

ABBREVIATIONS

& AND	A ANGLE	H.B. HOSE BIBB	H H
> STEP	AT AT	HDR. HEADER	HDR. HARDWOOD
CL CENTERLINE	CL CENTERLINE	HDRZ. HORIZONTAL	HR. HOUR
Ø DIAMETER OR ROUND	Ø DIAMETER OR ROUND	HT. HEIGHT	HT. HEATING
# POUND OR NUMBER	# POUND OR NUMBER	HVAC. HEATING, VENTILATING, AIR CONDITIONING	HVAC. HEATING, VENTILATING, AIR CONDITIONING
(U) UNDER	(U) UNDER	HSL HORIZONTAL SLIDER	HSL HORIZONTAL SLIDER
A.B. ANCHOR BOLT	A.B. ANCHOR BOLT	I INSULATION	I INSULATION
ABOVE ABOVE	ABOVE ABOVE	INT. INTERIOR	INT. INTERIOR
ACOUS. ACOUSTICAL	ACOUS. ACOUSTICAL	INSL. INSULATION	INSL. INSULATION
ADJ. ADJUSTABLE	ADJ. ADJUSTABLE	INT. INTERIOR	INT. INTERIOR
AF. ABOVE FINISH FLOOR	AF. ABOVE FINISH FLOOR	M M	M M
AGGR. AGGREGATE	AGGR. AGGREGATE	MAX. MAXIMUM	MAX. MAXIMUM
ALUM. ALUMINUM	ALUM. ALUMINUM	M.A. MEDICINE CABINET	M.A. MEDICINE CABINET
APPROX. APPROXIMATE	APPROX. APPROXIMATE	MECH. MECHANICAL	MECH. MECHANICAL
ARCH. ARCHITECT	ARCH. ARCHITECT	MEMB. MEMBRANE	MEMB. MEMBRANE
ASPH. ASPHALT AWN AWNING	ASPH. ASPHALT AWN AWNING	MFR. MANUFACTURER	MFR. MANUFACTURER
BD. BOARD	BD. BOARD	MIN. MINIMUM	MIN. MINIMUM
BLDG. BUILDING	BLDG. BUILDING	MISC. MISCELLANEOUS	MISC. MISCELLANEOUS
BLK. BLOCK	BLK. BLOCK	N NORTH	N NORTH
BLK'G BLOCKING	BLK'G BLOCKING	(N) NEW	(N) NEW
BLT. BOLT	BLT. BOLT	NUM. NUMBER	NUM. NUMBER
BM BEAM	BM BEAM	N.T.S. NOT TO SCALE	N.T.S. NOT TO SCALE
BOT. BOTTOM	BOT. BOTTOM	O OVER	O OVER
CAB. CABINET	CAB. CABINET	OP'N. ON CENTER	OP'N. ON CENTER
CEM. CEMENT	CEM. CEMENT	OPP. OPPOSITE	OPP. OPPOSITE
CER. CERAMIC	CER. CERAMIC	PL PLATE	PL PLATE
C.G. CORNER GUARD	C.G. CORNER GUARD	PLAM. PLASTIC LAMINATE	PLAM. PLASTIC LAMINATE
CL CENTER LINE	CL CENTER LINE	PLAS. PLASTER	PLAS. PLASTER
CLG. CEILING	CLG. CEILING	PLYWD. PLYWOOD	PLYWD. PLYWOOD
CLG.C CALL KING LN CLOSET	CLG.C CALL KING LN CLOSET	PLUMB. PLUMBING	PLUMB. PLUMBING
C.O. Cased Opening	C.O. Cased Opening	PL PROPERTY LINE	PL PROPERTY LINE
COL COLUMN	COL COLUMN	P.T. POINT	P.T. POINT
CON. CONCRETE	CON. CONCRETE	PREFAB PREFABRICATED	PREFAB PREFABRICATED
CON. CONNECTION	CON. CONNECTION	R RISER	R RISER
CLO. CONTINUOUS	CLO. CONTINUOUS	RAD. RADIUS	RAD. RADIUS
CSMT CASSEMENT	CSMT CASSEMENT	REF. REFRIGERATOR	REF. REFRIGERATOR
DBL DOUBLE	DBL DOUBLE	REIN' REINFORCED	REIN' REINFORCED
DEPT. DEPARTMENT	DEPT. DEPARTMENT	REQD. REQUIRED	REQD. REQUIRED
D.F. DRINKING FOUNTAIN	D.F. DRINKING FOUNTAIN	RM. ROOM	RM. ROOM
DET. DETAIL	DET. DETAIL	R.O. ROUGH OPENING	R.O. ROUGH OPENING
DIA. DIAMETER	DIA. DIAMETER	RWD. REDWOOD	RWD. REDWOOD
DNM. DIMENSION	DNM. DIMENSION	S SOUTH	S SOUTH
DISP. DISPENSER	DISP. DISPENSER	SCSC SOLID CORE SELF CLOSING	SCSC SOLID CORE SELF CLOSING
DL DIVIDED LIGHT	DL DIVIDED LIGHT	SEC. SECTION	SEC. SECTION
DN. DOWN	DN. DOWN	SO.FT. SQUARE FEET	SO.FT. SQUARE FEET
DR. DOOR	DR. DOOR	SHLV. SHELVES	SHLV. SHELVES
DS. DOWNSPOUT	DS. DOWNSPOUT	SHWR. SHOWER	SHWR. SHOWER
E EXISTING	E EXISTING	SHY. SHY	SHY. SHY
E.A. EXPANSION JOINT	E.A. EXPANSION JOINT	SIM. SIMILAR	SIM. SIMILAR
EL ELEVATION	EL ELEVATION	STOR. STORAGE	STOR. STORAGE
ELEC. ELECTRICAL	ELEC. ELECTRICAL	STRUCT. STRUCTURAL	STRUCT. STRUCTURAL
ELEV. ELEVATOR	ELEV. ELEVATOR	SUSP. SUSPENDED	SUSP. SUSPENDED
EMER. EMERGENCY	EMER. EMERGENCY	S.S.D. SEE STRUCTURAL DRAWINGS	S.S.D. SEE STRUCTURAL DRAWINGS
ENCL. ENCLOSED	ENCL. ENCLOSED	T TOWEL BAR	T TOWEL BAR
EQ. EQUAL	EQ. EQUAL	T.O.C. TOP OF CURB	T.O.C. TOP OF CURB
EQPT. EQUIPMENT	EQPT. EQUIPMENT	TEL TELEPHONE	TEL TELEPHONE
EXT. EXTERIOR	EXT. EXTERIOR	T.O.W. TOP OF WALL	T.O.W. TOP OF WALL
F FIRE ALARM	F FIRE ALARM	T&G TONGUE AND GROOVE	T&G TONGUE AND GROOVE
F.A. FIRE ALARM	F.A. FIRE ALARM	T.O.P. TOP OF PARAPET	T.O.P. TOP OF PARAPET
F.D. FLOOR DRAIN	F.D. FLOOR DRAIN	T.P.D. TOILET PAPER DISPENSER	T.P.D. TOILET PAPER DISPENSER
FDH. FOUNDATION	FDH. FOUNDATION	T.V. TELEVISION	T.V. TELEVISION
F.A. FIRE EXTINGUISHER	F.A. FIRE EXTINGUISHER	TYP. TYPICAL	TYP. TYPICAL
F.F. FINISH FLOOR	F.F. FINISH FLOOR	U UNLESS OTHERWISE NOTED	U UNLESS OTHERWISE NOTED
FG FIXED GLASS	FG FIXED GLASS	VERT. VERTICAL	VERT. VERTICAL
F.G. FINISH GRADE	F.G. FINISH GRADE	W WEST	W WEST
FIN FINISH	FIN FINISH	WD. WOOD	WD. WOOD
F.O.C. FACE OF CONCRETE	F.O.C. FACE OF CONCRETE	WH. WATER HEATER	WH. WATER HEATER
F.O.W. FACE OF WALL	F.O.W. FACE OF WALL	WO WITHOUT	WO WITHOUT
F.O.S. FACE OF STUDS	F.O.S. FACE OF STUDS		
FRM'G FRAMING	FRM'G FRAMING		
F.S. FULL SIZE	F.S. FULL SIZE		
FTD. FOOTING	FTD. FOOTING		
FURR. FURRING	FURR. FURRING		
FUT. FUTURE	FUT. FUTURE		
G GALV.	G GALV.		
GALV. GALVANIZED	GALV. GALVANIZED		
GL GLASS	GL GLASS		
GYP. GYPSUM	GYP. GYPSUM		

GENERAL NOTES

- THE INTENT OF THESE DRAWINGS IS TO SHOW ALL NECESSARY ITEMS TO COMPLETE THIS STRUCTURE. TYPICAL DETAILS & NOTES WITHIN THESE DRAWINGS APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE. ALL WORK & CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, AND SAFETY REQUIREMENTS FOR ITEMS, METHODS, AND/OR MATERIALS IS NOT SHOWN, THE MINIMUM REQUIREMENTS OF THE CURRENT UNIFORM BUILDING CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, NATIONAL ELECTRIC CODE, AND ALL OTHER LOCAL STATE AND MUNICIPAL CODES AND ORDINANCES SHALL GOVERN.
- HZR HOME DESIGNERS IS NOT RESPONSIBLE FOR FABRICATION, ERECTION AND/OR SAFETY. THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY REGULATIONS.
- THE CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, DESIGNER, ENGINEER, AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS AND EMPLOYEES FROM ALL LIABILITY CLAIMS, LOSSES, OR DAMAGES ARISING OR SAID TO ARISE FROM THE PERFORMANCE OF WORK DESCRIBED HEREIN.
- WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN THE PREPARATION OF THESE PLANS, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THEREFORE, THE DIMENSIONS AND SPECIFICATIONS OF THESE PLANS SHALL BE VERIFIED BY THE OWNER/CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HZR HOME DESIGNERS.
- THESE PLANS HAVE BEEN DRAWN TO COMPLY WITH THE CLIENTS SPECIFICATIONS, AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE SHALL BE DONE AT THE CLIENTS EXPENSE.
- ALL WORK SHALL BE THE BEST OF THEIR RESPECTIVE TYPES, AND CONTRACTORS SHALL BE RESPONSIBLE FOR OBSERVANCE OF ALL STATE, COUNTY, AND LOCAL BUILDING CODES.
- FIRE, VANDALISM, AND THEFT INSURANCE BY OWNER, PUBLIC LIABILITY, AND WORKMAN'S COMPENSATION INSURANCE BY CONTRACTOR.
- THE JOB SHALL BE LEFT BROOM CLEAN, WITH WINDOWS AND FIXTURES WASHED, AND ALL DEBRIS REMOVED BY CONTRACTOR.
- THE CONTRACTOR SHALL GIVE THE DESIGNER 48 HRS. NOTICE MINIMUM WHEN SITE OBSERVATIONS ARE NECESSARY.
- ANY AND ALL ENGINEERING AND SURVEY WORK REQUIRED IN CONNECTION WITH THIS PROJECT SHALL BE BY SEPARATE CONTRACT BETWEEN OWNER/CONTRACTOR AND THE ENGINEER OF HIS CHOICE.
- WHEN DISCREPANCIES ARISE BETWEEN ENGINEERING SPECIFICATIONS AND ARCHITECTURAL SPECIFICATIONS, THE ENGINEER'S SPECIFICATIONS SHALL GOVERN.
- THESE PLANS, SPECIFICATIONS, DETAILS, AND DESIGNS ARE THE SOLE PROPERTY OF HZR HOME DESIGNERS. CONSTRUCTION IS LIMITED TO A ONE TIME USE ON THE PROPERTY NAMED HEREIN. THESE PAGES MAY NOT BE DISPLAYED, COPIED, OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF HZR HOME DESIGNERS.

WASTE MANAGEMENT PLAN

NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE RIGHT-OF-WAY. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS IN SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER. NO FOOD SCRAPS IN TRASH PILE. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER. THE PROJECT SHALL HAVE A SIGNATURE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:00 AM TO 7:00 PM. EXCAVATIONS CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS, CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSHS OFFICE (510) 794-2521

R401.3 DRAINAGE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDING R300.2 CRC

CODE REFERENCE:

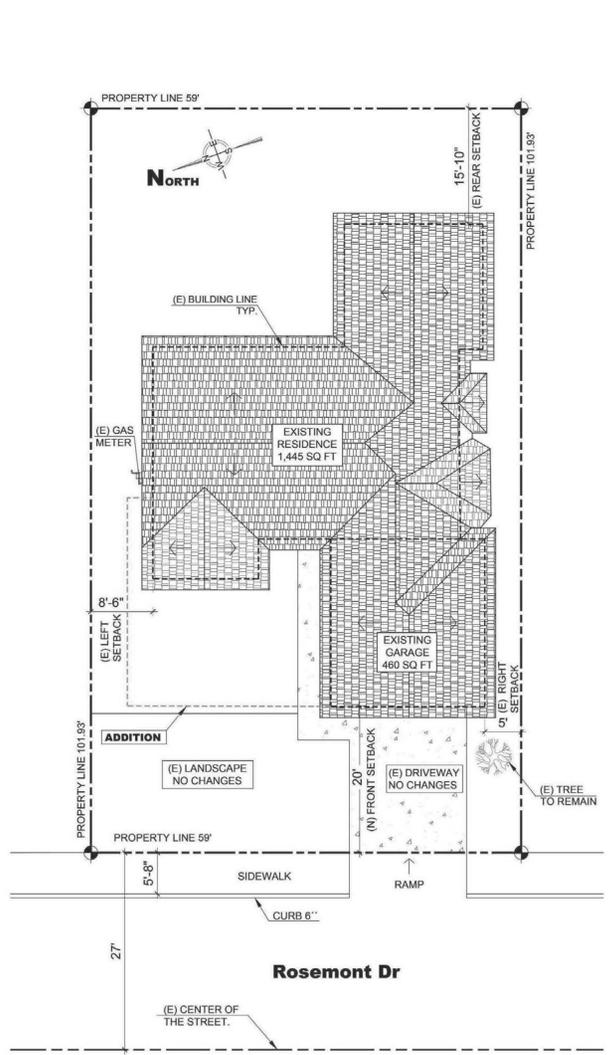
- THE FOLLOWING CODES SHALL APPLY TO WORK REQUIRED BY THIS PROJECT**
- 2019 California Residential Code- CRC
 - 2019 California Plumbing Code CPC
 - 2019 California Mechanical Code CMC
 - 2019 California Electrical Code CEC
 - 2019 California Referenced Standards Code
 - 2019 California Energy Code
 - 2019 California Fire Code

DRAWING INDEX:

- ARCHITECTURAL PLANS:**
- A-0 COVER SHEET AND SITE PLAN
 - A-1 EXISTING & DEMOLITION FLOOR PLAN
 - A-1.1 EXISTING ELEVATIONS
 - A-2 PROPOSED FLOOR PLAN
 - A-2.1 PROPOSED ELEVATIONS
 - A-3 ELECTRIC FLOOR PLAN
 - A-4 ARCHITECTURAL DETAILS
- CG-1 CALGREEN
CG-2 CALGREEN

ENERGY REPORT:

T-24 ENERGY



1 SITE PLAN

SCALE: 1/8" = 1'-0"

ELEMENTS TO REMAIN:

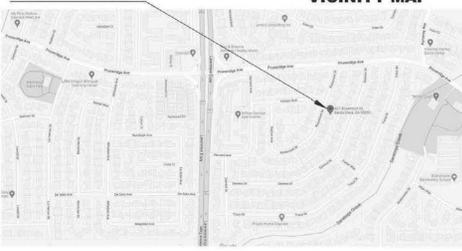
- (E) GAS METER TO REMAIN
- (E) ELECTRIC METER/PANEL
- (E) LANDSCAPE PROTECT WHERE POSSIBLE

PROJECT SITE



PROJECT SITE

VICINITY MAP



PROJECT INFORMATION:

- APN: 296-03-020
- Type of Construction: V/B
- Occupancy Group: R-3

SITE AREA:

LOT SIZE: 6013 Sq. Ft.
EXISTING LIVING AREA: 1,445 SQ FT
EXISTING GARAGE: 460 SQ FT
PROPOSED ADDITION: 500 SQ FT
TOTAL: 2405 SQ FT
COVERAGE AREA = 2505/ 6013= 0.399= 40%

PROJECT ADDRESS:

421 Rosemont Dr
Santa Clara, CA 95051

SCOPE OF WORK:

500 SQ FT. ADDITION
TWO BEDROOM, A FULL BATH,
MASTER BATH REMODEL
& KITCHEN REMODEL



GENERAL NOTES:

No.	Revision	Date
1		05/27/2022

REVISIONS

PROJECT:

421 Rosemont Dr
Santa Clara, CA 95051

RESIDENTIAL ADDITION

SHEET TITLE:

COVER SHEET AND SITE PLAN

DRAWN: C.O.A

DATE: 05/27/2022

SCALE: AS NOTED

JOB No. 40

SHEET No.

A-0



3D DESIGN

GENERAL NOTES:

CONSTRUCTION NOTES:

ALL WORK TO BE IN CONFORMANCE WITH 2019 CBC, CRC, CFC, CMC, CPC, CEC, AND 2019 CALIFORNIA ENERGY CODE AND 2019 CALIFORNIA GREEN, BUILDINGS CONSERVATION. THESE CODES, AS WELL AS THE STATE AND LOCAL AMENDMENT TO THEM. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION. VERIFY LOCATION GRADES A MIN. OF 4% FOR 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREA & SLOPE GRADE 2% MIN. @ PAVED AREAS.

1. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS
2. SHALL BE PLACED IN THE RIGHT-OF-WAY. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS IN SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED
3. AND PLACED IN THE CONTAINER.
4. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
5. CAP OFF EXISTING AND RELOCATE AFFECTED WATER SUPPLY, DRAIN, VENTS AND WASTE LINES AS REQUIRED
6. REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGE OR REMOVED DURING CONSTRUCTION
7. REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGE OR REMOVED DURING CONSTRUCTION
8. CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALL ARE REMOVED AND WHERE IMPORTANT SUPPORT IS REQUIRED
9. ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION

REVISIONS

No.	Description	Date
1		05/27/2022

PROJECT:
421 Rosemont Dr
Santa Clara,
CA 95051

RESIDENTIAL ADDITION

SHEET TITLE:

EXISTING & DEMOLITION FLOOR PLAN

DRAWN: C.O.A

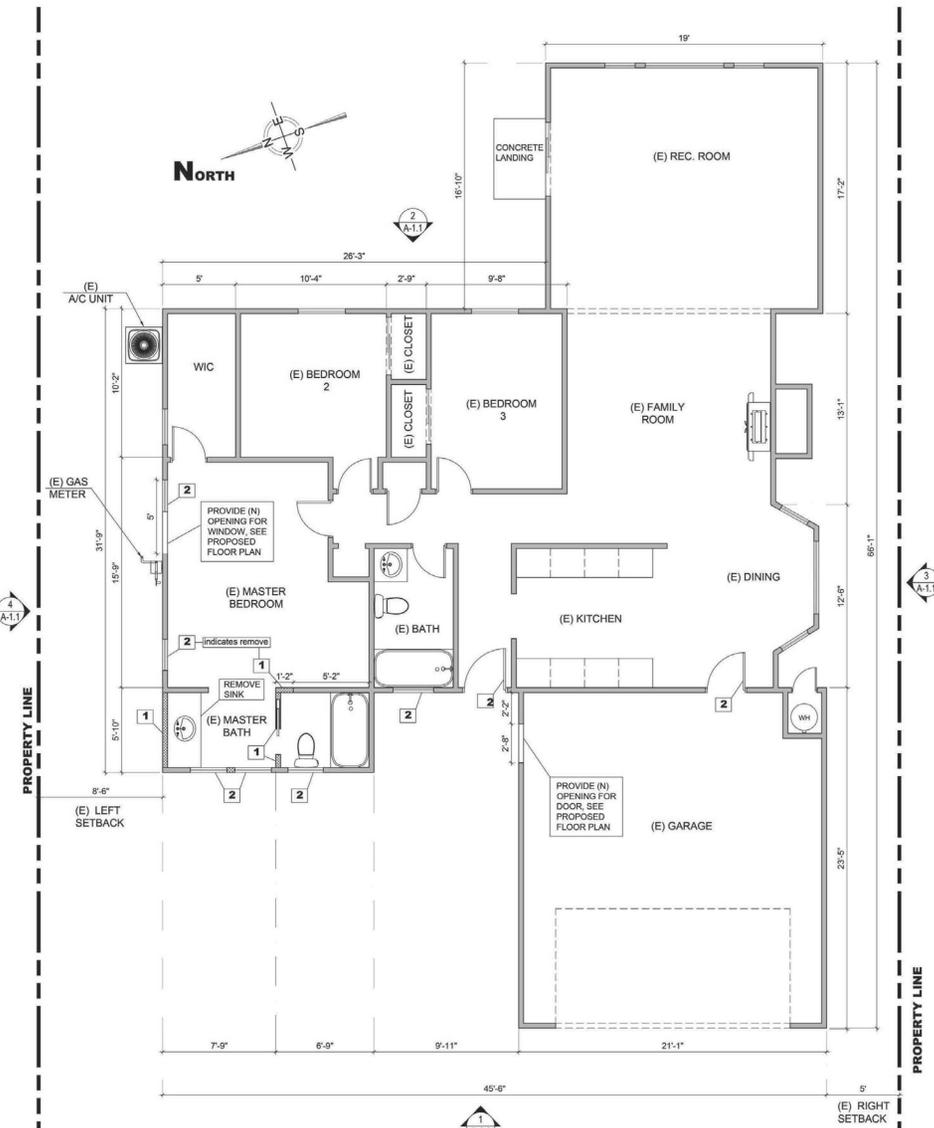
DATE: 05/27/2022

SCALE: AS NOTED

JOB No.: 40

SHEET No.:

A-1



1 EXISTING FLOOR PLAN
SCALE: 1:14"

DRAWING LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE DEMO

ELEMENTS TO REAMIN:

- (E) GAS METER TO REMAIN
- (E) ELECTRIC METER/PANEL
- (E) LANDSCAPE PROTECT WHERE POSSIBLE

DEMOLITION ACTIONS:

- 1** (E) INTERIOR/EXTERIOR WALLS TO BE DEMOLISHED
- 2** (E) WINDOW/DOOR TO BE REMOVED.

- INDICATE DETAIL
- INDICATE ELEVATION



3D DESIGN

GENERAL NOTES:

REVISIONS

No.	Description	Date
1		05/27/2022

PROJECT:

421 Rosemont Dr
Santa Clara,
CA 95051

RESIDENTIAL
ADDITION

SHEET TITLE:

EXISTING
ELEVATIONS

DRAWN: C.O.A

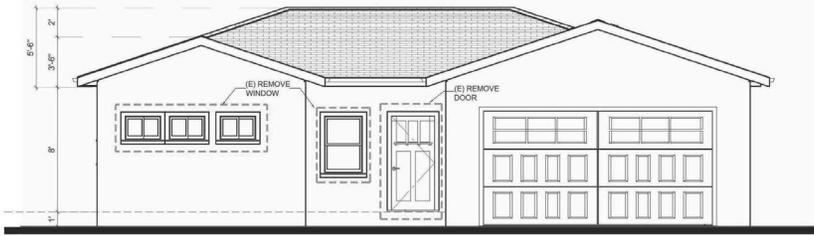
DATE: 05/27/2022

SCALE: AS NOTED

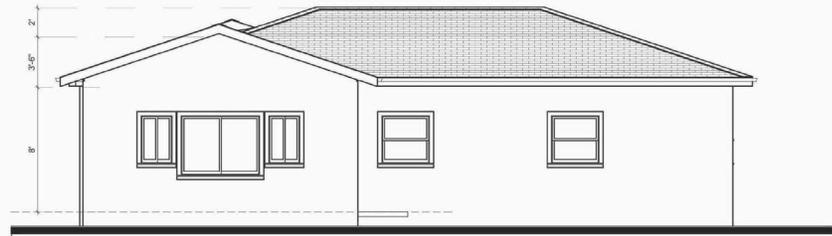
JOB No. 40

SHEET No.

A-1.1



1 EXISTING ELEVATIONS FRONT
SCALE: 1: 1/4"



2 EXISTING ELEVATIONS REAR
SCALE: 1: 1/4"



3 EXISTING ELEVATIONS RIGHT
SCALE: 1: 1/4"



4 EXISTING ELEVATIONS LEFT
SCALE: 1: 1/4"



3D DESIGN

GENERAL NOTES:

CONSTRUCTION NOTES:

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- 1. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS IN SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
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5. REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGE OR REMOVED DURING CONSTRUCTION.
6. CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALL ARE REMOVED AND WHERE IMPORTANT SUPPORT IS REQUIRED.
7. ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION.

GENERAL WINDOW NOTES:

- 1. PROVIDE TEMPERED SAFETY GLASS AT ALL BATH AND SHOWER LOCATIONS AND FOR ALL WINDOWS WITHIN 18" OF GROUND AND FINISHED FLOOR OR WITHIN 24" OF EITHER EDGE OF DOOR FRAME AND IN WALLS ENCLOSEING STAIRWAYS OR LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE, PER UBC 2406.4
2. ALL EXTERIOR GLASS TO BE DOUBLE GLAZING LOW-E GLASS
3. ESCAPE WINDOWS MUST HAVE A NET CLEAR OPERABLE AREA OF 5.7 SF. A CLEAR OPERABLE HEIGHT OF 24" AND A CLEAR OPERABLE WIDTH OF 20". THE SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE FINISHED FLOOR.
4. SAFETY GLAZING SHALL BE PROVIDED IN HAZARDOUS LOCATIONS PER SECT. 2408 OF THE UBC, WHICH INCLUDES GLASING.

- A. IN INGRESS & EGRESS DOORS, FIXED OR SLIDING PANELS OF SLIDING DOORS, STORM DOORS, AND ALL UNFRAMED SWINGING DOORS.
B. IN TUB & SHOWER DOORS OR ENCLOSURES
C. IN ANY PORTION OF THE SHOWERS, TUBS, SAUNA, OR STEAM ROOM THAT IS LESS THAN 60" FROM STANDING SURFACE.
D. ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
E. IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING REQUIREMENTS:

- a. AREA GREATER THAN 9 SF.
b. BOTTOM EDGE LESS THAN 18" ABOVE FLOOR.
c. TOP EDGE GREATER THAN 38" ABOVE FLOOR
d. WALKING SURFACES WITHIN 30" HORIZONTALLY OF THE PLANE OF GLAZING

ALL WINDOWS

V-FACTOR 0.30 SHGC 0.23

ELEMENTS TO REMAIN:

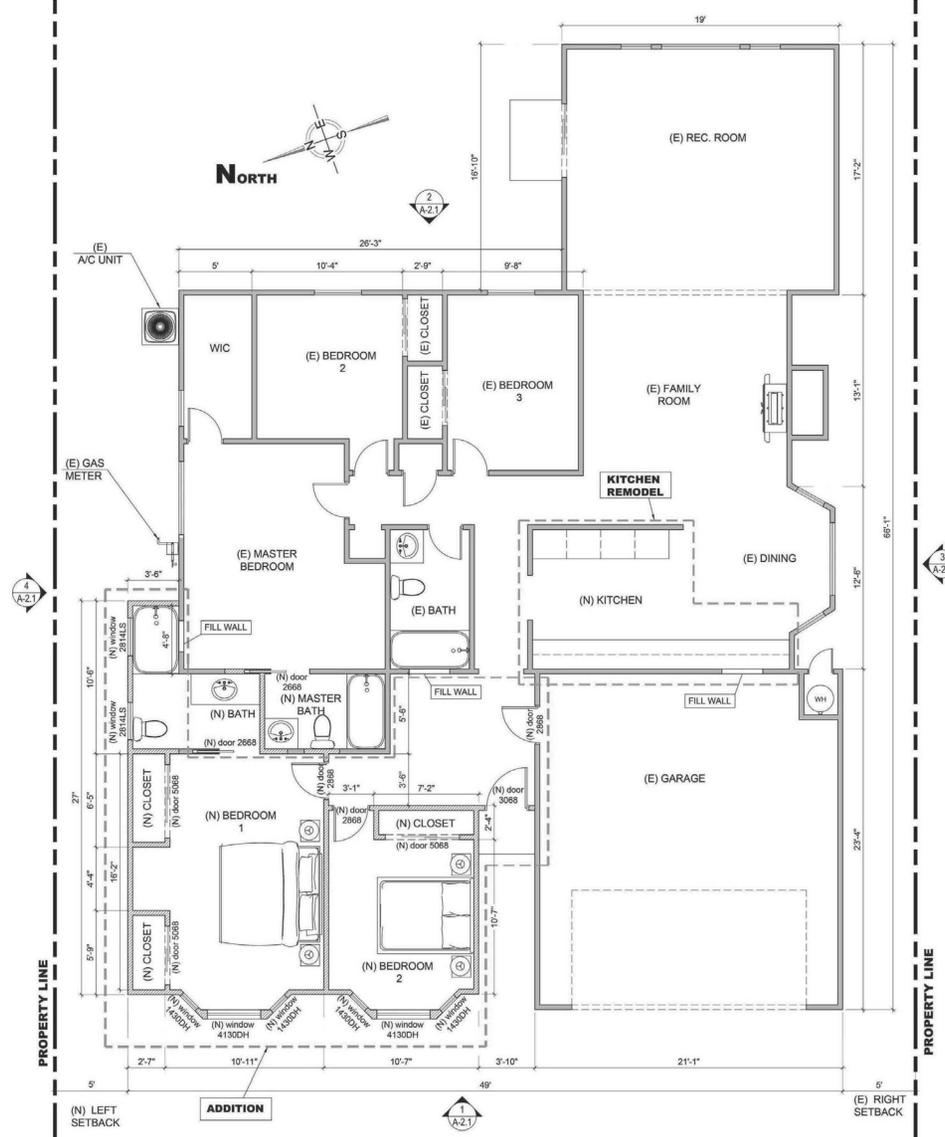
- (E) GAS METER TO REMAIN
(E) ELECTRIC METER/PANEL
(E) LANDSCAPE PROTECT WHERE POSSIBLE

DRAWING LEGEND

- (E) EXISTING WALL TO REMAIN
(N) NEW WALL

INDICATE DETAIL

INDICATE ELEVATION



1 PROPOSED FLOOR PLAN SCALE: 1:1/4"

REVISIONS

Table with 3 columns: No., Description, Date. Row 1: 1, , 05/27/2022

PROJECT: 421 Rosemont Dr Santa Clara, CA 95051

RESIDENTIAL ADDITION

SHEET TITLE:

PROPOSED FLOOR PLAN

DRAWN: C.O.A

DATE: 05/27/2022

SCALE: AS NOTED

JOB No. 40

SHEET No.

A-2