THE WADDLE ON ALL TREES IN THE CONSTRUCTION ZONE TO PROTECT THEM FROM BARK DAMAGE CAUSED BY THE WORK.

10. NO TRENCHING SHALL BE DONE WITHIN THE DRIP LINE OF EXISTING TREES WITHOUT THE APPROVAL OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. OPEN TRENCHING IN THE ROOT ZONE OF A PUBLIC TREE IS PROHIBITED EXCEPT IN CASES WHERE THE TRENCHING FALLS OUTSIDE THE DRIP LINE OF THE TREE INVOLVED. EXCEPTIONS MAY BE ALLOWED IF, IN THE OPINION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY, THE IMPACT OF TRENCHING ON THE TREE WILL BE NEGLIGIBLE

11. ANY CUTTING OF EXISTING ROOTS OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ANY CUTTING OF EXISTING ROOTS OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN I.S.A CERTIFIED ARBORIST.

12. GRADING SHOULD NOT CREATE DRAINAGE PROBLEMS FOR TREES BY CHANNELING WATER INTO THEM, OR CREATING SUNKEN AREAS

13. ALL GRADING WITHIN THE DRIP LINE OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ALL GRADING WITHIN THE DRIP LINE OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN I.S.A. CERTIFIED ARBORIST. THE ORIGINAL GRADE AT THE BASE OF EXISTING TREES SHALL NOT BE MODIFIED. IF A GRADE INCREASE IS NECESSARY, DRY WELLS SHOULD BE USED

14. WHEN TRENCHING IS ALLOWED, THE CONTRACTOR MUST FIRST CUT ROOTS WITH A VERMEER ROOT CUTTER PRIOR TO ANY TRENCHING TO AVOID TUGGING OR PULLING OF ROOTS.

15. TREES THAT ARE DETERMINED TO BE REMOVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY DUE TO AN UNFORSEEN CIRCUMSTANCE DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY SHALL DETERMINE THE REPLACEMENT SPECIE, SIZE, QUANTITY, AND SPACING.

16. PLACE 4"-5" THICK MULCH AROUND ALL EXISTING TREES (OUT TO THEIR DRIP LINE) THAT ARE TO BE RETAINED PRIOR TO ANY CONSTRUCTION. THIS WILL HELP MAINTAIN MOISTURE UNDER THE TREE WITHIN THE FENCING AREA.

17. BORE PITS ARE NOT ALLOWED WITHIN THE DRIP LINE OF ANY TREE.

II. BORING

WHERE THERE IS INSUFFICIENT SPACE TO BYPASS THE DRIP LINE BY TRENCHING ADJACENT TO ALL EXISTING TREES IN EXCESS OF 5" D.B.H., THE INSTALLATION MUST BE MADE BY BORING. THE BEGINNING AND ENDING DISTANCE OF THE BORE FROM THE FACE OF THE TREE IN ANY DIRECTION IS DETERMINED BY THE DIAMETER OF THE TREE AS SPECIFIED BY THE ACCOMPANYING TABLE

WHEN THE TREE DIAMETER AT 4½ FEET IS TRENCHING WILL BE REPLACED BY BORING AT THIS MINIMUM DISTANCE FROM THE FACE OF THE TREE IN ANY
DIRECTION: 0-2 INCHES: 1-FOOT; 3-4 INCHES: 2-FEET, 5-6 INCHES: 5-FEET, 10-14 INCHES: 10 - FEET 15-19 INCHES 12- FEET, OVER 19 INCHES, 15 -FEET

TREE DIAMETER (MINIMUM) DEPTH OF BORE 9 INCHES OR LESS: 2.5-FEET; 10-14 INCHES: 3.0 FEET 15-19 INCHES: 3.5 -FEET; 20 INCHES OR MORE: 4.0 FEET

III. TREE PROTECTION

1. CONTRACTOR SHALL TAG AND IDENTIFY EXISTING TREES WHICH ARE TO REMAIN WITHIN THE PROJECT LIMITS AND ON THE PUBLIC RIGHT-OF-WAY PRIOR TO START OF WORK. PROTECT ALL TAGGED TREES AT ALL TIMES FROM DAMAGE BY THE WORK. TREATMENT OF ALL MINOR DAMAGE TO TAGGED TREES SHALL BE PERFORMED BY AN I.S.A. CERTIFIED ARBORIST OR OTHER PERSONNEL APPROVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. IF A TAGGED TREE IS PERMANENTLY DISFIGURED OR KILLED AS A RESULT OF THE WORK, CONTRACTOR SHALL REMOVE THE TREE INCLUDING ITS ROOTS, FROM THE SITE AND REPLACE EACH REMOVED TREE WITH AN EQUAL-SIZED TREE. IF SUCH REPLACEMENT IS NOT POSSIBLE, THE CONTRACTOR SHALL REIMBURSE TO THE TREE OWNER THE AMOUNT LISTED IN THE TABLE BELOW. THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY SHALL BE THE SOLE JUDGE OF THE CONDITION OF ANY TREE. CONTRACTOR SHALL PROVIDE REGULAR WATERING OF EXISTING LANDSCAPING WITHIN THE CONSTRUCTION AREA THROUGH THE CONSTRUCTION PERIOD.

2. CONTRACTOR SHALL PAY THE TREE OWNER THE VALUE OF EXISTING TREES TO REMAIN THAT DIED OR WERE DAMAGED BECAUSE OF THE CONTRACTOR'S FAILURE TO PROVIDE ADEQUATE PROTECTION AND MAINTENANCE. THE PAYMENT AMOUNT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE OF VALUES, USING "TREE CALIPER" METHOD ESTABLISHED IN THE MOST RECENT ISSUE OF THE "GUIDE FOR ESTABLISHING VALUES OF TREES AND OTHER PLANTS" PREPARED BY THE COUNCIL OF TREE AND LANDSCAPE ARCHITECTS

7-INCHES: $2,400; 8 - INCHES: $3,400, 9-INCHES: $4,400 10 INCHES: $5,200; 11- INCHES: $6,200; 12-INCHES: $7,2001; 3-INCHES: $8,280, 14-INCHES: $9,200, 15- INCHES: $10,000; 16- INCHES $11,000; 17- INCHES: $12,000, 18- INCHES AND OVER, ADD FOR EACH CALIPER INCH: $1,200

No.	Revisions	Date

GHD
2151 Salzerred Drive, Suite 100
Rancho Cordova, CA 95670
T: (916) 782-9400 W: www.ghd.com

CITY ARBORIST NOTES

LANDSCAPE ARCHITECTURE PLANNING APPLICATION SUBMITTAL
CAMBRIA HOTEL
STRATUS DEVELOPMENT PARTNERS, LLC
Santa Clara, CA

SCALE	AS NOTED
JOB NO.	11-00339
DESIGNED	SJR
DRAWN	LF
FILE	2007-0001
CHECKED	SJR
DATE	02-28-12

L6

ILLUSTRATIVE
SITE DEVELOPMENT PLAN

SITE INFORMATION

ADDRESS	2900 LAKESIDE DR ,SANTA CLARA, CA
A.P.N	216-30-048
EXISTING ZONING	LIGHT INDUSTRIAL
SITE ACREAGE	1.96 ACRES
NET LOT COVERAGE	52.3%
NET LOT LANDSCAPING	19.0%

PARKING STALL COUNT

STANDARD	108
COMPACT	35
ADA	5
EV	5
SHUTTLE	1
TOTAL	154 (.81 ratio)

BIKE PARKING COUNT

E. BIKE	4
G. BIKE	24
TOTAL	28

BUILDING INFORMATION

TOTAL GUEST ROOMS:	190
1st FLOOR AREA	22,648 SF
2nd FLOOR AREA	23,238 SF
3rd FLOOR AREA	23,238 SF
4th FLOOR AREA	23,238 SF
5th FLOOR AREA	23,238 SF
TOTAL AREA*	115,592 SF

CAMBRIA HOTEL-Santa Clara, CA

STRATUS DEVELOPMENT PARTNERS, LLC

MILANI & Associates
2655 Stanwell Drive, Suite 105
Concord, CA 94520
Phone (925) 676-9062
Fax (925) 676-9278

HANNOUCHE ARCHITECTS
949.291.3079

GHD Inc.
943 Reserve Drive, Suite 100
Roseville, CA 95678 USA
T 1 916 782 9888

February 8, 2019
2507EX002.dwg

SITE PLAN
CAMBRIA HOTEL
SANTA CLARA, CALIFORNIA

PROJECT TEAM:

DEVELOPER: [illegible] DEVELOPMENT PARTNERS, LLC
17 CORPORATE PLAZA DRIVE, SUITE 204
NEWPORT BEACH, CA 92660
PHONE: (949) 420-4321
CONTACT: ANDREW [illegible]

ARCHITECT: HANNIGHAN ARCHITECTS
2030 SW ALDER STREET, SUITE 145
PORTLAND, OR 97205
PHONE: (503) 226-7670
CONTACTS: [illegible]

CIVIL ENGINEER: MILANI AND ASSOCIATES
2655 STARWELL DRIVE, SUITE 105
CUPERTINO, CA 95014
PHONE: (925) 574-9082
CONTACTS: [illegible]

LANDSCAPE ARCHITECT: [illegible]
942 RESERVE DRIVE, SUITE 100
ROSEVILLE, CA 95678
PHONE: (916) 786-4848
CONTACTS: SCOTT ROBERTSON

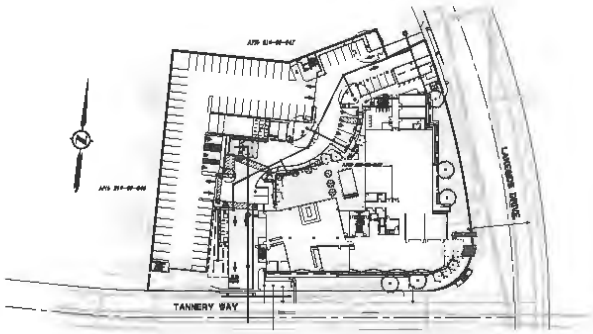
SOILS ENGINEER: [illegible] CONSULTANTS, INC.
[illegible] COMMERCIAL DRIVE, SUITE F
[illegible], CA 95357
PHONE: (209)[illegible]-7534
CONTACTS: [illegible]

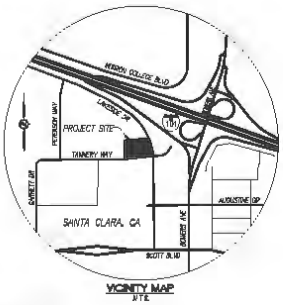
ARBORIST: ANDERSON'S TREE CARE SPECIALISTS, INC.
P.O. BOX 30
SAN JOSE, CA 95150
PHONE: (408) 356-7333 (1032)
CONTACT: [illegible]

SITE INFORMATION:

ADDRESS:	2900 LAKESIDE DRIVE, SANTA CLARA, CA
A.P.N.'S:	APN: 216-30-048
G.P. DESIGNATION:	LOW INTENSITY OFFICE/R&D
EXISTING ZONING:	M. (LIGHT INDUSTRIAL)
PROPOSED ZONING:	M. (LIGHT INDUSTRIAL)
EXISTING USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL (HOTEL)
TOTAL NUMBER OF LOTS:	1 LOT
TOTAL SITE AREA (±):	45,316 SF. 1.04 AC.(GROSS & NET)
NET LOT COVERAGE:	68.2%
NET LOT LANDSCAPING:	16.8%
UTILITIES & SERVICES:	
WATER:	CITY OF SANTA CLARA WATER & SEWER UTILITIES DEPARTMENT
SEWER:	CITY OF SANTA CLARA WATER & SEWER UTILITIES DEPARTMENT
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC, SILICON VALLEY POWER
TELEPHONE:	AT&T
POLICE:	SANTA CLARA POLICE DEPARTMENT
FIRE:	SANTA CLARA FIRE DEPARTMENT

LEGAL DESCRIPTION: SEE PRELIMINARY TITLE REPORT FOR PROPERTY DESCRIPTION





VICINITY MAP
N.T.S.

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A3.1	SITE SECTIONS
C1.2	DRAYING FIXTURE EXHIBIT
C1.3	DRAYING FIXTURE EXHIBIT

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	MAJOR CONTOUR	420
	MINOR CONTOUR	418
	BOUNDARY LINE	
	CENTERLINE	
	EASEMENT LINE	
	CONCRETE CURB & GUTTER	
	WOOD NEIGHBOR FENCE	
	CHAINLINK FENCE	K — K
	CONCRETE SIDEWALK	
	GAS LINE	GAS
	UNDERGROUND/OVERHEAD UTILITY	N/A
	PERFORATED PIPE	PDP
	SANITARY SEWER	SS
	STORM DRAIN	SD
	WATER LINE	W
N/A	CURVE NUMBER	N/A
N/A	GRADE PERCENT	2%
N/A	BIO PAD	BIO PAD
	STREET LIGHT	
	TREE	N/A
	STORM DRAIN AREA DRAIN	
	BLOW OFF	
	FIRE HYDRANT	
	GATE VALVE	
	MANHOLE	
	SANITARY SEWER CLEANOUT	
	STORM DRAIN INLET	SD
	WATER METER	

ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
ACP	ASBESTOS CEMENT PIPE	MIN+	MINIMUM
ALG	ALGEBRA GRAVEL	N/A	NOT APPLICABLE
AB	ANGLE POINT	OG	ORIGINAL GROUND
BVC	BEGIN VERTICAL CURVE	OHU	OVERHEAD UTILITY
BOF	BOTTOM OF FOOTING	PAVT.	PAVEMENT
BL	BLOW OFF	PUE	PRIVATE ACCESS AND UTILITY EASEMENT
EVC	END VERTICAL CURVE	PCC	POINT OF COMPOUND CURVE
BOW	BASE OF WALL	PCP	PERFORATED PIPE
BWD	BREEN BARRIER	PVE	PRIVATE VEHICULAR ACCESS EASEMENT
CW	CONCRETE	POC	POINT ON CURVE
CMP	CORRUGATED DRAINPIPE	PRC	POINT OF REVERSE CURVATURE
CBGR	CROSSBAR	PVC	POLYVINYL CHLORIDE
EOF	EDGE OF GRAVEL	PVI	POINT OF VERTICAL INTERSECTION
ELEV	ELEVATION	R	RADIUS
EOC	END OF VERTICAL CURVE	RCP	REINFORCED CONCRETE PIPE
EW	EAR WALL	RET	RETAIN (TURN)
EST.	ESTIMATE	WWP	WHEEL
FFL	FINISH FLOOR	BOT	BOTT
FGL	FINISH GRADE	BOW	BOTT. OF WAY
FHA	FIRE HYDRANT	S	SLOPE
FL	FIELD BOLT	SD	STORM DRAIN
FL	FLOW LINE	SDD	SIDE DRAINAGE
FLOW	FLOW LINE SIDE DRAINAGE	SSL	SANITARY SEWER
FWV	FIRE WATER VALVE	SSCO	SANITARY SEWER CLEAN OUT
GB	GRADE BREAK	SSMH	SANITARY SEWER MANHOLE
GFF	GARAGE FINISH FLOOR	SRW	ROCKWALL
GBL	GARAGE LIP	TS	TOP OF CURB
GPC	GENERAL PURPOSE EASEMENT	TCD	TOP OF DEPRESSED CURB
TBC	GRATE	TFC	TOP OF FLOOR CURB
HDPE	HIGH DENSITY POLYETHYLENE	TA	TOP OF PAVEMENT
HP	HIGH POINT	TP	TOP OF PARAPET
INV	INVERT	TW	TOP OF WALL
JTC	JUNCTION	TCP	VITRIFIED CLAY PIPE
LCP	LANDSCAPE CONTRACTOR	ULT	UNDERGROUND UTILITY
LP	LIGHT	W	WATER MAIN OF WATER SERVICE
		WM+	WATER METER

BASIS OF BEARING:
BETWEEN TWO FOUND EXISTING STREET MONUMENTS ON TANNERY WAY AS SHOWN ON 458 PM 6. TAKEN AS N89°29'46"E.

BENCHMARK:
ELEVATIONS SHOWN ARE NAVD 88.

811
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2900 LAKESIDE DRIVE
CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
COVER SHEET
SANTA CLARA COUNTY

A.P.N. 216-30-048
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE:
DESIGN: KRA
JOB NO: 1210
DRAWN: KRA/SM/SLM
DATE: FEBRUARY 2019
CHECKED: KRA
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

SHEET C1 OF 17 SHEETS

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CITY OF SANTA CLARA GENERAL NOTES

(PER CITY OF SANTA CLARA STANDARD DETAIL "APPENDIX A – GENERAL NOTES")

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY'S STANDARD DETAILS, STANDARD SPECIFICATIONS, AND STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL SECURE AN ENCROACHMENT PERMIT FROM THE CITY ENGINEERING DEPARTMENT AND PAY APPROPRIATE FEE PRIOR TO COMMENCEMENT OF WORK. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE UNDER A STREET ENCROACHMENT PERMIT.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES AND UTILITIES MAY BE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND AGENCIES PRIOR TO CONNECTIONS OF WORK ADJACENT TO THEIR FACILITY. COMPANY UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600.
4. THE CONTRACTOR SHALL NOTIFY, BY ORDINARY, ALL BUSINESS ESTABLISHMENTS AND RESIDENCE LOCATED IN AREAS AFFECTED BY THE WORK AT LEAST FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION. OPTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
5. UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER IN THE FIELD, AT EACH LOCATION WHERE NEW CURB/GUTTER IS TO BE INSTALLED ON AN EXISTING STREET (DRIVEWAY INSTALLATION, DRIVEWAY ABANDONMENT, CURB RAMP INSTALLATION, CURB FACE DRAINAGE INSTALLATION, ETC.) PAVEMENT RECONSTRUCTION SHALL BE REQUIRED. AN 18-INCH WIDE BAND OF PAVEMENT SHALL BE REMOVED AND REPLACED ALONG THE ENTIRE LENGTH OF CURB/GUTTER INSTALLATION TO MEASURE OUTSIDE (SAW CUT) TO OUTSIDE (SAW CUT) WITH THE GUTTER MATERIAL. ON STREETS WHICH ARE LESS THAN FIVE (5) YEARS OLD, PAVEMENT REPAIR (2) INCHES IN DEPTH OR THICKNESS, WHICHEVER IS THE GREATER, SHALL BE THE (25) INCHES MINIMUM ON STREETS WITH A.C. (BINDER) AND FOUR (4) INCHES MINIMUM ON STREETS WITH P.C.C. (SAW CUT) PAVEMENT THICKNESS GREATER THAN FOUR (4) INCHES. REPLACE WITH P.C. OR P.C.C. (BOWLES REQUIRED) TO MATCH EXISTING MATERIAL.
6. ALL SIDEWALK, CURB, AND GUTTER DAMAGED AS A RESULT OF THE PROJECT SHALL BE REMOVED AND REPLACED TO THE NEAREST SCORE MARK OR AS DIRECTED BY THE CITY ENGINEER. INSTALLATION OF NEW SIDEWALK, CURB AND GUTTER ADJACENT EXISTING IMPROVEMENTS SHALL REQUIRE A DIAGONAL CONTRACT JOINT (BOWLES REQUIRED).
7. PARTIAL REPLACEMENT OF A DRIVEWAY IS NOT ALLOWED. A DRIVEWAY THAT HAS BEEN CUT OR DAMAGED MUST BE REPLACED IN ITS ENTIRETY. THE NEW REPLACEMENT DRIVEWAY MUST MEET CURRENT CITY STANDARDS. MUCH MAY AFFECT ON-SITE IMPROVEMENTS AND/OR REQUIRE A SIDEWALK EASEMENT.
8. SLURRY SEAL SHALL BE FURNISHED ON ALL NEW STREETS WITHIN THE PROJECT (I.E., STREETS, MINOR STREETS, AND TRAFFIC MEDIANS). SLURRY SEAL SHALL EXTEND TWELVE INCHES BEYOND THE LIMIT OF PAVEMENT RECONSTRUCTION.
9. ALL MANHOLES, VALVE BOXES, MONUMENT BOXES, AND OTHER STRUCTURES IN THE PAVEMENT AREA SHALL BE ADJUSTED TO FINISH GRADE BEFORE PAVING FINAL LIFT.
10. GRADE BREAKS ON CURBS AND SIDEWALKS ARE TO BE ROUNDED OFF ON FORM WORK AND FINISHED SURFACING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND/OR REPERTUATION OF EXISTING SURVEY MONUMENTS (CURB TACS, IRON PIPES, STREET MONUMENTS, ETC.) NOTED ON THE PLANS OR FOUND DURING CONSTRUCTION. THE SYSTEM WITH OF THE CALIFORNIA HIGHWAYS AND PRINCIPAL ROAD. IF A SURVEY MONUMENT HAS THE POTENTIAL OF BEING DISTURBED OR WITHIN 3 FEET OF THE WORK, THE MONUMENT SHALL BE LOCATED, REFERENCED, AND A SURVEY MONUMENT MAP TO THE CITY AND SANTA CLARA COUNTY SURVEYOR, AND A DUPLICATE OF THE CORNER RECORD SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION. SHOULD ANY SURVEY MONUMENTS BE DAMAGED OR DESTROYED DURING CONSTRUCTION, THE CONTRACTOR SHALL RE-ESTABLISH SAID MONUMENT PER CITY STANDARD, FILE A CORNER RECORD WITH THE SANTA CLARA COUNTY SURVEYOR AND SUBMIT A DUPLICATE OF THE CORNER RECORD TO THE CITY ENGINEER PRIOR TO FINAL PROJECT NOTICE OF COMPLETION ISSUED BY THE DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL, AT HIS/HER EXPENSE, HIRE A LICENSED PROFESSIONAL LAND SURVEYOR OR REGISTERED CIVIL ENGINEER WITH LAND SURVEYING EXPERIENCE TO PERFORM THE WORK.
12. ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PUBLIC RIGHT-OF-WAY.
13. CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
14. ALL DESIGNS AND LOCATIONS SHALL BE CONSISTENT IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES OF CALIFORNIA AND FEDERAL OSHA REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR PROPER SHORING DESIGN AND INSTALLATION.
15. EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL SCHEDULE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT, VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATING FOR NEW FACILITIES.
16. CONTRACTOR SHALL PERFORM ITS CONSTRUCTION AND OPERATION IN A MANNER WHICH WILL NOT ALLOW UNPOLLUTED FACILITIES TO ENTER THE STORM DRAIN SYSTEM TO ENSURE COMPLIANCE. THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP), AS OUTLINED IN THE HANDBOOKS ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM, AS BEST FOR LOCATION, SEASON AND JOB LOCATION.
17. PERMANENT PARKING OF CONSTRUCTION EQUIPMENT IN THE PUBLIC RIGHT-OF-WAY SHALL NOT BE PERMITTED EXCEPT AT LOCATIONS APPROVED BY THE CITY TRAFFIC ENGINEER.
18. ALL SANITARY SEWER AND/OR STORM DRAIN MAINS TO BE ABANDONED SHALL BE FILLED WITH SAND OR CONTROL DENSITY FILL (CDF), AND PLUGGED AT EACH END WITH A 8" WIDE WALL OF CLASS "A" P.C.C.
19. ABANDONMENT OF SANITARY SEWER LATERAL AT THE PROPERTY LINE SHALL INCLUDE THE COMPLETE REMOVAL OF THE CLEANOUT BOX, ALL EXISTING PIPES AND THE 45 WYE THE REMAINING LATERAL END SHALL BE PLUGGED WITH 8" THICK WALL OF CLASS "A" P.C.C. MEASURING AND CONCRETE PLUGGED THE MAIN. ABANDONMENT OF SANITARY SEWER LATERAL AT THE MAIN WILL OCCUR WHEN LATERAL CONNECTS AT A WYE OR AS DETERMINED BY THE CITY. PLUG THE LATERAL END WITH 8" THICK WALL OF CLASS "A" P.C.C. AND FILL LATERAL WITH SAND OR CONTROL DENSITY FILL (CDF), MAKING A SMOOTH TRANSITION ON THE INSIDE WALL OF THE MANHOLE FOR MANHOLE CONNECTIONS.
20. UNLESS OTHERWISE NOTED, CLASS 2 A.B. UNDER CURB, GUTTER, AND SIDEWALK SECTIONS PAVED WITH ASPHALT CONCRETE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (MINIMUM).
21. PRIOR COMPLETION OF THE PROJECT, CONTRACTOR SHALL REPLACE DAMAGED CURB AND GUTTER ALONG PROJECT LOCATION AS DIRECTED BY THE CITY INSPECTOR.

CITY OF SANTA CLARA PUBLIC WATER SYSTEM NOTES

1. WATER SYSTEM CONSTRUCTION SHALL CONFORM TO THE PROJECT PLANS, AND TO THE CITY OF SANTA CLARA, MARIN AND MWD WATER SYSTEM STANDARD DRAWINGS AND SPECIFICATIONS, COPIES ARE AVAILABLE ON THE CITY'S WEBSITE.
2. INFORMATION ON MATERIALS PROPOSED TO BE USED IN CONSTRUCTING WATER SYSTEM FACILITIES SHALL BE SUBMITTED TO WATER AND SEWER UTILITIES FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OF WATER FACILITIES.
3. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY WATER AND SEWER UTILITIES IN ATTENDANCE PRIOR TO ANY WORK BEING ALLOWED TO BEGIN ON THE PUBLIC WATER SYSTEM. CALL 615-2855 BETWEEN 7:00 AM AND 4:00 PM MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS. NOTIFY THE CITY WATER INSPECTOR A MINIMUM OF ONE WORKING DAY PRIOR TO REQUIRED INSPECTIONS.

CITY OF SANTA CLARA PUBLIC WATER SYSTEM NOTES (CONTINUED)

4. WATER FACILITIES SHALL BE CONSTRUCTED AS SHOWN ON THE APPROVED PLANS. ALL CHANGES MUST BE APPROVED BY THE WATER INSPECTOR PRIOR TO BEING CONSTRUCTED. A REVISED DRAWING MUST BE APPROVED BY THE ENGINEER.
5. CLEARANCES:
   - ONE FOOT MINIMUM HORIZONTAL CLEARANCE FOR OPEN TRENCH CONSTRUCTION BETWEEN WATER AND SEWER MAINS UNLESS OTHERWISE NOTED ON THE PLANS.
   - TWO FEET MINIMUM VERTICAL CLEARANCE FOR OPEN TRENCH CONSTRUCTION BETWEEN WATER AND RECYCLED WATER MAINS AND SERVICES AND OTHER FACILITIES UNLESS OTHERWISE NOTED ON THE PLANS.
   - FIVE FEET MINIMUM HORIZONTAL CLEARANCE FOR HORIZONTAL DIRECTION BORING CONSTRUCTION BETWEEN WATER AND RECYCLED WATER MAINS AND SERVICES AND OTHER FACILITIES UNLESS OTHERWISE NOTED ON THE PLANS.
   - TEN FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND RECYCLED WATER MAINS AND SERVICES AND SANITARY MAINS AND SERVICES AND MAINS.
   - FIVE FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND STORM MAINS AND LATERALS AND OTHER SEWER MAINS OR FACILITIES.
6. CONSTRUCTION OF WATER MAINS AND SERVICES CANNOT BEGIN UNTIL SITE IS AT SUB GRADE.
7. CITY OR CITY REQUIRED CONTRACTOR WILL PERFORM ALL WORK IN THE WATER MAIN. CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TAPPING SLEEVE AND VALVE, AND PREPARING THE SITE FOR CITY OR CITY ASSIGNED CONTRACTOR TO PERFORM THE TAP.
8. WATER MAINS SHALL BE AWWA C900 CODE DR 14 MINIMUM STANDARD PRESSURE CLASS 200 FOR POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, AWWA C900 CODE DR14 CODE STANDARD PRESSURE CLASS 305 FOR DUCTILE IRON (DIP) PRESSURE PIPE OR TYPE K COPPER AS SHOWN ON THE PLANS. RECYCLED WATER MAINS SHALL CONFORM TO CITY WATER MAIN STANDARDS WITH THE EXCEPTION LATE PURPLE RECYCLED WATER P.V.C. MAINS SHALL BE PURPLE AND LABELED RECYCLED WATER. DIP SHALL BE ENCASED IN PURPLE POLY WRAP.
9. THE CONTRACTOR SHALL PROVIDE ALL PIPE BENDS, FITTINGS AND DEADEMDS USING MECHANICALLY RESTRAINED JOINTS IN ACCORDANCE WITH CITY STANDARDS. ALL TRENCH WATER MAINS AND SERVICE LINES TO BE A MINIMUM OF FOUR INCHES (4").
10. DC SAND BEDDING UNDER PIPE AND 12" OF SAND BEDDING OVER TOP OF PIPE. SAND SHALL CONFORM TO WATER AND SEWER UTILITIES STANDARD DRAWING NUMBER 23. THE REMAINING TRENCH SHALL BE BACKFILLED AND COMPACTED TO CITY OF SANTA CLARA DEPARTMENT OF PUBLIC WORKS STANDARDS AND COMPARABLE TO THE RELATIVE DENSITY.
11. CONTRACTOR SHALL DISINFECT AND FLUSH ALL NEW AND REPAIRED PORTIONS OF THE PUBLIC WATER SYSTEM ACCORDING TO WATER AND SEWER UTILITIES SPECIFICATIONS. COMMUNICATION MUST COMPLY WITH THE CITY'S NON-POINT SOURCE CONTROL PROGRAM. THE INITIAL BACTERIOLOGICAL TEST SHALL BE PERFORMED BY THE CITY AT THE CITY'S COST. SUBSEQUENT TESTS REQUIRED DUE TO FAILED INITIAL BACTERIOLOGICAL SAMPLES SHALL BE PERFORMED BY THE CITY AT DEVELOPER'S EXPENSE.
12. PRESSURE TESTS SHALL BE PERFORMED BY THE CONTRACTOR AT 200 PSI FOR A MINIMUM OF TWO HOURS.
13. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A SET OF CURRENT, THOROUGH, AND ACCURATE AS-BUILT DRAWINGS AT THE PROJECT SITE. THEY SHALL INCLUDE DEPTH TO CENTER DIMENSIONS BETWEEN ALL FITTINGS, VALVES, SERVICES, BEVELS, FLANGES, CHANGES IN PIPE TYPE, ETC. AND SHALL INCLUDE A DIMENSION REFERENCING A REMOVABLE FEATURE ON THE EXISTING WATER SYSTEM. THE UPDATED AS BUILT DRAWINGS SHALL BE AVAILABLE FOR THE INSPECTOR TO REVIEW AT ALL TIMES. THE PROJECT WILL NOT BE CONSIDERED FOR ACCEPTANCE WORK MAY NOT BE ALLOWED TO BE PERFORMED UNTIL THE AS-BUILT DRAWINGS ARE COMPLETED, SUBMITTED TO THE INSPECTION, REVIEWED, AND ACCEPTED.
14. ALL VALVES FOR STEAM SHALL BE REQUIRED TO HAVE TO USE IN CONSTRUCTION AND FOLLOWING UP WATER MAINS.
15. NO VALVE MAY BE OPERATED UNLESS DIRECTED BY ANY NEW WATER CONNECTION TO THE EXISTING SYSTEM SHALL BE OPENED OR CLOSED BY ANYONE EXCEPT AUTHORIZED WATER AND SEWER UTILITIES PERSONNEL.
16. MAINTAIN, SECURE, AND PROTECT ANY EXISTING WATER SYSTEM FACILITY IN PLACE UNTIL THE PROPOSED WATER SYSTEM IS COMPLETED AND ACTIVATED.
17. PARTS FROM ABANDONED CITY FACILITIES, INCLUDING METERS AND VALVES, SHALL BE RETURNED TO THE WATER AND SEWER UTILITIES INSPECTOR.
18. WATER AND SEWER UTILITIES WILL PLACE A HOLD ON THE FINAL INSPECTION ON ALL OF PART OF THE DEVELOPMENT UNTIL:
   - AN ACCURATE AND COMPLETE SET OF "AS-BUILT" DRAWINGS FOR THE PUBLIC WATER SYSTEM HAS BEEN SUBMITTED TO AND APPROVED BY THE WATER DEPARTMENT.
   - PUNCH LIST ITEMS HAVE BEEN CORRECTED.
   - ANY WATER OR PUBLIC UTILITY EASEMENTS REQUIRED FOR THE PROJECT ARE RECORDED WITH THE COUNTY.
19. CONTRACTOR SHALL PROVIDE AN ACCURATE SET OF AS-BUILT DRAWINGS IN PDF AND AUTOCAD FORMAT TO WATER AND SEWER UTILITIES PRIOR TO FINAL ACCEPTANCE.

C:\WATER\STANDARD DETAIL\PUBLIC WATER SYSTEM NOTES.DOC REV 12/3/2007

PHOTOMETRICS

1. PHOTOMETRICS FOR CAMPUS WILL BE DONE UNDER A SEPARATE PLANS.

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CONTENTS OF THIS DOCUMENT
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2900 LAKESIDE DRIVE

CITY OF SANTA CLARA

CAMBRIA HOTEL

SITE PLAN

GENERAL NOTES

SANTA CLARA COUNTY

A.P.N. 216-30-048

CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE

DESIGN: KRA	JOB NO: 1210	
DRAWN: KRA/SMS/LML	DATE: FEBRUARY 2019	
CHECKED: KRA	SCALE: AS SHOWN	

NO.	REVISIONS	BY	APP	DATE

SHEET C2 OF 17 SHEETS

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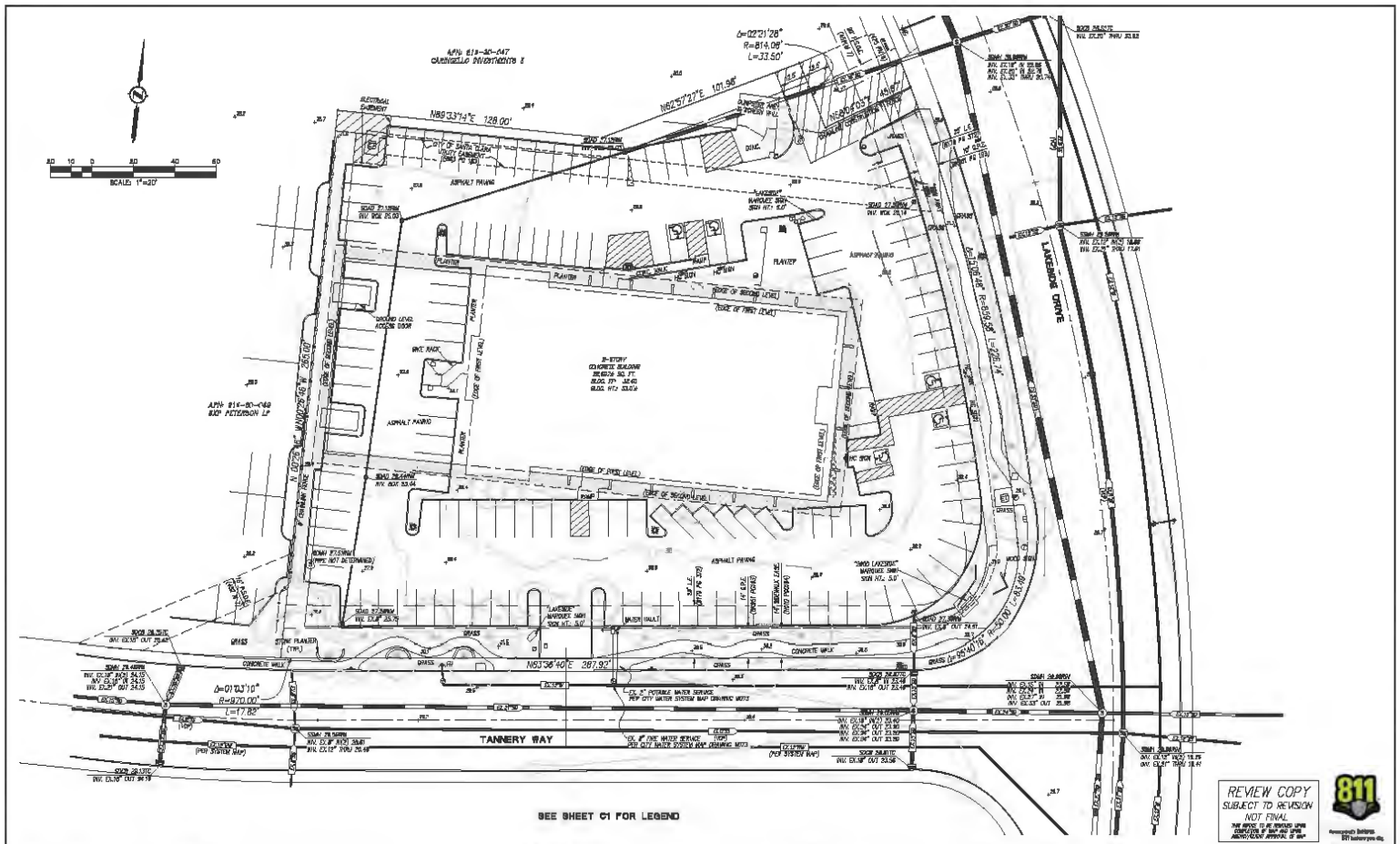

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CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
EXISTING SITE CONDITIONS

SANTA CLARA COUNTY

CALIFORNIA

A.P.N. 216-30-048

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SHEET **C3** OF **17** SHEETS

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CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
AERIAL OF EXISTING SITE

SANTA CLARA COUNTY

CALIFORNIA

A.P.N. 216-30-048

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI DATE:
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19

DESIGN: KRA JOB NO: 1210
DRAWN: KRA/SMS/LML DATE: FEBRUARY 2010
CHECKED: KRA SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

SHEET C3A OF 17 SHEETS

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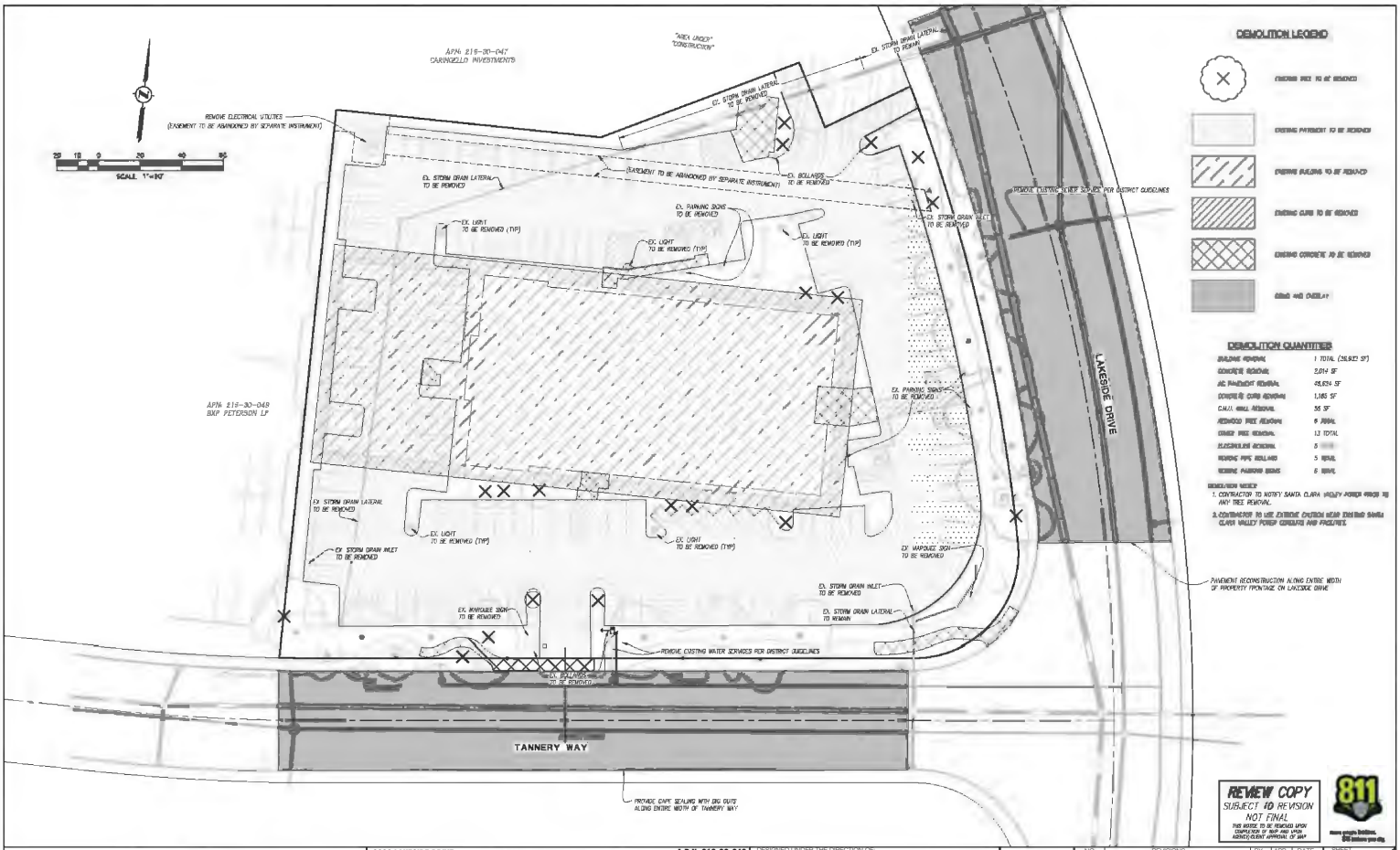

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Phone: (925) 674-9382
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2900 LAKESIDE DRIVE

CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
DEMOLITION PLAN

SANTA CLARA COUNTY **CALIFORNIA**

A.P.N. 216-30-048

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE

DESIGN: KRA	JOB NO.:	1210	
DRAWN: KRA/SMS/LML	DATE:	FEBRUARY 2019	
CHECKED: KRA	SCALE:	AS SHOWN	

REGISTERED PROFESSIONAL ENGINEER MICHAEL EDWARD MILANI No. 35121 EXP. 09/30/19 CIVIL STATE OF CALIFORNIA

NO.	REVISIONS	BY	APP	DATE

SHEET C4 OF 17 SHEETS

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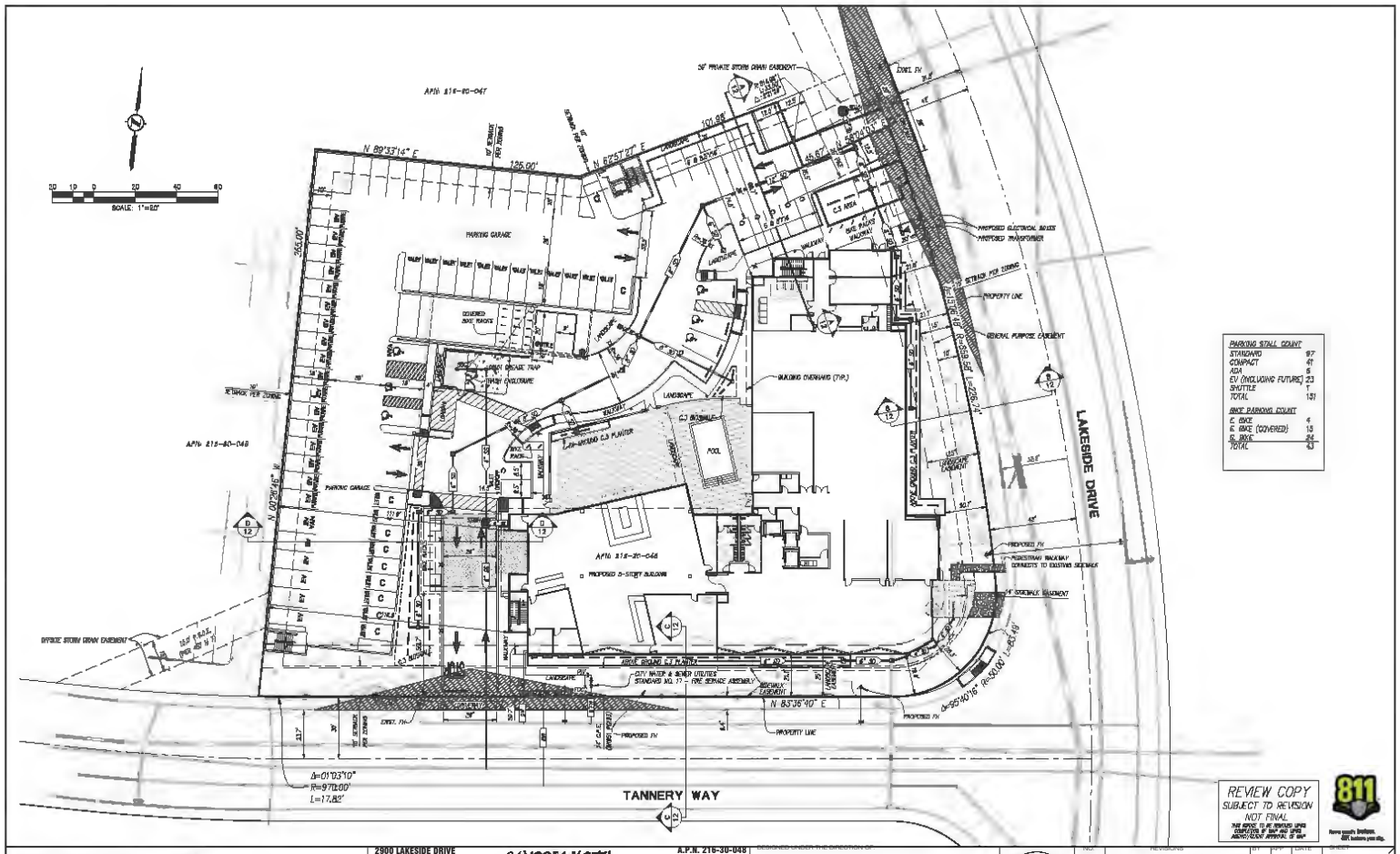

Storm Water Monitoring & Reporting
Land Development Engineering
Environmental Engineering
Municipal Engineering
Surveying & Mapping
Construction Staking

MILANI & Associates

2955 Stanwell Drive, Suite 103
Concord, CA 94520
Phone: (925) 674-9062
Fax: (925) 674-8278

2900 LAKESIDE DRIVE

CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
HORIZONTAL CONTROL PLAN

SANTA CLARA COUNTY

CALIFORNIA

A.P.N. 216-30-048

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R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
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REVISIONS

SHEET C5 OF 17 SHEETS

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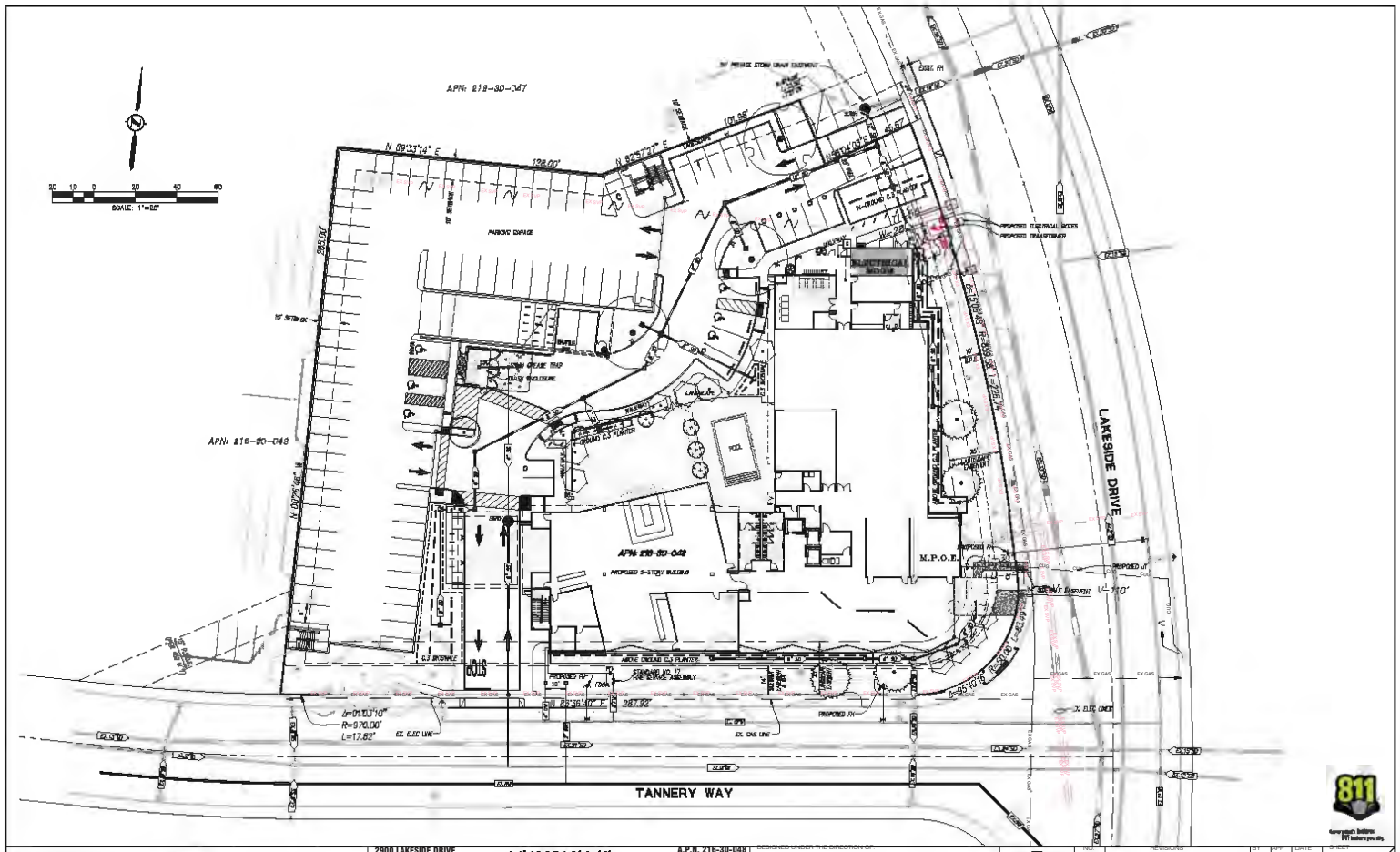
APN: 216-30-047
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APN: 216-30-049
PROPOSED 5-STORY BUILDING
PARKING GARAGE
POOL
M.P.O.E.
LAKESIDE DRIVE
TANNERY WAY
SCALE: 1"=20'
N 89°33'14" E
126.00'
N 87°57'27" E
101.95'
N 00°26'46" W
265.00'
S 00°26'46" E
287.92'
R=970.00'
L=17.82'
EX. DIS LINE
EX. GAS
PROPOSED IN
PROPOSED ELECTRICAL BOXES
PROPOSED TRANSFORMER
SIDEWALK EASEMENT
15' SETBACK
CJ BROWN
CONC. GREASE TRAP
DOUBLE ENCLOSURE
GROUND CJ PLANTER
MEDIUM GREASE CJ PLANTER
FIRE DEPT. DOUBLE CHECK DETECTOR ASSEMBLY
ROCK
EX. GAS LINE
EX. ELEC LINE
EX. CATV LINE
EX. DWY LINE
EX. TELE LINE
EX. WATER LINE
EX. SEWER LINE
EX. STORM DRAIN LINE
EX. CURB
EX. SIDEWALK
EX. PARKING
EX. LANDSCAPE
EX. BUILDING
EX. FIRE HYDRANT
EX. STREET LIGHT
EX. UTILITY POLE
EX. TRAFFIC SIGNAL
EX. TRAFFIC SIGNAL BOX
EX. TELEPHONE BOX
EX. TELEPHONE PEDESTAL
EX. ELECTRIC BOX
EX. ELECTRIC PEDESTAL
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EX. WATER VALVE
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EX. STORM DRAIN MANHOLE
EX. ELECTRIC MANHOLE
EX. TELEPHONE MANHOLE
EX. GAS MANHOLE
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EX. GAS METER
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EX. DOUBLE CHECK DETECTOR ASSEMBLY
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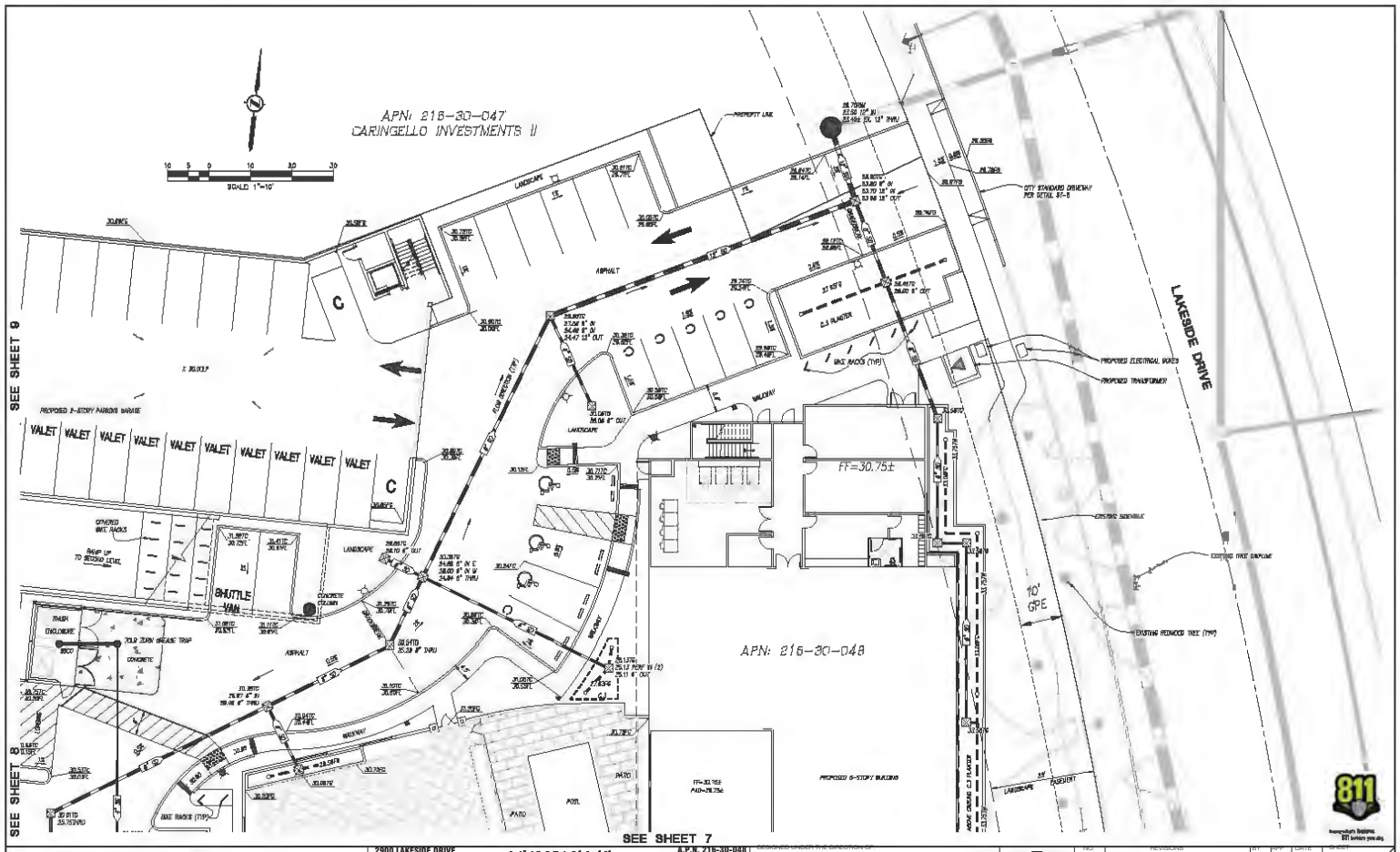

Storm Water Monitoring & Reporting
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Municipal Engineering
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Construction Staking

MILANI & Associates
2955 Stanwell Drive, Suite 103
Concord, CA 94520
Phone: (925) 674-9082
Fax: (925) 674-9278

2900 LAKESIDE DRIVE
CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
GRADING PLAN

SANTA CLARA COUNTY
CALIFORNIA

A.P.N. 216-30-048

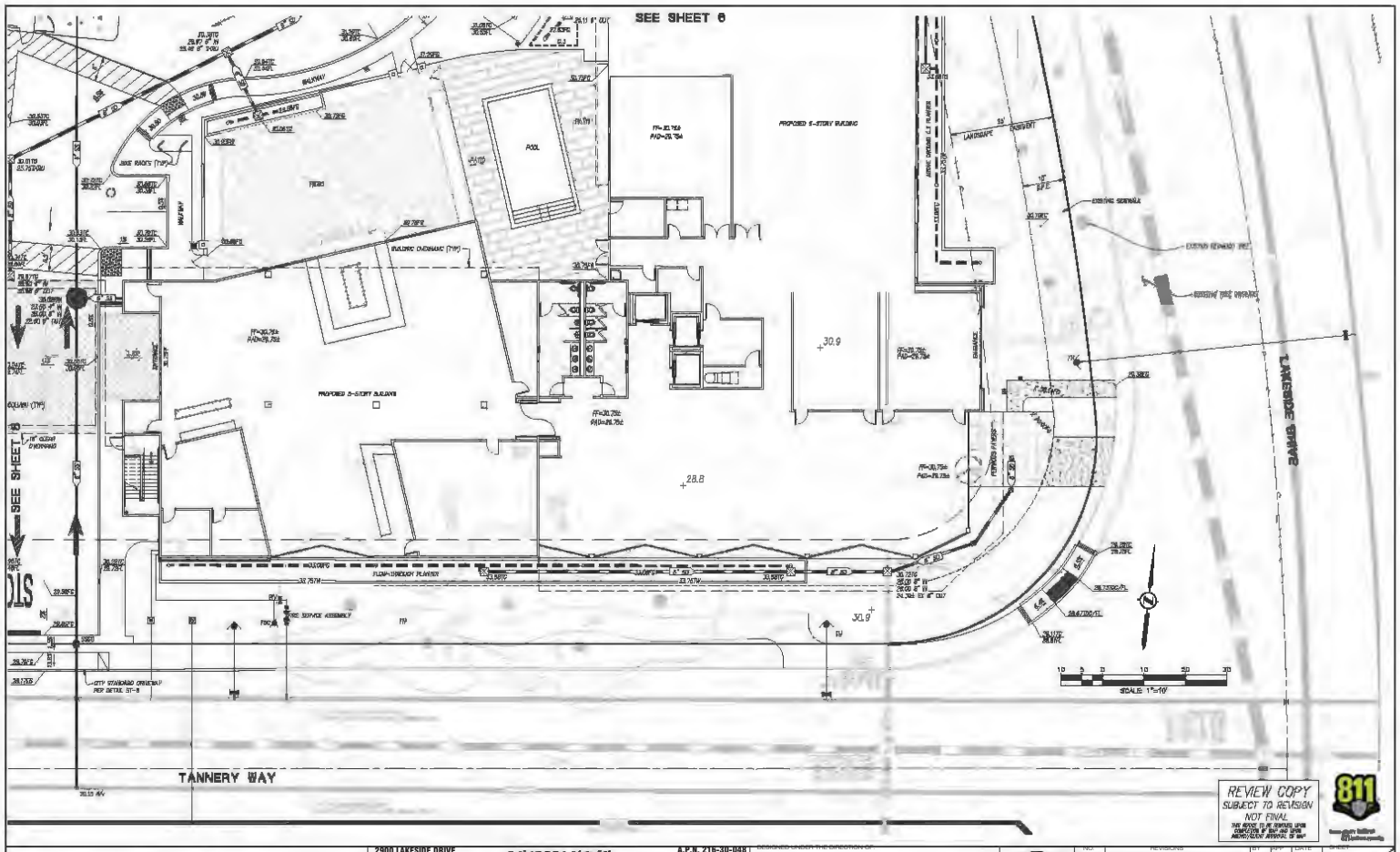
DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE:
DESIGN: KRA
JOB NO: 1210
DRAWN: KRA/SM/SLM
DATE: FEBRUARY 2019
CHECKED: KRA
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

SHEET C6
OF 17 SHEETS

Underground Services
811 before you dig.

R:\MMC\1210\Site Plan\Grading\GP-5-2-19.dwg 05/02/19 KRA Fieldwork



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SUBJECT TO REVISION
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THIS MAPS TO BE REVISED UPON COMPLETION OF RIGHT-OF-WAY DEDICATION/CITY APPROVAL OF SMP

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CITY OF SANTA CLARA

A.P.N. 216-30-048

CAMBRIA HOTEL
SITE PLAN
GRADING PLAN

SANTA CLARA COUNTY

CALIFORNIA

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DATE
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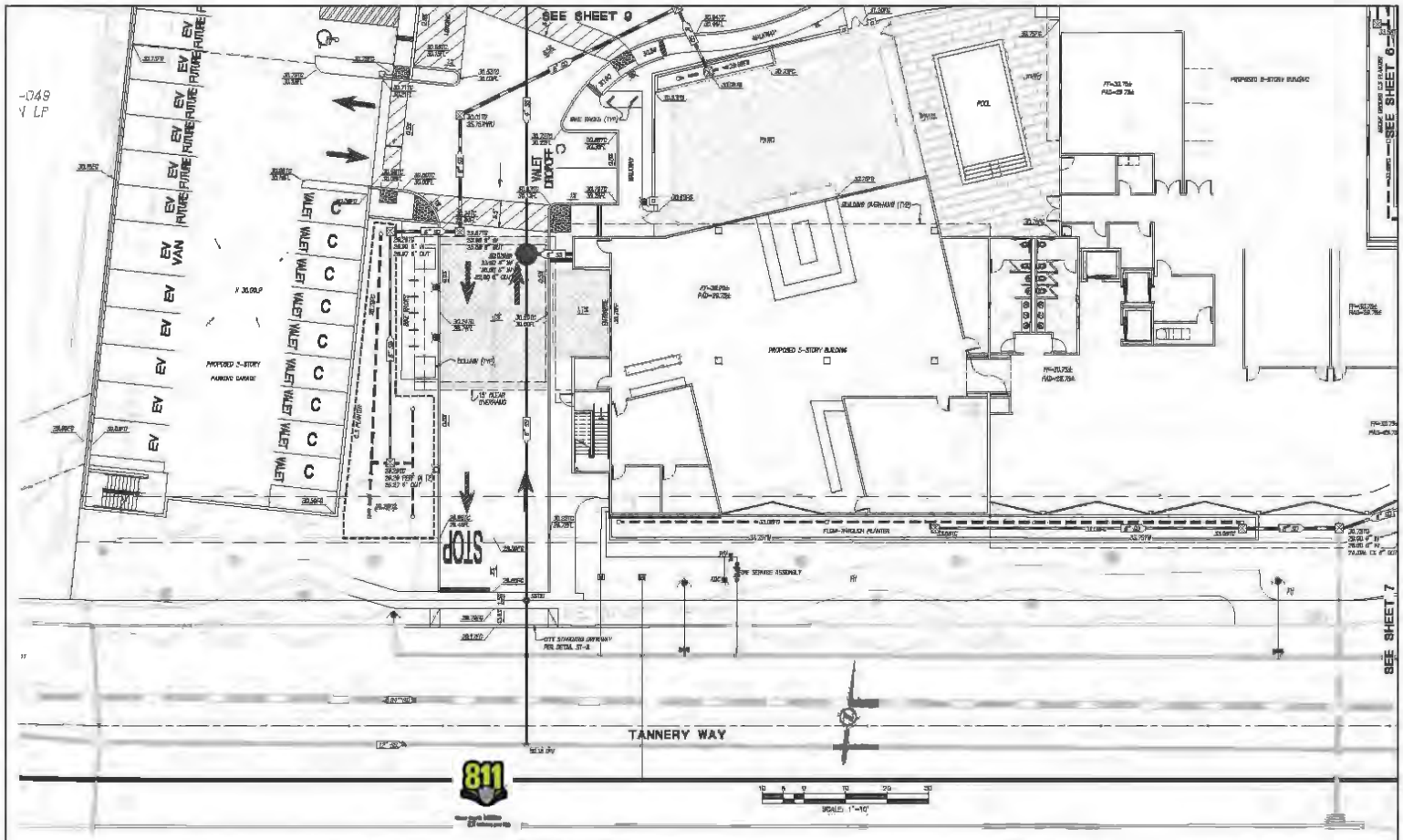
DATE: FEBRUARY 2019
CHECKED: KRA
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

SHEET C7 OF 17 SHEETS



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CITY OF SANTA CLARA

CAMBRIA HOTEL

SITE PLAN

GRADING PLAN

SANTA CLARA COUNTY

CALIFORNIA

A.P.N. 216-30-048

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DATE

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CHECKED: KRA
JOB NO: 1210
DATE: FEBRUARY 2019
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

SHEET C8 OF 17 SHEETS

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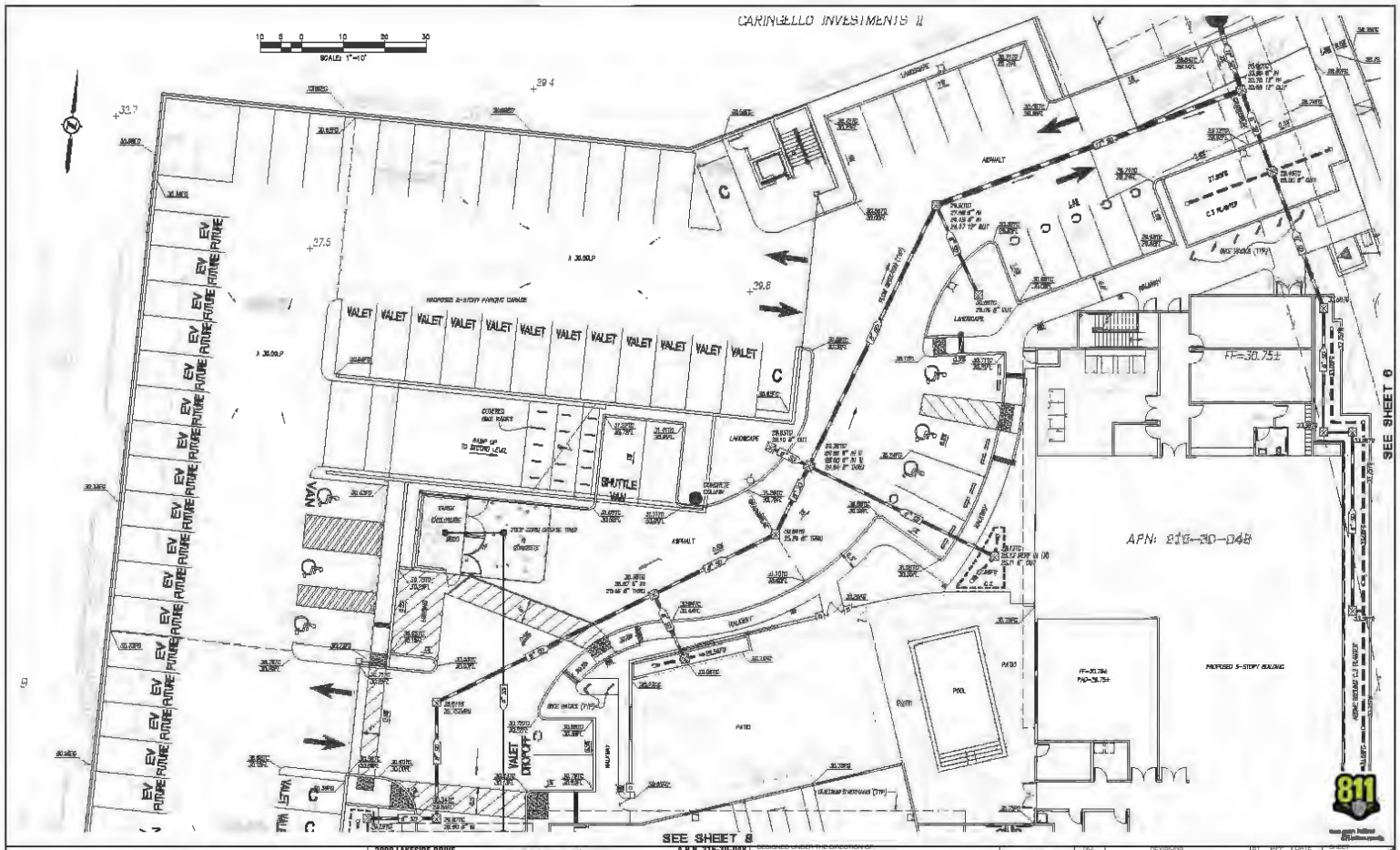

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CITY OF SANTA CLARA

SANTA CLARA COUNTY

CALIFORNIA

CAMBRIA HOTEL
SITE PLAN
GRADING PLAN

A.P.N. 216-30-048

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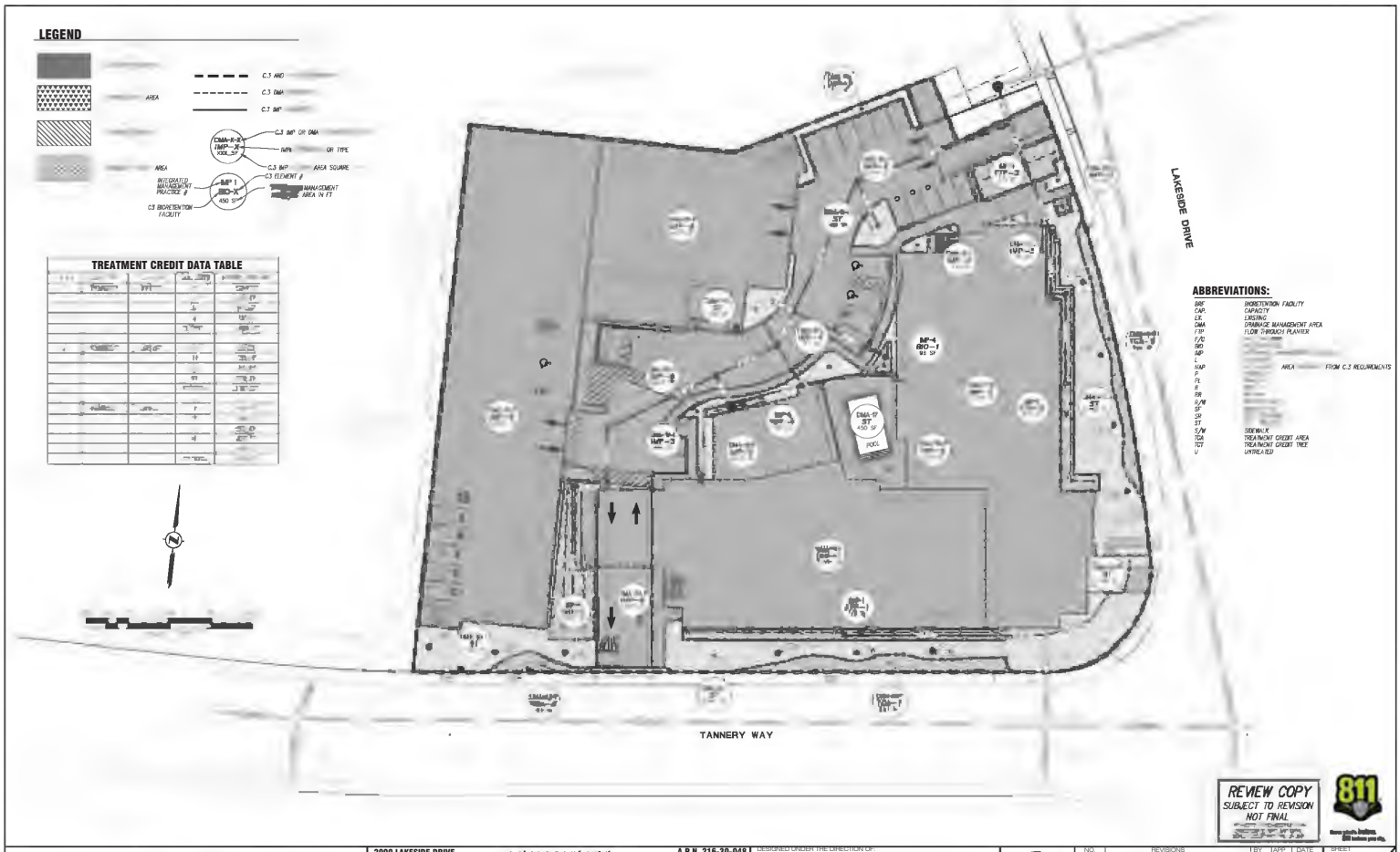
JOB NO: 1210
DATE: FEBRUARY 2019
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

SHEET C9 OF 17 SHEETS



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CITY OF SANTA CLARA

CAMBRIA HOTEL

SITE PLAN

C.3 TREATMENT PLAN

SANTA CLARA COUNTY

CALIFORNIA

A.P.N. 216-30-048

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19

DATE

DESIGN: KRA
DRAWN: KRA/SMS/LML
CHECKED: KRA

JOB NO.: 1210
DATE: FEBRUARY 2019
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

SHEET C10 OF 17 SHEETS

SP-10 C3 03-08-11 PM Kenlacsch
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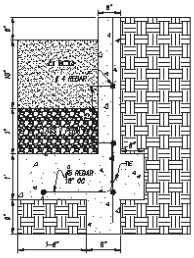
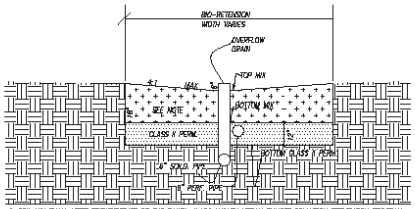


DEEPEND WALL ADJACENT TO BIO-RETENSION BASIN

NOT TO SCALE

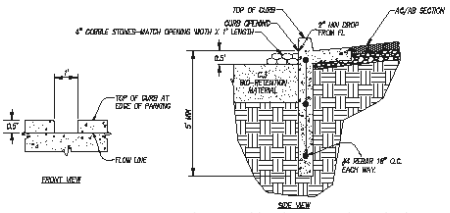
RETAINING WALL CONSTRUCTION NOTES:

1. ALL REBAR SHALL BE GRADE 60 PER ASTM A615. ALL REBAR TO BE CLEAN AND FREE OF DEBRID AND RUST.
2. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI.
3. MINIMUM REBAR COVER OF 3" AT ALL FOOTING LOCATIONS.



NOTE: 1. SOIL MIX SHALL MEET REQUIREMENTS OF THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK DATED: JUNE, 2016, APPENDIX C

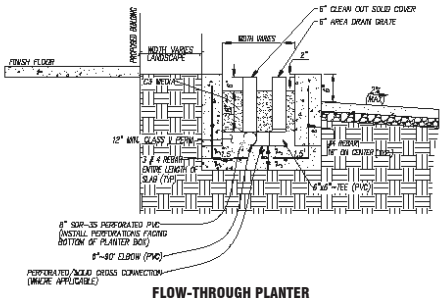
C3 BIO-RETENTION BASINS



DEEPENED CURB AT C3 BIO-RETENTION BASINS

NOT TO SCALE

TREATMENT CREDIT DATA TABLE				
T.C.A.#	T.C.A. TYPE	T.C.A. SIZE	T.C.A. TREE#	APPROX. DRIP LINE
1	PAVEMENT	833 SF	6	1,050 SF
			7	405 SF
			8	610 SF
			9	705 SF
			SF TOTAL	2,790 SF
2	PAVEMENT	485 SF	10	610 SF
			11	700 SF
			12	720 SF
			13	705 SF
			SF TOTAL	3,000 SF
3	PAVEMENT	349 SF	1	400 SF
			2	385 SF
			3	520 SF
			4	390 SF
			5	475 SF
			SF TOTAL	2,020 SF



FLOW-THROUGH PLANTER

NOT TO SCALE

Project Name: CAMBRIA HOTEL
Project Type: Treatment Only
APN: 216-30-048
Drainage Area: 85,395
Mean Annual Precipitation: 14.8

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA3	1,481.0
DMA4	348.0
DMA5	3,056.0
DMA13	309.0
DMA14	235.0
DMA17	430.0
DMA22	1,782.0

II. Self-Retaining Areas (SEE NOTE 1 BELOW)

Self-Retaining DMA	
DMA Name	Area (sq ft)
DMA1	63
DMA2	68
DMA21	145

IV. Areas Draining to IMPs

IMP Name: IMP1
IMP Type: Flow-Through Planter
Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA1	12,588	Conventional Roof	1.00	12,588				
			Total	12,588				
				Area	0.040	1.000	504	775

IMP Name: IMP2
IMP Type: Flow-Through Planter
Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA7	12,753	Conventional Roof	1.00	12,753				
			Total	12,753				
				Area	0.040	1.000	510	911

IMP Name: IMP3
IMP Type: Flow-Through Planter
Soil Group: IMP3

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA8	84	Landscape	0.10	8				
DMA9	115	Landscape	0.10	12				
DMA10	9,036	Concrete or Asphalt	1.00	9,036				
DMA11	413	Landscape	0.10	41				
DMA12	8,202	Concrete or Asphalt	1.00	8,202				
DMA25	115	Landscape	0.10	12				
			Total	17,309				
				Area	0.040	1.000	692	710

IMP Name: IMP4
IMP Type: Bioretention Facility
Soil Group: IMP4

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA15	411	Landscape	0.10	41				
DMA16	1,252	Concrete or Asphalt	1.00	1,252				
			Total	1,293				
				Area	0.040	1.000	52	96

IMP Name: IMP6
IMP Type: Bioretention Facility
Soil Group: IMP6

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA20	5,963	Concrete or Asphalt	1.00	5,963				
DMA21	15,090	Concrete or Asphalt	1.00	15,090				
DMA22	1,647	Concrete or Asphalt	1.00	1,647				
			Total	22,700				
				Area	0.040	1.000	908	1,905

IMP Name: IMP5
IMP Type: Flow-Through Planter
Soil Group: IMP5

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Min mum Area or Volume	Proposed Area or Volume
DMA18	2,000	Concrete or Asphalt	1.00	2,000				
DMA19	484	Landscape	0.10	48				
			Total	2,048				
				Area	0.040	1.000	81	81

NOTE:
1. DUE TO PROGRAM LIMITATIONS, TREATMENT CREDIT AREAS OF SITE ARE LISTED AS SELF-RETAINING.
2. SEE TREATMENT CREDIT DATA TABLE (THIS SHEET AND SHEET C10).

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811 Know what's below. Call before you dig.

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CITY OF SANTA CLARA

A.P.N. 216-30-048

SANTA CLARA COUNTY

CAMBRIA HOTEL
SITE PLAN
C.3 TREATMENT REPORT & DETAILS

CALIFORNIA

DESIGNED UNDER THE DIRECTION OF
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE
DESIGN: KRA
JOB NO: 1210
DRAWN: KRA/SMS/LML
DATE: FEBRUARY, 2019
CHECKED: KRA
SCALE: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
No. 35121
MICHAEL E. MILANI
CIVIL
STATE OF CALIFORNIA

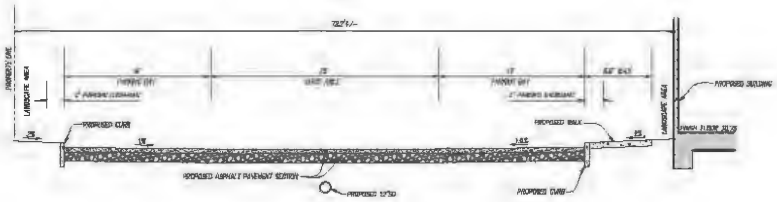
NO.	REVISIONS	BY	APP.	DATE

C11

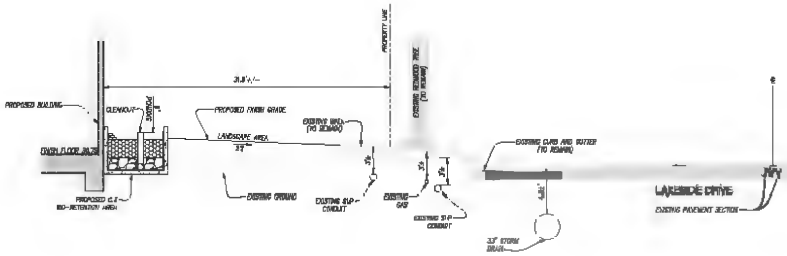
17 SHEETS

R:\Jobs\1210\Site Plan\1210-SP-dwg SP-11 C3 NOTES 3-12-19 03:16:40 PM KenKrach

REVIEW COPY
SUBJECT TO REVISION
NOT FINAL



SECTION A-A
HORIZ: 1"=5'
VERT: 1"=1'
SEE SHEET S1



SECTION B-B
HORIZ: 1"=5'
VERT: 1"=1'
SEE SHEET S1

811
www.usanorthern
811 Underground Alert

Storm Water Monitoring & Reporting
Land Development Engineering
Environmental Engineering
Municipal Engineering
Surveying & Mapping
Construction Staking

& Associates
MILANI

3950 Stanwell Drive, Suite 100
Concord, CA 94520
Phone: (925) 674-0202
Fax: (925) 674-0279

2900 LAKESIDE DRIVE

CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
TYPICAL SECTIONS

SANTA CLARA COUNTY

A.P.N. 216-30-048

CALIFORNIA

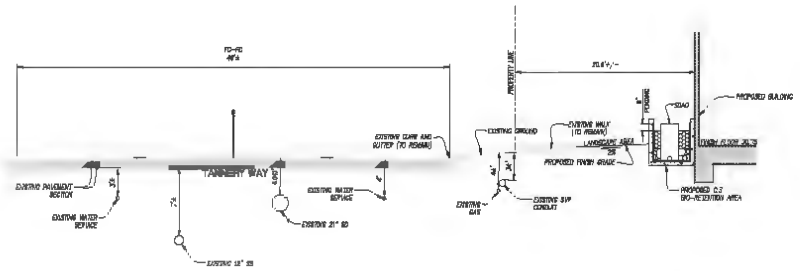
DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE
DESIGN: KRA
JOB NO: 1210
DRAWN: KRA/BMS/LML
DATE: FEBRUARY 2019
CHECKED: KRA
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

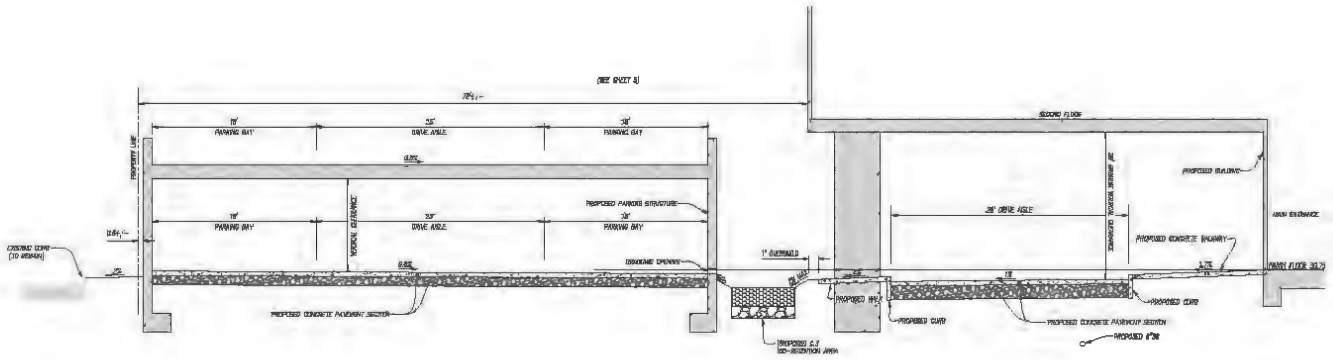
SHEET C12 OF 17 SHEETS

R:\Jobs\1210\Site Plan\1210-SP.dwg SP-12 SECTIONS 3-13-19 03:06:17 PM KANDRAP

REVIEW COPY
SUBJECT TO REVISION
NOT FINAL



SECTION C-C
HORIZ. 1"=5'
VERT. 1"=1'
(SEE SHEET 5)



SECTION D-D
HORIZ. 1"=5'
VERT. 1"=1'
(SEE SHEET 5)

Storm Water Monitoring & Reporting
Land Development Engineering
Environmental Engineering
Municipal Engineering
Surveying & Mapping
Construction Staking

MILANI & Associates

3955 Stanwell Drive, Suite 103
Concord, CA 94520
Phone: (925) 674-9082
Fax: (925) 674-9278

2900 LAKESIDE DRIVE
CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
TYPICAL SECTIONS
SANTA CLARA COUNTY

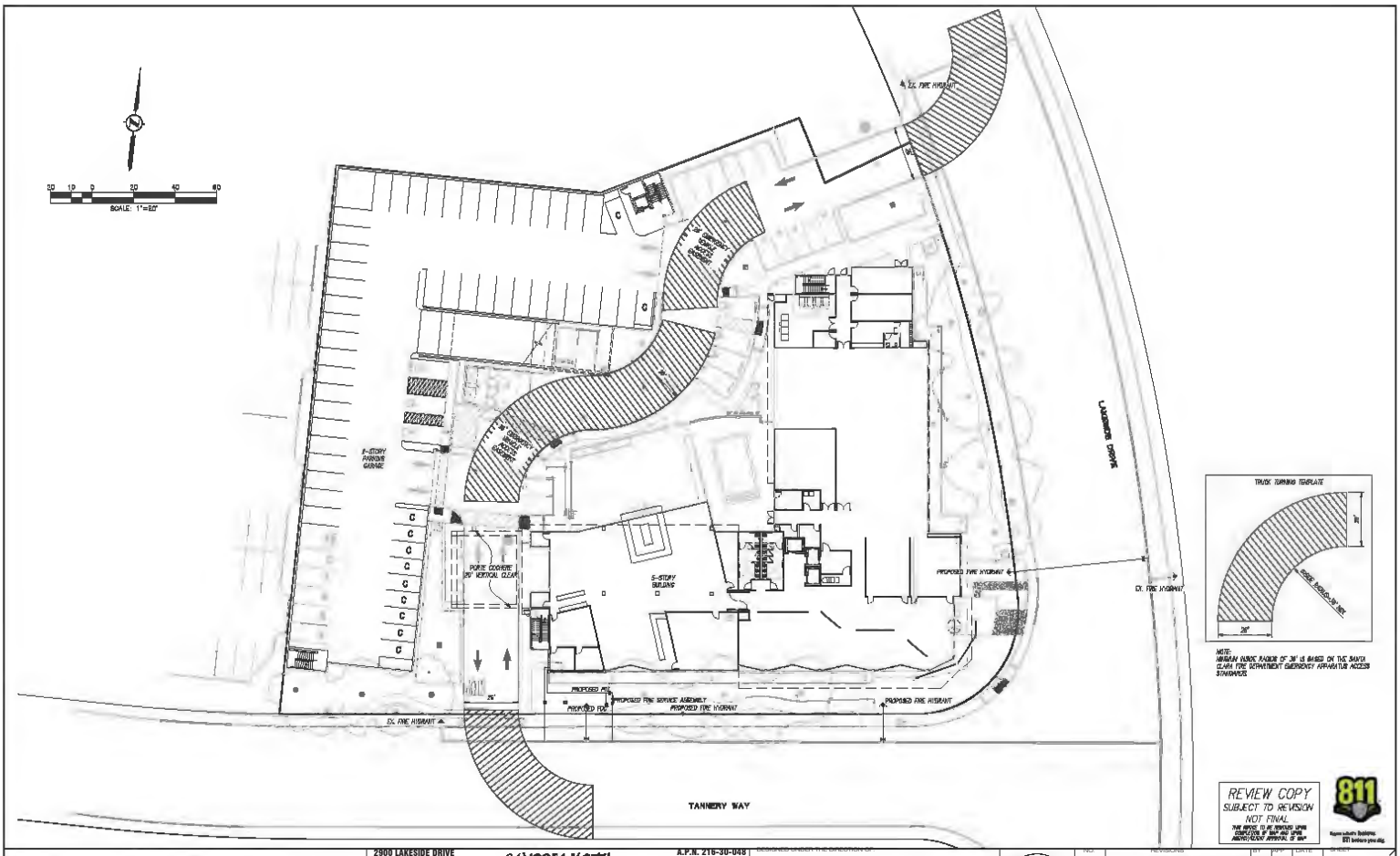
A.P.N. 216-30-048
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE
DESIGN: KRA
JOB NO: 1210
DRAWN: KRA/SMS/LME
DATE: FEBRUARY 2019
CHECKED: KRA
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

C12
17 SHEETS

R:\Milani\1210\Site Plan\1210-SP.dwg SP-12SECTIONS 3-1-19 09:48:38 PM PaulGuzzi



Storm Water Monitoring & Reporting
Land Development Engineering
Environmental Engineering
Municipal Engineering
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2855 Stanwell Drive, Suite 105
Concord, CA 94520
Phone: (925) 674-9082
Fax: (925) 674-8278

2900 LAKESIDE DRIVE

CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
FIRE ACCESS EXHIBIT

SANTA CLARA COUNTY

CALIFORNIA

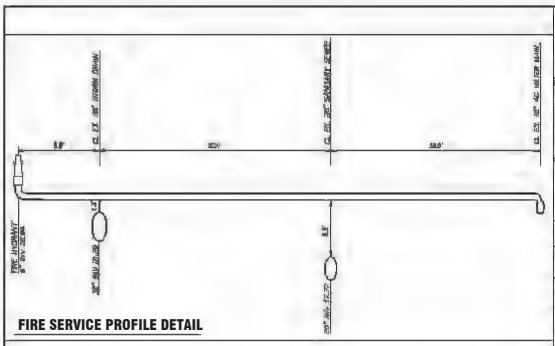
A.P.N. 216-30-048

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE
DESIGN: KRA
JOB NO: 1210
DRAWN: KRA/SMS/JML
DATE: FEBRUARY 2019
CHECKED: KRA
SCALE: AS SHOWN

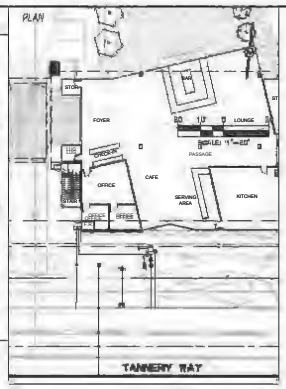
NO.	REVISIONS	BY	APP	DATE

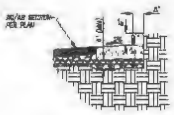
SHEET **C13** OF **17** SHEETS

R:\MILANI\1210\Site Plan\1210-SP-13.DWG 3-1-19 02:55:03 PM KenAndrade



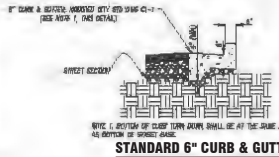
FIRE SERVICE PROFILE DETAIL





6" SPILL CURB w/ GUTTER

NOT TO SCALE

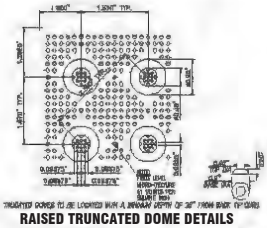


STANDARD 6" CURB & GUTTER

NOT TO SCALE

CURB OPENING

NOT TO SCALE

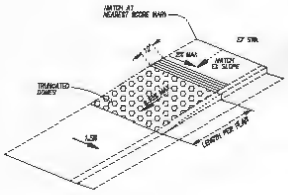


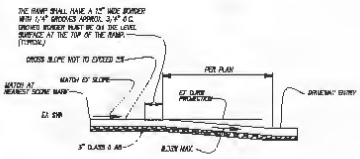
RAISED TRUNCATED DOME DETAILS

NOT TO SCALE

ADA RAMP GROOVING DETAIL

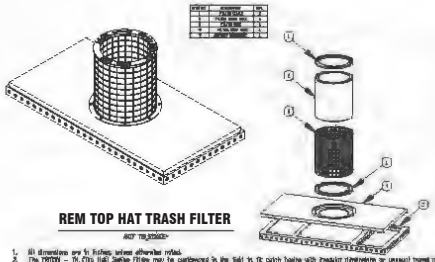
NOT TO SCALE





RAMP DETAIL AT DRIVEWAY ENTRY

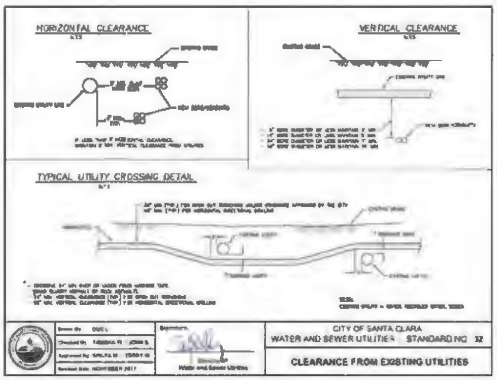
NOT TO SCALE

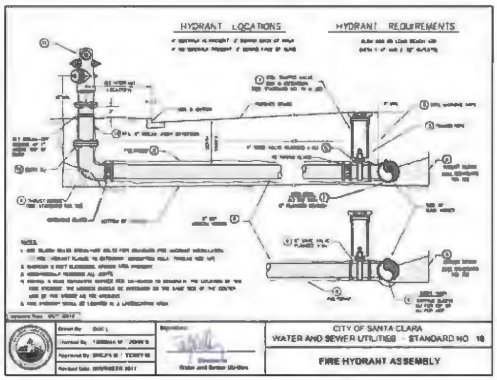


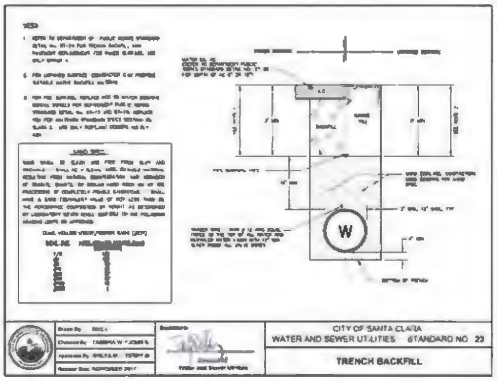
REM TOP HAT TRASH FILTER

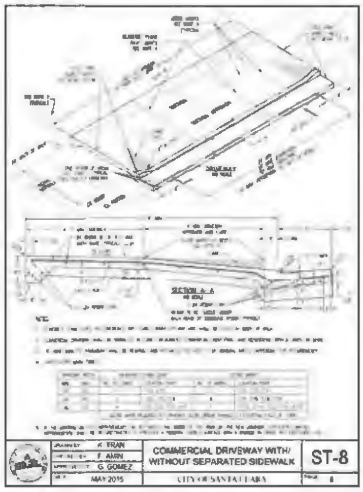
NOT TO SCALE

1. All dimensions are in inches unless otherwise noted.
2. The TRITON - TL (TL) Full Series filters may be configured in the field to fit catch basins with irregular dimensions or unusual frame and grate types. All TRITON filters contain the unique skirt which protects against floatables and pollutants.
3. Inner defse are manufactured using non-corrosive high density polyethylene plastic (HDPE) with UV01 U.V. inhibitor.
4. Filter cartridge housings are constructed utilizing Type 304 Stainless Steel with 1" welded square openings.
5. Removable cartridge fabric is constructed utilizing REM ACE proprietary non-woven high density polypropylene fabric with added U.V. inhibitor.
6. REM TRITON replacement filter media pouches are charged with REM FOG media as requested related with medium treated to be highly hydrophobic, focused to repelling oil-media, oil-media, oil-media,









REVIEW COPY
SUBJECT TO REVISION
NOT FINAL
THIS PLAN IS TO BE REVISED UPON COMPLETION OF DRAFT AND UPON AGENCY/CLIENT APPROVAL OF MAP

811

Storm Water Monitoring & Reporting
Land Development Engineering
Environmental Engineering
Municipal Engineering
Surveying & Mapping
Construction Staking

MILANI & Associates

2855 Stanwell Drive, Suite 105
Concord, CA 94520
Phone: (925) 674-0032
Fax: (925) 674-0279

2900 LAKESIDE DRIVE

CITY OF SANTA CLARA

CAMBRIA HOTEL
SITE PLAN
CITY OF SANTA CLARA DETAILS

SANTA CLARA COUNTY CALIFORNIA

A.P.N. 216-30-048

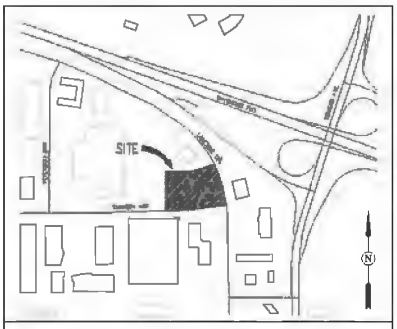
DESIGNED UNDER THE DIRECTION OF
MICHAEL E. MILANI
R.C.E. No. 35121 REGISTRATION EXPIRES 9-30-19
DATE
DESIGN: KRA
JOB NO: 1210
DRAWN: KRA/EM/SLLM
DATE: FEBRUARY 2016
CHECKED: KRA
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE

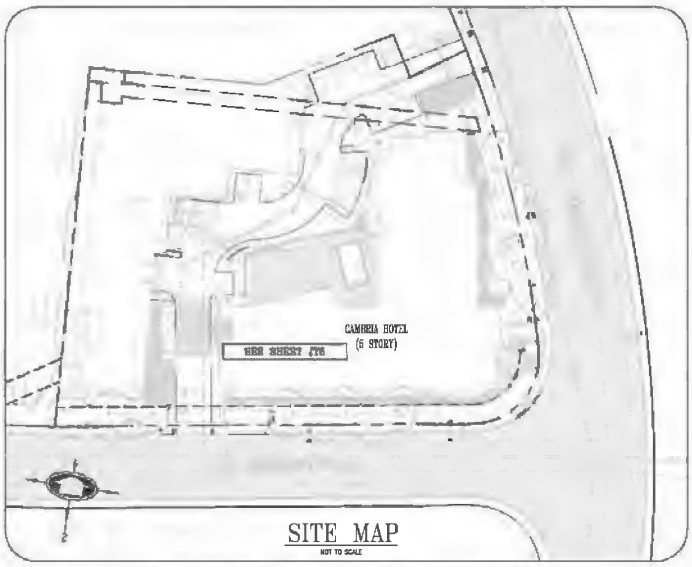
SHEET C15 OF 17 SHEETS

R:\Jobs\12\P-Site Plan\1210-SP.dwg SP-15 CITY DETAILS 3-25-19 03:51:22 PM Kevinlamb

STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL
SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



VICINITY MAP
NOT TO SCALE



SITE MAP
NOT TO SCALE

LEGEND

- JT — PROPOSED JOINT TRENCH
- SVP — PROPOSED S.V.P. TRENCH
- EX SVP — EXISTING S.V.P. TRENCH
- EX JT — EXISTING JOINT TRENCH
- GAS — PROPOSED GAS
- EX GAS — EXISTING GAS
- EEUG — EXISTING UNDERGROUND ELECTRIC LINES
- EUUG — EXISTING UNDERGROUND UTILITY LINES
- ETUG — EXISTING UNDERGROUND TELEPHONE LINES
- EEOH — EXISTING OVERHEAD ELECTRIC LINES
- UNDERGROUND UTILITY LINES TO BE CLEARED
- T.U.P. 39, PAD MOUNT TRANSFORMER PAD SIZE-75" x 54" WITH 96" x 84" APRON SIZE
- S.V.P. UTILITY ELECTRIC BOX, 17" X 30"
- TELEPHONE SERVICE BOX, 24" x 36" x36"
- CATV BOX, 30" x 42" x12"
- 845 BELLHOLE, 5' x 5'
- XX-XX — JOINT TRENCH LABEL "A ROMAN SECTION NUMBER-" "B GREATER TRENCH SECTION LENGTH"
- PEAK SECTION DEPTH
- (X) — SHEET/DETAIL NUMBER REFERENCE. SILICON VALLEY POWER UC1000

SHEET INDEX

SHEET NO.	DESCRIPTION
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2	JOINT TRENCH GENERAL NOTES AND DETAILS
JT3	JOINT TRENCH DETAILS
JT4	JOINT TRENCH SECTIONS AND DETAILS
JT5	JOINT TRENCH COMPOSITE PLAN
P1 - P2	PHOTO EXHIBIT SHEET

434 L.F. OF JOINT TRENCH
SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

1 NEW FULL SERVICE COMPLETION (5 STORY HOTEL)

TARRAN UTILITY REP.:	[illegible]	JOB NO.	[illegible]	PHONE NO.	[illegible]
DEVELOPER:	[illegible]	JOB NO.	[illegible]	PHONE NO.	[illegible]
SVP ELECTRIC COORDINATOR:	[illegible]	JOB NO.	[illegible]	PHONE NO.	[illegible]
PG&E GAS COORDINATOR:	[illegible]	JOB NO.	[illegible]	PHONE NO.	[illegible]
TELEPHONE REP.:	[illegible]	JOB NO.	[illegible]	PHONE NO.	[illegible]
CABLE T.V. REP:	[illegible]	JOB NO.	[illegible]	PHONE NO.	[illegible]

PLANS STATUS

DESCRIPTION:	BY:	DATE:	STATUS:
CIVIL PLANS (ELECTRONIC FILE)	[illegible]	[illegible]	[illegible]
ARCHITECTURAL PLANS (ELECTRONIC FILE)	[illegible]	[illegible]	[illegible]
LANDSCAPE PLANS (ELECTRONIC FILE)	[illegible]	[illegible]	[illegible]
GAS DESIGN	[illegible]	[illegible]	[illegible]
ELECTRIC DESIGN	[illegible]	[illegible]	[illegible]
TELEPHONE INTENT REPLY	[illegible]	[illegible]	[illegible]
CATV INTENT REPLY	[illegible]	[illegible]	[illegible]
STREET LIGHT PLANS – PUBLIC	-	-	-
STREET LIGHT PLANS – PRIVATE	-	-	-
SOILS REPORT	[illegible]	[illegible]	[illegible]

A = APPROVED ● AAS = APPROVED NOT SIGNED ● NA = NOT APPROVED ● F = FINAL SUBMITTAL ● S = SIGNED SUBMITTAL ● R = RECEIVED

CONDITIONS IMPOSED BY DEVELOPER

Reference #: _____

Approved: _____ Date: _____

CONDITIONS IMPOSED BY DEVELOPER

Approved: _____ Date: _____
Telephone representative

Approved: _____ Date: _____
SVP representative

CONDITIONS OF APPROVAL

Approved: DANIEL
Director of Public Works/City Engineer
City of Santa Clara

Public Works Maintenance — DATE
PROVIDED

Land and Property Development Division — DATE

Water Engineering Division — DATE

Street Maintenance Division — DATE

Silicon Valley Power — Date

Gas and Home Utilities Department — DATE

This approval does not mean the Director of Public Works/City Engineer nor the City can accept any part or parts of the work done under or in connection with these plans that have not been properly inspected.

DEVELOPER PLANS TO BE ON JOB SITE

ALL S.V.P. ENGINEERS AND CREWS HAVE BEEN SET TO DRAWING ACCORDING TO THESE PLANS. THERE WILL BE NO DEVIATIONS. ALL CREWS TO REQUIRE AN SVP/CITY ENGINEER OR A LICENSED SURVEYOR TO BE ON SITE TO ENSURE. PLEASE MAKE YOUR JOB SITE AWARE THE MINIMUM SPACE OF ALL EASEMENTS AND DRIVES AND SIGN AND GATE PLACES.

NAME: _____ DATE: _____

[illegible]
(925) [illegible]
(925) [illegible] fax
www.tarrar.com

TARRAR UTILITY CONSULTANTS

● Telecom ● Energy ● Earthworking ● Joint Trench ● Street Lighting ● Fiber Optic ● U.S. DOT ● PG&E Gas Design ● PG&E Elec Design ● S.V.P. Design ● Cost Analysis ● Gas Mitigation

JOINT TRENCH COMPOSITE TITLE SHEET
STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL
SANTA CLARA CALIFORNIA

NO.	REVISION	BY	DATE

DWG: SEPTEMBER [illegible] — SUN JAY WONG DR. [illegible]
SCALE: 40' TO 30'0" — DRAWN: [illegible] — CHECKED: [illegible]
JOB NO: [illegible] — PRELIMINARY — NOT FOR CONSTRUCTION

510-727-3800

SHEET JT1 OF JT5

PROJECT NOTES:

2. [illegible] AS [illegible] OR
3. [illegible] ADJUST [illegible] CLEAR [illegible]
4. [illegible]
5. [illegible] SEE [illegible]
6. [illegible] BOXES, [illegible] & [illegible]
7. [illegible] AND [illegible] TV. AND [illegible] SEWER, WATER & [illegible] AND [illegible]
8. [illegible] ANY [illegible]
9. [illegible] BE [illegible] AVOID [illegible] BOX [illegible] MAY [illegible]
10. [illegible] COMPANY [illegible] APPROVAL [illegible] ABOVE [illegible]
12. [illegible]
13. [illegible] AS [illegible] AND [illegible]
14. [illegible] OR [illegible] WALLS.
15. [illegible] AND [illegible]
16. [illegible] AS [illegible] (TYPICAL).
17. [illegible] AS [illegible] BY [illegible] COMPANY.
18. [illegible] 1000 [illegible]
19. [illegible] BE [illegible]
20. [illegible] COMPANY AS [illegible]
21. [illegible] LABOR RECAP" [illegible]
22. [illegible] BY [illegible] A [illegible]
23. [illegible] BE 5' [illegible] AVOID [illegible] BLOCK.
24. [illegible] AND LABOR RECAP" [illegible]
25. [illegible] 3' CLEARANCE AND [illegible] AREA [illegible] & XFMRS.
26. [illegible]
27. [illegible] ARE [illegible] AT [illegible]
28. [illegible]
29. PLANS WORK [illegible] PLANS [illegible] FROM [illegible] (925) 674-9082.

ABBREVIATION LIST

B/C	BACK OF CURB				
B/W	BACK OF WALK	KV	[illegible]	R/W	RIGHT OF WAY
E	[illegible]		[illegible]	SD	[illegible]
CL	[illegible]		[illegible]	SHT.	[illegible]
C OR CATV	[illegible]	MH	[illegible]	S/W	[illegible]
CFH	CUBIC FEET PER HOUR	[illegible]	[illegible]	SS	[illegible]
Conc.	[illegible]	[illegible]	[illegible]	SSE	[illegible]
EXAC	[illegible]	N.T.S.	NOT TO SCALE	ST.	[illegible]
		O.D.	[illegible]		
E	[illegible]	O.H.	[illegible]		
F/C	FACE OF CURB		[illegible]	TYP.	THREAD
	FIRE		PROPERTY LINE	T/S	[illegible]
	[illegible]	P.S.	POWER SUPPLY		
F.G.	[illegible]	PSDE	[illegible]		
G	GAS	PSE	[illegible]	W	WATER
GRD.	[illegible]	PWR	[illegible]	W/	[illegible]
				W/O	[illegible]

THIS AREA RESERVED FOR
STREET SECTIONS
TO BE PLACED AT A LATER TIME

[illegible]

[illegible] ROADWAY [illegible]
(95% [illegible] 90%
BELOW [illegible]

CITY OF SANTA CLARA PUBLIC WORKS DEPARTMENT DESIGN CRITERIA – EXHIBIT C

GENERAL NOTES:

2. [illegible] CITY'S [illegible] PAY [illegible]
3. [illegible]
4. [illegible] AREAS [illegible] BY [illegible] AT [illegible] APPROVAL [illegible]
5. [illegible] RAMP [illegible] FACE [illegible] AN [illegible] BASE [illegible] ON FILE [illegible] REMOVAL [illegible] A.C. [illegible] P.C.C. [illegible] PAVEMENT [illegible] A.C. [illegible] P.C.C. [illegible] MATCH [illegible]
6. [illegible]
7. [illegible] A DRIVEWAY. [illegible] DAMAGED [illegible] MAY [illegible] AND [illegible] A [illegible]
8. [illegible] (E.G. [illegible] WORK, [illegible] SEAL [illegible]
9. [illegible] VALVE [illegible] BOXES, [illegible] AREA [illegible]
10. [illegible] ARE [illegible] TORN [illegible]

[illegible] WORK.

[illegible] AND [illegible]

[illegible] AND [illegible] AT [illegible] TIMES.

14. [illegible]
15. [illegible]
16. [illegible] ALLOW [illegible] SYSTEM. [illegible] SANTA CLARA [illegible] AT LOCATION(S) [illegible] BY [illegible]
18. [illegible] CLASS 2 A.B. [illegible] CURB, [illegible] AND [illegible] 95% [illegible]
19. [illegible] AS [illegible] BY [illegible]

GENERAL NOTES:

2. [illegible] OF [illegible] AND [illegible]
3. [illegible]
4. [illegible] AND [illegible] A SAND [illegible] 4" MAY [illegible] AS A [illegible] ON [illegible]
6. [illegible] AND [illegible]
7. [illegible] ANY [illegible] TARRAR [illegible]
8. [illegible] CONTRACTOR'S [illegible] OF [illegible] CALL U.S.A. A [illegible] AT [illegible] BY [illegible] (800)227-2600 FOR [illegible]
9. [illegible]
10. [illegible] ARE [illegible]
12. [illegible] OR [illegible] MAY [illegible] OVER, [illegible] SEWER, W [illegible] LOCATE [illegible] AND [illegible] OR [illegible] THIS WORK [illegible] AS EXTRA WORK. [illegible] PLANS. [illegible] ALLOWANCE
13. [illegible]
14. [illegible]
15. [illegible] VARIANCE [illegible] PLANS [illegible] CONTRACTOR [illegible]
16. CONTRACTOR [illegible] EXCAVATE [illegible] AS [illegible] BY [illegible]
17. [illegible]
18. [illegible] PG&E'S GAS [illegible] S.V.P. [illegible] SYSTEMS [illegible]
19. [illegible] TWO [illegible] DAYS PRIOR TO COMMENCEMENT OF WORK. [illegible] ANY [illegible]
20. [illegible] MAY, [illegible]
21. [illegible] GAS [illegible] BY [illegible] 07/1/95) [illegible]
22. [illegible]
23. [illegible] OR [illegible]
24. [illegible] COMPANY [illegible]
25. [illegible] FOR [illegible] ACCESS [illegible] ARE [illegible] AT [illegible]
26. [illegible]
27. [illegible] FOR [illegible] EXTRA [illegible]
28. [illegible] S.V.P. [illegible] ARE [illegible]
29. [illegible] MAKE [illegible] PLANS [illegible] WORK [illegible]
30. [illegible] OR [illegible] WAY AS [illegible]

SAND [illegible] AS [illegible] AS SAND [illegible] SANTA CLARA [illegible]

32. [illegible]
33. [illegible]
34. [illegible]
35. [illegible] SANTA CLARA [illegible] FOR [illegible] SANTA CLARA [illegible] OF [illegible] EXCAVATION [illegible]

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JOINT TRENCH GENERAL NOTES AND DETAILS

STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL
SANTA CLARA CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: SEPTEMBER 2018	DATE LAST WORKED ON: 3/26/2019
SCALE: NOT TO SCALE	DRAWN: ND / CHECKED: KT
JOB NO.: 218030	PRELIMINARY NOT FOR CONSTRUCTION

800-227-2600

REGISTERED PROFESSIONAL ENGINEER — KEVIN TRAPP — C 58148 — Exp 06/30/19 — CIVIL — STATE OF CALIFORNIA

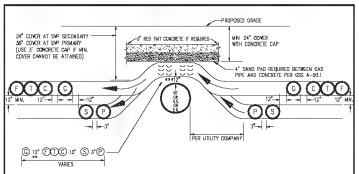
SHEET JT2 OF JT5 SHEETS

	DISTANCE (when conduit enters box)			NOTES
		"X"	"Y"	
"A"	2' x 2'	24'	7'	BEND IS 90° RADIUS WITH AN ANGLE OF 10 DEG. USE 2-3-S COUPLINGS WITH 1-4" CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 3'-6"			
"B"	2' x 2'			BEND IS 30° RADIUS WITH AN ANGLE OF 10 DEG. USE 2-3-S COUPLINGS WITH 2-2 1/2" CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 3'-6"	32'		

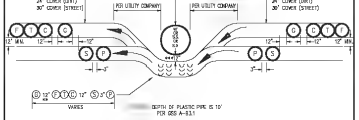
NOTE:

1. CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
2. DRAWING FOR CLARITY.
3. CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN EXCAVATION COST.

SCALE



JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 1 (PREFERRED METHOD)



DEPTH OF PLASTIC PIPE IS 10'
PER GSS A-9.1

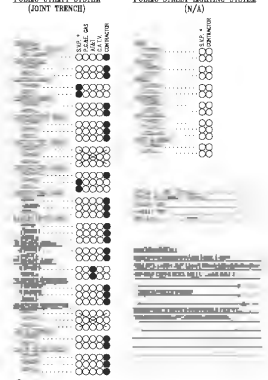
JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 2 (OPTIONAL METHOD)

- QUART
- ** WITH METRAL AGREEMENT, WHEN 4" CLO. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV)
- *** 12" MINIMUM REQUIRED BY SVP MAY BE REQUIRED BY CITY OR COUNTY

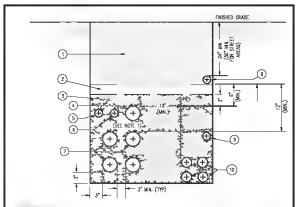
N.T.S.

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

PUBLIC UTILITY SYSTEM (JOINT TRENCH)	PUBLIC STREET LIGHTING SYSTEM (N/A)
SVP + P.G.&E. GAS + S.A.V. + CONTRACTOR	SVP + CONTRACTOR



● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.



LEGEND

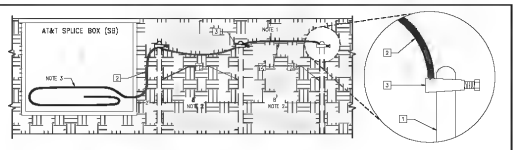
1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible] AREAS
8. BACKFILL
9. 6" [illegible]
10. 2" [illegible]
11. 4" [illegible]
12. 6" [illegible]
13. PG&E GAS
14. CATV
15. [illegible]

NOTES:

FOR [illegible] AND DUCT SPACING, SEE [illegible] 1000 SHTS. 35 AND 36.

[illegible]

DETAIL 3 — JOINT TRENCH CONFIGURATION
N.T.S. JT3 — REFER TO CITY OF SANTA CLARA
DWG. NO. UG1000 REV. 5.1, SHEET 35



LEGEND

1. x 5/8" DIAMETER
2. 6 AWG WIRE
3. [illegible]
4. [illegible]

NOTES

1. MINIMUM DEPTH – 12 INCHES
2. GROUND RODS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCROACHED UPON.
3. BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL 1 — AT&T AERIAL AND BURIED
N.T.S. JT3 — GROUND BED DESIGN

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- Cost Analysis
- Due Diligence

JOINT TRENCH DETAIL

STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL
SANTA CLARA CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: SEPTEMBER 2018 | DATE LAST WORKED ON: 2/22/2019
SCALE: NOT TO SCALE | DRAWN: ND | CHECKED: KT
JOB NO.: 218098 | PRELIMINARY NOT FOR CONSTRUCTION

800-227-2600

REGISTERED PROFESSIONAL ENGINEER — KEITH TARRAR — C 59348 Exp. 06/30/19 — CIVIL — STATE OF CALIFORNIA

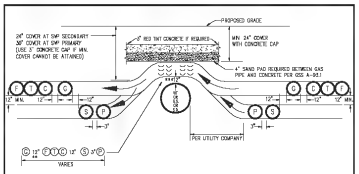
SHEET JT3 OF JT5 SHEETS

	DISTANCE (when conduit enters box)			NOTES
	"X"	"Y"	"Z"	
"A"	2' x 2'	24"	7'	BEND IS 90° RADIUS WITH AN ANGLE OF 10 DEG. USE 2-3-5 COUPLINGS WITH 1-5" CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 3'-6"	[illegible]	[illegible]	
"B"	2' x 2'	[illegible]	[illegible]	BEND IS 30° RADIUS WITH AN ANGLE OF 15 DEG. USE 3-3-5 COUPLINGS WITH 2-2 1/2" CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 8'-6"	32'	[illegible]	7'

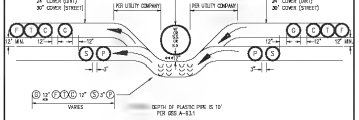
NOTE:

1. CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
2. [illegible] DRAWING FOR CLARITY.
3. CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN EXCAVATION COST.

[illegible] SCALE



JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 1 (PREFERRED METHOD)



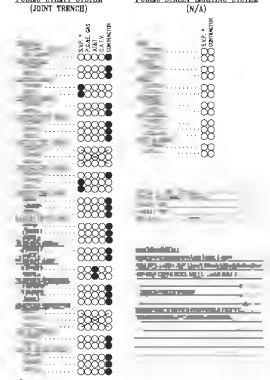
JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 2 (OPTIONAL METHOD)

* [illegible] CHART
** WITH METRAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV)
*** 12" MINIMUM REQUIRED BY SVP [illegible] MAY BE REQUIRED BY CITY OR COUNTY

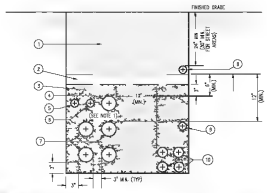
[illegible] N.T.S. [illegible]

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

PUBLIC UTILITY SYSTEM (JOINT TRENCH)	PUBLIC STREET LIGHTING SYSTEM (N/A)
SVP + PG&E GAS + SBC + CATV + CONTRACTOR	SVP + CONTRACTOR



● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.



LEGEND

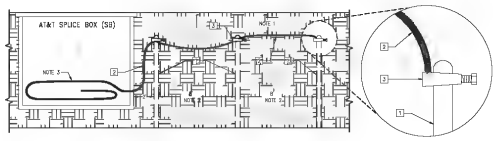
1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible] AREAS
8. [illegible]
9. [illegible]
10. [illegible]
11. [illegible]
12. [illegible]
13. [illegible]
14. [illegible]
15. [illegible]
16. [illegible]
17. [illegible]
18. [illegible]
19. [illegible]
20. [illegible]

NOTES:

FOR [illegible] AND DUCT SPACING, SEE [illegible] 1000 SHTS. 35 AND 36.

[illegible]

DETAIL 3 — JOINT TRENCH CONFIGURATION
N.T.S. JT3 — REFER TO CITY OF SANTA CLARA DWG. NO. UG1000 REV. 5.1, SHEET 35



LEGEND

1. x 5/8" DIAMETER [illegible]
2. [illegible] 6 AWG WIRE
3. [illegible]
4. [illegible]

NOTES

1. MINIMUM DEPTH = 12 INCHES
2. GROUND RODS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCROACHED UPON.
3. BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL 1 — AT&T AERIAL AND BURIED
N.T.S. JT3 — GROUND BED DESIGN

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- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH DETAIL

STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL
SANTA CLARA CALIFORNIA

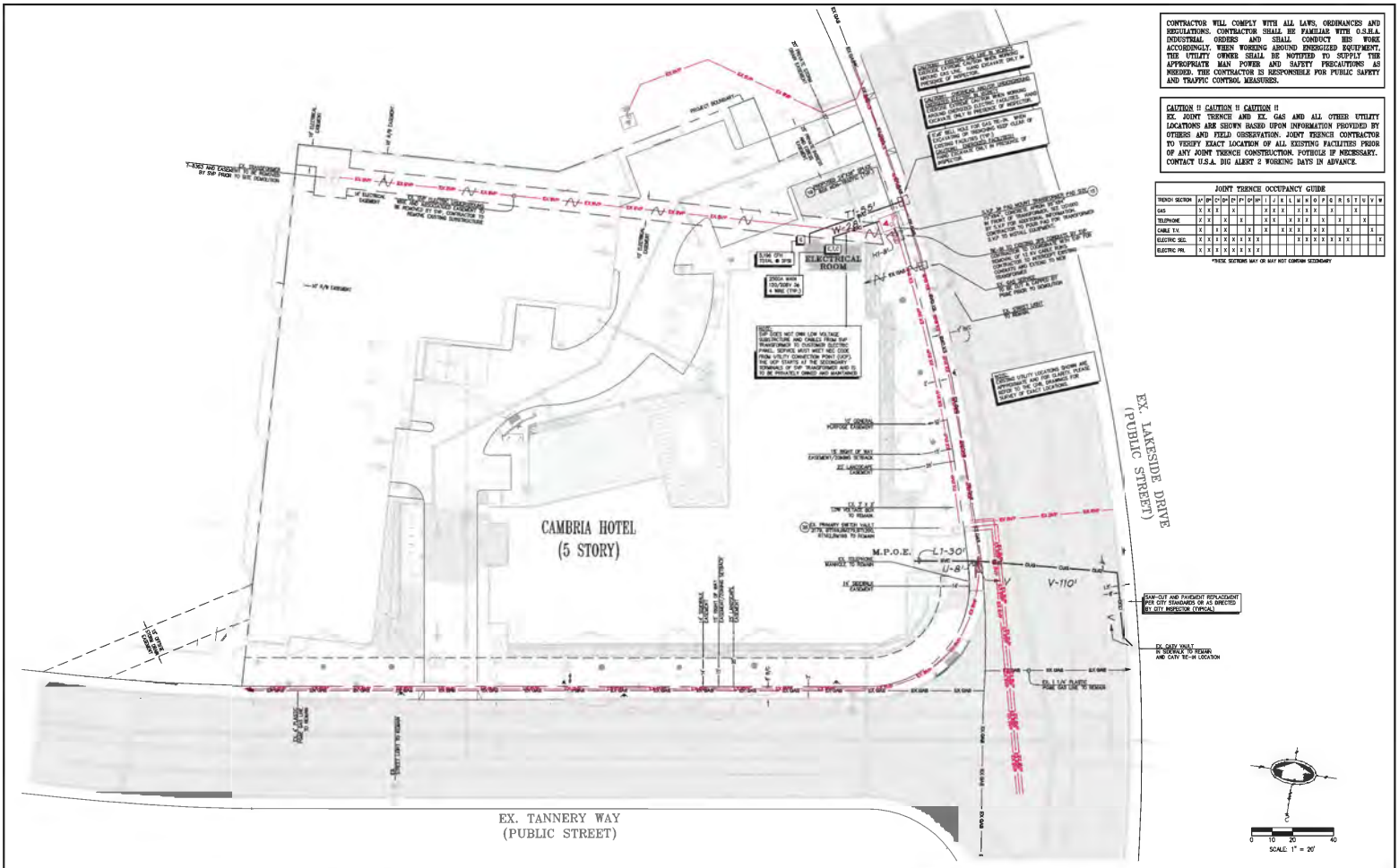
NO.	REVISIONS	BY	DATE

DATE: SEPTEMBER 2018 | DATE LAST WORKED ON: 2/22/2019
SCALE: NOT TO SCALE | DRAWN: ND | CHECKED: KT
JOB NO.: 218098 | PRELIMINARY NOT FOR CONSTRUCTION

800-227-2600

REGISTERED PROFESSIONAL ENGINEER — KEVIN TAYLOR — C 59348 Exp. 06/30/19 — CIVIL — STATE OF CALIFORNIA

SHEET JT3 OF JT5 SHEETS



CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

CAUTION !! CAUTION !! CAUTION !!
EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. BIG ALERT 2 WORKING DAYS IN ADVANCE.

JOINT TRENCH OCCUPANCY GUIDE

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X						X	X	X	X	X	X		X			X			
TELEPHONE	X	X		X		X				X	X		X	X	X		X		X			X	
CABLE T.V.	X		X	X			X		X	X	X		X	X	X		X			X			X
ELECTRIC SEC.	X	X	X	X	X	X	X	X					X	X	X	X	X	X	X				X
ELECTRIC PM.	X	X	X	X	X	X	X	X															

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

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JOINT TRENCH COMPOSITE PLAN

STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL
SANTA CLARA CALIFORNIA

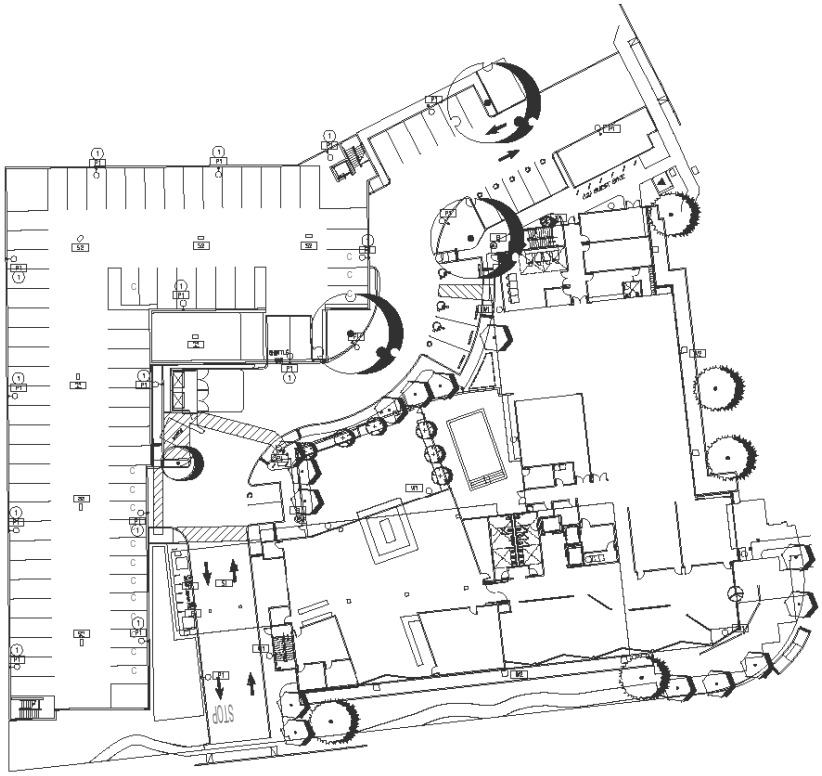
NO.	REVISIONS	BY	DATE

DATE: SEPTEMBER 2018
DATE LAST WORKED ON: 2/25/2019
SCALE: 1" = 20'
DRAWN: ND
CHECKED: KT
PRELIMINARY
JOB NO.: 218088
NOT FOR CONSTRUCTION

800-227-2600

REGISTERED PROFESSIONAL ENGINEER
KEVIN TARRAR
C 58346
Exp. 06/30/19
CIVIL
STATE OF CALIFORNIA

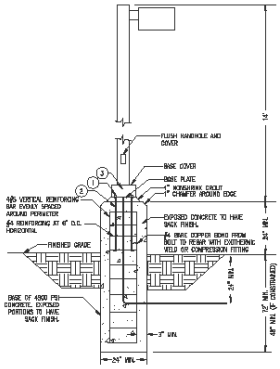
SHEET JT5 OF JT5 SHEETS



1 **ELECTRICAL SITE PLAN**
SCALE: 1" = 20'-0"

KEYED NOTES:

1. POLE IS MOUNTED ON TOP OF THE WALL OF THE ELEVATED PARKING STRUCTURE



POLE BASE DETAIL GENERAL NOTES:

1. WHERE CONCRETE SLAB OR PAVING IS IN DIRECT CONTACT WITH POLE BASE, THE BASE IS CONSTRAINED AND THE FOOTING DIMENSIONS MAY BE REDUCED AS NOTED.

POLE BASE DETAIL KEYED NOTES:

1. PROVIDE STAINLESS STEEL LOCKNUTS AND LOCKWASHERS.
2. PROVIDE ANCHOR BOLTS TO MATCH PATTERN AS PROVIDED BY MANUFACTURER.
3. STUB 3/4"Ø-4" ABOVE POLE BASE.

2 **POLE BASE DETAIL**
SCALE: N.T.S.

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ENGINEERING
SURVEYING
LANDSCAPE ARCHITECTURE
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(616) 226-2510
PHONE
FAX
WWW.ADS-ENGINEERING.COM

2/11/19

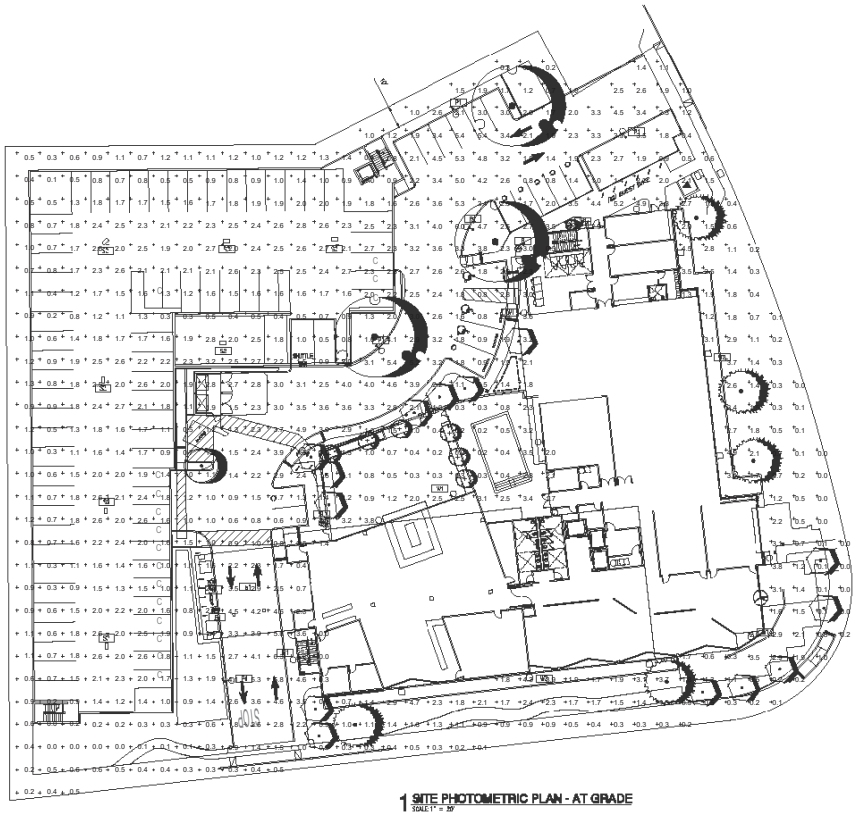
NO.	REVISIONS	DATE

STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL

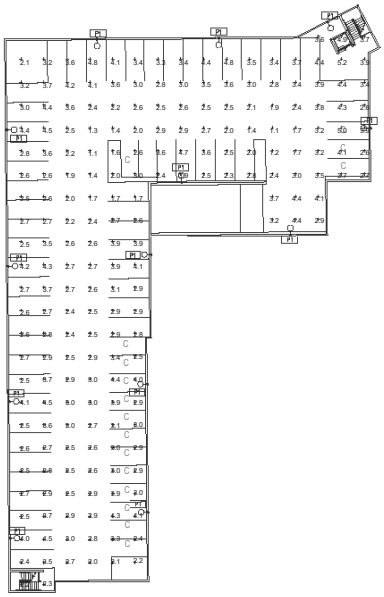
ELECTRICAL SITE PLAN

SCALE: AS NOTED
DATE: 10/10/18
DRAWN BY: DTS
CHECKED BY: RZE

SHEET
E1.0



1 SITE PHOTOMETRIC PLAN - AT GRADE
SCALE: 1" = 30'



2 SITE PHOTOMETRIC PLAN - ELEVATED PARKING STRUCTURE
SCALE: 1" = 30'

Schedule

Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Lamps per Lamp	Wattage	Mounting
	W1	Sternberg Lighting	LED LED CAMCAST3-MDL03-FG	Cast Aluminum Small size downlight, Flat Glass, Type 2	39 LEDs	3.140	34.1	Wall mount, +12'-0" A.F.F.
	W2	Lithonia Lighting	WSR LED 8 10A 700/835 SR3 MVOLT	WSR LED WITH 8 MODULES, 39 LEDS, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	Outdoor Wall Pack luminaire, to 924 LM 70-W. LUMINAIRE OUTPUT: 4947 Lms.	4947	47	Wall mount, +12'-0" A.F.F.
	S1	CREE	CRN-STK-49K-12	CRN - Round 16/12	Energy Star Fixture AR 2039763	SR1.2151	8.49	Surface
	S2	Lithonia Lighting	DSXSC LED 20C 700 40K TBM MVOLT	DSX SURFACE CANOPY FIXTURE WITH 2 LIGHT ENGINES, 700mA DRIVER, 4000K, LEDs, TBM OPTIC	LED	5968	49	Surface
	P1	Lithonia Lighting	MRI LED 42C 530 40K SR3 MVOLT	MRI AREA LIGHT 42 LEDs 530 mA DRIVE CURRENT 40K COLOR TEMP TYPE 3 DISTRIBUTION	HLM LIGHT ENGINE	7121	70	Pole, +16'-0" A.F.F.
	B	Forms+Surfaces	LBRN-LED-NS	BRICON BOLLARD	1499 Custom light engine, Cree XHB LED, 3000K/80CRI	12	13.8	BOLLARD

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GROUND LEVEL	+	1.7:1	6.3:1	0.0:1	N/A	N/A
2ND LVL PARKING	+	3.0:1	5.2:1	1.1:1	4.7:1	2.7:1

GENERAL NOTES:

1. VALUES SHOWN INDICATE ESTIMATED ILLUMINATION LEVEL AT GRADE IN FOOT-CANDLES. VALUES SHOWN ON ELEVATED PARKING STRUCTURE VIEW INDICATE ILLUMINATION LEVEL ON PARKING SURFACE.
2. LUMINAIRE SCHEDULE PROVIDED ON THIS SHEET IS FOR REFERENCE PURPOSES ONLY.
3. ILLUMINATION LEVEL AT GRADE INCLUDES OVERFLOW LIGHT FROM POLES LOCATED ON THE ELEVATED PARKING STRUCTURE.

ARCHITECTURE
ENGINEERING
MEP/FP/S
CIVIL
LANDSCAPE ARCHITECTURE
INTERIOR DESIGN
SUSTAINABILITY
project
date/rev

2/11/18

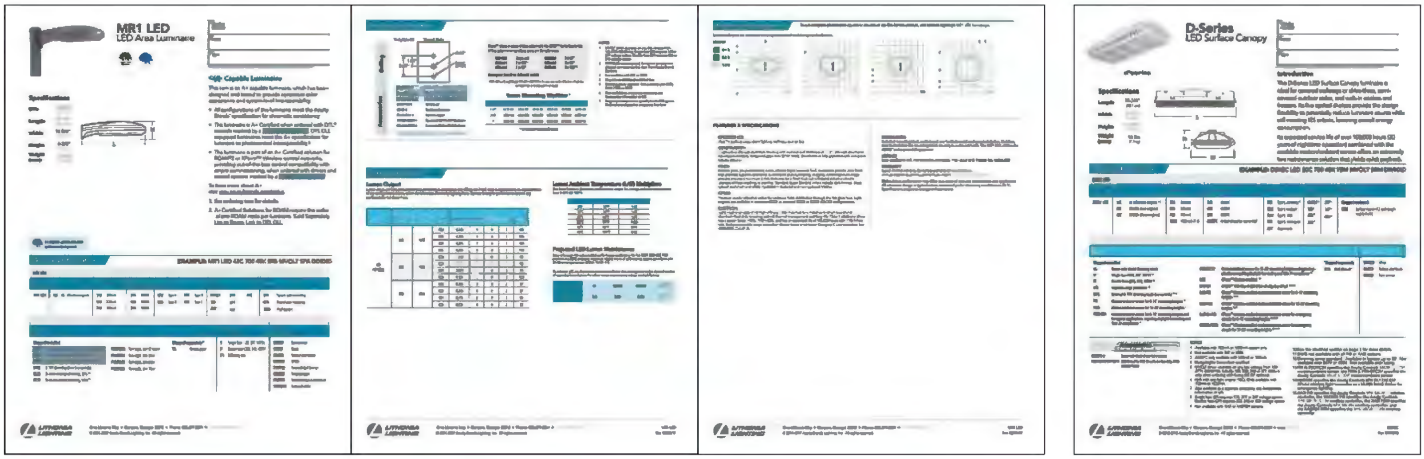
NO.	REVISIONS	DATE

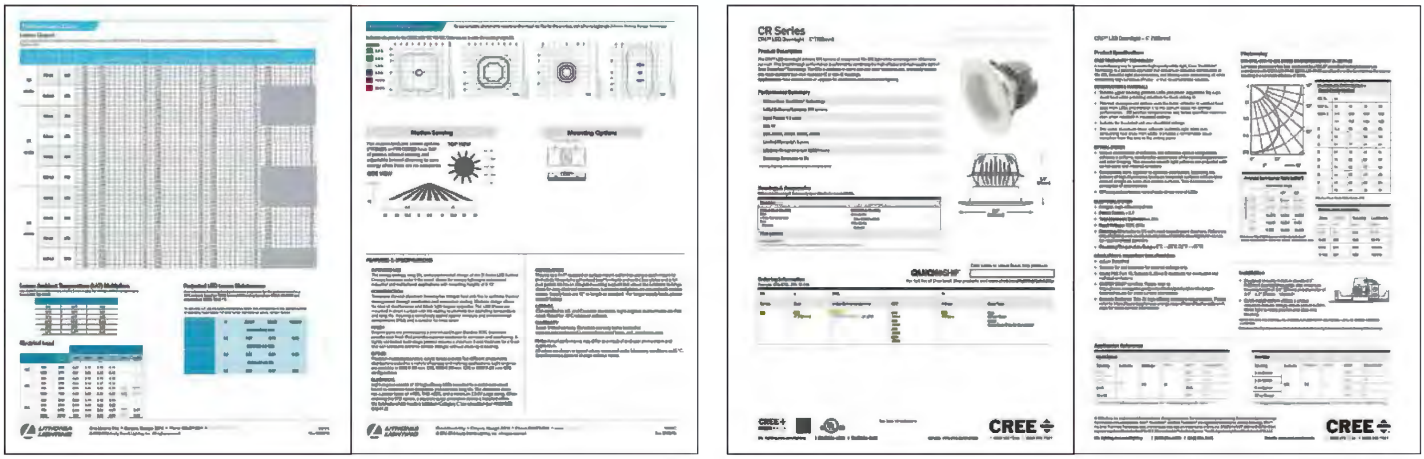
STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL

SITE PHOTOMETRIC PLANS

SCALE: AS NOTED
DATE: 10/10/18
DRAWN BY: PT
CHECKED BY: RZ

SHEET
E1.1





NERING

2/11/19

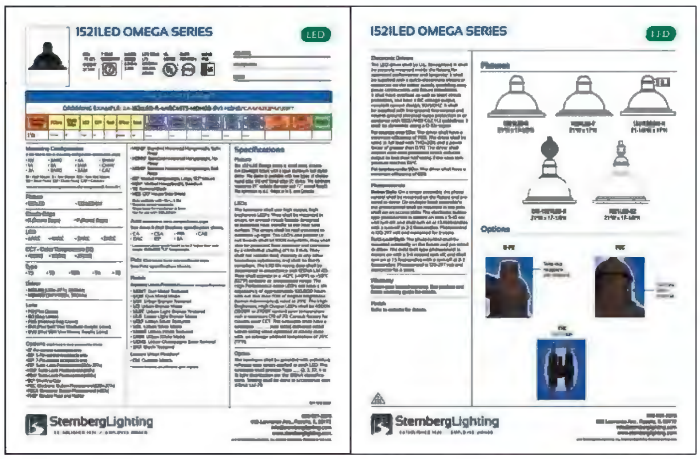
NO.	REVISIONS	DATE

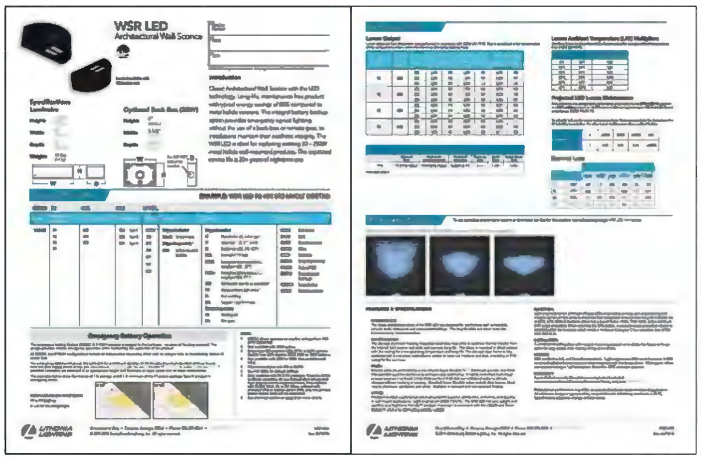
STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL

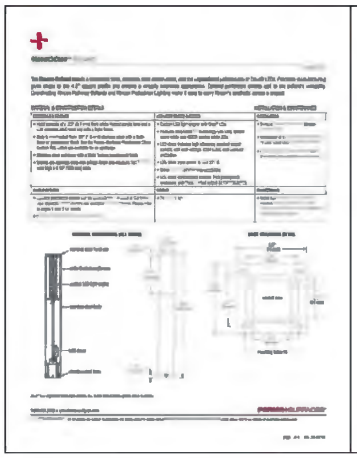
LIGHTING FIXTURE CUTSHEETS

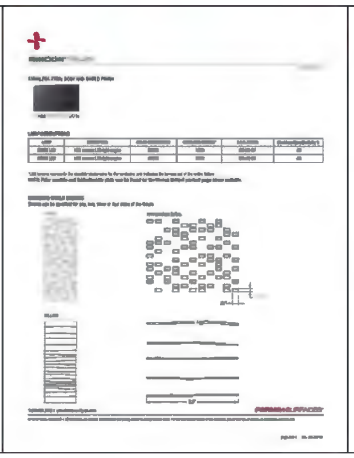
SCALE: AS NOTED
DATE: 10/18/18
DRAWN BY: DTS
CHECKED BY: REE

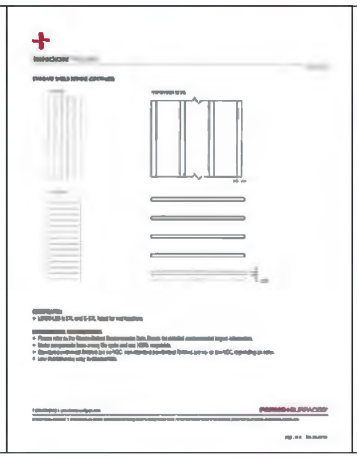
SHEET
E1.2

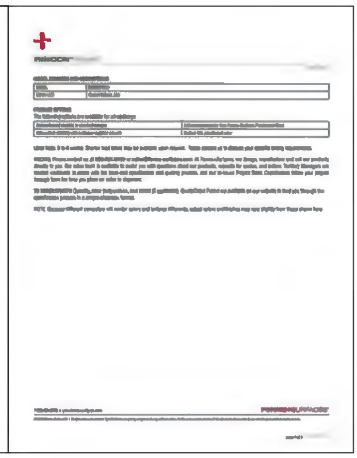












NO.	REVISIONS	DATE

APS ENGINEERING
DESIGN & CONSULTING
2/11/19

STRATUS DEVELOPMENT PARTNERS
CAMBRIA HOTEL

LIGHTING FIXTURE CUTSHEETS

SCALE: AS NOTED
DATE: 10/18/18
DRAWN BY: DTS
CHECKED BY: RE

SHEET
E1.3