

# 2-STORY ADDITION TO EXISTING 1-STORY HOME

1783 BERNA STREET  
SANTA CLARA, CALIFORNIA 95050

**OWNER DESIGNER/BUILDER:**  
**NEELIMA SINGH & DEEPAK CHAUHAN**  
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SANTA CLARA, CA, 95050  
(408) 431-0496

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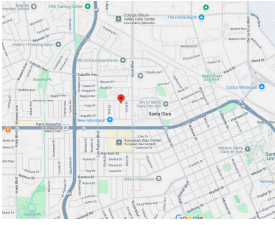
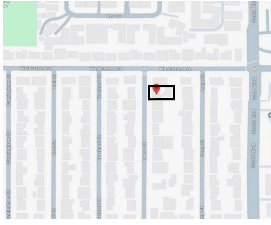
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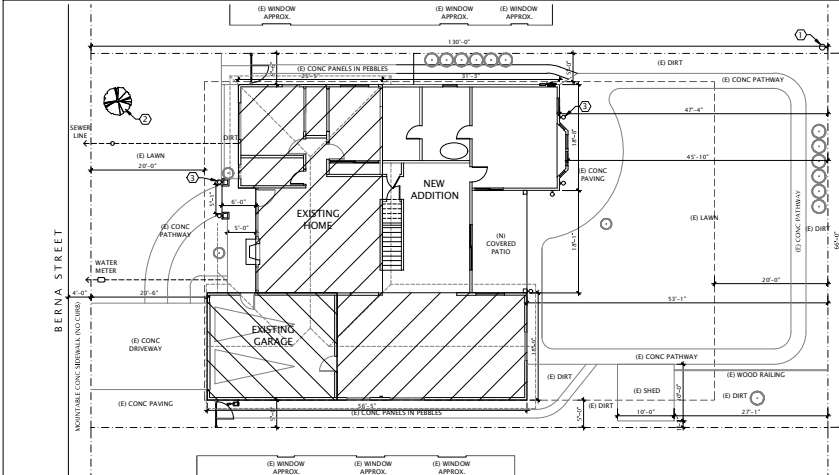
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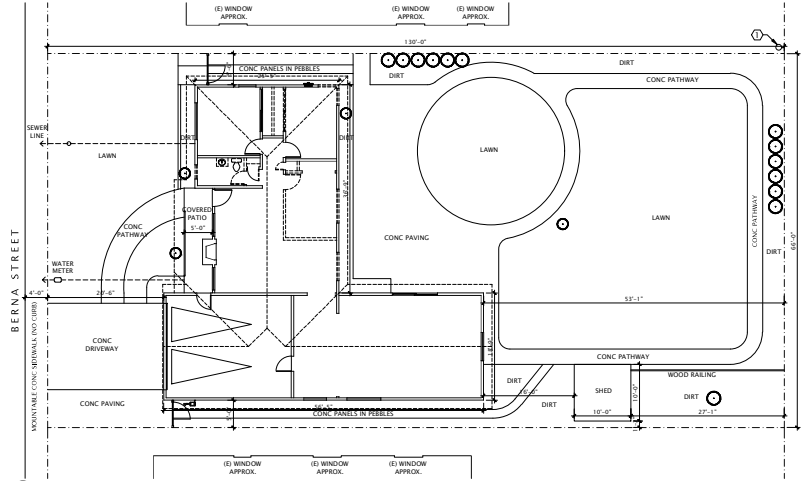
DATE:	09-16-2025
SCALE:	AS SHOWN
PROJECT:	ADDITION TO EXISTING 1-STORY HOME
DRAWING:	COVER SHEET

COVER SHEET  
DATE: 09-16-2025  
**A-0**

LOCATION MAP	VICINITY MAP	SITE INFORMATION	DRAWING INDEX
		<p>ASSESSORS PARCEL NO.: 224-16-032 SITE AREA: 8,580 SF APPROX. (0.19 ACRE) ZONING: R1-6L, SINGLE FAMILY GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL FLOOD ZONE DESIGNATION: ZONE X EXISTING SITE COVERAGE: 23.5%, INCL. (C) SHED PROPOSED SITE COVERAGE: 35.8% (MAX. 40%) 3,050 SF APPROX., INCL. (C) SHED AND COVERED REAR PATIO SETBACKS, FRONT: 20' (1ST) &amp; 25' (2ND) SETBACKS, INTERIOR SIDE: 5' (1ST) &amp; 10' (2ND) SETBACKS, REAR: 20' (1ST) &amp; 20' (2ND) BUILDING HEIGHT, MAX.: 25'</p>	<p><b>INDEX OF DRAWINGS:</b></p> <p>ARCHITECTURAL DRAWINGS -----</p> <p>A-0 COVER SHEET A-1 SITE PLANS A-2 EXISTING 1ST FLOOR PLANS A-3 PROPOSED 2ND FLOOR PLANS A-4 EXISTING &amp; PROPOSED ROOF PLANS A-5 EXISTING &amp; PROPOSED ELEVATIONS A-6 EXISTING &amp; PROPOSED ELEVATIONS A-7 PROPOSED SECTIONS A-8 ELEVATIONS MATERIALS AND COLORS A-9 ELEVATIONS MATERIALS AND COLORS A-10 NEIGHBORHOOD CONTEXT</p>
SCOPE OF WORK	CODES AND STANDARDS	BUILDING INFORMATION	
<p>THE OWNERS OF A ONE-STORY 3-BEDROOM &amp; 1-BATH PRIVATE RESIDENCE WANT TO CONSTRUCT A NEW TWO-STORY ADDITION IN THE REAR OF THE HOME.</p> <p>THE PROPOSED HOME WILL BE 4-BEDROOM &amp; 3-BATH, WITH FAMILY AND MEDIA ROOM.</p> <p>THERE WILL BE NO CHANGES TO THE USE OF THE EXISTING HOME. THE FOLLOWING ARE SPECIFIC CHANGES:</p> <ol style="list-style-type: none"> <li>REMOVE EXISTING 1ST FLOOR BEDROOM 3 AND ADD NEW BEDROOM SUITE TO THE REAR.</li> <li>ADD A NEW BEDROOM SUITE, FAMILY AND MEDIA ROOMS ON THE 2ND FLOOR.</li> </ol>	<p>APPLICABLE CODES INCLUDES, BUT NOT LIMITED TO THE FOLLOWING:</p> <p>2022 CALIFORNIA BUILDING CODE WITH CITY OF SANTA CLARA CODE AMENDMENTS CITY OF SANTA CLARA GREEN BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE WITH CITY AMENDMENTS TITLE 24, PART 6, CALIFORNIA ENERGY CODE 2022 CALIFORNIA RESIDENTIAL CODE</p>	<p>EXISTING HOME FLOOR AREA: 1,471 SF APPROX. EXISTING GARAGE AREA: 434 SF APPROX. PROPOSED 1ST FLOOR ADDITION: 870 SF APPROX. PROPOSED 2ND FLOOR ADDITION: 904 SF APPROX. PROPOSED NEW HOME AREA: 3,245 SF APPROX. PROPOSED COVERED PATIO: 175 SF APPROX.</p> <p>EXISTING SHED AREA: 100 SF APPROX. EXISTING SHED HEIGHT: UNDER 7'</p> <p>EXISTING NO. OF STORIES: 1 PROPOSED NO. OF STORIES: 2</p> <p>COMMON LIVING AREA (1ST FLOOR): 1,285 SF APPROX. COMMON LIVING AREA (2ND FLOOR): 478 SF APPROX. TOTAL COMMON LIVING AREA: 1,863 SF APPROX.</p> <p>FIRE SPRINKLERS: NONE</p>	



**2**  
A-5  
**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1' - 0"



**1**  
A-6  
**EXISTING SITE PLAN**  
SCALE: 1/8" = 1' - 0"

**SITE PLAN KEY NOTES:**

- (E) POWER POLE
- PROVIDE ONE (1) 15-GALLON TREE PER ZONING CODE SECTION 18.36.070. SELECT DRAUGHT TOLERANT NATIVE SPECIES.
- ALL EXTERIOR LIGHTS SHALL BE SHIELDED TO DIRECT LIGHT DOWNWARDS TO NOT ALLOW TRESPASS TO ADJACENT PROPERTIES, TYP.

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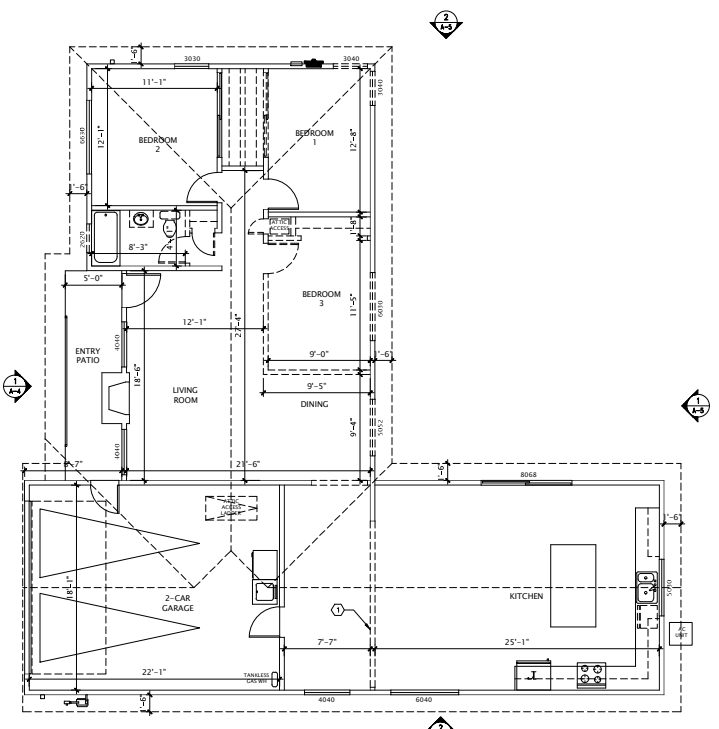
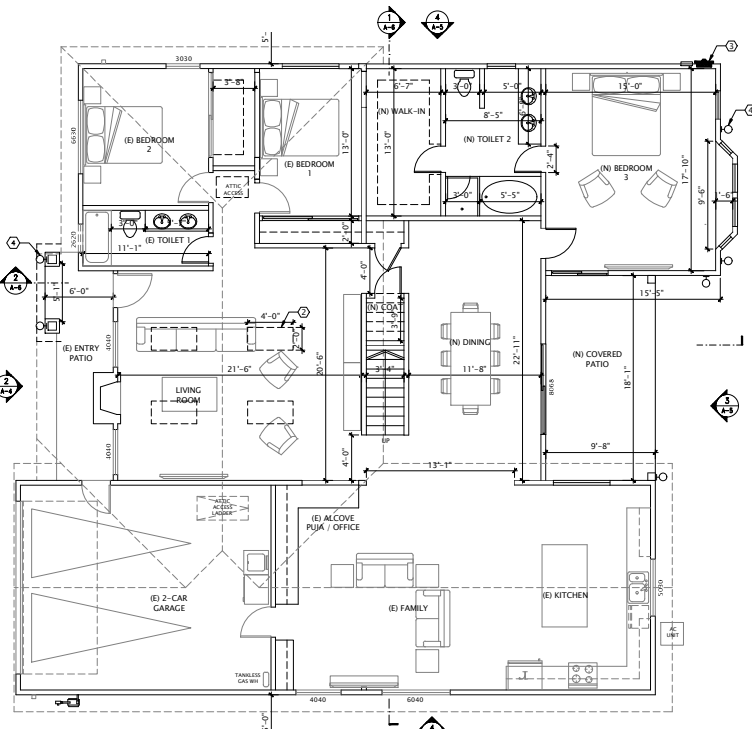
**SITE PLANS**

DATE: 09-16-2025

**A-1**

- PLAN NOTES:**
- ① ALL EXTERIOR LIGHTS SHALL BE SHIELDED TO DIRECT LIGHT DOWNWARDS TO NOT ALLOW TRESPASS TO ADJACENT PROPERTIES, TYP.
  - (E) WALLS TO REMAIN
  - (N) WALLS
  - ② (N) CURBED SKYLIGHT, TYP.
  - ③ RELOCATE ELEC. METER

- PLAN NOTES:**
- (E) WALLS
  - DEMO (E) WALLS, DOORS, WINDOWS, FIRE PLACE, SILLS, ROOF OVERHANGS
  - ① MOVE/INVERT (E) BEAM ABOVE CEILING



**2 PROPOSED 1ST FLOOR PLAN**  
SCALE: 1/4" = 1' - 0"

**1 EXISTING & DEMO 1ST FLOOR PLAN**  
SCALE: 1/4" = 1' - 0"

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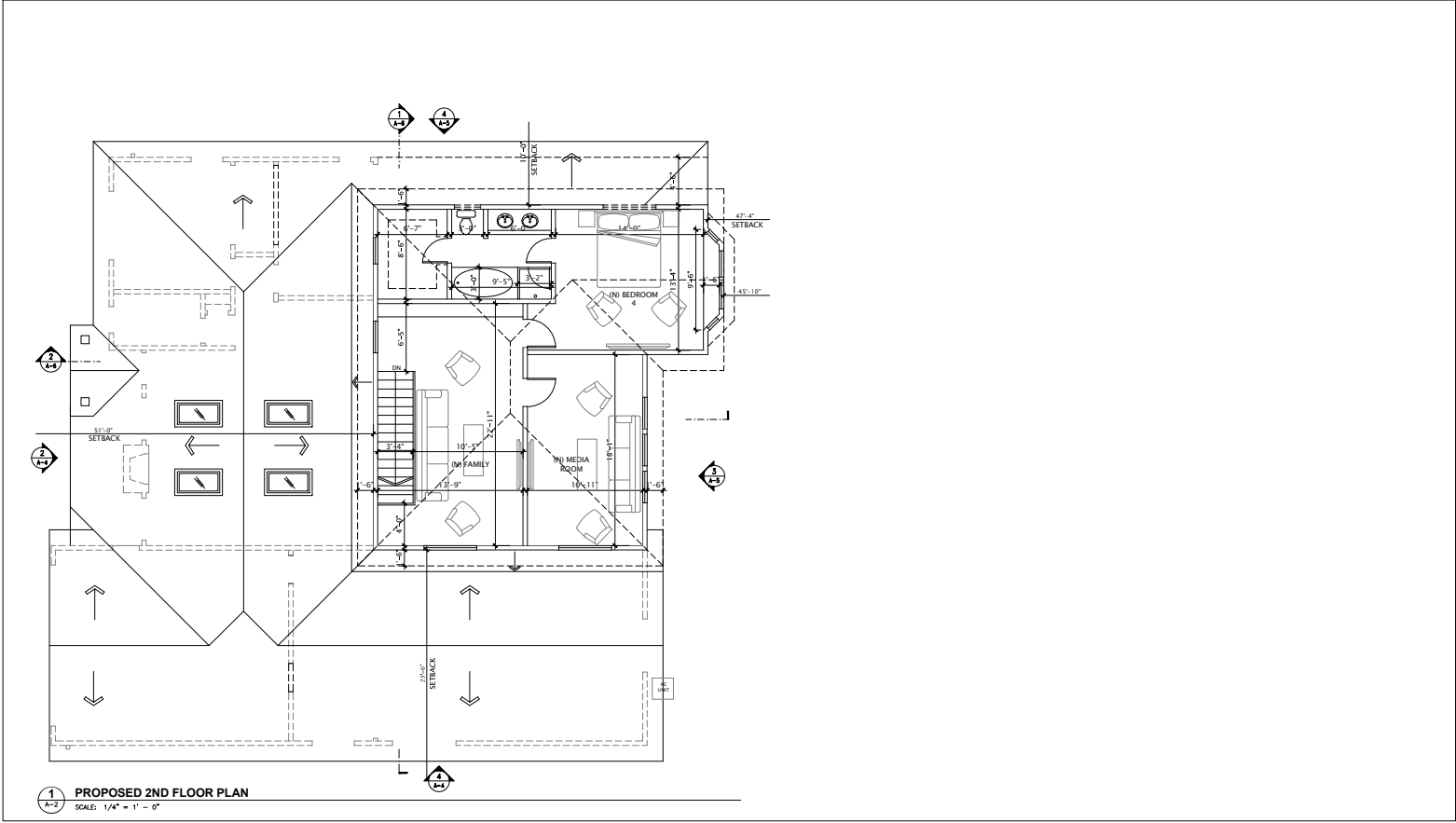
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EXISTING & PROPOSED FLOOR PLANS  
DATE: 06-28-2025

**A-2**



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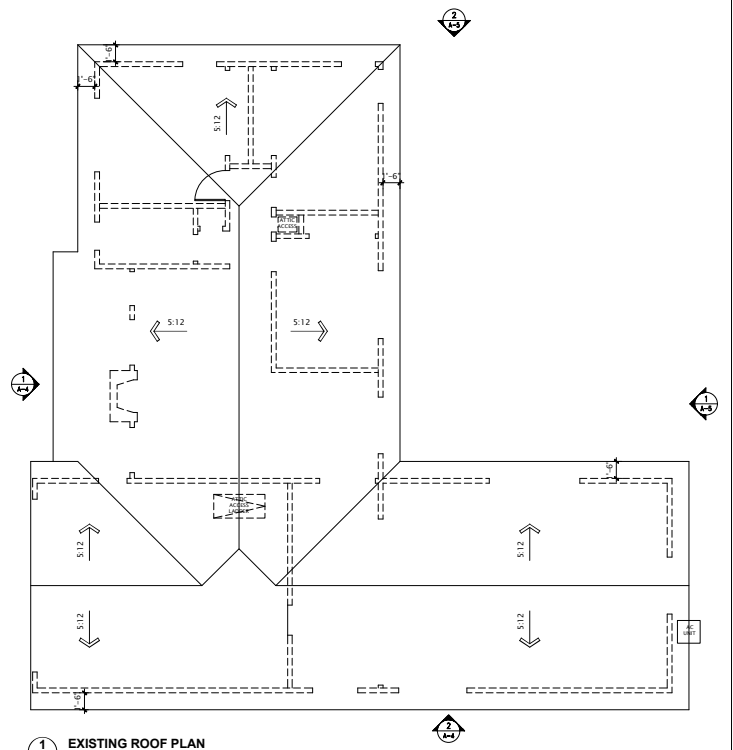
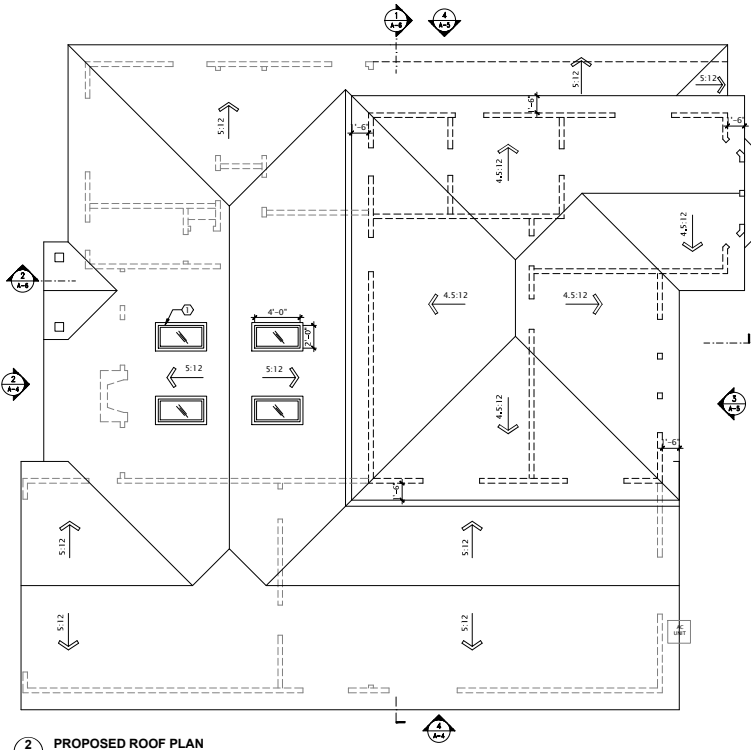


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**PROPOSED FLOOR PLAN**  
DATE: 09-20-2025  
**A-3**

PLAN NOTES:

① (N) CURBED SKYLIGHT, TYP.



**2** PROPOSED ROOF PLAN  
SCALE: 1/4" = 1' - 0"

**1** EXISTING ROOF PLAN  
SCALE: 1/4" = 1' - 0"

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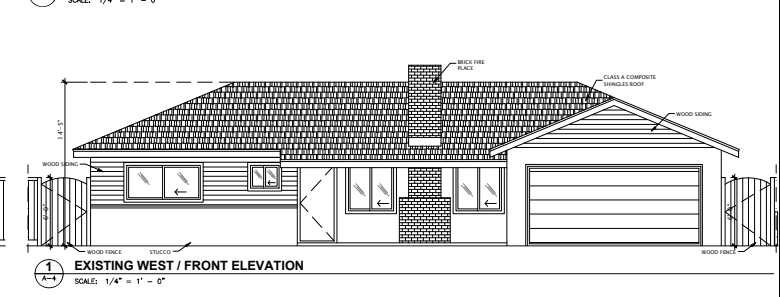
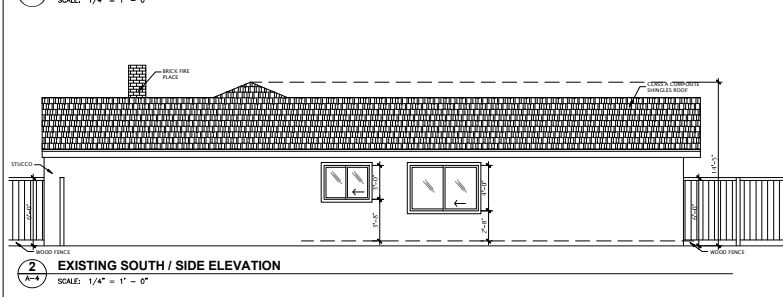
EXISTING & PROPOSED ROOF PLANS

DATE: 06-28-2025

A-4

**KEY NOTES:**

- ① ALL EXTERIOR LIGHTS SHALL BE SHIELDED TO DIRECT LIGHT DOWNWARDS TO NOT ALLOW TRESPASS TO ADJACENT PROPERTIES, ETC.



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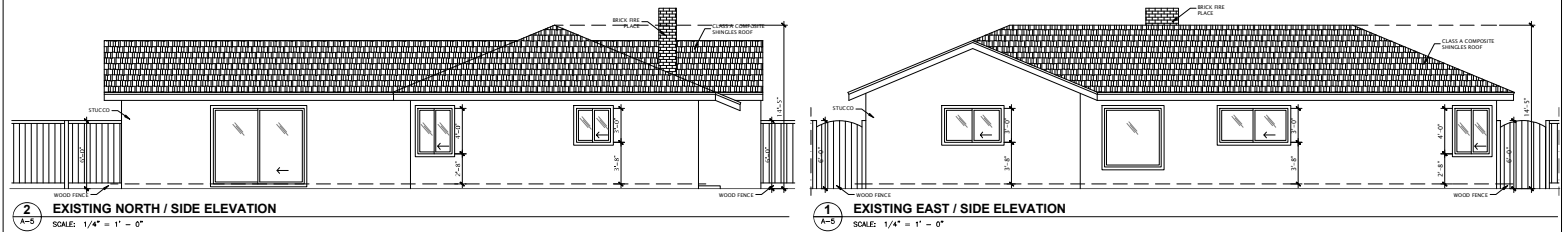
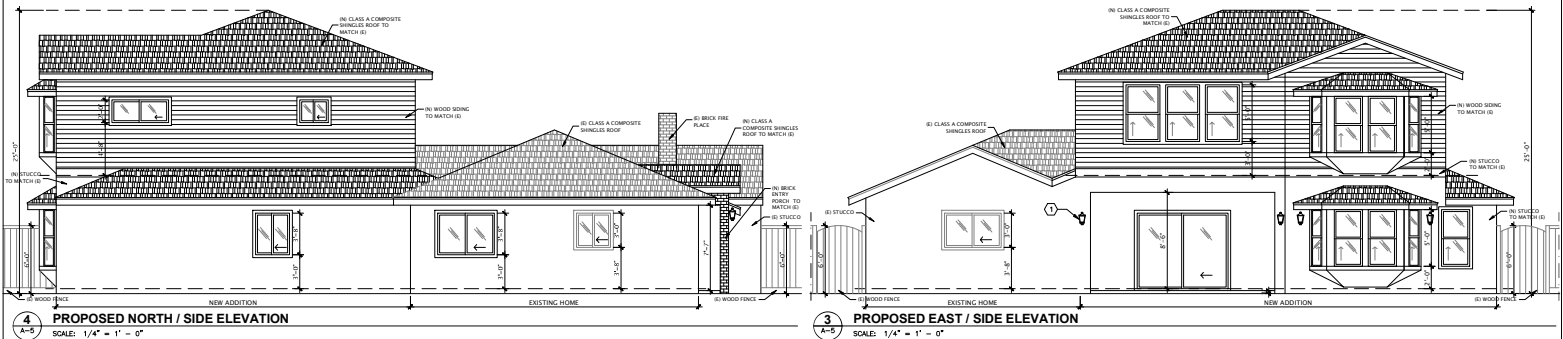
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EXIST. & PROP. ELEVATIONS  
DATE: 06-28-2025  
**A-5**

**KEY NOTES:**

- ① ALL EXTERIOR LIGHTS SHALL BE SHIELDED TO DIRECT LIGHT DOWNWARDS TO NOT ALLOW TRESPASS TO ADJACENT PROPERTIES, ETC.



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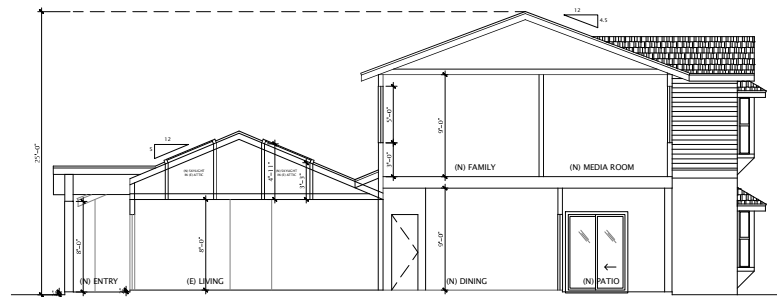
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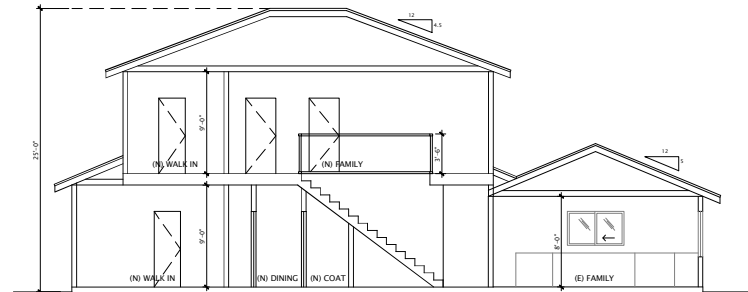
EXIST. & PROP. ELEVATIONS

DATE: 06-28-2025

**A-6**



**2**  
**LATERAL SECTION**  
SCALE: 1/4" = 1' - 0"



**1**  
**LONGITUDINAL SECTION**  
SCALE: 1/4" = 1' - 0"

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PROPOSED  
SECTIONS  
DATE: 06-28-2025  
**A-7**



**MATERIAL  
COLOR  
AND SPECIF.**



**CLASS A COMPOSITION  
SHINGLES**  
LOCATION: ROOF  
MANUF.: CERTAIN TEED  
LANDMARK BLEND  
LAMINATED  
FINISH: SANDY  
COLOR: GREY



**EXISTING BRICK CHIMNEY &  
NEW PORCH**  
LOCATION: CHIMNEY &  
PORCH COLUMNS  
FINISH: EXPOSED BRICK  
COLOR: ORANGE BROWN



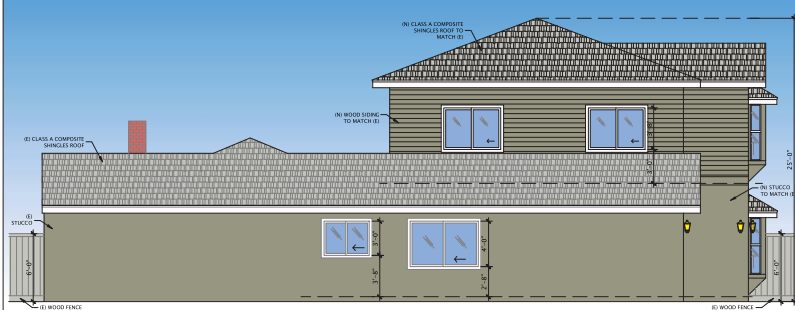
**EXISTING PAINTED  
WOOD SIDING**  
LOCATION: EXTERIOR  
WALLS  
FINISH: SMOOTH  
COLOR: MED. GREY  
C=43; M=34; Y=50; K=4



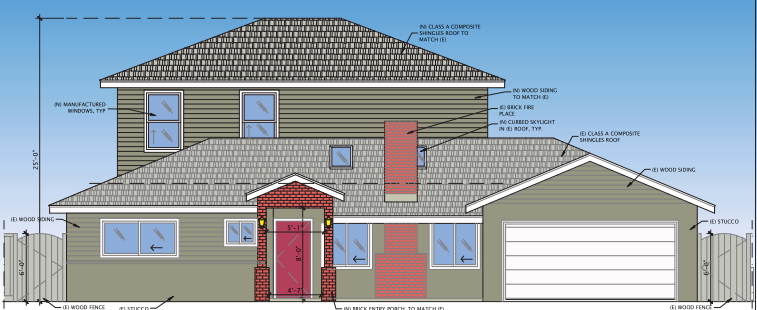
**EXISTING STUCCO**  
LOCATION: EXTERIOR  
WALLS  
FINISH: SMOOTH  
COLOR: MED. GREY  
C=43; M=34; Y=50; K=4



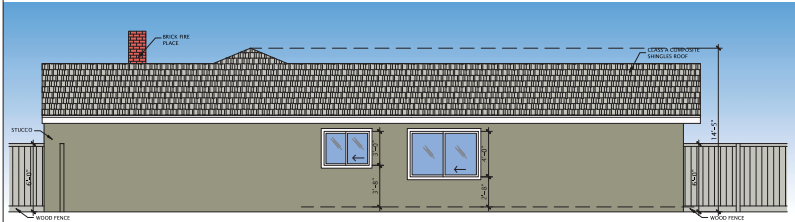
**VINYL WINDOW  
FRAME & GLASS**  
LOCATION: EXTERIOR  
WALLS  
FINISH: POLISHED VINYL  
GLASS: 80% CLEAR  
COLOR: WHITE  
C=0; M=0; Y=0; K=0



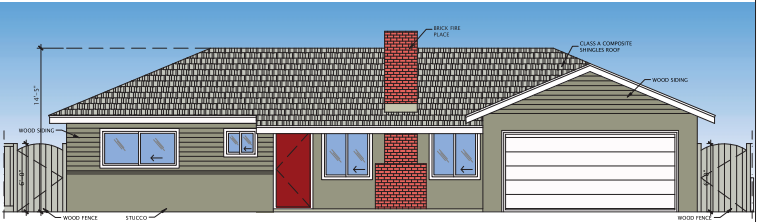
**4 PROPOSED SOUTH / SIDE ELEVATION**  
SCALE: 1/4" = 1' - 0"



**3 PROPOSED WEST / FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"



**2 EXISTING SOUTH / SIDE ELEVATION**  
SCALE: 1/4" = 1' - 0"



**1 EXISTING WEST / FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"

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**ELEVATIONS  
MATERIALS &  
COLORS**  
DATE: 08-30-2025  
**A-8**

**MATERIAL COLOR AND SPECIF.**



**CLASS A COMPOSITION SHINGLES**  
 LOCATION: ROOF  
 MANUF.: CERTAIN TEED  
 LANDMARK BLEND  
 LAMINATED  
 FINISH: SANDY  
 COLOR: GREY



**EXISTING BRICK CHIMNEY & NEW PORCH**  
 LOCATION: CHIMNEY & PORCH COLUMNS  
 FINISH: EXPOSED BRICK  
 COLOR: ORANGE BROWN



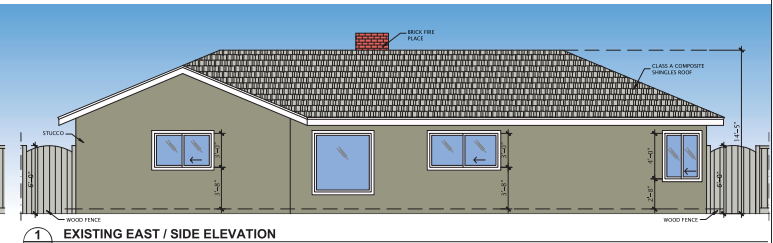
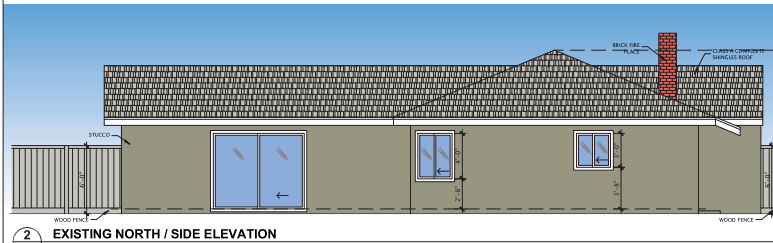
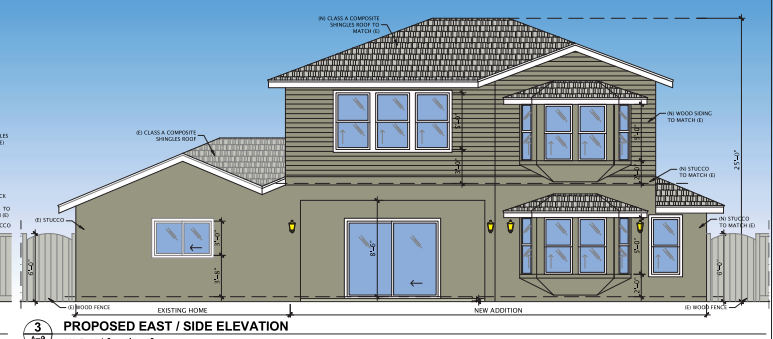
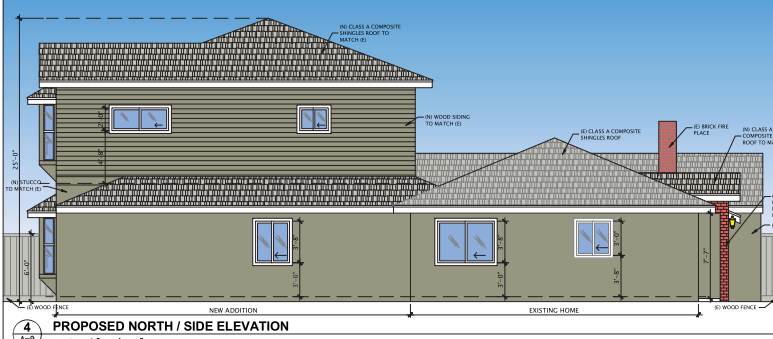
**EXISTING PAINTED WOOD SIDING**  
 LOCATION: EXTERIOR WALLS  
 FINISH: SMOOTH  
 COLOR: MED. GREY  
 C=43; M=34; Y=50; K=4



**EXISTING STUCCO**  
 LOCATION: EXTERIOR WALLS  
 FINISH: SMOOTH  
 COLOR: MED. GREY  
 C=43; M=34; Y=50; K=4



**VINYL WINDOW FRAME & GLASS**  
 LOCATION: EXTERIOR WALLS  
 FINISH: POLISHED VINYL  
 GLASS: 80% CLEAR  
 COLOR: WHITE  
 C=0; M=0; Y=0; K=0



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**ELEVATIONS MATERIALS AND COLORS**  
 DATE: 08-30-2025  
**A-9**



C. 1772 BERNAL STREET



D. 1784 BERNAL STREET



E. 2124 WARBURTON AVE.



A. 2078 WARBURTON AVE.



AERIAL



B. 1775 BERNAL STREET

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NEIGHBORHOOD  
 CONTEXT  
 DATE: 08-30-2025  
**A-10**