



City of Santa Clara

Meeting Agenda

Planning Commission

Wednesday, November 12, 2025

6:00 PM

**Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050**

The City of Santa Clara is conducting the Planning Commission Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

Via Zoom:

- <https://santaclaraca.zoom.us/j/91729202898>

- Webinar ID: 917 2920 2898 or

Phone: 1(669) 900-6833

How to Submit Written Public Comment Before Planning Commission Meeting:

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6:00 PM REGULAR MEETING

Call to Order

Pledge of Allegiance and Statement of Values**Roll Call****DECLARATION OF COMMISSION PROCEDURES****CONTINUANCES/EXCEPTIONS****CONSENT CALENDAR**

Consent Calendar items may be enacted, approved or adopted, based upon the findings prepared and provided in the written staff report, by one motion unless requested to be removed by anyone for discussion or explanation. If any member of the Planning Commission, staff, the applicant or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Planning Commission meeting when the Chair calls for these requests during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

1. **25-1629** [Planning Commission Meeting Minutes of October 8, 2025](#)

Recommendation: Approve the Planning Commission Meeting Minutes of the October 8, 2025 Meeting.

PUBLIC PRESENTATIONS

Members of the public may briefly address the Commission on any item not on the agenda.

PUBLIC HEARING

Items listed above under Items for Council Action will be scheduled for Council review following the conclusion of hearings and recommendations by the Planning Commission. Due to timing of notices for Council hearings and the preparation of Council agenda reports, these items will not necessarily be heard on the date the minutes from this meeting are forwarded to the Council. Please contact the Planning Division office for information on the schedule of hearings for these items.

2. **25-1109** [Public Hearing: Recommendation on a General Plan Amendment to the City's Open Space Element to Add Policies to Address Climate Resilience and Other Co-benefits of Open Space; to Help to Increase Access to Open Space for Everyone; and to Preserve, Enhance, and Expand a Network of Open Spaces.](#)

Recommendation: Staff recommends based on Senate Bill 1425, that the Planning Commission recommend the City Council:

1. Find that the Addendum to the 2010-2035 General Plan Environmental Impact Report (EIR) prepared for the project complies with CEQA, and that the adoption of the Open Space Element Update would not result in environmental impacts beyond those described in the General Plan EIR and no further analysis is required.
2. Adopt the General Plan Text Amendment and find that it satisfies the SB 1425 requirements to update open space programs to include policies addressing climate resilience and other co-benefits of Open Space; and that the necessary text edits are consistent with the Parks, Open Space, and Recreation Goals and Policies in the General Plan.

3. **25-996** [Study Session on Draft Citywide Objective Design Standards](#)

REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:

1. Announcements/Other Items
2. Board and Commission Dinner Recognition Event Discussion - requested by Commissioner Saleme
3. Commissioner Travel and Training Reports, Requests to attend Trainings

DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:

1. Planning Commission Budget Update
2. Upcoming Agenda Items
3. City Council Actions

ADJOURNMENT:

The next regular scheduled meeting is on December 17, 2025 at 6:00 PM in the City Hall Council Chambers and Via Zoom.

MEETING DISCLOSURES

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City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

25-1629

Agenda Date: 11/12/2025

REPORT TO PLANNING COMMISSION

SUBJECT

Planning Commission Meeting Minutes of October 8, 2025

RECOMMENDATION

Approve the Planning Commission Meeting Minutes of the October 8, 2025 Meeting.



City of Santa Clara

Meeting Minutes

Planning Commission

10/08/2025

6:00 PM

Hybrid Meeting
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6:00 PM REGULAR MEETING

Call to Order**Pledge of Allegiance and Statement of Values****Roll Call**

Chair Crutchlow called the meeting to order at 6 p.m.

Present 7 - Commissioner Yashraj Bhatnagar, Commissioner Nancy A. Biagini, Commissioner Priya Cherukuru, Commissioner Qian Huang, Vice Chair Mario Bouza, Commissioner Lance Saleme, and Chair Eric Crutchlow

DECLARATION OF COMMISSION PROCEDURES

Secretary Cheurkuru read the Statement of Values.

CONTINUANCES/EXCEPTIONS

None.

CONSENT CALENDAR

1.A [25-1509](#) Planning Commission Meeting Minutes of September 10, 2025

Recommendation: Approve the Planning Commission Meeting Minutes of the September 10, 2025 Meeting.

1.B [25-1038](#) Planning Commission 2026 Calendar of Meetings

Recommendation: Approve the Planning Commission 2026 Calendar of Meetings.

A motion was made by Commissioner Bouza, seconded by Commissioner Bhatnagar to approve the consent calendar.

Aye: 6 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, and Commissioner Saleme

Abstained: 1 - Chair Crutchlow

PUBLIC PRESENTATIONS

None.

PUBLIC HEARING

2. [25-943](#) PUBLIC HEARING: Action on the Initial Study/Mitigated Negative Declaration (IS/MND), Mitigation Monitoring and Reporting Program, and to Amend the Approved Planned Development (PD) Zoning for 22 All-Electric Detached Single-Family Residences (PLN22-00505) to Allow for the Installation of Natural Gas Stove Appliances (PLN25-00073) for the Property Located at 1957 Pruneridge Avenue

Recommendation: The proposed modification to the rezoning is a legislative act, and the Planning Commission and Council have a significant degree of discretion in making their decisions. Because the developer committed to not use methane in order to obtain the PD zoning in 2024, and the all-electric construction is one of the stated reasons for granting the PD zoning, there is no obligation to reverse course and allow methane just one year later. Nevertheless, the addition of natural gas stovetops will respond to market demand and add value to the residences. In addition, the inclusion of 22 natural gas stoves does not represent a significant policy shift, especially given that the City is drafting a revision to its Reach Code that may expressly allow for natural gas stovetops in the near future. Consequently, Staff recommends that the Planning Commission adopt Alternatives 1 and 2:

1. Adopt a resolution recommending the City Council adopt the Mitigated Negative Declaration (MND) and the Mitigation Monitoring and Reporting Program (MMRP) for the 1957 Pruneridge Avenue Residential Project.
2. Adopt a resolution recommending the City Council to amend the approved Planned Development (PD) Zoning (PLN22-00505) for the 22 single-family detached two-story all-electric residences to allow for the installation of natural gas stove appliances for the Property located at 1957 Pruneridge Avenue, subject to conditions of approval.

Senior Planner Nimisha Agrawal provided the staff presentation.

Applicant Mathew Schott and Steve Schott, SCS Developers, provided a presentation.

A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to close public hearing.

Aye: 7 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

A motion was made by Commissioner Cherukuru seconded by Commission Biagini to approve staff recommendation 1.

Aye: 7 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

A motion was made by Commissioner Cherukuru seconded by Commission Biagini to approve staff recommendation 2.

Aye: 7 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

3. [25-937](#) Public Hearing: Vesting Tentative Map (PLN24-00044) for a Common Interest Development for the Proposed Development of Six Single-Family Housing Units to Accompany Architectural Review Application (PLN24-00034), Subject to Streamlining Under SB 330 (2019), Located at 4503 Cheeney Street.

Recommendation:

1. **Recommend** that the City Council determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects); and
2. **Adopt** a Resolution recommending the City Council approve the Vesting Tentative Map (PLN24-00044) for a common interest development for the proposed development of six single family housing units located at 4503 Cheeney Street to accompany the Architectural Review application (PLN 24-00034), subject to findings and conditions of approval

Assistant Planner Daniel Sobczak provided the staff presentation.

Applicant Jeff Aguilar was in attendance to answer questions.

A motion was made by Commissioner Biagini, seconded by Commissioner Bhatnagar to close public comment.

Aye: 7 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

A motion was made by Commissioner Biagini, seconded by Commissioner Cherukuru to approve staff recommendation 1.

Aye: 7 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

A motion was made by Commissioner Biagini, seconded by Commissioner Saleme to approve staff recommendation 2 and to approve the updated Conditions of Approval provided by staff.

Aye: 7 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

4. [25-1040](#) Study Session on the Santa Clara Station Area Specific Plan

Director of Community Development Afshan Hamid provided an introduction.

Planning Manager Lesley Xavier stated that early input and feedback is being requested from Commissioners and that the City is in partnership with VTA and the WRT Consultant team.

Jim Stickley, WRT, provided a presentation.

Robert Swierk, Planner at VTA and **Melissa Cerezo, Planner at VTA** spoke.

Commissioners inquired on several items including how their comments would be provided to Council, questions on the amount of housing proposed and the congestion on Coleman Avenue, how to connect Coleman to the Downtown area, concerns regarding wind and airport activity as it relates to building heights and high density near the airport.

REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:

1. Announcements/Other Items
2. Commissioner Travel and Training Reports, Requests to attend Trainings

Chair Crutchlow provided an update on his attendance at the California APA Conference September 28, - October 1, 2025 in Monterrey, California.

DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:

1. Planning Commission Budget Update

Staff Aide II Elizabeth Elliott provided updates.

2. Upcoming Agenda Items

Planning Manager Lesley Xavier provided updates.

3. City Council Actions

Planning Manager Lesley Xavier provided updates.

ADJOURNMENT:

The meeting adjourned at 8:58 p.m. The next regular scheduled meeting is November 12, 2025 at 6 p-m.

Aye: 7 - Commissioner Bhatnagar, Commissioner Biagini, Commissioner Cherukuru, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

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Agenda Report

25-1109

Agenda Date: 11/12/2025

REPORT TO PLANNING COMMISSION

SUBJECT

Public Hearing: Recommendation on a General Plan Amendment to the City's Open Space Element to Add Policies to Address Climate Resilience and Other Co-benefits of Open Space; to Help to Increase Access to Open Space for Everyone; and to Preserve, Enhance, and Expand a Network of Open Spaces.

BACKGROUND

Adopted in 2010, the City's General Plan (2010-2035) represents the long-term goals for the City's future and guides decisions during its timeframe. State law requires that General Plans include seven mandated "elements," including Land Use, Circulation, Housing, Safety, Noise, Conservation and Open Space; an Environmental Justice element will be required in the future. The 2010-2035 Santa Clara General Plan is an "integrated" document, meaning it does not have independent elements, except for the Housing Element. Instead, the General Plan includes a matrix, set forth in Appendix 8.4, listing where each of the state-mandated elements are contained.

From time to time, the elements are updated to be consistent with changes in State Law. In 2022, the State adopted Senate Bill (SB) 1425, which requires cities and counties to review and update their Open Space elements by January 2026. The Open Space element is meant to catalog the existing unimproved sites within a jurisdiction and the likely disposition of those parcels within the timeframe of the General Plan.

SB 1425 requires cities and counties to update their open space programs to include policies addressing climate resilience and other co-benefits of Open Space, consistent with the jurisdiction's Safety element. This law also requires that jurisdictions address the issue of access to open space for everyone and to preserve, enhance, and expand a network of open spaces.

DISCUSSION

The City's Open Space element goals and policies are primarily contained in Chapter 5.9 of the General Plan. The State's General Plan Guidelines define open space as unimproved land devoted to:

- The preservation of natural resources
- Managed production of resources, meaning farmland (not applicable in the City of Santa Clara)
- Outdoor recreation, including linkages
- Open Space for public safety (for example, earthquake easements)
- Military installations (not applicable in Santa Clara)
- Tribal Resources

The fact that open space lands are defined as unimproved puts them in contrast to developed and actively managed park facilities.

Geographically, the City is constrained by other cities at its boundaries and is fully developed. Consequently, it has a very limited portfolio of open spaces called out in the General Plan. Section 8.8.4 lists Agnews Park, Civic Center Park (the City Hall grounds) and Ulistac Open Space as the only General Plan designated open spaces in the City.

The City has two planning efforts underway related to parks, trails and public open spaces. First, the City's Department of Public Works is currently drafting a creek trail network expansion master plan, and is a foundational element of a network of connected open spaces, consistent with SB 1425. Secondly, the City's Parks and Recreation Department is currently drafting a Parks and Recreation Master Plan, which describes priorities for parks facilities and programs over the short and medium term.

Both documents have been reviewed, and locations of potential facilities have been incorporated into an updated Figure 5.9-1, the Parks, Recreation and Open Space Diagram, which is included as Attachment 1.

As part of the update, text language in the Open Space Element relating to open space access and the creation of a linked network of open spaces has been strengthened. In addition, resilience policies from the City's adopted Climate Action Plan (2022) have been added to the Open Space policies. New and updated open space policies are included as Attachment 2, with changes shown in strikethrough and underline.

The text amendment is presented to the Planning Commission for a recommendation to the City Council for their consideration and action. The following specific actions are required.

1. Find that the Addendum to the 2010-2035 General Plan Environmental Impact Report (EIR) prepared for the project complies with CEQA, and that the adoption of the Open Space Element Update would not result in environmental impacts beyond those described in the General Plan EIR and no further analysis is required.
2. Find that the General Plan Text Amendment satisfies the SB 1425 requirements to update open space programs to include policies addressing climate resilience and other co-benefits of Open Space; and that the necessary text edits are consistent with the Parks, Open Space, and Recreation Goals and Policies in the General Plan.

Staff recommends that the Planning Commission recommend to the City Council approval of the General Plan Amendment by approving all the above-described actions because the amendment will bring the City's General Plan into compliance with the requirements of SB 1425, by helping to create a comprehensive network of open spaces that are accessible to everyone and that help to reinforce the City's resilience goals.

Alternatively, the Planning Commission has the option to recommend denial of the amendment, or to request modifications.

ENVIRONMENTAL REVIEW

The City prepared an Addendum to the 2010-2035 General Plan Environmental Impact Report (EIR) to cover adoption of this General Plan Amendment.

The Open Space element update consists of three primary components:

1. New trail alignments incorporated into the Parks, Recreation and Open Space diagram (Figure 5.9-1 of the General Plan)
2. Addition of policies related to carbon farming on open space land from the City's adopted Climate Action Plan.
3. Strengthening of policy language to emphasize access to open space for everyone, and towards the creation of a network of open spaces with trail linkages.

New trail alignments will allow the City to apply for grants that will help to fund the development of the Creek Trail network. Individual improvements will be analyzed for CEQA compliance at the planning stages prior to construction.

Regarding the addition of Climate Action Plan policies to the Open Space chapter, the Climate Action Plan is

already an appendix to the General Plan and its policies are being put in a more prominent location to help inform discussion about the potential uses of open space. Since the Climate Action Plan is already adopted, these policies have been previously analyzed for CEQA compliance.

The strengthening of policy language to emphasize a network for all connected open spaces does not change the development potential of the General Plan, nor does it create a program of activities.

The Addendum indicates that the adoption of the Open Space Element Update would not result in environmental impacts beyond those described in the General Plan Update EIR.

FISCAL IMPACT

Adoption of the Open Space element update would bring the City's General Plan into compliance with state law, specifically SB 1425. These actions would involve no additional resources beyond those needed to update the General Plan.

COORDINATION

This item was coordinated with the City Attorney's Office, the Department of Parks and Recreation, and the Department of Public Works.

PUBLIC CONTACT

A newspaper notice was published in the October 22, 2025, issue of the Santa Clara Weekly describing the proposed adoption of the General Plan Amendment to the Open Space element.

Public contact was also made by posting the Planning Commission agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

RECOMMENDATION

Staff recommends based on Senate Bill 1425, that the Planning Commission recommend the City Council:

1. Find that the Addendum to the 2010-2035 General Plan Environmental Impact Report (EIR) prepared for the project complies with CEQA, and that the adoption of the Open Space Element Update would not result in environmental impacts beyond those described in the General Plan EIR and no further analysis is required.
2. Adopt the General Plan Text Amendment and find that it satisfies the SB 1425 requirements to update open space programs to include policies addressing climate resilience and other co-benefits of Open Space; and that the necessary text edits are consistent with the Parks, Open Space, and Recreation Goals and Policies in the General Plan.

Prepared by: John Davidson, Principal Planner, Community Development

Reviewed by: Alexander Abbe, Assistant City Attorney

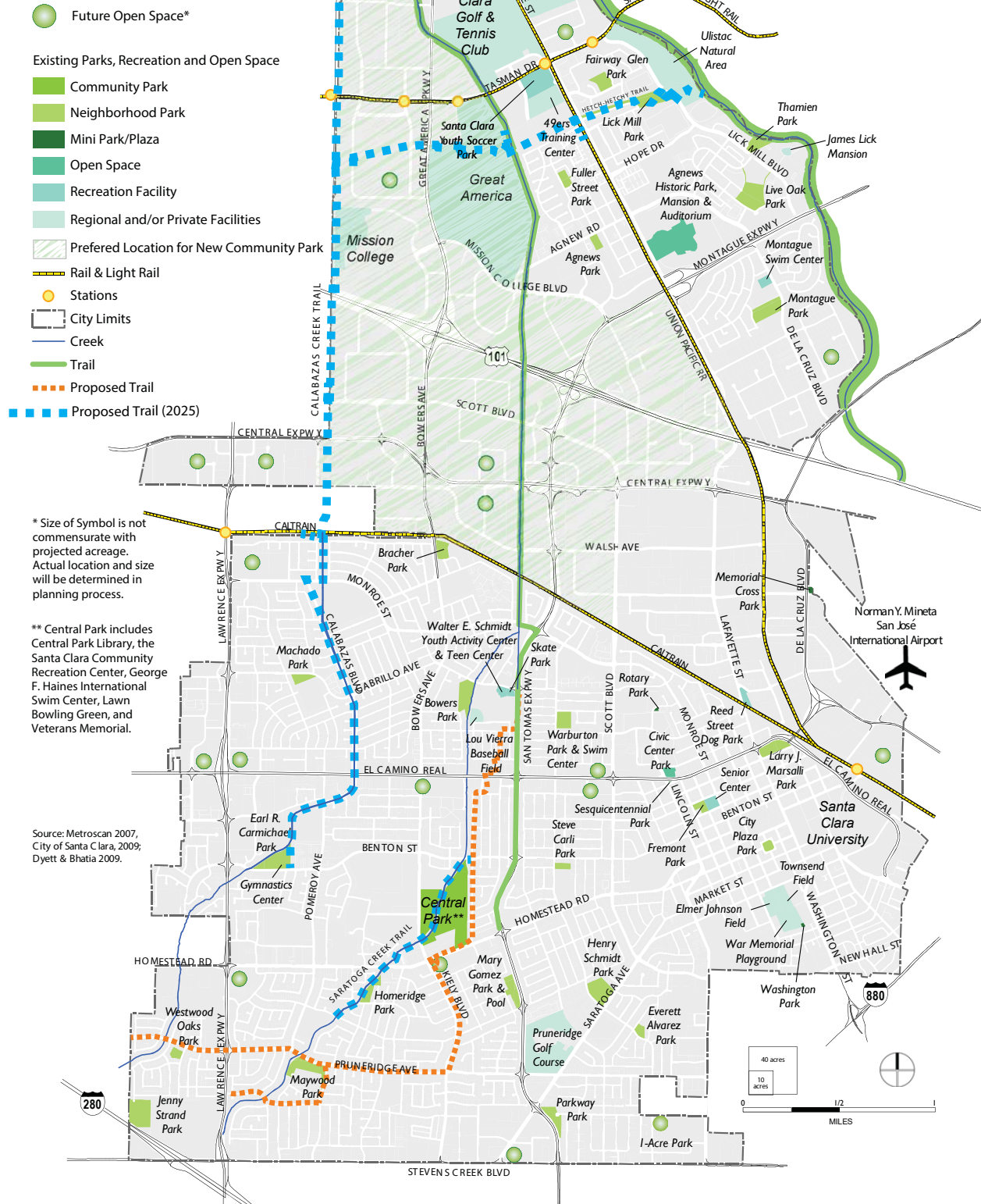
Approved by: Afshan Hamid, Director of Community Development

ATTACHMENTS

1. Parks, Recreation and Open Space Diagram, General Plan Figure 5.9-1
2. General Plan Open Space Element Text Changes
3. Resolution to Recommend Approval
4. Addendum to the General Plan 2010-2035 EIR for changes to the Open Space Element relating to SB1425



Figure 5.9-1
**Parks, Recreation and
Open Space (2035)**



Attachment 2

(Proposed changes are shown as underlined)

New and Updated Open Space Goals and Policies

Goals

- 5.9.1-G2 Parks, trails and open space that are accessible to everyone by being located within a ten-minute walk to residential neighborhoods and employment centers.
- 5.9.1-G4 A comprehensive network of park, trail and open space facilities that are accessible to everyone and provide connections to destination points and activity centers within the City.

Policies

- 5.9.1-P3 Provide a network of trails along creeks and other rights-of-way to link parks, open spaces, bicycle facilities and transit services with residential neighborhoods and employment centers.
- 5.9.1-P6 Support construction of a network of trails within the City of Santa Clara that connect to the Bay Trail, the Saratoga/San Tomas Aquino Creek and the Guadalupe River trails.
- 5.9.1-P22 Carbon farming on open space lands. Partner with resource conservation districts to increase carbon farming, creek restoration, wetland restoration, and local offset opportunities in open space lands within the city limits of Santa Clara.
- 5.9.1-P23 Sustainable planting guide. Support local organizations in developing a planting guide that prioritizes increasing available soil, carbon sequestration, resilience, and other equitably distributed co-benefits.

RESOLUTION NO. _____

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY
OF SANTA CLARA, CALIFORNIA TO RECOMMEND APPROVAL
OF A GENERAL PLAN TEXT AMENDMENT TO UPDATE THE
CITY'S GENERAL PLAN OPEN SPACE ELEMENT, CONSISTENT
WITH STATE LAW**

WHEREAS, in 2022 the state adopted Senate Bill 1425, which requires local jurisdictions to update Open Space Elements of their General Plans to include policies that address climate resilience and other co-benefits of open space, consistent with the jurisdiction's safety element; and

WHEREAS, SB 1425 also requires local jurisdictions to address the issue of access to open space for everyone and to preserve, enhance, and expand a network of open spaces; and,

WHEREAS, the City is currently drafting a Creek Trail Network Expansion Master Plan, and an update to the City's Parks and Recreation Master Plan, both of which are relevant to the update of the Open Space Element; and

WHEREAS, the City has drafted updates to the General Plan Parks, Recreation and Open Space Diagram (Figure 5.9-1 of the General Plan) to reflect these planning efforts, and proposed edits to Chapter 5.9 of the General Plan to respond to SB 1425; and

WHEREAS, Santa Clara City Charter Section 1007 requires that the Planning Commission provide input to the City Council on any proposed General Plan amendment; and

WHEREAS, Government Code Section 65353 requires the Planning Commission to hold a public hearing prior to making a recommendation on the General Plan Amendment; and

WHEREAS, on October 22, 2025, a notice of the public hearing on the proposed General Plan Amendment was published in the *Santa Clara Weekly*, for the Planning Commission Hearing to be conducted on November 12, 2025; and

WHEREAS, pursuant to SCCC Section 18.146.020, on October 15, 2025, notices of the public hearing of November 12, 2025, were posted at City Hall, the Central Park Library, the Mission Branch Library, the Northside Branch Library, and on the City's website; and

WHEREAS, on November 12, 2025, the Planning Commission conducted a duly noticed public hearing to consider the Open Space Element Update, at which time all interested persons were given an opportunity to give testimony and provide evidence in support of and in opposition to the proposed amendments.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby finds and determines that the proposed General Plan Amendment is in the interest of the public good for the following reasons:
 - A. The City's Open Space Element is consistent with SB 1425 in that the revised Open Space Element addresses climate resilience by incorporating policies from the City's Climate Action Plan;
 - B. The revised Open Space policies of the General Plan call out access for all as a goal;
 - C. The incorporation of proposed trails from the Creek Trail Network Expansion master plan help to create a network of linked open spaces; and
 - D. The proposed General Plan Amendment has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA), in that an Addendum to the City of Santa Clara 2010-2035 General Plan Environmental Impact Report (EIR) has been prepared.
3. That the Planning Commission hereby recommends that the City Council amend the City's Open Space Element, as contained in Section 5.9.1 (Parks, Open Space and Recreation Goals and Policies) of the General Plan, by incorporating a revised version of Figure 5.9-1, the Parks Recreation and Open Space Diagram as shown in Attachment 1, and by incorporating the proposed

text changes shown in Attachment 2 into Section 5.9.1.

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED
AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA,
CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE ____ DAY OF _____,
20__, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____

AFSHAN HAMID
DIRECTOR OF COMMUNITY

DEVELOPMENT

CITY OF SANTA CLARA

Attachments incorporated by reference:

1. Revised Figure 5.9.1, Parks, Recreation and Open Space diagram
2. Revisions to Section 5.9.1, Parks, Open Space, and Recreation Goals and Policies

Open Space Element General Plan Amendment September 26, 2025

Project Description

The General Plan Amendment to the City's Open Space element consists of three primary components:

1. New trail alignments incorporated into the Parks, Recreation and Open Space diagram (Figure 5.9-1 of the General Plan)
2. Addition of policies related to carbon farming on open space land from the City's adopted Climate Action Plan.
3. Strengthening of policy language to emphasize access to open space for everyone, and towards the creation of a network of open spaces with trail linkages.

The proposed trail alignments and revised policy language are included as attachments 1 and 2 to this addendum.

Legal Basis for an Addendum

This Addendum has been prepared pursuant to Public Resources Code Section 21166 and California Environmental Quality Act (CEQA) Guidelines Section 15162, 15164, and 15168(c). This Addendum evaluates the project's potential environmental effects in light of those effects previously disclosed in the 2010 General Plan Environmental Impact Report (EIR) to determine whether any of the conditions described in Guidelines Section 15162 calling for subsequent CEQA review have occurred. The General Plan EIR is available for review at the City's Planning Division, 1500 Warburton Avenue, Santa Clara, California 95050. CEQA Guidelines Section 15164(a) provides that the lead agency "*shall prepare an addendum to a previously certified EIR if some changes or additions are necessary* but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred." Sub-Section (c) further provides that an "addendum need not be circulated for public review but can be included in or attached to the final EIR," and Sub-Section (e) states that a "brief explanation of the decision not to prepare a subsequent EIR pursuant to Section 15162 should be included" in the addendum, the agency's findings, or elsewhere in the administrative record.

CEQA Guidelines Section 15168(c)(2) provides that "if the agency finds that pursuant to Section 15162, no subsequent EIR will be required, the agency can approve the activity as being within the scope of the project covered by the EIR" and that "[w]hether a later activity is within the scope of an EIR is a factual question that the lead agency determines based on substantial evidence in the record." According to CEQA *Guidelines* Section 15162, once an EIR has been certified, no subsequent or supplemental EIR shall be prepared for a project unless the lead agency determines that one or more of the following occurs:

1. Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration

due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or

3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any of the following:
 - a. The project will have one or more significant effects not discussed in the previous EIR or negative declaration;
 - b. Significant effects previously examined will be substantially more severe than shown in the previous EIR;
 - c. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
 - d. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

An addendum may be prepared if some changes or additions are necessary to a certified EIR and none of the above-stated conditions apply (*CEQA Guidelines* Section 15164).

Analysis and Conclusions

New trail alignments will allow the City to apply for grants that will help to fund the development of the Creek Trail network. At the present time, the proposed trail alignments are conceptual. Individual improvements will be analyzed for CEQA compliance during the planning stage, prior to construction. There will be no physical changes to the environment as a result of the addition of the proposed trail alignments to the General Plan.

Regarding the addition of Climate Action Plan (CAP) policies, the CAP is already an appendix to the General Plan and the policies are being put in a more prominent location to help inform discussion about the potential uses of open space. Since the Climate Action Plan was previously adopted, CAP policies have already been analyzed for CEQA compliance.

The strengthening of policy language to emphasize a network of connected open spaces for all does not change the development potential of the General Plan, nor does it in and of itself create a program of additional activities.

Taken together, the actions involved in the proposed Open Space General Plan Amendment only change the project description of the General Plan EIR and do not change the severity of the impacts, the required mitigation measures or the conclusions.

Preparer:

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City of Santa Clara
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408-615-2478



Agenda Report

25-996

Agenda Date: 11/12/2025

REPORT TO PLANNING COMMISSION

SUBJECT

Study Session on Draft Citywide Objective Design Standards

BACKGROUND

California has been facing a housing affordability crisis since the 1980's due to various reasons. One reason has been the unpredictable development environment that developers have faced as they juggle between multiple cities' varied zoning development standards and processes.

Beginning with the passage of Senate Bill 35 (SB 35, now SB 423) in 2017, State law allows for the streamlined, ministerial approval of eligible housing development projects with two or more dwelling units. A series of housing laws passed since 2017 resulted in additional streamlining provisions for various multifamily housing types.

Currently, California Government Code Sections 65913.4 and 65589.5 mandate that cities utilize only "objective planning standards" related to the project site, land use regulations and project form when reviewing residential development applications. Subjective criteria, frequently contained in local design guidelines and land use priorities, may not be used as a basis for approving or disapproving a housing project that is eligible for streamlined approval.

According to California Government Code Section 65913.4(a)(5), residential projects eligible for streamlining shall be "consistent with objective zoning standards, objective subdivision standards, and objective design review standards in effect at the time that the development is submitted." State law defines "objective standards" as:

"Criteria that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official before submittal."

Based on this definition, objective design standards must be composed of quantitative requirements, numeric thresholds, discrete options, point-based standards, and/or other approaches that facilitate ministerial, or "checklist-style" review.

Like most jurisdictions in California, Santa Clara had not adopted a comprehensive set of objective design standards prior to SB 35. Currently, the City of Santa Clara has objective design standards codified through its five Specific and Precise Plans- Freedom Circle, Patrick Henry, Lawrence Station, Tasman East, & Downtown-but those standards are only applicable within each plan area. These are small geographic areas within the City, leaving the rest of the City covered by the limited number of objective standards found under the various zoning districts and the existing design guidelines (Single Family & Duplex Residential Design Guidelines & Community Design Guidelines).

As such, except for the limited geographic areas, the City has no means of ensuring that housing projects streamlined under State law are consistent with local design priorities. Through the review of development projects utilizing SB 35 and related laws, the Planning Division recognized this deficiency and started working on City-wide objective design standards so that the City can maintain the maximum degree of local design control as required by Housing Element Policy A-3

Proposed Workplan

Staff has started to address this issue through a workplan that completes this effort in two phases. Phase I is to identify and gather existing objective design standards that have already been vetted by the community and decision-makers that are included in the various regulatory City documents, most specifically from the five Specific/Precise Plans. These standards will form the baseline for the City's comprehensive objective design standards that will be applicable Citywide. During this initial phase, gaps will be identified where additional objective design standards are necessary to address design situations not covered with existing standards. Phase II will commence when the City hires a consultant team to assist with the development of new standards that will include a process that will seek community feedback through outreach and engagement.

This study session is intended to provide the Planning Commission with an overview of the Phase I efforts, gather input on the draft document and identify any gaps in the standards. The standards are a baseline and will be expanded with feedback from the Commission, community input, developer input and internal staff. Staff expects Phase I to be implemented into the zoning code by March 2026 and Phase II by 2028 at the latest.

DISCUSSION

The study session will be guided by the following agenda:

- Background
 - Objective Design Standards (“ODS”) Definition
 - Reasons to have ODS
- ODS Applicability
- ODS Crafting & Implementation Plan
 - Phase I
 - Using existing ODS that have been vetted by the community & decision makers from Planning Documents to apply Citywide
 - Create an ODS Checklist for Developers to use & Staff to confirm compliance
 - Phase II
 - Hire a consultant to help with engaging the community to fill ODS gaps (e.g. more townhouse standards) (Start Date:2026)
- ODS Document Draft
- Feedback Discussion
- Conclusion
 - Next Steps

ENVIRONMENTAL REVIEW

This study session does not constitute a “project” under the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15378(b)(5), as it’s a governmental administrative

activity that won't result in a direct or indirect change to the environment. Prior to adopting any zoning code update, the City will undertake appropriate environmental review.

FISCAL IMPACT

There is no fiscal impact to the City other than administrative staff time.

COORDINATION

This report has been coordinated with the City Attorney's Office.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Afshan Hamid, Director, Community Development Department

ATTACHMENTS

1. ODS Draft Document
2. Web Links - ODS Resources & Laws



CITY OF SANTA CLARA

Draft Objective Design Standards for City-wide Multi-Family and Residential Mixed-Use Projects

NOVEMBER 2025

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Introduction

I. Intent

The Objective Design Standards identify specific design elements that are required for all multi-family residential and residential mixed-use projects. The intent of the Objective Design Standards is to allow flexibility and creativity in design while providing a clear set of standards and expectations for applicable projects. The Objective Design Standards in this document are a compilation of adopted Objective Design Standards from the City's Specific Plans and Focus Areas.

Residential multi-family and mixed-use development in the City of Santa Clara is regulated by the General Plan, Zoning Ordinance, Specific Plans, and other applicable regulatory documents. Compliance with these regulations is supported by a discretionary design review process established in Santa Clara City Code (SCCC) Chapter 18.120.

The City's Objective Design Standards are intended to be consistent with Government Code Section 65913.4 and 66300(a)(7) as they do not "involve personal or subjective judgment by a public official" and they "are uniformly verifiable by reference to an external and uniform benchmark or criterion".

The Objective Design Standards will do the following:

- Provide clear, objective, and measurable standards for multi-family and residential mixed-use projects throughout the city;
- Streamline project review of housing, in accordance with State law;
- Ensure buildings are appropriate to their surroundings and environment;
- Promote thoughtful, context-sensitive site design;
- Maintain and enhance Santa Clara's built environment through quality architectural design; and
- Promote a pedestrian scale urban environment that enriches the quality of life of its citizens.

II. Applicability

- A. The Objective Design Standards are applicable to new multi-family development and residential mixed-use development, and additions to existing multi-family or residential mixed-use development.
- B. For modifications to existing residential mixed-use developments where no additional square footage is proposed, these standards and guidelines shall only apply to the use being modified (e.g., a ground floor retail storefront remodel will not trigger any architectural changes to residential units).
- C. These standards are additive to the zoning development standards specified in SCCC Chapter 18.10 (Residential Zones) and SCCC Chapter 18.14 (Mixed-Use Zones). Development pursuant to any California state law that references objective design standards, including but not limited to Government Code Section 65589.5 (Housing Accountability Act) and Section 65913.4 must abide by these standards.
- D. The objective design standards shall not conflict with the standards applicable to a specific plan area but if there is conflict, the specific plan standards shall apply
- E. The specific applicability of these objective design standards will be determined by the multi-family or residential mixed-use product type (such as townhouses, podium/wrap-style buildings) that is proposed. The following table breaks down the applicability of the standards

Table 1: Objective Design Standard Applicability

Design Standard	Product Type	
	Townhouse	Podium/Wrap-Style
Site Design		
Site Access (Parking)	--	•
Site Access (Loading Zone)	--	•
Site Access (Driveways)	--	•
Site Organization (Public Realm Extension)	•	•
Site Access (Corner Building Orientation)	--	•
Building Design		
Massing (Building Length)	--	•
Massing (Massing Increment Dimensional Standards).	•	•
Massing (Massing Increment Design)	•	•
Massing (Massing Increments as Distinct Buildings)	--	•
Massing (Distinct Buildings)	--	•
Façade Design (Facade Composition)	--	•
Façade Design (Base, Middle and Top)	•	•
Façade Design (Façade Fenestration)	•	•
Façade Design (Parking Structure Façade Standards)	--	•

Access & Entrance Design (Building Orientation)	•	•
Access & Entrance Design (Primary Entrances)	•	•
Access & Entrance Design (Frequency of Entries)	--	•
Access & Entrance Design (Vehicular Access)	--	•
Materials (Primary Materials)	•	•
Pedestrian Level Design		
Ground Floor Treatment - Retail (Facade Transparency and Ground Floor Retail)	--	•
Ground Floor Treatment - Residential (Ground Floor Access)	--	•
Ground Floor Treatment - Residential (Stoops)	--	•
Ground Floor Treatment – Live/Work (Entrances)	--	•
Open Space Design (Podium Style Buildings)	--	•
Open Space Design (Pathways)	--	•
Open Space Design (Special Paving)	•	•
Open Space Design (Public Art)	--	•
Open Space Design (Refuse & Recycling Receptacles)	•	•
Alley & Service Access (Lighting)	--	•
Alley & Service Access (Alleys)	•	•

Introduction

Glossary

Note: The definitions below are only applicable to the Objective Design Standards on this section of the Santa Clara City Code.

Podium-Style Building: A development project that involves a horizontal separation between an upper building and a lower, or podium, building. The lower building typically is constructed out of concrete; the upper building (some three to five stories tall) is made of wood.

Primary Materials: Any wall finish material or color that occupies more than 50 percent of the façade.

Product Type: The proposed residential building type like detached single family residences, townhomes, podium style buildings, & etc.

Special Paving: A distinct impermeable material such as natural stone paver, unit concrete pavers, brick, textured and colored concrete.

Townhouses: Attached side-by-side or stacked units that generally have front doors on one side and garages on the back side. Most townhouses have two-car garages, either two spaces wide or two tandem spaces (end to end). The front doors look onto a public street, private drive, or common open space, while the garages are usually lined up along an alley with garage doors on both sides. This development type typically includes tuck-under garage parking and additional surface parking spaces for visitors.

Wrap-Style Building: A development project that typically consists of a central above-grade concrete parking structure surrounded or “wrapped” by 4 – 7 stories of wood or steel construction.

Organization of Objective Design Standards

The Objective Design Standards are organized into three design components: site design, building design, and pedestrian level design.

Site Design: These standards apply to the site layout to foster multimodal connectivity and create cohesive neighborhoods.

Building Design: These standards apply to the architectural features such as massing, fenestration, and articulation.

Pedestrian Level Design: These standards apply to the ground floor frontage to promote pedestrian activity and human-scale development.

Note: Graphic reference for this page to visually show each chapter of these standards.

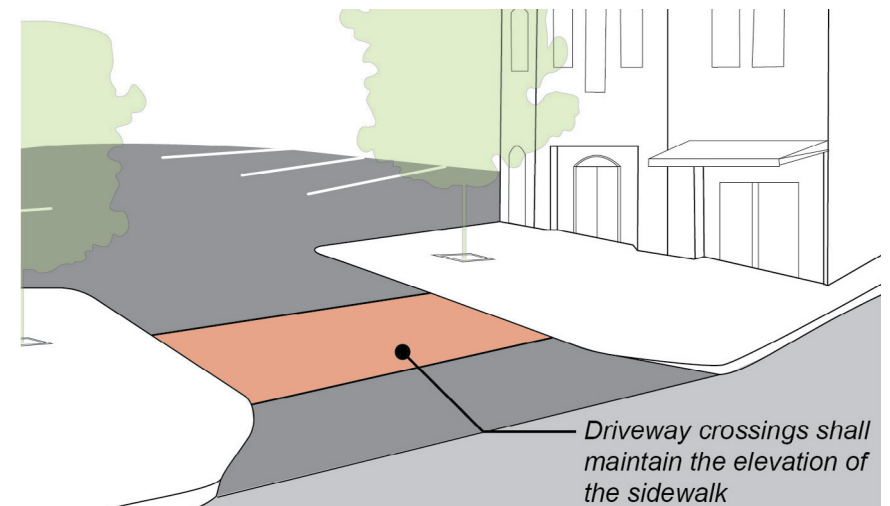
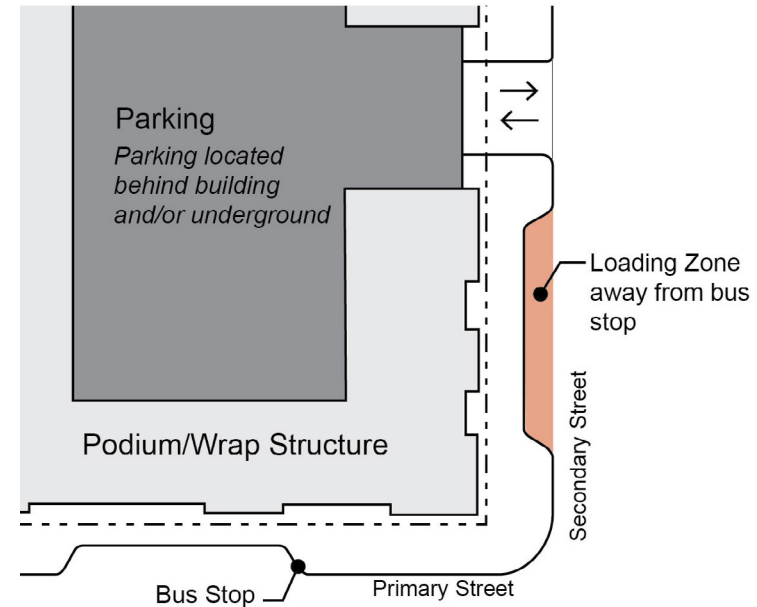
2 Site Design

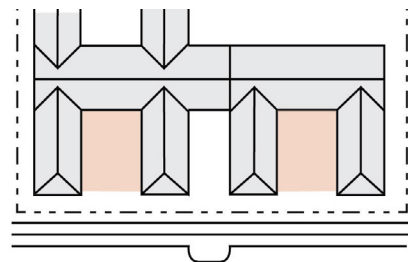
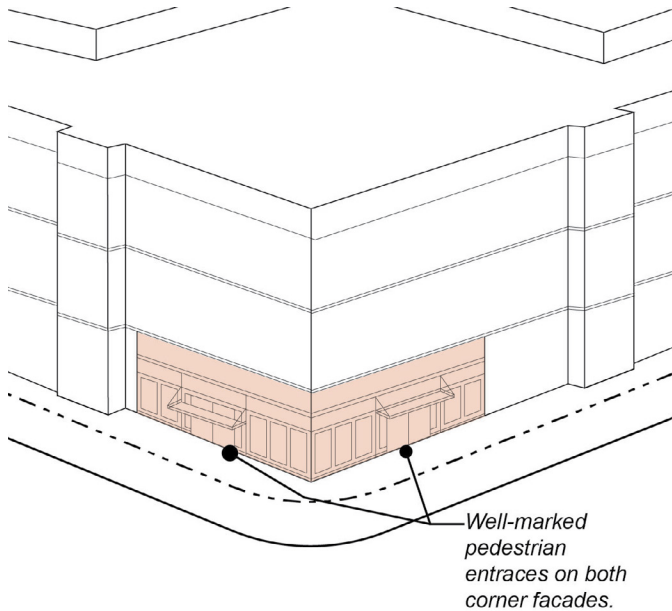
I. Purpose and Goals

This section provides site design standards to create more pedestrian-friendly functional communities through expanded pedestrian access, convenient multi-modal connections, and human-scaled block sizes.

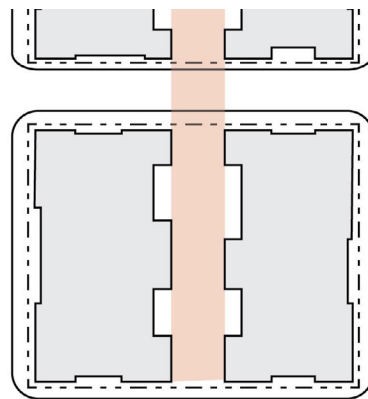
II. Site Access and Layout

1. **Parking.** Parking shall be located away from streets and other public and communal spaces. Parking shall be located behind buildings, underground, or at the interior of the block except where there is ground floor retail (Lawrence Station)
2. **Loading Zones.** Locate loading zones and rideshare pick-up / drop-off areas away from bus stops. (FC Focus Area).
3. **Driveways and Access.** Driveway access shall be designed to clearly prioritize pedestrians, according to the following requirements:
 - a. Driveway crossings shall maintain the elevation of the sidewalk;
 - b. Driveway aprons shall not extend into the pedestrian clear walkway where cross slopes are limited to a maximum of two percent; steeper driveway slopes are permitted in the furnishing and edge zones of the streets;
 - c. The dimensions and design of parking entry and exit points shall be coordinated with the requirements for stormwater treatment areas and street trees;
 - d. Curb cuts shall be minimized on greenways or open spaces, with at most only one maximum allowable curb cut (Tasman East)



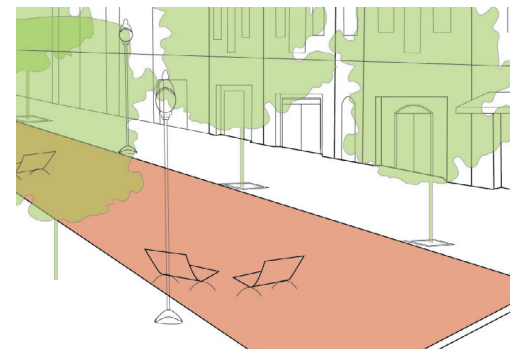


Public realm extensions also provide connections through blocks. This is accomplished with a paseo or through a sequence of courts and paseos linking together through the block.



III. Site Organization, Planning, and Design

1. Public Realm Extensions. While most buildings and ground-floor units will front onto and take their primary access from the adjacent Public Realm right-of-way, some buildings and ground-floor units may take this primary access from shared private spaces and connections that function as extensions of the public realm into a site. Such spaces comprise a “Semi-Public Realm” and serve as transitions between fully public and fully private spaces. Public Realm Extensions are subject to the following standards: (Downtown Form Based-Code)
 - a. Connectivity. Public realm extensions also provide connections through blocks. This is accomplished with a paseo or through a sequence of courts and paseos linking together through the block. Where non-vehicular paths are used, full and unrestricted public access shall be provided throughout the route.
 - b. Design. No wall or fence enclosing a public realm extension may exceed three (3) feet in height.
2. Corner Building Orientation: Ensure that corner buildings actively address both streets with well-marked and attractively designed pedestrian entrances (Patrick Henry Drive)



3

Building Design

I. Purpose and Goals

This section provides architectural design standards to create functional and welcoming human-scaled buildings that blend well with their surroundings and support active streets and public spaces.

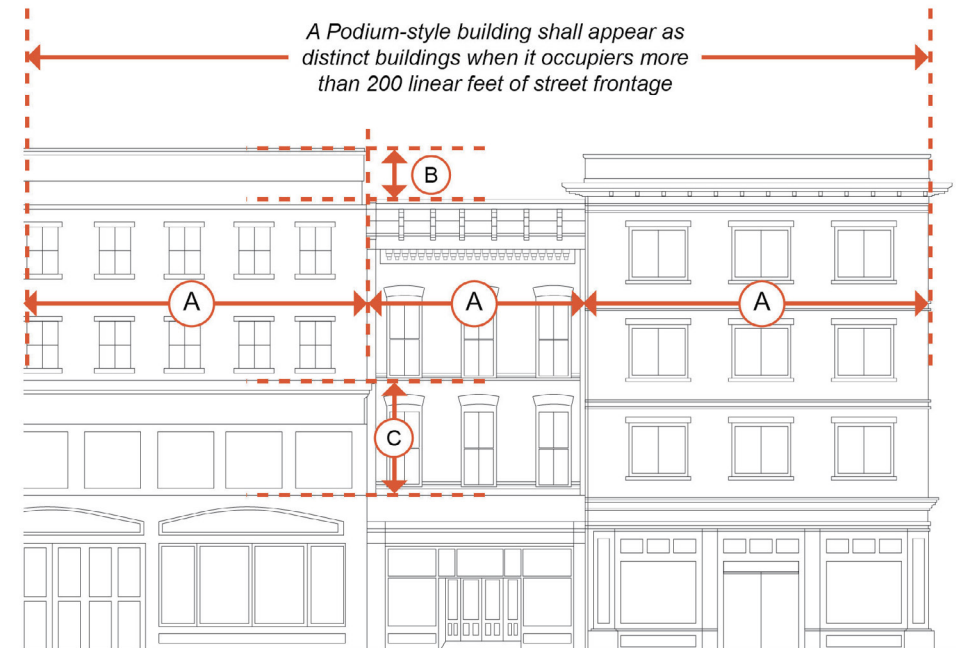
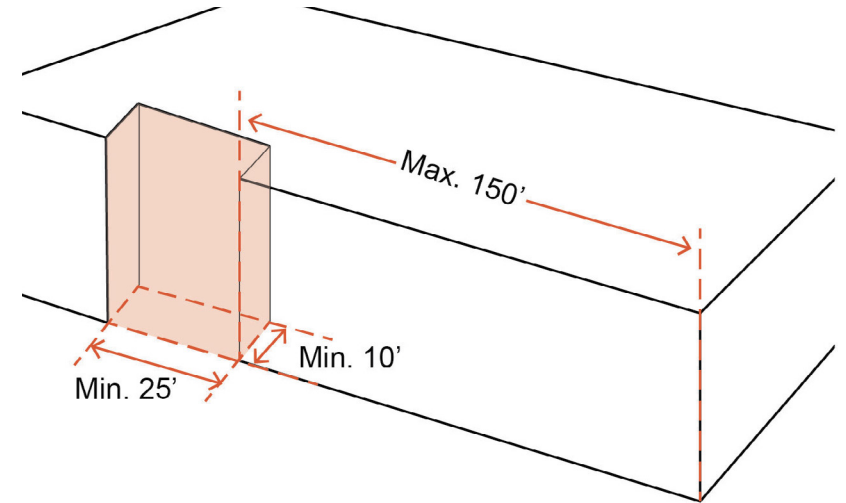
II. Massing

1. Building Length. To create a more interesting and walkable public realm, individual buildings shall be no longer than 150 feet in length. For those buildings that are longer than 150 feet in length, a building notch shall be provided on the podium starting at the street level, for the entire height of the façade, to break up the massing. The building notch shall have a minimum dimension of 25 feet in width and 10 feet in depth (Tasman East)

2. Massing Increment Dimensional Standards

Table 2: Massing Increment Dimensional Standards

Objective Design Standard		Dimensions
A	Massing increment (max.)	150 feet
B	Facade Height Difference between Massing Increments (min.)	10% of Lesser Facade Height
C	Building Base Height Difference between Massing Increments	3 feet



3. Distinct Buildings Using Massing Increment Design. A Podium-Style Building shall appear as distinct buildings when it occupies more than 200 linear feet of street frontage. At a minimum, it shall appear as three (3) distinct building using massing increments design: (Downtown Form-Based Code)
 - a. There shall be a clearly noticeable difference in facade materials and color between Distinct Buildings
 - b. There shall be a clearly noticeable difference in the type and composition of facade openings and architectural elements between distinct buildings.
 - c. The building base heights of adjacent Distinct Buildings shall differ by an entire floor.
 - d. A Massing Increment Design shall only be repeated up to a maximum of three (3) times on the same project elevation.
 - i. Repeated Massing Increments shall not be immediately adjacent to each other.
 - ii. Forecourts may provide separation between repeated Massing Increment Designs

III. Facade Design

1. Facade Composition. Facade elements shall be organized by a grid. Patterns of openings within each individual facade or Building Increment shall be organized into a grid per the standards below. (Downtown Form Based Code)
 - a. Horizontal alignment of elements. Rooflines, openings, and materials within each facade or facade module must align horizontally and be consistent in style across the entire width.
 - b. Vertical alignment of openings into bays. The entirety of a building's façade or massing increments shall be clearly divided into vertical bays, subject to the following:
 - i. Façade bays shall extend from the ground to the top of the façade and are defined by vertical structure (solid portions of wall, piers, etc.) which extends from the ground to the top of the façade.
 - ii. Each bay must be stacked within bays as illustrated in the figure below. Openings shall be arranged symmetrically within bays.
 - iii. Each bay shall be at minimum 15 feet wide.



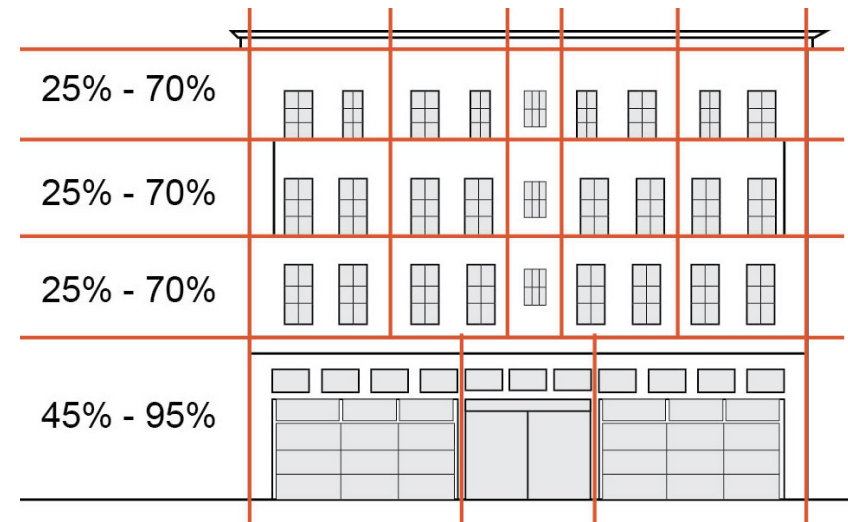
Facade elements shall be organized by a grid. Rooflines, openings, and other materials must align horizontally. Facade elements or massing increments shall be divided into vertical bays.

2. Base, Middle and Top. Buildings shall have a Base, Middle, and Top. (Downtown Form Based Code)
 - a. The Building's Base shall be differentiated from the rest of the façade whether through a change in material, change in type of opening, belt course, or a combination of these elements.
 - b. The Building's Middle features floors shall be generally repetitive, with only minor variations between each floor.
 - c. The Building's Top shall feature some form of capping element, such as a cornice, enhanced ornamentation, or a decorative parapet. In larger buildings, the upper most floor shall be visually incorporated into the building's top design.
3. Façade Fenestration.
 - a. Fenestration Area. Façade shall be designed with fenestration – openings on the façade, including windows and doors – the amount identified by:

Table 3: Fenestration Areas

Facade Area	Dimensions
Base of Building	40% - 95%
Middle & Top of Building	25% - 70%

- b. Fenestration amount is calculated as a percentage of openings – including all windows and doors on the façade – to an area of façade. Each portion of the façade grid must have a fenestration percentage which falls within the range identified by Table 3.

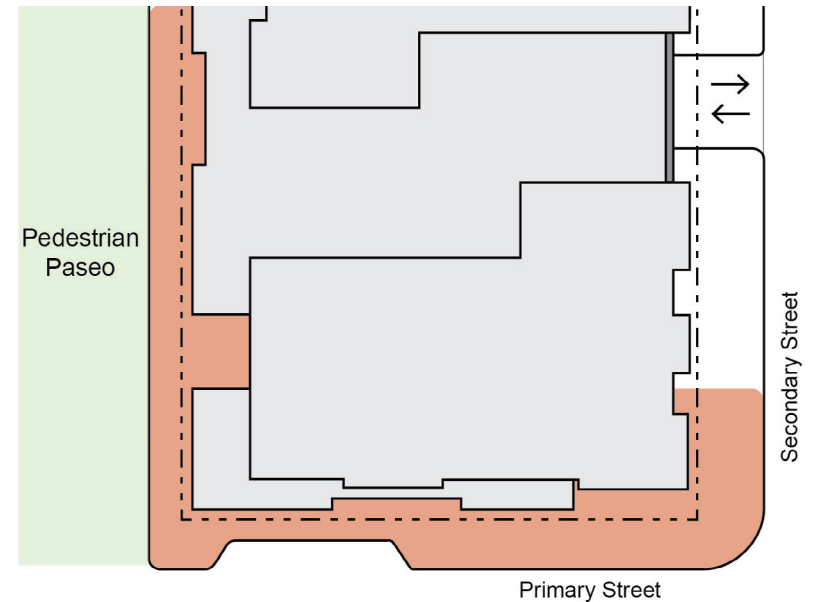
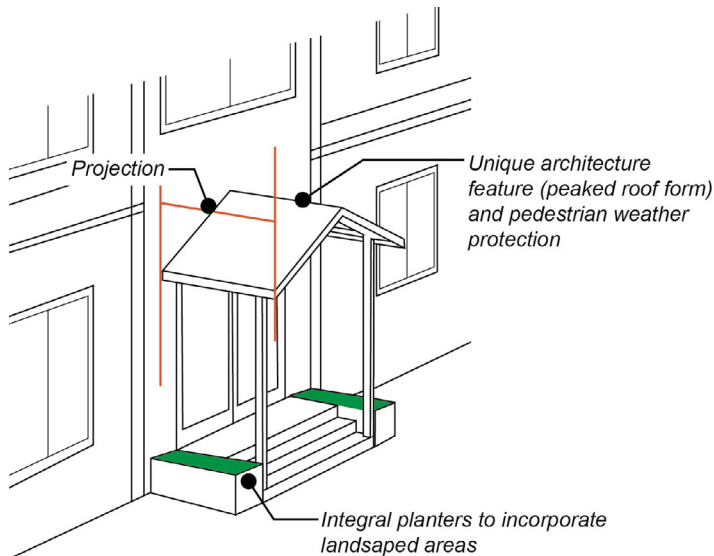


Building Design

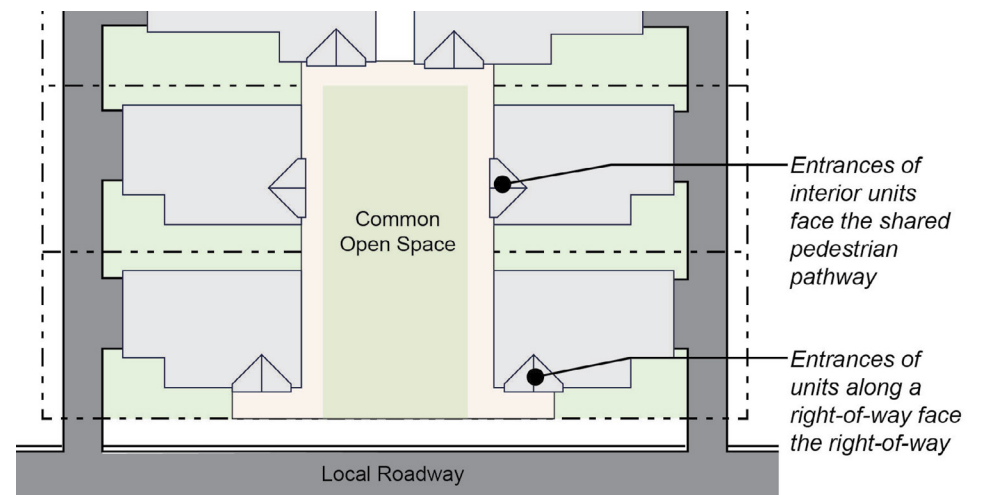
- c. General to Base, Middle, and Top. Window jams shall be set in a minimum of four (4) inches from the main façade plane. Trim/ moldings on the façade do not count toward this recess depth.
 - d. Specific to the Top. Upper-floor wall openings shall be square or taller than they are wide. Individual vertically proportioned windows can be grouped side by side to form a horizontal ensemble of windows
4. Parking Structure Façade Standards. (Downtown Form Base Code)
- a. Façade Design. Parking Structure Facades shall be designed to fit into the urban context in one of the two following ways:
 - i. The Façades meet the Massing Standard of this document.
 - ii. Facades designed as art walls, murals, or screens that incorporate decorative, graphic, or sculptural elements. Such facades are subject to recommendations from the Cultural Arts Commission and the Historical & Landmarks Commission, followed by Community Development Director or their designee approval, based on the following Required Finding:
 - Façade design is unique and iconic, using durable, element-resistant, materials and techniques
 - b. Future-Proof Parking. Parking Garages shall be designed to accommodate conversions to other uses and shall have at least one of the following features:
 - i. Level floor, apart from necessary ramps
 - ii. Floors with 10 feet minimum clear height from floor to ceiling
 - iii. Cut-outs for planned shafts in decks and other structural members to accommodate future utilities (heating, cooling, venting, etc.)

IV. Access and Entrance Design

1. Building Orientation. Buildings shall be oriented to ensure the primary facades and entrance areas of all buildings face the street, open spaces, or other pedestrian-oriented circulation areas. (Lawrence Station).
2. Primary Entrances. Primary entrances shall feature at least two of the following: (Tasman East)
 - a. Unique architectural feature (i.e. prominent tower feature or peaked roof form and/or variation in building color/material);
 - b. Recess or projection;
 - c. Pedestrian weather protection (i.e. canopy, overhang, or arcade).
 - d. Streetscape including outdoor patio, integral planters or wing walls that incorporate landscaped areas and/ or places for sitting.



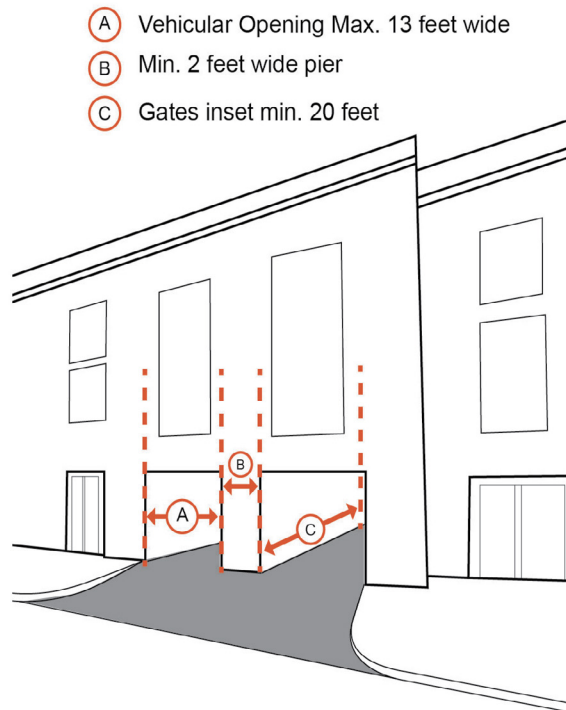
Entrance areas facing the street, open spaces, or other pedestrian-oriented circulation areas



3. Frequency of Entries (Podium/Wrap-Style). The quantity of building entrances on a street has a drastic effect on the perceived liveliness of a street. The frequency of entrances is regulated by Table 4 (Downtown Form Based Code)

Table 4: Frequency of Entries (Podium/Wrap-Style)

Facade Area	Residential	Mixed-Use
Frequency of Building Entries (max. distance between entries)	100 feet	75 feet



4. Vehicular Access. (Downtown Form Based Code)
 - a. Vehicular Access openings shall be no more than 13 feet wide. Where adjacent openings are necessary to provide entry and exist, they shall be separated by a pier (a portion of wall) of at least two (2) feet in width
 - b. Gates which open to allow cars to enter (excluding security doors that are shut when the garage is not accessible) shall be inset from the façade by a minimum of 20 feet, to allow cars to await entry without blocking the sidewalk.

V. Materials

1. Primary Materials. Untreated plastics, unfinished metal, corrugated fiberglass and non-architectural grade plywood shall not be used as primary materials (Tasman East).

4 Pedestrian Level Design

I. Purpose

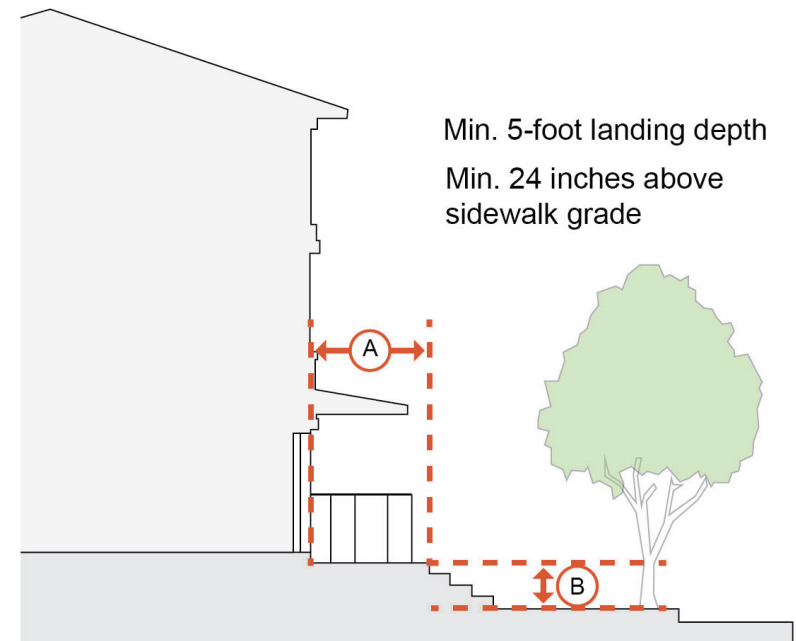
This section provides standards to enhance the character of new development's street frontage to promote pedestrian activity.

II. Ground Floor Retail and Active Uses

1. Ground Floor Retail. Ground floor retail uses shall be at the same grade as the adjacent sidewalk (Lawrence Station)
2. Façade Transparency. Facades of all commercial structures shall incorporate transparent features (clear glass on windows and doors) over a minimum percentage of the surface area at ground-level (Lawrence Station)
 - a. Retail uses: a minimum of 75% shall be transparent
 - b. Other uses: a minimum of 35% shall be transparent

III. Ground Floor Residential

1. Ground Floor Access. Where residential units are located at the ground floor, at least 50% of units on each frontage must be individually accessed from the sidewalk via stoops, side yards or other means. (Tasman East)
2. Stoops. Stoops shall have a minimum five (5)-foot landing depth with room for a table and chairs to provide an opportunity for residents to engage in the social life of the street. (Tasman East)
3. Stoops that face public rights of way shall be set at least 24 inches above sidewalk grade (Tasman East)

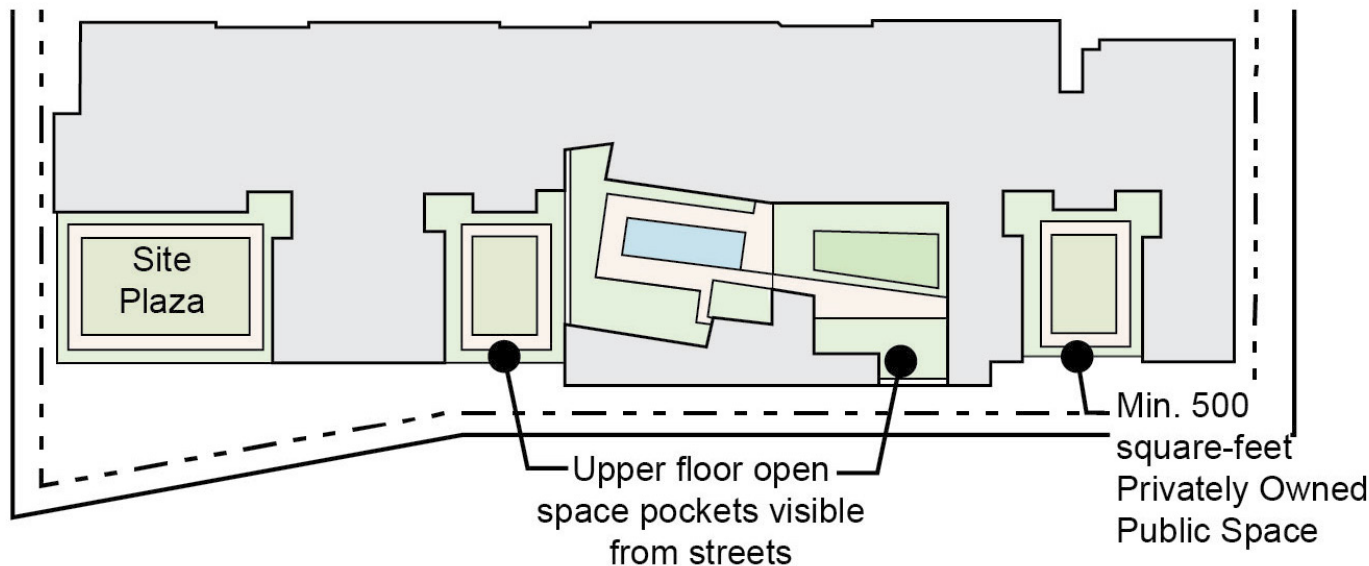


IV. Ground Floor Live / Work

1. Entrances. Because live/work units are meant to be public facing, they shall be entered at-grade and are not required to be elevated above sidewalk level. (Lawrence Station)

V. Open Space Design

1. Podium Style Buildings.
 - a. Podium – Style buildings shall have well-defined outdoor space, such as on site plazas, interior courtyards, patios, terraces and gardens
 - b. Podium – Style buildings shall have privately owned public open space of at least 15 feet wide and 500 square feet in size. (Patrick Henry Drive)
2. Pathways. Pedestrian paths through the site shall be at least five (5) feet wide (Patrick Henry Drive)



3. Special Paving. Special Paving shall be used for the following areas:
 - a. Pedestrian crossing (mid-block, raised pedestrian crossings/speed tables, and etc.)
4. Public Art. Outdoor plazas and semi-public courtyards shall have public art elements such as sculptures, fountains, and art pieces.
5. Refuse & Recycling Receptacles. Provide a maximum of one receptacle every 200 feet along streets if proposing more than 10 units. Additional receptacles should be provided only if a private sponsor provides continued maintenance
 - a. Provide one receptacle at each corner of intersections (Patrick Henry Drive)

VI. Alleys and Service Access

1. Lighting. Provide lighting in alleyways for safety.
2. Alleys. Alleys intended for emergency vehicles access shall have a minimum width of 25 feet to allow for access and landscaping (Patrick Henry Drive)

Web Links

Objective Design Standards Handbook

<https://abag.ca.gov/tools-resources/digital-library/objective-design-standards-handbookapril-2024pdf>

Objective Design Standards Handbook Webinar

<https://mtcdrive.box.com/s/9kcobvgt8cyyp8sk1b4e3ercdgilzwgc>

SB 423 (2023) (Extends SB 35 of 2017)

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=202320240SB423

SB 330 (2019)

https://leginfo.legislature.ca.gov/faces/billTextClient.xhtml?bill_id=201920200SB330

These documents are available for viewing in the Community Development Department