



Development Review Hearing

**Item # 4: 3034 Cameron
Way**

March 11, 2026

Summer Foss, Assistant Planner



Request

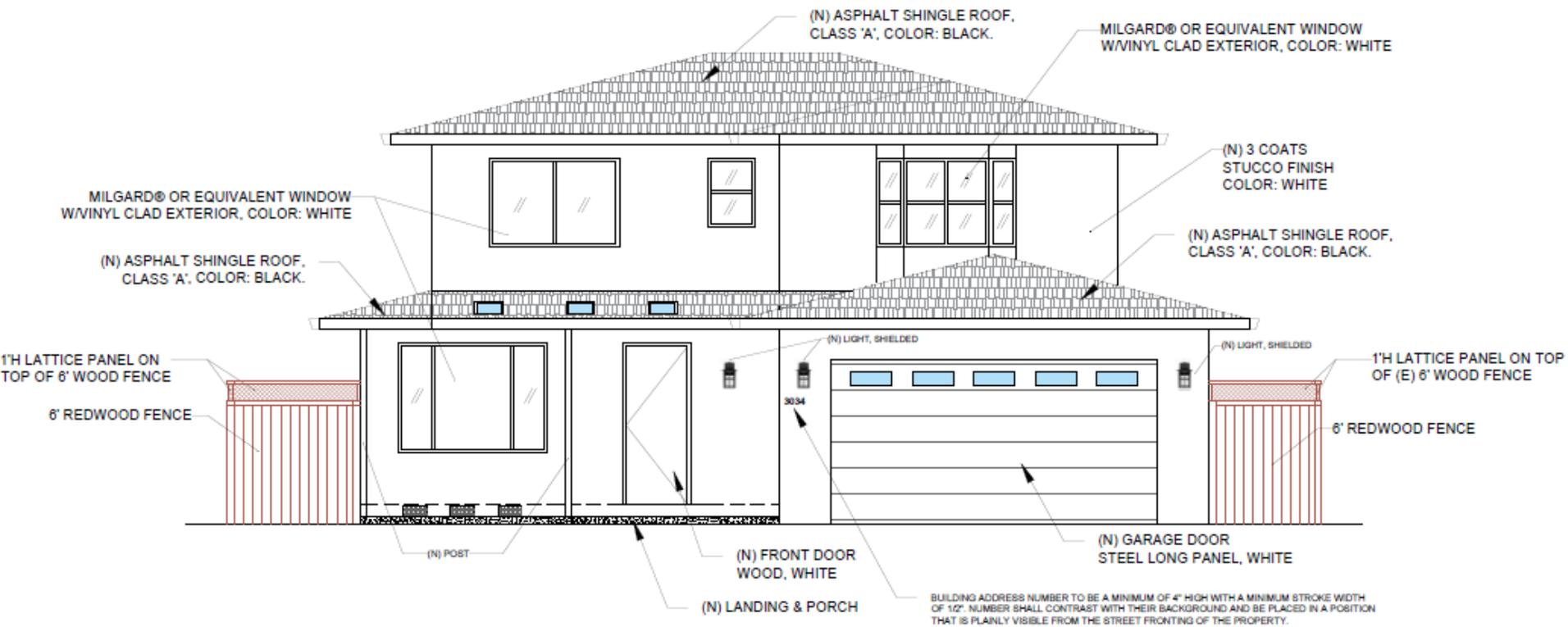
- Architectural Review for the complete demolition of the existing 1,702 square-foot one story single-family residence and the construction of a new 2,829 square foot two-story residence.
- Per the Santa Clara City Code 18.120(D)(7), the request requires Architectural Review approval through a Development Review Hearing due to the demolition of the existing structure.

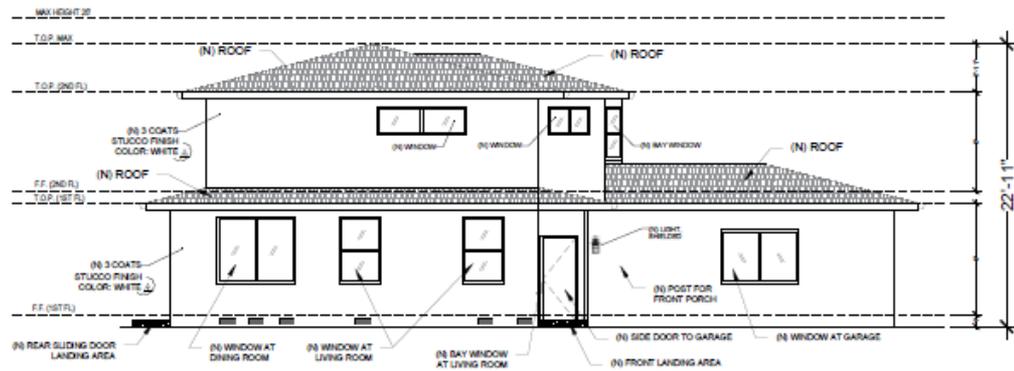


Existing Site

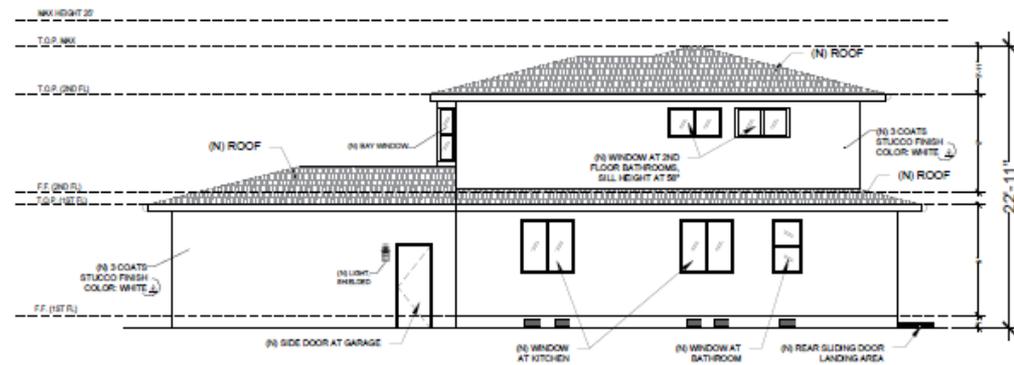
- **Lot Size:** 5,300 square-foot
- **Surrounding Uses:**
 - N: R1-6l Single-Family Residential
 - S: R1-6l Single-Family Residential
 - E: R1-6l Single-Family Residential
 - W: R1-6l Single-Family Residential
- **Zoning:** R1-6l Single-Family Residential
- **General Plan Designation:** Very Low Density Residential



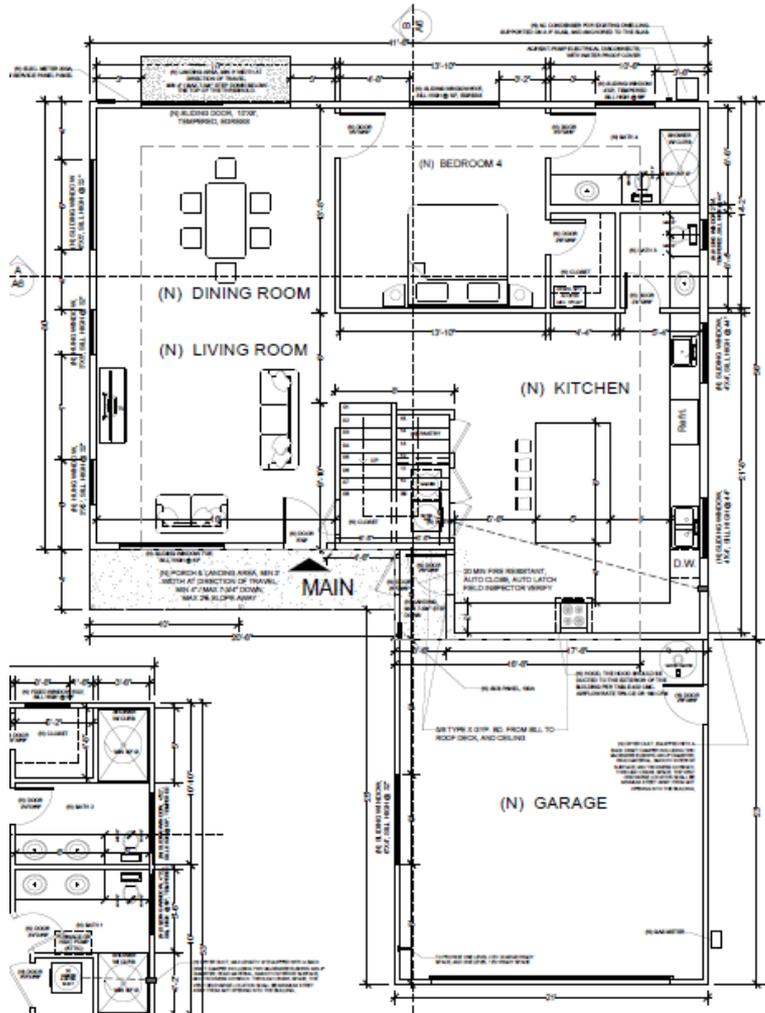




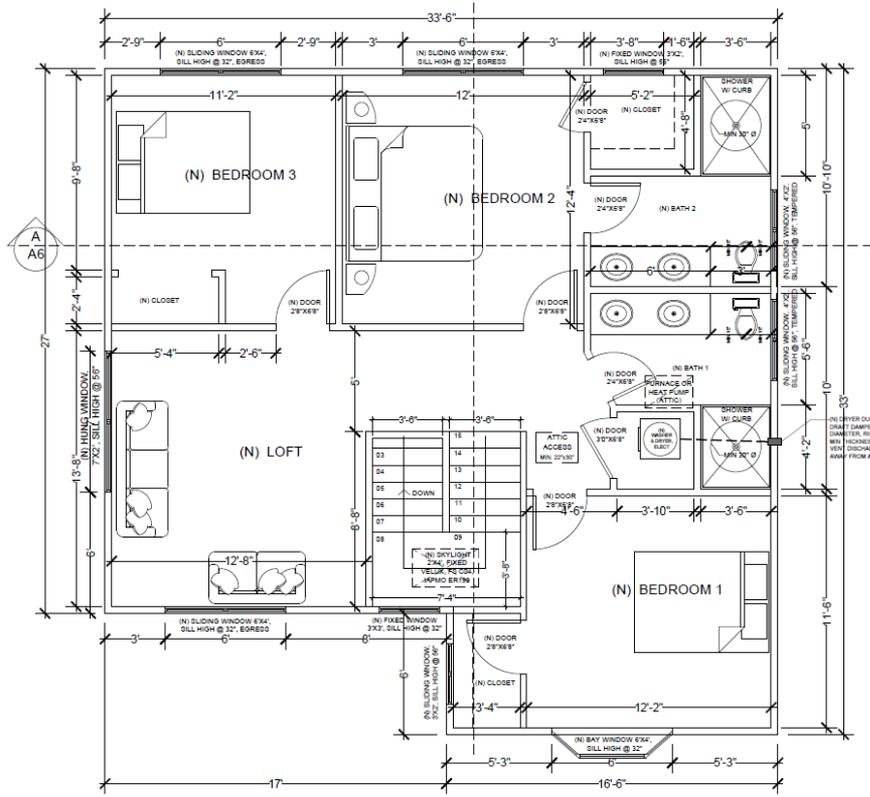
LEFT ELEVATION SCALE: 3/16" = 1'-0"



RIGHT ELEVATION SCALE: 3/16" = 1'-0"



(N) 1ST FLOOR PLAN SCALE: 1/4" = 1'-0"



(N) 2ND FLOOR PLAN SCALE: 1/4" = 1'-0"



Consistency with Design Guidelines / Objective Standards

The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014), in that:

- The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
- The second-story front wall is set 40 feet 4 inches behind the front property line.
- Second-story right and left side windows have a 56-inch windowsill height.
- The second floor is proposed to be 52.9% of the first floor, which is consistent with the guideline that second floor areas should not exceed 66% of the first-floor area.



CEQA Evaluation

- The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 -- New Construction or Conversion of Small Structures), in that the proposed use consists of construction of new, small structures where only minor modifications are made in the exterior of the structure.



Recommendation

- **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 -- New Construction or Conversion of Small Structures), and
- **Approve** the Architectural Review for the complete demolition of the existing 1,702 square-foot one-story single-family residence and the construction of a new 2,829 square foot two-story residence located at 3034 Cameron Avenue, subject to the findings and conditions of approval.



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