
SAINI RESIDENCE

ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

INFORMATION

EYCO DESIGN - AVAILABILITY
IT MAY REQUIRE FEES TO THE (10) OR NEAR BUSINESS DAYS MINIMUM BEFORE EYCO DESIGN CAN MAKE AN INITIAL RESPONSE TO ANY QUESTION, PLEASE PLAN AHEAD ACCORDINGLY.

THE CLIENT, OWNER, BUILDER, AND ALL SUBCONTRACTORS SHOULD FULLY REVIEW ALL DRAWINGS AND THOROUGHLY ATTEMPT TO DETERMINE THE ANSWER TO ANY AND ALL QUESTIONS BEFORE CONTACTING EYCO DESIGN. THANK YOU.

EYCO DESIGN - CONSULTATION FEES
CONSULTING QUESTIONS DIRECTED TO EYCO DESIGN MUST BE DETERMINED BY EYCO DESIGN, REQUESTS EXTRA FEES AND RETAINERS WHICH SHALL BE PAID IN ADVANCE OF ANY AND ALL CONSULTATION QUESTION RESPONSES.

PROJECT SCHEDULING & PLANNING
IN A TIMELY MANNER, BOTH BEFORE AND CONTINUOUSLY DURING CONSTRUCTION, THE BUILDER SHALL FULLY REVIEW THE DRAWINGS AND ALLOW PLACENT OF TIME FOR THE BUILDER TO FULLY DETERMINE ALL POSSIBLE CONSTRUCTION REQUIREMENTS AND TO PLAN AHEAD ACCORDINGLY.

NOT AS-BUILT DRAWINGS
THIS SET OF DRAWINGS IS FOR PROPOSED CONSTRUCTION ONLY. THESE DRAWINGS ARE NOT AS-BUILT DRAWINGS.

DISCLAIMERS
1) DISCLAIMERS APPLY TO THE SITE PLAN AND THE LOT.
2) DISCLAIMERS APPLY TO ALL EXISTING STRUCTURES.
3) DISCLAIMERS APPLY TO ALL NEW STRUCTURES.

4) EXISTING AREAS AND DIMENSIONS ARE BASED ON DATA PROVIDED BY OTHERS.
5) AREAS AND DIMENSIONS SHALL BE USED ONLY FOR THIS ONE CURRENT PROJECT.

6) AREAS AND DIMENSIONS SHALL NOT BE USED FOR ANY REAL ESTATE BUYING OR SELLING PURPOSES.
7) ALL PERSONS AND/OR SERVICES NOT SPECIFICALLY AUTHORIZED BY EYCO DESIGN FOR A SPECIFIC PURPOSE IN WRITING SHALL INDEPENDENTLY FROM THESE PLANS FILED VERIFY ALL AREAS AND ALL DIMENSIONS.

BUILDING PERMIT
A BUILDING PERMIT MUST BE OBTAINED FROM THE LOCAL GOVERNMENT PRIOR TO ANY CONSTRUCTION.

NOTES

NOTES - WITH ARROWS
ARROWS NEXT TO NOTES ARE INTENDED TO DRAW ATTENTION; HOWEVER, ALL OTHER NOTES ALSO APPLY.

NOTES - WITH N/A
N/A NEXT TO A NOTE INDICATES THE NOTE MAY NOT APPLY.

NOTES - ALL APPLY
ALL "GENERAL" AND "CONSTRUCTION" NOTES APPLY TO THIS ENTIRE SET OF DRAWINGS.

NOTES - LINED OUT
NOTES WITH LINE(S) THAT STRIKE THROUGH THE TEXT OF THE NOTE INDICATE THAT THE NOTE IS DELETED.

COPIES

EYCO DESIGN HEREBY GRANTS PERMISSION FOR EYCO DESIGN'S CLIENT OR CLIENT'S AGENT TO MAKE PAPER COPIES OF THESE DRAWINGS FOR NORMAL CONSTRUCTION PURPOSES, FOR THIS ONE PROJECT ONLY.

PLAN SET

CODES
IT MAY REQUIRE FEES TO THE STATE ARCHITECT DEPT. OF HOUSING & COMMUNITY DEV. DIVISION OF CODES AND STANDARDS ACCORDINGLY.

2019 CALIF. CODE OF REGULATIONS
2019 724 CALIF. BUILDING STDS CODE
2019 CALIF. RESIDENTIAL CODE - CRC

2022 CA BUILDING CODE CBC
2022 CA ELEC CODE CEC
2022 CA FIRE CODE CFC
2022 CA PLUMB CODE CPC
2022 CA PUEB CODE CPE
2022 CA SHERM CODE STPL 24 PART 6
2022 CA GREEN BLDG STDS CODE CALGREEN

COMPLY WITH ALL LOCAL, STATE, FEDERAL LAWS, & BUILDING OFFICIAL DIRECTIVES
CODES - EXCERPTS
SEE CODES FOR EXACT REQUIREMENTS.

MINIMUM REQUIREMENTS
ALL DRAWINGS, NOTES, AND SPECS ARE WITH REQUIREMENTS, CODE OR OTHER REQUIREMENTS MAY BE HIGHER.

DEFINITIONS
TYPOS: MEANS NOT ON THIS PERMIT OPTION: MEANS OWNER OPTION (OWN)

MANUFACTURERS
1) MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS SHALL BE FOLLOWED

CONSTRUCTION - STRENGTH
CONSTRUCTION, FRAMING, CORNER, AND ALL OTHER BUILDING COMPONENTS AND SYSTEMS SHALL BE DESIGNED, DETAIL, AND CONSTRUCTED TO ADEQUATELY RESIST ALL LOADS IMPOSED TO, STATIC, SEISMIC, AND WIND LOADS.

CONSTRUCTION - QUALITY
PROVIDE ALL MATERIALS, CABINETS, SYSTEMS, DOORS, WINDOWS, TRIM, FINISHES, AND ALL OTHER ITEMS PER THE MANUFACTURER'S SPECIFICATIONS, LOCATION, STYLE, AND CURRENT & FUTURE MARKET VALUE OF THE PRODUCT.

GENERAL

PROJECT DRAWINGS ARE FOR THIS ONE SPECIFIC PROJECT ONLY.
DRAWINGS NEVER USE THE WORD "WITHIN" IS USED IT SHALL ALSO INCLUDE WITHIN ITS MEANING SPECIFICATIONS, REVISIONS, ETC.

BUILDER SHALL REVIEW THESE DRAWINGS REFER TO THE "BUILDER OR THE CONTRACTOR" OR "GENERAL CONTRACTOR" SHALL ALSO APPLY TO THE SUBCONTRACTOR WHERE APPLICABLE.

VERIFICATION PRIOR TO BIDDING, ORDERING, AND COMMENCEMENT OF WORK. BUILDER SHALL VERIFY THE PROPERTY AND VERIFY THAT ALL EXISTING CONDITIONS FULLY CONFORM TO THESE DRAWINGS.

INTERPRETATION PRIOR TO BIDDING, ORDERING, AND COMMENCEMENT OF WORK. BUILDER SHALL VERIFY THAT THESE DRAWINGS ARE COMPLETE, CORRECT, AND ACCURATE.

CONTRACTORS PRIOR TO BIDDING, ORDERING, AND COMMENCEMENT OF WORK. BUILDER SHALL VERIFY THAT THESE DRAWINGS ARE COMPLETE, CORRECT, AND ACCURATE.

CONTRACTORS PRIOR TO BIDDING, ORDERING, AND COMMENCEMENT OF WORK. BUILDER SHALL VERIFY THAT THESE DRAWINGS ARE COMPLETE, CORRECT, AND ACCURATE.

DIMENSIONS
BUILDER SHALL BE FULLY RESPONSIBLE FOR ALL DIMENSIONS AND VERIFICATION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER CALLED DIMENSIONS. IN CASE OF DISCREPANCY, BUILDER SHALL VERIFY DIMENSIONS OF BUILDER'S INTERPRETATION BEFORE PROCEEDING.

REMEASUREMENT
FIELD MEASUREMENTS SHALL BE USED TO THE MAXIMUM EXTENT POSSIBLE TO PROVIDE ACCURACY AND MATCH-UP WITH ACTUAL JOB CONDITIONS. THE USE OF FIELD MEASUREMENTS SHALL NOT REMOVE THE REQUIREMENT THAT THE PROJECT SHALL CONFORM TO THE DRAWINGS.

LIMIT
THIS SET OF DRAWINGS IS AN INTEGRAL PART OF THESE PERMITS AND SHALL BE ENFORCED WITH RESPECT TO ALL PERMITS. ALL REQUIREMENTS, NOTES, GENERAL NOTES, AND DIMENSIONS SHALL APPLY TO ALL CONSTRUCTION WITH ALL OTHER INFORMATION IN THE SET OF DRAWINGS.

INTENT
BUILDER SHALL EXECUTE THE CONSTRUCTION WORK SO AS TO ACHIEVE BOTH THE LETTER AND SPIRIT OF THESE DRAWINGS.

CURRENT
BUILDER SHALL CONSTANTLY VERIFY THAT BUILDER IS USING THE MOST UP-TO-DATE SET OF DRAWINGS, INCLUDING ANY ADDENDUMS OR CHANGES ISSUED SEPARATELY.

WORKMANSHIP
BUILDER SHALL EXECUTE THE CONSTRUCTION WORK IN A SUBSTANTIAL AND WORKMANLIKE MANNER.

SAFETY
BUILDER SHALL SAFELY SHORE ALL CONSTRUCTION THROUGHOUT ALL CONSTRUCTION PHASES. BUILDER SHALL BE FULLY RESPONSIBLE FOR ALL SAFETY RELATED ITEMS.

SIGNATURE
SIGNATURES BY EYCO APPLY ONLY TO ITEMS AUTHORIZED BY EYCO. AUTHORIZATION ONLY UNALTERED DRAWINGS AUTHORIZED AND ISSUED BY EYCO IN WRITING OR GRAPHIC FORM ARE VALID; ALL OTHER DOCUMENTS ARE VOID.

RECORD DRAWINGS
ONLY DRAWINGS FILED BY EYCO ARE THE RECORD OF AUTHORIZATION. CHANGES/DEVIATIONS FROM THE DRAWINGS ARE NOT AUTHORIZED BY EYCO UNLESS SUCH DEVIATIONS ARE INCORPORATED INTO THE DRAWINGS AND ISSUED BY EYCO IN WRITING OR GRAPHIC FORMAT.

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Table with columns SHEET, DRAWING, REVISIONS. Rows include COVER, NOTES - DATA, CLEAN MAY, PLAN - SITE, ELEVATIONS, PLAN - FLOOR, PLAN - ROOF, PLAN - FRAMING, PLAN - FOUNDATION, SECTION, DETAILS, SIMPSON, TITLE-24, GREEN, CLEAN MAY.

REVISIONS

Table with columns REV #, DATE, COMMENTS. Includes a note: SEE INDEX.

CALIF RESIDENTIAL CODE

- 1) COMPLY WITH CRC FOR ALL NON-STRUCTURAL ITEMS
2) COMPLY WITH CRC FOR ALL STRUCTURAL ITEMS (DOW)

GREEN REGULATIONS

- 1) COMPLY WITH ALL GREEN LAWS
2) COMPLY WITH ALL GREEN REGULATIONS
3) COMPLY WITH CALGREEN 2022
4) SEE GREEN INFO AT SHEETS: AT END OF SET

PROJECT DATA

CLIENT: SAINTI
OWNER: SAINTI
PROJECT ADDRESS: 2841 FRUNKERIDGE AVE, SANTA CLARA, CA 95050

PROJECT: SINGLE FAMILY RESIDENCE DETACHED
SCOPE: NEW ADDITION X REMODEL
PROJECT-BLDG-DEPT:
+ ADD 1 BEDROOM
+ ADD 1 BATHROOM
+ ADD 1 COAT CLOSET
+ ADD 1 FOYER
+ ADD 1 LAUNDRY CLOSET
+ ADD 1 STUDY

SCOPE: STORES: ONE TWO X TYPE: VB
CODE: GROUP(S): R-3 U

Table with columns AREA (SF)*, TOTAL, NET (S), (H), REMOVE, CONVERT. Rows include HOUSE (2636), GARAGE (497), PORCH (18), TOTAL (3151 SF), LOT (8840 SF), F.A.R. (SF), F.A.R. (%), COVERAGE (SF), COVERAGE (%).

* SF = SQUARE FEET (ALL AREAS ARE APPROX)
(BASED ON DATA PROVIDED BY OTHERS)
F.A.R. % = FLOOR AREA RATIO ITEMS / LOT AREA
COVERAGE % = COVERAGE ITEMS / LOT AREA

SUBMITTAL

PLEASE ACCEPT FOR PLAN CHECK, OR RETAIN I-SET FOR REFERENCE
BY DEPARTMENT HEADS FOR PHONE QUESTIONS FROM EYCO

CHECKER - IF QUESTIONS
PLEASE CONFER WITH SUPERVISING PLAN CHECKER

CHECKER - RED-LINED PERMIT SETS OK
GOVERNMENT AND GOVERNMENT CONTRACT PLAN CHECKERS ARE HEREBY GRANTED PERMISSION BY EYCO DESIGN TO RED-LINE THESE PLANS AND ISSUE PERMIT SET(S). SUCH RED-LINES SHALL BE LIMITED TO APPROPRIATE CODE RELATED "CORRECTIONS," STRENGTH AND/OR QUALITY SHALL NOT BE REDUCED BELOW WHAT IS ALREADY SHOWN.

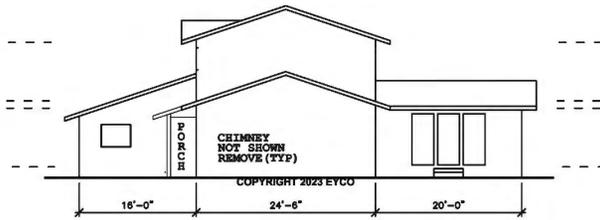
CHECKER - EMAIL PREFERRED
EMAILED COMMENTS PREFERRED IN PLACE OF RED-LINES.

CHECKER - PLEASE CHECK WITH CARE
ONLY NON ROSE PROCESS APPROVED BY EYCO DESIGN.

FINAL DRAWINGS
FULL SET APPROVED
ANY AND ALL CHANGES REQUESTED BY CLIENT(S) WILL REQUIRE ADDITIONAL FEES AND RETAINER.

(SIGNED COPY ON FILE AT EYCO)

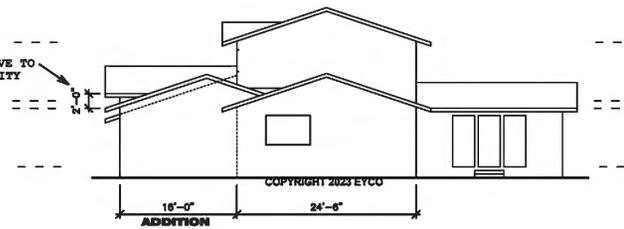
Vertical sidebar containing copyright notices (COPYRIGHT 2021 EYCO), revision table (REVISIONS), use constitutes approval (USE CONSTITUTES APPROVAL), and EYCO DESIGN logo with contact information (408) 879-0100, 2841 FRUNKERIDGE AVE, SANTA CLARA, CALIFORNIA 95050.



(E) RIGHT ELEVATION Δ_1

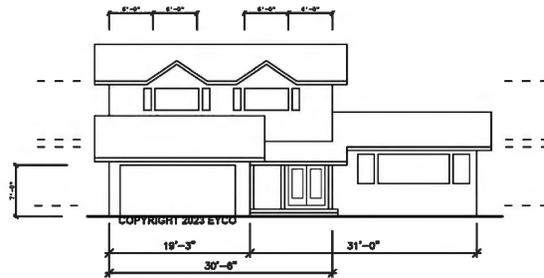
SCALE: 1/8" = 1'-0"±

24" MAX EAVE TO EAVE PER CITY



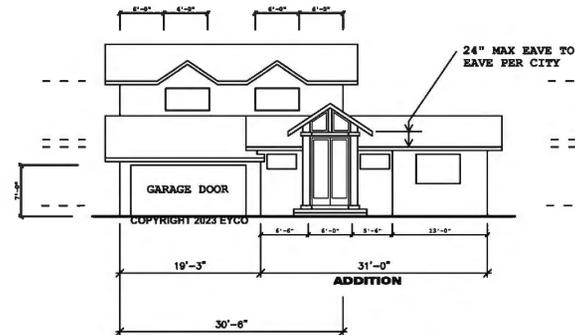
(N) RIGHT ELEVATION Δ_1

SCALE: 1/8" = 1'-0"±



(E) FRONT ELEVATION Δ_1

SCALE: 1/8" = 1'-0"±



(N) FRONT ELEVATION Δ_1

SCALE: 1/8" = 1'-0"±

ELEVATIONS

- 1) ALL ROOFS COMPOSITION SHINGLES
- 2) GARAGE 2FT WING WALLS BRICK VENEER
FRONT WALLS HORIZONTAL "WOOD" SIDING
MAIN SIDES AND REAR WALLS STUCCO
- 3) MAIN ROOFS SLOPE 4:12 +/-
DORMERS AND NEW PORCH ROOF SLOPE 8:12 +/-

ROOF - GENERAL

- 1) EAVES, FACIAS, GUTTERS: (N) (TMS)

ROOF

- 1) MAIN SLOPE 4:12
PORCH SLOPE 8:12
- 2) ASPHALT SHINGLES (TMS)
- 3) COLOR LIGHT GRAY (E)

WALLS

- 1) WOOD SIDING/STUCCO SEE PLANS
- 2) COLOR GRAY
- 3) REMOVE ALL SHUTTERS

WINDOWS

- 1) MATERIAL: (N) VINYL
- 2) COLOR: BLACK
- 3) GRIDS: P/O (V)

TRIM

- 1) FASCIA GUTTERS STYLE TMS COLOR BLACK
- 2) WINDOW TRIM STYLE TMS COLOR BLACK
- 3) DOOR TRIM STYLE TMS COLOR BLACK

ELEVATIONS Δ_1

1/8" = 1'-0"±

REVISIONS

Δ_1 APR-08-2023 R

USE CONSTITUTES APPROVAL ANY USE AND/OR ANY DEVIATION FROM THESE SPECIFICATIONS SHALL CONSTITUTE AS AN APPROVAL BY EACH CLIENT OF ALL DRAWINGS AND ALL SPECIFICATIONS

SAINI
RESIDENCE
2841 PRUNERIDGE AVE
SANTA CLARA, CALIFORNIA

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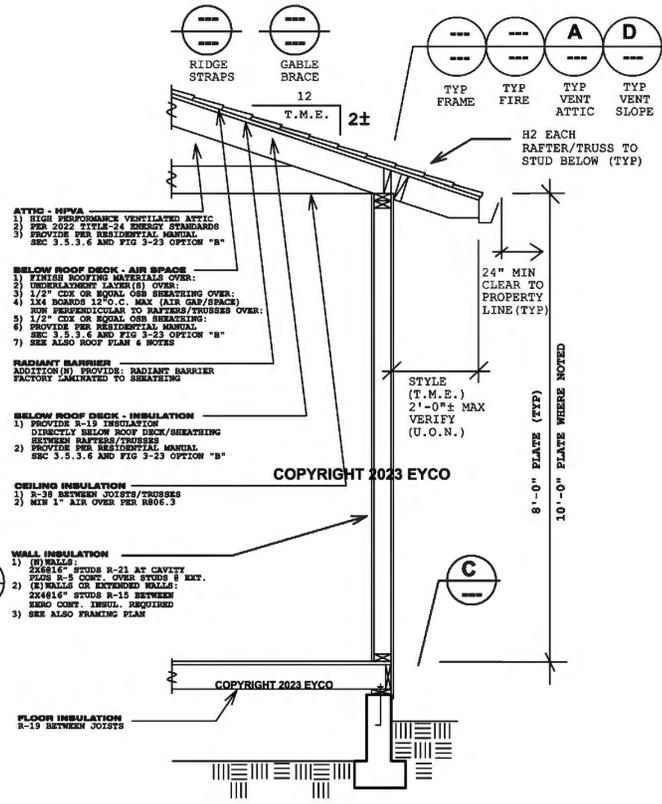
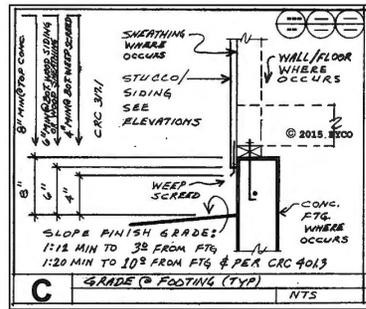
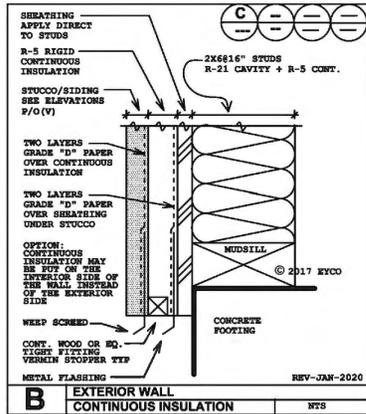
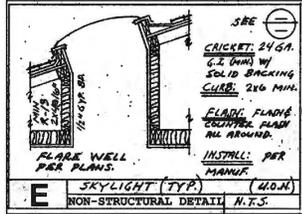
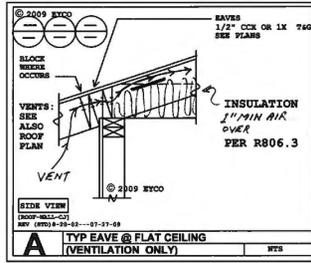
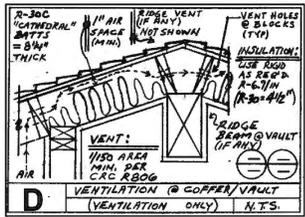
Date MAR-29-2023

Job SAINI

Sheet

4

Of Sheets



- RADIANT BARRIER (RB)**
 SEE TITLE-24 ENERGY SHEET (E)
 1) PROVIDE PER 2022 TITLE-24 ENERGY
 2) PROVIDE PER CALIFORNIA ENERGY
 COMMISSION IDENTIFIED MANUAL
 SECTION 3.4.4
 3) PROVIDE AT ROOF & GABLE WALLS
 4) OVER NEW CONDITIONED FLOOR AREAS
 5) FACTORY LAMINATED TO SHEATHING
 6) VENT: 3:150 MIN NET, 1/4" MESH
 7) VENT: 40% MIN UPPER/HIGH VENTS
 8) VENT: 50% MAX UPPER/HIGH VENTS
 9) VENT: PER CRC & MANUFACTURER
 10) VENT: EXTENSION VENTS MAY BE NEEDED
 ESPECIALLY AT SLOPED CEILINGS
 VENT EACH SEPARATE SPACE,
 WITH ENCLOSED RAFTER SPACES,
 11) CODE: CRC CODE
 12) REV: APR-22-2021, MAR-23-2023

- ROOF**
 1) USE LAMINATED RADIANT BARRIER
 2) SEE ROOF PLAN
 3) SEE ROOF FRAMING PLAN

- FRAMING**
 1) SEE ALSO NOTES AT FRAMING PLANS

- CEILING**
 1) FLOOR: MAKE FINISH FLOOR WITH (R)
 2) FRAMING R15": 1/2" GYP. RD.
 3) FRAMING R24": 1/2" SAG RESISTANT TYP
 4) FRAMING R24": 5/8" GYP. RD.

- WALLS - EXTERIOR**
 EXTERIOR: MEANS OUTSIDE WALL THAT FORMS
 THE ENVELOPE OF THE STRUCTURE
 FINISH: EXTERIOR SIDE - SEE ELEVATIONS
 FINISH: INTERIOR SIDE - SEE PLANS
 STUDS: 2x4@16" MIN, 2x6@16" IF NOTED
 WOOD SIDING:
 TYPE 15 PLY (1) LAYERS
 WHEREVER CONT. INSULATION OCCURS:
 7/8" STUCCO (3) LAYERS OVER
 GRADE "D" PAPER (2) LAYERS OVER
 CONTINUOUS INSULATION
 STUCCO: 7/8" STUCCO (3) LAYERS OVER
 GRADE "D" PAPER (2) LAYERS OVER
 CONTINUOUS INSULATION
 WHERE CONT. INSULATION OCCURS
 7/8" STUCCO (3) LAYERS OVER
 GRADE "D" PAPER (2) LAYERS OVER
 CONTINUOUS INSULATION
 WHERE CONT. INSULATION OCCURS
 7/8" STUCCO (3) LAYERS OVER
 GRADE "D" PAPER (2) LAYERS OVER
 CONTINUOUS INSULATION
 WHERE CONT. INSULATION OCCURS
 7/8" STUCCO (3) LAYERS OVER
 GRADE "D" PAPER (2) LAYERS OVER
 CONTINUOUS INSULATION
 SHEETS: 5/8" DIRM. A.B. #48"
 INSULATE: SEE TITLE-24 ENERGY SHEETS
 SEE SECTION A-A
 SEE FRAMING PLAN
 CODE: CRC

- WALLS - INTERIOR - IF ANY**
 INTERIOR: MEANS W/IN-EXTERIOR WALL
 STUDS: 2x4 @ 16"
 BLOCKS: FINISH BLOCKS AT STUD SPACES
 10" MAX VERTICAL SPACING
 FINISH: BOTH SIDES 1/2" GYP RD
 UNLESS "FINISH WALL"
 FIRE WALL: SEE PLANS
 CODE: CRC

- FLOORS**
 1) SEE FRAMING & FOUNDATION PLANS

- FOUNDATION**
 1) SEE FOUNDATION PLAN

- ENERGY - MATERIALS**
 1) SEE ALSO TITLE-24 ENERGY SHEETS

REVISIONS

USE CONSTITUTES APPROVAL

SAINI RESIDENCE 2841 PRUNERIDGE AVE SANTA CLARA, CALIFORNIA

APPROVED: [Signature]

APPROVED: [Signature]

DATE: MAR-29-2023
 SHEET: 6

2022 Single-Family Residential Mandatory Requirements Summary	
NOTE: Single-family residential buildings subject to the Energy Code must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective article for more information.	
Building Envelope:	
§ 110.0A(1)	All Leaking, Manufacturing, Installation, and exterior paint must limit air leakage to 0.1 CFM per square foot or less when tested per NFPA-400, ASTM E583, or ANSI/MANASSA 1016.5 (2004/2007) 1.
§ 110.0A(2)	Leakage doors and exterior doors must have a total leakage rate of 1.0 CFM per square foot.
§ 110.0A(3)	Field installed exterior doors and fenestrations products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.1-B, 110.1-E, and 110.1-F for exterior doors. They may be classified under weathering.
§ 110.0A(4)	All Leaking, Air Inlets, Penetrations, and other openings in the building envelope that are potential sources of leakage must be checked, gasketed, or weather stopped.
§ 110.0A(5)	Insulation Certification for Manufactured Homes. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (PHCS).
§ 110.0A(6)	Insulation Requirements for Heated Bath Rooms. Insulation shall meet the requirements of § 110.0B(3).
§ 110.0A(7)	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and solar reflectance values of the roofing material must meet the requirements of § 110.0A(1) when the installation of a cool roof is specified on the CRF.
§ 110.0A(8)	Radiant Barriers. When required, radiant barriers must have an emittance of 0.05 or less and be certified as the Department of Consumer Affairs.
§ 110.0A(9)	Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed areas in climate zones 4 and 5.16 must include average U-factor not exceeding 0.41. Roof deck and rafter roof minimum R-22 insulation in wood frame ceiling or area-insulated average U-factor must not exceed 0.43. Rafter roof minimum R-19 in area-ventilated average U-factor of 0.04 or less. All attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access door must be gasketed to prevent air leakage. Insulation must be installed in contact with a roof or ceiling which is sealed to air infiltration and ventilation, as specified in § 110.1, and not be limited to placing insulation either above or below the roof deck or on top of a drilled ceiling.
§ 110.0A(10)	Low-e-II Insulation. Low-e-II insulation must meet the manufacturer's required density for the labeled product.
§ 110.0A(11)	Wall Insulation. Minimum R-13 insulation in 2x4 inch framing walls or have a U-factor of 0.12 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Open-up non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Table 110.1-A or 6.
§ 110.0A(12)	Basement Floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 medium U-factor.
§ 110.0A(13)	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without holes, of no greater than 0.3 percent; have a water vapor permeability of no greater than 0.2 perms per inch; be protected from physical damage and UV light degradation; and when installed as part of a heated slab deck, meet the requirements of § 110.0A(14).
§ 110.0A(14)	Vapor Retarders. In climate zones 1 through 16, the walls and/or unvented crawl spaces must be installed in Class I or Class II vapor retarder. This requirement also applies to conditioned ventilation space buildings complying with the exception to the exception to the exception.
§ 110.0A(15)	Vapor Retarders. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the exterior concrete side of the foundation, on the exterior side of the foundation, and on the exterior side of the foundation.
§ 110.0A(16)	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned spaces or outdoors must have a minimum U-factor of 0.45, or area-weighted average U-factor of at least 0.45.
Electrical, Descriptive Gas Appliances, and Gas:	
§ 110.0A(17)	Panel Light. Continuously burning pilot lights are not allowed for indoor and outdoor gas appliances.
§ 110.0A(18)	Clearance. Minimum clearance for gas appliances must be a clearable metal or glass front covering the entire opening of the broiler.
§ 110.0A(19)	Combustion Appliances must have a minimum clearance to combustibles of 18 inches for gas appliances and 18 inches for oil appliances in areas and is equipped with a readily accessible, operable, and light-tighting damper or combustion air control device.
§ 110.0A(20)	Flue Damper. Flue damper. Minimum clearance for flue damper must be a flue damper with a readily accessible air control device.
Space Conditioning, Water Heating, and Plumbing Systems:	
§ 110.0B(1)	Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other required appliances must be certified by the manufacturer in the California Energy Commission's (CES) database.
§ 110.0B(2)	Energy Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-L.
§ 110.0B(3)	Controls for Heat Pumps with Supplementary Electric Resistance Heating. Heat pumps with supplementary electric resistance heating must have a minimum seasonal energy efficiency ratio (SEER) of 13.0 and a minimum seasonal energy efficiency ratio (SEER) of 13.0 and in which the coil temperature for compression heating is higher than the coil temperature for supplementary heating.
§ 110.0B(4)	Thermostats. All heating or cooling systems not controlled by a central energy management control system (CEMCS) must have a setback thermostat.
§ 110.0B(5)	Insulation. Insulation service water heater storage tanks and solar water heating backup tanks must have adequate insulation, or tank surface heat loss rating.
§ 110.0B(6)	Insulation Valves. Insulation valves must have an input rating greater than 0.8 lbs per hour per 200 (W) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

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2022 Single-Family Residential Mandatory Requirements Summary	
§ 110.0B(7)	Screen based luminaires. Screen based luminaires must contain lenses that comply with Reference Table A6.1.
§ 110.0B(8)	Light Sources in Enclosed or recessed luminaires. Lamps and other separable light sources that are not compliant with the JAB elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 110.0B(9)	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources in drawers, cabinets, or linen closets are not required to comply with Table 110.0A but can be controlled by occupancy sensors provided that the lighting is controlled by the sensor, and not by the on/off temperature for compression heating is higher than the coil temperature for supplementary heating.
§ 110.0B(10)	Interior Switches and Controls. All lowest level on/off devices used with LED light sources must comply with NEMA ICS 7A.
§ 110.0B(11)	Interior Switches and Controls. Lowest level must be controlled separately from lighting systems.
§ 110.0B(12)	Accessible Controls. Lighting must have readily accessible, unobstructed controls that allow the lighting to be manually turned on and off.
§ 110.0B(13)	Multiple Controls. Controls must not bypass a dimmer, occupancy sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 110.0B.
§ 110.0B(14)	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.0B.
§ 110.0B(15)	Energy Management Control System. An energy management control system (CEMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.0B and the physical controls specified in § 110.0B(10).
§ 110.0B(16)	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic off-functionality. Lighting inside drawers and cabinets with opaque doors or drawers must have controls that allow the light to turn on the drawer or door to open.
§ 110.0B(17)	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, bedrooms, and balconies) must have readily accessible, wall-mounted dimming controls that allow the lighting to be manually operated up and down. Forward phase dimmers controlling LED light sources in these spaces must comply with NEMA SS 7A.
§ 110.0B(18)	Independent controls. Integrated lighting or exhaust fans that are controlled independently from the fans, lighting, under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from controlled lighting.
§ 110.0B(19)	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting equipment is required to be installed in a residential building, or on other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 110.0B(20)	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.3 or consume no more than 5 watts of power.
§ 110.0B(21)	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 120.1, 106.1, 133.4, 140.4, and 141.0.
Solar Readiness:	
§ 110.0B(22)	Single-Family Readiness. Single-family residences located in subdivisions with 70 or more single-family residences and where the application for a tentative subdivision map for the residences has been denied twice or more must comply with the requirements of § 110.0B(22) which do not have a photovoltaic system installed, must comply with the requirements of § 110.0B(22).
§ 110.0B(23)	Minimum Solar Zone Area. The solar zone must have a minimum total area of 100 square feet. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Table 24, Part 9 or other parts of Title 24 or any requirements adopted by local jurisdiction. The solar zone shall meet no compression by a wall or structure that is less than 6 feet and are no less than 100 square feet each for buildings with roof areas less than or equal to 10,000 square feet, or less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 200 square feet.
§ 110.0B(24)	Obstruction. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.0B(25)	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof materials.
§ 110.0B(26)	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height dimension from the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
§ 110.0B(27)	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and live load must be clearly indicated on the construction documents.
§ 110.0B(28)	Interconnection Pathways. The construction documents must indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conductors from the solar zone to the point of interconnection with the utility service and for single-family residences and certain water-heating systems, a pathway reserved for routing from the solar zone to the water-heating system. Documentation. A copy of the construction documents or a copy of the solar zone design must be provided to the owner.
§ 110.0B(29)	Main Electrical Service Panel. The main electrical service panel must have a minimum branch rating of 200 amps.
§ 110.0B(30)	Break Electrical Service Panel. The main electrical service panel must have a reserved space for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."
§ 110.0B(31)	Electric and Energy Storage Ready:

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2022 Single-Family Residential Mandatory Requirements Summary	
§ 110.0C(1)	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas; low-pressure central furnace; household cooling equipment (except appliances used as an indirect supply-ventilation connection with pilot lights that consumed less than 100 Btu per hour); and pool and spa heaters.
§ 110.0C(2)	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume, the SMACNA Residential Comfort System Installation Standards Manual or the ACCA Manual J using design conditions specified in § 110.0C(2).
§ 110.0C(3)	Clearance. Air conditioner and heat pump outdoor condensing coils must have a clearance of at least 18 inches from the coils of any other equipment.
§ 110.0C(4)	Low-voltage Line. All air conditioners and heat pump systems must be equipped with liquid line filter driers as required, as specified by the manufacturer's instructions.
§ 110.0C(5)	Water Piping, Solar Water-Heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 110.0C(5). Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and as required by § 110.0C(5). Insulation exposed to weather must be water resistant and protected from UV light by adhesive jacket. Insulation covering chilled water piping and refrigerant system piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Piping insulation below grade must be installed in a waterproof and non-compressible casing or sleeve.
§ 110.0C(6)	Gas or Propane Water-Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include a gas or propane water heater with a U-factor of 0.12 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Open-up non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Table 110.1-A or 6.
§ 110.0C(7)	Water Piping, Solar Water-Heating Systems. Solar water-heating systems and collectors must be certified and listed by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Contractors (IAPMO), Research and Testing (NPAFC R&T), or by a listing agency that is approved by the executive director.
 ducts and Ducts:	
§ 110.0C(8)	Ducts. Ductwork installed on a ceiling space conditioning duct must comply with § 604.1 of the California Mechanical Code (CMC). If a contractor installs on a ceiling, the contractor must notify the customer, in writing, that the installation meets this requirement.
§ 110.0C(9)	CMC Compliance. All air distribution system ducts and plenums must meet CMC §§ 601.0-606.0 and ANSI/MANASSA 2008 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Ductwork of supply air, return air, ducts and plenums must be installed to R-10 or higher, ducts located in unconditioned space as confirmed through field verification and diagnostic testing (RA3.1, RA3.2, and RA3.3) and require insulation. Connections of metal ducts and joints of flexible ducts must be mechanically fastened. Ductwork must be sealed with mastic, tape, or other duct-sealing system that meets the applicable UL requirements, or aerosol sealant that meets UL 723 and is approved by the manufacturer. Connections of metal ducts and joints of flexible ducts must be mechanically fastened. Ductwork must be sealed with mastic, tape, or other duct-sealing system that meets the applicable UL requirements, or aerosol sealant that meets UL 723 and is approved by the manufacturer. 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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Table 4.504.1 - Adhesive VOC Limit. (Less Water and Less Exempt Compounds in Grams per Liter)
Table 4.504.2 - Sealant VOC Limit. (Less Water and Less Exempt Compounds in Grams per Liter)
Table 4.504.3 - VOC Content Limits for Architectural Coatings. (Grams of VOC per Liter of Coating, Less Water & Less Exempt Compounds)

Table 4.504.4 - Formaldehyde Limits. (Methanol Formaldehyde Emissions in Parts Per Million)
Table 4.504.5 - Environmental Quality (continued)
Table 4.504.6 - Interior Moisture Control
Table 4.504.7 - Indoor Air Quality and Exhaust

Table 4.504.8 - Environmental Quality (continued)
Table 4.504.9 - Environmental Quality (continued)
Table 4.504.10 - Environmental Quality (continued)
Table 4.504.11 - Environmental Quality (continued)

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING
702.2 SPECIAL INSPECTION (NCI)
703 VERIFICATIONS
703.1 DOCUMENTATION

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A GUIDE TO PREVENT VIOLATIONS OR COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE. DUE TO THE AVAILABILITY OF BUILDING MATERIALS, JURISDICTION, THIS CHECKLIST IS TO BE USED ON AN APPROVAL BASIS AND MAY BE ADAPTED BY THE END USER TO MEET THEIR INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

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