

City of Santa Clara

Meeting Agenda

Development Review Hearing

Wednesday, July 9, 2025

4:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

o Via Zoom:

o https://santaclaraca.zoom.us/j/92950218717 or

o Phone: 1 (669) 900-6833

Meeting ID: 929 5021 8717

How to Submit Written Public Comment Before Development Review Hearing Meeting: By email to PlanningPublicComment@santaclaraca.gov by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

Note: Emails received as public comment will not be read aloud during the meeting.

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PUBLIC PARTICIPATION IN ZOOM

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- Mute all other audio before speaking. Using multiple devices can cause audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press *9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press *6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

CALL TO ORDER AND ROLL CALL

25-772 Declaration of Procedures

REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

CONSENT CALENDAR

Consent Calendar items may be enacted, approved, or adopted by the action of the Development Review Hearing Officer unless requested to be removed by anyone for discussion or explanation. If any member of the staff, the applicant, or a member of the public wishes to comment on a Consent Calendar item or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Development Review Hearing during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

1.A 25-758 <u>Development Review Hearing Meeting Minutes of June 18,</u> 2025

Recommendation: Approve the Development Review Hearing Meeting Minutes of the June 18, 2025 Meeting.

1.B 25-759

Continuance of the Architectural Review (PLN24-00637) for the Construction of a 425 Square-Foot First Floor Addition and a 1,250 Square-Foot Second Floor Addition, Resulting in a 3,151 Square-Foot Four Bedroom and Three and a Half Bathroom Two-Story Single-Family Residence on a 5.508 Square-Foot Lot at 2121 Nobili Avenue.

Recommendation: Recommend continuing the item to the August 20, 2025, Development Review Hearing.

GENERAL BUSINESS

The following items from this Development Review Hearing agenda will be scheduled for further review following the conclusion of hearings and recommendations by the Development Review Hearing. Please contact the Planning Division office for information on the schedule of hearings for these items.

25-509 2.

PUBLIC HEARING: Action on the Architectural Review (PLN24-00489) to Construct One-Story 11,100 Square-Foot Prefabricated Steel Building with Associated Site Improvements Located at 2290 De La Cruz Boulevard.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill) and **Approve** the Architectural Review (PLN24-00489) to Construct a One-Story 11,100 Square-Foot Prefabricated Steel Building with Associated Site Improvements Located at 2290 De La Cruz Boulevard, subject to the findings and conditions of approval.

3. 25-747

PUBLIC HEARING: Action on the Architectural Review (PLN24-00460) for a Demolition of the Existing Single-Family Construction of New 2,274 Square-Foot Residence and a Four-Bedroom. Three-and-half Bathroom Two-Story Residence with an Attached Two-Car Garage located at 520 Hilmar Street within 200 Feet of Historic Properties.

Recommendation: Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and Approve the Architectural Review for a demolition of the existing single-family residence and the construction of a 2,272 square-foot four-bedroom and three-and-half bathroom two-story residence, with a 362 square foot two-car garage at 520 Hilmar Street, subject to conditions of approval.

ADJOURNMENT

The next regular scheduled meeting is on Wednesday, August 20, 2025 at 4 p.m.

MEETING DISCLOSURES

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

Agenda Report

25-772 Agenda Date: 7/9/2025

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Declaration of Procedures



DEVELOPMENT REVIEW HEARING DECLARATION OF PROCEDURES

The Hearing Officer for this agenda will be Sheldon Ah Sing onbehalf of and delegated by the Director of Community Development Afshan Hamid.

The hearing procedure and order of input will be as follows:

- 1. Each project will be identified as described on the agenda.
- 2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
- 3. For those items listed under Public Hearing, staff will provide a brief report.
- 4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
- 5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
- 6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
- 7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.

The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.



City of Santa Clara

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Agenda Report

25-758 Agenda Date: 7/9/2025

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Development Review Hearing Meeting Minutes of June 18, 2025

RECOMMENDATION

Approve the Development Review Hearing Meeting Minutes of the June 18, 2025 Meeting.



City of Santa Clara

Meeting Minutes

Development Review Hearing

06/18/2025 4:00 PM

Hybrid Meeting City Hall Council Chambers/Virtual 1500 Warburton Avenue Santa Clara, CA 95050

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

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o Phone: 1 (669) 900-6833

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- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

CALL TO ORDER AND ROLL CALL

Development Review Officer Sheldon Ah Sing called the meeting to order at 4:00 p.m.

25-720 Declaration of Procedures

Development Review Officer Sheldon Ah Sing read the Declaration of Procedures.

REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

None.

PUBLIC PRESENTATIONS

None.

CONSENT CALENDAR

<u>25-721</u> Development Review Hearing Meeting Minutes of May 14, 2025

Recommendation: Approve the Development Review Hearing Meeting Minutes of the May 14,

2025 Meeting.

Action: Development Review Officer Sheldon Ah Sing approved

staff recommendation.

GENERAL BUSINESS

PUBLIC HEARING: Action on the Architectural Review (PLN24-00608) for the Construction of a 668 Square-Foot Second Floor Addition, Resulting in a 2,716 Square-Foot Four Bedroom and Two and a Half Bathroom Two-Story Single-Family Residence on a 5,200 Square-Foot Lot at 1272 Blackfield Drive.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects), and **Approve** the Architectural Review for the construction of a 668 square-foot second floor addition, resulting in a 2,716 square-foot four bedroom, two and a half bathroom two story residence at 1272 Blackfield Drive, subject to findings and conditions of approval.

Assistant Planner Alex Tellez provided the staff presentation.

Architect Sanaz Faridnia spoke about the design and how the privacy of the neighbors is protected.

Public Comments: None.

Development Review Officer Sheldon Ah Sing had questions about the window placement on the second floor.

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

PUBLIC HEARING: Action on the Architectural Review (PLN24-00637) for the Construction of a 425 Square-Foot First Floor Addition and a 1,250 Square-Foot Second Floor Addition, Resulting in a 3,151 Square-Foot Four Bedroom and Three and a Half Bathroom Two-Story Single-Family Residence on a 5,508 Square-Foot Lot at 2121 Nobili Avenue.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects), and **Approve** the Architectural for the construction of a 425 square-foot first floor addition and 1.250 square-foot second floor addition, resulting in a 3,361 square-foot four bedroom and three-and-a-half-bathroom two-story single-family residence at 2121 Nobili Avenue, subject to findings and conditions of approval.

Assistant Planner Alex Tellez provided the staff presentation.

Homeowner Ravi Ramaanujan spoke about the design.

Architect Vidya Ravi stated how he worked with the City to meet the City's development standards and design guidelines.

Public Speakers:

Robert Schneider Martin Koornwinder

Action: Development Review Officer Sheldon Ah Sing continued this item date certain to the July 9, 2025 Development Review Hearing. The Development Review Officer recommended changing the design for the front elevation, and requested the applicant work with staff and the neighbors to address the privacy concerns.

PUBLIC HEARING: Action on the Architectural Review (PLN25-00004) for the Demolition of an Existing Single-Story Residence and the Construction of a 2,560 Square Foot Single-Story Residence Located at 2165 Bray Avenue.

Recommendation:

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction or Conversion of Small Structures") and **Approve** the Architectural Review for the demolition of an existing single-story residence and the construction a 2,506 Square Foot Single-Story Residence, located at 2165 Bray Avenue, subject to the findings and conditions of approval.

Associate Planner Daniel Sobczak provided the staff presentation.

Homeowner Yilin Yu spoke about the design.

Public Comments: None.

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

PUBLIC HEARING: Action on the Architectural Review (PLN25-00152) for the Demolition of an Existing Single-Story Residence and the Construction of a 3,033 Square Foot Single-Story Residence Located at 523 Flannery Street.

Recommendation:

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - "New Construction or Conversion of Small Structures") and **Approve** the Architectural Review for the demolition of an existing single-story residence and the construction a 3,033 Square Foot Single-Story Residence, located at 523 Flannery Street, subject to the findings and conditions of approval.

Associate Planner Daniel Sobczak provided the staff presentation.

Architect Byoung Choi spoke about the design intent.

Public Speaker:

Tai Yuan Zhang

Development Review Officer Sheldon Ah Sing stated that the applicant should work with their neighbors during construction to ensure that they are aware of what time construction will start daily.

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

PUBLIC HEARING: Action on An Architectural Review (PLN25-00061) for the Demolition of 50% or More of an Existing Residence to Construct a 2,192 Square Foot Four Bedroom, Three Bathroom, Single-Family Residence with an Attached Two-Car Garage on a 5,498 Square Foot Lot at 2475 Moraine Drive.

Recommendation: Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and Approve the Architectural Review for the demolition of 50% of an existing residence to construct a 2,192 square-foot four bedroom and three-bathroom single-family residence with an attached two car garage on a 5,498 square foot lot at 2475 Moraine Drive, subject to findings and conditions of approval.

Assistant Planner Alex Tellez provided the staff presentation.

Applicant Warren Lee spoke about the design.

Public Comments: None.

Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.

ADJOURNMENT

The meeting adjourned at 4:58 p.m.

The next regular scheduled meeting is on Wednesday, July 8, 2025.

The meeting recording is available on the City's website:

https://santaclara.legistar.com/calendar.aspx

MEETING DISCLOSURES

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City of Santa Clara

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Agenda Report

25-759 Agenda Date: 7/9/2025

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

Continuance of the Architectural Review (PLN24-00637) for the Construction of a 425 Square-Foot First Floor Addition and a 1,250 Square-Foot Second Floor Addition, Resulting in a 3,151 Square-Foot Four Bedroom and Three and a Half Bathroom Two-Story Single-Family Residence on a 5,508 Square-Foot Lot at 2121 Nobili Avenue.

File No.: PLN24-00637

Location: 2121 Nobili Avenue

Applicant: Ravi Vidya

Owner(s): Ravi Ramaanujan

Request: Architectural Review for the construction of a 323 square-foot first floor addition and

1,250 square-foot second floor addition, resulting in a 2,475 square-foot four bedroom

and three-and-a-half-bathroom two-story single-family residence.

DISCUSSION

At the June 18, 2025, Development Review Hearing (DRH), after hearing testimony from staff, the applicant and the public, the Development Review Officer continued the item to the July 9, 2025, DRH, so that the property owner can address design issues related to the proposal. The property owner needs additional time to address the issues.

RECOMMENDATION

Recommend continuing the item to the August 20, 2025, Development Review Hearing.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department Reviewed by: Nimisha Agrawal, Senior Planner, Community Development Department Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development

Department

ATTACHMENTS

None



City of Santa Clara

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Agenda Report

25-509 Agenda Date: 7/9/2025

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

PUBLIC HEARING: Action on the Architectural Review (PLN24-00489) to Construct a One-Story 11,100 Square-Foot Prefabricated Steel Building with Associated Site Improvements Located at 2290 De La Cruz Boulevard.

File No.: PLN24-00352

Location: 2290 De La Cruz Boulevard, an 85,718 square-foot project site located on the

northeast corner of De La Cruz Boulevard and Mathew Avenue, approximately 955 feet

north of Reed Street

Applicant: Crash Champions and Eric Shephard Architects, Inc.

Owner(s): DP Ventures

Request: Architectural Review to construct a one-story 11,100 square-foot prefabricated steel

building and associated site improvements.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The project site is surrounded by heavy industrial uses with light industrial uses across De La Cruz Boulevard as shown in Attachment 1 (Vicinity Map).
- The project site was originally developed with a one-story industrial building in 1967 for warehouse and industrial use, which is currently being used for vehicle repair. The site also has uncovered vehicle and commercial bus storage at the rear of the property where the proposed building will be located.
- The applicant requests the construction of a new freestanding 11,100 square-foot building. Per the Santa Clara City Code 18.120(D)(4), the request requires Architectural Review approval through a Development Review Hearing.
- The project proposes demolition of the existing asphalt parking area to construct a one-story 11,100 square-foot prefabricated steel building with associated landscaping and parking improvements.
- The proposal was deemed cleared from the Project Clearance Committee (PCC) on April 8, 2025, and is consistent with the Zoning Code.
- The project is consistent with the Santa Clara Community Design Guidelines:
 - Building and Site Design
 - The proposed construction will consist of ash-gray colored metal wall panels and galvalume roof. The building will have minimal ornamentation through a contrasting dark gray trim in the roof and door frame and door. The architectural pages of the Development Plans (Attachment 4) show the materials and

elevations.

Architectural features such as corrugated metal panels and the service bay openings break up the large expanse.

- The front façade of the construction consists of 14 service bays that are setback 124 feet from the public right-of-way and screened with an eight-foot block wall and landscaping to minimize the visual intrusion onto adjoining properties.
- The required parking is proposed behind the eight-foot block wall and automatic vehicle gates. The proposed block wall will be painted to match the ash-gray color of the proposed building.
- Lighting is provided to enhance site layout and is consistent with SCCC Section 18.40.080 - Outdoor Lighting:
 - The proposed outdoor light fixtures are six pole 16-foot pole light fixtures were 25-foot freestanding outdoor light fixtures are allowed. The pole light fixtures are energy-efficient with dimmable and directed downward.
 - The project proposes one light fixture on the front façade. Two building light fixtures will be located on the side façade of the building.
- Open Space and Landscaping
 - The proposed project will install a separated sidewalk and landscape area on both sides of the sidewalk to provide trees and shrubs to minimize visual impact of the proposed building.
 - The driveways will abide by the City's visibility triangle standards per City Standard Detail TR-9.
 - The proposed landscape and block wall with landscaping in the front as well as the parking lot complement the building, pedestrian, and driveway entrances.
 - The project abides by the current landscape standards under Santa Clara City Code 18.36. The area in-front of the proposed block wall, the front setback area, 26-foot landscape area in the rear, and parking lot planters are landscaped with trees, shrubs, and ground cover of various species. There are 24, 24-inch box trees that will be planted on site.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this
 project review.

FINDINGS SUPPORTING STAFF'S RECOMMEDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:
 - The project proposes 38 spaces where 35 spaces are required. The existing parking lot in the front provides 26 spaces, totaling in 64 spaces in total.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking vehicles.

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2) That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:

- The proposed construction would not create any traffic congestion or hazards.
- The public streets are of adequate size to accommodate the proposed development.
- The proposed design stays consistent with the scale of nearby buildings and would not impair the desirability of the neighborhood.
- 3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:
 - The proposed project is consistent with the City's Community Design Guidelines:
 - Building height and bulk is appropriate relative to the neighborhood.
 - Roof materials, building materials, and finishes work in conjunction with one another and consistent with the proposed industrial architectural style of the building.
 - Architectural features are used to reduce large expanse of blank walls which further harmonizes the development with the existing neighborhood.
 - The project proposes landscaping throughout the site and in the front to minimize the visual impact of the proposed building.
 - The proposed project is consistent with the City's General Plan:
 - o 5-3.1-P10 Provide opportunities for increase landscaping and trees in the community.
 - 5-3.5-P11 Construct sidewalks in industrial areas, with priority along streets served by existing or planned transit services.
 - 5-3.5-P16 Protect the industrial land use designations from incompatible uses in order to maintain the City's strong fiscal health and quality services that are supported by new businesses and technologies and retention of well-established businesses.
- 4) That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:
 - The project is subject to the California Building code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:
 - The proposed construction is consistent with the City's Community Design Guidelines:
 - The proposal enhances the neighborhood character, functional relationships, and property values of land and development.
 - The proposed construction complies with the HI zoning districts developments standards in that it proposes landscaping, screening, and site design to minimize the visual impacts of the

25-509 Agenda Date: 7/9/2025

proposed service bay openings on the public right-of-way.

• The proposed construction complies with the intent of the Santa Clara General Plan and all relevant policies.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill), in that the request is being built on project site less than five acres and within an urban area served by existing utilities.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on June 26, 2025. As of the writing of this report, planning staff has not received public comments for this application.

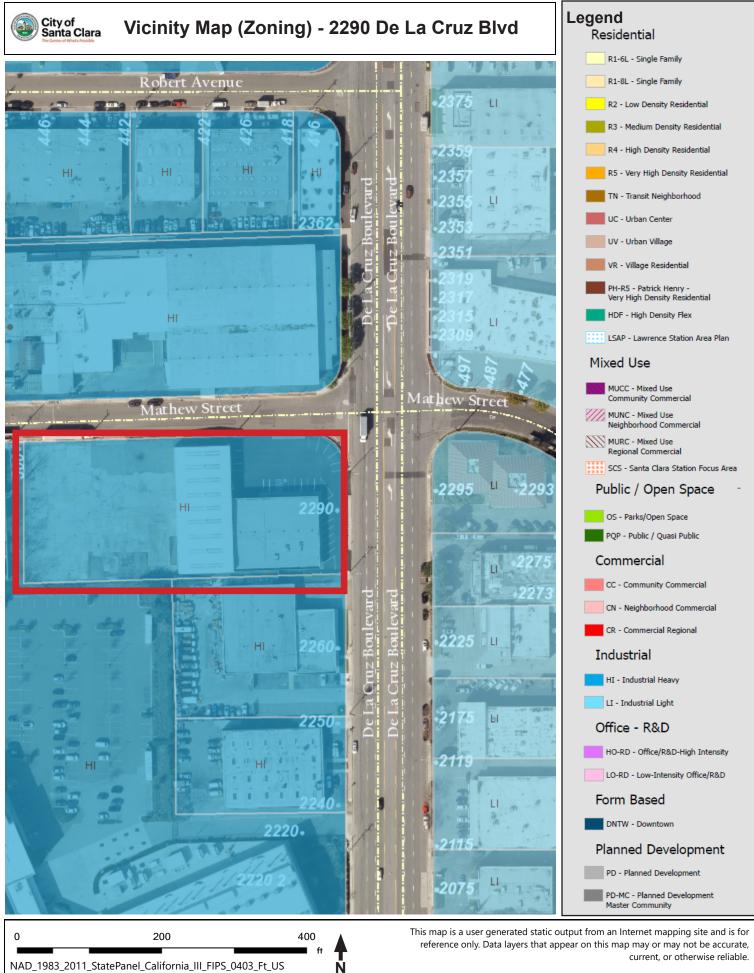
RECOMMENDATION

Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill) and **Approve** the Architectural Review (PLN24-00489) to Construct a One-Story 11,100 Square-Foot Prefabricated Steel Building with Associated Site Improvements Located at 2290 De La Cruz Boulevard, subject to the findings and conditions of approval.

Prepared by: Meha Patel, Associate Planner, Community Development Department Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

- 1. Vicinity Map
- 2. Project Data and Compliance Table
- 3. Conditions of Approval
- 4. Development Plans



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Attachment 2: Project Data/Compliance (Non-Residential)

Project Address: 2290 De La Cruz Zoning: HI – Heavy Industrial **Project Number: PLN24-00489**

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	85,718	85,718	20,000	Υ
Building Square Footage (SF)				
Main Building:	24,847	24,847		
Shop Building:		11,100		
Total:	24,847	35,947		
Floor Area Ratio	0.29	0.42	0.45	Y
Building Coverage (%)				
Building Coverage (All):	29%	42%		Y
Building Setbacks (FT)				
Front:				
Main Building:	28		15	Y
Shop Building:		230	15	Y
Side, Interior: Main Building:	10		0	Υ
Shop Building:		10	0	Y
Side, Corner:				-
Main Building:	10		15	N
Shop Building:		124	15	Υ
Rear:	000		0	
Main Building: Shop Building:	222	10	0 0	Y
Height (FT)				
Main building:	28		70	Y
Shop building:		25	70	Υ
Parking:				
Off-Street:	26	64	2 spaces per	Υ
			service bay	
			1 space per shift	
			employees	
			35 spaces	

Conditions of Architectural Review Approval

PLN24-00489 / 2290 De La Cruz

An Architectural Review (PLN24-00489) to Construct a One-Story 11,100 Square-Foot Prefab Steel Building with Associated Site Improvements Located at 2290 De La Cruz Boulevard.

GENERAL / PERFORMANCE

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the decision-making body and the appeal period has been exhausted. The expiration date is July 17, 2027.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Necessary Relocation of Public Facility.** If relocation of an existing public facility becomes necessary due to a conflict with the owner or designee's new improvements, then the cost of said relocation shall be borne by the owner.
- G5. **Indemnify and Hold Harmless.** The owner or designee agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorney's fees, injuries, costs, and liabilities from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of owner or designee's project.
- G6. **Code Compliance.** The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis; proposed use and occupancy of all spaces (CBC Ch. 3), all building heights and areas (CBC Ch. 5), all proposed types of construction (CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (CBC Ch. 7), all proposed interior finishes fire resistance (CBC Ch. 8), all fire protection systems proposed (CBC Ch. 9), and all means of egress proposed (CBC Ch. 10). Noncombustable exterior wall, floor, and roof finishes are strongly encouraged.
 - a. During construction retaining a single company to install all fire related penetrations is highly recommended.

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- b. The grade level lobbies shall be minimum 1-hour rated all sides and above.
- c. All stair shafts shall be minimum 1-hour rated.
- d. All elevator shafts shall be minimum 1-hour rated.
- e. All trash chute shafts shall be minimum 1-hour rated.
- f. Recommendation: provide minimum two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
- g. Any trash rooms shall be minimum 1-hour rated all sides and above.
- G7. **Building Codes as Amended.** See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- G8. **Reach Codes.** This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022. See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
 - a. Chapter 15.36 Energy Code for "all electric" provisions for new construction.
 - b. Chapter 15.38 Green Building Code for additional Electric Vehicle Charging requirements for new construction.
- G9. Comply with all applicable codes, regulations, ordinances and resolutions.
- G10. **Signage.** The submitted plans only reference signage for the new buildings to show the relationship between the buildings design and possible new signage. This approval does not include an approval for signage. Signage will require a separate approval from the Planning Division. Signage will be reviewed through a separate approval process.

COMMUNITY DEVELOPMENT - PLANNING DIVISION

DESIGN / PERFORMANCE - PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Roof Mounted Mechanical Equipment.** All roof mounted mechanical equipment shall be placed within a screened roof top enclosure depicted on the elevation drawings or located below the parapet level and shall not be visible from the ground at any distance from the building. Cross section roof drawings shall be provided at the building permit stage indicating the relative height of the screen wall or parapet. Minimum screen height or parapet depth shall be five feet or greater to match the height of any proposed equipment.
- P2. **Tree Replacement (on-site).** Trees permitted by the City for removal shall be replaced on-site at a ratio of 2:1. (SCC 12.35.090)
- P3. **Landscaping.** Planning Staff shall inspect the proposed landscaping for conformance to the final Planning approved plans. The landscaping shall be installed in conformance with the approved Planning plans prior issuance of the Final Building permit.
- P4. **Construction Management Plan.** The owner or designee shall submit a construction management plan addressing impacts to the public during construction activities including: showing work hours, noticing of affected businesses, construction signage, noise control, storm water pollution prevention, job trailer location, contractor parking, parking enforcement, truck hauling routes, staging, concrete pours, crane lifts, scaffolding, materials storage, pedestrian safety, and traffic control. The plan shall be submitted to the

Director of Community Development or designee for approval prior to issuance of demolition and building permits.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

- P5. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P6. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P7. **Construction Parking.** Off street parking is required to be available from the time of issuance of building permits until the issuance of certificate of occupancy. Five parking spaces shall be made available. Off-street construction parking lots are required to be maintained mud-free and dustless. If the off-street construction parking lot is located on an unpaved surface, daily street sweeping of surrounding streets is required. (SCC 18.38.030)
- P8. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

OPERATIONAL CONDITIONS

- P9. Landscaping Installation & Maintenance. The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development or designee.
- P10. **Landscaping.** New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- P11. Transportation Demand Management (TDM) Program (Non-Residential project) The Owner or designee shall implement the project TDM program that includes elements to reduce vehicle miles traveled (VMT) by 25 percent per the City's 2022 Climate Action Plan. A final TDM plan shall be submitted to the Director of Community Development or designee prior to Building Permit Final by the Planning Division. The property owner or designee shall monitor the project TDM program and submit an annual report to the Director of Community Development or designee. Monitoring and reporting requirements may be revised in the future if the minimum reduction is not achieved through the measures and programs initially implemented.

COMMUNITY DEVELOPMENT - BUILDING DIVISION

DESIGN / PERFORMANCE - PRIOR TO BUILDING PERMIT ISSUANCE

- BD1. Addressing. Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
 - a. Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. **Flood Zone.** The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: https://msc.fema.gov/portal/home. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
 - a. FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. Water Pollution Control. The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:
 - https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention and will be routed to a contract consultant for review.
- BD4. **Submittal Requirements.** The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

DURING CONSTRUCTION - PRIOR TO OCCUPANCY

BD5. **Temporary Certificates of Occupancy.** Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only

after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

COMMUNITY DEVELOPMENT – HOUSING DIVISION

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

H1. **Impact Fee.** In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the Affordable Housing Ordinance requirements, which may be met through payment of an impact fee of \$7.71 per square foot for light industrial developments under 20,000 square feet.

The fee is calculated based on the net square footage of the existing building to be demolished, minus the square footage of the proposed new construction, multiplied by \$7.71 per square foot. The estimated fee is calculated as follow: 11,100 sq ft (proposed) -0 sq ft (existing to be demolished) x \$7.71 = \$85,581.

The applicant shall pay impact fee before the issuance of the building's occupancy certificate. Please note that if the proposed building square footage changes, the impact fee will also change. Furthermore, if the total proposed building exceeds 20,000 square feet, the fee rate will increase to \$15.41 per square foot. All fees are based on the current Municipal Fee Schedule in effect at the time the project is approved.

FIRE DEPARTMENT

DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE

- F1. Hazmat Clearance. Prior to any Building Permit issuance, Hazardous Materials Closure (HMCP) is required as applicable: This is a permit is issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
- F1. Hazmat Clearance. Prior to any Building Permit Issuance, a Phase II environmental assessment is required to be submitted to CRRD for review. If hazards are present that require site mitigation, cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup: Department of Toxic Substances Control (DTSC); State Water Resources Control Board; or Santa Clara County, Department of Environmental Health.

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading: Oversight agency case number; and Oversight mangers contact name, phone number.

For smaller projects that are not moving soil at all, a Phase I environmental assessment may be adequate. Please contact Assistant Fire Marshal Fred Chun at fchun@santaclaraca.gov for more information.

- F2. **Fire Flow Requirement.** Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the current California Fire Code. The most restrictive departments requirement shall apply.
- Fire Hydrants. Prior to Building Permit Issuance, building plans shall show the required number, location and distribution of fire hydrants for the buildings will be based on the current California Fire Code, Appendix C as amended. The required number of fire hydrants will be based on the fire-flow before the reduction for fire sprinklers. Both public and private fire hydrants may be required.
- F4. **Fire Department Access.** Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F5. **Fire Department Access.** Prior to the issuance of the Building Permit, approval for fire department apparatus access roads is required. Roadways must be provided to comply with all the following requirements:
 - Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of each building. In addition, aerial apparatus roadways must be located so aerial apparatus will have clear access to the "entire" face/sides of the building. The minimum number of sides is project-specific and depends on the building configuration, building design, occupancy, and construction type, etc. As part of Building Permit Issuance, an alternative materials, design, and methods of construction and equipment permit application will need to be submitted for review and approval incorporating applicable mitigation measures as determined by the fire department for the lack of compliance. Please note acceptable mitigation methods may have been discussed during the planning stage. Those mitigations are not guaranteed until a formal alternate means permit is submitted concurrently with the Building Plans. Conversely, an acceptable mitigation method may not have been discussed and will be evaluated under an alternate means permit at the building permit stage.
 - For underpasses, garages, gates, or anything similar that a Fire apparatus is required to drive under as part of the emergency vehicle access, 16 feet vertical

clearance will be required. For all other areas, the "minimum" unobstructed vertical clearance shall not be less than 13 feet 6 inches.

<u>or</u>

- For all other areas, the "minimum" unobstructed vertical clearance shall not be less than 13 feet 6 inches.
- The "minimum" width of aerial roadways for aerial apparatus is 26 feet.
- The minimum inside turning radius shall be 30 feet.
- The "minimum" width of roadways for aerial apparatus is 26 feet. Aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building. This requirement is only applicable when Appendix D of the Fire Code is enforceable.
- Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
- Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
- Trees at full development must not exceed 30 feet in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-retention, and architectural features are reviewed caseby-case to ensure they do not obstruct aerial and ground ladder access.
- Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed alone fire department apparatus access roads.

Prior to any Building Department Issuance, all fire department apparatus access roadways on private property are required to "be recorded" with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE's) and reviewed by the Fire Department. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- F6. **Emergency Responder Radio Coverage System.** Prior to Building Permit Issuance, provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F7. **Fire Department Access.** Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- F8. **Fire Department Access.** Prior to issuance of the Building Permit, a gate permit is required to obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be

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- provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A separate fire permit for will be required for a Tomar Strobe Switch or 3M Opticom detector to be installed to control the automatic gate(s) to allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8' 10') above grade.
- F9. **Alternative Means and Methods.** Prior to any Building Permit issuance, an alternate means or methods permits to mitigate any code deficiency must be submitted and approved. Please submit this permit concurrently with the building plans. Please note specific mitigations may have been discussed during the planning process. None of these discussions are binding and can only be formally approved through submitting an AMMR permit. The AMMR permit is formally documenting that and still needs to be submitted.
- F10. **Hazmat Information.** Prior to Building Permit Issuance, a Hazardous Materials Inventory Statement including refrigerants is required to be submitted and reviewed with the Building Permit if applicable.
- F11. **Fire Safety During Construction.** Prior to Building Permit Issuance, a permit for Construction Safety & Demolition shall be submitted to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

- F12. Shared Fire Protection Features that Cross Property Lines. Prior to Building Permit Final, any EVAEs or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.
- F13. **Fire Protection Systems Before Occupancy.** Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved.
- F14. Upgrade or installation of above ground backflow preventers (as required by the conditions of approval from the Water Department for neighboring property) result in added pressure losses to existing sprinkler systems. If a new backflow prevent is being installed, a fire permit will be required to be submitted showing the existing sprinkler system can still meet design criteria with added pressure losses.

PUBLIC WORKS DEPARTMENT - ENGINEERING

DESIGN—PRIOR TO BUILDING PERMIT ISSUANCE

- E1. **Site Clearance.** Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. **Easement.** Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction.

E3. **Easement.** Vacate portions of sanitary sewer and water easement within property (2088 p324, SC9898)

DURING CONSTRUCTION

- E4. **Encroachment Permit.** All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E5. **Encroachment Permit.** Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E6. **Encroachment Permit.** Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E7. **Encroachment Permit.** Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E8. **Encroachment Permit.** Owner or designee shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E9. **Encroachment Permit.** Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
- E10. **Encroachment Permit.** Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E11. **Encroachment Permit.** Existing streetlights shall be clear of proposed sidewalk, developer shall relocate as necessary.
- E12. **Encroachment Permit.** Pavement treatment shall be 2" grind and overlay with digouts for the entire street width of Mathew Street along western most property edge to eastern project boundary.
- E13. **Easement.** Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E14. **Easement.** Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed

- back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E15. **Agreement.** If requested, owner or designee shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.

PUBLIC WORKS DEPARTMENT - STORMWATER

DESIGN / PERFORMANCE—PRIOR TO BUILDING PERMIT ISSUANCE

- ST1. **Final Stormwater Management Plan.** Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.
- ST2. **3**rd **Party Review of Final Stormwater Management Plan.** The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter (on design) shall be submitted with the Plan.
- ST3. **Notice of Intent.** For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October April).
- ST4. **Best Management Practices.** The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans. Applicant to add Source control measures with designations from C.3 stormwater handbook, Appendix H.
- ST5. **C.3 Treatment Facilities Construction Notes.** Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. **Decorative & Recreational Water Features.** Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST7. **Small Projects.** For single-family homes and other small projects that create and/or replace 2,500 10,000 square feet of impervious surface area, the applicant shall implement at least one of the following site design measures:
 - a. Direction of roof runoff into cisterns or rain barrels
 - b. Direction of roof, sidewalk, walkway, patio, driveway, or parking lot runoff onto vegetated areas
 - c. Construction of sidewalks, walkways, patios, bike lanes, driveways, and parking lots with permeable surfaces

Plans shall specify which site design measures are selected for the project and show the direction of flow from impervious surfaces to the selected site design measures. All measures shall meet the design criteria in the 2016 C.3. Stormwater Handbook, Appendix K: Standard Specifications for Lot-Scale Measures for Small Projects.

- ST8. **Interior Floor Drains.** Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST9. **Trash Enclosure Floor Drains.** Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST10. **Architectural Copper.** The use of architectural copper is prohibited.

DURING CONSTRUCTION OR OPERATION

- ST11. **Biotreatment Soil Media.** Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST12. **Stormwater Control Measure Inspection.** At critical construction phases, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants.
- ST13. **Inspections.** Permeable Pavement, Media Filter vaults, and Trash Full Capture Devices shall be inspected by a 3rd party reviewer and/or manufacturer representative for conformance with the details and specifications of the approved plans. All new pervious concrete and porous asphalt pavements should have a minimum surface infiltration rate of 100 in./hr. as described in the SCVURPPP C.3 Handbook. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST14. **Stormwater Treatment Facilities.** Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVRUPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST15. Amendments to Operation & Maintenance Agreement. Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST16. **Stormwater Pollution Prevention Messaging.** Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping Flows to Bay" on any storm drains located on private property.
- ST17. **Outdoor Storage Areas.** All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.

PRIOR TO FINAL OF BUILDING PERMIT

- ST18. **As-Built Drawings.** As-Built drawing shall be submitted to the Public Works Department.
- ST19. **3**rd **Party Concurrence Letter. 3**rd Party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The letter shall be prepared by a **3**rd party consultant from the SCVURPPP List of Qualified Consultants. The City reserves the right to review the **3**rd party inspection report on the C.3 stormwater facility installation.
- ST20. **Final C.3 Inspection.** Applicant shall schedule and City shall conduct a final C.3 inspection.
- ST21. **Operation & Maintenance Agreement.** The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public

Works Dept. - Environmental Services at (408) 615-3080 or Street@SantaClaraCA.gov for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at http://santaclaraca.gov/stormwater. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.

PUBLIC WORKS DEPARTMENT - TRANSPORTATION

DURING CONSTRUCTION

- **TR1. Encroachment Permit.** Traffic improvements must comply with the City of Santa Clara Standard Specifications for Public Works Construction.
- TR2. **Encroachment Permit.** Improvements within 10 feet of a driveway must be less than 3 feet or greater than 10 feet per City Standard Detail TR-9.
- TR3. **Encroachment Permit.** Design and construct driveway in accordance with City Standard Detail ST-8.
- TR4. **Encroachment Permit.** A Class IV protected bikeway is being planned on both sides of De La Cruz Boulevard between Martin Avenue and Reed Street. For more information regarding the proposed bikeway, visit City website: De La Cruz Boulevard/Coleman Avenue Bikeway Planning Study | City of Santa Clara (santaclaraca.gov). Thus, trash pickup location shall be located on-site.
- TR5. **Encroachment Permit**. Design and construct minimum 5-foot sidewalk on Martin Avenue.
- **TR6. Encroachment Permit.** Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.
- TR7. **Building Permit.** Bicycle parking requirements shall be per the City of Santa Clara Zoning Code. Class I and Class II bicycle parking, as defined in SCMC 18.74.075, shall be conveniently accessible from the street, within 200 feet of a building entrance and/or highly visible areas.

PUBLIC WORKS DEPARTMENT – STREETS DIVISION

Right of Way Landscape

DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

- L1. Tree Preservations Specifications. Include <u>City of Santa Clara Tree Preservation/City</u> Arborist specifications on all improvement plans.
- L2. **Mature Trees.** Identify existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L3. **Tree Replacement.** 2:1 tree replacement ratio required for all trees removed from the right-of-way.

DURING CONSTRUCTION OR OPERATION

L4. **No Public Root Cutting.** No cutting of any part of *public*, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and

with direct supervision of a certified arborist (Certification of International Society of Arboriculture).

PRIOR TO FINAL OF BUILDING PERMIT

L5. **In Lieu Fee.** If 2:1 replacement ratio cannot be met for removal of right of way landscape trees, tree planting fee must be paid prior to building permit final.

Solid Waste

DESIGN/PERFORMANCE PRIOR TO ISSUANCE OF BUILDING PERMIT

- SW1. Post-Construction Solid Waste Generation Estimation and Collection Form. The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at Environment@SantaClaraCA.gov or (408) 615-3080 for more information.
- SW2. **Site Plan.** The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines. Solid metal roof, gates and a trench drain shall be installed within the trash enclosure and connected to the on-site sewer system.
- SW3. **Construction Waste Diversion.** For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at http://santaclara.wastetracking.com/.
- SW4. **Authorized Service Haulers.** This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW5. **Exclusive Franchise Hauling Area.** Project applicant shall contact the Public Works Department, Street Maintenance Division at (408) 615-3080 to verify if the property falls within the City's exclusive franchise hauling area. If so, the applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.

DURING CONSTRUCTION OR OPERATION

SW6. **Waste Generation Tracking.** Applicant to track all waste generated and upload debris tags to GreenHalo for City staff review.

PRIOR TO FINAL OF BUILDING PERMIT

SW7. **Weight Tickets.** Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

SILICON VALLEY POWER

GENERAL

- SVP1. **Applicant Design Process:** available to Applicants to expedite distribution electric substructure design.
- SVP2. **SVP Rules and Regulations:** Applicant shall comply with all applicable SVP rules, regulations, standards, guidelines, and requirements, as may be amended from time to time.

SVP3. SVP Equipment Clearances:

- a. **Access Doors:** Ten (10) foot minimum clearance in front of equipment access doors.
- b. **Pad Sides:** Five (5) foot minimum clearance from pad on sides without access doors.
- c. **Truck Access:** Eighteen (18) foot minimum width on one side of the equipment pad for truck access.
- d. **Barrier pipes:** (on sides accessible to vehicles)
 - i. Thirty (30) inches from equipment sides.
 - ii. Forty-Eight (48) inches in front of access doors. (use removable bollards)

SVP4. SVP Conduit Clearances:

- a. **Longitudinal**: Five (5) foot minimum between new conduits/piping and existing/proposed SVP conduits.
- b. **Vertical**: Twelve (12) inch minimum between new conduit/pipes perpendicular to existing SVP conduits.
- c. **Poles/Posts**: Three (3) foot six (6) inches clearance required from poles (electrolier, guy stub, service clearance, self-supporting steel, and light poles), except for riser conduits. This is reduced to a three (3) foot minimum for posts (signposts, barrier pipes, bollards, fence posts, and other similar posts).
- d. **Structures:** Five (5) foot minimum is required from walls, footings, retaining walls, landscape planter, or similar permanent structures.
- e. **Subsurface Facilities:** Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities.
- f. **Fire Hydrant:** Five (5) foot minimum from fire hydrant thrust block. (Extends 5 feet on either side of the hydrant in line with the radial water pipe connected to the hydrant).

SVP5. SVP Vault/Manhole Clearances:

a. Ten (10) foot minimum between adjacent Vaults or Manholes.

Meeting Date: 7/9/2025

- b. Three (3) foot minimum from face of curb. (bollards required for vaults).
- SVP6. **SVP Guy Anchor Clearances:** Five (5) foot minimum clearance is required between the center of anchor line and any excavation area.

SVP7. Tree Clearances:

- a. **Conduits:** Five (5) foot minimum to tree root barrier or other subsurface wall or structure.
- b. **Equipment:** Five (5) foot minimum to tree root barrier. The tree canopy drip line cannot be over the SVP equipment.
- c. **Subsurface Facilities:** Five (5) foot minimum to any electric department facilities. Any existing trees in conflict will have to be removed.
- d. **Easements:** No trees shall be planted in SVP's U.G.E.E or P.U.E's.
- e. **Transformer & Switch Placement:** these devices and pads may only be located outdoors. Clearances to buildings are defined in UG1225. All projects are to assume mineral oil fluid, unless otherwise approved by SVP.
- SVP8. **SVP Standards.** Applicant shall comply with the following SVP standards (as may be amended or supplemented).
 - a. UG1000 Installation of Underground Substructures by Developers
 - b. UG1250 Encroachment Permit Clearances from Electric Facilities
 - c. UG0339 Remote Switch Pad
 - d. OH1230 Tree Clearances from Overhead Electric Lines
 - e. SD1235 Tree Planting Requirements Near Underground Electric Facilities
 - f. UG1225 Pad mounted Equipment Clearances and Protection
 - g. UG0250 High Density Residential Metering Requirements
 - h. FO-1901 Fiber Optic Splicing and Testing Methods
 - i. SVP Rules and Regulations Latest Edition

SVP9. SVP Standards, Miscellaneous:

- a. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka "real dirt") and cannot be supported on parking garage ceilings or placed on top of structures.
- b. No splice boxes are allowed between the SVP utility connection point and the applicants main switch board.
- c. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.

SVP10. Meter Locations:

- a. For condominium or apartment, all electric meters and service disconnects shall be grouped at one location, outside of the building or in a accessible utility room. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- b. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.

SVP11. Underground Service Entrance

- a. (277/480V Service or Lower) Underground service entrance conduits and conductors shall be "privately" owned, maintained, and installed per City Building Inspection Division Codes to the SVP defined utility connection point.
- b. (12KV Service) SVP terminates cable on the applicant owned switchgear.
- c. No cross-parcel distribution is allowed. SVP service points must be within the parcels that they serve.

SVP12. Code Sections:

- a. The Applicant shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.
- Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- c. The applicant shall perform, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the Applicant will dedicate the improvement to the City subject to City's acceptance the work. The applicant shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a applicant to the electrical supply system of and by the City. After completion of the facilities installed by the Applicant, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system per Santa Clara City Code chapter 17.15.210 (2).

SVP13. Existing Facilities:

- a. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel in a separate document. It is the Applicants responsibility to maintain all clearances from equipment and easements. The Applicant may contact SVP outside of the PCC process for clear definitions of these clearance requirements. Applicant should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.
- b. Any relocation of existing electric facilities shall be at Applicants expense.
- SVP14. **Generators:** Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months

depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.

DESIGN / PERFORMANCE - PRIOR TO ISSUANCE OF BUILDING PERMIT

- SVP1. **Initial Information:** Applicant shall provide a site plan showing all existing utilities, structures, easements, and trees. The applicant shall also include a detailed panel schedule showing all current and proposed electric loads.
- SVP2. **SVP Developers Work Drawing:** Applicant shall have a developers work drawing created for the site by either an SVP estimator or through the applicant design process. All SVP standards and clearance requirements as defined in the General Section of the COA's must be met, or variance approvals must be granted by SVP. The developers' work drawing shall include but is not limited to: SVP substructure for primary, low voltage, streetlight, and fiber facilities. SVP facilities may extend off-site to the nearest utility connection point to tie-in with existing infrastructure as deemed necessary by SVP.
- SVP3. **Encroachment Permit:** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application with an **approved** SVP Developers Work Drawing for construction of electric utilities that comply with the latest edition of SVP Standards and Rules and Regulations, Electric Notes, and Electric Standard Details and Specifications.
- SVP4. **Applicants Switchgear**: All applicant main switchgear with SVP meters must meet EUSERC standards and be approved by SVP's meter shop prior to ordering. Switchgear for 12KV gear must have batteries sized for 4 hours of operation, no capacitive tripping, and 2 sets of relays, CTs, & PTs for each main. All double ended switchgear with a tie breaker, must include a kirk-key interlock scheme and an SVP provided warning label for the operation of the main tiebreaker.
- SVP5. **AMI/Fiber Building Requirements:** All projects implementing high rise metering and multi-floor infrastructure requirements shall meet the requirements outlined in UG 0250 & FO1901.

DURING CONSTRUCTION – PRIOR TO OCCUPANCY

- SVP6. **Easements**: Prior to the City's issuance of Building or Grading Permits, the applicant shall provide a dedicated underground electric utility easement (U.G.E.E) around the electric onsite facilities (Not a P.U.E). The electric utility easement shall be a minimum of 10 feet wide around conduit and 5' minimum around equipment and vault/manhole pads. Additionally, the applicant shall submit plans defining existing easements so Electric Division can verify if there are any conflicts with new proposed easements or improvements. The Applicant shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the Applicant and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- SVP7. **Coordination Study:** For any services taken at 12KV, a coordination study will need to be conducted by the applicant prior to energizing the service.
- SVP8. **Applicants Switchgear:** Applicants' switchgear will be inspected on site by SVP to ensure compliance with approved switchgear drawings. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP9. **Electric Facilities:** Prior to the City's issuance of Occupancy, the applicant shall construct all electric utilities per the approved SVP Developers Work Drawing. SVP will inspect all electric utility installations and all other improvements encroaching on electric facilities.
- SVP10. **Municipal Fees:** Prior to electric service energization, all applicable fees per the City of Santa Clara's Municipal Fee Schedule shall be paid by the applicant.

SVP11. **Costs & Expenses:** Unless expressly stated otherwise or covered by a fee to be paid by the applicant, applicant shall be responsible for all costs and expenses associated with fulfilling these conditions of approval.

OPERATIONAL CONDITIONS - AFTER OCCUPANCY

SVP12. **Access:** SVP will require 24-hour unobstructed access to all SVP equipment which includes: manholes, transformers, vaults, switches, meters, indoor electrical rooms with SVP owned equipment etc.

WATER & SEWER DEPARTMENT

DESIGN / PERFORMANCE -- PRIOR TO ISSUANCE OF BUILDING PERMIT

- W1. **Recycled Water Use.** Pursuant to Chapter 13.15, Water, Article IV. Regulation of Recycled Water Service and Use, of the Municipal Code, the project is required to use recycled water for all non-potable uses where recycled water is made available and where provided for by Recycled Water regulations. This project is required to extend and connect to the City's existing Recycled Water System.
- W2. **On-site Recycled Water Construction.** Construction and installation of all on-site recycled water system equipment shall not begin until the Compliance Division of Water and Sewer Utilities has approved the on-site recycled water design. Please note on-site designs are generally not the same as the Building Permit plans. On-site recycled water plans require SBWR and California State Water Resources Control Board, Division of Drinking Water signatures for final approval.
- W3. On-site Recycled Water Inspection. Inspections are required at all on-site recycled water systems being installed prior to backfilling trenches or cover in walls and ceilings. Request a recycled water inspection by email watercompliance@santaclaraca.gov or call (408) 615-2002. Please provide the site location, SBWR project ID, and date and time preferences. These inspections are in addition to the Building Permit inspections.
 - a. Need to verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.
- W4. **Encroachment Permit.** Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W5. **Utility Design Plans.** Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W6. **Utility Separations.** Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other

- utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W7. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W8. **City Standard Meters and Backflows.** All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W9. **Existing Services.** The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W10. **On-Site Storm Drain Treatment.** Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W11. **Water Usage.** Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W12. **Landscaping.** All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be either California native or non-invasive, low water-using or moderate water-using plants. High water-using plants and nonfunctional turf are prohibited.
- W13. Water Features. Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W14. **Easements.** Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans

- defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W15. **Underground Fire Permit.** Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

DURING CONSTRUCTION

- W16. City Standard Meters and Backflow Installation. No meters or backflows shall be installed prior to establishment of water service account with the Municipal Services Division of the Finance Department. The applicant shall provide a copy of the account information to the Water and Sewer Utilities Department Inspector and Meter Shop prior to installation of any meter or backflow. All meters and backflows approved for installation shall be tested prior to use. Water service connections shall not be used prior to authorization by the Water and Sewer Utilities inspector.
- W17. **Construction Water.** This project shall use recycled water for all construction water needs for onsite and offsite construction.
- W18. Water Shortage Response Actions. Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at www.santaclaraca.gov/waterconservation.

PRIOR TO FINAL OF BUILDING PERMIT

- W19. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W20. **Conditional Releases.** The applicant shall comply with all the requirements of any building permit conditional release requirements.

OPERATIONAL CONDITIONS

W21. **Onsite Recycled Water Compliance.** An active onsite recycled water system is a regulated system that must continuously be in compliance with all State, SBWR and City code requirements and regulations. The applicant shall always maintain

Relationship to Property:

Date:

a certified Site Supervisor and prevent any cross-connections from occurring between the onsite regulated RW system and the other plumbing systems, especially the domestic water system. The Site Supervisor for this site shall work with to the Compliance Division of Water and Sewer Utilities to remain in compliance and report any changes to the regulated system.

KEY:
G = General
P = Planning Division
BD = Building Division
H = Housing & Community Services Division
F = Fire Department
PR = Parks & Recreation Department
PD = Police Department
E = Engineering Division
Streets Division (Landscape, Solid Waste, and Stormwater)
L = Landscape
SW = Solid Waste
SVP = Silicon Valley Power
W = Water & Sewer Department
ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL
Permittee/Property Owner
The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.
Signature:
Printed Name:

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.



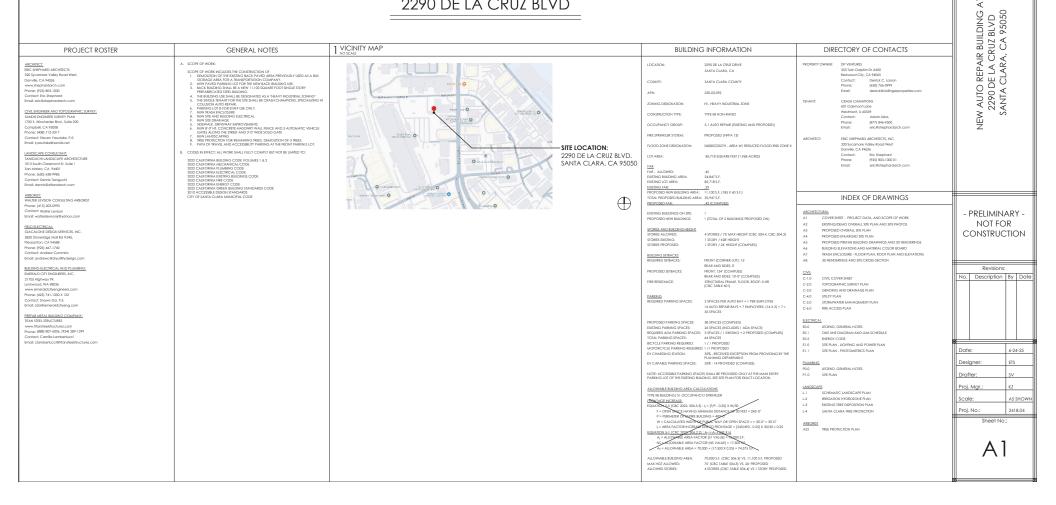


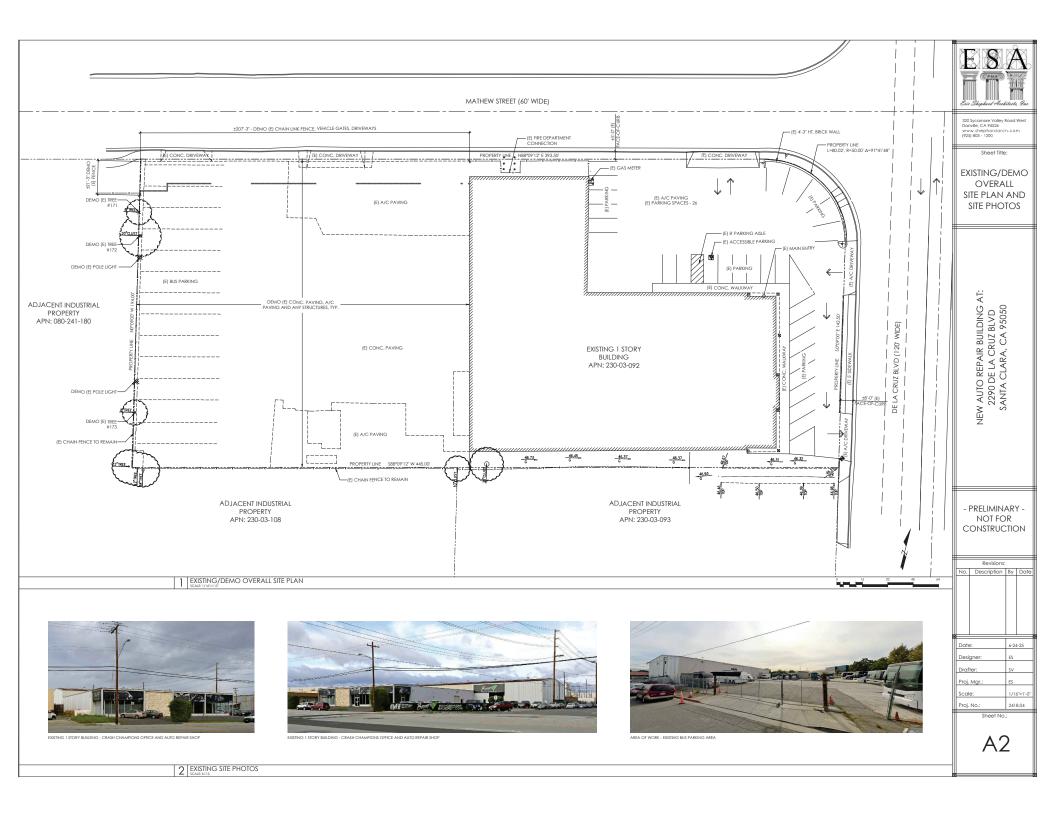
320 Sycamore Valley Road West Danville, CA 94526 www.shephardarch.com (925) 803 - 1000

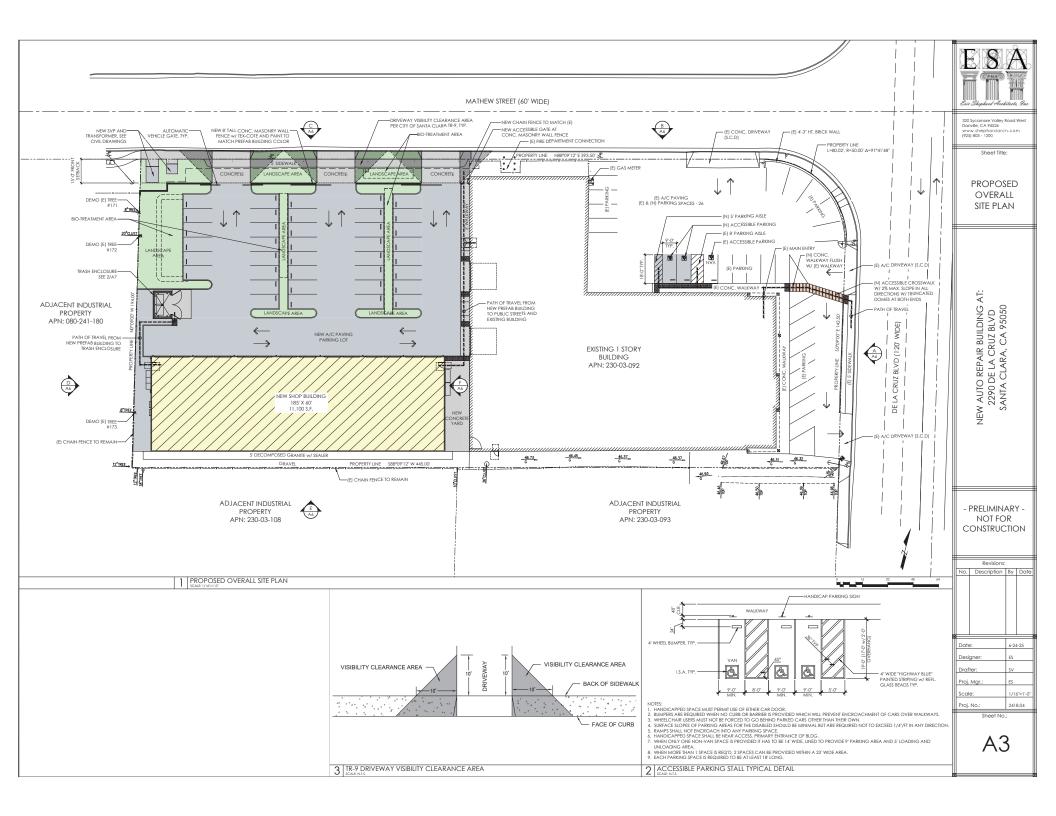
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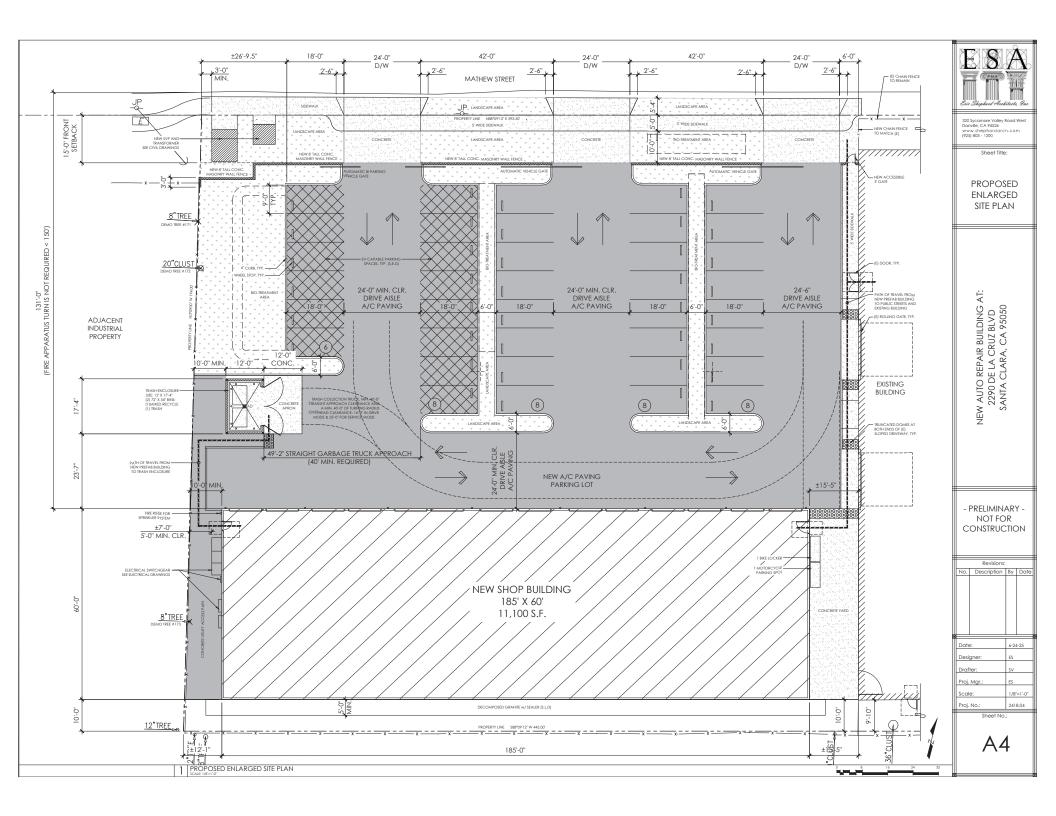
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2290 DE LA CRUZ BLVD



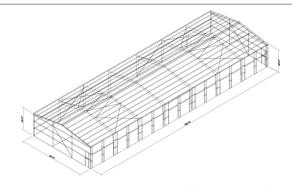


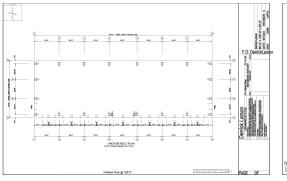


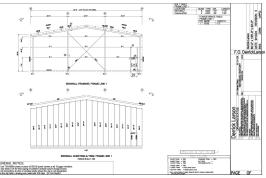


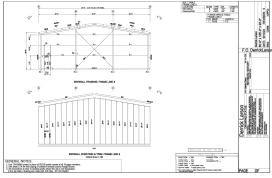


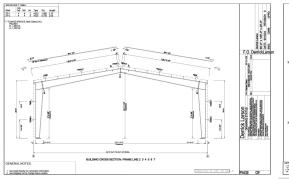


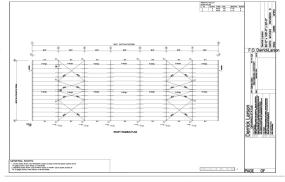


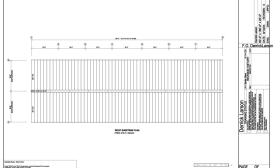


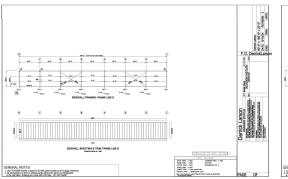


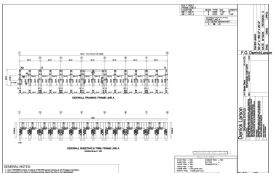












1 PROPOSED PREFAB BUILDING DRAWINGS AND 3D RENDERINGS

ESA Eii Shephad Aukitata, Inc.

320 Sycamore Valley Road We Danville, CA 94526 www.shephardarch.com (925) 803 - 1000

Sheet Title:

PROPOSED PREFAB BUILDING DRAWINGS AND 3D RENDERINGS

NEW AUTO REPAIR BUILDING AT: 2290 DE LA CRUZ BLVD SANTA CLARA, CA 95050

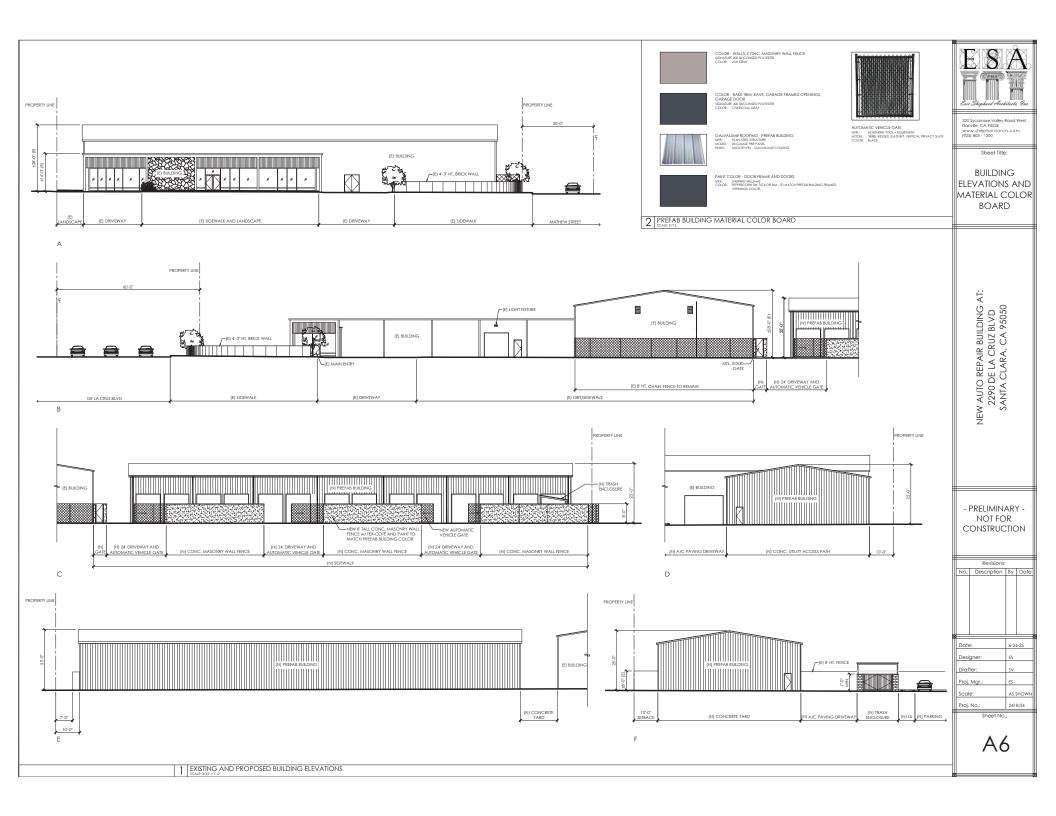
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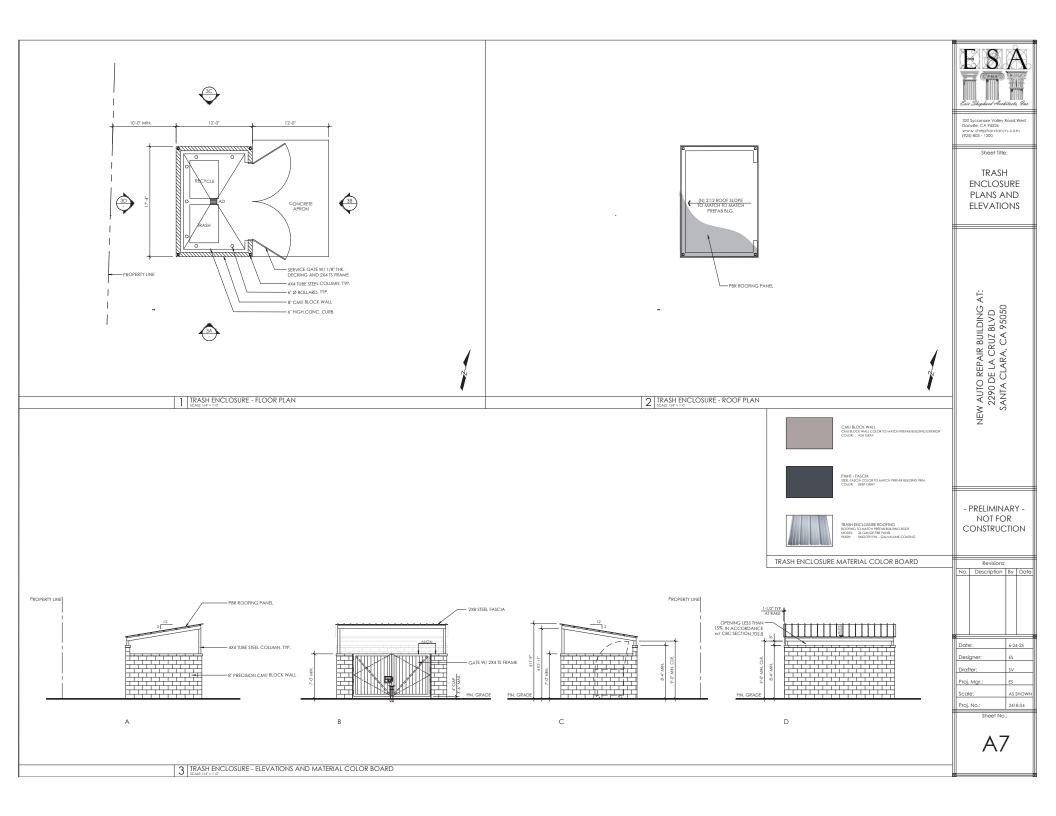
Revisions:

No. Description By Date

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raf	ter:	sv		
roj.	Mgr.:	ES		
cal	e:	AS:	SHOWN	

A5







320 Sycamore Valley Road We Danville, CA 94526 www.shephardarch.com (925) 803 - 1000

Shoot Title:

3D RENDERINGS AND SITE CROSS-SECTION

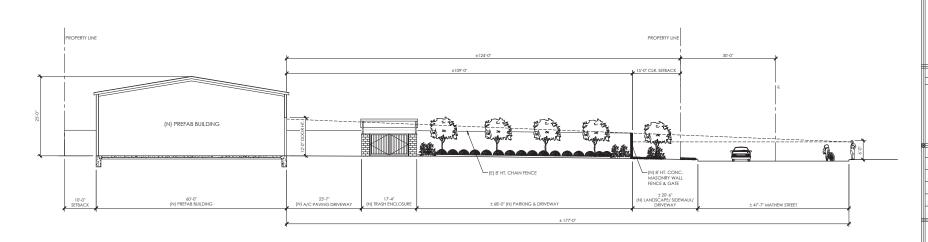
> NEW AUTO REPAIR BUILDING AT: 2290 DE LA CRUZ BLVD SANTA CLARA, CA 95050



AERIAL VIEW FROM SIDEWALK ACROSS THE MATHEW STREET

1 3D RENDERINGS

2 PRELIMINARY SITE CROSS-SECTION



- PRELIMINARY -NOT FOR CONSTRUCTION

Revisions:

١٥.	Description	Ву	Date	
Date):	6-24	1-25	I
Desi	gner:	ES		
Oraf	ter:	sv		
roj.	Mgr.:	ES		
cal	e:	AS:	SHOWN	
	No.:	241	8.04	
	Sheet No.	:		ı

8A

EXISTING PROPOSED RETAINING WALL A.C. PAVEMENT ____ CONC. VALLEY GUTTER Geografie esta CONC. SIDEWALK OR PAD 6" CURB & GUTTER EDGE OF A.C. PAVEMENT 6" VERTICAL CURB CENTER LINE __8"__ss-_ _ SANITARY SEWER MAIN _____15**__SD-___ STORM DRAIN MAIN PERFORATED PIPE WATER MAIN _6"_FW----FIRE WATER MAIN ___4"__DW___ DOMESTIC WATER MAIN ____4*___CHW-____ 6"__CHW___ CHILLED WATER MAIN IRRIGATION LINE HOT WATER SUPPLY & RETURN ----HWS-HWR-----STEAM LINE TRENCH DRAIN CONDENSATE RETURN -- CR -----FLOW LINE CHAIN LINK FENCE GAS MAIN ELECTRIC AND SIGNAL DUCT BANK ——£—— OVERHEAD ELECTRIC LINE INDERGROUND FLECTRIC LINE STREET LIGHT CONDUIT CONTOUR FLEVATION LINE -----85 -----FG 95.94 x 95.94 🏰 SPOT ELEVATION 2:1 1% DIRECTION OF SLOPE GAS METER **∭** GM Š. GAS VALVE WATER METER ₩ ĕ ñ WATER VALVE FIRE HYDRANT 77 101 ж BACK FLOW PREVENTOR PIV POST INDICATOR VALVE FIRE DEPARTMENT CONNECTION WATER LINE TEE CAP AND PLUG END **■** ARV AIR RELEASE VALVE ACCESSIBLE RAMP CONCRETE THRUST BLOCK → REDUCER • SANITARY SEWER MANHOLE SANITARY SEWER CLEANOUT SSÇO SSCO STORM DRAIN MANHOLF \odot 00 STORM DRAIN AREA DRAIN STORM DRAIN CATCH BASIN STORM DRAIN CURB INLET SDCO STORM DRAIN CLEANOUT ELECTROLIER · * * · * JP. JOINT POLE OVERLAND RELEASE \Rightarrow DETAIL REFERENCE CONSTRUCTION DETAIL REFERENCE SHEET REFERENCE

LEGEND

ABBREVIATIONS

AB AC ADA ADA ASB BC BFDC BLDG BOD BOD BOS BOW CAC CAC CAC CONC ASPHALT CONCRETE
AREA DRAIN
AMERICANS WITH DISABILITIES ACT
AGGREGATE SUBBASE
BEGINNING OF CURVE ROUNTED AT STREAMS

ESCANMIC OF COUNTY OF

BULDING COPINER

BULDING COPINER

BUTTON OF DOCK

BOTTON OF DOCK

BOTTON OF STEP

BOTTON OF STEP

BOTTON OF WALK

COMPRETE OF WALK

CURRE AND CUTTER

CAMPAN AND CUTTER

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CORNIGHTED INFO O

CORRUGATED METAL PIPE
OLEANOUT
CURB OPENING INLET
CONCRETE
CONSTRUCTION OR CONSTRUCT
CUBIC YARD
DOUBLE CHECK DETECTOR ASSEMBLY

DROP INLET
DUCTILE IRON PIPE
DOMESTIC
DOMESTIC WATER DRAWNO EAST END OF CURVE EDGE OF PAVEMENT END VERTICAL CURVE ELEVATION EXISTING FIACE OF CURB FIRE DEPARTMENT CONNECTION FINSHEED IS DEPARTMENT CONNECTION

FIRE DEPARTMENT C FINISHED FLOOR FINISHED GRADE FIRE HYDRANT FOUNDATION FINISHED SURFACE FOOT FIRE WATER GROUND ELEVATION GRADE BREAK GATE VALVE GRADE BREAK
GATE VALVE
ACCESSIBLE RAMP
HIGH POINT
INVERT ELEVATION
JOINT POLE
JOINT TRENCH
LIP OF GUTTER
LOW POINT
LANDSCAPE ARCHITECT
MAXMUM
MECHANICAL ALLECTRICAL MECHANICAL /ELECTRICAL /PLUMBING MANHOLE MINIMUM MIDPOINT OF VERTICAL CURVE MONUMENT

MONUMENT NORT IN CONTRACT NUMBER NOT TO SCALE PAVEMENT ELEVATION PAVELENT ELEVATION
PORTAND CLEENT CONCRETE /
PORT OF CONTINUOUS CURVATURE
POST MUSICATOR VALVE
PROPERTY LINE
POWER MANHOLE
POWER ON CURVE
POWER OF REVERSE CURVATURE
POWER OF REVERSE CURVATURE
POLYMON, COLORDE PIPE
RADIUS
RELATIVE COMPACTION
RELATIVE COMPACTION
RELATIVE COMPACTION
RELATIVE COMPACTION

PCC

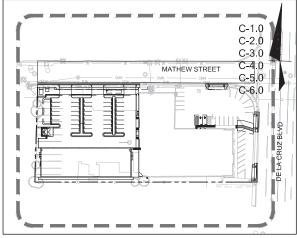
REDUCED PRESSURE PRINCIPLE
RIGHT OF WAY
2.0FC OF SOUTH
2.0FC OF SOUTH
3.0FC OF SO

STANDARD
SIDEWALK
TOP OF CURB
TRENCH DRAIN
TOP OF DOCK
TOE OF SLOPE
TOP OF STAIR
FG ® TOP OF WALL
TOP OF SLAB
TYPICAL INVESS OTHERWISE NOTED

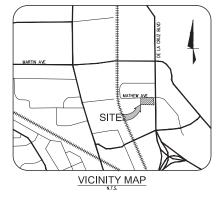
UNLESS UTHERWISE N UNDERGROUND VERTICAL CURVE WATER METER WATER VALVE WEST WELDED WIRE FABRIC

2290 DE LA CRUZ

SANTA CLARA, CA



KEY MAP



PROJECT DESCRIPTION

THIS PROJECT PROPOSES TO CONSTRUCT A NEW 12,000 SF METAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS. THE BUILDING WILL INCLUDE NEW UTILITY SERVICES, GRADING AND DRAINAGE, AND STORMINATER MANAGEMENT IMPROVEMENTS.

OWNER INFO

DOLLINGER PROPERTIES
CONTACT PERSON: DERRICK LARSON
555 TWN PROPERTIES DR. #600
REDWOOD CITY, CA. 94065 PH: (650)766-0099 EMAIL: DERRICK@DOLLINGERPROPERTIES.COM

CIVIL SHEET INDEX

C-10 CIVIL COVER SHEET C-2.0 C-3.0 TOPOGRAPHIC SURVEY GRADING AND DRAINAGE PLAN

C-4.0 UTILITY PLAN

FIRE ACCESS PLAN

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION MICHIGANIZED WILL BE REQUIRED TO ASSUME SIGE AND COMPLETE PRACTICES, CONSTRUCTION MICHIGANIZED WILL BE AGREED TO A REPORTED THAT THIS REQUIREMENT SHALL BE AGREED. ARREVED TO MARINE MICHIGANIZED WILL BE AGREED TO A REPORT THAT THIS REQUIREMENT SHALL BE AGREED ARREVED TO ARREVED THE AGREED TO THE AGREED TO THE AGREED THAT ARREVED THE AGREED THAT ARREVED THE AGREED THAT ARREVED THE AGREED THAT ARREVED THAT ARREVED



UNAUTHORIZED CHANGES AND USES CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIMBLE FOR, UMUTHORIZED CHANGES TO OR USES OF THESE PLANS, ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARES OF THE PLANS.



BUILD ON.

DATE: 06/24/2025 SCALE: AS NOTED PROJECT No : 224179

DATE JUNE 24

, 2025

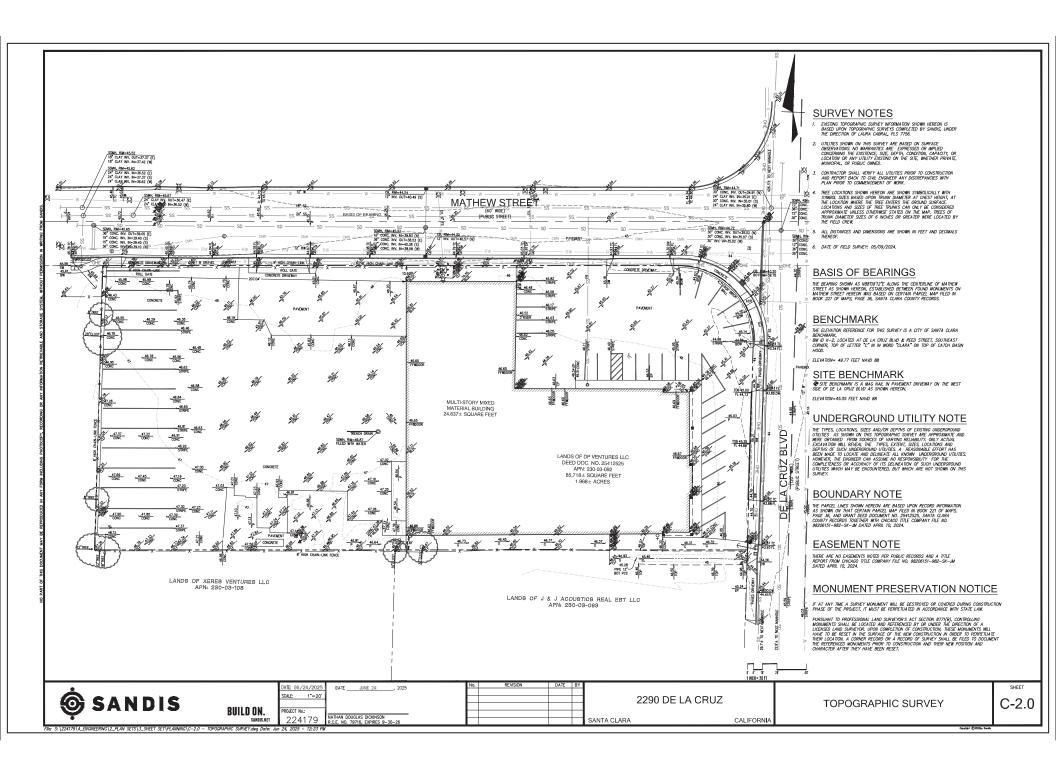
2290 DE LA CRUZ

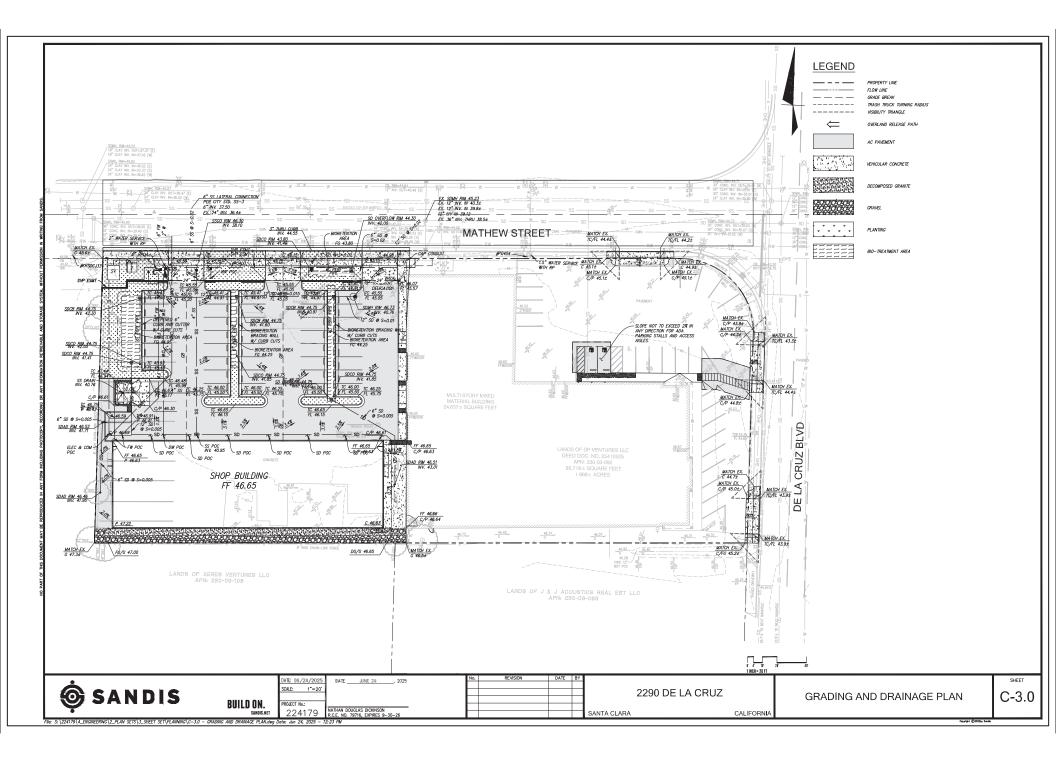
SANTA CLARA

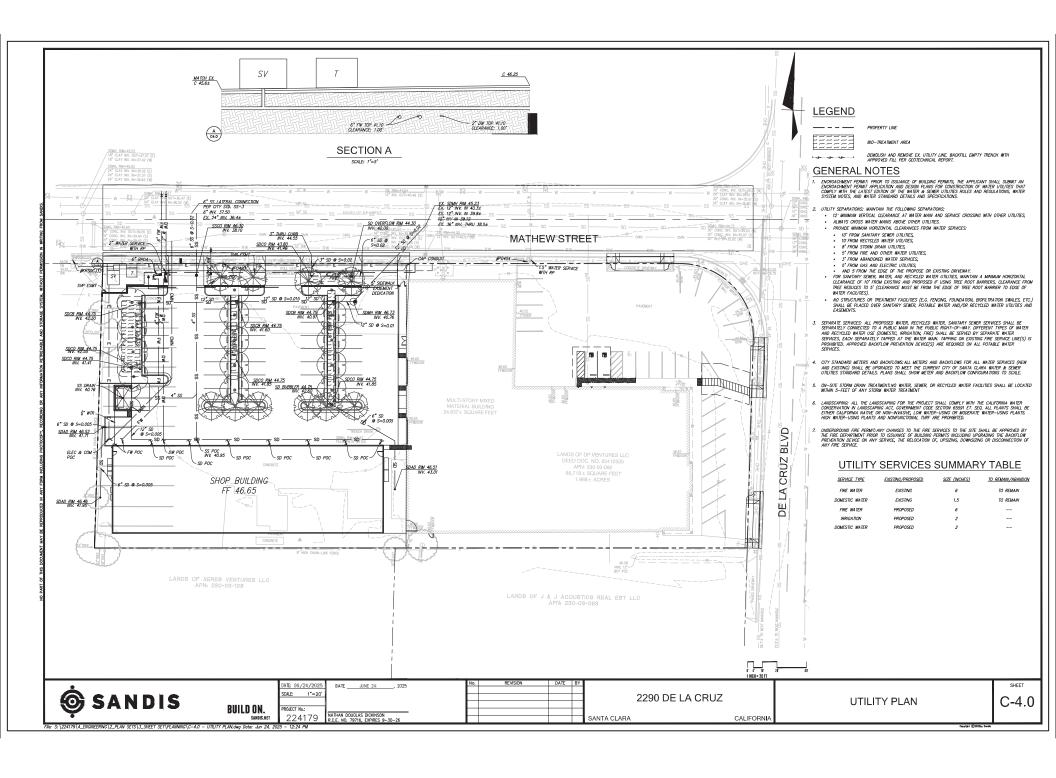
CALIFORNIA

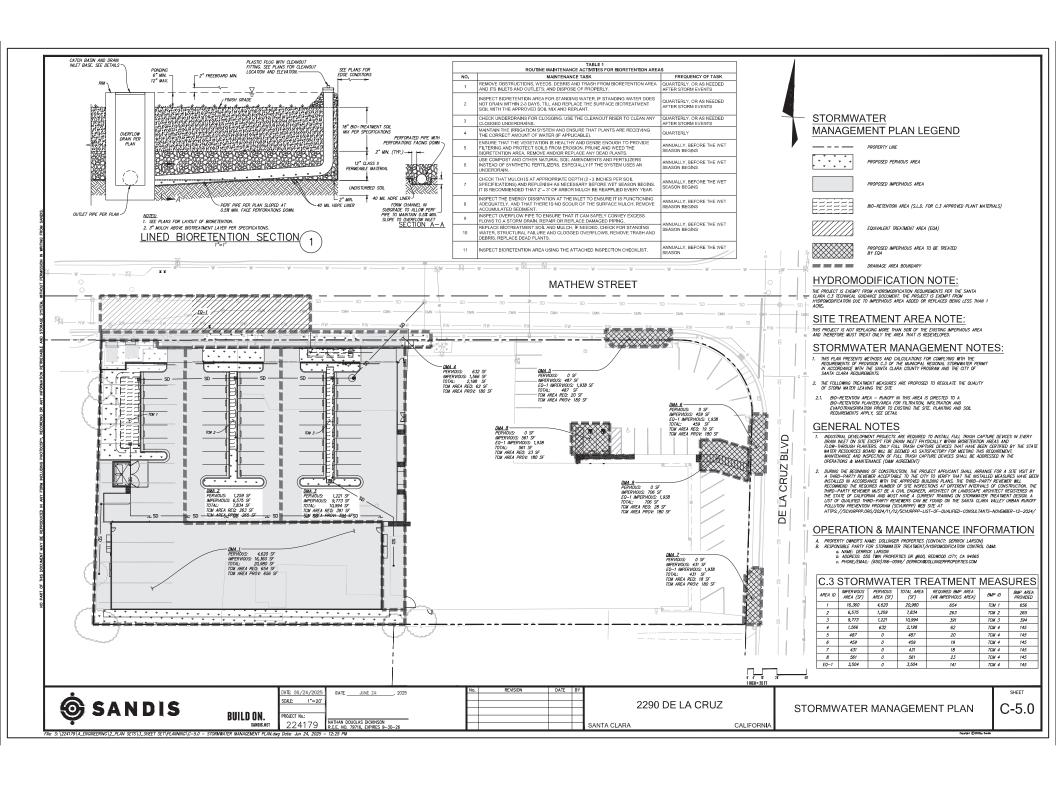
CIVIL COVER SHEET

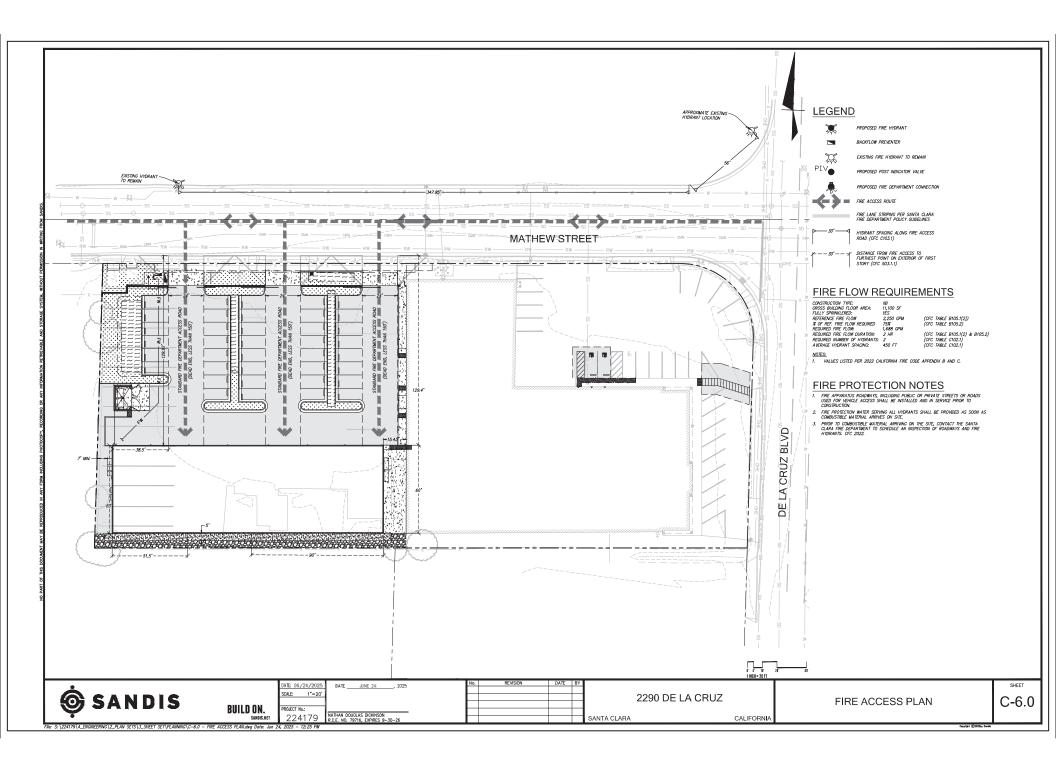
SHEET C-1.0

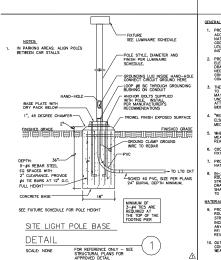












LUMINAIRE SCHEDULE

DESCRIPTION

16' POLE LIGHT, FULL CUTOFF, TYPE IV, BRONZE, HOUSE SIDE SHIELD, INTEGRAL MOTION DETECTOR

EXTERIOR WEDGE LIGHT, 11.5 W X 9 H X 7 D, FULL CUTOFF, FORWARD THROW

4' LINEAR LED, VAPOR TIGHT

SYMBOL

6

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CALLDUT

GENERAL NOTES

1. PROVIDE ELECTRICAL INSTALLATION IN

- 2. PROVIDE ITEMS NECESSARY TO COMPLETE ELECTRICAL SYSTEMS. THE ELECTRICAL DRAWNOS ARE DIAGRAMMATIC AND DO NOT NECESSARIL'S HOW EVERY COMDUIT, BOX, COMDUCTOR, OR SIMILAR ITEMS FOR A COMPLETE INSTALLATION.
- . THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND DETERMINE CONDITIONS WHICH MAY AFFECT BID. ANY TIEMS NOT FULLY UNDERSTOOD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO
- *REF* NDICATIONS DENOTE WORK COVERED ELSEWHERE (ARCHITECTURAL, STRUCTURAL, OR 15. WRING: POWER WIRNG SHALL BE COPPER MECHANICAL). THINN/THINN, INSULATED FOR 600V. ALUMI
- WHEREVER THE WORD "PROVIDE" IS USED, IT MEANS FURNISH AND INSTALL COMPLETE AND READY FOR USE.
- COORDINATE LOCATION OF ELECTRICAL FIXTURES WITH OTHER TRADES.
- PROVIDE CONDUCTORS AND RACEWAYS PER NATIONAL ELECTRICAL CODE.
- NATIONAL ELECTRICAL

 I. IN-SLAB CONDUITS: CONTRACTORS MAY
 ROUTE BRANCH CIRCUITS IN SLAB WITH
 ENGINEERS APPROVAL. A SHOP MATERIALS AND METHODS
- 9. PROWDE RACEWAY AND WIRING AS NOTED, ROUTED CONSCALED WITHIN BUILDING STRUCTURE WHEREVER POSSIBLE (EXCEPTIONS INCLUDE GARAGE & BOW/JUTILITY ROOMS), ANY EXPOSED MRING IS TO BE SENT AS AN RIF FOR OWNER, ARCHITECT, & ENGINEER
- CONDUITS ROUTED ON ROOF OR EXPOSED TO 18, SUPPORT; SUPPORT LIGHT FIXTURES FROM WEATHER SHALL BE EMT OR LIQUID—TIGHT

BALLAST

WDGE2 LED

(1)

MOUNTING

CEILING

WALL

LAMP

(1) 42W 4000K LED

(1) 52W LED 4000K

- 12. CONNECTIONS: PROVIDE GRS, METALLIC FLEX, OR LIQUIDITIE FLEX CONDUITS FOR CONNECTIONS TO MOTORS OR MOTORIZED EQUIPMENT.
- 13. WRING: MINIMUM TO BE #12 AWG WIRE IN COMMON AREAS; #14 ALLOWED WITHIN DWELLING UNITS ONLY, NON-METALLIC CABLE (ROMEX) IS ALLOWED IN TYPE II OR V CONSTRUCTION ONLY, INSTALLED PER NEC,
- 23. UNDERGROUND CONDUITS: PROVIDE PVC. SCHEDULE 40, 3/4" MINIMUM. PROVIDE PVC CONDUIT TRANSITION ELBOW WHEN TURNING UP TO ABOVE-GRADE.
 - 24. BELOW SLAB: CONDUIT ROUTED BELOW ON-GRADE FLOOR SLABS SHALL BE INSTALLED PRIOR TO FLOOR SLAB POUR, ROUTE CONDUITS BELOW SLAB AS STRAIGHT AS POSSIBLE TO MINIMIZE BENDS, 25. ALL CONDUITS PENETRATING THE BUILDING ENVELOPE BELOW GRADE SHALL FOLLOW WATERPROOFING REQUIREMENTS IN THE ARCHITECTURAL DRAWINGS.

MODEL.

LITHONIA: VAR. 4000 M. EST. WD. MVOLT C710 40V 80CPL

EATON - STREETWORKS (FORMER COOPER LIGHTING) USSL-COI-D-U-T4-SA-BZ-HSS, MS-DIM-L20 WITH 16' STEEL POLE

- LINESTED ASSOCIATED AND INVESTIGATION AND RECORDED AND INVESTIGATION AND RECORDED AND INVESTIGATION AND RECORDED AND INVESTIGATION AND INV 26. AT CONTRACTORS DISCRETION, NEUTRALS MAY BE SHARED ON COMBINED HOMERUNS UNLESS THE CIRCUIT HAS A GOT OR AFG BREAKER, AN ISOLATED GROUND, OR 15 FROM A PAVEL
- 17. FUSES: PROVIDE FUSES PER EQUIPMENT NAMEPILATE UNLESS OTHERWISE INDICATED. FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.

BUILDING STRUCTURE. DO NOT SUPPORT FIXTURES FROM SUSPENDED CEILING.

NEUTRAL MINES SHOWN FOR TWO— AND THREE—POLE MECHANICAL/KITCHEN ECUIPMENT HAY BE CONTITED UPON VERRICATION THAT THEY ARE NOT REQUIRED FOR EITHER OPERATION OR CONTROL CROUTS PER MANUFACTURER'S SPECIFICATIONS.

INPUT WATTS

VOLTS

277V 1D 2W

- 19. LABELS: ENCLOSURES FOR ELECTRICAL PANELS, TIME SWITCHES, DISCONNECTS, STAPTERS, CONTACTORS, PIUL BOXES, ETC, SHALL BE, PERMANENTLY LABELED TO IDENTEY THEIR DESIGNATION OR UNIT SERVED. PANEL SCHEDULES MUST BE TYPED. PROMDE LIGHT FIXTURES W/ PROPER FITTING FLANCES, MOUNTING SUPPORTS, AND ACCESSORY ITEMS UL LISTED FOR CONDITIONS OF USE.
- 29. LOW YOLTAGE LIGHTING
 29.1. PROVIDE LOW YOLTAGE TRANSFORMERS IN
 MEARIN' ACCESSIBLE CEILING SPACE,
 29.2. PROVIDE LOW YOLTAGE CONDUCTORS
 SIZED PER MANUFACTURER'S GUIDELINES
 TO MINIMIZE VOLTAGE BROP. 20. PAINTING: ELECTRICAL ENCLOSURES SHALL BE PAINTED TO MATCH ADJACENT WALL.
- 21. COVERPLATES: PROVIDE AS FOLLOWS, SUBMIT SAMPLE OF EACH FOR APPROVAL:
- 21. COURREATES PROVIDE AS FOLIONS, SURMIT TO MINIMALE VIALABLE STATE ASSAULTED COLOR FOR APPROVIDE AS THE COLOR PLANTS.

 21. ALL OTHER AREAS, WHITE COLOR PLASTIC, 30, THE CONTROLLED FROM A SPACE SHIPTING CONTROLLED FROM A SPACE SHI

 - 32. NO LIGHTING SHALL BE ON THE SAME CIRCUIT BREAKER AS EQUIPMENT LOADS.

MISCELLANEOUS

- PROVIDE ALL NECESSARY FIRE CAULKING & FIRE STOPPING FOR ALL ELECTRICAL EQUIPMENT.
- 34. TAMPER RESISTANT RECEPTACLES ARE REQUIRED FOR ALL 15A AND 20A 120' RECEPTACLES LOCATED THROUGHOUT FNIBE PROLIFE.
- 6. SUB-GRADE ELECTRICAL ROOMS: PROVIDE HOUSEKEEPING PAD FOR ALL SMITCHGEAR LOCATED IN SUB-GRADE ELECTRICAL ROOM HOUSEKEEPING PAD TO BE LESS THAN 2" I HEIGHT.

TRASH ENGLOSHED

MOTES

SITE LIGHTING PARKING LOT, B2-UD-G2, INTEGRAL MOTION SENSOR TO DIM TO 50% WHEN NO ACTIVITY FOR 15 MIN, PROVIDE WITH TUNING DIMMERS

Streetworks

USSL USSL-XL

Account 25 2000 2-06/25

LEGEND

LIGHT FIXTURE CALLOUT

HO B ILLUMINATED EXIT SIGN.

- SINGLE POLE, SINGLE THROW JGHT SWITCH, 20A (WP = WEATHERPROOF COVER)
- THREE-WAY LIGHT SWITCH, 20A \$4 FOUR-WAY LIGHT SWITCH, 20A

- SWITCH, SINGLE POLE; WITH SWITCHING SUBSCRIPT 'a'
- \$\$ DUAL SWITCHES, BOTH WITH OCCUPANCY SENSOR CONTROL
- DCCUPANCY SENSOR, WALL MOUNTED 63 OCCUPANCY SENSOR, CEILING MOUNTED
- 0 SINGLE RECEPTACLE, GROUNDED
- 0
- . DUPLEX RECEPTACLE, 1/2 HOT
- ra IG DUPLEX RECEPTACLE, ISOLATED GROUND
- D are DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTION (GFCI)
- DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTION (GFCI) LOCATED ABOVE COUNTER

A AC

QUAD RECEPTACLE, GROUNDED

- PANEL BOARD
- ELECTRICAL DISTRIBUTION EQUIPMENT
- A CIRCUIT BREAKER DISCONNECT SWITCH
- L) NON-FUSED DISCONNECT SWITCH FUSED DISCONNECT SWITCH
- MAGNETIC MOTOR STARTER
- COMBINATION MAGNETIC MOTOR STARTER AND
- MOTOR CONNECTION

- DUPLEX RECEPTACLE, GFCI WITH WEATHERPROOF COVER EXTRA DUTY AND WEATHER RESISTANT RECEPTACLE SPECIAL PURPOSE RECEPTACLE AS NOTED
- (8) COMBINATION SMOKE & CARBON MONOXIDE ALARM (POWERED BY FIRE ALARM)
 - JUNCTION BOX

O

EMERALD C

ר א

21705 HIGHWAY 99 YNNWOOD, WA 98086

∆ 06/04/25 BUILDING RESUBMITTAL

SW AUTO REPAIR BUILDINGS FOR:
2290 DE LA CRUZ BLVD
SANTA CLARA, CA 95050

ABBREVIATIONS



VACANCY SENSOR

WATTS WARM WHITE WEATHERPROOF WITH WITHOUT TRANSFORMER TRANSFER IMPEDANCE OR ZONE

DESIGNED:

SMD ISSUANCE PLANNING SET

DATE: 06/24/25

SHEET TITLE: LEGEND

GENERAL NOTES

APPLICABLE CODES DRAWING INDEX

HORSEPOWER HEAT PUMP WATER HEATERS

HEAT TRACE INSULATED CEILING RATED INTERMEDIATE DISTRIBUTION FRAME ISOLATED GROUND

JOINT TRENCH
THOUSAND CIRCULAR MILLS
KITCHEN EQUIPMENT CONTRACTOR
KILOVOLT AMPERES

- CALIFORNIA ELECTRIC CODE 2022
 CALIFORNIA BUILDING CODE 2022
 CALIFORNIA FIRE CODE 2022
 NATIONAL ELECTRIC CODE 2020
 CALIFORNIA TITLE—24 ENERGY CODE 2022
 CALIFORNIA GREEN BUILDING STANDARD 2022

DWG	DESCRIPTION
E0.0	LEGEND, GENERAL NOTES
E0.1	ONE LINE DIAGRAM & LUM SCHEDULE
F0.2	ENERGY CODE
E0.3	ENERGY CODE
E1.0	SITE PLAN LTG & PWR
E1.1	SITE PLAN PHOTOMETRICS

SHEET NO. E0.0

Z2 FIXTURE



Depth (D1: Depth (D2: Height: Width: Weight:
 2,00

 2,00
 3,000
 4,900
 6,000

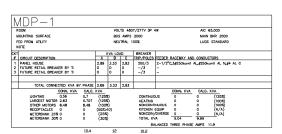
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 16,00
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 PRHICTY

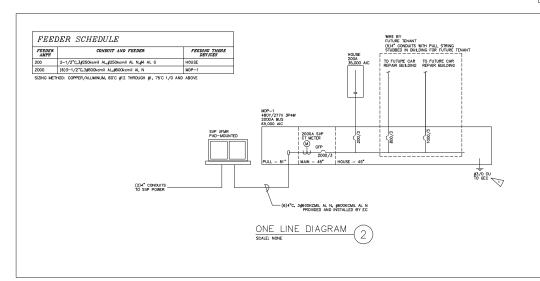
douglob the comments and a second AREA / SITE / ROASMAY LUMINARE 🐽 🐽 SHIPPING DATA Approximate Net Weigh: JSSL 30 fox. (0.00 kgs.) JSSL-Ni; 45 fox. (0.41 gs.) ٠

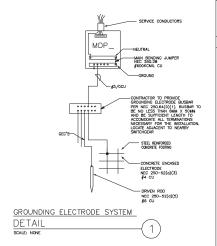
Z7 FIXTURE

COMPRENT 2005, EMERALD CITY ENGREENE, INC.
200 2-(1986-00) 2250 St. Li. DRUC KYNE, SANTH CLARAFORD (60) LEIDIR, CENERAL METECONG 86-14-2005 11/12



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LAF	RCEST M	OTOR 2	.83	0.707	7 (12	5%)	н	EAT	ING		0		0		(100)
OTH	HER MOT	DRS 8	.48	8.48	(10	0%)			CNTINU		0		0		(1001
	CEPTACLE			0		>10)			EN EQ		0		0		(N/A
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ME	TERBANK	30% 0		0	(30	%)	Т	OTA	L KVA		9,5	4	- 10	.5	
							B	ALA	NCED T	HREE	PHAS	E AN	PS 12	3.	







DP VENTURES
2280 DE LA CRUZ BLVD
SANTA CLARA, CA 95050

DESIGNED:

PLANNING SET DATE:

06/24/25

SHEET TITLE:

ONE LINE

DIAGRAM &

LUM SCHEDULE

S. SECULT BRAKEN 1200 AR GEATER, PROMOE PROPERTY 1200 AR GEATER, PROMOE PROPERTY 1500 AR GEATER, PROMOE PROPERTY 1500 AR GEATER, PROMOE PROPERTY 1500 AR GEATER 1500 AR GEA SMD

CIRCUIT BREAKERS 400A AND LARGER TO HAVE FIELD-ADJUSTABLE, SHORT-TIME AND CONTINUOUS-CURRENT SETTINGS.

TO GROUNDING ELECTRODE SYSTEM, SEE DETAIL 6/E6.04

EQUIPMENT MARKING SHALL BE PROVIDED FOR ALL ELECTRICAL EQUIPMENT PER CEC 110.21.

ELECTRONAL COMPANY FOR CE: TILCZ:

2022 CALIFERINE REPREY CODE:

VOCACE BROP FROM SERVICE FROM TO LOAD TO NOT

5. FIRE PRIMA FOR HOUSE MEERS TO HAVE TIST—
BYAS.

PHASS.

AUTHORISM AND INSTALL ARC—PLASH HAZARD MARKINGS

WET THE REQUIREMENTS OF 10.24(8) AND SHALL BE
CLEARLY WISHEST OO LOLAFIED FROMSON SEPORE
ELMANATON, ADJASTINGY, ZERVICHO, OR

MANTEDWAKE OF THE COMPANY.

2 LOCKABLE SOLAR DISCONNECT SWITCH, PROVIDED BY ELECTRICAL CONTRACTOR WITH CONDUIT ROUTED TO ROOF.

FLAG NOTES:

SHEET NOTES:

CONTINUOS—CUMENT SETIMOS.

7, CEZ 2022 - 1016(®): SERVICE EGUIPMENT TO HAVE A PERMANENT LABEL (FIELD OR FACTORY) WITH THE FOLLOMEN THROUGH OF ACTORY) WITH THE CALLOMENT AT THE SERVICE COPD THE CLEANING THROUGH OF SERVICE COPD METER AVAILABLE CUMENT.

THE ONLY THE LABEL MAY APPLIED.

CEC 2022: 240.67: ARC ENERGY REDUCTION: WHERE CIRCUIT BREAKERS OR FUSES RATED 1200A OR HIGHER, PROVIDE DOCUMENTATION AND GLEARING TIME METHOD PER 240.67(B).

SHEET NO. E0.1

CALIFORNIA (Intelligence process) See Supervision (Intelligence process) See Supervi	Production Continues Conti	Consideration (Consideration Consideration C
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ENERGY CODE COMPLIANCE SHEETS
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DP VENTURES
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SANTA CLARA, CA 95050



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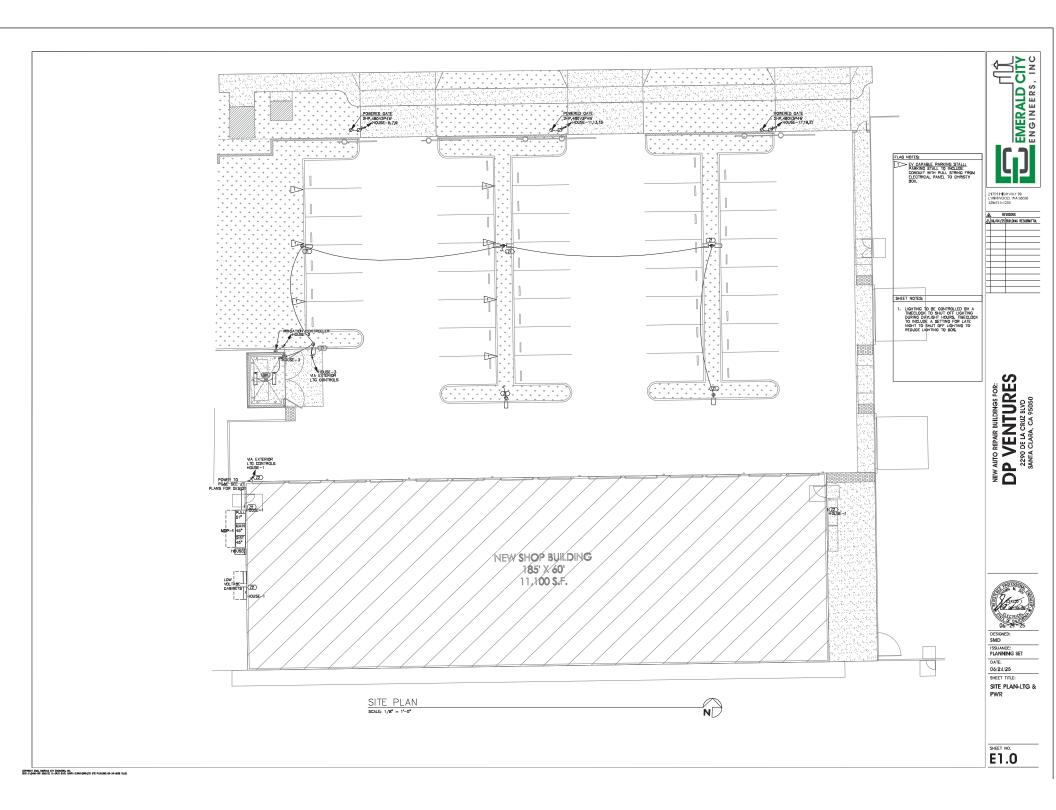
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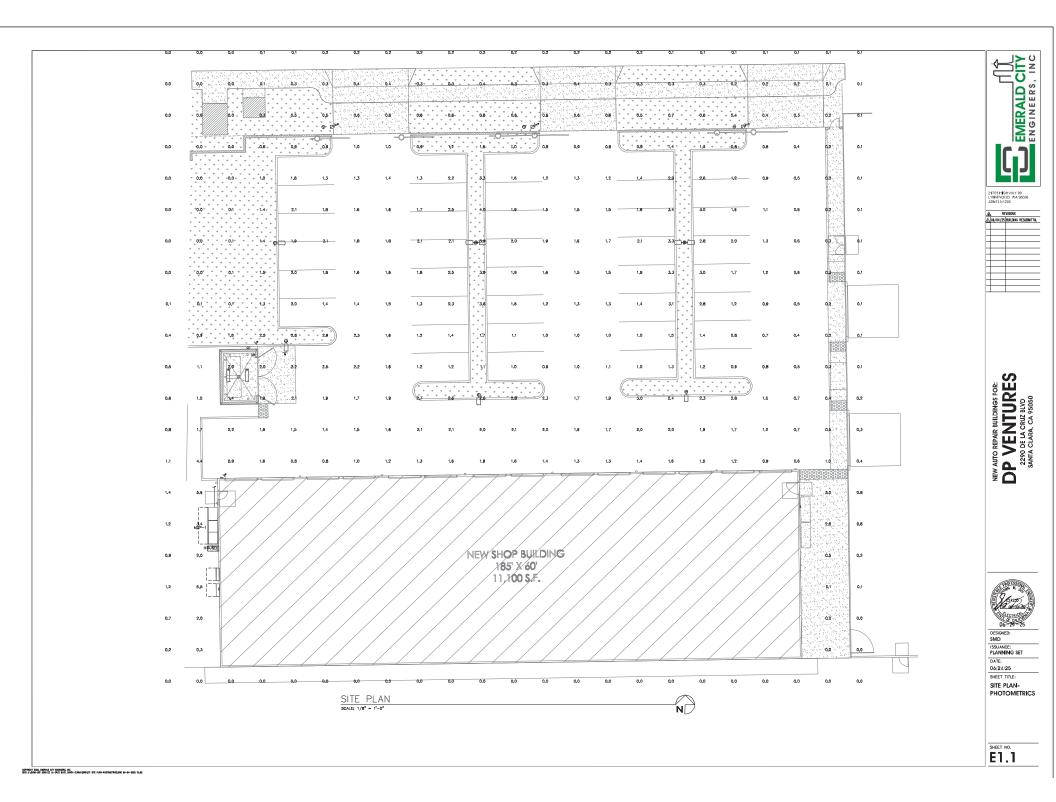
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ENGINEERS, INC

DESIGNED: SMD ISSUANCE: PLANNING SET DATE: 06/24/25 SHEET TITLE: ENERGY CODE

SHEET NO. E0.3





GENERAL NOTES

GENERAL NOTES - MECHANICAL

- CODES: COMPLETE INSTALLATION OF THE MECHANICAL SYSTEM SHALL BE PER THE APPLICABLE BUILDING, MECHANICAL, ENERGY, PLUMBING, FIRE, AND HEALTH CODES AND REGULATIONS AS ADOPTED BY THE LOCAL ARJ.
- PLUMBING CONTRACTOR SHALL LOCATE AND COORDINATE EXACT LOCATION OF ALL PLUMBING EQUIPMENT WITHIN THE STRUCTURE.
- LIGHT FIXTURE CLEARANCE: COORDINATE LOCATIONS OF MECHANICAL WORK TO PROVIDE CLEARANCES OVER LIGHTING FIXTURES FOR REMOVAL AND REPLACEMENT.
- CABLE TRAYS: DUCTWORK AND PIPING INSTALLED ADJACENT TO ELECTRICAL DABLE TRAYS SHALL ALLOW MINIMUM ACCESS OF 6" ABOVE AND TO THE SIDE OF CABLE TRAYS.

COORDINATION REQUIREMENTS

- PIPING: COORDINATE WITH STRUCTURAL FOR EXACT LOCATION OF ALL STRUCTURAL FRAMING AND FOOTINGS AND FINALIZE THE EXACT ROUTING OF ALL PIPES WITH STRUCTURAL AND AT THE SITE PRIOR AND DURING THE CONSTRUCTION.
- ADJUSTMENTS: ALL EQUIPMENT, MOTORS, FANS GAS BURNERS, IGNITION DEVICES, DRIVES, ETC. SHALL BE ADJUSTED AND BALANCED TO OPERATE AT SPECIFIED RATINGS AS REQUIRED FOR THIS PROJECT SITE AND ACCOUNTING FOR ELEVATION ABOVE SEA LEVEL.
- APPROVALS: MECHANICAL AND PLAMBING EQUIPMENT SHALL BE APPROVED FOR INSTALLATION IN THE PROJECT LOCATION AND SHALL HARA ALL CERTIFICATIONS AND ATMINGS TO MEET LLL ENERCY, POLLUTION, ENVIRONMENTAL, SEISMIC, ETC. CODES AND REQUILATIONS. THE CONTRACTOR SHALL COORDINATE WITH HIS MAINFACTURE. SUPPLIERS AND SHALL INCLUDE ALL COSTS REQUIRED TO MEET THESE RECOMPREMENTS IN HIS BID.

PLUMBING NOTES

- 1. CONSTRUCT PURPOR PLAYER CONSTRUCTORS TO BILLDANG
 WHITE LAST COLD WATER, AND HOT WATER SYSTEM IN ADDRESSE
 WHITE DRAWNES, MANUFACTURER'S RECOMMENDATIONS, AND LOCAL
 CODES, CONNECT TO EACH TRUTHE, EQUIPMENT, ETC. WITH ALL
 CODES, CONNECT TO EACH TRUTH, EQUIPMENT, ETC. WITH ALL
 AS REQUIRED AND AS RECOMMENDED BY THE MANUFACTURERS. REFER
 TO PULLMEN POTURE CONNECTION SCIENCE ON PLAYS.
- HOT AND COLD: WATER PIPING CONNECTION TO EACH FIXTURE SHALL BE COLD WATER ON THE RIGHT HAND SIDE AND HOT WATER ON THE LEFT HAND SIDE.
- SHUT-OFFS: PROVIDE SHUT-OFF VALVES/STOPS AT HOT AND COLD WATER SUPPLY TO EACH FIXTURE.
- TRAP ARMS; PROVIDE TRAP ARMS SUCH THAT THE MAXIMUM LENGTH WILL NOT EXCEED CODE REQUIREMENTS.
- ADA INSULATION: AT PLIMBING PIPING EXPOSED UNDER LAVATORIES, INSULATE THE EXPOSED PIPING AND TRAPS WITH PRODUCT SPECIFICALLY DESIGNED FOR THIS APPLICATION MEETING ADA REQUIREMENTS. PROVIDE HANDIL-LAV GUARD OR EQUIVALENT. OFFSET P-TRAPS TO CLEAR WHEELCHAIR ACCESS.
- 6. WATER HAMMER ARRESTERS: PROVIDE AT THE END OF HOT AND COLD WATER LINES SERVING TWO OR WOKE FIXTURES, SIZE IN ACCORDANCE WITH PLUMBING AND DRAINAGE WISTURE (PD) RECOVERMENTS. WATER HAMMER ARRESTORS ARE REQUIRED FOR QUICK CLOSING VALVES, SUCH AS LAUNDRY WASHERS, FLUSH VALVES (POPULC TOLLETS), ETC.
- TRAP PRIMERS: PROVIDE TRAP PRIMERS AND PIPNG FOR FLOOR DRAINS AND FLOOR SINKS, ARRANGE PIPING TO ACHIEVE EQUAL FLOW TO EACH DRAIN AND FLOOR SINK FOR TRAP PRIMERS SERVING MULTIPLE DRAINS AND FLOOR SINKS.
- B. CLANDUTS: PROVIDE CLEANDUTS PER CURRENT OPC AND AS REQUIRED BY LOCAL JARSOSCHOKE, SIGN HORIZONTAL DERBASEC PRES SHALL BY LOCAL JARSOSCHOKE, SIGN HORIZONTAL DERBASEC PRES SHALL BER HORIZONTAL DERBASEC DEBENDAN AN ADMITTANT IS MORE THAN 100 FEET OF TOTAL DERECAPED LIBERTON AN ADMITTANT OLD ADMITTANT OF THE PROVIDE IN DERBANGE LINES FOR EACH ADRIECTATION OF THE PROVIDE NOT BEARDING LINES FOR EACH ADRIECTATION SHALL BE THE SAME SIZE AS THE PRIVATE STREED BY THE CLEANDUT, UP TO SHALL BE THE SAME SIZE AS THE PRIVATE STREED BY THE CLEANDUT, UP TO A MOILES. NOTE ON JAIL LEDGENOTION FOR SCHOOL OF THE FULLIBRICE CRAIMERS.

PIPING NOTES

- DISASSEMBLY PROVISIONS: PROVIDE UNIONS OR FLANCES AT PIPING CONNECTIONS TO EQUIPMENT, COILS, TRAPS, CONTROL VALVES, AND OTHER COMPONENTS TO ALLOW DISASSEMBLY FOR MAINTENANCE.
- 3. DIELECTRIC UNIONS: PROVIDE AT CONNECTIONS OF DISSIMILAR PIPE,
- CONDENSATE DRAIN; PROVIDE A P-TRAP FOR EACH HVAC UNIT CONDENSATE PAN WITH PLUG TEES FOR CLEANING.

ORANNOS APE DIAGRAMATIC, SHOWING THE CENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL MACRITICINED, DIE DRAWINGS SHALL MACRITICINED, DRAWINGS FOR REMOVED FOR PROPERTY OF MANUFACTURER'S STANDARD INSTALLATION ROMANINGS FOR EQUIPMENT CONCENTIONS AND INSTALLATION ROMANINGS FOR EQUIPMENT CONCENTIONS AND INSTALLATION REQUIREMENTS, PROVIDE DUCTWORK, CONNECTIONS, ACCESSIVES, OFFSETS, AND MATERIALS DECESSARY FOR A COMMITTEE STSTEM.

TEST	ING AND ACCEPTANCE CRITERIA
DOMESTIC HOT AND COLD WATER	THE SYSTEM SHALL BE ITESTED WITH WATER OR AIR. THE TEST PRESSURE SHALL BE GREATER THAN OR COULT TO THE WORKING PRESSURE UNDER WHICH THE SYSTEM IS TO BE USED, AIR (IF USED) SHALL HAVE A MINIMUM PRESSURE OF 50 PSG. THE PIPMS SYSTEM SHALL WITHSTAND THE TEST PRESSURE WITHOUT SHOWING EMDENCE OF LEAKAGE FOR NOT LESS THAN 15 MINIUTES, BASED ON CO. 6094.
SANITARY WASTE AND VENT	THE WAITE TEST SHALL BE APPLIED TO THE DRAMAGE AND VENT SYSTEMS EITHER IN THE ENTIRETY OR IN SECTIONS, EACH DEPINING OF SHALL BE TIGHTLY PLUGGED, EXCEPT FOR THE HIGHEST OPENING OF MITHER SECTION LINDER THE TEST AND EACH SECTION SHALL BE FILLED, WITH THE SCHOOL WAITE SHALL BE KEDT IN THE SYSTEM, OR IN THE POPTION UNDER TEST FOR THE STEST THAN 15 WAITES SHALL BE KEDT IN THE SYSTEM, OR IN THE POPTION UNDER TEST FOR THE SEST THAN 15 WAITES BASED ON DOP 71.2.2

APPLICABLE CODES

-2022 CALIFORNIA BUILDING CODE -2022 CALIFORNIA MECHANICAL CODE -2022 CALIFORNIA PLUMBING CODE -2022 CALIFORNIA NON-RESIDENTIAL ENERGY CODE

PIPE MATERIALS

- 1 WATER SLIPPLY PIPING: COPPER PEY OR CPVC
- 2. BELOWGROUND WASTE AND VENT PIPING: CAST IRON, PVC, DR ABS
- 3. ABOVEGROUND WASTE AND VENT PIPING: CAST IRON, PVC, OR ABS

CALGREEN REQUIREMENTS

INDOOR WATER US	E FLOWRATES
FIXTURE TYPE	NAXIMUM FLOW RATE
WATER CLOSETS - FLUSHOMETER VALVE	
WATER CLOSETS - TANK	1.28 GAL/FLUSH
URINALS	0,125 GAL/FLUSH
PUBLIC LAVATORY	0.5 GPM 60 60 PSI
PRIVATE LAVATORY	1.2 GPM 60 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
SHOWERHEADS	1.8 GPM @ 80 PSI

LEGEND



CD	CONDENSATE DRAIN
D	DIAMETER
DN	DOWN
FLEC	ELECTRIC
ELEC	EXTERIOR, EXTERNAL
	FLOOR DRAIN
FU	FAN COIL UNIT
FCU	FAN COIL UNII
FLR	HORSEPOWER
HP	
HVAC	HEATING, VENTILATING, AND AIR
	CONDITIONING
ID	INDIRECT DRAIN, INSIDE DIAMETER
IN	
KW	KILOWATT
NECH	MECHANICAL
NCA	MINIMUM CIRCUIT AMPACITY
NOCP	MAXIMUM OVER CURRENT
	PROTECTION
	MOUNTED
QD.	OUTSIDE DIMENSION OR DIAMETER
POC	POINT OF CONNECTION
PRV	PRESSURE REDUCING VALVE
PSIG	POUNDS PER SQUARE INCH GAUGE
RFF	REFERENCE
	SANITARY SEWER
SO.	SOUARE
TP	TRAP PRIMER
ΤΥΡ	TYPICAL.
LION	UNIESS OTHERWISE NOTED
v	VENT
VTR	VENT THRU ROOF
w	WASTE WATT WIDE
	MASIE, WATT, MIDE

DRAWING INDEX

DWG	DESCRIPTION
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A DOG/ON/25 BUILDING RESUBMITTAL

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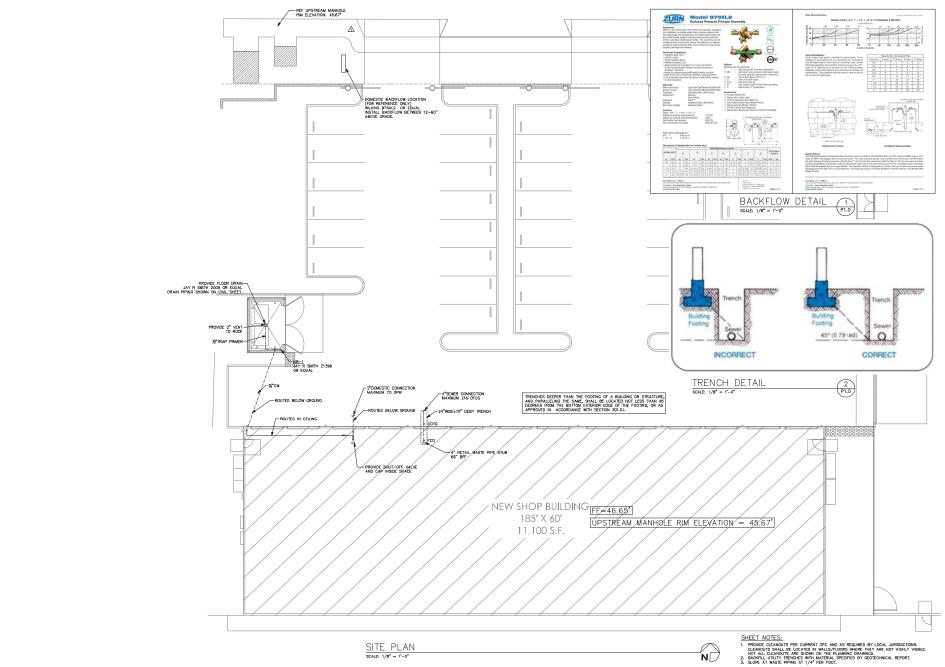
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SANTA CLARA, CA 95050



DESIGNED: MB PLANNING SET DATE: 06/24/25 SHEET TITLE: LEGEND GENERAL NOTES

SHEET NO. PO.0



EMERALD CITY
ENGINEERS, INC

21705 HIGHWAY 99 LYNNWOOD, WA 98086

A REVISIONS

| OK/ON/25 | BUILDING RESUBMITTAL

DP VENTURES

480 MATHEW ST.

SANTA CLARA, CA 95050

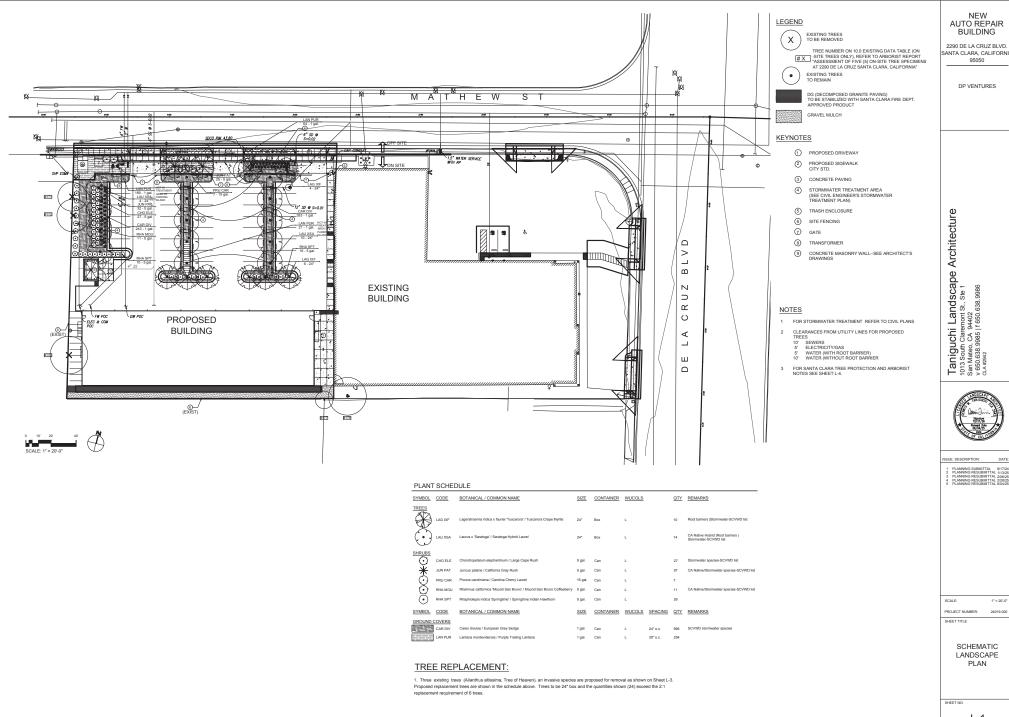


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DATE: 06/24/25 SHEET TITLE:

SITE PLAN

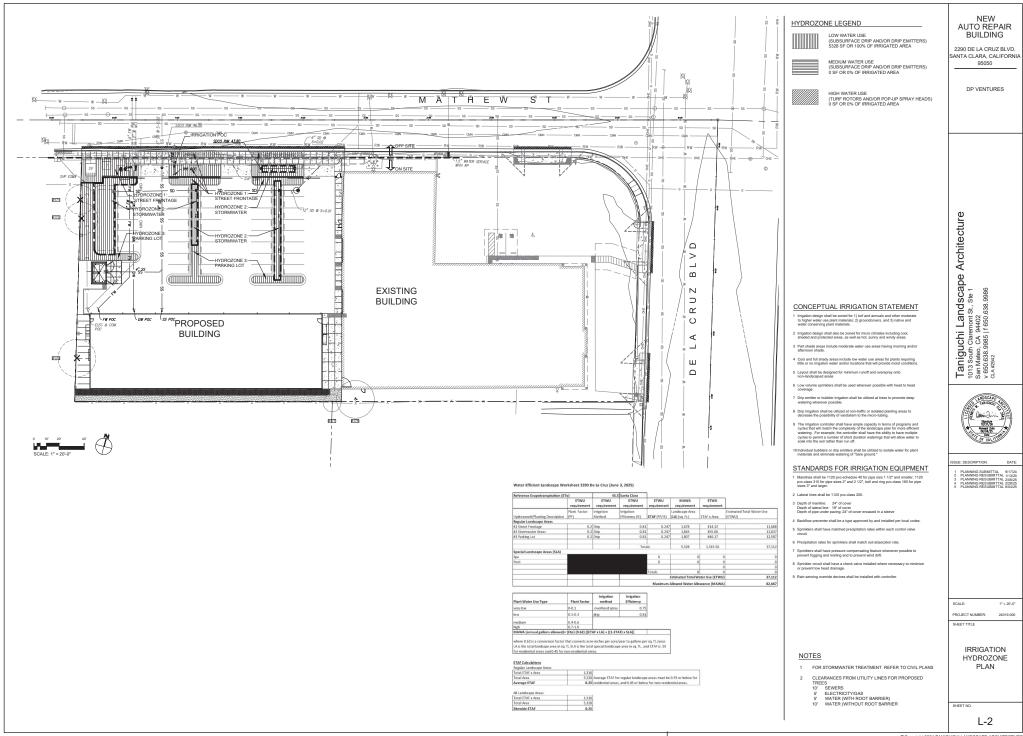
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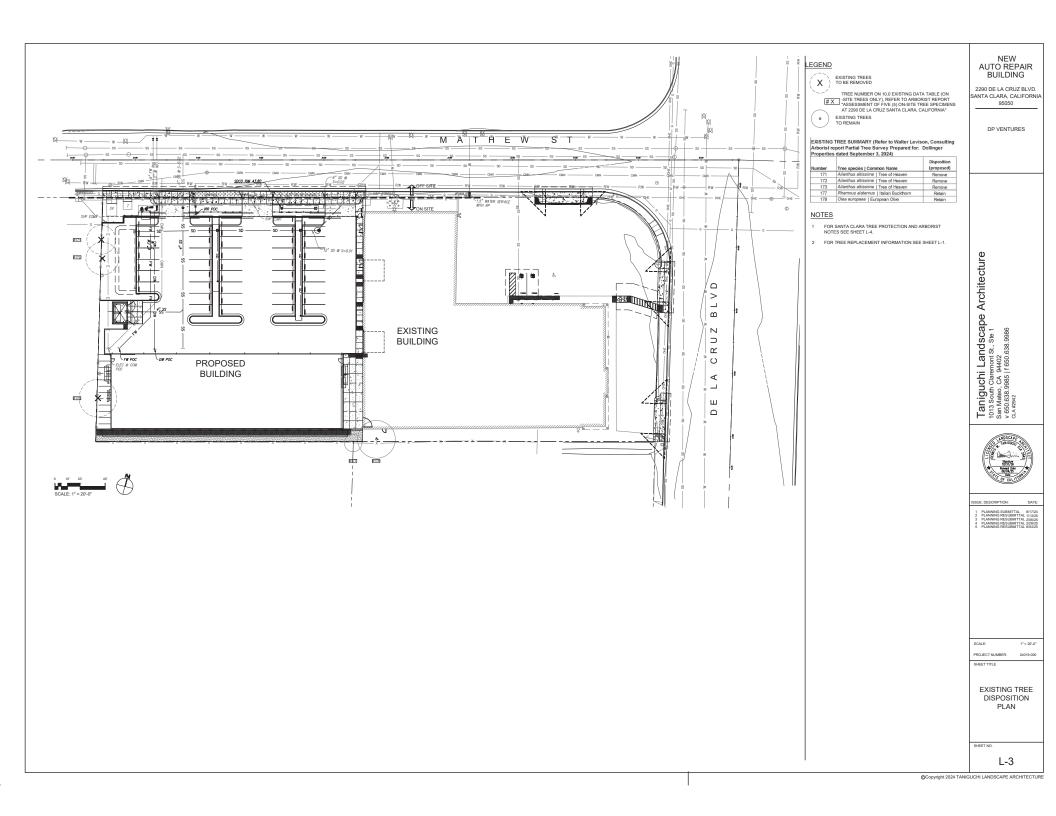


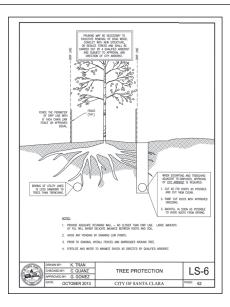
SANTA CLARA, CALIFORNIA

PROJECT NUMBER: 24019.000

L-1









CITY OF SANTA CLARA ARBORIST NOTES

I. GENERAL

- No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-615-3080).
- No cutting of any part of private trees, including roots, shall be done without direct supervision of an international society of arboriculture (ISA) certified arborist.
- 3. When construction occurs within the drip line of existing trees, contractor shall pile the soil on the side away from the tree. When this is not possible, place soil on plywood, tarp, or 4"s 5" thick bed of mulach. This is to belp prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
- 4. Refill open trenches quickly within hours of excavation when they occur within the drip lin of existing trees. If this is not possible and the weather is hot, dry, writely, contractor man keep every or in an insole by covering them with the winday. If the contraction of the property or in the most by covering them with we broken Jin The enter the state of the contraction of the property of
- 5. When roots 2" or larger are required to be cut, showed by hand near the roots and prune the roots with an incustry-approved pruning tool. Roots that are accidentally broken should be pruned two inclused roots are more likely to allow desay to begin. Startley cut roots produce a flush of new roots helping the tree to recover from its injury.
- Contractor shall notify thecity arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
- A clear system of flagging rust be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such system from the city arborist or arborist employed by city.
- Materials, equipment, temporary buildings, fuels, paints and other construction items shall not be placed within the drip line of existing trees.

Page 1 of 4



CITY OF SANTA CLARA ARBORIST NOTES

9. Fence all trees to be retained to completely enclose the <u>tree protection none</u> prior to demolition, grabbing or grading. Frencing shall be placed at the drip line of cristing trees or if possible. 5 times the related of the drip line out from the truth of the tree. A warning sign shall be prominently displayed on each frence. The sign shall be a minimum of 30° 31" and clearly start warning—tree protection none that force shall not be removed without approval from the city arborraty/project arboring. Fences shall be 60° tot all claim line.

equivalent, as approved by the city arborist or arborist employed by city. Finces shall remain until all grading and construction work is completed. In addition, wap all trees with straw avadide up to the first main branch, and then waps panow freeding around the waddle on all trees in the construction zone to protect them fron bark damage caused by the work.

- 10. No trenching shall be donewithin the drip line of existing trees without the approval of the city arbeits or arboist employed by City. Open trenching in the noxione of a public tree is probabiled except in cases where the trenching falls outside left of rip line of the tree involved. Rougitions may be allowed if, in the opinion of the city and the content of the city of the content of the city of the content of the city and content of the city of the negligible.
- 11. Any cutting of existing roots of city trees shall be done with approved light equipme under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
- Grading should not create drainage problems for trees by channeling waterinto them, or creating sunken areas.
- 38. All prairies within the rêst jus of city trees shall be done with approved light squament unmet hed direc supervision of the direct periods or absorbed to employed by city. All grading within the drip lime of private trees shall be done with approved equipment under the direct supervision of an ISA excelled advoired. The original grade at the base of cutting trees shall not be modified. If a grade increase is necessary, dry walls should be used.
- 14. When trenching is allowed the contractor must first cut roots with a vermeer root cutter prior to any trenching to avoid tugging or pulling of roots.
- 15. Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the

Page 2 of 4



CITY OF SANTA CLARA ARBORIST NOTES

contractor. The city arborist or arborist employed by city shall determine to

- 16. Place 4"-5" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
- 17. Bore pits are not allowed within the drip line of any tree.

II. BORING

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 6° D3H, the installation must be made by boring. The beginning and ending distance of the bore from the face of the tree in any direction is determined by the diameter or other tree as specified by the accompanying table:

Then the tree dia	meter at 4% feet is:	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:				
0-2	inches	1	foot			
3-4	inches	2	feet			
6-9	inches	5	feet			
10-14	inches	10	feet			
15-19	inches	12	feet			
over 19	inches	15	feet			

Tree diameter	(minimum) depth of bore
9 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

III.TREE PROTECTION

Contractor shall tag and identify existing trees which are to remain within the
project limits and on the public right-of-way prior to start of work. Protect all tagged
trees at all times from damage by the work. Treatment of all minor damage to tagged
trees shall be performed by an ISA certified arborist or other personnel approved by
the city arborist or arboris employed by city. It a sugged tree is personnel.

Page 3 of 4



CITY OF SANTA CLARA

disfigured or killed as a result of the work, contractor shall remove the tree, incloding its roots, from the site and replace each removed tree with an equal-stard refer. If such replacements on the production of the production

2. Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's faithure to novoide adeasate notice. You and schedule of value, using "tree adlarge" method established in the most revent issue of the "guide for establishing values of trees and other plants", prepared by the council of tree and indeedage architecture.

7 inches	\$ 2,400
8 inches	\$ 3,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$ 10,000
16 inches	\$ 11,000
17 inches	\$ 12,000
18 inches and over	
Add for each caliper inch	\$ 1.200

Page 4 of 4

NEW AUTO REPAIR BUILDING

2290 DE LA CRUZ BLVD. SANTA CLARA, CALIFORNIA 95050

DP VENTURES

Taniguchi Landscape Architectur 1013 South Claremont St., Ste 1 San Marker, CA 94402. V 660.538, 99865 | 1650, 638, 9986

Signature Signat

UE: DESCRIPTION: DAT

1 PLANNING SUBMITTAL 9/17/24 2 PLANNING RESUBMITTAL 1/13/25 3 PLANNING RESUBMITTAL 2/06/25 4 PLANNING RESUBMITTAL 2/28/25

SCALE: 1" = 20'-0"

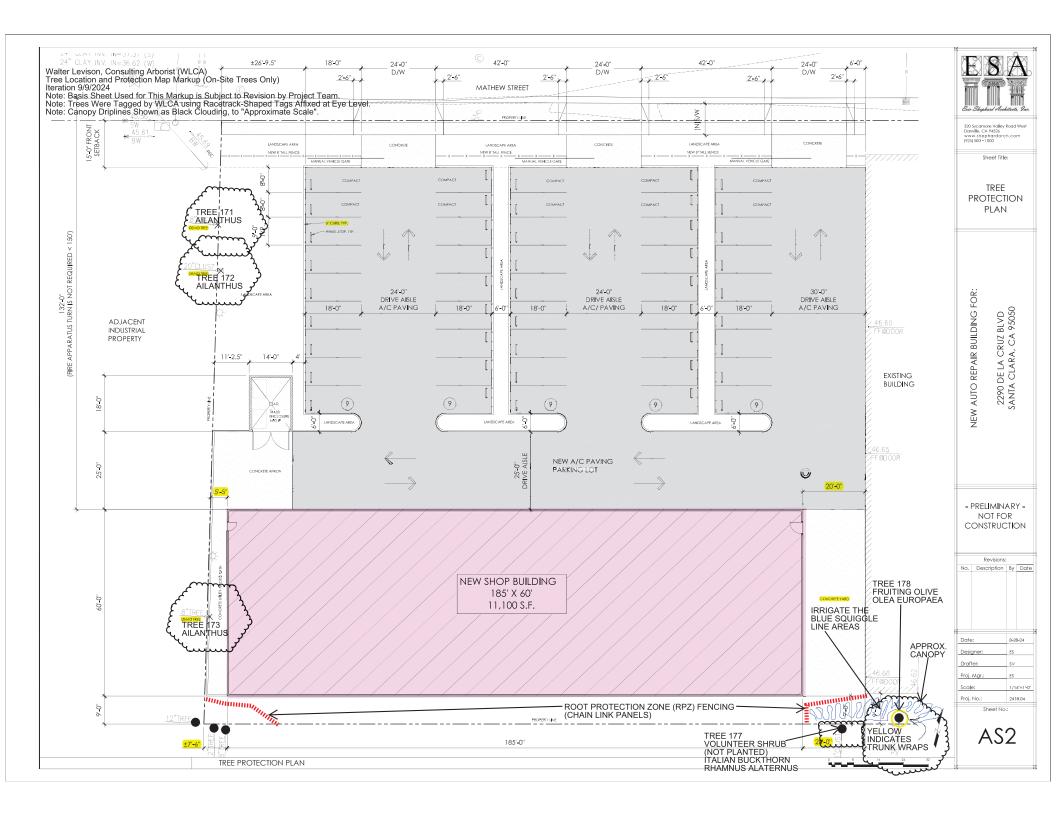
PROJECT NUMBER: 24019.000

SHEET TITLE

SANTA CLARA TREE PROTECTION

SHEET NO.

L-4





City of Santa Clara

1500 Warburton Avenue Santa Clara, CA 95050 santaclaraca.gov @SantaClaraCity

Agenda Report

25-747 Agenda Date: 7/9/2025

REPORT TO DEVELOPMENT REVIEW HEARING

SUBJECT

PUBLIC HEARING: Action on the Architectural Review of (PLN24-00460) for a Demolition of the Existing Single-Family Residence and Construction of a New 2,274 Square-Foot Four-Bedroom, Three-and-half Bathroom Two-Story Residence with an Attached Two-Car Garage located at 520 Hilmar Street within 200 Feet of Historic Properties.

File No.: PLN24-00460

Location: 520 Hilmar Street, a 4,050 square foot property located on the eastern side of Hilmar

Street, approximately 120 feet south of the corner of Hilmar Street and The Alameda;

APN: 230-17-044; the property is zoned Single-Family Residential (R1-6L).

Applicant: Thanh Nguyen Owner(s): Thanh Nguyen

Request: Architectural Review for a demolition of the existing single-family residence and the

construction of a 2,272 square-foot four-bedroom and three-and-half bathroom two-

story residence, with a 362 square foot two-car garage.

PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

POINTS FOR CONSIDERATION

- The project proposal is for demolition of the existing 910 square foot single-family residence and the construction of a 2,272 square-foot four-bedroom and three-and-half bathroom twostory residence, with a 362 square foot two-car garage. The new residence is designed as contemporary two-story Mediterranean style with stucco cladding and Spanish tile hip-style roof.
- The proposed project is in a residential tract consisting of both one- and two-story residences.
 See Vicinity Map in Attachment 1.
- Hilmar Street consists of one-and two-story residence with mix of architectural types. The north end of the street are commercial properties with frontage along The Alameda.
- The structure on site is an abandoned single-family residence constructed in 1930 as a Spanish revival. The attached garage was likely a later addition since it was not typical to Spanish style in 1915-1940. The structure is currently in poor condition and the property contains overgrown vegetation.
- Per the Santa Clara City Code (SCCC) 18.120(D)1, the request to construct a new single-family home requires Architectural Review approval through a Development Review Hearing.
- The project went before the Historical and Landmarks Commission (HLC) on March 6, 2025 and April 3, 2025 in accordance with Historic Preservation Ordinance (Santa Clara City Code 18.130.070), which requires all projects within 200 feet of four Historic Resources Inventory

(HRI) properties (530, 540, 550, and 560 Hilmar Street) requiring an Architectural Review through a Development Review Hearing to be first referred to the HLC. Attachment 4 is a weblink to the HLC staff report packet of April 3, 2025.

- The existing structure is of notable age; therefore, a State of California Department of Parks and Recreation DPR 523A form was prepared to evaluate the historical value and integrity of the structure. The report, prepared by Brunzell Historical, concludes that the subject property does not meet any criteria of historic significance on the federal, state or local levels.
- Per the Santa Clara City Code 18.120(D)(d), the request requires Architectural Review
 approval through a Development Review Hearing.
- Following March 6, 2025, and April 3, 2025, HLC hearings, HLC recommended denial of the project with the following considerations.
 - Massing is larger than the adjacent residence and neighborhood residences along Hilmar Street.
 - o Ground floor front setback is closer to the street than the adjacent residence and neighboring residences along Hilmar Street.
 - Second-story front setback is closer to the street than the adjacent residence and neighboring residences along Hilmar Street.
 - Missing exterior detail material for Spanish style architecture.
- The applicant revised the plans in response to the HLC meeting and provided response to HLC considerations in Attachment 3. The applicant maintains the 27 feet and three inches front setback of the second floor, as well as the form and location of the proposed residence. Applicant provided setback distance show how the first floor and the second floor was set farther back then some of the immediately adjacent residences and the others in the neighborhood. Applicant also provided additional detail on exterior finish material compatible with the Spanish-style architectural features such as tile roof, arch windows, doors, and cornice. The response addressed HLC's concerns and now the findings can be met.
- The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:
 - The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
 - A prominent front porch or entry is provided.
 - Second-story side windows are either obscured or have a five-foot windowsill height.
 - The architectural features of the proposed design including the stucco siding, small front porch, and hip-style roof are common to the material and form along Hilmar Street.
 - The second-story front wall is set 27 feet and three inches behind the front property line.
 - The second floor is proposed to be at 63% of the first floor, which is consistent with the guideline that second floor areas should not exceed 66% of the first-floor area.
- There are no active City code enforcement cases for this property.
- With the revisions, the proposed project meets the required findings set forth in SCCC 18.120.

FINDINGS SUPPORTING STAFF'S RECOMMENDATION

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

25-747 Agenda Date: 7/9/2025

1) That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:

- The proposal provides the required two covered parking spaces at the front of the residence with the two-car garage.
- The required parking spaces are not located in the required front yard or side yard landscaped areas.
- The proposed project provides areas surfaced with all-weather materials of parking vehicles.
- 2) That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:
 - The proposed residence would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed two-story residence, and the use will not create a substantive increase in traffic.
- 3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:
 - Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood. Surrounding properties are one to two story homes with mixed architectural styles including Tudor, Cottage, and Spanish. The applicant has proposed stucco siding, a hipped tile-roof, arch windows and entry.
 - The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.
- 4) That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:
 - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
 - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent corner properties.

CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 5.

25-747 Agenda Date: 7/9/2025

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), in that the proposed project is for the construction of a new single-family residence on a vacant lot, which meets Class 3 exemption requirements.

PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on June 26, 2025. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for a demolition of the existing single-family residence and the construction of a 2,272 square-foot four-bedroom and three-and-half bathroom two-story residence, with a 362 square foot two-car garage at 520 Hilmar Street, subject to conditions of approval.

Prepared by: Steve Le, Senior Planner, Community Development Department Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

ATTACHMENTS

- 1. Vicinity Map
- 2. Project Data and Compliance Table
- 3. Response to HLC Comments
- 4. Weblink to HLC Staff Report of April 3, 2025
- 5. Conditions of Approval
- 6. Development Plan

Attachment 2: Project Data/Compliance

Project Address: 520 Hilmar Street Zoning: R1-6L Project Number: PLN24-00460

Standard	Existing ¹	Proposed	Requirement	Complies? (Y/N)
Lot Area (SF) (min):	4,050	4,050	6,000	N ²
Building Square Footage (SF)				
1 st Floor:	910	1,244		
2 nd Floor:		1,015		
Parking:	200	362		
Porch/Patio:		72		
Total:	1,110	2,621		
Floor Area Ratio:		64%		
% of 2 nd floor to 1 st floor:		63%	66% max	Y
Building Coverage (%)				
Building Coverage (All):	27%	39%	40% max	Y
Rear Yard Accessory			40% max	
Building Coverage: Main Building Setbacks (FT)				
•		001.01		T
Front (1 st floor): (2 nd floor):	20	20'-6" 27'-3"	20 25	Υ
Left Side (1st floor):	5	5	5	Y
(2 nd floor):		10	10	
Right Side (1st floor):	5	5	5	Y
(2 nd floor):		10	10	
Side, Corner:				Y
Rear (1st floor):		20'-3"	20	Υ
(2 nd floor):		20'-3"	20	
Height (FT)	T			
Main building:	14	24'-2"	25	Y
Accessory building:				
# of Bedrooms/Bathrooms:	2/1	4/3.5		
Parking:				
Is the site subject to Gov. Code 6	5863.2 (AB 2	2097)?		N
Off-street	1	2	2	Y
Open Landscaped Area (Front):		63%	35%	Υ

¹ Existing building to be demolished

² Legal non-conforming

Vicinity Map 520 Hilmar Street



- Massing is larger than the adjacent residence and neighboring residences along Hilmar Street.
 - Our house will act as a buffer between the historic residential neighborhood and the large commercial buildings immediately to the north and east or your property.
 - b. Assertions that a 2260 ft.² house is out of scale with the neighborhood and overwhelms nearby buildings is simply not true. This is a very modest sized house by contemporary standards, a regular house for a family of four. Suggesting it's some kind of giant structure that's going to have tons of people coming and going makes no sense. And, in fact, it is quite typical for the neighborhood. The house immediately southwest of 530 Hilmar has had its garage converted into a second unit which is ON the property line with zero setbacks. Three cars in the driveway strongly suggest 2 or more families living on the parcel. The only open space on the lot is the driveway plus a 12 X 30 front yard. There is another contemporary house down the block on Chapman that is almost 2000 ft.² The neighborhood is simply not a cohesive historic district and our project does nothing to harm the existing historic buildings nearby.
- 2. Ground floor front setback is closer to the street than adjacent residence and neighboring residences along Hilmar Street.
 - Our ground floor front setback is 20 ft and 6" in comparing to next door set back of 18 ft
- 3. Second-story front setback is closer to the street than adjacent residence and neighboring residences along Hilmar Street.

Our second floor front setback is 27ft and 3".

Here are some of the houses' sizes nearby.

- a. 530 Hilmar st one story, size: 1059 sqft, 2BR, 1BT, lot size: 4320 sqft, this house has about 18ft first floor setback.
- b. 540 Hilmar st 2 stories, size: 1874 sqft, 3BR, 2BT, lot size: 4500 sqft This house has about 18ft first floor setback.
- c. 550 Hilmar st 2 stories, size: 2031 sqft, 3BR, 3BT, lot size: 4639 sqft This house has about 19ft first floor setback.
- d. 560 Hilmar st 2 stories, size: 2328 sqft, 3BR, 4BT, lot size: 4500 sqft This house has about 20ft first floor setback.
- e. 570 Hilmar st 2 stories, size: 1708 sqft, 3BR, 2BT, lot size: 4639 sqft This house has about 20ft first floor setback.
- f. 591 Hilmar st. 2 stories, size: 2104 sqft, 3BR, 2BT, lot size: 4356 sqft
 This house has first floor set back about 16ft, and second floor set back about
 25ft
- g. 631 Hilmar st. 2 stories, size: 2190 sqft, 3BR, 2BT, lot size: 4500 sqft

This house has first floor set back about 15ft and second floor set back about 23ft

- h. 641 Hilmar st. 2 stories, size: 2122 sqft, 4BR, 3BT, lot size: 4499 sqft
 This house has first floor set back about 15ft, and second floor set back about
 27ft.
- 4. Orientation is not congruent with the neighboring residences along Hilmar Street.
 - a. Our proposed project has been carefully designed to respect the existing neighborhood by using a traditional architectural style (pitched roof, entry porch, etc.) and setbacks that conform to historic buildings in the neighborhood.
 - b. It avoids creating a false sense of history and thus conforms to rules for infill in historic neighborhoods.
 - c. We are taking on a distressed and dilapidated property and offering restore it to productive single-family residential use, we aren't demolishing a historical resource.

Web Links - 520 Hilmar Street (PLN24-00460)

HLC Meeting (April 3, 2025):

Here you will find documents related to the Historical and Landmarks Commission meeting such as the staff report and attachments.

https://santaclara.legistar.com/LegislationDetail.aspx?ID=7272362&GUID=4CC202A3-6C77-4533-80A8-95D5507094E1&Options=&Search=

These documents are available for viewing in the Community Development Department

Conditions of Architectural Review Approval

PLN24-00460 / 520 Hilmar Street

Architectural Review for the demolition of existing single-family residence and the construction of a 2,272 square-foot four-bedroom and three-and-half bathroom two-story residence, with a 362 square foot two-car garage at 520 Hilmar Street that is located within 200 feet of Historic Resources.

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is Click or tap to enter a date..
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code. California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE - PRIOR TO BUILDING PERMIT ISSUANCE

P1. **Tree Planting (On-site).** All new development front yard landscaping shall include, at a minimum, one 15-gallon size tree and a permanent irrigation system to be installed by the developer prior to occupancy

DURING CONSTRUCTION

P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.

Meeting Date: July 9, 2025 Page 1

- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P4. Landscape Water Conservation. The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

- P5. **Use of Garage**. The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. Landscaping Installation & Maintenance. The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

Meeting Date: April 3, 2025 Page 2

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

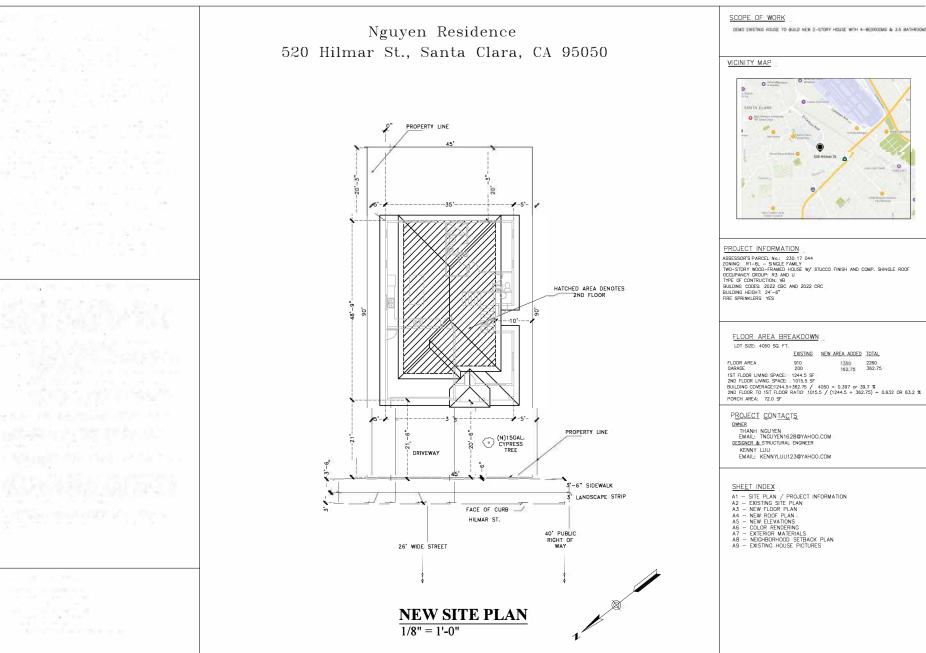
Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature:	
Printed Name:	
Relationship to Property:	
Date:	

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

Meeting Date: April 3, 2025 Page 3





ASSESSOR'S PARCEL No: 230 17 044
ZONING: R1-6L - SINGLE FAMILY
TWO-STORY MODO-FRAMED HOUSE MY STUCCO FINISH AND COMP, SHINGLE ROOF
OCCUPANCY GROUP: R3 AND U
TYPE OF CONTRUCTION: VB

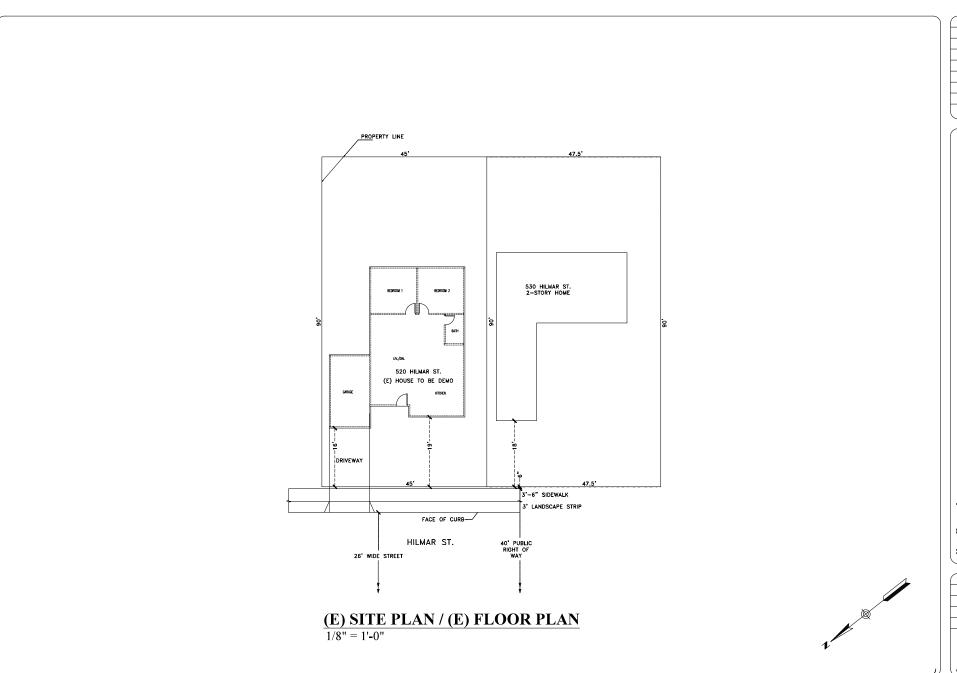
FLOOR AREA 910 1350 2260
GARAGE 200 162.75 352.75

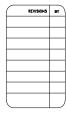
STS FLOOR LUNNG SPACE: 1244.5 5°
2ND FLOOR LUNNG SPACE: 1015.5 5°
2ND FLOOR LUNNG SPACE: 1015.5 5°
2ND FLOOR TO 1ST FLOOR RAID: 1015.5 7 (1244.5 + 362.75) = 0.632 OR 63.2 %
ORDER AREA 1244.5 + 362.75) = 0.632 OR 63.2 %

INFO PROJECT

SCALE JOB NO.



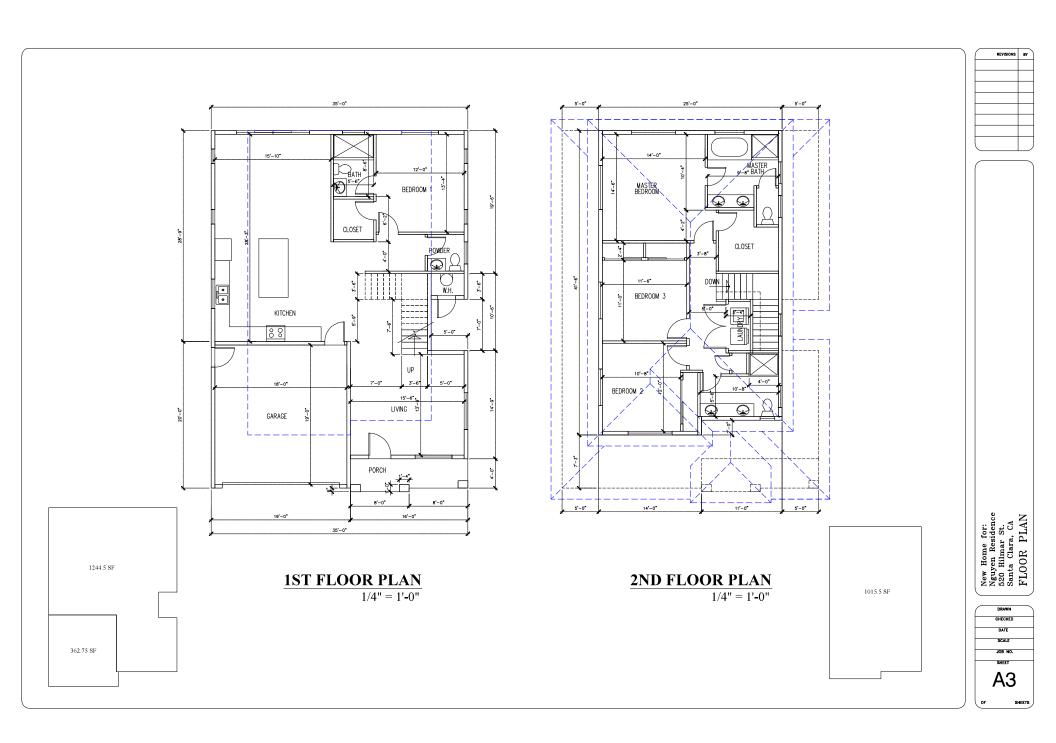


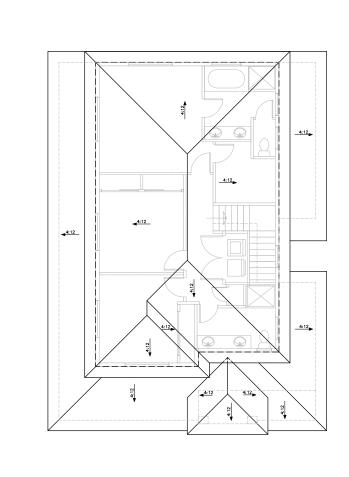


Nguyen Residence 520 Hilmar St. Santa Clara, CA (F.) SITF PLAN









 $\frac{\textbf{ROOF PLAN}}{1/4" = 1'\text{-}0"}$

REVISIONS BY

New Home for:
Nguyen Residence
520 Hilmar St.
Santa Clara, CA

CHECKED

DATE

SCALE

JOB NO.

A4



New Home for: Nguyen Residence 520 Hilmar St. Santa Clara, CA DI DVA TIONS

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET

A5





 $\frac{\textbf{LEFT SIDE ELEVATION}}{\text{NTS}}$

 $\frac{\textbf{FRONT ELEVATION}}{\text{NTS}}$





RIGHT SIDE ELEVATION REAR ELEVATION

New Home for:
Nguyen Residence
520 Hilmar St.
Santa Clara, CA
COLOR RENDERINGS

DRAWN
CHECKED
DATE
SCALE
JOB NO.

A6

GARAGE DOOR
COTTAGE STYLE WOOD GARAGE DOOR



FRONT DOOR
TUSCAN STYLE



ROOF MATERIAL RED SPANISH STYLE CLAY ROOF



WINDOW TRIM, MC629 MOLD BY THE MOULDING COMPANY, TO BE PAINTED DARK BROWN COLOR - 1" THICK x 2.5" WIDE

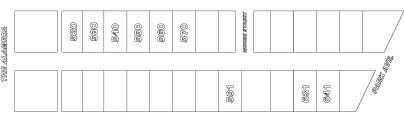


EXTERIOR CROWN MOLDING 4" THICK \times 5" HEIGHT MC615 MOLD BY THE MOULDING COMPANY TO BE PAINTED DARK BROWN COLOR

New Home for:
Nguyen Residence
520 Hilmar St.
Santa Clara, CA
EXTERIOR MATERIALS

DRAWN
CHECKED
DATE
SCALE
JOB NO.





NEIGHBORHOOD SITE PLAN



641 HILMAR STREET



570 HILMAR STREET



560 HILMAR STREET



550 HILMAR STREET



631 HILMAR STREET



591 HILMAR STREET



540 HILMAR STREET



530 HILMAR STREET

New Home for:

| New Home for:
| Nguyen Residence
| Nguyen Residence
| Santa Clara, CA
| NEIGHBORHOOD SITE PLAN

A8









Photograph 4: 520 Hilmar St, southeast elevation, camera facing northwest, November 13, 2024.



Photograph 5: 520 Hilmar St, southwest elevation, camera facing northeast, November 13, 2024.



Photograph 6: 520 Hilmar St backyard, camera facing southeast, November 13, 2024.



Photograph 7: View up Hilmar St looking towards El Camino Real, camera facing northeast, November 13, 2024.

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New Home for:
Nguyen Residence
520 Hilmar St.
Santa Clara, CA
EXISTING HOUSE PICTURES

CHECKED DATE SCALE JOB NO.

