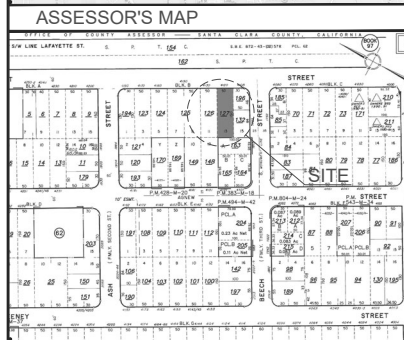


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PROJECT DESCRIPTION	
PROJECT SCOPE OF WORK: PROJECT CONSISTS OF INT. & EXT. DESIGN TO AN EXISTING 1900 ERA VICTORIAN RESIDENCE WITH INT. DES. IMPROVEMENTS TO DEVELOP OUT THE (E) BASEMENT INTO A USABLE ACCESSORY DWELLING UNIT (A.D.U.)/N. INT. STAIRS AND AN EXT. EGRESS STAIR WELL. REMOVE AND ENLARGE THE KITCHEN TO ACCOM. THE (N) INT. STAIRS & THE LIVING/DINING ROOM AREAS. (N) FOUND RETAINING WALL. @ BASEMENT FOR PERIMETER WALLS OF (N) A.D.U./ SPACE.	
ADDRESS:	4120 BASSETT STREET SANTA CLARA, CA 95054
APN:	104-12-127
ZONING:	R-6L
BUILDING TYPE:	TYPE V-B
OCCUPANCY:	R-3(4)
LOT SIZE:	1504 SQ. FT.
PROJECT AREA: (E) RESIDENCE. 1,047.1 SQ. FT. (N) MAIN FLR. ADDITIONS 441.4 SQ. FT. (E) ATTIC REMODEL (USABLE SPACE) 671.7 SQ. FT.	
(N) MAIN FLR. RES. SQ. FT. TOTAL 2,166.6 SQ. FT. ALLOWABLE A.D.U. SQ. FT. (50%) 1,083.3 SQ. FT.: (ALLOWABLE)	
(E) BASEMENT (INCOND. SPACE). 1,029.6 SQ. FT.: (PROPOSED) PROPOSED (N) BSMT. ADJ. 818.2 SQ. FT.: (PROPOSED) PROPOSED (N) MECH RM. 116.3 SQ. FT.: (PROPOSED) TOTAL (N) BSMT. SPACE. 434.5 SQ. FT.: (PROPOSED)	
(N) MAIN FLR. RES. SQ. FT. TOTAL 1,489.1 SQ. FT. (E) FRONT PORCH. 84.25 SQ. FT. (E) DET. GARAGE 40.0 SQ. FT. (E) DET. ACCESS. BLDG. 124.5 SQ. FT.	
(N) TOTAL LOT COVERAGE: 2,098.8 SQ. FT.: (PROPOSED) 2,098.8 / 1504 = 21.9 % (40% MAX. ALLOWABLE)	
DRAWING INDEX: A-0.0 TITLE SHEET W/SITE PLANS & PROJECT INFO. A-0.1 CALIF. GREEN BLDG. STDS. WATER CONSERV. REGS. A-0.2 CALIF. GREEN BLDG. STDS. HEAT, HVAC REGS. A-0.3 PROJECT SPECS. CODE NOTES H-1.0 HISTORIC PRESERVATION TREATMENT (CHART) A-1.0 (E) MAIN FLR. & EXT. ELEV. DEMO. PLAN A-1.1 (E) BASEMENT DEMO. PLAN A-2.0 (N) MAIN FLOOR PLAN A-2.1 (N) BASEMENT A.D.U. & ATTIC FLOOR PLANS A-3.0 (N) EAST & SOUTH EXT. ELEVATIONS A-3.1 (N) WEST & NORTH EXT. ELEVATIONS A-4.0 (N) SECTIONS	
PROJECT DIRECTORY	
OWNER - CLIENT: JEFF JAURGIL 4120 BASSETT STREET SANTA CLARA, CA 95054 PH: 415.608.4670 em: getjeff@gmail.com	ARCHITECT: STRATA DESIGN STUDIO P.O. Box #1121 SAN JOSE, CA 95108 JOHN TABUENA-FROILLI, AIA HISTORIC ARCHITECT 408.108.5148 jtfroll@gmail.com
BUILDING CONTRACTOR T.B.D.	STRUCT. ENGINEER: TBD
SHEET NOTES	
1. CODES: PROJECT CONSTRUCTION IS TO COMPLY WITH THE MOST CURRENT ADOPTED CODES: 2014 CALIF. HISTORIC CODE, 2014 CALIF. RESID CODE (2014 CRC), 2014 CGB, 2014 ELEC., PLUMBING, & MECH. CODES, CALGREEN, AND ENERGY CODES	
2. LOCATE, IDENTIFY, AND PROTECT ALL UNDERGROUND UTILITY LINES AND METERS TO REMAIN PRIOR TO START OF SITE WORK AND ANY DIGGING.	
3. REFER TO DEMOLITION NOTES FOR ADDITIONAL INFORMATION. OBTAIN ALL LOCAL REQUIREMENTS AND DEMOLITION REGULATIONS FROM CITY BLDG DEPT. AS REQUIRED BY THE CITIES DISPOSAL AND CALGREEN BUILDINGS PROGRAM (REFER CALGREEN PGS. REFD. ABOVE)	
4. IDENTIFY AND PROTECT ANY LANDSCAPING OR TREES TO REMAIN PRIOR TO SITE WORK. SEE ALSO TREE PROTECTION NOTES @ DEMO SITE PLAN.	
5. REFER TO SHT. INDEX ABOVE FOR "GREEN BUILDING PROJECT REGS" FOR CONSTRUCTION, DEMOLITION, AND DISPOSAL INFO.	
6. SEE FOLLOWING ATTACHED SHEETS FOR NEW CONSTRUCTION REQUIREMENTS AND ADDITIONAL DEMOLITION INFORMATION.	
SITE LEGEND	
P	PROPERTY LINE
M	NEW GAS METER
W	ELECT. SERV. @ 4" METER
G	WATER METER

A0.0	SHEET	PROJECT NO. 19-08-22	DATE 02/24/2023	DRAWN GTF/JTF	JAUQUIRI REMODEL	OWNER: JEFF JAUQUIRI 4120 BASSETT STREET SANTEE, CA 95054 getleft@gmail.com ph.415.608.4670	STRATA DESIGN STUDIO DESIGN · CONSULTING · PRESERVATION JOHN S. TABLIERNA-FROLLI, AIA ARCHITECT SANTA CLARA, CA 95054 408.793.5314 • jfr@stratadsgn.com	60245003 PLANNING / HLC SUBMIT. 04/10/2023 HIST. ELEV. REVS 03/05/2023 PLANNING SUBMIT. 12/10/2020 PROJ. DES. DEV. 07/03/2020 PHOTOS & REVIEW JAUQUIRI REMODEL SEE DATE

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

02/24/2023 PLANNING / HLC SUBMITL

STRATA DESIGN STUDIO
DESIGN - CONSULTING - PRESERVATION

N S. TABUENA-FROLLI, AIA
 P.O. BOX 1127
 SAN JOSE, CA 95108
 408.703.5148 - jtfroll@gmail.com

OWNER:

JEFF JAURIGUI
120 BASSETT STREET
ANTA CLARA, CA 95001
getjeff@gmail.com

JAURIGUI REMODEL

PROJECT SITE:
20 BASSETT STREET
UTA CLARA, CA 95054

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DRAWN
GTF/JTF
DATE
2/24/2023
SCALE
AS NOTED
PROJECT NO.
2019.22
SHEET

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OF

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On or before January 1, 2025, all non-compliant planning facilities that are subject to water-consuming planning facilities (covered by the building, irrigation or outdoor property categories) shall be in compliance with the water conservation measures required by the 2019 California Plumbing Code, California Code of Regulations, Title 24, and the California Green Building Standards Code (CALGreen), and all manufacturing facilities shall be in compliance with the water conservation measures required by the 2019 California Plumbing Code, California Code of Regulations, Title 24, and the California Green Building Standards Code (CALGreen).

Upon completion and signing this Certificate, please return it to the Building Division in order to fulfill your permit requirements.

Planner Type	Non-Compliant Planning Facilities		Compliant Planning Facilities	
	Water Usage Flow Rate	Water Usage Flow Rate	Water Usage Flow Rate	Water Usage Flow Rate
Water Conservation	Exceeds 1.5 gpm per fixture	Exceeds 1.5 gpm per fixture	2019 CUPC 15.10.1, 15.10.2, 15.10.3, 15.10.4, 15.10.5, 15.10.6, 15.10.7, 15.10.8, 15.10.9, 15.10.10, 15.10.11, 15.10.12, 15.10.13, 15.10.14, 15.10.15, 15.10.16, 15.10.17, 15.10.18, 15.10.19, 15.10.20, 15.10.21, 15.10.22, 15.10.23, 15.10.24, 15.10.25, 15.10.26, 15.10.27, 15.10.28, 15.10.29, 15.10.30, 15.10.31, 15.10.32, 15.10.33, 15.10.34, 15.10.35, 15.10.36, 15.10.37, 15.10.38, 15.10.39, 15.10.40, 15.10.41, 15.10.42, 15.10.43, 15.10.44, 15.10.45, 15.10.46, 15.10.47, 15.10.48, 15.10.49, 15.10.50, 15.10.51, 15.10.52, 15.10.53, 15.10.54, 15.10.55, 15.10.56, 15.10.57, 15.10.58, 15.10.59, 15.10.60, 15.10.61, 15.10.62, 15.10.63, 15.10.64, 15.10.65, 15.10.66, 15.10.67, 15.10.68, 15.10.69, 15.10.70, 15.10.71, 15.10.72, 15.10.73, 15.10.74, 15.10.75, 15.10.76, 15.10.77, 15.10.78, 15.10.79, 15.10.80, 15.10.81, 15.10.82, 15.10.83, 15.10.84, 15.10.85, 15.10.86, 15.10.87, 15.10.88, 15.10.89, 15.10.90, 15.10.91, 15.10.92, 15.10.93, 15.10.94, 15.10.95, 15.10.96, 15.10.97, 15.10.98, 15.10.99, 15.10.100, 15.10.101, 15.10.102, 15.10.103, 15.10.104, 15.10.105, 15.10.106, 15.10.107, 15.10.108, 15.10.109, 15.10.110, 15.10.111, 15.10.112, 15.10.113, 15.10.114, 15.10.115, 15.10.116, 15.10.117, 15.10.118, 15.10.119, 15.10.120, 15.10.121, 15.10.122, 15.10.123, 15.10.124, 15.10.125, 15.10.126, 15.10.127, 15.10.128, 15.10.129, 15.10.130, 15.10.131, 15.10.132, 15.10.133, 15.10.134, 15.10.135, 15.10.136, 15.10.137, 15.10.138, 15.10.139, 15.10.140, 15.10.141, 15.10.142, 15.10.143, 15.10.144, 15.10.145, 15.10.146, 15.10.147, 15.10.148, 15.10.149, 15.10.150, 15.10.151, 15.10.152, 15.10.153, 15.10.154, 15.10.155, 15.10.156, 15.10.157, 15.10.158, 15.10.159, 15.10.160, 15.10.161, 15.10.162, 15.10.163, 15.10.164, 15.10.165, 15.10.166, 15.10.167, 15.10.168, 15.10.169, 15.10.170, 15.10.171, 15.10.172, 15.10.173, 15.10.174, 15.10.175, 15.10.176, 15.10.177, 15.10.178, 15.10.179, 15.10.180, 15.10.181, 15.10.182, 15.10.183, 15.10.184, 15.10.185, 15.10.186, 15.10.187, 15.10.188, 15.10.189, 15.10.190, 15.10.191, 15.10.192, 15.10.193, 15.10.194, 15.10.195, 15.10.196, 15.10.197, 15.10.198, 15.10.199, 15.10.200, 15.10.201, 15.10.202, 15.10.203, 15.10.204, 15.10.205, 15.10.206, 15.10.207, 15.10.208, 15.10.209, 15.10.210, 15.10.211, 15.10.212, 15.10.213, 15.10.214, 15.10.215, 15.10.216, 15.10.217, 15.10.218, 15.10.219, 15.10.220, 15.10.221, 15.10.222, 15.10.223, 15.10.224, 15.10.225, 15.10.226, 15.10.227, 15.10.228, 15.10.229, 15.10.230, 15.10.231, 15.10.232, 15.10.233, 15.10.234, 15.10.235, 15.10.236, 15.10.237, 15.10.238, 15.10.239, 15.10.240, 15.10.241, 15.10.242, 15.10.243, 15.10.244, 15.10.245, 15.10.246, 15.10.247, 15.10.248, 15.10.249, 15.10.250, 15.10.251, 15.10.252, 15.10.253, 15.10.254, 15.10.255, 15.10.256, 15.10.257, 15.10.258, 15.10.259, 15.10.260, 15.10.261, 15.10.262, 15.10.263, 15.10.264, 15.10.265, 15.10.266, 15.10.267, 15.10.268, 15.10.269, 15.10.270, 15.10.271, 15.10.272, 15.10.273, 15.10.274, 15.10.275, 15.10.276, 15.10.277, 15.10.278, 15.10.279, 15.10.280, 15.10.281, 15.10.282, 15.10.283, 15.10.284, 15.10.285, 15.10.286, 15.10.287, 15.10.288, 15.10.289, 15.10.290, 15.10.291, 15.10.292, 15.10.293, 15.10.294, 15.10.295, 15.10.296, 15.10.297, 15.10.298, 15.10.299, 15.10.300, 15.10.301, 15.10.302, 15.10.303, 15.10.304, 15.10.305, 15.10.306, 15.10.307, 15.10.308, 15.10.309, 15.10.310, 15.10.311, 15.10.312, 15.10.313, 15.10.314, 15.10.315, 15.10.316, 15.10.317, 15.10.318, 15.10.319, 15.10.320, 15.10.321, 15.10.322, 15.10.323, 15.10.324, 15.10.325, 15.10.326, 15.10.327, 15.10.328, 15.10.329, 15.10.330, 15.10.331, 15.10.332, 15.10.333, 15.10.334, 15.10.335, 15.10.336, 15.10.337, 15.10.338, 15.10.339, 15.10.340, 15.10.341, 15.10.342, 15.10.343, 15.10.344, 15.10.345, 15.10.346, 15.10.347, 15.10.348, 15.10.349, 15.10.350, 15.10.351, 15.10.352, 15.10.35	

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2020, Includes August 2019 Supplement)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	750
MONOCYCLIC ROOF	250
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	430
OTHER	430
SEALANT PRIMER	
ARCHITECTURAL	
NON POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	750
OTHER	750

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS		VOC/LIMIT
COATING CATEGORY		
FLAT COATINGS		50
NONFLAT COATINGS		90
WORK AT HIGH SOLIDS COATINGS		100
SPECIALTY COATINGS		
ALUMINUM ROOF COATINGS		400
BASEMENT SPECIALTY COATINGS		400
STURNEAU'S ROOF COATINGS		50
BUTYLAUMOUS ROOF FRIBBERS		30
BOND BREAKERS		350
CONCRETE CURING COMPOUNDS		350
CONCRETE/MASONRY SEALERS		50
DRIVEWAY SEALERS		90

FLY SPRAYING COATINGS	390
FLUOROCARBON COATINGS	390
FLOOR COATINGS	160
FLOOR FINISHES	160
FORMULATED COMPOUNDS	390
GRAFTING MIXTURE COATINGS (SILICONES)	558
HIGH TEMPERATURE COATINGS	430
INSULATING MAINTENANCE COATINGS	390
IRON OXIDE COATINGS	430
LABORATORY COATINGS	390
MAINT. TEXTURE COATINGS	160
MAINT. WAXES COATINGS	390
MULTICOAT COATINGS	230
PAINTS AND WAXES COATINGS	430
PERMAN. SEALERS & INK-RESISTANT COATINGS	390
REFLECTOR FINISHING (SEALERS)	390
REFLECTED COATINGS	390
ROOF COATINGS	32
SEALING	390
SELF-HEALING COATINGS	230
SILICONE	390
SLIP	730
SOLUBLE	730
SPECIALTY FINISHES, SEALERS & MAINTENANCE	390
STAIN RESISTANT COATINGS	430
TEMPERATURE COATINGS	390
TEXTURE COATINGS	430
WAXING, POLISHING COATINGS	390
WAXES, POLISHES COATINGS	430
WATERPROOFING MEMBRANES	390
WAXES COATINGS	390
WAX PRESERVATIVES	390
WAXES COATINGS	390

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECT COATINGS SUGGESTED CONTROL, 10/19/94, FILE 1.200. ADDITIONAL INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.08
HARDWOOD PLYWOOD COMPOSITE CORE	0.08
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBREBOARD	0.13
THIN MEDIUM DENSITY FIBREBOARD	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD AND TOXICS CONTROL MEASURES FOR COMPOSITE WOOD AN TESTED IN ACCORDANCE WITH ASTM 1318 FOR ADDITIONAL INFORMATION, REFER TO CALIF. CODE OF REGULATIONS, TITLE 17, SECTION 90100 THROUGH 90200.

2. THIN MEDIUM DENSITY FIBREBOARD HAS A MAXIMUM THICKNESS OF 5/16" (3 MM).

[illegible]

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and monitored as meeting the Composite Wood Products regulatory (CCR, Title 17, Section 90126, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, Australian AS/NZS 2209, European EN 336 standards, and ISO 12121, CSA 0115, CSA 0153 and CSA 0152 standards.
5. Other methods acceptable to the enforcing agency.

4.505 CONCRETE BASE FOUNDATIONS. Concrete base foundations required by a major California building Code Chapter 10, or concrete slab-on-ground floors required have a major California Residential Code, Chapter 19, provisions shall be followed.

4.506.1 Capillary break. A capillary break shall be installed in compliance with all of the following:

1. A 4 mils (1/2 mil) thick sheet of 1/8 inch (3/16 inch) or larger cross aggregate or a water barrier in direct contact with the membrane and a concrete slab on grade.
2. A minimum 1/8 inch (3/16 inch) overlap and a minimum 6 inch (150 mm) overlap.
3. A clear edge separation of 1/4 inch (6 mm) from the framing.
4. A clear edge separation by a minimum 6 inch (150 mm) from the framing.

4.506.2 MEMBRANE CONTACT OF BUILDING MATERIALS. Insulating materials with visible signs of moisture, dirt and debris shall be removed and the membrane shall be applied to the moisture contact. Moisture contact shall be verified in compliance with the following:

1. Moisture contact shall be determined with either a petiole-type or contact-type moisture resistance test fixture performed in accordance with ASTM D 1929 or ASTM D 1928.
2. Moisture readings shall be taken at 2 feet (610 mm) or less (1/2 inch) from the edge of each panel verified.
3. At least four moisture readings shall be performed on each wall and floor framing with acceptable to the enforcing agency provided that the point of approval to remove the wall insulation portions which are visible or have a high moisture content shall be regional or local approval as well as floor contact.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be continuously controlled.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range of 45% to 50% to a maximum of 80%. A humidity control may utilize manual or auto adjustment.
 - b. A humidity control may be a separate component to the exhaust fan and is not required (i.e., built-in).

1. For the purposes of this section, a bathroom is a room which contains a bathtub, a showerhead, or a toilet.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.1 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and/or conditioning system shall, designed and have their equipment installed using the following methods:

1. The heat loss and heat gain is established according to ANSI/ASHRAE Manual J - 2011 (Heat Calculation). ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ASHRAE Manual S - 2014 (Prescribed Duct to ASHRAE handbooks or other equivalent design software or methods).
3. Select heating and cooling equipment according to ANSI/ASHRAE Manual S - 2014 (Prescribed Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system function is acceptable.

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING

Each person who performs the work and is responsible for a subpart or a subassembly shall have received training on the proper installation of the equipment, systems and components in accordance with the manufacturer's instructions, and shall have received training on the applicable code requirements. Untrained persons may perform RTOC installation when under the direct supervision of a person trained in the proper installation of the equipment. The following are the minimum training requirements for installers. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. Accredited HVAC training programs
- 2. Public utility training programs
- 3. Manufacturer training programs
- 4. State or local government training programs
- 5. Programs associated with building apprenticeship programs

702.2 SPECIAL INSPECTION (SDIC)

When required by the enforcing agency, the owner or the contractor shall provide the following information to the enforcing agency:

- 1. Written certification of the training and experience of the installer or installers who performed the installation or other duties necessary to substantiate compliance with this code. Special inspectors shall determine compliance with the provisions of the applicable code and shall not be responsible for determining the quality of the installation. The enforcing agency shall determine the quality of the installation and shall be responsible for the enforcing agency when evidence of the quality of a specific inspection is required.
- 2. Certification by a national or regional green building program or an established subpart.

Certification by a statewide energy auditor or ventilation organization, such as the IECCH relies, building performance contractors, and home energy programs.

3. Completion of a third party approved training program in the appropriate trade.

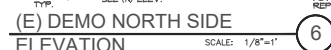
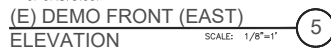
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H.E.R.S. REQUIREMENTS (new hvac ducts)

[illegible]

FORM AND STRUCTURE

JAUIGUI REMODEL ISSUE DATE 07/03/2020 PROGRESS REVIEW 15/11/2020 PROG. Des Dev. 05/09/2021 PLANNING SUBMIT. 04/10/2020 HST. ELEV. REV. 02/04/2021 PLANNING / H.C. SUBMIT.	
	
STRATA DESIGN STUDIO DESIGN - CONSULTING - PRELIMINATION JOHN S. TABLUNA, FROLI, AIA PO BOX 1127 SAN JOSE, CA 95108 no.9333148 - jfrolia@gmail.com	
OWNER: JEFF JAUIGUI 4120 BASSETT STREET SANTA CLARA, CA 95054 jeffjg1@gmail.com ph:415.608.4670	
JAUIGUI REMODEL PROJECT SITE: 4120 BASSETT STREET SANTA CLARA, CA 95054 APN: 104-12-127	
DRAWING DATE/JTF 02/24/2023	SCALE AS NOTED PROJECT NO. 2019.12
HP1.0 OF	



SHEET

A1.0

1. ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT, SEE (N) ELEV. SH. A3.0, TYP.
2. CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY a.) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND b.) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.

A. REMOVE (E) WALL FINISHES ONLY AS REQ'D. FOR NEW WORK TO INCLUDE: SIDING, FRAMING, DRYWALL, WIRING, AND INSUL. ONLY IN AREAS AS REQ'D. FOR (N) WORK. INSPECT FRAMING COND. & REPAIR AS REQ'D, PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & COND.'S IN THE FIELD PRIOR TO DEMOLITION, TYP.

B. SALVAGE REMOVED MAT'L'S FOR REUSE BY ON RESIDENCE PER NEW PLANS SPECS. FOR MATERIALS TO BE REMOVED FROM SITE OBSERVE CITY APPR. SALVAGE / RESALE CO. PER GREEN BLDG. REQ'S. NO MAT'L OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY W/O PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.

C. RESTORE (E) WINDOWS TYP. CAREFULLY REMOVE AND RELOCATE (E) WDWS. & DRS. ONLY AS NOTED IN NEW PLAN, REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED., REFER TO (N) FLR. PLAN FOR LOC'S.

(D) AT FRONT ENTRY STAIRS, REMOVE NON-HISTORIC PIPE RAIL AND CONCRETE STEPS. REPLACE WITH WOOD STOOD, RECONSTRUCTED THE HISTORIC TERRACED STOOPS USING DOCUMENTARY EVIDENCE FOR ORIGINAL HOUSE. USE SALVAGED SIDING FOR EXT. FINISH. AT REAR DOOR REMOVE (E) REAR RWD. DECK, RAILING & STAIRS @ AREA OF (N) WORK, PATCH CONC. FOUND. TO ALLOW FOR NEW FLR. FOUNDATION & FRAMING, AS NEEDED.

(E) AT EXT. WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL w/ (N) IN-KIND WOOD SIDING OVER 2-LAYERS OF BUILDING PAPER, TO MATCH (E) TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. CAREFULLY REMOVE AND SALVAGE EXT. SIDING AND TRIM WHERE REQ'D FOR (N) BAY WDW. @ REINSTALL AT SELECTED LOCATIONS PER NEW PLAN TYP.

F. PROV. SAW CUTTING AND DRILLING AT FOUND. WALL AS REQ'D FOR (N) ELECT., PLUMBING WORK, AND SUB AREA ACCESS OPENING. VERIFY LOCATION AND CONDITIONS IN THE FIELD.

⑦ REMOVE (E) BATH FIXTURES, VERIFY (E) WATER & SEWER LINE RUNS AND PROVIDE (N) UTILITY LINES AT AREAS OF (N) WORK, IN WALLS & FLOOR AREA TO (N) SINK AND (N) BATH RM. AREA FIXTURES TYP.

H. PROTECT (E) EAVE AND ROOF FRAMING TO REMAIN. TRIM ONLY AS REQ'D TO BLEND W/ (N) ROOF OF ADDTN., COORD. ROOF FRAMING HEIGHTS, VERIFY IN FIELD. (E) ROOF, EAVES & GABLE VENT ON HOUSE @ AREA OF WORK, VER.COND. OF SHEATHING & FRMG., PREP. FOR (N) ROOF INSTALLATION.

I. REMOVE (E) WATER HEATER & (E) F.A.U.W/ DUCTING, RELOC. OR STORE & PROTECT FOR POSSIBLE RE-USE OR DISPOSAL, VER. W/ OWNER.

J. VERIFY (E) AND PROVIDE (N) CLEAN-OUT & WATER SUPPLY LINE, FOR AREA OF (N) ADDITIONS & (N) BSMT. A.D.U.

(K) REMOVE (E) CABS, COUNTERS @ (E) KITCHEN. CAREFULLY REMOVE & STORE (E) APPLIANCES & A.C. UNIT TO BE REPLACED ON SITE FOR POSSIBLE DONATION OR RESALE, VERIFY W/ OWNER.

(L) PROTECT (E) GAS & (E) ELECT. SERVICE LINES TO REMAIN, EXTEND AT AREAS OF (N) WORK. VERIFY SIZE REQ'S. FOR (N) LOAD OR DEMAND.

M. VERIFY (E) WATER SUPPLY, CLEANOUTS, & SEWER LINE RUNS AND PROVIDE (N) LINE EXTENSION IN WALLS & FLOOR AREA TO FIXTURES @ (N) KITCHEN, PANTRY, AND (N) BATH RM(S), TYP.

(N) REMOVE AIR REGISTERS & REPAIR FINISHES W/ (N) MAT'L'S TO MATCH (E). ADJ. SURFACE. RELOCATE OR EXTEND (E) AIR DUCT & SUPPLY REGISTERS TO (N) LOCATIONS WHERE NOTED ON MEP PLAN, TYP.

① CAREFULLY REMOVE (E) INT. TRIM FROM WINDOWS & DOORS. SALVAGE & PRESERVE TRIM FOR POSSIBLE RE-USE AT (N) OPENINGS, TYP.

(P) REMOVE (E) BRICK CHIMNEY FLUE FROM BASEMENT TO ROOF. PATCH FLOOR, WALLS, CEILING, AND ROOF TO MATCH (E) SURFACES. SALVAGE BRICKS FOR RE-USE PER TYP. NOTE #B ABOVE.

(R) VERIFY (E) 200A ELECT. PANEL, VERIFY LOAD REQ'S. & REPAIR AS NEC. FOR LOADS @ (N) KIT, (N) ATTIC SPACE & (N) BASEMENT A.D.U.

(S) REM. (E) CONC. CURBS, EXCAVATE TO DEPTH OF (N) BSMT. A.D.U. FLR. HT, PATCH & PREP. BSMT. FLR. SURF. TO RECEIVE (N) POURED CONC. SLAB FLOOR TO INCL. (N) WATERPROOFING SYST. REF. TO SECTS

(7) RE-HEATED (F) FURNACE & WATER HEATER FOR REFUSE IN

(E)	EXISTING	=====	RAILING
(N)	NEW	=====	TILE SURFACE
(R)	RELOCATE	=====	SEE ELEVATIONS
(N) FULL HEIGHT HALL (WOOD FRAMED)		⊙	KEYED NOTE SYMBOL
(N) WALLS TO BE REMOVED		⊞	CODE NOTE
36" LONG HEIGHT HALL (N) WINDOW (N) DOOR		⊞	DOOR SYMBOL REFER TO DOOR SCHED.
		⊞	WINDOW SYMBOL REFER TO WINDOW SCHED.
		⊞	SMOKE & CARBON MONOXIDE DETECTOR ALARM
WINDOWN TO BE REMOVED LAUNDRY		⊞	INT. ELEVATION KEY

07/03/2020	PROGRESS REVIEW
12/11/2020	PROG. Des. Dev.
02/05/2021	PLANING SUBMITL
04/15/2022	HIST. ELEV. REVS
02/24/2023	PLANING / HLC SUBMITL

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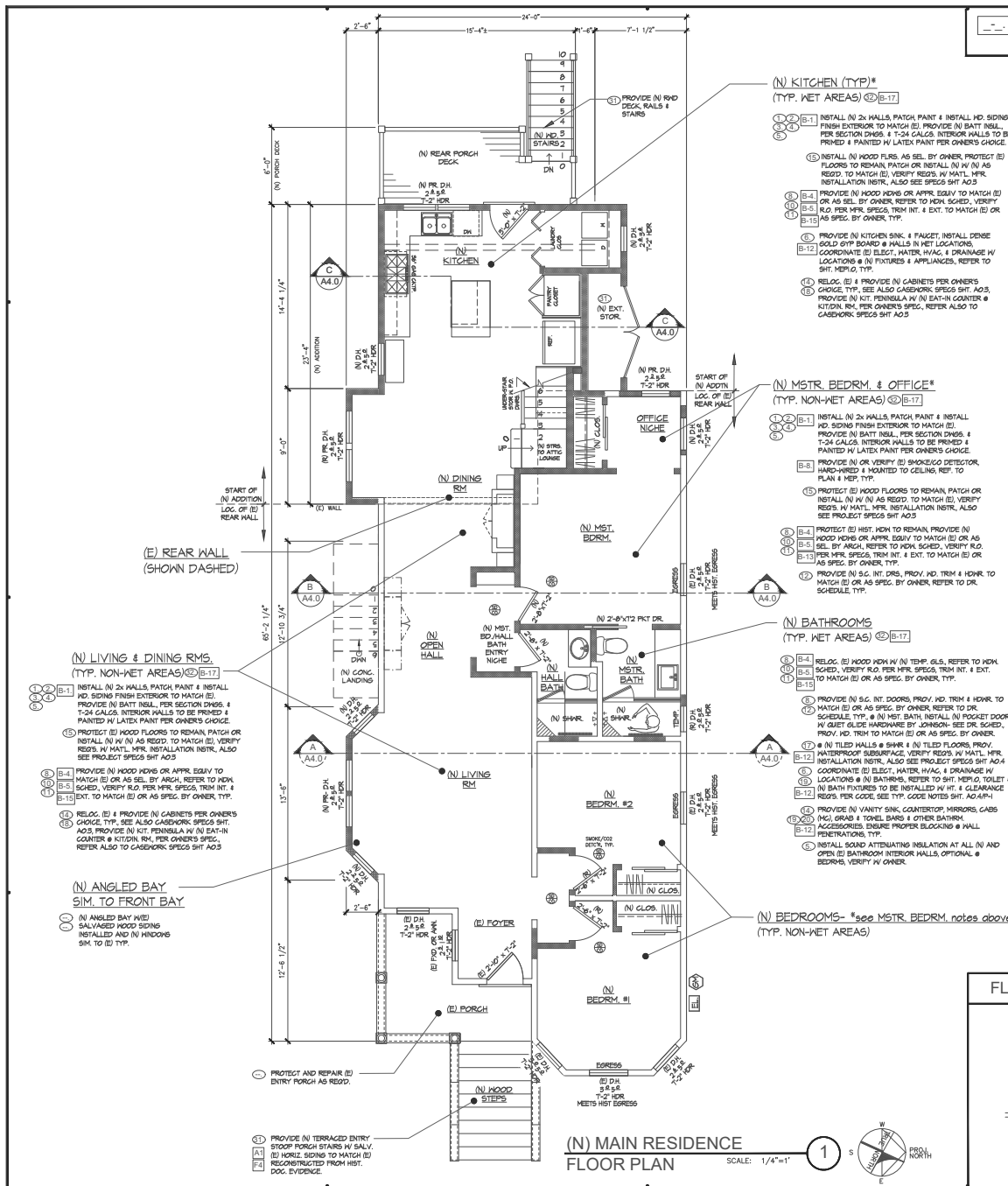
JAURIGUI REMODEL

PROJECT SITE:
100 BASSETT STREET
TA CLARA, CA 95054
APN: 104-12-127

DRAWN GTF/JTF
DATE 02/24/2023
SCALE AS NOTED
PROJECT NO. 2019.22

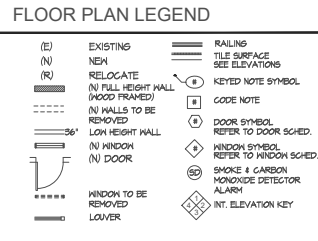
A1.1

OF



TYPICAL CODE NOTES- SEE SHEET A0.3

REFER TO HIST. PRESERV. TREATMENT NOTES, SHEET H.P.0



SHEET NOTES

- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT, SEE (N) ELEV. SHT. A3.0. TYP.
 - CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY A) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND B) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED. FOR REUSE ON THE PROJECT, TYP.
- KEYED SHEET NOTES:**
- REMOVE (E) FINISHES ONLY AS REQ'D FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIR.
 - INSTALL (N) 2x6 NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLATE W/WD WHERE NOTED ON STRUCT. DWGS.
 - WHERE REQ'D PATCH (E) WALLS WITH (N) GYPSO TO MATCH (E) NAILED W/DRYWALL SCREWS @ 8" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROVIDE DENSE GOLD GYPSO BOARD AT ALL NET WALLS. REFER TO FLR. PLAN.
 - INSTALL (N) HORIZ. WD. SIDING EXT. FIN. 02 LAYERS OF GRID D BLOOD PATTERN PER CBC 2512. WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING TYP. COORD. INFL. FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURE TYP.
 - PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILING: R-120 MIN. BATT INSUL. (VENTED ATTIC) TYP.
- WALLS: R-120 MIN. BATT INSUL. TYP.
- FLOORS: R-120 MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSULAT. AT (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTIONAL. @ BEDROOMS, VERIFY W/ OWNER.
 - COORD. SUPPLY LINES FOR WTR, ELECT., HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. UTILIZE (E) FURN. DUCTING WHERE POSS. REPL. W/ (N) DUCTING AS REQ'D TO (N) ROOMS. TIE IN ALL (N) DRAINS TO MAIN SEWER LINE. PROV. (N) CROSSLINK FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
 - INSTALL (N) 24 GA GSM OEGE GUTTER, W/ (N) 2" RND. 20 GA GSM D S S & SPLASH BLANK. SLOPED AWAY FROM BASE OF HS. DIRECT TO YARD, SEE SEE PLAN.
 - INST. (N) 1x6 EXT. PAINT GRADE TRIM & CS. WORK W/ COLOR & TEXT. TO MATCH (E). PROV. SHOP REVIEW DRAWINGS AS REQ'D FOR APPROV. BY OWNER, TYP.
 - INSTALL (N) ROOF @ AREAS OF (N) WORK W/ (N) CLASS A HIGH DEF. COMP. ASPH. SHINGLE RFG. TO MATCH (E) TYP. INSTALL OVER 2 LAYERS 3/8" ASPH. IMPREG. RFG. FELT TYP. REVIEW COLOR IN FIELD W/ OWNER. PROTECT (E) ROOF TO REMAIN, REFER TO ROOF PLAN SHT. A3.1.
 - PROTECT (E) WINDOWS TO REMAIN, PROVIDE (N) APPROV. WDWS. AS SEL. BY ARCH. INSTALL WD. TRIM PER ELEV. @ (N) BSMT. PROV. WDWS. AS SPEC. D BY ARCH. SEE WD. SPECS. A3.0 & SCHED. A2.1 FOR ADDL. INFO. TYP.
 - VERIFY (E) FRAMING AND INSTALL (N) 4x8 DOOR W/ 1x TRIMMERS AROUND WDWS. W/ DBL. 2x BLK. EA. WAY AT TOP AND BTM OF W/WD FRAMING. STRAPS PER STRUCT. DETAIL TYP.
 - SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WD. DRS & HWDL. TO MATCH (E). PROV. (N) PAINT GRD. POCKET DRS. TO MATCH (E) OR. PATTERN, W/ JOHNSON GLUE HWDL. PER DR. SCHED. TYP.
 - PROVIDE (N) S.C. PAINT GR. EXT. OR TO (N) KIT. REAR ENTRY. PROV. (N) S.C. PAINT GRD. HINGED FR. DR. & HWDL. W/ PREHUNG JAMB ASSY. PER MFG. SPECS. TYP. INST. (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL ALL) (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
 - CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRANCES & PORTALS. INSTALL BUILT-IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SHT. _____. INSTALL INT. (N) DR. CASING, 1x FLAT. & 1x BASE BOARD, WINDOWS, CASES & SIMILAR TO (E) HEAD STOOD. AND APRON TRIM. PER INT. ELEV. & DETAIL NOTES TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL ALL) (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWORK. SPECS. SHT. A3.0. TYP.
 - PROTECT (E) TAG WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLRS. @ (N) ADDN TO MATCH (E). PATCH (N) IN TAG W/WD FLRS. TO MATCH (E). VERIFY COND. OF SUBFLR. & FRAMING PRIOR TO INSTALLATION. CONFIRM SIZE, WD. TYPE, STAIN CLR. & PATTERN IN FIELD AND W/ OWNER. @ KIT. & LAUNDRY RM. AREAS, INSTALL (N) COORING OR OTHER MATL. AS SPEC. BY OWNER. PREP. FLR. AS REQ'D. TO REC. (N) MATL'S. PER MFG'S SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH FIN. OF (N) OR (E) WD. FLRS. AS REQ'D. PROV. SAMPLES TO OWNER. PRIOR TO ORDERING.
 - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. SMOOTH PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/OWNER.
 - INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A LATEX, HARD NONABSORBENT SURFACE OVER A W.P. MEMB. FLK. AND MOISTURE RESISTANT UNDERLAYMENT WALL TO A HT. OF 72" ABOVE DRAIN INLET.
 - PROVIDE (N) PAINT GRD. CABS. W/ STONE COUNTERTOPS & TILE BACKSPLASH. AND (N) OR (E) APPLIANCES PER FLR. PLAN AND ELEV. PER OWNERS SPECS. SEE ALSO CASE WORK SPECS. SHT. A4.1 & INT. ELEV. & SHT. W/WD NOTES.
 - INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, TOILET, AND SHOWER ENCLOSURE (UNITS AS OCCURS) AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELEC. / MECH. WORK. VERIFY FINAL L.OCS. AND MEP REQS. IN FIELD W/OWNER, TYP.
 - INSTALL GRAB BARS, TOWEL BARS, WALL SCOVES, AND BATHROOM ACCESS. AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED NEW 2x4x8 DOOR & BLOCKING WORK. VERIFY FINAL L.OCS. IN FIELD W/OWNER, TYP.
 - PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSMT. ADD. ENSURE 12" CLEARANCE FROM FIN. IN ADJ. ENTRANCE. PROVIDE SMOOTH TRANS. W/ (N) AND (E) STEPS @ AREA OF WORK. PREP. SURF. FOR (N) STEEL VINYL FLRNG. TO BE INSTALLED @ ADDL. DETAILS SHT. A.
 - PROV. (N) CONC. LINDS. & STEP TO BSMT. ADD. SIDE ENTRY. PATCH TO MATCH (E) PAVEMENT. SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS. PROVIDE (N) CONC. EGRESS WALK AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 5 SQ. FT. CLEAR FLOOR AREA W/ 2 MIN. HORIZONTAL DIRECTION, W/ PERMANENT EGRESS LADDER. SEE CODE NOTE 10.
 - PROV. (N) INT. STAIRS TO FIN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD.
 - (N) BSMT. (INADJ. & UNFIN. STOR. AREAS TO REMAIN: (E) SOL. TO BE LOWERED & VAPOR BARRIER INSTALLED AS REQ'D. (E) CONC. FTG. TO RCV. (N) RETRO. ANCHORAGE PER SECT. _____. DETAIL PER SHT. _____. VAPOR BARRIER @ EXIST. (E) PERIMETER TO RCV. (N) VENT OPENINGS & VOLUNTARY RETROFIT OPENINGS, AS REQ'D. TYP. INSTALL (N) PL. W/WD SHEATHING @ (N) BSMT. STORAGE AREAS W/ ACCESS DR. FROM (N) ADJ. KITCHEN.
 - REBUILD FRONT ENTRY STEPS & STOOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING COND'TNS. REPAIR AS REQ'D.
 - (N) LOC. OF WASTE WTR/S. ELEC. PUMP. REFER TO MEP 1.0 FOR MORE INFO.
 - AT ALL (N) & (E) LIGHT & EGRESS WELLS, PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MAT'L. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS, PROVIDE SAFETY EXT. LADDER & 24" EXT. GATE AT RAILINGS.
 - PROV. (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. RES. INSTALL 2x4x8 RWD. RAILS, RWD STAIRS W/ 3/8" HANDRAILS, & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. & (N) SITE PLAN, & DECK DETAILS AS _____. PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 5 SQ. FT. CLEAR FLOOR AREA W/ 5 MIN. HORIZONTAL DIRECTION. SEE CODE B-X-X.
 - AT NORTH WALL OF (N) ADJ. PORCH, PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HORIZ. SIDING FINISH FOR BLIND DOORS. TYP. REF. TO (N) PLNS & ELEV.
 - SEE ADD'L. REQS. MEP 1.0 AND TYP. CODE NOTES A3.0.

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SANTA CLARA, CA 95054
APN: 104-12-127

DATE

02/24/2023

SCALE

AS NOTED

PROJECT NO.

2019.22

SHEET

A2.0

JAURIGUI REMODEL

SEE NOTE

07/03/2020 PROGRESS REVIEW

10/10/2020 PROGS. DSA DGN

03/03/2021 PLANNING SUBMIT

04/15/2022 HIST. ELEV. REVIS

02/04/2023 PLANNING H&C SUBMIT



TYPICAL CODE NOTES- SEE
SHEET A0.3

SHEET NOTES

- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT. SEE (N) ELEV. SHT. A3.0, TYP.
- CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY a.) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND b.) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.

KEYED SHEET NOTES:

- REMOVE (E) FINISHES ONLY AS REQD FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
- INSTALL (N) 2x OF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS.
- WHERE REQD: PATCH (E) WALLS WITH (N) GYPSO TO MATCH (E) NAILED WIDERYWALL SCREWS @ 8" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROVIDE DENSE GOLD GYP. BOARD AT ALL WET WALLS. REFER TO FLR. PLAN.
- INSTALL (N) HORIZ. WD. SIDING EXT. FIN. O2Z LAYERS OF GRD. D BLDG PAPER PER CBC 2512. WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING TYP. COORD. INT'L FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.
- PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- WALLS R-TBD MIN. BATT INSUL. TYP.
- CEILINGS R-TBD MIN. BATT INSUL. (VENTED ATTIC) TYP.
- FLOORS R-TBD MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSUL. AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS. OPTIONAL. @ BEDROOMS. VERIFY W/ OWNER.
- COORD. SUPPLY LINES FOR WTR. ELECT. HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQD TO (N) FIXTURES. UTILIZE (E) FLUR. DUCTING WHERE POSS. REPL. W/ (N) DUCTING AS REQD. TO (N) ROOMS. TIE IN ALL (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQD. VERIFY FINAL LOC. IN FIELD W/OWNER.
- INSTALL (N) 24 GA GSM OEGE GUTTER, W/ (N) 2" RND. 26 GA GSM D.S.'S & SPLASH BLKS. SLOPED AWAY FROM BASE OF HS. DIRECT TO YARD. SEE SITE PLAN.
- INST. (N) 1x4 OF INT. PAINT GRADE TRIM & CS. WORK W/ COLOR & TEXT. TO MATCH (E). PROV. SHOV. REVIEW DRAWINGS AS REQD FOR APPROV. BY OWNER. TYP.
- INSTALL (N) ROOF @ AREAS OF (N) WORK W/ (N) CLASS A HIGH DEF. COMP. ASPH. SHINGLE RFG. TO MATCH (E) TYP. INSTALL OVER 2 LAYERS 30LB ASPH. IMPREG. RFG. FELT. TYP. REVIEW COLOR IN FIELD W/ (E) ROOF AND OWNER. PROTECT (E) ROOF TO REMAIN. REFER TO ROOF PLAN SHT. A3.1
- PROTECT (E) WINDOWS TO REMAIN. PROVIDE (N) APPROV. WDWS. AS SEL. BY ARCH. INSTALL WD. TRIM PER ELEV. @ (N) BSMT. PROV. WDWS. AS SPEC'D BY ARCH. SEE WDW. SPECS. A0.3 AND SCED. A2.1 FOR ADD'L.
- VERIFY (E) FRAMING AND INSTALL (N) 4x OF HOR. WIDBL. 1x TRIMMERS AROUND WDWS. W/ DBL. 2x BLK'G EA. WAY AT TOP AND BTM OF WDW FRAMING. W/SM. STRAPS PER STRUCT. DETAIL. TYP.
- SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WD. DRS. & HDWR. TO MATCH (E). PROV. (N) PAINT GRD. POCKET DRS. TO MATCH (E) OR PATTERN. W/ JOHNSON GLIDE HDWR. PER DR. SCHEM. TYP.
- PROVIDE (N) S.C. PAINT GR. EX. DR. TO (N) KIT. REAR ENTRY. PROV. (N) S.C. PAINT GRD. HINGED FR. DR. & HDWR. W/ PREHUNG JAMB ASSY. PER MFG. SPECS. TYP. INST. (N) EXT. TRIM. (N) PAINTED. 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL. @ SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
- CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRIES & PORTALS. INSTALL BUILT-IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SHT. INSTALL INT. (N) DR. CASING. 1x FLAT. & 1x BASE BOARD. WINDOWS: CASES & SIMILAR TO (E). HEAD, STOOL, AND APRON TRIM. PER INT. ELEV. & DETAIL NOTES. TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED. 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL. @ SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWK. SPECS. SHT. A0.3, TYP.
- PROTECT (E) TAG WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLRS. @ (N) ADJTN TO MATCH (E). PATCH (N) TAG WOOD FLRS. TO MATCH (E). VERIFY COND. OF SUBFLR. & FRAMING PRIOR TO INSTALLATION. CONFIRM SIZE, WD. TYP. STAIN CLR. & PATTERNING IN FIELD AND W/ OWNER. @ KIT. & LAUNDRY RM. AREAS. INSTALL (N) FLOORING OR OTHER MAT'L. AS SPEC BY OWN'R. PREP. FLR. AS REQD. TO REC. (N) MAT'L. PER MFG.'S SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF (N) OR (E) WD. FLRS. AS REQD. PROV. SAMPLES TO OWN'R. PRIOR TO ORDERING.
- PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/OWNER.
- INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A SMOOTH, HARD NONABSORBENT SURFACE OVER A P. MEM. FLR. AND MOISTURE RESISTANT UNDERLAYMENT WALL TO A HT. OF 72" ABOVE DRAIN INLET.
- PROVIDE (N) PAINT GRD. CAB. W/ STONE COUNTERTOPS & TILE BACKSPLASH. AND (N) OR (E) APPLIANCES PER FLR. PLAN AND ELEV. PER OWNERS SPECS. SEE ALSO CASE WORK SPECS. SHT. A0.4 & INT. ELEV. A0.5 W/KEY NOTES.
- INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, TOILET, AND SHOWER ENCLOSURE UNITS/AS OCCURS AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LOCS. AND MEP REAGENTS. IN FIELD W/OWNER. TYP.
- INSTALL GRAB BARS, TOWEL BARS, WALL SCONES, AND BATHROOM ACCESS. AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED NEW 2x10 OF WALL BLOCKING WORK. VERIFY FINAL LOCS. IN FIELD W/OWNER. TYP.
- PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSMT. ADJ. ENSURE 1/2" CLEARANCE FROM FIN. FIN. (N) ADJ. ENTRY. PROVIDE SMOOTH TRANS. W/ (N) AND (E) STEPS @ AREA OF TRANS. PREP. SUBFLR. ON (N) SHEET VINYL FLNG. TO BE INSTALLED @ ADJ. ENTRY. REFER TO DET. A0.3 SHT. A.
- PROV. (N) CONC. LNDG. & STEP TO BSMT. ADJ. SIDE ENTRY. PATCH TO MATCH (E) PAVEMENT SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS. PROVIDE (N) CONC. EGRESS WELL AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT. CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. W/ PERMANENT EGRESS ADDER. SEE CODE NOTE 19.
- PROV. (N) INT. STAIRS TO FIN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD.
- (N) BSMT. - (NO) & UNFIN. STOR. AREAS TO REMAIN: (E) TO BE LOWERED & VAPOR BARRIER INSTALLED AS REQD. (E) CONC. FTG. TO RCV. (N) RETRO. ANCHORAGE PER SECT. & DETAIL PER SHT. A.
- (E) PERIMETER TO REC'D. (N) VENT OPENINGS & VOLUNTARY RETROFIT OPENINGS, AS REQD. TYP. INSTALL (N) PLYWD. SHEATHING @ (N) BSMT. STORAGE AREAS W/ ACCESS DR. FROM (N) ADJ. KITCHEN.
- REBUILD FRONT ENTRY STEPS & STOOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING CONDITIONS. REPAIR AS REQD.
- PROVIDE (N) SCREENED FAN. VENTS AS SHOWN ON FOUND. PLAN.
- (N) LOC. OF WASTE WTRIS. S. EJECT. PUMP. REFER TO MEP 1.0 FOR MORE INFO.
- AT ALL (N) & (E) LIGHT & EGRESS WELLS, PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MAT'L. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS, PROVIDE SAFETY EXIT LADDER & 54" EXIT GATE AT RAILINGS.
- PROVIDE (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. RES. INSTALL 42TH. RWD. RAILS. RWD STAIRS W/ 36" HANDRAILS, & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. (N) SITE PLAN, & DETAIL A0.3.
- PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT. CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. SEE CODE B-X.
- AT NORTH WALL OF (N) ADJTN. PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HORIZ. SIDING FINISH FOR BLIND DOORS. TYP., REF. TO (N) PLNS & ELEV. SEE CODE B-X.
- SEE ADD'L. REQ'S. MEP 1.0 AND TYP. CODE NOTES A0.3.

JAUROGUI REMODEL

ISSUE ONE
07/03/2020 PROGRESS REVIEW
10/10/2020 PROGS. DATA DWN.
03/05/2021 PLANNING SUBMIT.
04/15/2022 HIST. ELEV. REVIS
02/04/2023 PLANNING / H.C. SUBMIT.



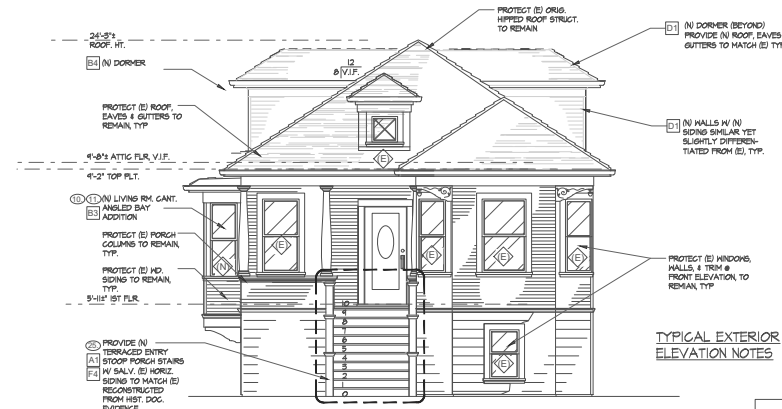
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PROJECT SITE:
4120 BASSETT STREET
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APN: 104-12-127

DRAWN
GTF/JTF
DATE
02/24/2023
SCALE
AS NOTED
PROJECT NO.
2019.22
SHEET

A3.0
OF

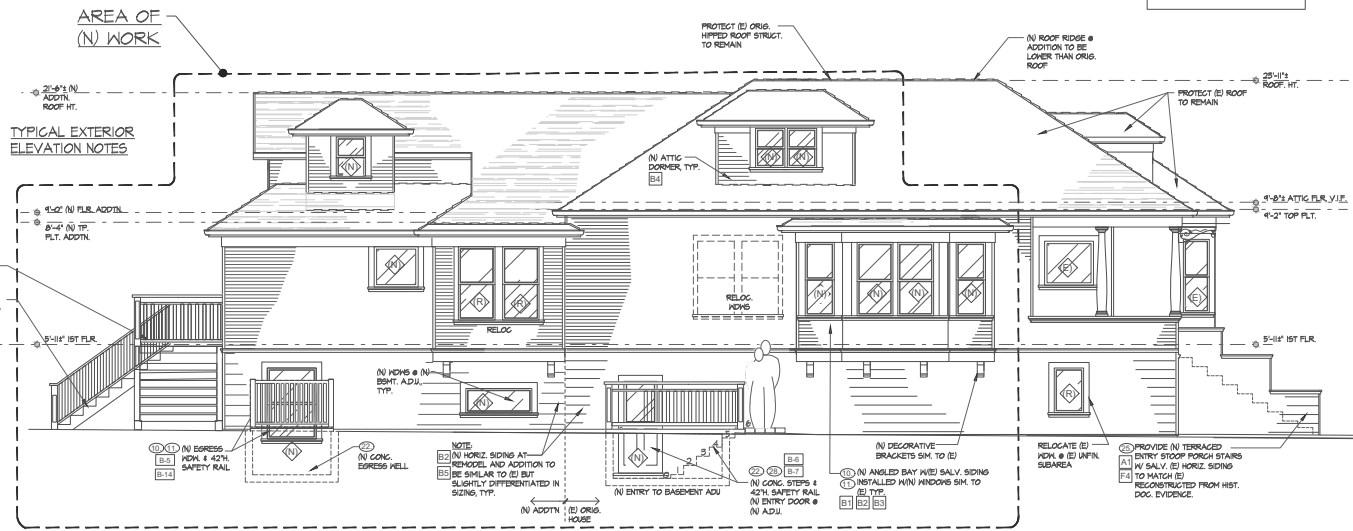


(N) FRONT (EAST) ELEVATION

SCALE: 1/4"=1'

1

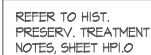
REFER TO HIST.
PRESERV. TREATMENT
NOTES, SHEET HP1.0
A- B-



(N) SOUTH (SIDE) ELEVATION

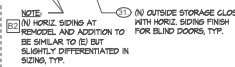
SCALE: 1/4"=1'

2



SCALE: 1/4"=1'

3



SCALE: 1/4"=1'

4

1. ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT, SEE (N) ELEV. SHT. A3.0 , TYP.
2. CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY a) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND b) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.

1. REMOVE (E) (E)IES ONLY AS REQD FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
2. 2x12 OF NO. 2 SLP AND FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS.
3. WHERE REQD, PATCH (E) WALLS WITH (N) GYPSO TO MATCH (E) NAILED W/DRYWALL SCREWS @ 8" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROVIDE DENSE GOLD GP. BOARD AT ALL WET WALLS. REFER TO FLR. PLAN.
4. INSTALL (N) HORIZ. WD. SIDING EXT. FIN. OZ. LAYERS OF GRG. & BLDG PAPER @ 1512" WITH 1/2" SLAG CHIPS. PATCH (E) WALLS TO MATCH GRG. DROP SIDING. TYP. PRIME AND PAINT MATCH (E) SIDING TYP. COORD. INT'L FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.

- [illegible]

ISSUE DATE	
07/03/2020	PROGRESS REVIEW
12/11/2020	PROG. Des. Dev.
02/05/2021	PLANING SUBMITL
04/15/2022	HIST. ELEV. REVS
02/24/2023	PLANNING / H/LC SUBMITL



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DRAWN
GTF/JTF
DATE
02/24/2023
SCALE
AS NOTED
PROJECT NO.
2019.22
SHEET

A3.1

F

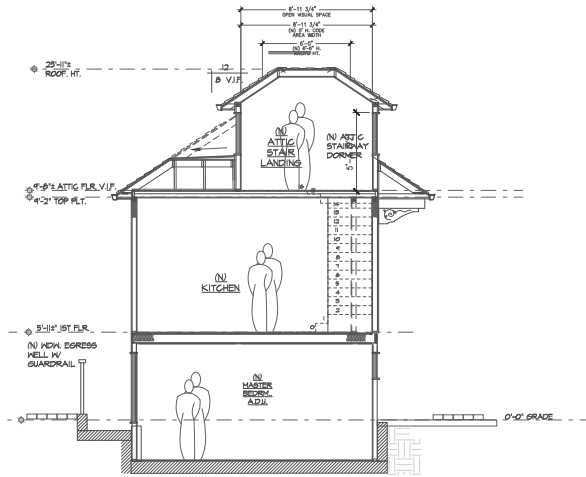
TYPICAL CODE NOTES- SEE
SHEET A0.3

SHEET NOTES

1. ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT, SEE (N) ELEV. SHT. A3.0, TYP.
2. CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY (a) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND (b) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.

KEYED SHEET NOTES:

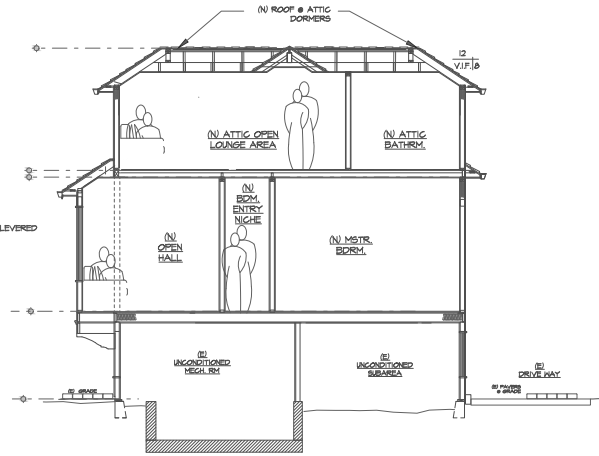
1. REMOVE (E) FINISHES ONLY AS REQ'D FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
2. INSTALL (N) 2x4 NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWD WHERE NOTED ON STRUCT. DWGS.
3. WHERE REQ'D PATCH (E) WALLS WITH (N) GYPD TO MATCH (E) NAILED W/ DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROVIDE DENSE GOLD GYP. BOARD AT ALL WET WALLS, REFER TO FLR. PLAN.
4. INSTALL (N) HORIZ. WD. SIDING EXT. FIN. 3/2" LAYERS OF GRD. D BLDG PAPER PER CBC 2512. WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING TYP. COORD. INFILL FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.
5. PROVIDE INSULATION & INSTALL AS REQUIRED:
(NOTE: USE FORMALDEHYDE FREE)
- CEILING R-130 MIN. BATT INSUL. (VENTED ATTIC) TYP.
- WALLS R-130 MIN. BATT INSUL. TYP.
- FLOORS R-130 MIN. BATT INSUL. TYP.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSUL AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VERIFY W/ OWNER.
6. COORD. SUPPLY LINES FOR WTR, ELECT, HVAC, & DRAINAGE FOR (N) REQ'D. CAP OFF ABANDONED LINES & RE-ROUT TO (N) FIXTURES. UTILIZE (E) FLUR, DUCTING WHERE POSS. REPL. W/ (N) DUCTING AS REQ'D. TO (N) ROOMS, TIE IN ALL (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/ OWNER.
7. INSTALL (N) 24 GA GSM OEGE GUTTER, W/ (N) 2" RND - 26 GA GSM D.S.S. & SPLASH BAS. SLOPED AWAY FROM BASE OF HS. DIRECT TO YARD. SEE SITE PLAN.
8. INST. (N) 1x4 DF INT. PAINT GRADE TRIM & CS. WORK W/ COLOR & TEXT. TO MATCH (E). PROV. SHOP DRAWINGS AS REQ'D FOR APPROV. BY OWNER, TYP.
9. INSTALL (N) ROOF AS REQ'D OF (N) WORK W/ (N) CLASS A HIGH DEF. COMP. ASPH. SHINGLE RFG. TO MATCH (E) TYP. OVER LAYERS 3/8" ASPH. IMPREG. RFG. FLG. TYP. REVIEW COLOR IN FIELD W/ (E) ROOF AND OWNER. PROTECT (E) ROOF TO REMAIN, REFER TO ROOF PLAN SHT. A3.1
10. PROTECT (E) WINDOWS TO REMAIN, (N) APPROV. WDWS. AS SEL. BY ARCH. INSTALL WD. TRIM PER ELEV. & (N) BSMT. PROV. WDWS. AS SPEC'D BY ARCH., SEE WDWS. SPECS A0.3 AND SCHED. A2.1 FOR ADD'L INFO. TYP.
11. VERIFY (E) FRAMING AND INSTALL (N) 4x4 DF HOR. WOOD 1x4 TRIMMERS AROUND WDWS. W/ DBL. 2x4 BLDG EA. WAY AT TOP AND BTM OF WDM FRAMING. W/ SHMP STRAPS PER STRUCT. DETAIL TYP.
12. SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WD. DRS & HWDR. TO MATCH (E). PROV. (N) PAINT GRD. POCKET DRS. TO MATCH (E) OR PATTERN. W/ JOHNSON GLIDE HWDR. PER DR. SCHED. TYP.
13. PROVIDE (N) S.C. PAINT GR. EXT. DR. TO (N) KIT. REAR ENTRY. PROV. (N) S.C. PAINT GRD. HINGED FL. DR. & HWDR. W/ PREHUNG JAMB ASSY. PER MFG. SPECS TYP. INST. (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
14. CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRANCES & PORTALS. INSTALL BUILT-IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SHT. INSTALL INT. (N) DR. CASING, 1x FLAT, & 1x BASE BOARD, WINDOWS, CASED & SIMILAR TO (E) HEAD, STOOL, AND APRON TRIM PER INT. ELEV. & DETAIL NOTES TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWORK. SPECS. SHT. A0.3, TYP.
15. PROTECT (E) TAG WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLRS. @ (N) ADDN TO MATCH (E). PATCH (N) TAG HWD. FLRS. TO MATCH (E). VERIFY COND. OF SUBFL. & FRAMING PRIOR TO INSTALLATION. CONFIRM SIZE, WD. TYPE, STAIN CLR. & PATTERN IN FIELD AND W/ OWNER. @ KIT. & LAUNDRY RM. AREAS. INSTALL W/ALOODING OR OTHER MATL. AS SPEC. BY OWNER. PREP. FLR. AS REQ'D. TO REC. (N) MATL'S. PER MFG. S. SPEC. TYP. COORD. SUBFL. PREP. W/ CEMENT BOARD TO MATCH FIN. INT. OF (N) OR (E) WD. FLRS. AS REQ'D. PROV. SAMPLES TO OWNER. PRIOR TO ORDERING.
16. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/ OWNER.
17. INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A SMOOTH, HARD NONABSORBENT SURFACE OVER A W.P. MEMB. FLR. AND MOISTURE RESISTANT UNDERLAYMENT WALL. TO A HT. OF 2' ABOVE DRAIN INLET.
18. PROVIDE (N) PAINT GRD. CABS. W/ STONE COUNTERTOPS & TILE BACKSPLASH. AND (N) OR (E) APPLIANCES PER FLR. PLAN AND ELEV. PER OWNERS SPECS. SEE ALSO CASE WORK SPECS. SHT. A0.4 & INT. ELEV. AS W/ OWNER NOTES.
19. INSTALL BATHRM VANTY, COUNTER TOP W/ BACKSPLASH, TOILET, AND SHOWER ENCLOSURE (UNITS HAS OCCURRED) AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL L.OCS. AND MEP REQUIREMENTS. IN FIELD W/ OWNER. TYP.
20. INSTALL GRAB BARS, TOWEL BARS, WALL SCISSORS, AND BATHROOM ACCESS, AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED NEW 2x10 DF WALL BLOCKING WORK. VERIFY FINAL L.OCS. IN FIELD W/ OWNER. TYP.
21. PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSMT. ADU. ENSURE 1/2" CLEARANCE FRM. FIN. (N) ADU. ENTRANCE. PROVIDE SMOOTH TRANS. W/ (N) AND (E) STEPS @ AREA OF WORK. PREP. SURF. FOR (N) SHEET VINYL FLRNG. TO BE INSTALLED @ ADU. ENTRY. REFER TO FND. DETAILS SHT. A.
22. PROV. (N) CONC. LNDG. & STEP TO BSMT. ADU. SIDE ENTRY PATCH TO MATCH (E) PAVYR LEVEL SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS PROVIDE (N) CONC. EGRESS WELL AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 8 SQ. FT. CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. W/ PERMANENT EGRESS LADDER. SEE CODE NOTE 10.
23. PROV. (N) INT. STAIRS TO FIN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD.
24. (N) BSMT., INADU & INFRN. STORAGES TO REMAIN: (E) SOL. TO BE COVERED & VAPOR BARRIER INSTALLED AS REQ'D. (E) CONC. FTG. TO RCV. (N) RETRO. ANCHORAGE PER SECT. & DETAIL PER SHT. A. VAPOR BARRIER @ EXIST. (E) PERIMETER TO RCV. (N) INT. OPENINGS & VOLUNTARY RETROFIT OPENINGS, AS REQ'D. TYP. INSTALL (N) PLYWD. SHEATHING @ (N) BSMT. STORAGE AREAS W/ ACCESS DR. FROM (N) ADU. KITCHEN.
25. REBUILD FRONT ENTRY STEPS & STOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING CONDITS. REPAIR AS REQ'D.
26. PROVIDE (N) SCREENED FND. VENTS AS SHOWN ON FOUND. PLAN.
27. (N) LOC. OF WASTE WTR'S S. ELECT. PUMP. REFER TO MEP 1 FOR MORE INFO.
28. AT ALL (N) & (E) LIGHT & EGRESS WELLS, PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MATL. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS. PROVIDE SAFETY EXIT LADDER & 24" EXIT GATE AT RAILINGS.
29. PROVIDE (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. RES. INSTALL 42" RWD. RAILS. RWD STAIRS W/ 36" HANDRAILS, & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. & (N) SITE PLAN, & DETAIL A0.3.
30. PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 8 SQ. FT. CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. SEE CODE B-XX.
31. AT NORTH WALL OF (N) ADDTN. PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HORIZ. SIDING FINISH FOR BLIND DOORS. TYP. REF. TO (N) PLNS & ELEV.
32. SEE ADD'L REQ'S. MEP 1.0 AND TYP. CODE NOTES A0.3.



(N) BUILDING SECTION
(PRELIM.)

SCALE: 1/4"=1'

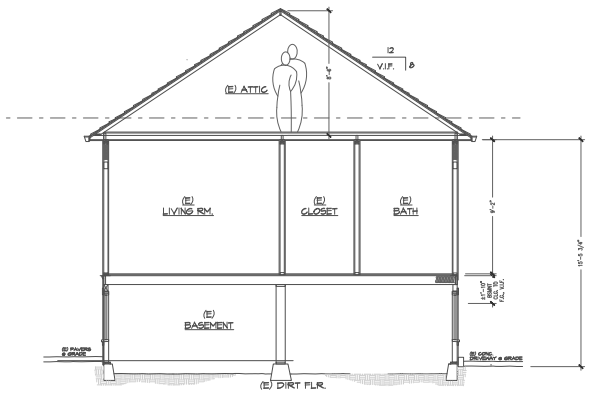
C-C



(N) BUILDING SECTION

SCALE: 1/4"=1'

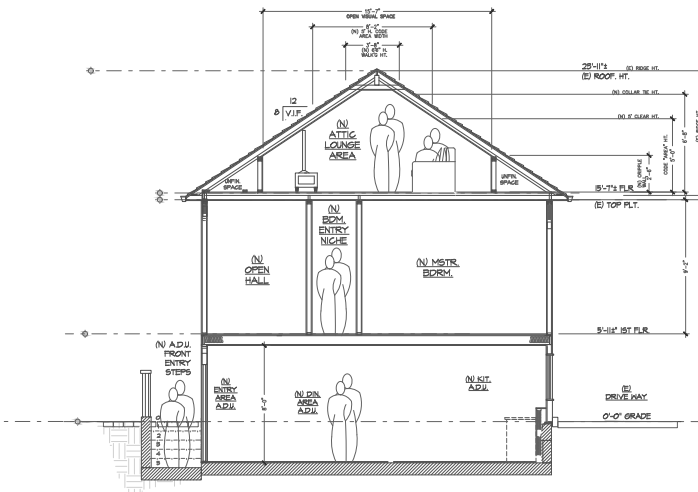
A-A



(E) BUILDING SECTION

SCALE: 1/4"=1'

1-1



(N) BUILDING SECTION

SCALE: 1/4"=1'

B-B

JAUIGUI REMODEL ISSUE DATE 07/03/2020 PROGRESS REVIEW 10/10/2020 PRELIM. DATA 03/03/2021 PLANNING SUBMIT 04/15/2022 HIST. ELEV. REVIS 02/04/2023 PLANNING / H&C SUBMIT	
STRATA DESIGN STUDIO DESIGN - CONSULTING - PRESERVATION JOHN S. TAPIENA-FROLLI, AIA DOCK 11 1710 S SAN JOSE, CA 95108 408.933.1141 - jfr@stratadsgn.com	
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