

REGULATORY AGENCIES & UTILITIES				
PLANNING/ZONING City of Santa Clara Planning Division 1500 Warburton Avenue Santa Clara, CA. 95050 Contact: Jen Chen 408-615-2455	HEALTH DEPARTMENT Santa Clara County Department of Environmental Health 1555 Berger Drive Building 2, Suite 300 San Jose, CA. 95112 408-918-3400	SEWER/WASTEWATER City of Oklahoma City Department of Utilities 420 W. Main Oklahoma City, OK 73102 405-297-2833	FIRE DEPARTMENT City of Santa Clara Fire Department 1675 Lincoln Street Santa Clara, CA. 95050 Contact: William Kelly 408-615-4900	TELEPHONE AT&T
BUILDING DEPARTMENT City of Santa Clara Planning Division 1500 Warburton Avenue Santa Clara, CA. 95050	WATER MANAGEMENT City of Santa Clara Water & Sewer Utilities 1500 Warburton Avenue Santa Clara, CA. 95050 408-615-2000	NATURAL GAS SERVICE Pacific Gas & Electric P.O. Box 997310 800-468-4743	ELECTRICAL SERVICE City of Santa Clara Silicon Valley 1500 Warburton Avenue Santa Clara, CA. 95050 408-615-2300	
DEFERRED SUBMITTALS		SEPARATE PERMITS REQUIRED DIRECTLY WITH SCFD		
1. Signage		1. Cooking Oil Storage Tanks (exceeding 60 gallons) 2. Hood/Duct Fire Suppression Systems 3. Carbon Dioxide Beverage Systems (exceeding 100 lbs.) 4. Automatic Sprinkler System Modifications		
		5. Fire Alarm System Modifications 6. Refrigerant System 7. ERRCS		

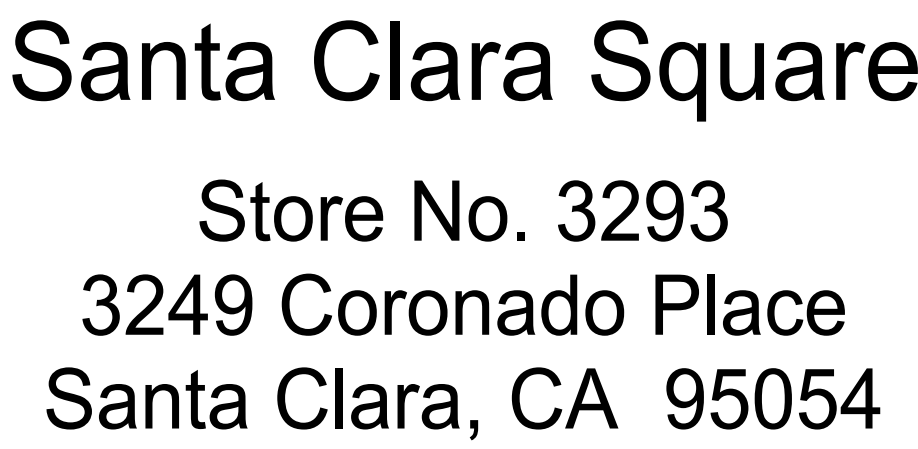
PROJECT CONTACTS		LANDLORD CONTACTS
LANDLORD Irvine Company Retail Properties 110 Innovation Drive Irvine, CA 92617 Contact: Ashley Eckenstein aekenstein@irvinecompany.com 949-720-2953	ARCHITECT John M. Dungan, Architect 8826 Santa Fe Dr, Suite 304 Overland Park, KS 66212 Contact: Shawna Fuhrman sfuhrm@tdg.biz 913-341-2466 913-341-2455 fax	SANTA CLARA SQUARE APARTMENTS RETAIL COMMUNITY MANAGEMENT Senior Director, Property Mgr - Phil Vise - 949-720-2373 Property Manager - Adam Kroll - 408-330-0162 Operations Manager - Steve Jones - 949-720-3112 TENANT IMPROVEMENT CONSTRUCTION ACTIVITIES Tenant Coord., Mgr - Ashley Eckenstein - 949-720-2953 Tenant Coord., Director - Brandon Mucha - 949-720-3198 Retail Coordinator - Paulette Barsi - 408-330-0148
TENANT Chipotle Mexican Grill 1401 Wynnkoop Street, Suite 500 Denver, CO 80202 Contact: Justin Young j.young@chipotle.com 614-318-2404	MEP ENGINEER National Engineering 784 Morrison Road Columbus, OH 43230 Contact: Andy Janosik ajanosik@nationalengineering.com 614-328-2028	STRUCTURAL ENGINEER Norton & Schmidt Consulting Engineers 311 East 11th Avenue North Kansas City, MO 64116 Contact: Garth Durre garthd@nortonschmidt.com 816-421-4232 816-421-1956 fax

LANDLORD REQUIRED REVIEWERS			
ACCOUSTICAL REVIEW Veneklasen Associates Contact : John Lovenderph 310-565-5118 jlovender@veneklasen.com	STRUCTURAL REVIEW FBA, Inc. Structural Engineers Contact: Jennifer Cassity 510-265-1838 jennifer@fbaengineers.com	AIR QUALITY REVIEW Air Cleaning Technology Contact: Sergio Lazzara 714-641-5005 sergio@aircleaningtechnology.com	WATERPROOFING REVIEW Alana Buick & Bers, Inc. (ABB) Contact: Matt Dutrow 510-380-8219 mdutrow@abbae.com

LANDLORD REQUIRED SUBCONTRACTORS					
ROOFING PENETRATION & WATERPROOFING Albanai Buick & Bors, Inc. (ABB) Contact: Matt Dutrow 510-380-8219 mdutrow@abbae.com	FIRE SPRINKLER Automatic Fire Sprinkler Contact: Heather McNeil 714-941-2066 heather@afsfire.com	FIRE ALARM Red Rock Security & Cabling, Inc. Contact: Randy Jara 949-900-3460 randy@tiredrock.com	ROOFING REPAIR All Seasons Roofing Contact: Viad Gorshteyn 408-971-4455 viad@allseasonroof.com	HVAC ALTERATION/REPAIR LDI Mechanical Contact: Dustin Stinnett 916-361-3925 dustin.stinnett@ldimechanical.com	
ELECTRICAL REPAIR Seal Electric Contact: Nick Bongiovanni 618-341-4024 nick@sealelectric.com	EXTERIOR PLASTER Tremco Plastering, Inc. Contact: Rich Dunn 510-364-3053 richd@veccompanies.com	STOREFRONT REPAIR AGS-Architectural Glass Systems Contact: Todd Murdoch 916-374-0376 tmurdoch@archgs.com	VAPOR BARRIER High-End Development Contact: Brad Eck 925-887-2540 brad@highendmail.com	VAPOR MITIGATION SYSTEM Raux Associates Contact: David Dixon 415-967-8012 dixon@rouxinc.com	

ABBREVIATIONS					
℄	CENTER LINE	GA	GAUGE	SIM	SIMILAR
(E)	EXISTING CONSTRUCTION	GALV	GALVANIZED	SPS	SODA POP SUPPLIER
(N)	NEW CONSTRUCTION	GC	GENERAL CONTRACTOR	SS	SUPPORT SIGNAGE
@	AT	GYP	GYPSUM	SSS	CCTV AND SAFETY/CASHBOX
Ø	DIAMETER OR ROUND	HES	TENANT'S HVAC EQUIPMENT SUPPLIER	STR	STRUCTURE
AFF	ABOVE FINISH FLOOR	HS	HOOD SUPPLIER	T	TENANT
ALUM	ALUMINUM	HVAC	HEATING AND VENTILATING	T.B.D.	TO BE DETERMINED, SEE FIELD REFERENCE MANUAL
ARCH	ARCHITECT(URAL)	INT	INTERIOR	T.O.	TOP OF
AS	ART AND CHAIRS SUPPLIER			TAB	TENANT'S TEST & BALANCE VENDOR
ASS	ALARM SYSTEM SUPPLIER	KEK	KITCHEN EQUIPMENT SUPPLIER	TCC	TENANT'S CABLING CONTRACTOR
				THS	TENANT'S HARDWARE SUPPLIER
B.O.	BOTTOM OF OR BACK OF	MAX	MAXIMUM	TLS	TENANT'S LIGHT/LAMP SUPPLIER
BD	BOARD	MECH	MECHANICAL	TMB	TENANT'S MENU BOARD SUPPLIER
BLDG	BUILDING	MFR	MANUFACTURER	TMS	TENANT'S MILLWORK SUPPLIER
		MIN	MINIMUM	TP	TENANT'S PHONE SUPPLIER
C.O.	CENTER OF	MISC	MISCELLANEOUS	TRS	TENANT'S RAILING SUPPLIER
CMU	CONCRETE MASONRY UNIT	MSS	MUSIC SYSTEMS SUPPLIER	TS	TENANT'S SAFE SUPPLIER
COZ	COZ SUPPLIER			TSS	TENANT'S SMART SAFE SUPPLIER
CS	CHEMICAL SUPPLIER	N.I.C.	NOT IN CONTRACT	TSV	TENANT'S SIGN VENDOR
		NO	NUMBER	TUV	TENANT'S UV SUPPLIER
DIM	DIMENSION(S)	OC	ON CENTER	TYP	TYPICAL
		OSB	ORIENTED STRAND BOARD		
EA	EACH			U.N.O.	UNLESS NOTED OTHERWISE
EL	ELEVATION (VERTICAL HEIGHT)			UPS	UNINTERRUPTED POWER SUPPLY
ELEC	ELECTRICAL	PHS	PHOTOGRAPHY SUPPLIER	VAR	VARIES
ELEV	ELEVATION	POS	POINT OF SALE		
EQ	EQUAL	PREP	PREPARATION	W/	WITH
EXT	EXTERIOR	PVC	POLYVINYL CHLORIDE	WA	WASHROOM ACCESSORIES
				WCS	TENANT'S WALK-IN COOLER SUPPLIER
F.O.	FACE OF	R	RADIUS	WHS	WATER HEATER SUPPLIER
F.V.	FIELD VERIFY	RTU	ROOF TOP UNITS	WS	TENANT'S WINDOW SHADE SUPPLIER
FRP	FIBERGLASS REINFORCED PANEL				
FRT	FIRE RETARDANT-TREATED				

SYMBOLS LEGEND			
	ELEVATION REFERENCE		ROOM NAME & NUMBER
	SECTION REFERENCE		REVISION NUMBER
	DETAIL REFERENCE		DOOR NUMBER
	COLUMN GRID LABEL		MISCELLANEOUS EQUIPMENT NUMBER
	WALL TAG		FURNITURE NUMBER
	LEVEL TARGET		KITCHEN EQUIPMENT NUMBER
	NORTH ARROW		WASHROOM ACCESSORIES NUMBER



CODE AUTHORITIES

BUILDING CODE:	2016 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
ENERGY CODE:	2016 GREEN BUILDING STANDARDS
ELECTRICAL CODE:	2016 ELECTRICAL CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ACCESSIBILITY:	2016 CALIFORNIA BUILDING CODE, CHAPTER 11B
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
LOCAL CODE:	2016 CITY OF SANTA CLARA MUNICIPAL CODE

CODE COMPLIANCE DATA		
1. Occupancy Group (Chapter 3)		
Building Overall		A-2/M/R-2
Chipotle		A-2
Previous Use of Chipotle's Premises		N/A
2. Type of Construction (Chapter 6)		Type 1-A Fully-Sprinklered
3. Occupancy Separation		
Entire Restaurant/Retail area calculated as non-separated uses per Section 508.3		1-Hour Provided
Vertical and Horizontal Separation of A-2/M and R-2 Occupancies		3-Hour Provided
4. Allowable Area & Height		
Allowable Building Height (Table 504.3)		
Group A-2, Sprinklered without Area Increase, Type 1-A		Unlimited
Allowable Number or Stories Above Grade (Table 504.4)		
Group A-2, Sprinklered without Area Increase, Type 1-A		Unlimited
Allowable Area (Section 506.2)		
Group A-2, Sprinklered with Multi-Story, Type 1-A, Without Frontage Increase		Unlimited
5. Actual Area & Height		
Total Building Area		32,143 sf
Chipotle - Group A-2		2,372 sf
Other Tenants - Group M		29,904 sf
Building Height		4 Stories, 64 Feet
6. Occupant Load - Chipotle Tenant Space (Table 1004.1.2)		
Dining Area		56 Fixed Seats = 56
Queue Line		80 sf / 5 = 16
Admin		53 sf / 100 = 1
Kitchen		932 sf / 200 = 5
Mechanical Mezzanine		465 sf / 300 = 2
Total Interior Occupant Load		80
7. Number of Required Exits (Section 1006)		2 Required, 3 Provided
8. Occupant Load for Plumbing Fixtures (CPC, Table A)		
Dining Area		56 Fixed Seats / 2 = 28
Queue Line		80 sf / 30 = 3
Admin		53 sf / 200 = 1
Kitchen		932 sf / 200 = 5
Mechanical Mezzanine		465 sf / 300 = 2
Total Interior Occupant Load		39

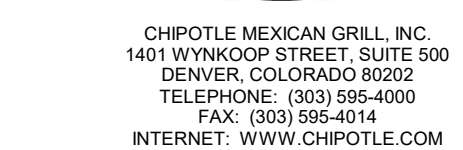
8. Required Plumbing Fixtures (CPC, Table 422.1)	
Water Closets (Male 1:1-50)	1 Required, 1 Provided
Water Closets (Female 1:1-25)	1 Required, 1 Provided
Lavatories (Male 1:1-150)	1 Required, 1 Provided
Lavatories (Female 1:1-150)	1 Required, 1 Provided
Urinals (Male 1:200)*	0 Required, 0 Provided
*Footnote 3: This requirement shall not apply when single occupancy toilet facilities are provided for each sex in an A or E occupancy with an occupant load of less than 50. The required urinal shall be permitted to be omitted or if installed, the urinal shall not require a second water closet to be provided for the female	
9. Fire Alarm	
Building Occupant Load (Within Fire Area)	474 Estimated
Fire Alarm Required if Occupant Load is 300 or More (Section 907.2.1)	Yes
Fire Alarm Provided	Yes (tie into existing by landlord)

9. Fire Alarm	
Building Occupant Load (Within Fire Area)	474 Estimated
Fire Alarm Required if Occupant Load is 300 or More (Section 907.2.1)	Yes
Fire Alarm Provided	Yes (tie into existing by landlord)

SHEET INDEX														
		REVISIONS												
SHEET NO.	SHEET NAME	1	2	3	4	5	6	7	8	9	10	11	12	13
GENERAL														
G000	Project Data	•												
G001	Life Safety Plan	•												
G002	Accessibility Requirements													
G010	Architectural Specifications													
G011	Architectural Specifications													
G012	Architectural Specifications													
G013	Architectural Specifications													
G014	Architectural Specifications													
G015	Architectural Specifications													
G016	Architectural Specifications													
DEMISED PREMISES														
D101	Demised Premises Plan	•												
SITE														
SP100	Architectural Site Plan	•												
ARCHITECTURAL														
A101	Slab Work Plan	•												
A110	Architectural Floor Plan	•												
A120	Finish Plan	•												
A130	Fixtures, Furniture & Equipment Plan	•												
A131	Fixtures, Furniture & Equipment Schedules	•												
A140	Architectural Roof Plan	•												
A201	Reflected Ceiling Plan	•												
A210	Ceiling Details	•												
A211	Ceiling Details													
A301	Exterior Elevations	•												
A501	Architectural Wall Types	•												
A502	Interior Sections	•												
A601	Door & Hardware Schedule	•												
A701	Elevations - Interior Dining	•												
A702	Elevations - Interior Kitchen	•												
A710	Toilet Room Details													
A801	Finish Details	•												
A802	Finish Details													
A900	Interior Perspectives													
STRUCTURAL														
S1	Notes & Sections	•												
S2	Framing Plans & Sections	•												
FIRE PROTECTION														
F100	Fire Protection Plan	•												
HVAC														
M010	HVAC Specifications	•												
M020	Mechanical Title 24 Compliance													
M021	Mechanical Title 24 Compliance													
M022	Mechanical Title 24 Compliance													
M100	HVAC Plan	•												
M600	HVAC Schedules	•												
M700	HVAC Details	•												
PLUMBING														
P010	Plumbing Specifications	•												
P020	Plumbing Title 24 Compliance	•												
P100	Plumbing Plan Water & Gas	•												
P110	Plumbing Plan Waste & Vent	•												
P600	Plumbing Schedules	•												
P700	Plumbing Details	•												
ELECTRICAL														
E010	Electrical Specifications													
E011	Electrical Specifications 2	•												
E020	Electrical Title 24 Compliance													
E021	Electrical Title 24 Compliance													

The vicinity map shows the location of the Chipotle Mexican Grill at the intersection of Scott Blvd and Augustine Dr. The map includes labels for Bowers Ave, Lakeside Dr, and US-101. A compass rose is located in the bottom left corner.

G000



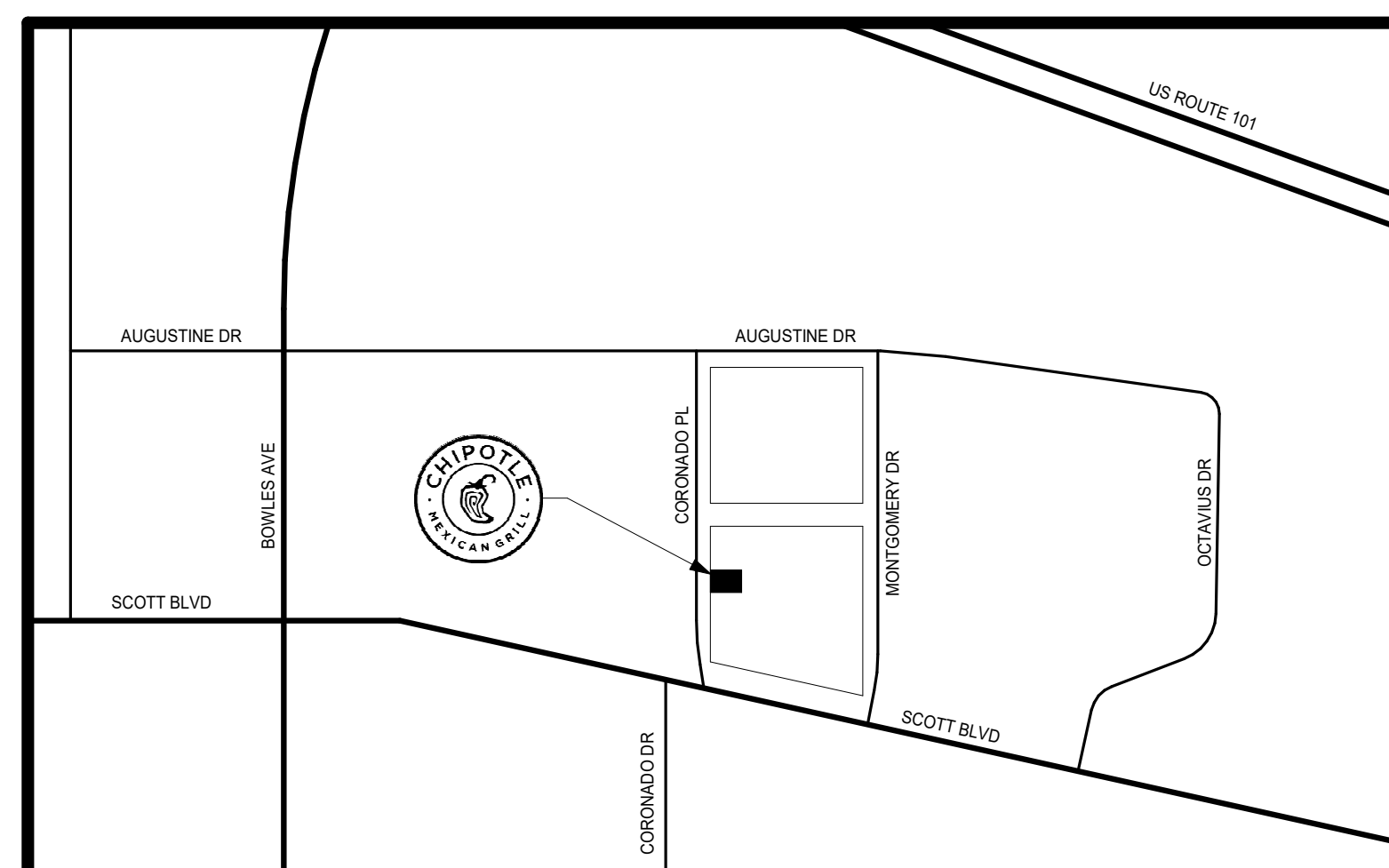
Santa Clara Square
Store No. 3293
3249 Coronado Place
Santa Clara, CA 95054

Issue Record:	
09/18/2018	Permit Set
11/02/2018	Bid Set
02/26/2019	Construction Set

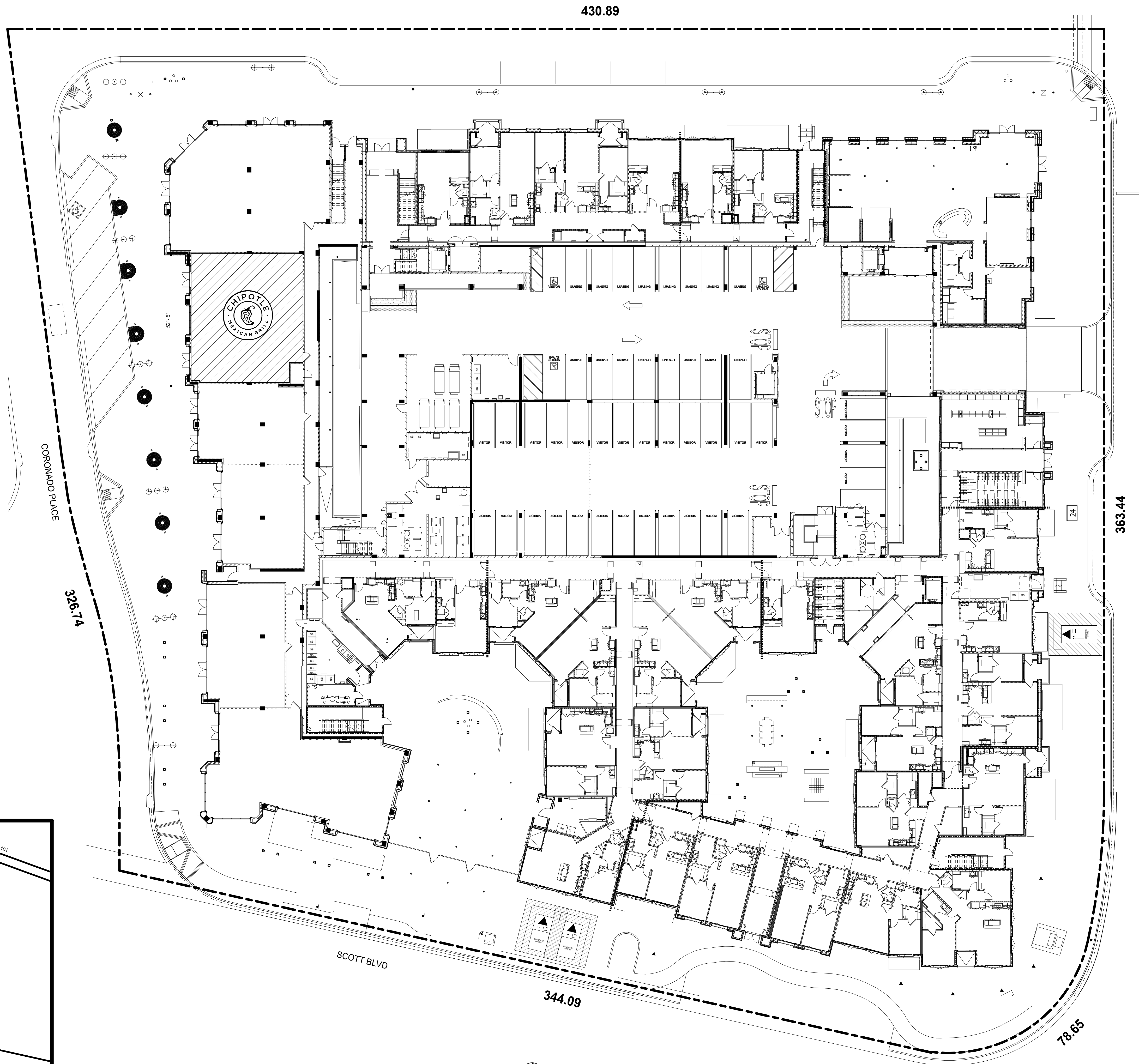
[illegible]Project No.
01456

Site Plan - CUP

SP100-CUP



② VICINITY MAP
N.T.S.



1 SITE PLAN
1" = 20'-0"





CHIPOTLE MEXICAN GRILL, INC.
1401 WYNNCOOP STREET, SUITE 500
DENVER, COLORADO 80202
TELEPHONE: (303) 595-4000
FAX: (303) 595-4014
INTERNET: WWW.CHIPOTLE.COM

Santa Clara Square

Store No. 3293

3249 Coronado Place
Santa Clara, CA 95054

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Revisions:	
10/26/2018	City/LL Comments

Project No.	
01456	

Architectural Floor
Plan

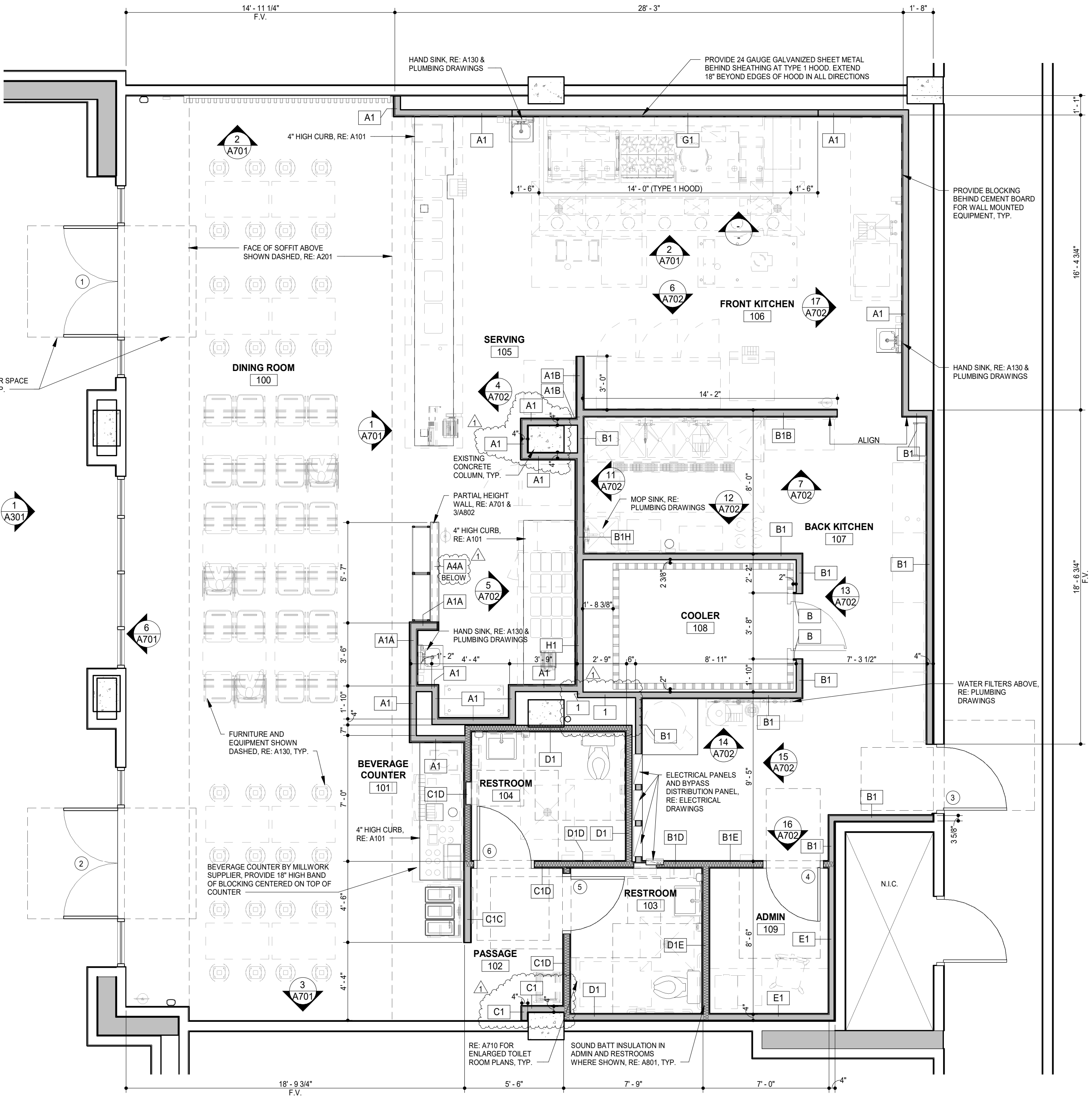
A110

GENERAL NOTES

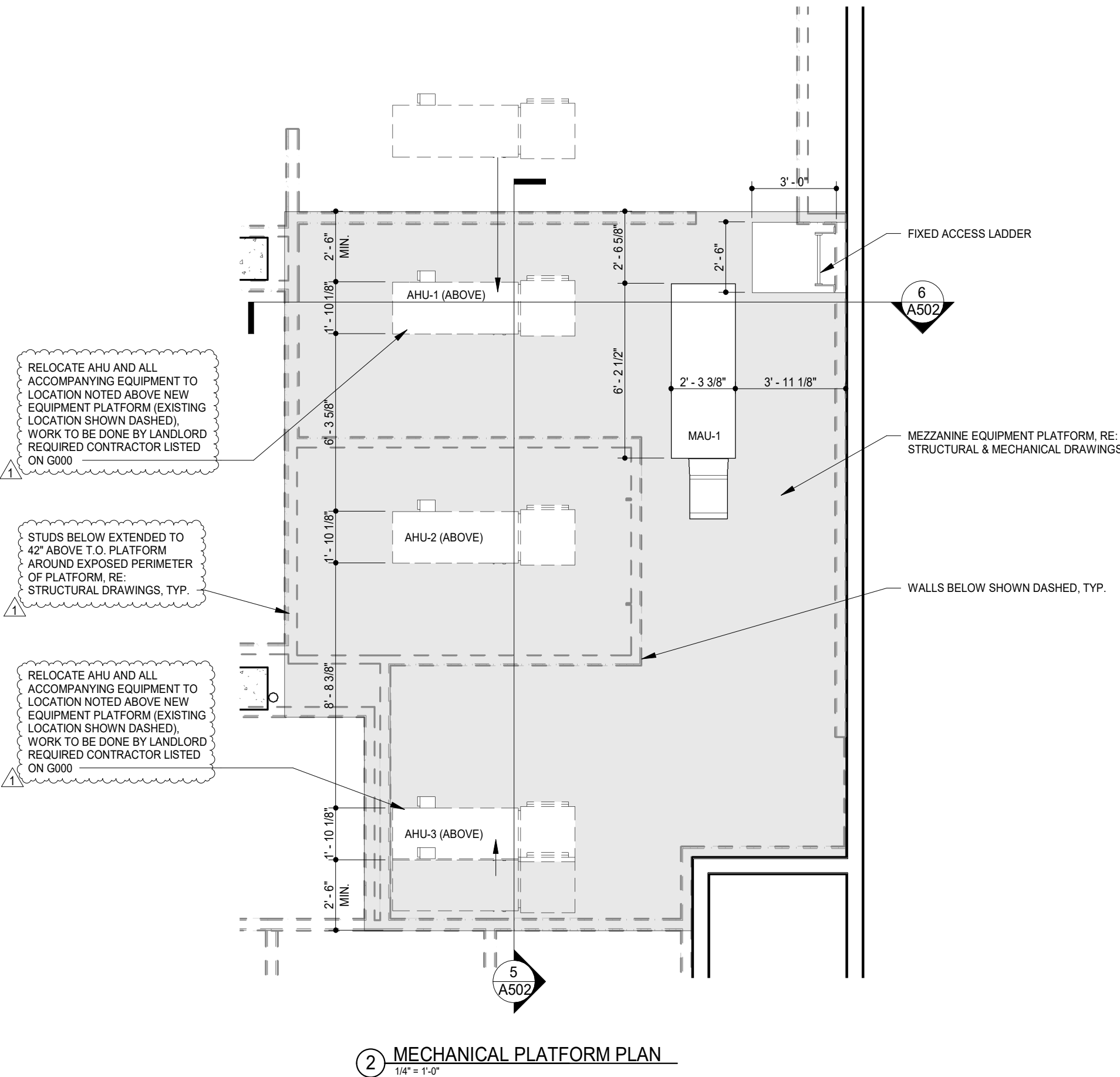
- ALL DIMENSIONS ARE TO F.O. NEW FRAMING, F.O. EXISTING WALL, OR CENTERLINE OF STRUCTURE U.N.O.
- RE: A100 FOR FINISH PLAN
- RE: A501 FOR WALL TYPES INDICATING FRAMING AND SHEATHING
- DOOR JAMBS ARE 4" U.N.O.
- IN SITUATIONS WHERE TENANT'S G.C. IS TO PROVIDE TYPE 'X' GYP. BD. FOR A RATED ASSEMBLY, THE TYPE 'X' GYP. BD. IS REQUIRED TO GO BENEATH THE SHEATHING AND FINISHES.
- RE: A601 FOR STOREFRONT AND DOOR SCHEDULES.
- RE: A710 FOR ENLARGED TOILET ROOM PLAN
- PROVIDE BLOCKING IN WALLS FOR WALL MOUNTED SHELVING AND TOILET ROOM AND KITCHEN FIXTURES. RE: A710, A702 AND A710 FOR LOCATIONS

LEGEND

EXISTING CONSTRUCTION	
NEW CONSTRUCTION	
SOUND BATT INSULATION	
WALK-IN COOLER	
DOOR TYPE, RE: A601	(B)
WALL TYPE, RE: A501	(A1A)



1 ARCHITECTURAL FLOOR PLAN
1/8" = 1'-0"



2 MECHANICAL PLATFORM PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE TO F.O. NEW FRAMING, F.O. EXISTING WALL, OR CENTERLINE OF STRUCTURE UNL.D.
2. RE: A120 FOR FRESH PLANK
3. RE: A501 FOR WALL TYPES INDICATING FRAMING AND SHEATHING
4. DOOR JAMES ARE 4" U.N.D.
5. IN SITUATIONS WHERE TENANT'S G.C. IS TO PROVIDE TYPE "X" GP: BD. FOR A RATED ASSEMBLY, THE TYPE "X" GP: BD. IS REQUIRED TO GO BENEATH THE SHEATHING AND FINISHES.
6. A601 FOR STRECHING AND ROCK WOOL KIDULES.
7. RE: A710 FOR ENLARGED TOILET ROOM PLAN
8. PROVIDE BLOCKING IN WALLS FOR WALL MOUNTED SHERING AND TOILET ROOM AND KITCHEN FIXTURES, RE: A710, A702 AND A720 FOR LOCATIONS

EXISTING CONSTRUCTION

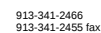
NEW CONSTRUCTION

SOUND BATT INSULATION

WALK-IN COOLER

DOOR TYPE, RE: A601

WALL TYPE, RE: A501



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Santa Clara Square
Store No. 3293
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Issue Record:
09/18/2018 Permit Set

Revised:

Project No.
01456Architectural Floor
Plan

A110



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1401 WYNNCOOP STREET, SUITE 500
DENVER, COLORADO 80202
TELEPHONE: (303) 595-4000
FAX: (303) 595-4014
INTERNET: WWW.CHIPOTLE.COM

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Project No.
01456

Finish Plan

A120

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	CEILING HEIGHT	REMARKS
100	DINING ROOM	F1	B1	RE: PLAN	C1/C2	Structure	
101	BEVERAGE COUNTER	F1/F5	B1	RE: PLAN	C3	9'-0"	
102	PASSAGE	F1	B1	P3/P4 U.N.O.	C3	9'-0"	
103	RESTROOM	F5	B3	P2	C3	8'-0"	RE: A710
104	RESTROOM	F5	B3	P2	C3	8'-0"	RE: A710
105	SERVING	F2	B2	P5	C3	9'-0"	
106	FRONT KITCHEN	F2	B2	P5	C4	10'-0"	
107	BACK KITCHEN	F2	B2	P6	C4	10'-0"	
108	COOLER	F2	B2	P7	C5	9'-6 1/4"	
109	ADMIN	F2	B2	P6	C4	9'-0"	EXTEND PLYWOOD SHEATHING ON WALLS TO DECK

FINISH LEGEND

FLOOR FINISHES		WALL BASE FINISHES		WALL FINISHES		DOOR FINISHES		CEILING/DECK FINISHES	
F1	POLISHED CONCRETE	B1	4" BLACK CERAMIC TILE, NO COVE, RE: 12/A801 FOR DETAILS	P1	GYPSUM BOARD, PAINT "MOONLIT SNOW"	D1	PAINT "VICTORIAN PEWTER"	C1	OPEN TO STRUCTURE, PAINTED VICTORIAN PEWTER
F2	QUARRY TILE	B2	QUARRY TILE - COVE, RE: 9-11/A801	P2	FIBERGLASS REINFORCED PANELS (SMOOTH FINISH) TO 4'-3" A.F.F., RUN HORIZONTALLY PER A710.	D2	PAINT "KNIGHT'S ARMOR"	C2	METAL FIN CEILING SYSTEM
F3	NOT USED			P3	GYPSUM BOARD, PAINT "THIN ICE", SATN FINISH ABOVE 4'-4" A.F.F.			C3	GYPSUM BOARD, PAINT "MOONLIT SNOW"
F4	NOT USED			P4	GYPSUM BOARD, PAINT "THIN ICE", SEMI-GLOSS FINISH BELOW 4'-4" A.F.F.			C4	2X4 VINYL-FACED LAY-IN
F5	RESINOUS FLOORING	B3	4" BLACK CERAMIC TILE - COVE, RE: 14/A801	P5	CERAMIC TILE, RE: A802			C5	EXPOSED COOLER PANEL (EMBOSSED COATED STEEL)
		B4	QUARRY TILE - NO COVE, RE: 15/A801	P6	FIBERGLASS REINFORCED PANELS (PEBBLED FINISH)				
		B5	CERAMIC TILE, ROTATE VERTICALLY AND CUT TO FIT, RE: 16/A802	P7	EXPOSED COOLER WALL (EMBOSSED COATED STEEL, PROVIDE SMOOTH FINISH STAINLESS STEEL TO 48" AFF ON KITCHEN SIDE)				
				P8	GYPSUM BOARD, PAINT "AUTUMN RIDGE" BEHIND SLAT WALL ONLY, PAINT TRANSITION INSET 1/2" FROM OUTSIDE SLAT WALL EDGE				
				P9	WOOD SLAT WALL SYSTEM				
				P10	STONEWOOD WAINSCOT, RE: 7/A801				

INTERIOR WALL AND CEILING FINISH REQUIREMENTS

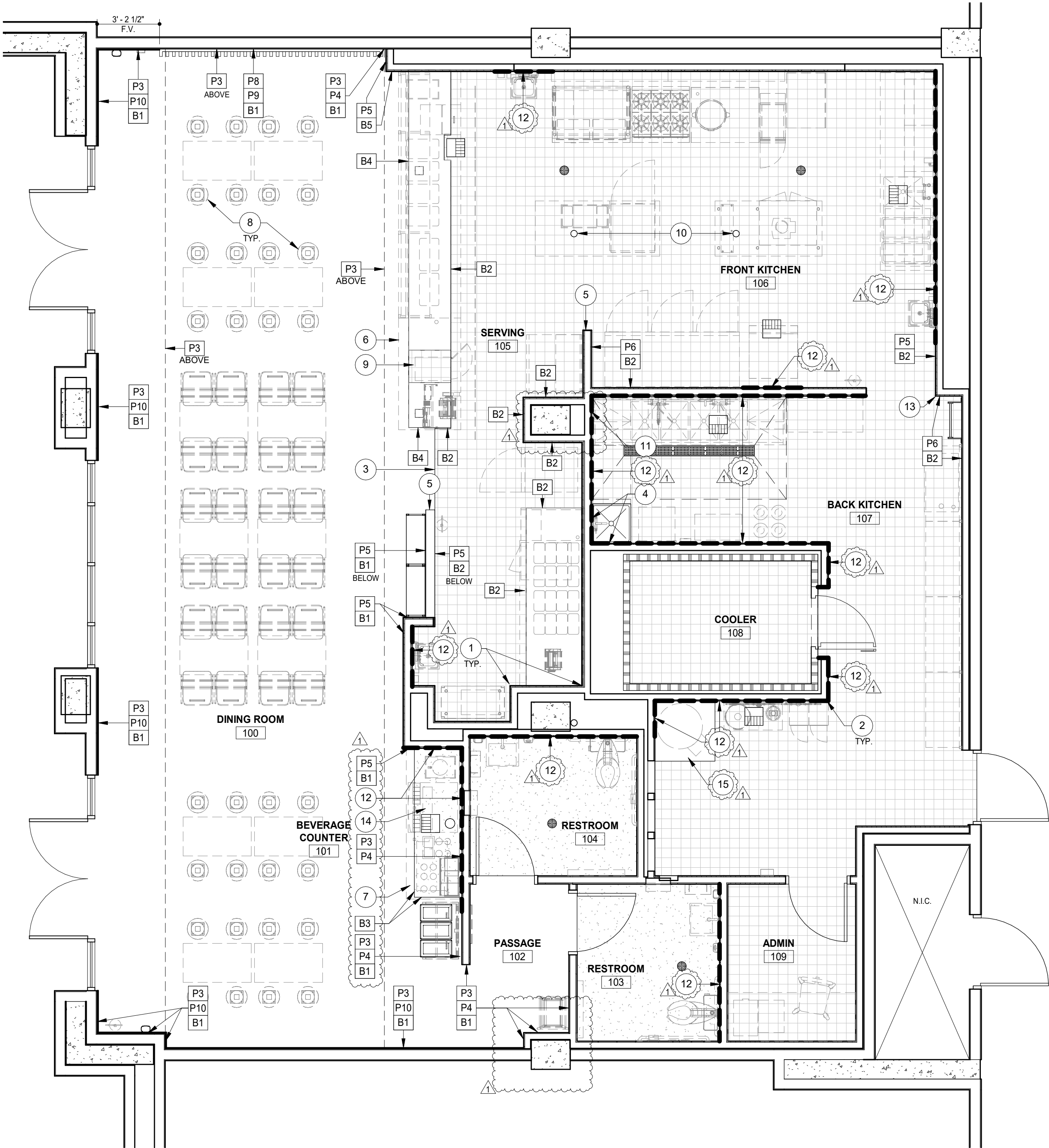
SPRINKLERED		NON-SPRINKLERED	
GROUP	EXIT ENCLOSURES & EXIT PASSAGEWAYS	GROUP	EXIT ENCLOSURES & EXIT PASSAGEWAYS
A-2	B	A	B
B	C	A	B
*RE: A200 FOR GROUP TYPE AND IF BUILDING IS SPRINKLERED OR NON-SPRINKLERED			

GENERAL NOTES

1. PAINT ALL GYPSUM BOARD CEILINGS "MOONLIT SNOW," U.N.O.
2. RE: A801 AND A802 FOR STANDARD FINISH DETAILS
3. CHANGE FLOOR MATERIALS UNDER DOOR WHERE OCCURS
4. ALL FINISHES TO BE CLASS C
5. ENSURE THAT ALL STOREFRONT HAS CONTINUOUS, CLEAN SEALANT AROUND THE INTERIOR AND EXTERIOR PERIMETER BETWEEN THE STOREFRONT AND ADJACENT WALL FINISHES
6. GC IS RESPONSIBLE FOR SEQUENCING OF PREWIRING WITH COMPLETION OF INTERIOR FINISHES
7. WOOD SLAT WALL AND CEILING ELEMENT PROVIDED BY TMS, INSTALLED BY GC.
8. ALL FINISHED WOOD SLATS SHALL HAVE A POST-CATALYZED CONVERSION VARNISH, TOUCH UP IN FIELD AS NECESSARY PER SPECIFICATIONS
9. PROVIDE STAINLESS STEEL BASE AT ALL OUTSIDE QUARRY TILE CORNERS, RE: SPECS
10. PROVIDE WATER PROOFING AT ALL KITCHEN AND RESTROOM WALLS, RE: A801 AND QUARRY TILE BASE SPEC

FINISH PLAN KEYNOTES

- 1 RE: 4 AND 5/A802 FOR CERAMIC TILE CORNER DETAILS
- 2 RE: 2/A801 FOR STAINLESS STEEL CORNER GUARD AT FRP
- 3 PROVIDE FLOOR TRANSITION PER DETAIL 5/A801, ALIGN WITH KITCHEN SIDE OF PARTIAL HEIGHT WALL
- 4 PROVIDE STAINLESS STEEL TO 24" ABOVE MOP SINK, FLASH BOTTOM EDGE OVER MOP SINK RM, BEND STAINLESS STEEL AT INSIDE CORNER SO THERE IS NO JOINT, RE: 3/A801
- 5 RE: 1/A801 FOR ALUMINUM ENDCAP DETAIL
- 6 STONEWOOD PANELS ON SERVING LINE UNIT BY EQUIPMENT SUPPLIER
- 7 UTENSIL COUNTER BY MILLWORK SUPPLIER, RE: A130
- 8 EQUIPMENT AND FURNITURE SHOWN DASHED, RE: A130
- 9 INSTALL QUARRY TILE ON TOP OF SERVE LINE CURB WHERE INDICATED, INSTALL BULLNOSE TILE AT TOP FRONT EDGE TO LAP OVER CUT BASE TILE, RE: 15/A801
- 10 RE: 8/A801 FOR DETAIL AT PREP/CUTTING TABLE POWER SOURCE
- 11 PROVIDE STAINLESS STEEL FLASHING WHERE 4-COMP IS AGAINST THE WALL TO 1" ABOVE TOP OF 4-COMP SPLASH, FLASH BOTTOM EDGE OVER 4-COMP SINK SPLASH, BEND STAINLESS STEEL AT INSIDE CORNER SO THERE IS NO JOINT, RE: 5/A130 FOR DETAIL
- 12 WATERPROOFING SHALL EXTEND FULL HEIGHT OF FINISH AT THIS LOCATION ONLY (NOTED BY THICK BLACK LINE)
- 13 RE: 8/A802 FOR TILE TO FRP CORNER
- 14 APPLY RESINOUS FLOORING TO T.O. BEVERAGE COUNTER CURB
- 15 QUARRY TILE ON TOP OF WATER HEATER CURB



GENERAL NOTES

1. RE: A131 FOR EQUIPMENT SCHEDULES
2. ALL DIMENSIONS TO FACE OF GYPSUM BOARD, FACE OF FINISH PLYWOOD, CENTERLINE OF FURNITURE OR COLUMN GRID, U.N.O.
3. MAINTAIN MINIMUM 3'-0" CLEAR @ QUEUE LINE & EXIT PATHWAYS, TYP.
4. RE: INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS
5. PROVIDE BLOCKING IN WALLS FOR WALL-MOUNTED ARTWORK, TOILET ROOM AND KITCHEN FIXTURES
6. A CONCRETE SLAB IS PROVIDED FOR TRASH, GARBAGE AND GREASE CONTAINER STORAGE. WALL ENCLOSING AREA SHALL BE SMOOTH, SEALED AND WASHABLE.
7. PROVIDE FIRE EXTINGUISHERS AS FOLLOWS:
(2) TYPE ABC - LOCATE PER FIRE MARSHAL
(1) TYPE K - LOCATE PER FIRE MARSHAL
(1) HOOD SUPPRESSION SYSTEM

LANDLORD REQUIRED NOTES

1. AN ACORN TYPE CAP NUT OR EQUIVALENT IS TO BE UTILIZED TO SECURE THE PROPOSED STOOLS (SE) TO THE SLAB IN ORDER TO HIDE THE EXPOSED THREAD.
2. THE POSSCASH REGISTERS MUST BE EITHER RECESSED INTO THE COUNTERTOP AT THE CASH WRAP AND/OR HAVE A SCREEN TO CONCEAL THE BACKS OF THE EQUIPMENT FROM PUBLIC VIEW.

56 interior seats

Patio - no designated patio - no exterior service of alcohol

JOHN M DUNGAN
ARCHITECT

8826 Santa Fe Drive
Suite 304
Overland Park, KS 66212

913-341-2466
913-341-2455 fax

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TELEPHONE: (303) 595-4000
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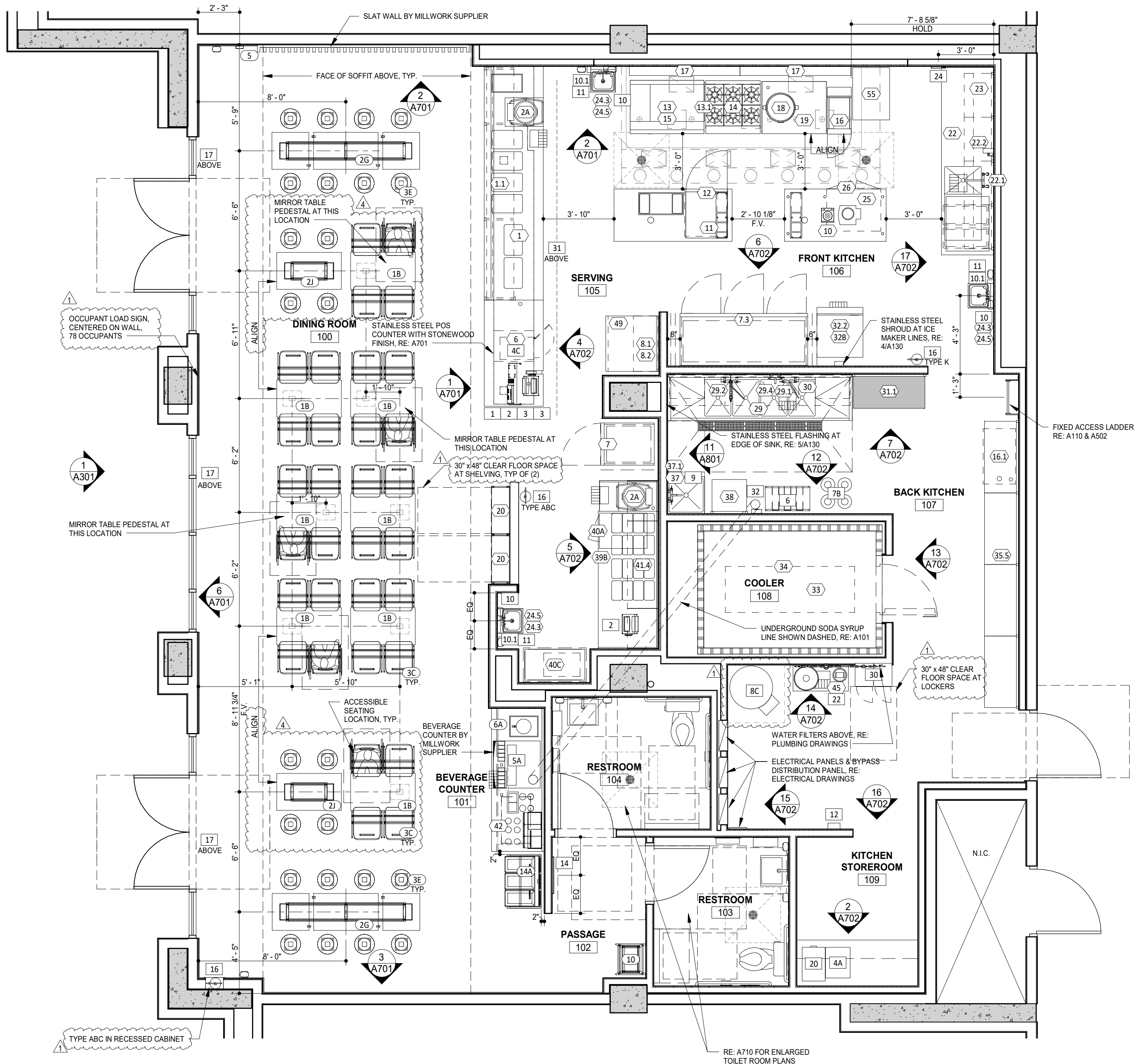
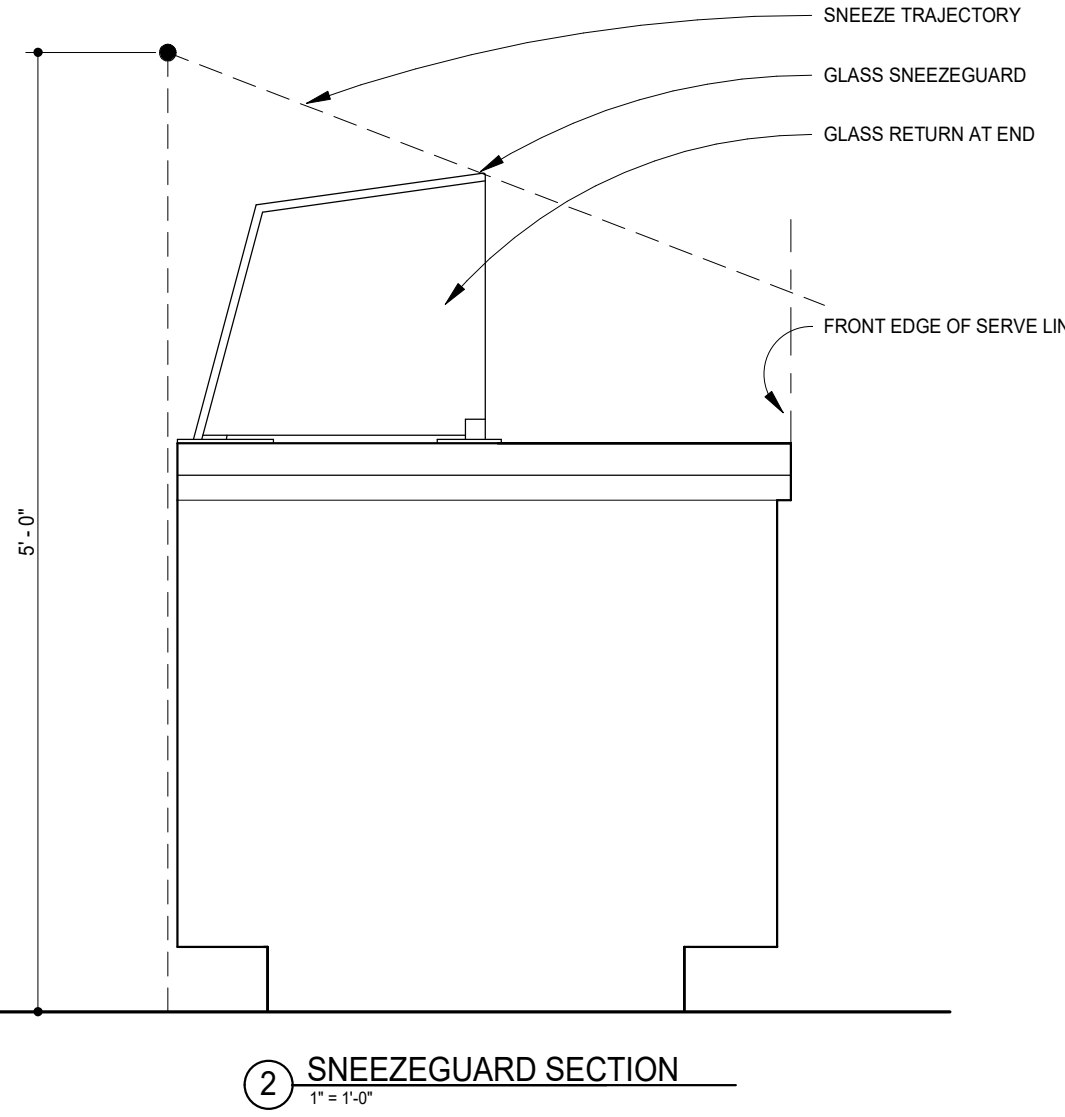
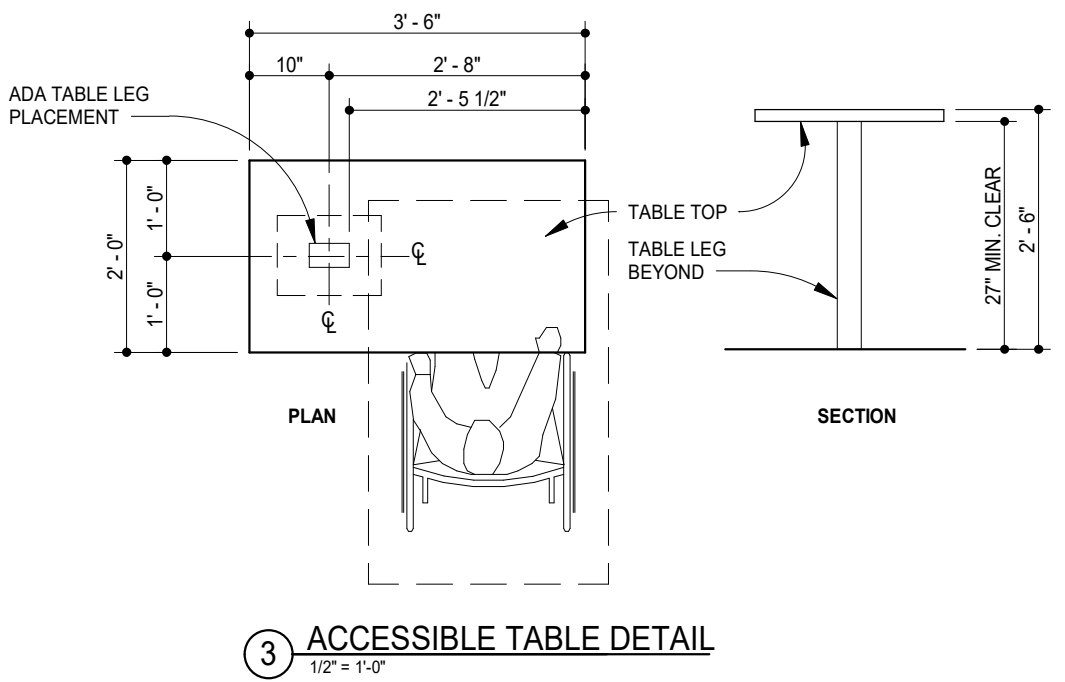
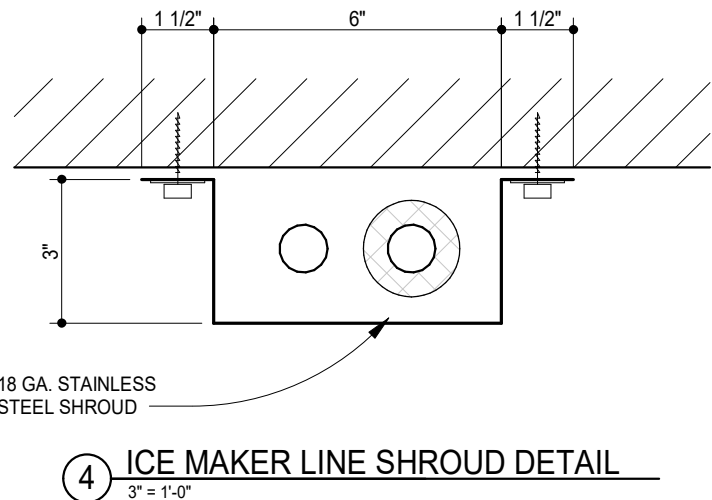
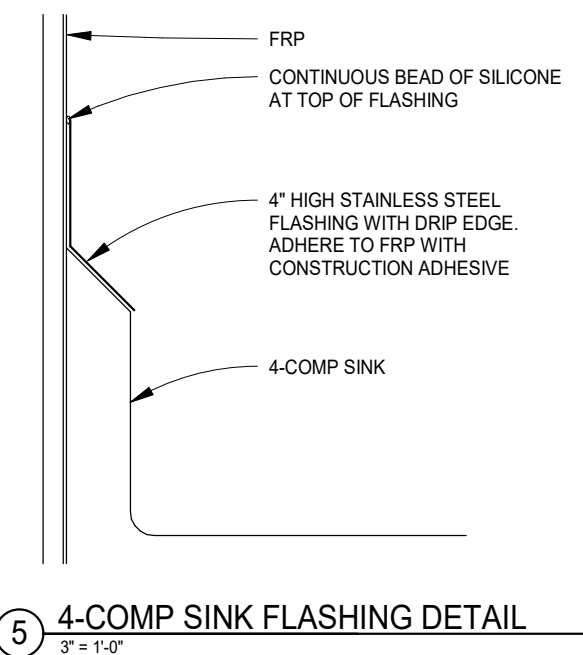
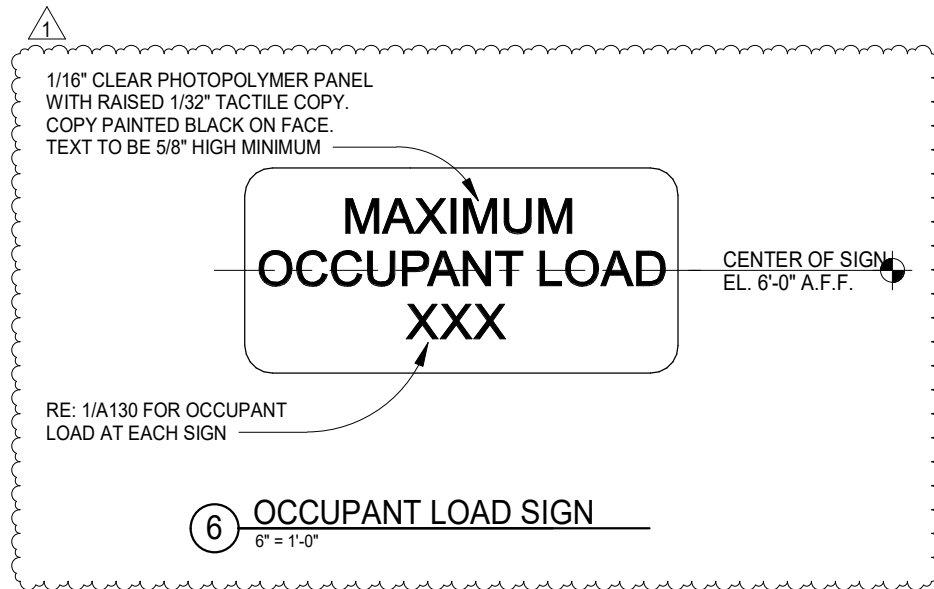
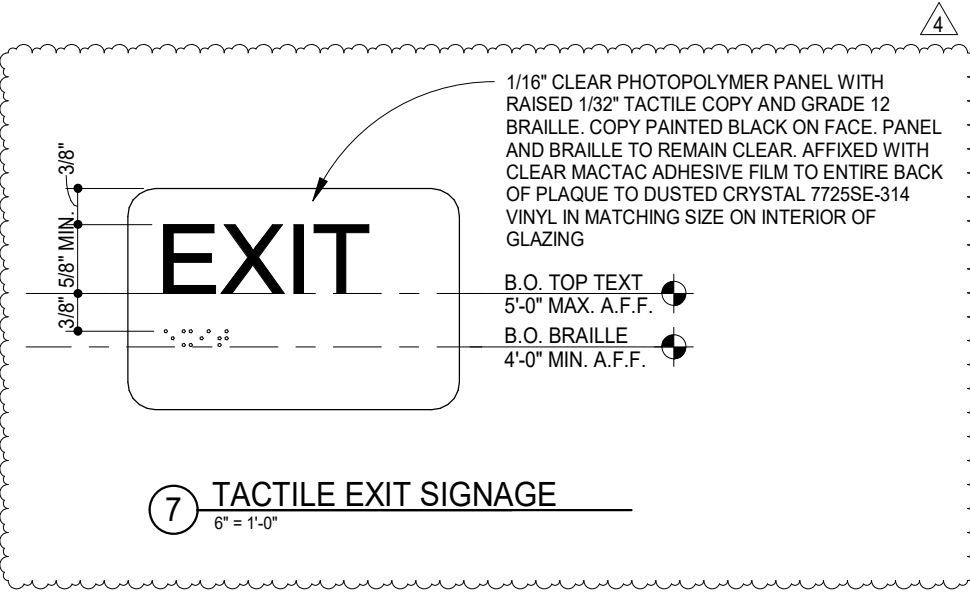
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11/02/2018	Bid Set
02/26/2019	Construction Set

Revisions:	
10/26/2018	City/LL Comments
01/30/2019	City Comments 3

Project No.
01456

Fixtures, Furniture &
Equipment Plan

A130



1 FURNITURE, FIXTURE & EQUIPMENT PLAN
1/4\"/>

GENERAL NOTES

1. SIGNAGE IS SHOWN ONLY FOR PLACEMENT, SCALE & DESIGN INTENT. ALL SIGNAGE SHALL BE REVIEWED UNDER SEPARATE PERMIT.
2. PATCH AND REPAIR ALL FACADES IN PREMISES WHERE EXISTING SIGNS OR FIXTURES HAVE BEEN REMOVED OR WHERE FACADE HAS BEEN DAMAGED OR IS DISCLOSED.
3. ENSURE THAT ALL STOREFRONT HAS CONTINUOUS, CLEAN SEALANT AROUND THE INTERIOR AND EXTERIOR PERIMETER BETWEEN THE STOREFRONT AND THE EXTERIOR WALL FINISHES.

JOHN M DUNGAN
ARCHITECT

8826 Santa Fe Drive
Suite 304
Overland Park, KS 66212

913-341-2466
913-341-2455 fax

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1401 WYNKOOP STREET, SUITE 500
DENVER, COLORADO 80202
TELEPHONE: (303) 595-4000
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Santa Clara Square
Store No. 3293
3249 Coronado Place
Santa Clara, CA 95054

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Project No.
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Exterior Elevations

A301



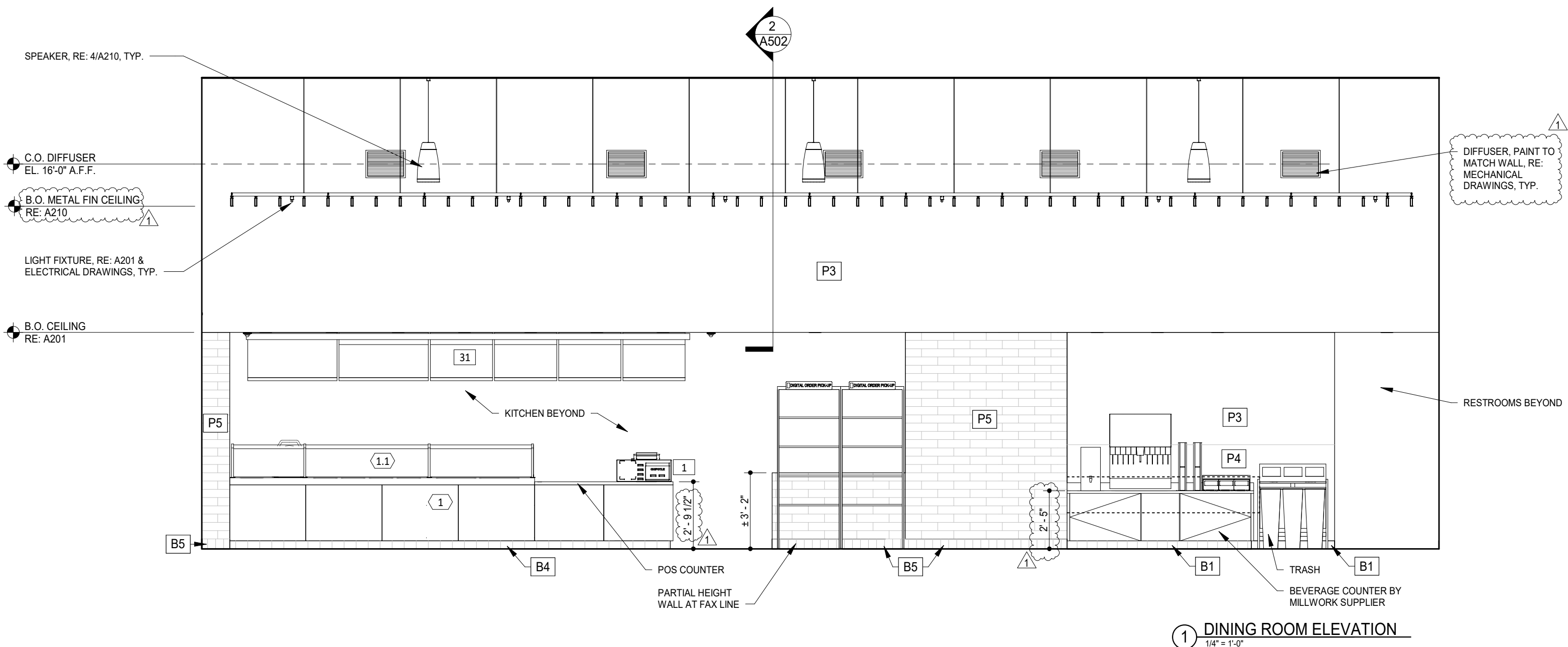
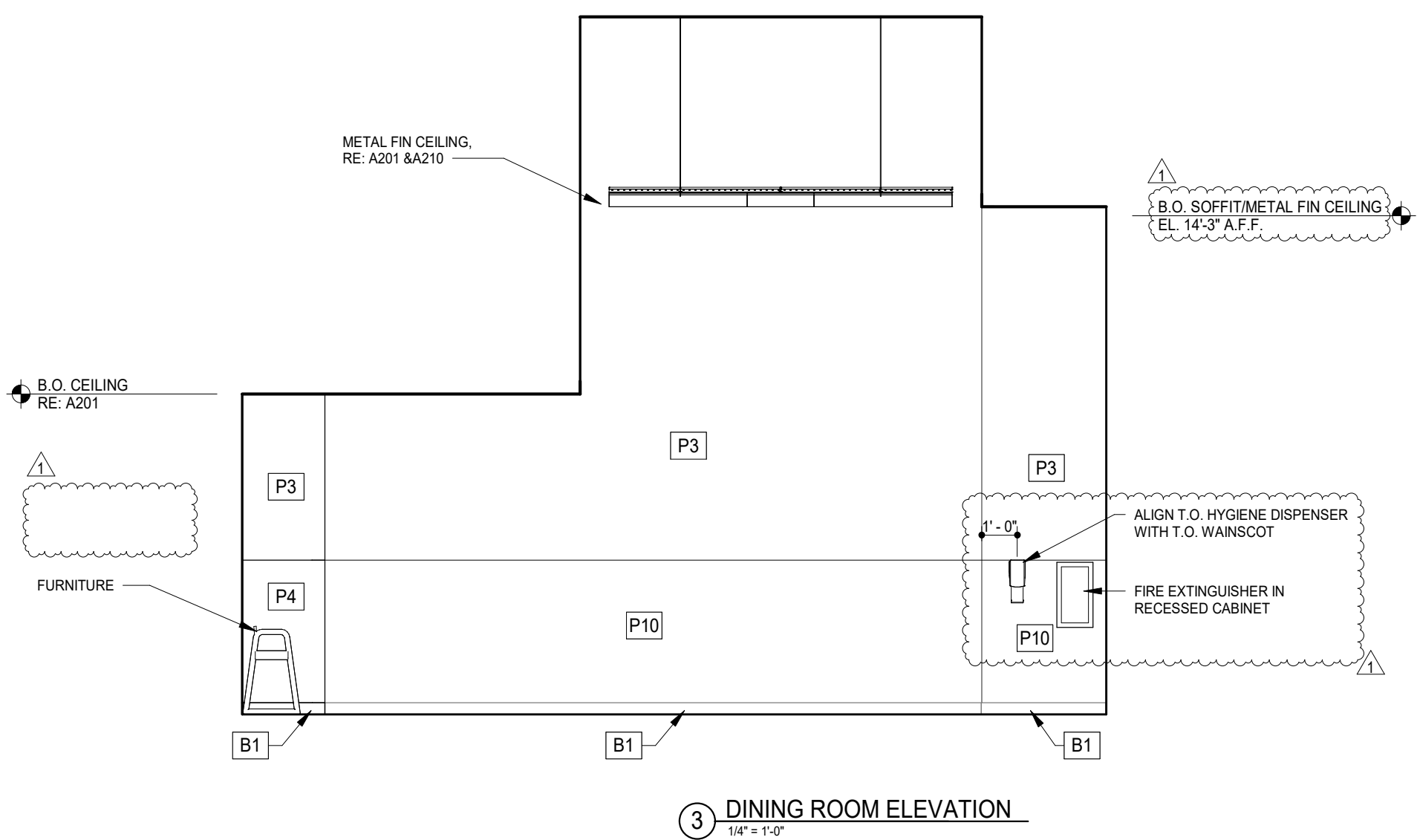
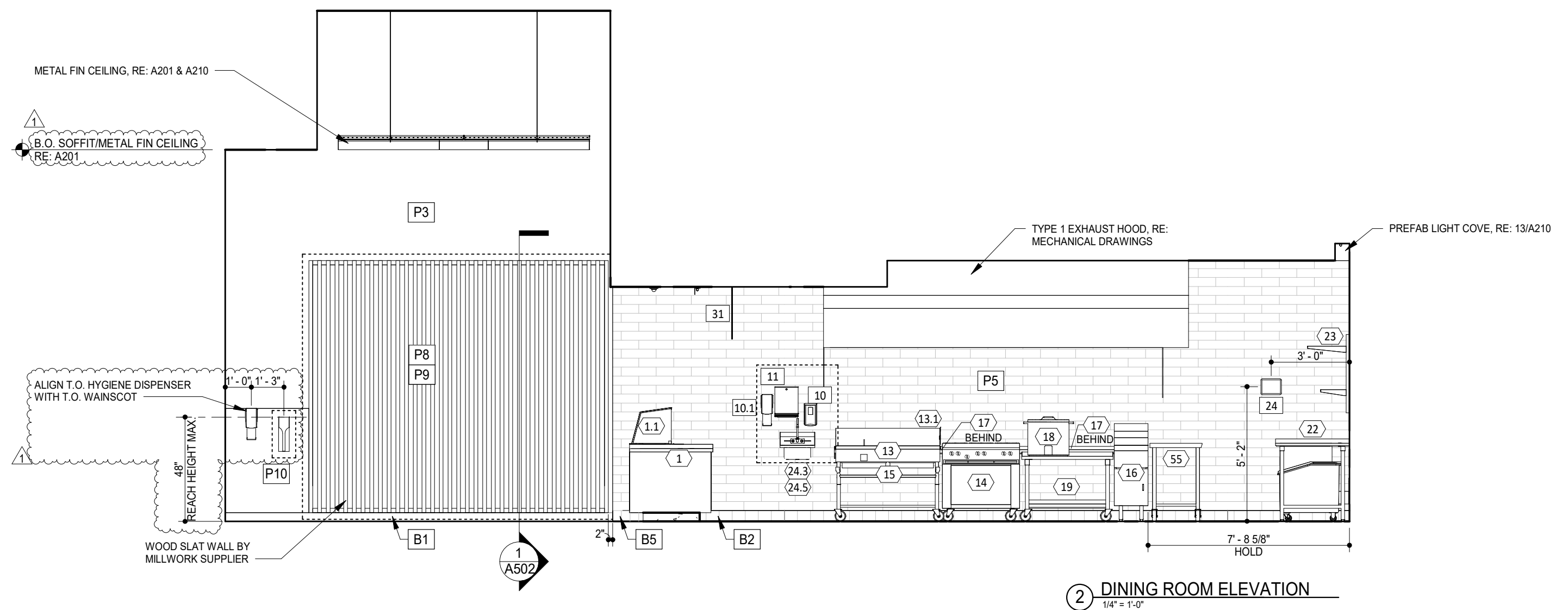
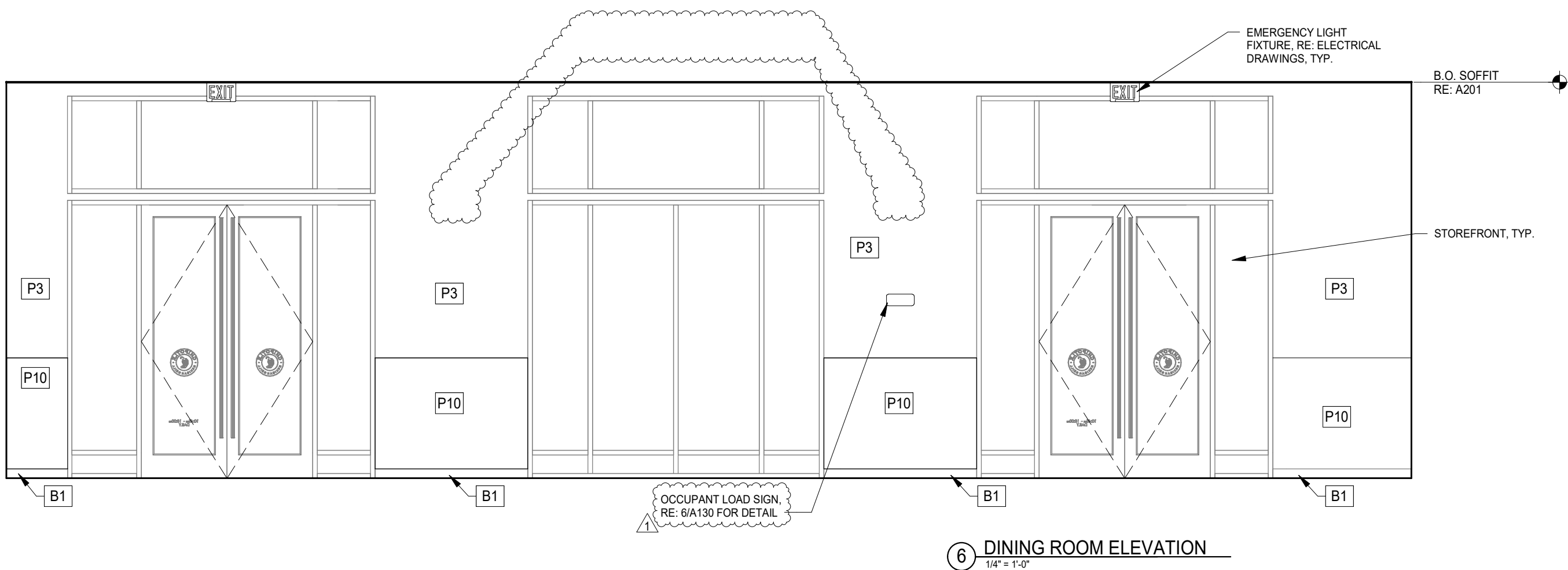
1 WEST (FRONT) ELEVATION
1/4" = 1'-0"

FINISH LEGEND

WALL BASE FINISHES		WALL FINISHES		DOOR FINISHES	
B1	4" BLACK CERAMIC TILE, NO COVE, RE: 12/A801 FOR DETAILS	P1	GYP SUM BOARD, PAINT "MOONLIT SNOW"	D1	PAINT "VICTORIAN PEWTER"
B2	QUARRY TILE - COVE, RE: 9-11/A801	P2	FIBERGLASS REINFORCED PANELS (SMOOTH FINISH) TO 4'-3" A.F.F., RUN HORIZONTALLY PER A710.	D2	PAINT "KNIGHTS ARMOR"
B3	4" BLACK CERAMIC TILE - COVE, RE: 14/A801	P3	GYP SUM BOARD, PAINT "THIN ICE", SATIN FINISH ABOVE 4'-4" A.F.F.		
B4	QUARRY TILE - NO COVE, RE: 15/A801	P4	GYP SUM BOARD, PAINT "THIN ICE", SEMI-GLOSS FINISH BELOW 4'-4" A.F.F.		
		P5	CERAMIC TILE, RE: A802		
B5	CERAMIC TILE, ROTATE VERTICALLY AND CUT TO FIT, RE: 16/A802	P6	FIBERGLASS REINFORCED PANELS (PEBBLED FINISH)		
		P7	EXPOSED COOLER WALL (EMBOSSED COATED STEEL), PROVIDE SMOOTH FINISH STAINLESS STEEL TO 48" AFF ON KITCHEN SIDE		
		P8	GYP SUM BOARD, PAINT "AUTUMN RIDGE" BEHIND SLAT WALL ONLY. PAINT TRANSITION INSET 1/2" FROM OUTSIDE SLAT WALL EDGE		
		P9	WOOD SLAT WALL SYSTEM		
		P10	STONEWOOD WAINSCOT, RE: 7/A801		

ELEVATION SCHEDULE

ITEM	REMARKS
ALUMINUM END CAP	RE: 1/A801 FOR DETAIL
BEVERAGE COUNTER	RE: SHOP DRAWINGS FROM MILLWORK SUPPLIER, RE: G002 FOR REACH RANGE COMPLIANCE
CERAMIC TILE	RE: A802 FOR NOTES AND DETAILS
DIFFUSER	RE: MECHANICAL DRAWINGS
FURNITURE	RE: SHOP DRAWINGS FROM MILLWORK SUPPLIER, G.C. TO INSTALL PRE-ASSEMBLED FURNITURE
HOLLOW METAL DOOR AND FRAME	RE: A601 FOR DOOR SCHEDULE
LIGHT COVE	RE: A201 & A210 FOR DETAILS
LIGHT FIXTURE	RE: A210
MENU ASSEMBLY	RE: A210
MENU HOLDER	RE: A131
PAINT FINISH	RE: A120 AND SPECIFICATIONS FOR PAINT FINISHES
PARTIAL HEIGHT WALL AT FAX LINE	MIN. HEIGHT OF 36". BOTTOM OF ALUMINUM CAP TO ALIGN WITH NEAREST GROUT JOINT. RE: 3/A802
PERMIT FRAME	PRE-ASSEMBLED PERMIT FRAME
POS COUNTER	RE: SHOP DRAWINGS FROM MILLWORK SUPPLIER
QUARRY TILE BASE	RE: A801 FOR DETAILS
SPEAKER	RE: A201 FOR LOCATIONS
STOREFRONT	EXISTING STOREFRONT WITH INSULATED GLAZING
SUSPENDED METAL FIN CEILING	RE: A201 & A211
TRASH	TRASH SURROUND BY TMS, INSTALLED BY GC
WOOD SLAT WALL	RE: 2/502 FOR SECTION, RE: MILLWORK SHOP DRAWINGS
	DENOTES WOOD BLOCKING IN WALL BEHIND WALL MOUNTED OBJECT U.N.O.



JOHN M DUNGAN
ARCHITECT

8826 Santa Fe Drive
Suite 304
Overland Park, KS 66212

913-341-2466
913-341-2455 fax

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01456

Elevations - Interior
Dining

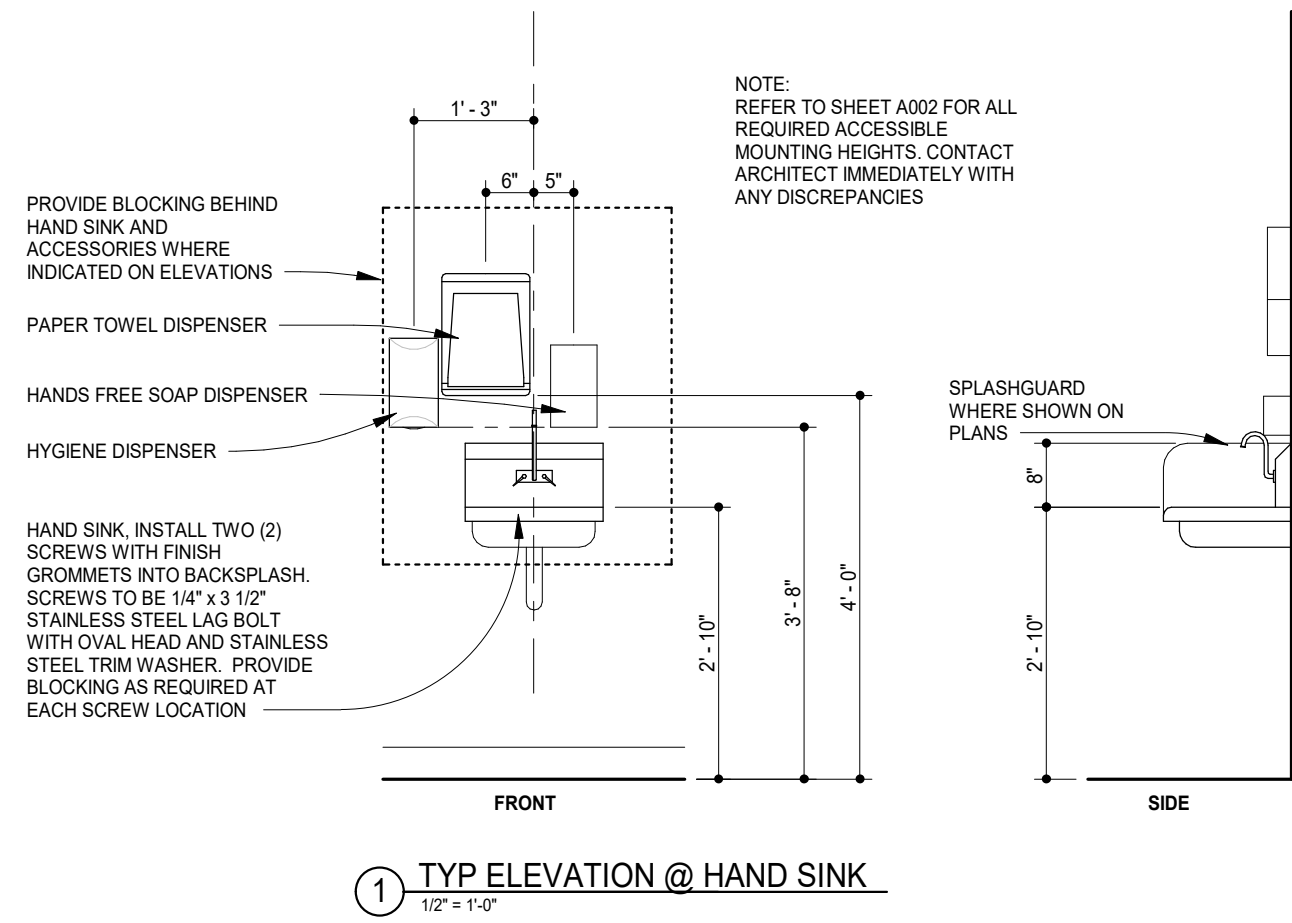
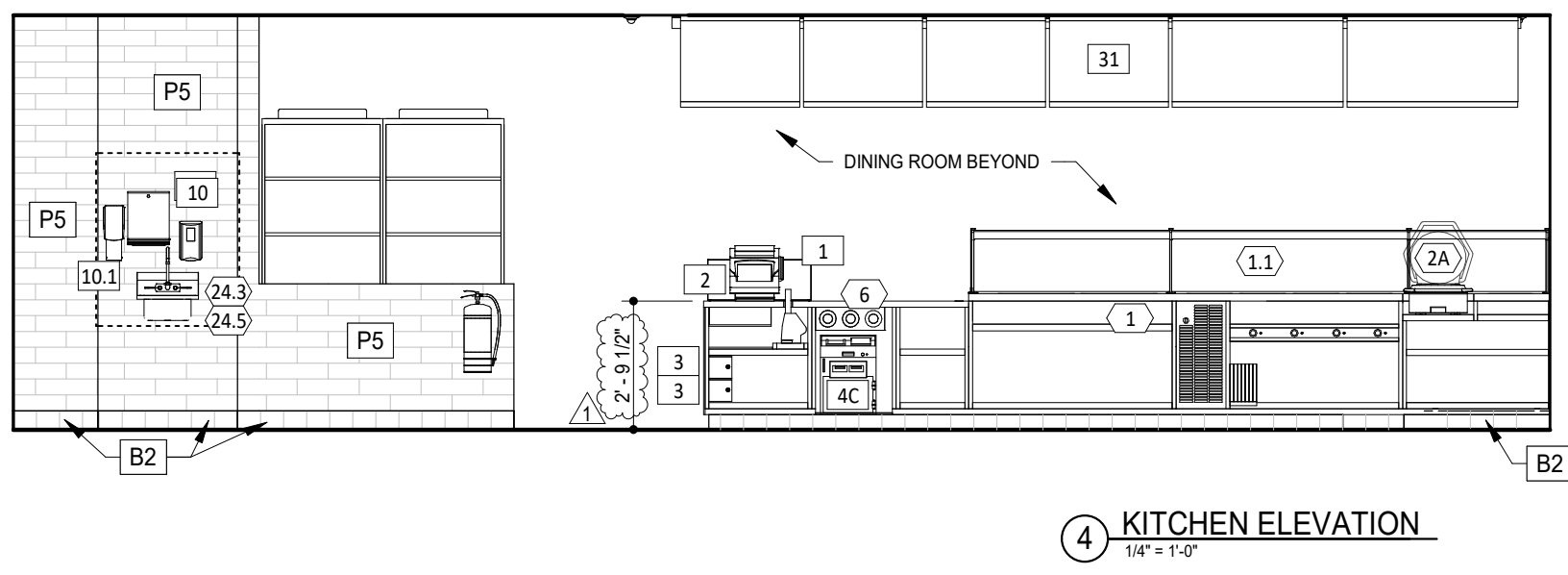
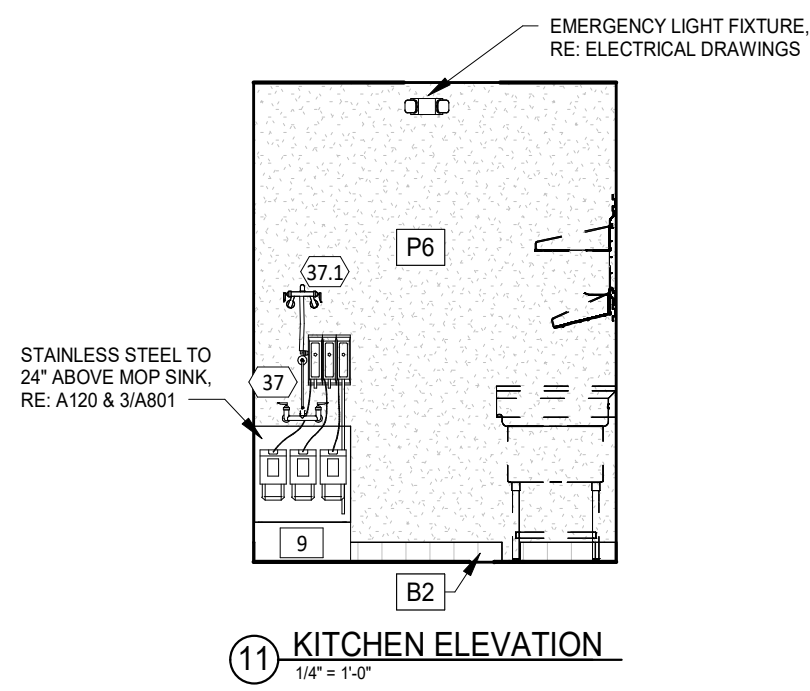
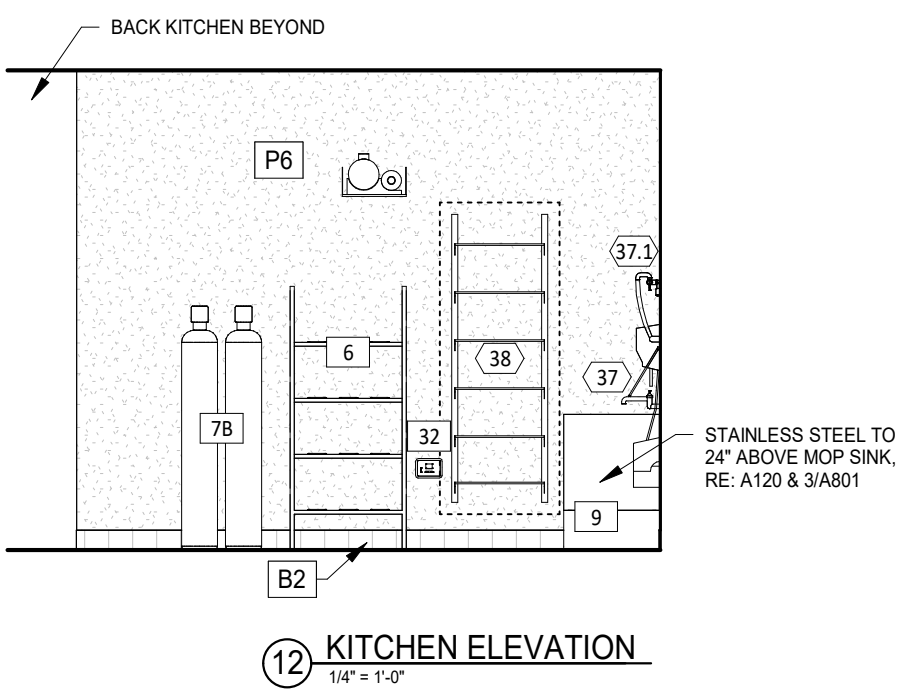
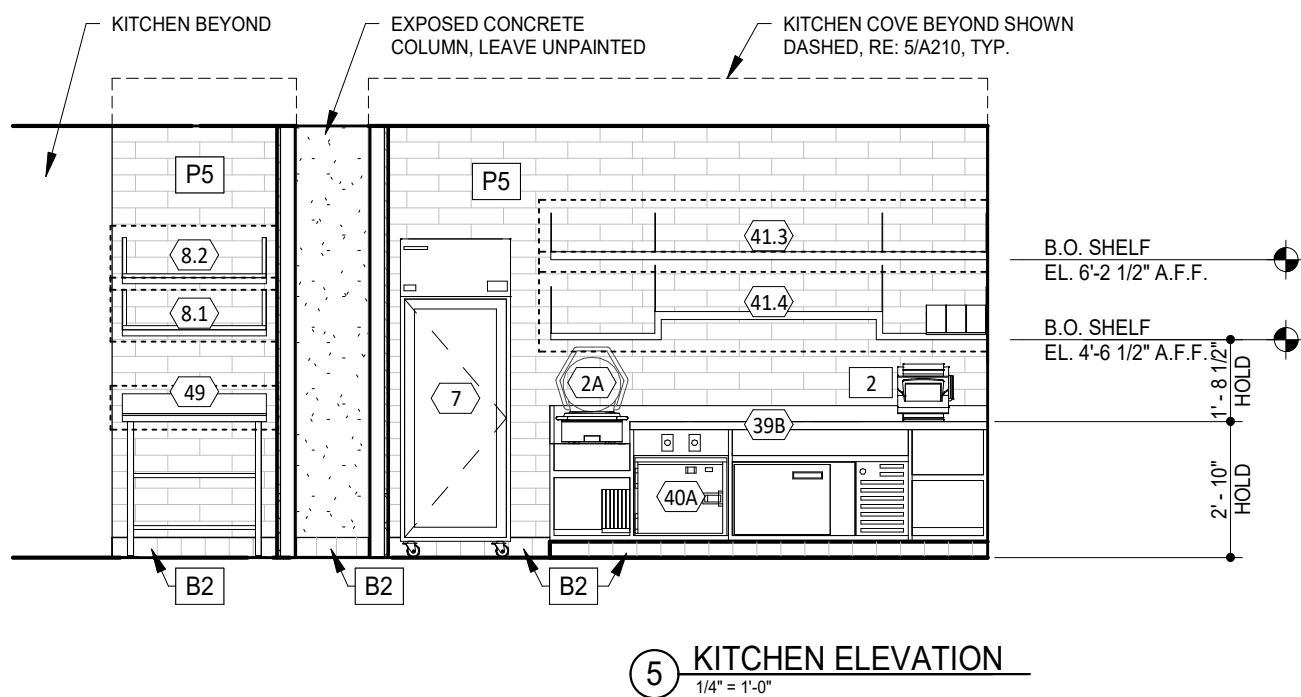
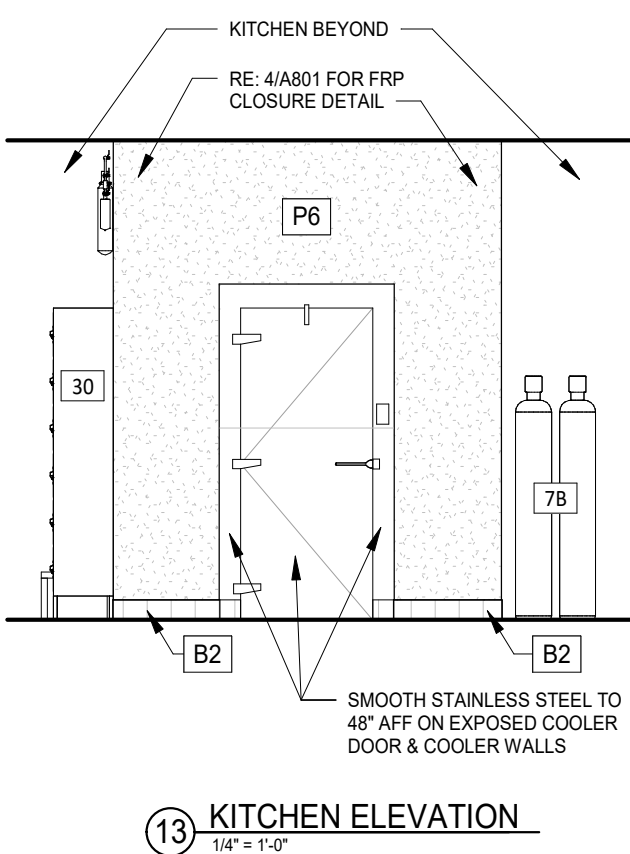
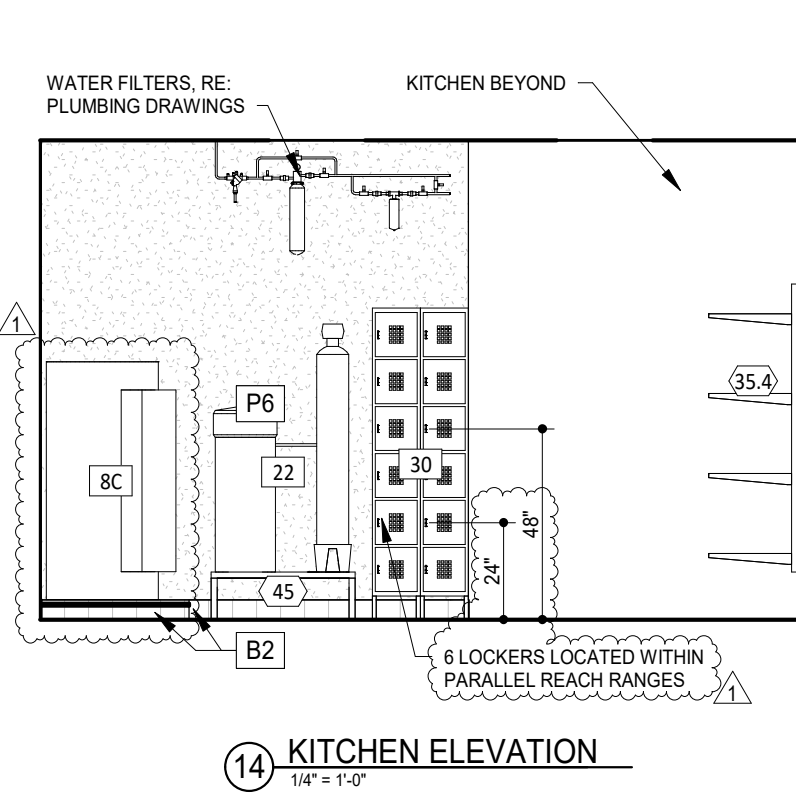
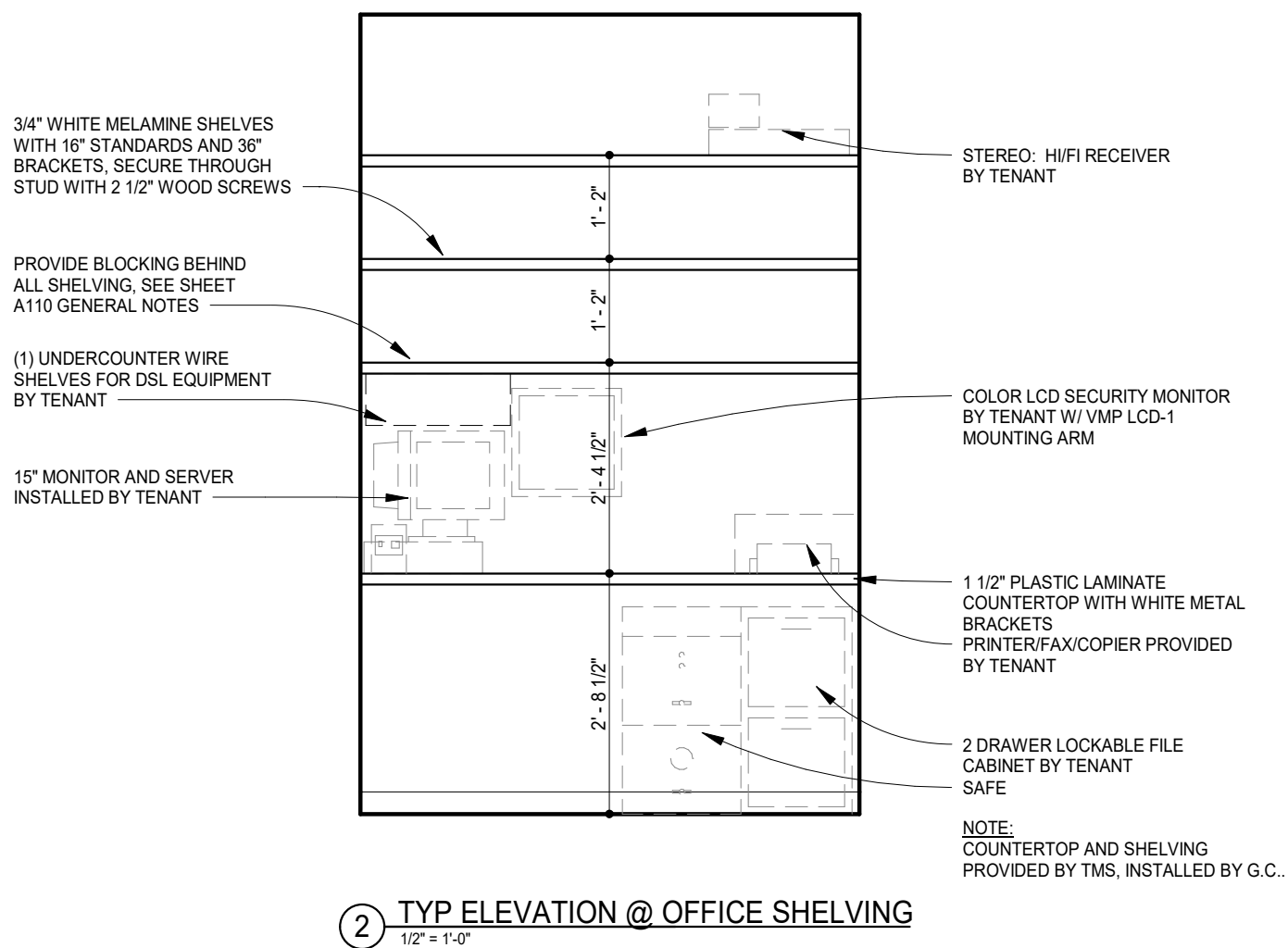
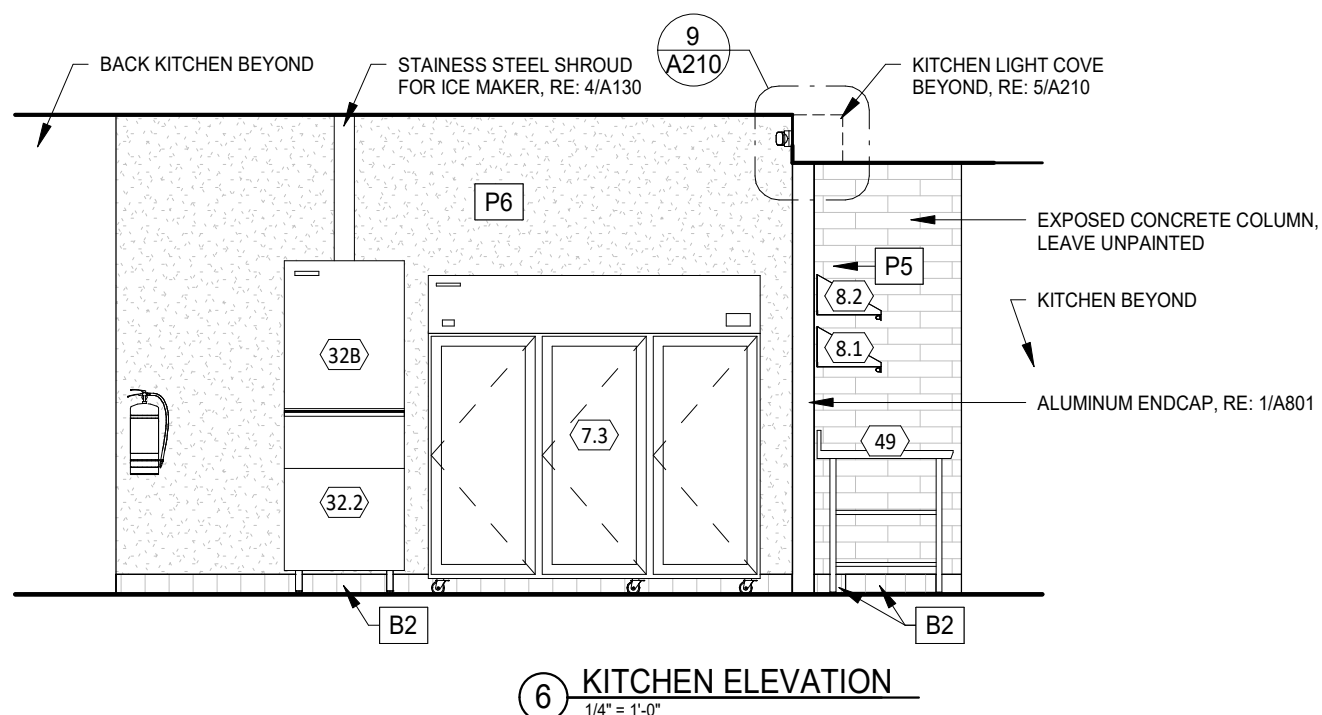
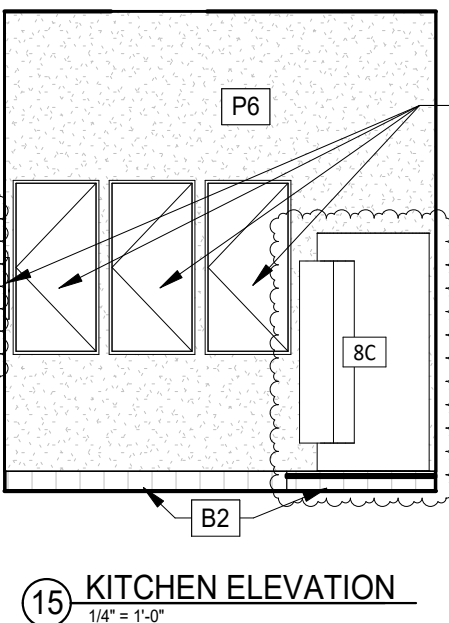
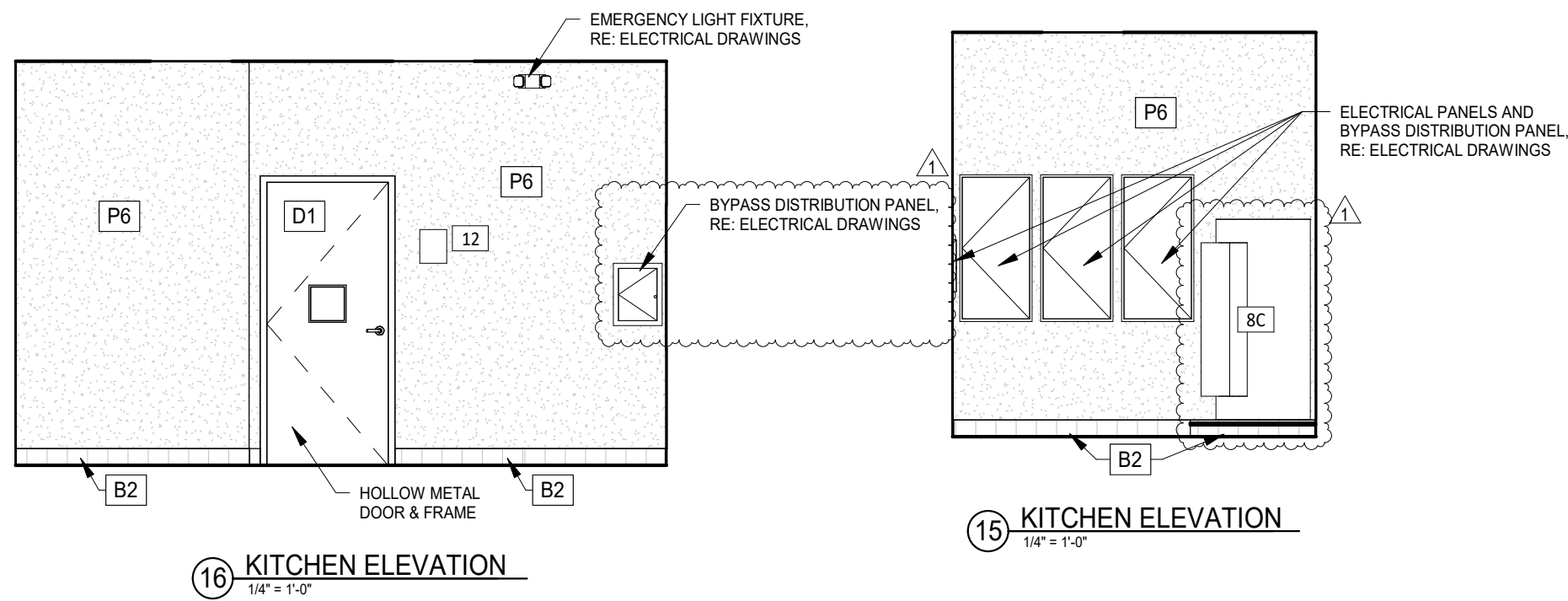
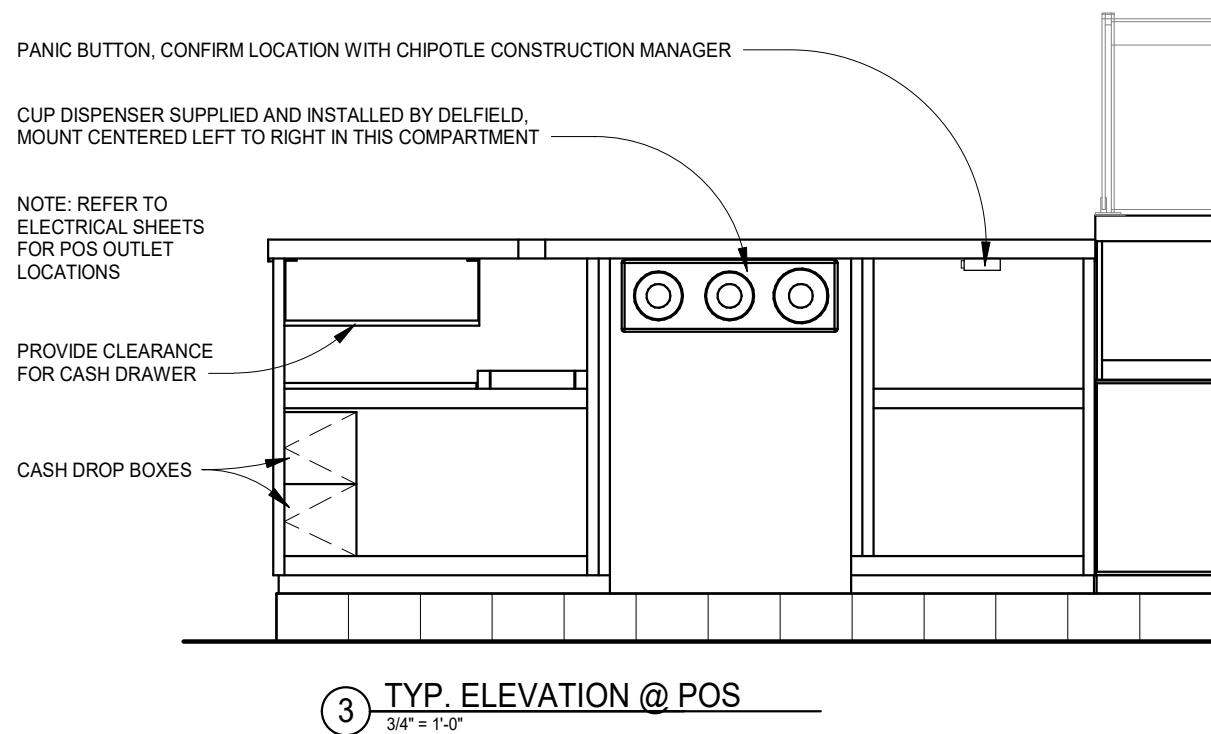
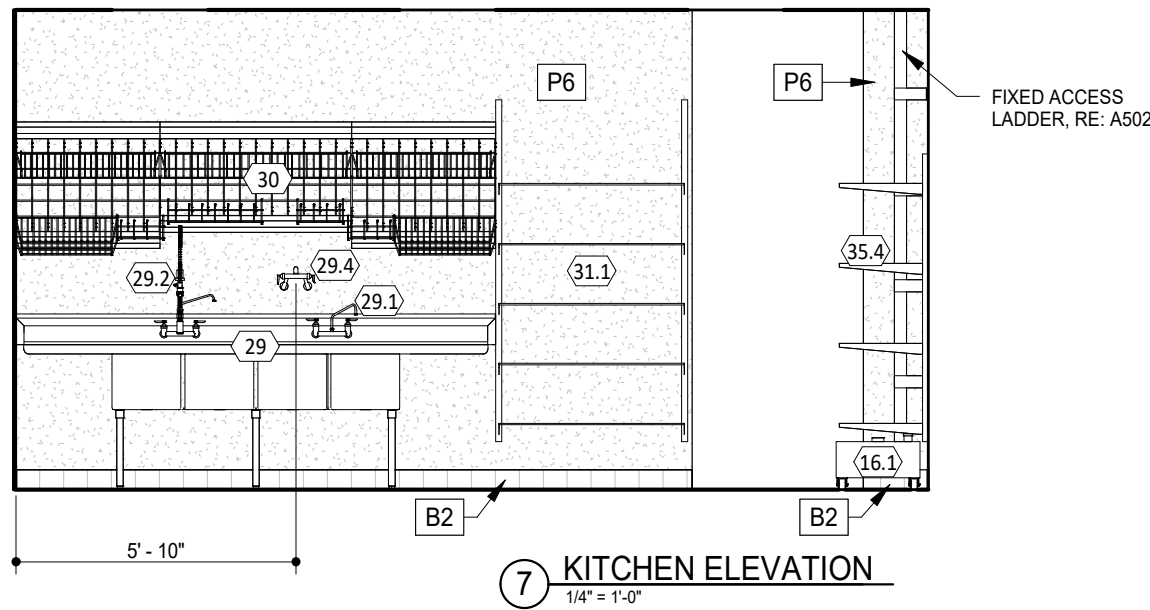
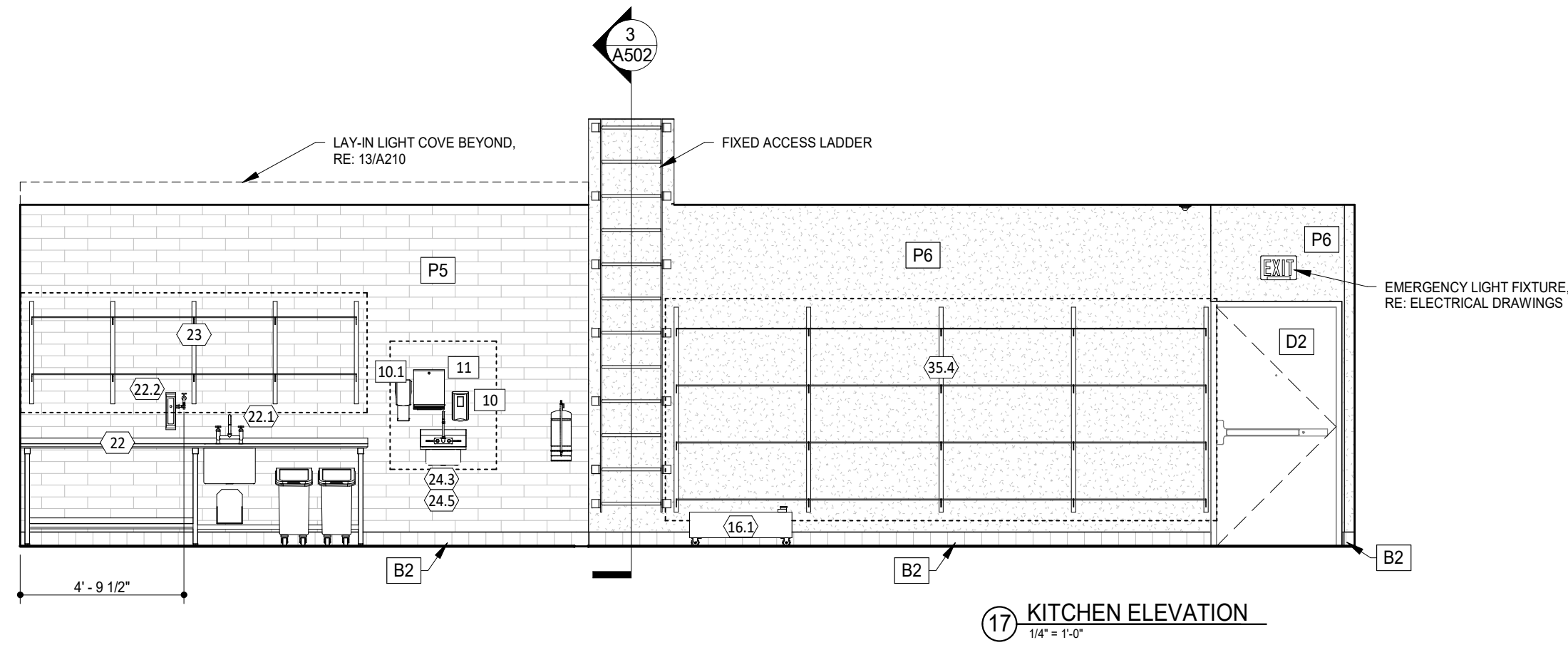
A701

FINISH LEGEND

WALL BASE FINISHES		WALL FINISHES		DOOR FINISHES	
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HOLLOW METAL DOOR AND FRAME	RE: A801 FOR DOOR SCHEDULE
LIGHT COVE	RE: A201 & A210 FOR DETAILS
LIGHT FIXTURE	RE: A210
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Elevations - Interior
Kitchen

A702