



City of Santa Clara

Meeting Agenda

Planning Commission

Wednesday, June 15, 2022

6:00 PM

**City Hall Council Chambers and
Zoom (Hybrid Meeting)**

The City of Santa Clara will be conducting Planning Commission meetings in a hybrid manner (in-person and virtual attendance). Pursuant to Government Code Section 54953(e) and City of Santa Clara Resolution 22-9087, Commissioners may teleconference from remote locations. The City continues to provide methods for the public to participate remotely:

- Via Zoom:
 - o <https://santaclaraca.zoom.us/j/91729202898>
 - o Webinar ID: 917 2920 2898 or
 - o Phone: 1(669) 900-6833
- Via the City's eComment (available during the meeting)

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6:00 PM REGULAR MEETING

Call to Order**Pledge of Allegiance and Statement of Values****Roll Call****DECLARATION OF COMMISSION PROCEDURES****CONTINUANCES/EXCEPTIONS****CONSENT CALENDAR**

Consent Calendar items may be enacted, approved or adopted, based upon the findings prepared and provided in the written staff report, by one motion unless requested to be removed by anyone for discussion or explanation. If any member of the Planning Commission, staff, the applicant or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Planning Commission meeting when the Chair calls for these requests during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

1.A 22-823 [Planning Commission Meeting Minutes of May 25, 2022 Meeting](#)

Recommendation: Approve the Planning Commission Minutes of the May 25, 2022 Meeting

1.B 22-685 [Action on a Variance to Maintain a One-Car Garage with a 597 Square Foot Addition to a Single-Family Residence at 723 Scott Boulevard](#)

Recommendation: Approve the Variance to allow a 597 square foot rear addition to a single-family residence and maintain an attached one-car garage, subject to conditions of approval

1.C 22-753 [Action on Use Permit to allow on-site sale and consumption of beer and wine for a new Mendocino Farms Sandwich Market at 2040 Wyatt Drive, Suite 110](#)

Recommendation: Adopt a resolution approving a Use Permit to allow the on-site sale and consumption of beer and wine (ABC License Type 41) for a new Mendocino Farms Sandwich Market at 2040 Wyatt Street, suite 110, subject to conditions of approval.

PUBLIC PRESENTATIONS

Members of the public may briefly address the Commission on any item not on the agenda.

PUBLIC HEARING

Items listed above under Items for Council Action will be scheduled for Council review following the conclusion of hearings and recommendations by the Planning Commission. Due to timing of notices for Council hearings and the preparation of Council agenda reports, these items will not necessarily be heard on the date the minutes from this meeting are forwarded to the Council. Please contact the Planning Division office for information on the schedule of hearings for these items.

2. **22-718** [Actions on a Proposed Multi-family Residential Project to Develop 60 units \(40 Townhomes and 20 Flats\) at 3141 - 3155 El Camino Real](#)

Recommendation: Alternatives:1, 2 and 4

1. Adopt a resolution to recommend the City Council adopt the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program for the 3155 El Camino Real Residential Project.
2. Adopt a resolution to recommend the City Council approve a rezoning from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60 condominium unit development consisting of 40 townhomes and 20 flats, private street, landscaped open space, surface parking and site improvements, at a height of two and three stories.
[Developer's Proposal]
4. Adopt a resolution to recommend the City Council approve the Tentative Tract Map to subdivide the land into residential condominiums and a common interest lot to serve the development.

3. **22-489** [Public Hearing: Review of the Proposed FY 2022/23 and FY 2023/24 Biennial Capital Improvement Program Budget for Conformity with the City of Santa Clara 2010-2035 General Plan](#)

Recommendation: Adopt a Resolution making findings on the conformity of the Proposed FY 2022/23 & FY 2023/24 Biennial Capital Improvement Program Budget with the 2010-2035 General Plan.

4. **22-763** [Election of Planning Commission Chair, Vice Chair and Secretary](#)

Recommendation: There is no staff recommendation.

REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:

1. Announcements/Other Items
2. Commissioner Travel and Training Reports, Requests to attend Trainings

DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:

1. Planning Commission Budget Update
2. Upcoming Agenda Items
3. City Council Actions

ADJOURNMENT:

The next scheduled meeting is on Wednesday, August 3, 2022 at 6:00 PM in the City Hall Council Chambers.

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

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City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
@SantaClaraCity

Agenda Report

22-823

Agenda Date: 6/15/2022

REPORT TO PLANNING COMMISSION

SUBJECT

Planning Commission Meeting Minutes of May 25, 2022 Meeting

RECOMMENDATION

Approve the Planning Commission Minutes of the May 25, 2022 Meeting



City of Santa Clara

Meeting Minutes

Planning Commission

05/25/2022

6:00 PM City Hall Council Chambers and Zoom (Hybrid Meeting)

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6:00 PM REGULAR MEETING**Call to Order**

Chair Biagini called the meeting to order at 6:04 p.m.

Pledge of Allegiance and Statement of Values**Roll Call**

- Present** 6 - Chair Nancy A. Biagini, Vice Chair Priya Cherukuru, Commissioner Ricci Herro, Commissioner Qian Huang, Commissioner Yuki Ikezi, and Commissioner Lance Saleme
- Absent** 1 - Commissioner Yashraj Bhatnagar

Chair Biagini announced that **Commissioner Bhatnagar** had informed the Commission of his absence in advance of the meeting.

A motion was made by Commissioner Ikezi, seconded by Commissioner Huang to excuse Commissioner Bhatnagar's absence.

- Aye:** 6 - Chair Biagini, Vice Chair Cherukuru, Commissioner Herro, Commissioner Huang, Commissioner Ikezi, and Commissioner Saleme

Absent: 1 - Commissioner Bhatnagar

DECLARATION OF COMMISSION PROCEDURES

Secretary Herro read the Declaration of Commission Procedures.

CONTINUANCES/EXCEPTIONS

None.

CONSENT CALENDAR

Commissioner Cherukuru recused herself from voting on Items 1.B and 1.C due to her absence at those meetings and commented that Item 1.D is a reflection of the economy.

A motion was made by Commissioner Ikezi, seconded by Commissioner Saleme to approve the consent calendar.

- Aye:** 6 - Chair Biagini, Vice Chair Cherukuru, Commissioner Herro, Commissioner Huang, Commissioner Ikezi, and Commissioner Saleme

Absent: 1 - Commissioner Bhatnagar

1.A [22-730](#) Planning Commission Meeting Minutes of March 9, 2022 Meeting

Recommendation: Approve the Planning Commission Minutes of the March 9, 2022 Meeting

1.B [22-738](#) Planning Commission Meeting Minutes of April 13, 2022 Meeting

Recommendation: Approve the Planning Commission Minutes of the April 13, 2022 Meeting

Commissioner Cherukuru abstained from voting on Item 1.B since she did not attend this meeting.

1.C [22-694](#) Planning Commission Meeting Minutes of May 11, 2022 Special Meeting

Recommendation: Approve the Planning Commission Minutes of the May 11, 2022 Special Meeting

Commissioner Cherukuru abstained from voting on Item 1.C since she did not attend this meeting.

1.D [22-651](#) Action on a Two-Year Extension of the Use Permit for a 190-room Hotel at 2900 Lakeside Drive

Recommendation: Adopt a Resolution to Approve a Two-year Extension of the Use Permit to allow a new 190-room hotel located at 2900 Lakeside Drive with on-site sale of beer, wine, and distilled spirits (ABC license Type 47), subject to conditions of approval.

PUBLIC PRESENTATIONS

None.

PUBLIC HEARING

None.

2. [22-716](#) Amend Title 18 Zoning to Establish an SB 9 Implementing Ordinance Including Development Standards for SB 9 Residential Projects (Continued from May 11, 2022)

Recommendation: Alternative 1: Recommend that the City Council adopt an ordinance amending Title 18 Zoning to include Chapter 18.13 Two Unit Dwelling Residential Development and Urban Lot Splits.

As-Needed Planner John Baty provided the staff presentation.

Public Speaker: Vincent Conditto

A motion was made by Commissioner Ikezi, seconded by Commissioner Cherukuru to close public hearing.

Aye: 6 - Chair Biagini, Vice Chair Cherukuru, Commissioner Herro, Commissioner Huang, Commissioner Ikezi, and Commissioner Saleme

Absent: 1 - Commissioner Bhatnagar

A motion was made by Commissioner Cherukuru to approve staff's recommendation with the modifications to (1) consider lot size when establishing parking requirements; (2) establish a maximum height of 28 feet, potentially with a reduction to 25 feet depending on lot width and historic status; (3) incorporate the solar access language proposed by staff; and (4) establish an affordability requirement through Council adoption of a policy.

Assistant City Attorney Alexander Abbe explained that an affordability requirement would not be a part of this ordinance, but could be brought as a separate motion after the action on this ordinance was completed. Commissioner Cherukuru consented to remove the affordability language from her motion.

Planning Manager Leslie Xavier then clarified that the current zoning ordinance maximum height is 28 feet, not 25 feet. Based on that clarification, Commissioner Cherukuru modified her motion to approve staff's recommendation with the modifications to (1) consider lot size when establishing parking requirements, and (2) establish uniform a maximum height of 25 feet; and (3) incorporate the solar access language proposed by staff.

Commissioner Ikezi asked for clarification on the motion, as to whether the proposed height limit applied irrespective of the location of the house on the lot. Commissioner Ikezi pointed out that existing single-family residences must have a 20-foot setback, and ADUs can only be 16 feet tall, with a 5-foot setback. Allowing residences to go up to 25 feet, with only a 4-foot setback, would be a dramatic increase in massing, and raise privacy concerns. In response, Commissioner Cherukuru indicated that she would drop her modification related to height. Her motion became to approve staff's recommendation with the modifications to (1) consider lot size when establishing parking requirements, and (2) incorporate the solar access language proposed by staff.

Chair Biagini seconded the motion.

Commissioner Ikezi, seconded by Commissioner Huang, proposed an amendment to Commissioner Cherukuru's Motion to add the following modifications: that (1) the required parking be allowed to be uncovered; (2) the parking spaces within the 20 foot setback in the front yard count toward the required parking ratio of one space per dwelling; (3) that 50% of the front setback area be allowed to be

covered with hardscape; and (4) incorporate the solar access language proposed by staff.

Commissioner Cherukuru indicated that she would accept items (2) and (3) from Commissioner Ikezi's motion as a friendly amendment to her main motion. Commissioner Ikezi's item (4) was already a part of Commissioner Cherukuru's main motion. As a result, Commissioner Cherukuru's motion was modified to approve staff's recommendation with the modifications to (1) consider lot size when establishing parking requirements; (2) incorporate the solar access language proposed by staff; (3) the parking spaces within the 20 foot setback in the front yard count toward the required parking ratio of one space per dwelling; and (4) 50% of the front setback area be allowed to be covered with hardscape.

Commissioner Cherukuru did not accept Commissioner Ikezi's first proposal as a friendly amendment, however – that required parking be allowed to be uncovered. As a result, the Commission voted whether to amend Commissioner Cherukuru's motion to include an allowance for parking to be uncovered.

The motion for the proposed amendment failed.

Aye: 3 - Commissioner Herro, Commissioner Huang, and Commissioner Ikezi

Nay: 3 - Chair Biagini, Vice Chair Cherukuru, and Commissioner Saleme

Absent: 1 - Commissioner Bhatnagar

The Commission then proceeded to consider Commissioner Cherukuru's motion, seconded by Commissioner Biagini to approve staff recommendation 1 with the following modifications: consider lot size when establishing parking requirements, (2) incorporate the solar access language proposed by staff; (3) the parking spaces within the 20 foot setback in the front yard count toward the required parking ratio of one space per dwelling; and (4) that 50% of the front setback area be allowed to be covered with hardscape.

Aye: 5 - Chair Biagini, Vice Chair Cherukuru, Commissioner Herro, Commissioner Ikezi, and Commissioner Saleme

Nay: 1 - Commissioner Huang

Absent: 1 - Commissioner Bhatnagar

A motion was made by Commissioner Ikezi, seconded by Commissioner Huang to amend the motion to not incorporate affordability requirements for any SB9 projects.

The proposed amendment failed.

Aye: 3 - Commissioner Herro, Commissioner Huang, and Commissioner Ikezi

Nay: 3 - Chair Biagini, Vice Chair Cherukuru, and Commissioner Saleme

Absent: 1 - Commissioner Bhatnagar

The Commission then proceeded to consider Cherukuru's motion, seconded by Commissioner Biagini to recommend that the City adopt a policy of affordability that addresses SB9 properties with incentives to homeowners.

The motion passed.

Aye: 4 - Chair Biagini, Vice Chair Cherukuru, Commissioner Herro, and Commissioner Saleme

Nay: 2 - Commissioner Huang, and Commissioner Ikezi

Absent: 1 - Commissioner Bhatnagar

REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:

1. Announcements/Other Items

Commissioner Cherukuru expressed support for the hybrid meetings allowing for in-person participation.

2. Commissioner Travel and Training Reports, Requests to attend Trainings

Commissioner Saleme, Commissioner Cherukuru and Chair Biagini reported on their attendance at the virtual American Planning Association National Conference that took place May 18-20, 2022.

A motion was made by Commissioner Ikezi, seconded by Commissioner Saleme to reimburse Chair Biagini for a \$180.00 payment for the APA Passport subscription.

Aye: 6 - Chair Biagini, Vice Chair Cherukuru, Commissioner Herro, Commissioner Huang, Commissioner Ikezi, and Commissioner Saleme

Absent: 1 - Commissioner Bhatnagar

DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:

1. Planning Commission Budget Update

Office Specialist IV Elizabeth Elliott provided updates.

2. Upcoming Agenda Items

Planning Manager Lesley Xavier provided updates.

3. City Council Actions

Planning Manager Lesley Xavier commented that there were no updates.

ADJOURNMENT:

A motion was made by Commissioner Ikezi, seconded by Commissioner Huang to commemorate the memory of the two most recent shooting incidents in Buffalo, New York and Uvalde, Texas with a moment of silence. Commissioner Herro requested to include a moment of silence in memory of the two-year anniversary of the George Floyd murder.

The meeting adjourned at 8:36 p.m.

The next regular scheduled meeting is on June 15, 2022.

Aye: 6 - Chair Biagini, Vice Chair Cherukuru, Commissioner Herro, Commissioner Huang, Commissioner Ikezi, and Commissioner Saleme

Absent: 1 - Commissioner Bhatnagar

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Agenda Report

22-685

Agenda Date: 6/15/2022

REPORT TO PLANNING COMMISSION

SUBJECT

Action on a Variance to Maintain a One-Car Garage with a 597 Square Foot Addition to a Single-Family Residence at 723 Scott Boulevard

BACKGROUND

On April 18, 2022, the applicant, Dimpy Sanduja, filed an application for a variance to construct a 597 square foot rear addition to an existing single-family home and maintain an attached one-car garage. The project requires a variance to maintain the existing one-car garage where two covered parking spaces are required for a single-family addition of 500 square feet or more.

The subject site is located in a residential development tract that was originally constructed with one-car garages. Many of the homes in this neighborhood have requested variances to retain a one-car garage for additions over 500 square feet.

DISCUSSION

The project proposes a 597 square foot addition to an existing 936 square foot single-story residence with two bedrooms and one bathroom. The proposal as completed would be a 1,533 square foot single-story residence with three bedrooms, two bathrooms, and an attached one-car garage.

The minimum required driveway access to a garage per Santa Clara City Code (SCCC) Section 18.74.050(a)(2) is ten feet in width with one foot of landscaping on each side. The required minimum lot width in the R1-6L zone is 60 feet and the subject property has 57 feet with a seven-and-a-half-foot side yard setback from the existing garage. The substandard 57-foot width of the lot and the existing layout of the home would require a significant demolition of the existing structure to accommodate the required dimension for a covered parking space of 20 feet depth by 20 feet width. The applicant has provided a statement of justification for the proposed Variance attached to this staff report as Attachment 1 for review.

Prior to 2014, the City's General Plan included a policy that additions not exceeding 500 square feet (and less than four bedrooms) could be constructed without having to meet the Zoning Code parking requirements. As this Policy is not currently in the General Plan and further because the proposed addition would exceed 500 square feet, the proposal is subject to the parking requirements of the Zoning Code, unless a variance is granted by the Planning Commission.

Zoning

The proposed project does not comply with the R1-6L parking requirement for the attached garage per SCCC Section 18.12.120(a) and 18.74.010(b)(3). Pursuant to SCCC Section 18.108.010, where practical difficulties, unnecessary hardships, and effects, inconsistent with the general purposes of the Zoning Code may result from the strict application of certain provisions, variances may be

granted. The location of the house on the 57-foot wide lot and the existing house configuration preclude the construction of a detached garage in the rear yard or expansion of the existing garage. For these reasons and the findings in the Resolution attached to this staff report, there is sufficient evidence to support the Variance request.

Conclusion

The proposed Variance would allow the property owner to reasonably use the property without incurring the substantial burden of reconstructing the house to accommodate a two-car garage. The owner's intent is to optimize the use of the property and meet personal family needs. The design of the garage is consistent with the type and location of covered parking in the surrounding neighborhood. Additional on-site parking is provided on the paved driveway in front of the garage. Approval of the proposal would allow the property owners to submit the requisite plans to the City to obtain building permits.

ENVIRONMENTAL REVIEW

[The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301(e)(2), additions to existing facilities. The Project would make an addition to an existing structure of less than 10,000 square feet, the Project is located in an area where all public services and facilities are available, and the area where the Project is located is not environmentally sensitive.

FISCAL IMPACT

There is no impact to the City for processing the requested application other than administrative staff time and expense typically covered by processing fees paid by the applicant.

COORDINATION

This report has been coordinated with the City Attorney's Office.

PUBLIC CONTACT

On June 3, 2022, a notice of public hearing of this item was posted in at least three conspicuous locations within 300 feet of the project site and mailed to property owners within 300 feet of the project site. Planning Staff has not received public comments for this application during the preparation of this report.

RECOMMENDATION

Approve the Variance to allow a 597 square foot rear addition to a single-family residence and maintain an attached one-car garage, subject to conditions of approval

Prepared by: Steve Le, Assistant Planner I

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

1. Statement of Justification
2. Project Data
3. Resolution Approving the Variance
4. Conditions of Approval
5. Development Plan

Deepak Bhosale & Vijaya More
723 Scott Blvd Santa Clara, CA 95050

April 17, 2022

Dear Members of the Planning Commission;

We are writing to seek a one car garage variance for our single-family home at 723 Scott Blvd, Santa Clara, CA 95050. Section 18.12.120 of current zoning code states that *"each single-family dwelling shall have two garage or carport parking spaces; these parking spaces shall be prohibited in required front yards or corner lot side yards. A minimum driveway length of twenty (20) feet is required between said parking and any street right-of-way line."* Our current residence is 956 sq ft 2 Bed, 1 Bath house. With a family of three which includes a 3 year old toddler, the current space is not enough for us and thus we would like to add a first-floor addition at the rear of our property and due to the constraints of our narrow lot we respectfully request to maintain our existing one car garage.

Criteria (a) That there are unusual conditions applying to the land or building which do not apply generally in the same district.

The property is a narrow lot of 57ft width and has 5ft wide side setback on both sides of the house. Per section 18.12.060 of current zoning code, a minimum lot of 60ft width is required; also a minimum 20ft driveway length is required. The shape and size of the lot are beyond our control.

Criteria (b) That the granting of the variance is necessary for the preservation and enjoyment of substantial property rights of the petitioner.

Approval of the request would permit us to construct an addition to our home on the rear of the property reasonably consistent in size and character with other homes in the vicinity and same zone.

Taking into account the narrow lot size, setbacks, and minimum lot coverage, a two car garage would necessitate a major reconstruction of the front of the house. Specifically, the garage would need to be extended towards the living room, presenting practical difficulties, as a complete redesign and reconstruction of the living room would be necessary as well. Such a project would be very expensive and would require demolishing the existing property entirely which would incur the substantial burden of reconstructing the house and it is beyond our budget. That would likely force us to give up our home and the neighborhood we have grown to love. Our neighbors are kind and considerate, and socially we are well integrated with them. In all respects, it is a lovely neighborhood well suited for a quiet living and raising our child. We would not want to uproot ourselves and our child from here.

We have also learned that several home owners in the neighborhood have previously submitted a variance request in the past for similar house extensions over 500 square feet, while keeping a 1-car garage, and were approved by the City.

Ex: 723 Armanini Avenue, Santa Clara / 2919 Agate Drive, Santa Clara / 741 Enright Avenue, Santa Clara / 417 Maria Street, Santa Clara

Criteria (c) That the granting of such variance shall not, under the circumstances of the particular case, materially affect adversely the health, safety, peace, morals, comfort or

general welfare of persons residing or working in the neighborhood of the applicant's property and will not be materially detrimental to the public welfare or injurious to property or improvements in said neighborhood.

Approval of a variance to maintain the one car garage would allow us to maximize the development potential of the lot without having a negative impact on health, safety, peace, morals, comfort or general welfare of the neighborhood. Parking is not an issue in the neighborhood as we have one car garage and a driveway to park our car. Also, there appears to be an abundance of parking on the street.

Criteria (d) That the granting of the variance is in keeping with the purpose and intent of this title. (Zoning Ord. § 54-4).

We hope you agree that our request would produce an aesthetically proper addition if not an enhancement to our neighborhood and is in keeping with the purpose and intent of the Zoning Ordinance. Should you have any questions, please contact us at 480-330-1830. Thank you for your thoughtful consideration of this request.

Project Data

File: PLN22-00007
Location: 723 Scott Boulevard, a 6,441 square foot lot located on the east side of Scott Boulevard approximately 300 feet south of De La Pena Avenue; APN: 269-30-046; property is zoned Single-family Residential (R1-6L).
Applicant: Dimpy Sanduja
Owner: Deepak Bhosale
Request: **Variance** to maintain an attached one-car garage with a new 597 square foot rear addition to an existing 936 square foot single-family residence.
CEQA Determination: Categorically Exempt per CEQA Section 15301, Existing Facilities

	Existing	Proposed
General Plan Designation	Very Low Density Residential	Same
Zoning District	Single Family - R1-6L	Same
Lot Size	6,441 sf.	Same
Land Use	Single-family home	Same
Parking	Single-car garage	Same
Existing First Floor	926sf	1,533sf
Bedroom/Bathroom	2/1	3/2

RESOLUTION NO. XX-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA APPROVING A VARIANCE TO MAINTAIN A ONE-CAR GARAGE WITH A NEW 597 SQUARE FEET ADDITION TO A SINGLE-FAMILY RESIDENCE AT THE SITE LOCATED AT 723 SCOTT BOULEVARD, SANTA CLARA

PLN22-00007 (Variance)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on April 18, 2022, Dimpy Sanduja (“Applicant”) filed an application for a Variance to construct a 597 square foot rear addition to an existing single-family home and maintain an attached one-car garage where two covered parking spaces would be required for an addition over 500 square foot for the single-family residence located at 723 Scott Boulevard, Santa Clara (“Project Site”);

WHEREAS, the Project Site is currently zoned as R1-6L, Single-family Residential Zoning District;

WHEREAS, the Project is Categorically Exempt per Section 15301(e)(2) (Additions to Existing Facilities) of the Guidelines to the California Environmental Quality Act (“CEQA”), Public Resources Code § 21000 et seq, because the Project would make an addition to an existing structure of less than 10,000 square feet, the Project is located in an area where all public services and facilities are available, and the area where the Project is located is not environmentally sensitive;

WHEREAS, the subject property is a substandard lot with 57-foot width where 60 feet is the minimum lot width in the Single-family Residential Zoning District (R1-6L);

WHEREAS, on June 3, 2022, the notice of public hearing for this item was posted within 300 feet of the Project Site and was mailed to property owners within a 300-foot radius of the Project Site; and,

WHEREAS, a duly noticed public hearing was held before the Planning Commission on June 15, 2022 to consider the application. At the public hearing, the Planning Commission invited and considered any and all verbal and written testimony offered in favor of and in opposition to the Project.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds the above Recitals are true and correct and by this reference makes them a part thereof.

2. That the Planning Commission hereby finds that approving a Variance to construct a 597 square foot rear addition to an existing single-family home and maintain an attached one-car garage falls within the CEQA Exemption of the CEQA Guidelines Sections 15301 (e)(2) Additions to Existing Facilities, Public Resources Code § 21000 et seq, because the Project would make an addition to an existing structure of less than 10,000 square feet, the Project is located in an area where all public services and facilities are available, and the area where the Project is located is not environmentally sensitive.

3. That pursuant to SCCC Section 18.108.040, the Planning Commission determines that the following findings exist in support of the variance:

A. That there are unusual conditions applying to the land or building which do not apply generally in the same district, in that the location of the house on the substandard lot with 57 foot width and the existing house configuration preclude the construction of a detached garage in the rear yard or expansion of the existing garage.

B. That the granting of the Variance is necessary for the preservation and enjoyment of substantial property rights of the Property Owner, in that the rear addition to create a new master bedroom and maintain a one-car garage reasonably meets personal family needs and will optimize the use of the property.

C. That the granting of such Variance, under the circumstances of the particular case, will not materially affect adversely the health, safety, peace, comfort, or general welfare of persons residing or working in the neighborhood of the Property Owner's property, and will not be materially detrimental to the public welfare or injurious to property or improvements in said neighborhood, in that the proposed Project is compatible in layout and appearance of homes in the surrounding neighborhood. The proposed frontage with one-car garage is in keeping with the pattern of the frontage of the neighborhood.

D. That the granting of the Variance is in keeping with the purpose and intent of the Zoning Ordinance, in that the proposed Project would provide and maintain on-site parking on the driveway and in the existing garage as current conditions.

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 15th DAY OF JUNE, 2022, BY THE FOLLOWING VOTE:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:
ABSTAINED:	COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:
1. Conditions of Approval
2. Development Plans

CONDITIONS OF APPROVAL
723 Scott Boulevard
PLN22-00007

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

GENERAL

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.
- G3. The Variance Permit shall be automatically revoked and terminated if not used within two years of the original grant, or within the period of any authorized extension in accordance with the terms of SCCC Section 18.108.080.

ATTORNEY'S OFFICE

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- BD1. Informational: Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- BD2. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- BD3. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page: <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall

include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.

- During construction retaining a single company to install all fire rated penetrations is highly recommended.
- The grade level lobbies shall be min.1 hour rated all sides and above.
- All stair shafts shall be min. 1 hour rated.
- All elevator shafts shall be min. 1 hour rated.
- All trash chute shafts shall be min. 1 hour rated.
- Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
- Any trash rooms shall be min. 1 hour rated all sides and above.

BD5. Informational: The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

BD6. Informational: Temporary Certificates of Occupancy will not be routinely issued, and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

PLANNING

- P1. Property owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P2. Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and federal holidays, all in accordance with City Code Chapter 9.10.
- P3. Incorporate Best Management Practices (BMPs) into construction plans and at least one incorporate post construction water runoff measure into project plans in accordance with the City's Urban Runoff Prevention Program standards prior to issuance of building permits.

SOLID WASTE

- SW1. The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at Environment@santaclaraca.gov or (408) 615-3080 for more information.
- SW2. The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines.

- SW3. For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a **Waste Management Plan** and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclarawastetracking.com/>.
- SW4. Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.
- SW5. This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW6. This property falls within the City's non-exclusive franchise hauling area. The applicant is required to use one of the City's approved non-exclusive franchise haulers and rate structure for any hired debris boxes. Current list of non-exclusive franchise haulers may be found on www.santaclaraca.gov/cd . Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.
- SW7. All refuse from all residential, commercial, industrial and institutional properties within the city shall be collected at least once a week, unless otherwise approved in writing (SCCC 8.25.120). Garbage service level required for residential developments (single-family and multi-family) as well as motels and hotels shall be no less than twenty (20) gallons per unit. All project shall submit to the Public Works Department the preliminary refuse service level assessment for approval.

ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement/Encroachment Permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of subdivision map and/or issuance of building permits.

WATER & SEWER

W1. 1" Domestic Service: If a new sprinkler system will be required by the Fire Department for this addition, then the applicant shall abandon the existing domestic service and replace with a 1" service and meter per City Standard Details.

I:\PLANNING\2022\Project Files Active\PLN22-00007 723 Scott Blvd (Variance)\723 Scott Blvd - COAs.doc

723 SCOTT BLVD ADDITION & REMODEL

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
 CALIFORNIA BUILDING CODE, 2019 EDITION
 CALIFORNIA RESIDENTIAL CODE, 2019 EDITION
 CALIFORNIA PLUMBING CODE, 2019 EDITION
 CALIFORNIA MECHANICAL CODE, 2019 EDITION
 CALIFORNIA ELECTRICAL CODE, 2019 EDITION
 2019 CALIFORNIA REFERENCED STANDARDS CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 CITY OF SANTA CLARA MUNICIPAL CODE
 COUNTY OF SANTA CLARA CODES AND ORDINANCES

DESCRIPTION OF WORK:

CONSTRUCT A 597 SQ FT ADDITION TO THE REAR OF THE RESIDENCE. REMODEL OF THE EXISTING RESIDENCE.

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
09/27/21	T-24 REVISIONS



PROJECT DATA:

COUNTY: SANTA CLARA
 APN#: 269-30-046
 YEAR BUILT: 1947
 ZONING: RT-6L
 OCCUPANCY: R-3/U
 CLIMATE ZONE: 4
 TYPE OF CONSTRUCTION: V-B
 SEISMIC CATEGORY "D"
 SPRINKLERS: N
 STORIES: 1
 BEDROOMS: (E) 2 (N) 3
 BATHROOMS: (E) 1 (N) 2
 (E) RESIDENCE: 936 SQ FT
 RESIDENCE ADDITION: 597 SQ FT
 (N) LIVING AREA: 1533 SQ FT
 LOT SF: 6,441 SQ FT

SHEET INDEX:

A0.1 COVER, PROJECT DATA, INDEX
 A0.2 CODE & CONSTRUCTION NOTES
 G1.0 CAL GREEN REQUIREMENTS
 G1.1 CAL GREEN REQUIREMENTS
 T-24A T-24 ENERGY CALCULATIONS
 MFTR RESIDENTIAL MANDATORY MEASURES
 A1.00 SITE PLANS
 A1.10 (E) FLOOR PLAN & DEMOLITION PLAN
 A1.11 (N) FLOOR PLAN
 A1.12 (N) ENLARGED FLOOR PLAN - REAR
 A1.13 (N) ENLARGED FLOOR PLAN - FRONT
 A1.14 CONSTRUCTION NOTES
 A1.15 DOOR & WINDOW SCHEDULE
 A1.16 SKYLIGHT DETAILS
 A2.10 (E) ROOF PLANS
 A2.11 (N) ROOF PLANS
 A3.10 SECTION VIEW & CONSTRUCTION DETAILS
 A4.10 ELEVATIONS - PLAN SOUTH
 A4.11 ELEVATIONS - PLAN WEST
 A4.12 ELEVATIONS - PLAN NORTH
 A4.13 ELEVATIONS - PLAN EAST
 P1.10 PLUMBING PLAN - WASTE & VENT
 P1.11 PLUMBING PLAN - SUPPLY
 E1.10 ELECTRICAL PLAN - REAR
 E1.11 ELECTRICAL PLAN - FRONT
 M1.10 MECHANICAL PLAN

STD1 STANDARD DETAILS
 STD2 STANDARD DETAILS
 STD3 STANDARD DETAILS
 S1 FOUNDATION PLAN
 S2 FRAMING PLAN
 S3 CUSTOM DETAILS
 S4 CUSTOM DETAILS

CONTRACTOR MUST RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 FOUND ON SHEET G1.0, OR MEET A MORE STRINGENT CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE PRESCRIBED BY THE CITY OF SANTA CLARA OR COUNTY OF SANTA CLARA.

DRAFTER - CHRIS KLIMEN CAD SERVICES
 CHRIS KLIMEN
 510.928.1359

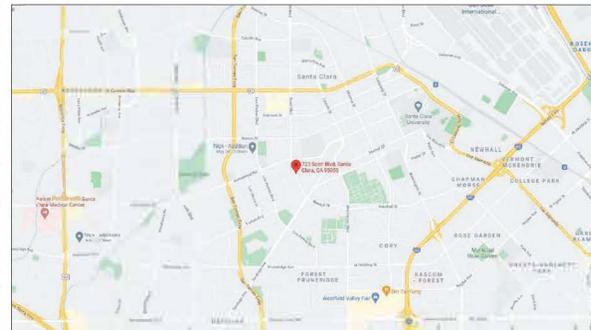
CIVIL ENGINEER - SLNG
 ENGINEERING INC.
 PETER SUNG
 510.475.7800

ENERGY CONSULTANT - GREEN SOLUTIONS
 EDUARDO TIJERINA
 661.300.0690

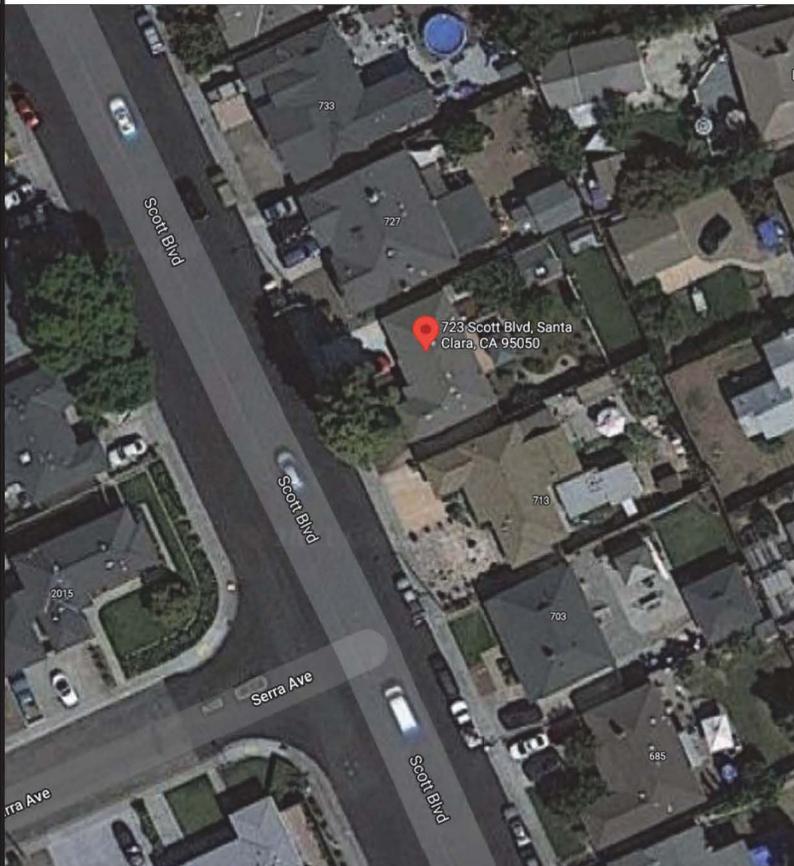
GENERAL CONTRACTOR - GREEN BAY REMODELING
 ELAD BATTO
 424.378.9090



ASSESSORS PARCEL MAP



VICINITY MAP



LOCAL MAP



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

OWNER
 PH - U
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

Drawn by
 Chris Klimen
 klimen@att.net
 FH: 510.928.1359
 Date: MAY 14 2021
 Project/Job #: 6001421
 Peter Christopher Klimen
 REGISTERED DESIGNER WITH CALIFORNIA BOARD
 DBL-15084-001-001 (SITE 05/02/01)

SITE DATA
 SHEET INDEX

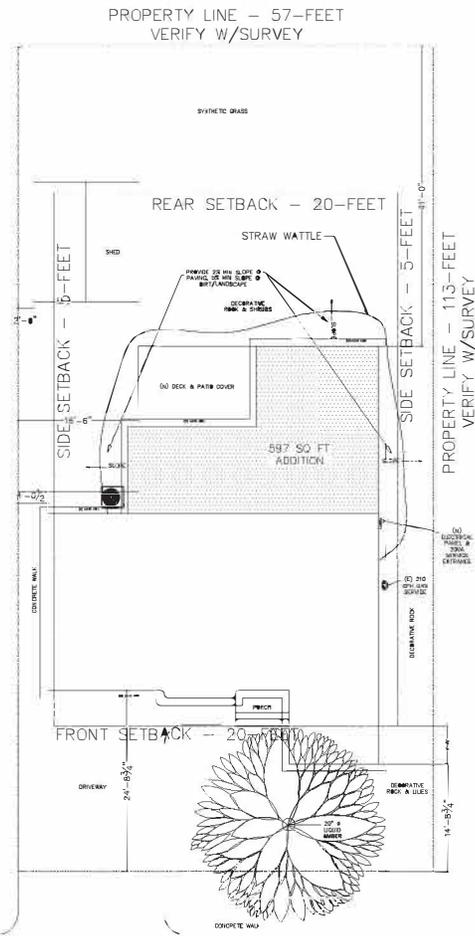
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SCOTT BLVD.

(E) SITE PLAN
SCALE: 1/8"=1'-0"



SCOTT BLVD.

(N) SITE PLAN
SCALE: 1/8"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & POOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/11/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
08/27/21	T-24 REVISIONS



ADDITION & REMODEL
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SANTA CLARA, CA 95050-6926
APN: 269-30-046

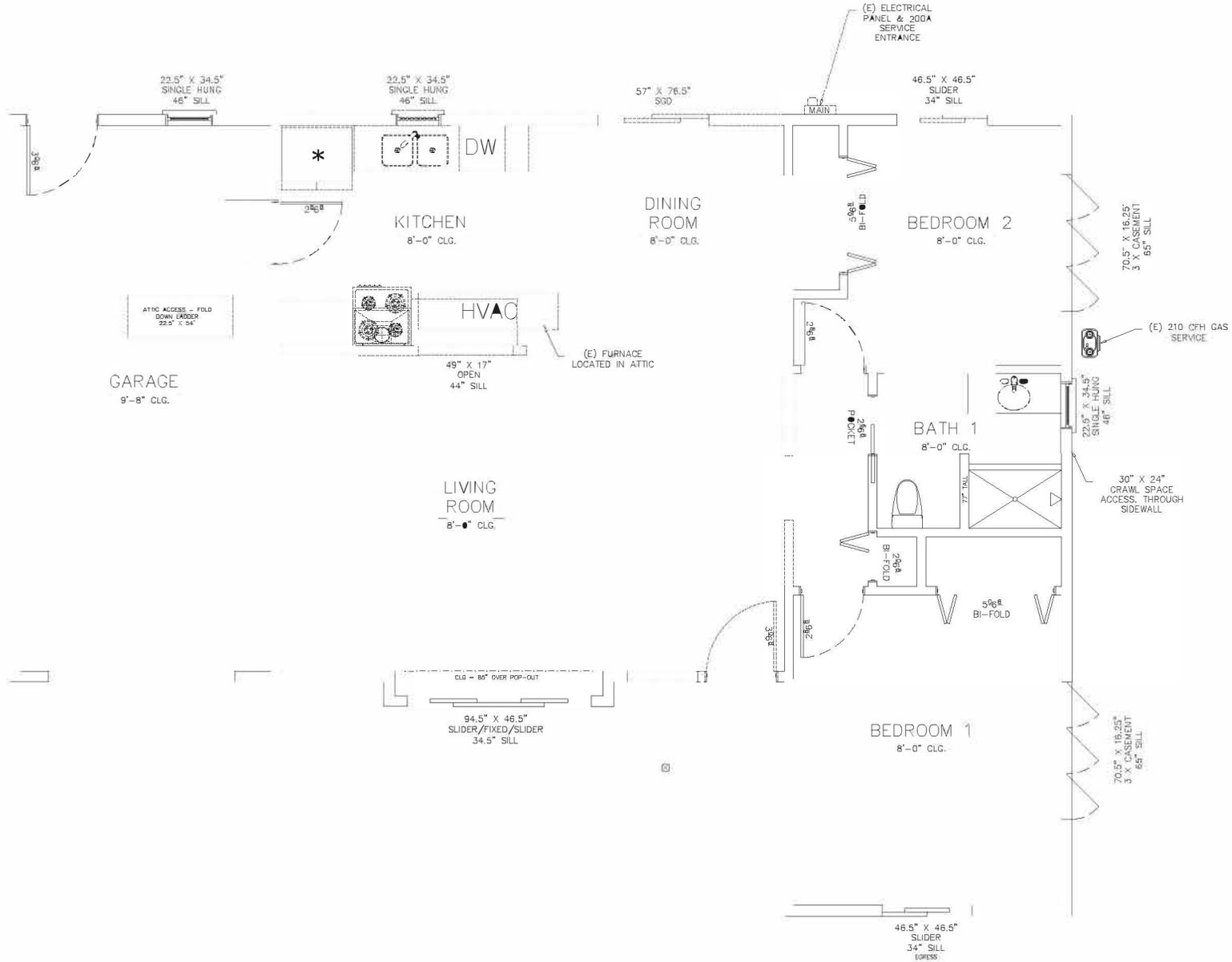
OWNER:
PH - 0
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

Drawn by
Chris Klimen
klimen@att.net
PH 510 828 1358
Date MAY 14 2021
Project / Job # G0001421
Peter Christopher Klimen
REGISTERED ARCHITECT STATE OF CALIFORNIA
EXPIRES 12/31/2023

SITE PLAN

A1.00

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Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
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08/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-00-046

OWNER:
 PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

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 Date MAY 14 2021
 Project / Job # G0001421

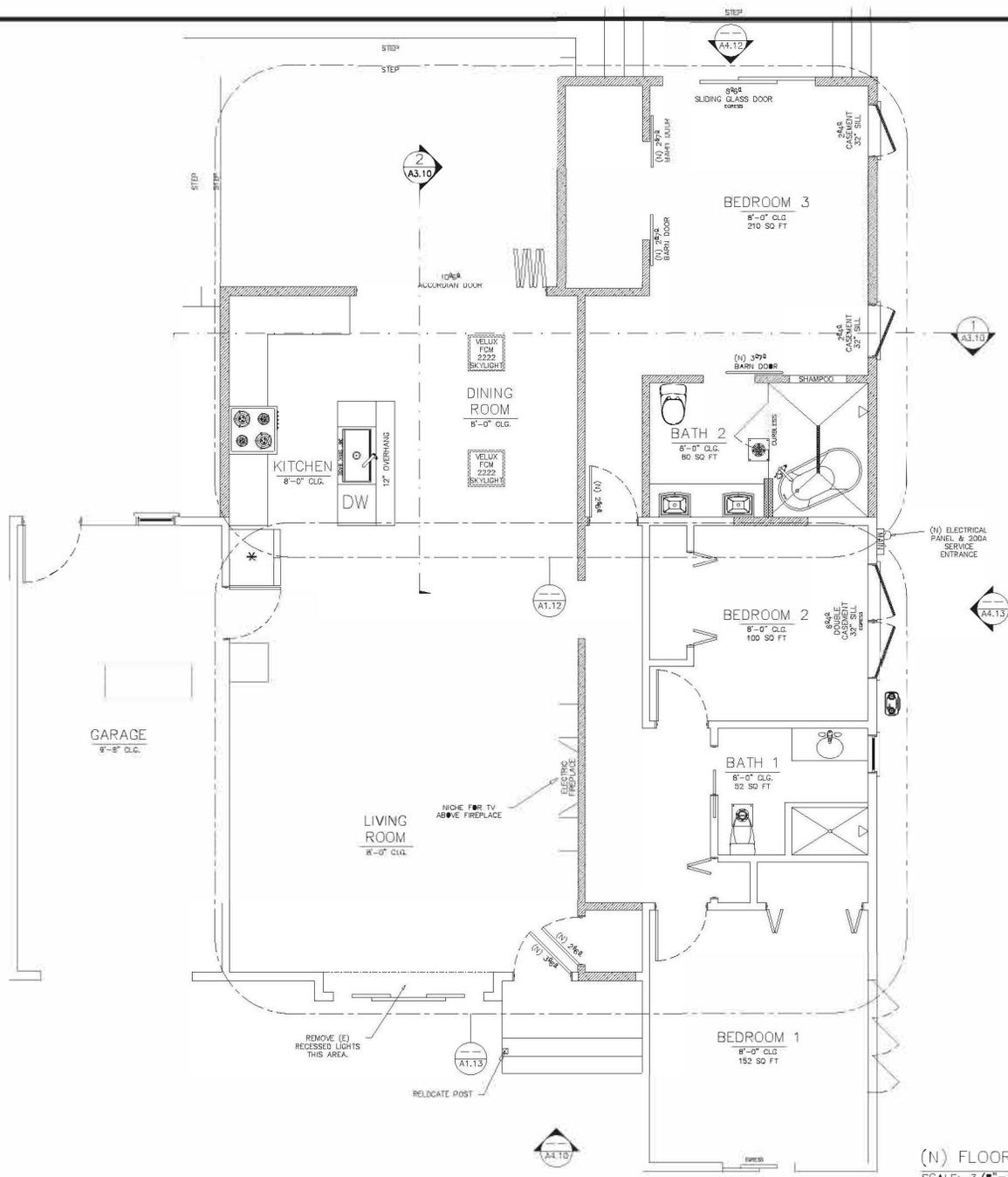
Peter Christopher Klimen
REGISTERED ARCHITECT - STATE OF CALIFORNIA
 EXPIRES 12/31/2024

**EXISTING
 FLOOR PLAN
 & DEMOLITION
 PLAN**

A1.10

(E) FLOOR PLAN & DEMOLITION PLAN
 SCALE: 1/2"=1'-0"

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(N) FLOOR PLAN
 SCALE: 3/8"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
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08/27/21	T-24 REVISIONS



ADDITION & REMODEL
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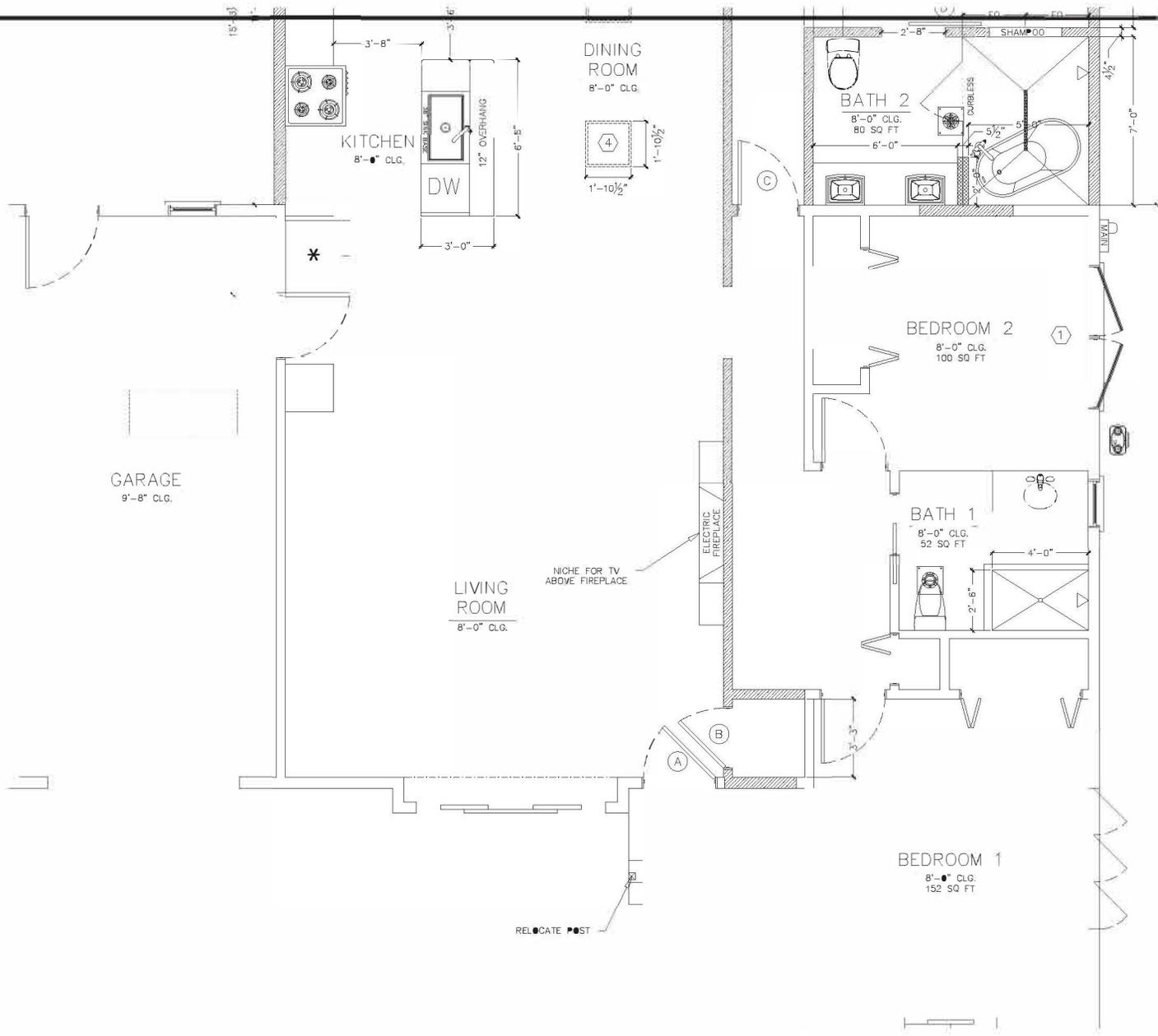
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 Chris Klimen
 klimen@att.net
 PH 510.828.1358
 Date MAY 14 2021
 Project / Job # GB061421

Peter Christopher Klimen
DESIGNED BY PETER CHRISTOPHER KLIMEN
 EMAIL: KLIMEN@ATT.NET DATE: 05/14/21

**PROPOSED
 FLOOR PLAN**

A1.11

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09/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

OWNER:
 PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

Drawn by
 Chris Klimen
 klimen@att.net
 PH 510 828 1358
 Date MAY 14 2021
 Project / Job # GB061421

Peter Christopher Klimen
 DESIGN DRAWN BY PETER CHRISTOPHER KLIMEN
 EMAIL: KLIMEN@ATT.NET DATE: 05/20/21

**ENLARGED
 PROPOSED
 FLOOR PLAN -
 FRONT**

A1.13

(N) FLOOR PLAN
 SCALE: 1/2" = 1'-0"

● ●●● SCHEDULE

MARK	ROOM	WIDTH	HEIGHT	TYPE	R.O. WIDTH	R.O. HEIGHT	COLOR - INTERIOR	COLOR - EXTERIOR	HARDWARE SEE KEY	MANUFACTURER	NOTES
A	ENTRY	3'-0"	6'-8"	SWING							EXTERIOR GRADE
B	LIVING ROOM	2'-6"	6'-8"	SWING							
C	BEDROOM 3	2'-6"	6'-8"	SWING							
D	BEDROOM 3	3'-0"	7'-0"	BARN							
E	BEDROOM 3	5'-4"	7'-8"	BARN PAIR							
F	DINING ROOM	10'-0"	6'-8"	ACCORDION							TEMPERED/SAFETY GLASS
G	BEDROOM 3	8'-0"	6'-8"	SGD							TEMPERED/SAFETY GLASS

○ WINDOW SCHEDULE

MARK	ROOM	WIDTH	HEIGHT	TYPE	R.O. WIDTH	R.O. HEIGHT	COLOR - INTERIOR	COLOR - EXTERIOR	HARDWARE COLOR	MANUFACTURER	NOTES
1	BEDROOM 2	6'-0"	4'-0"	DOUBLE CASEMENT							
2	BEDROOM 3	2'-8"	4'-0"	CASEMENT							
3	BEDROOM 3	2'-8"	4'-0"	CASEMENT							
4	DINING ROOM	1'-10 1/2"	1'-10 1/2"	SKYLIGHT						VELUX	MODEL: FCM 2222 TEMPERED/SAFETY GLASS
5	DINING ROOM	1'-10 1/2"	1'-10 1/2"	SKYLIGHT						VELUX	MODEL: FCM 2222 TEMPERED/SAFETY GLASS

KEY: VERIFY DOOR & WINDOW SIZES BEFORE PLACING ORDER. FOLLOW MANUFACTURERS R.O. DIMENSIONS FOR ALL DOOR & WINDOW OPENINGS. NEW WINDOWS TO HAVE MAXIMUM U FACTOR & MAXIMUM SHGC VALUES AS SPECIFIED IN THE T-24 REPORT.

- | | | | | | |
|-----|-----------------------|----|-----------------------|------|----------------------|
| BP | BI-PASS | T | TEMPERED/SAFETY GLASS | SL | SLIDER |
| BF | BI-FOLD | OS | OVERHEAD SECTIONAL | SGD | SLIDING GLASS DOOR |
| SC | SOLID CORE | ● | OBSCURE | SH | SINGLE HUNG |
| HC | HOLLOW CORE | E | EXISTING TO REMAIN | DBLH | DOUBLE HUNG |
| 1HR | 1HR RATED FIRE DOOR | FR | FRENCH DOOR | AW | AWNING |
| | W/SELF CLOSING HINGES | SW | SWING | BISL | BIDIRECTIONAL SLIDER |

SAFETY GLAZING IS REQUIRED FOR AN INDIVIDUAL FIXED OR OPERABLE WINDOW PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
 • WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN A CLOSED POSITION.
 • WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & POOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/01/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
08/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

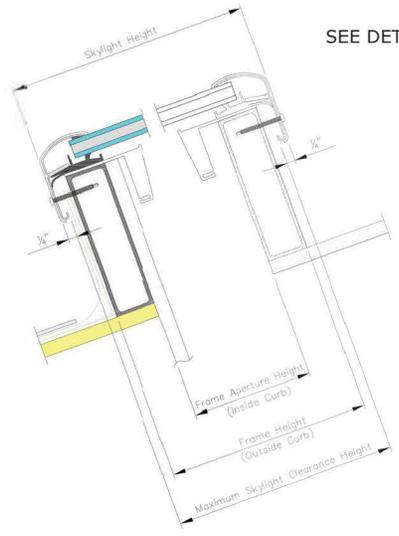
OWNER:
 PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

Drawn by
 Chris Klimen
 klimen@att.net
 PH 510.828.1358
 Date MAY 14 2021
 Project/Job# G0001421
 Peter Christopher Klimen
DESIGNED/DRAWN BY PETER CHRISTOPHER KLIMEN
 DATE 05/14/21 11:47 AM DATE 05/14/21

DOOR & WINDOW SCHEDULE

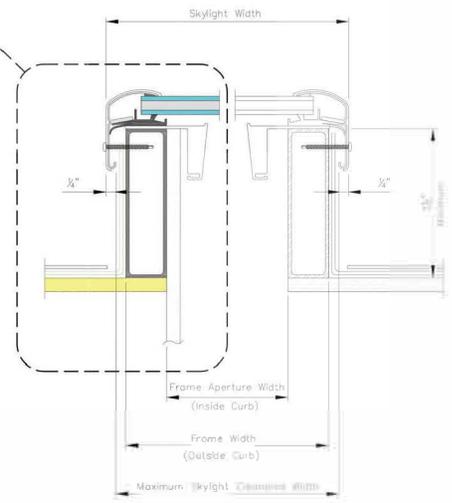
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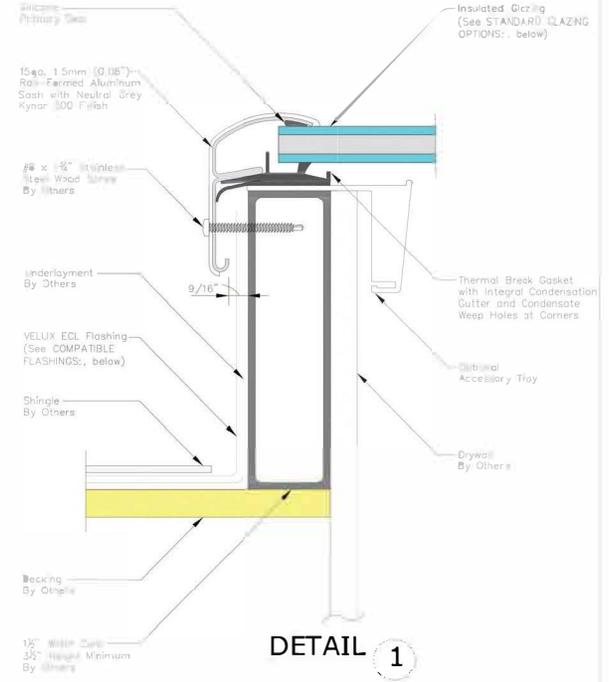


VERTICAL CROSS SECTION

SEE DETAIL 1



HORIZONTAL CROSS SECTION



DETAIL 1

PRODUCT DIMENSIONS									
METRIC UNITS (MM) (METER)					IMPERIAL UNITS (INCHES)				
Size	Frame Width	Frame Aperture Width	Skylight Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Skylight Height	Maximum Skylight Clearance Height	Daylight Area (Sq. Meters)
1430	445	368	485	493	851	776	892	900	0.28
1446	445	368	485	473	727	1181	1289	788	0.43
2222	648	532	688	676	645	592	665	639	0.31
2230	648	532	688	676	851	775	892	879	0.44
2234	648	532	688	676	953	878	994	981	0.50
2246	648	532	688	676	1257	1181	1293	1265	0.68
2270	648	532	688	676	1687	1180	1808	1895	1.02
3030	851	775	892	879	851	775	892	879	0.60
3046	851	775	892	879	1257	1181	1293	1265	0.92
3050	851	775	892	879	1458	1410	1627	1514	1.08
3434	952	876	994	981	857	876	954	981	0.77
3446	952	876	994	981	1237	1181	1299	1265	1.03
4822	1293	1181	1293	1265	648	575	688	676	0.60
4846	1293	1181	1293	1265	1257	1181	1299	1286	1.38
4850	1293	1181	1293	1265	1818	1842	1840	1841	2.18
4875	1293	1181	1293	1265	2122	1818	2122	2122	2.18
1430	17 1/2	14 1/2	19 1/8	19 1/8	33 1/2	30 1/2	35 1/8	35 1/8	0.11
1446	17 1/2	14 1/2	19 1/8	18 5/8	33 1/2	45 1/2	51 1/8	38 5/8	0.17
2222	25 1/2	22 1/2	27 1/4	27 1/4	25 1/2	22 1/2	27 1/8	26 3/8	0.12
2230	25 1/2	22 1/2	27 1/4	27 1/4	33 1/2	30 1/2	35 1/8	34 3/8	0.16
2234	25 1/2	22 1/2	27 1/4	26 5/8	33 1/2	34 1/2	35 1/8	38 1/8	0.19
2246	25 1/2	22 1/2	27 1/4	26 5/8	48 1/2	48 1/8	51 1/8	50 3/8	0.27
2270	25 1/2	22 1/2	27 1/4	26 5/8	63 1/2	70 1/2	75 1/8	74 3/8	0.41
3030	33 1/2	30 1/2	35 1/8	34 3/8	33 1/2	30 1/2	35 1/8	34 3/8	0.46
3046	33 1/2	30 1/2	35 1/8	34 3/8	48 1/2	45 1/2	51 1/8	50 3/8	0.66
3050	33 1/2	30 1/2	35 1/8	34 3/8	58 1/2	50 1/2	68 1/8	59 1/8	0.76
3434	37 1/2	34 1/2	39 1/8	38 5/8	33 1/2	34 1/2	35 1/8	38 5/8	0.27
3446	37 1/2	34 1/2	39 1/8	38 5/8	48 1/2	45 1/2	51 1/8	50 3/8	0.34
4822	49 1/2	46 1/2	51 1/8	50 3/8	25 1/2	22 1/2	27 1/8	26 3/8	0.27
4846	49 1/2	46 1/2	51 1/8	50 3/8	49 1/2	46 1/2	51 1/8	50 3/8	0.50
4875	49 1/2	46 1/2	51 1/8	50 3/8	75 1/2	72 1/2	77 1/8	76 3/8	0.87

- STANDARD GLAZING OPTIONS:
- Laminated LOWE3 (04 and 14)
 - Tempered LOWE3 (05 and 15)
 - Impact (06 and 16)
 - White Laminated (08)
- *Tempered Exterior Pane used with all options

- COMPATIBLE FLASHINGS:
- ECL Step flashing
 - ECWTie flashing

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
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08/27/21	T-24 REVISIONS



ADDITION & REMODEL
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
APN: 269-30-046

OWNER:
PH - ()
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

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Project Job# G0001421
Peter Christopher Klimen
GENERAL CONTRACTOR
SANTA CLARA, CA DATE: 02/21/21

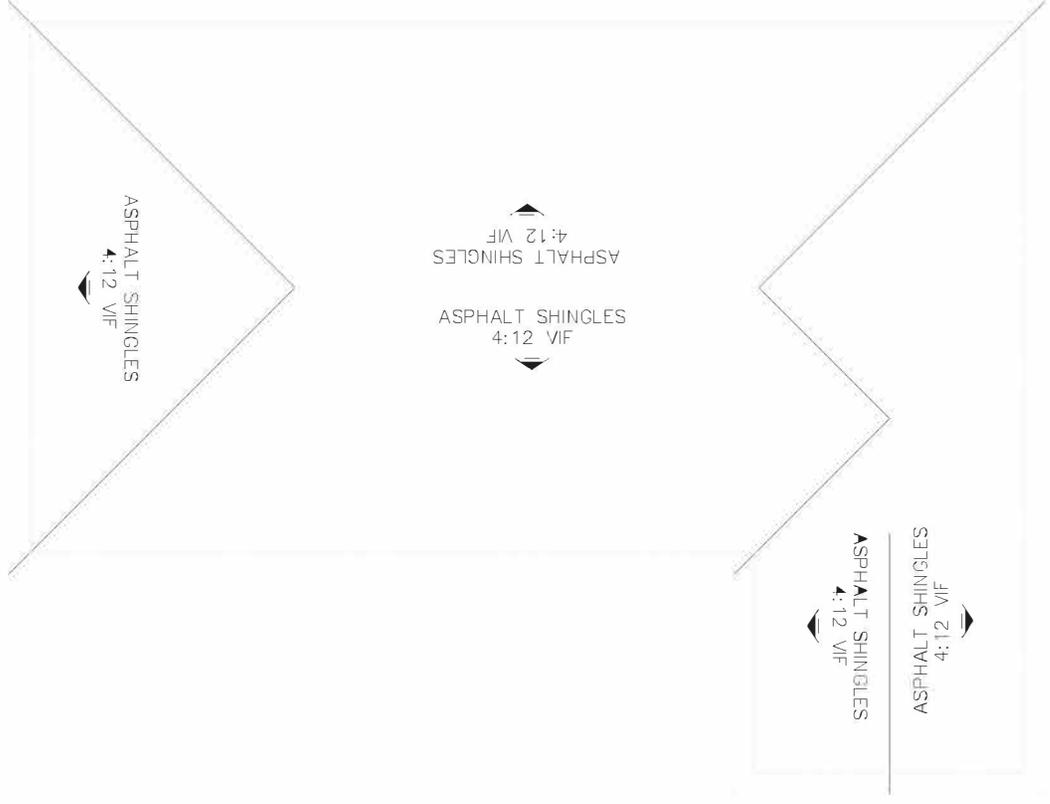
SKYLIGHT DETAILS

A1.16

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(E) ROOF PLAN
SCALE: 3/8"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
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723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
APN: 269-30-046

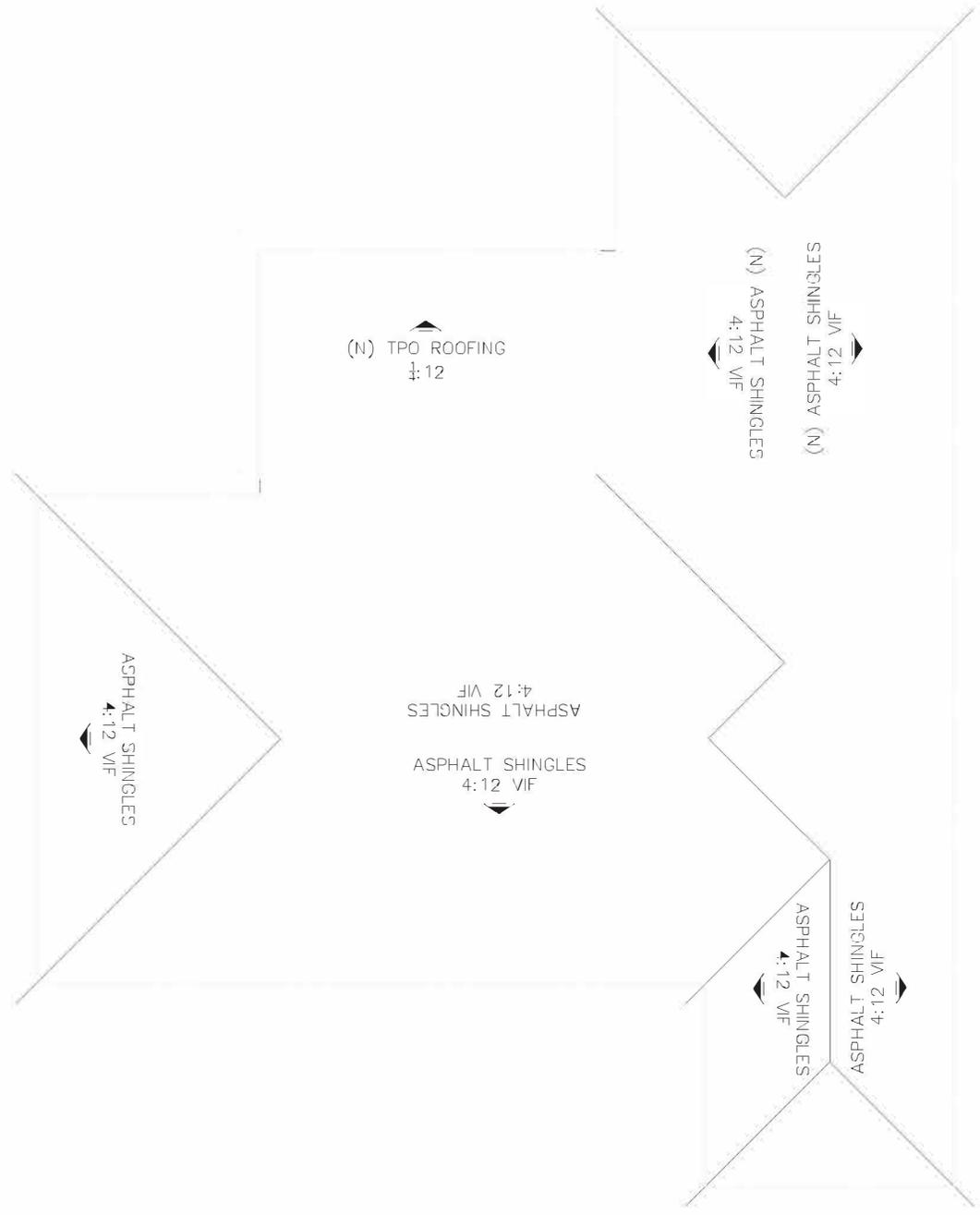
OWNER:
PH - 0
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

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Project / Job # GB061421

Peter Christopher Klimen
DESIGNED BY PETER CHRISTOPHER KLIMEN
EMAIL: KLIMEN@ATT.NET DATE: 05/14/21

EXISTING ROOF PLAN

A2.10



(N) ROOF PLAN
SCALE: 3/8"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
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ADDITION & REMODEL
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
APN: 269-30-046

OWNER:
PH - 0
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

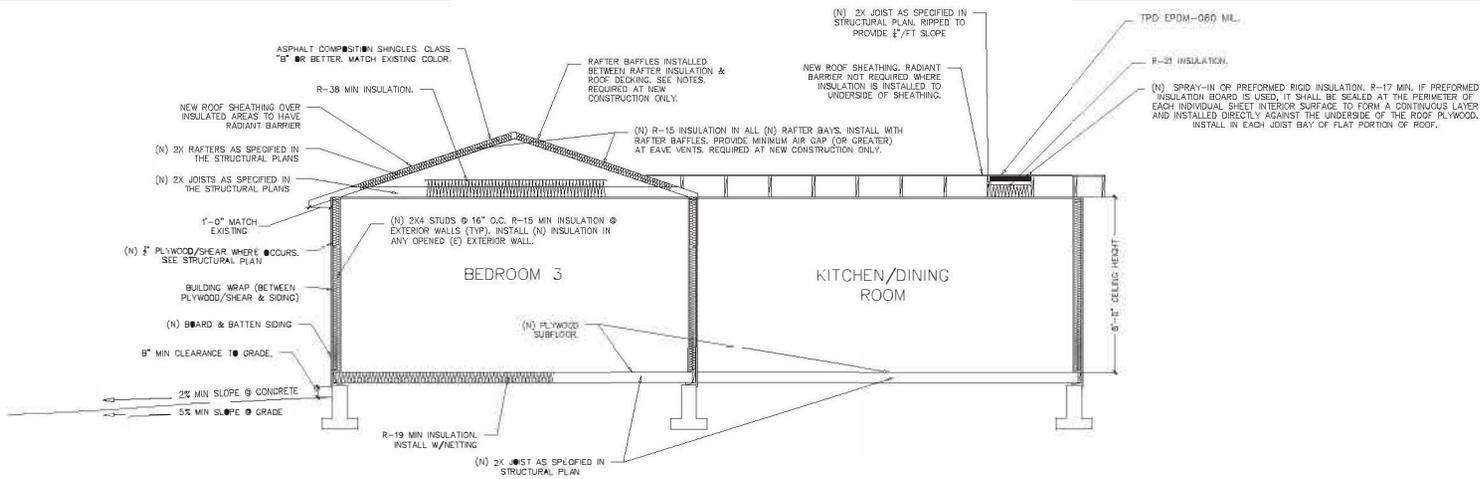
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Date MAY 14 2021
Project / Job # GB061421

Peter Christopher Klimen
DESIGNED BY PETER CHRISTOPHER KLIMEN
EMAIL: KLIMEN@ATT.NET DATE: 05/14/21

**PROPOSED
ROOF PLAN**

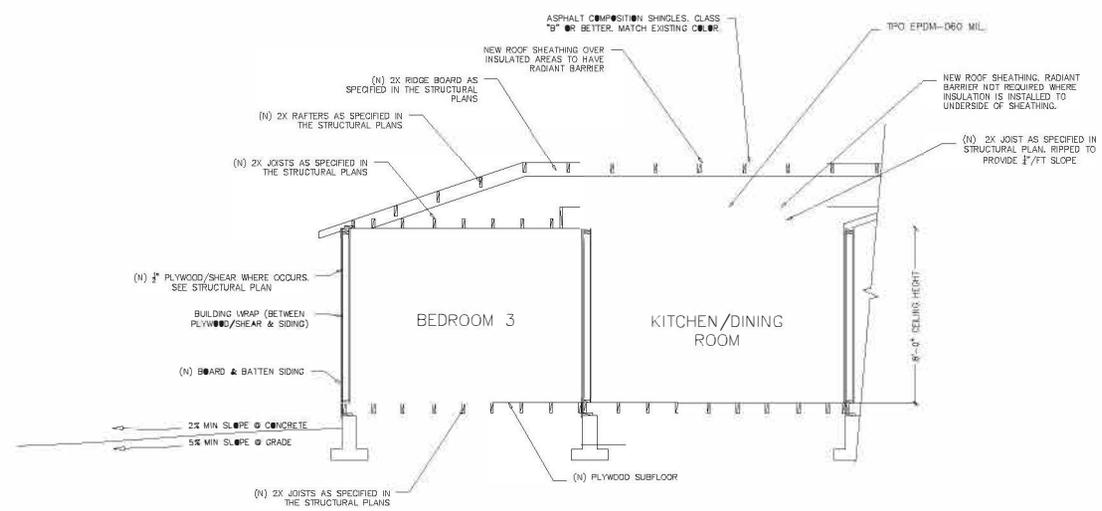
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- CONSTRUCTION NOTES:**
- (N) BOARD & BATTEN SIDING, INSTALL PER MANUFACTURERS INSTRUCTIONS.
 - (N) ROOFING @ SLOPED ROOF TO BE COMPOSITION OF CLASS 'B' OR BETTER, COLOR TO MATCH EXISTING.
 - UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I, ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. UNDERLAYMENT SHALL BE APPLIED SINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 8 FEET.
 - (N) ROOFING @ FLAT ROOF TO BE TPO 60-MIL SLOPE ROOF WITH SHEET INSULATION SUITABLE FOR ROOFING INSTALLATIONS TO PROVIDE 3" PER FOOT MINIMUM SLOPE.
 - NEW ROOF SHEATHING OVER INSULATED AREAS TO HAVE RADIANT BARRIER. RADIANT BARRIER NOT REQUIRED WHERE INSULATION IS INSTALLED TO UNDERSIDE OF SHEATHING.
 - WHERE EAVE OR CORNING VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR, NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.
 - INSTALL OWENS-CORNING "RAFT-R-MATE" (OR EQUAL) INSULATION RAFTER BATTLES BETWEEN INSULATION & ROOF SHEATHING AT ALL LOCATIONS WHERE INSULATION IS INSTALLED BETWEEN RAFTER BAYS (NEW CONSTRUCTION). INSTALL PER MANUFACTURERS INSTRUCTIONS.
 - ANY NEW WOOD FRAMING MEMBERS LESS THAN 8 INCHES FROM THE EXPOSED GROUND SHALL BE PRESSURE TREATED LUMBER.
- INSULATION NOTES:**
- NEW FLAT PORTION OF CEILING MEETS REQUIREMENTS UNDER SECTION R806.5 AS AN UNVENTED ROOF FRAMING ASSEMBLY; THE AMOUNTS OF PREFORMED RIGID OR SPRAY-IN INSULATION REQUIRED TO ACHIEVE A R-17 VALUE, READILY EXCEED THE REQUIRED AMOUNTS FOR CONDENSATION CONTROL. (R-8 FOR CLIMATE ZONE 4).

A3.10 SECTION VIEW
SCALE: 3/8"=1'-0"



A3.10 SECTION VIEW
SCALE: 3/8"=1'-0"

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/31/21	ELECTRICAL REVISIONS
09/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
09/27/21	T-24 REVISIONS



ADDITION & REMODEL
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926
APN: 269-00-046

OWNER:
PH - 0
723 SCOTT BLVD
SANTA CLARA, CA 95050-6926

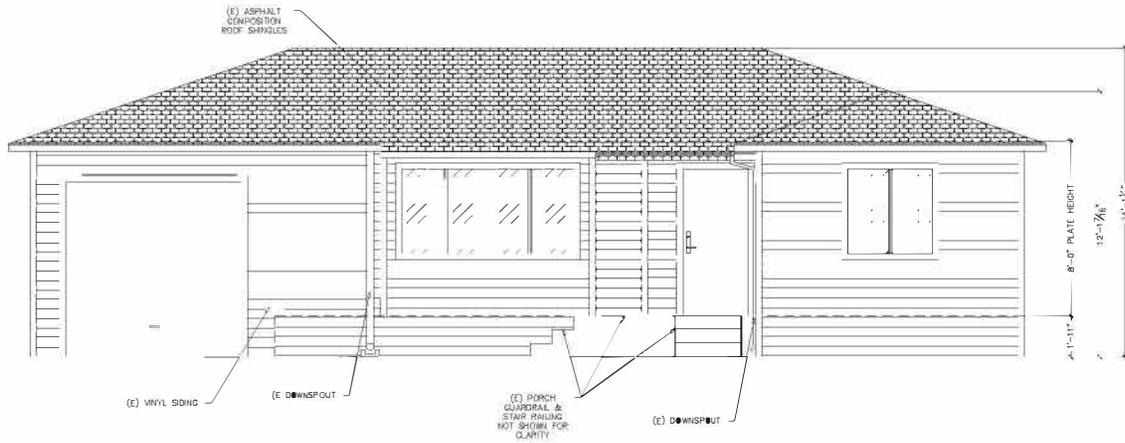
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Project / Job # GB061421

Peter Christopher Klimen
DESIGNED BY PETER CHRISTOPHER KLIMEN
DRAWING/ATT.NET DATE 09/27/21

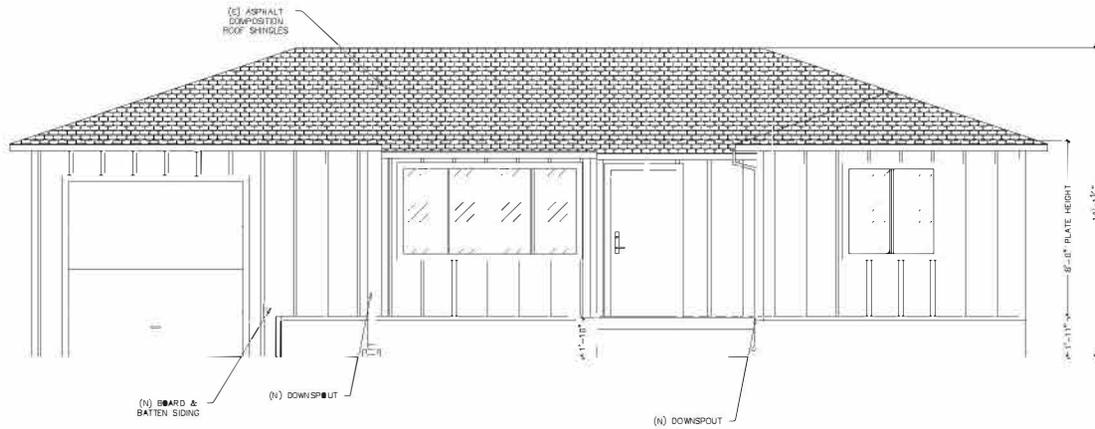
SECTION VIEWS & DETAILS

A3.10

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(E) ELEVATION FROM PLAN SOUTH
 SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN SOUTH
 SCALE: 3/8"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/07/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
08/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

OWNER:
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 SANTA CLARA, CA 95050-6926

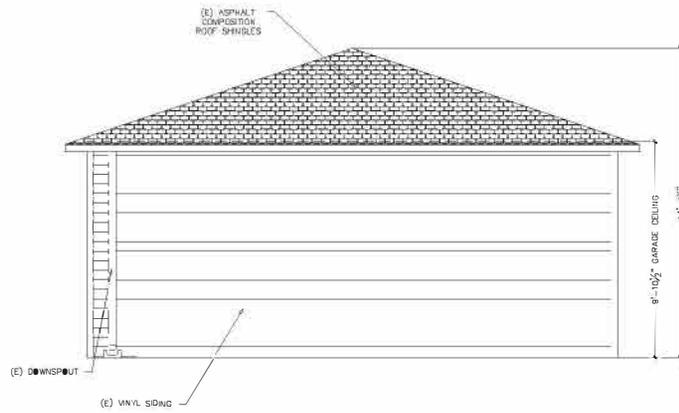
Drawn by
 Chris Klimen
 klimen@att.net
 PH 510 828 1358
 Date MAY 14 2021
 Project / Job # G0001421

Frederick Christopher Klimen
REGISTERED ARCHITECT - STATE OF CALIFORNIA
 LICENSE NUMBER 47147 - DATE 08/09

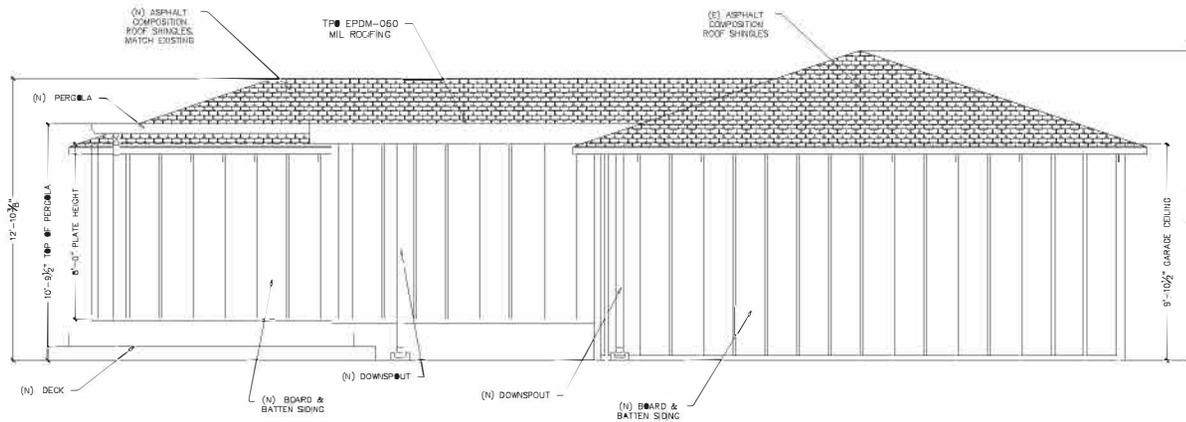
CONSTRUCTION NOTES

A4.10

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 ARCH full bleed D (24.00 x 36.00 inches)



(E) ELEVATION FROM PLAN WEST
 SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN WEST
 SCALE: 3/8"=1'-0"

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/01/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
08/27/21	T-24 REVISIONS



ADDITION & REMODEL
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 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

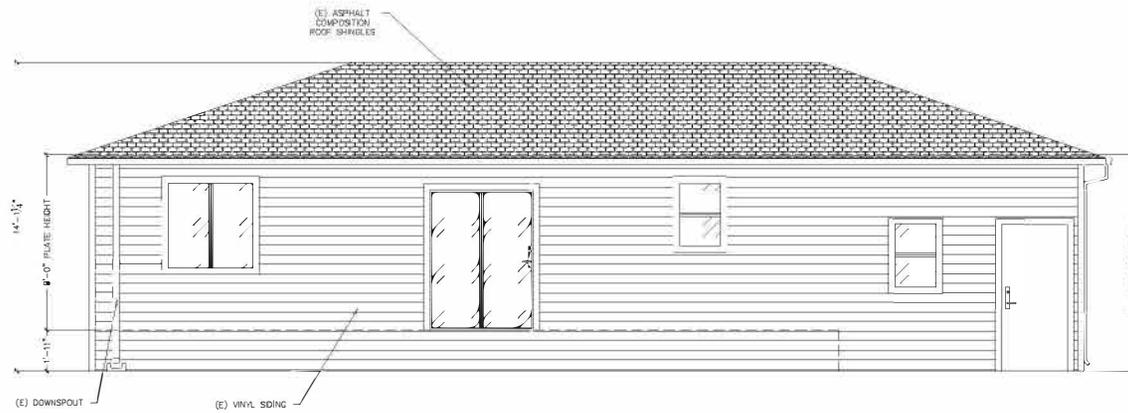
OWNER:
 PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

Drawn By
 Chris Klimen
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 Date MAY 14 2021
 Project / Job # G0001421

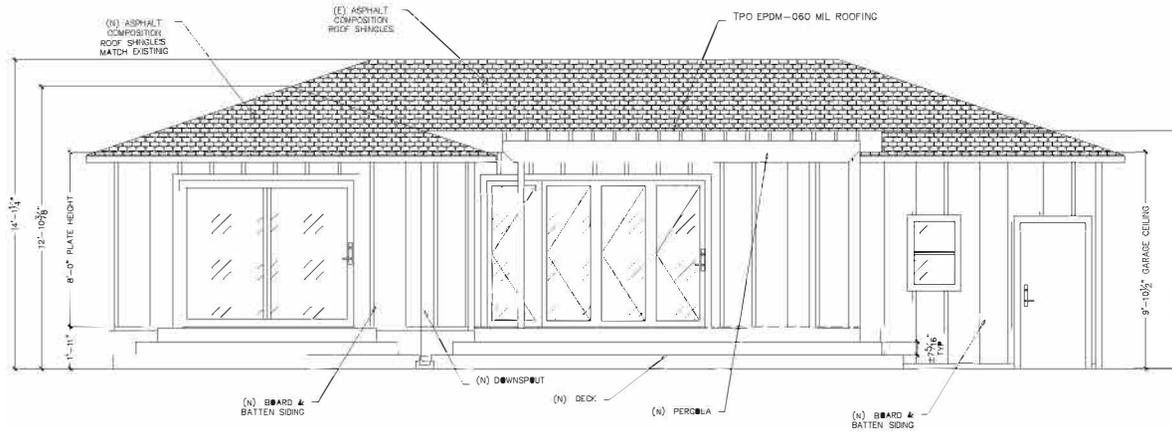
Frederick Christopher Klimen
 LICENSED ARCHITECT - STATE OF CALIFORNIA
 00001421-0000-0000-0000-0000

CONSTRUCTION NOTES

A4.11



(E) ELEVATION FROM PLAN NORTH
 SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN NORTH
 SCALE: 3/8"=1'-0"

Revision History

05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/17/21	ELECTRICAL REVISIONS
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08/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

OWNER:

PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

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Date MAY 14 2021

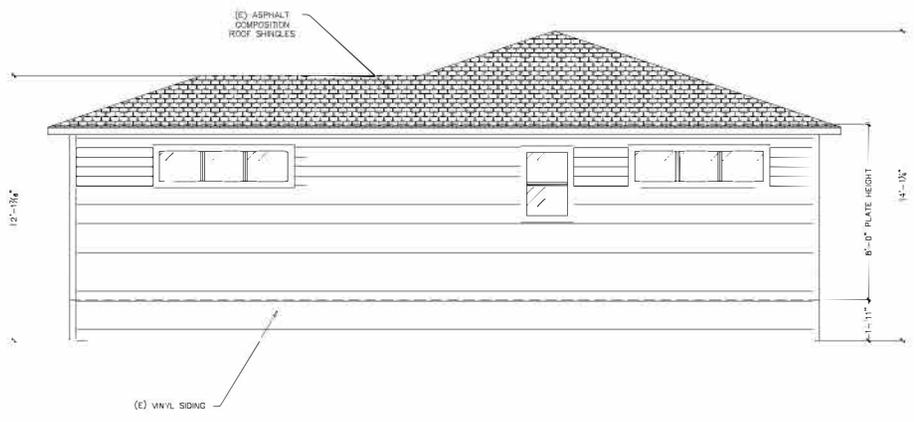
Project / Job # G0001421

Peter Christopher Klimen

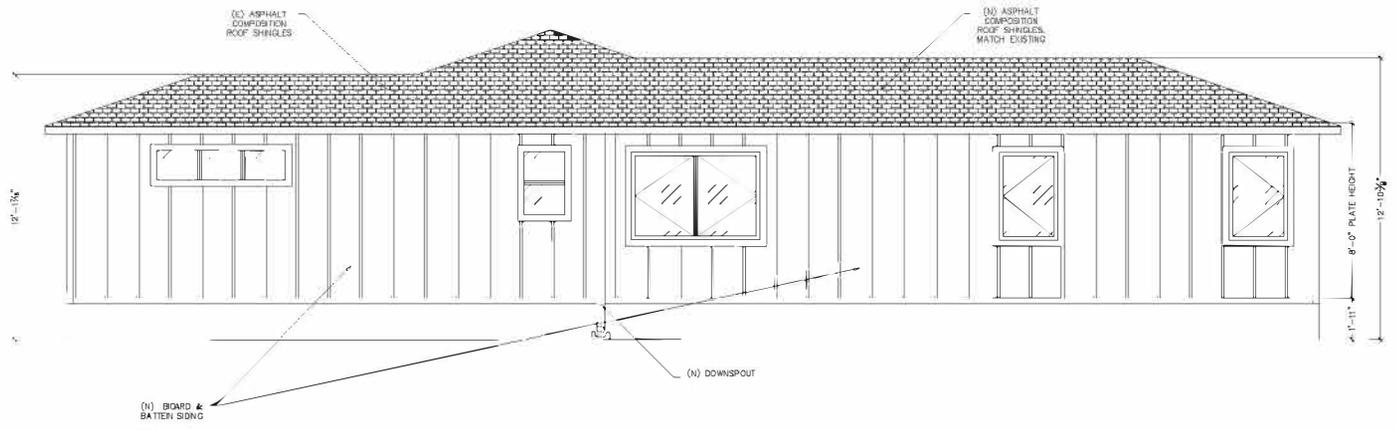
REGISTERED ARCHITECT STATE OF CALIFORNIA
 EXPIRES 12/31/2024

CONSTRUCTION
 NOTES

A4.12



(E) ELEVATION FROM PLAN EAST
 SCALE: 3/8"=1'-0"



(N) ELEVATION FROM PLAN EAST
 SCALE: 3/8"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
07/19/21	REVISIONS
08/24/21	PERMIT SET
08/01/21	ELECTRICAL REVISIONS
08/15/21	ELECTRICAL REVISIONS & COFFER REMOVAL
08/27/21	T-24 REVISIONS



ADDITION & REMODEL
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926
 APN: 269-30-046

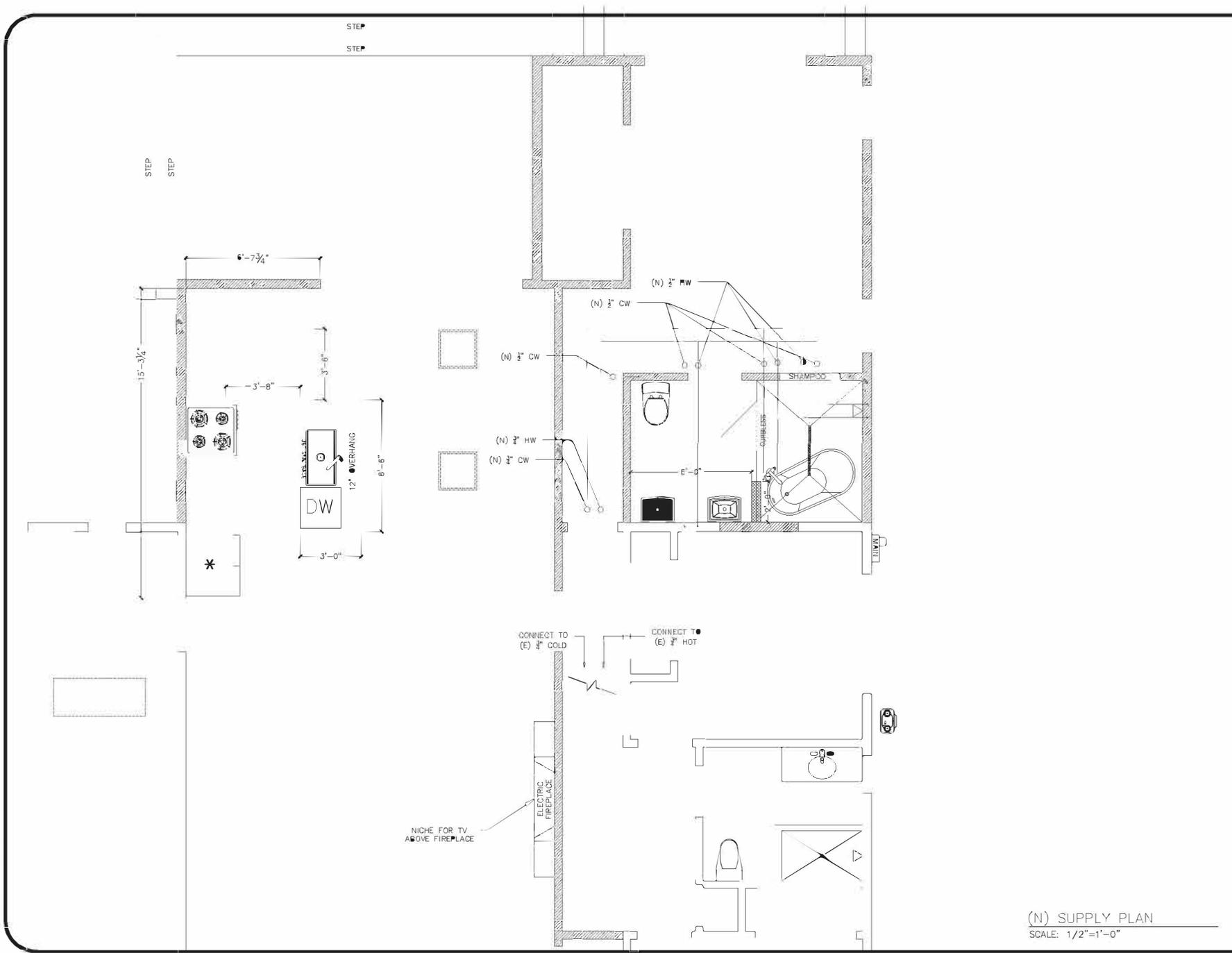
OWNER:
 PH - 0
 723 SCOTT BLVD
 SANTA CLARA, CA 95050-6926

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 Project / Job # G0001421
 Peter Christopher Klimen
 www.petechristopher.com

CONSTRUCTION NOTES

A4.13

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Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & ROOF PLANS
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 SANTA CLARA, CA 95050-6926
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OWNER:
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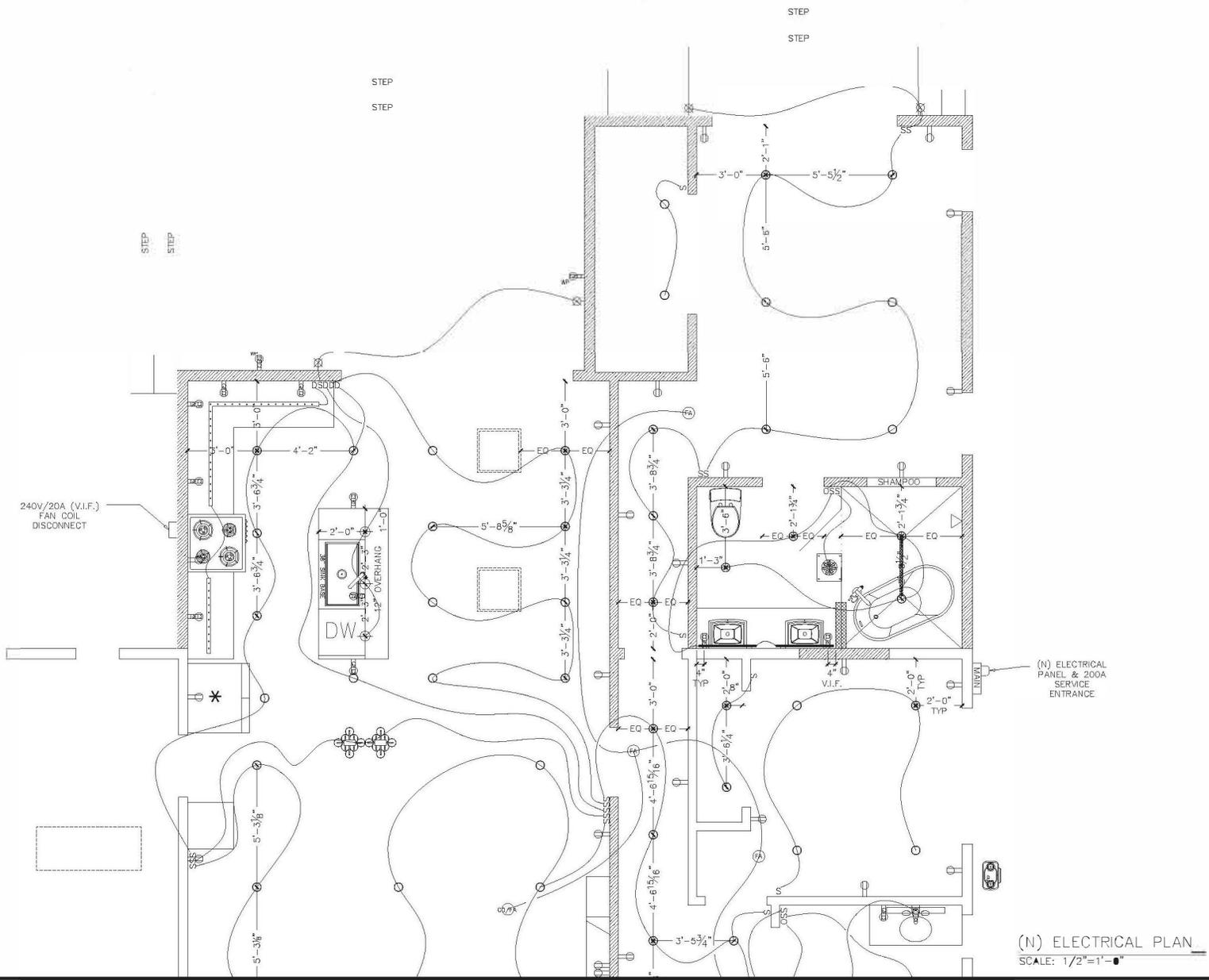
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 PH: 510.828.1358
 Date: MAY 14 2021
 Project / Job #: G0001421

Peter Christopher Klimen
REGISTERED PROFESSIONAL PLUMBER
 STATE OF CALIFORNIA LICENSE # 1421

**PLUMBING PLAN
 SUPPLY**

P1.11

(N) SUPPLY PLAN
 SCALE: 1/2"=1'-0"



(N) ELECTRICAL PLAN
 SCALE: 1/2"=1'-0"

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
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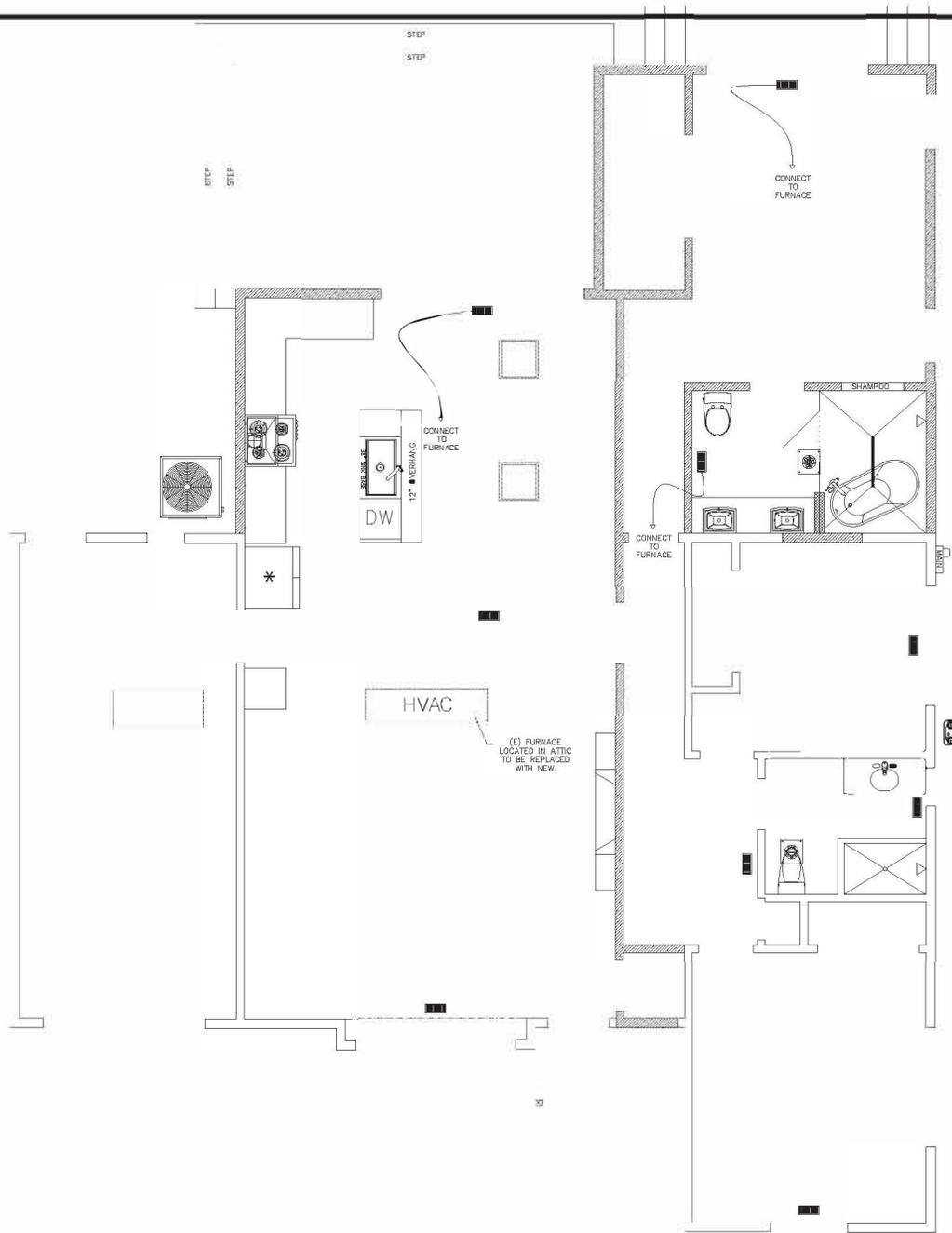
OWNER:
 PH - 0
 723 SCOTT BLVD
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 PH 510.828.1358
 Date MAY 14 2021
 Project / Job # GB061421

Peter Christopher Klimen
 DESIGN DRAWN BY PETER CHRISTOPHER KLIMEN
 EMAIL: KLIMEN@ATT.NET DATE: 05/20/21

**ELECTRICAL
 PLAN - REAR**

E1.10



MECHANICAL NOTES:
 • CONSULT THE T-24 REPORT FOR NEW MECHANICAL SYSTEM SPECIFICATIONS & EFFICIENCY REQUIREMENTS.
 • ALL NEW DUCTING TO HAVE R-8 MINIMUM INSULATION.

Revision History	
05/14/21	REVIEW SET
06/04/21	LAYOUT REVISIONS
06/23/21	REVISIONS & PERMITS PLANS
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08/24/21	PERMIT SET
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09/27/21	T-24 REVISIONS



ADDITION & REMODEL
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 SANTA CLARA, CA 95050-6926
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OWNER:
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 SANTA CLARA, CA 95050-6926

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 Project / Job # GB061421

Peter Christopher Klimen
DESIGNED BY PETER CHRISTOPHER KLIMEN
 EMAIL: KLIMEN@ATT.NET DATE: 05/27/21

MECHANICAL PLAN

M1.10

(N) MECHANICAL PLAN
 SCALE: 3/8"=1'-0"



Agenda Report

22-753

Agenda Date: 6/15/2022

REPORT TO PLANNING COMMISSION

SUBJECT

Action on Use Permit to allow on-site sale and consumption of beer and wine for a new Mendocino Farms Sandwich Market at 2040 Wyatt Drive, Suite 110

REPORT IN BRIEF

Applicant: Nina Raey, RSI Group, Inc

Owner: WH Silicon Valley LP

General Plan: Low Intensity Office / R&D

Zoning: Light Industrial (ML)

Site Area: 2,435 square foot tenant space in a previously approved Retail Center (File No. PLN2016-11737)

Existing Site Conditions: Vacant tenant space

Surrounding Land Uses: Commercial and Industrial

North: Commercial uses and Industrial Uses across Wyatt Drive

South: Commercial uses

East: Commercial uses

West: Mission College Boulevard

Issues: Consistency with the City's General Plan and Zoning Ordinance

Staff Recommendation: Adopt the resolution approving the Use Permit, subject to conditions of approval

BACKGROUND

The applicant is requesting a Use Permit to allow the on-site sale and consumption of beer and wine (ABC License Type 41) in conjunction with a new Mendocino Farms Sandwich Market in an existing tenant space located within an existing retail center. A Use Permit for this retail center, Mission Park Marketplace, was approved by the Planning Commission on July 27, 2016 (File No. PLN2016-11737). The restaurant will occupy a 2,435 square foot tenant space and a 1,103 square foot outdoor patio, with 70 indoor seats and 32 seats in the outdoor patio. The proposed restaurant hours of operation, along with the sale and service of beer and wine, are Monday to Sunday from 11:00 a.m. to 11:00 p.m. Alcohol sale and service would only be available during normal business hours and when food service is available.

DISCUSSION

Consistency with the General Plan

The subject property has a General Plan land use designation of Low Intensity Office / R&D. This classification is intended for areas that provide a transition between light industrial and higher intensity office and R&D uses. It includes landscaped areas for employee activities and parking that

may be surface, structured or below grade. Accessory, or secondary, small scale supporting retail uses that serve local employees and visitors are also permitted. The proposed restaurant use in the existing retail center is consistent with this land use designation, as well as the following General Plan policies:

5.3.3-P1 - Provide a mix of retail and commercial uses to meet the needs of local customers and draw patrons from the greater region.

The proposal is consistent with this policy in that the new restaurant will provide another eatery option within the larger retail development, which is surrounded by employment uses.

5.3.1 P9 Require that new development provide adequate public services and facilities, infrastructure, and amenities to serve the new employment or residential growth.

The proposal is consistent with this policy in that it will provide this public amenity to support the employment growth.

5.3.4 P11 Foster active, pedestrian oriented uses at the ground level, such as retail shops, offices, restaurants with outdoor seating, public plazas or residential units with front stoops, in mixed use development.

The proposal is consistent with this policy in that it provides a restaurant at the ground level of the larger retail development with outdoor seating.

5.3.5-P8 Encourage the provision of services and amenities as part of larger developments in employment areas that cater to lunchtime and service needs, such as dry cleaners, to reduce vehicle miles traveled.

The proposal would allow a full-service restaurant serving alcoholic beverages in close proximity to the City's industrial employment center.

Zoning Conformance

The subject property has a zoning designation of Light Industrial (ML). Pursuant to the Santa Clara City Code (SCCC), restaurants that serve alcoholic beverages are subject to Planning Commission review and approval of a Use Permit. SCCC Section 18.110.040 specifies the findings required in order for the Planning Commission to grant a use permit. Included in the Conditions of Approval (P7) is a requirement for the Planning Commission to review the Use Permit within 12 months from the date the applicant obtains an ABC Type 47 License. After six months from obtaining the ABC license, the City shall conduct an administrative review of ABC violations and police service calls and shall report any significant occurrences to the Planning Commission.

Conclusion

The proposal is consistent with the General Plan and Zoning designations for the existing retail center, Mission Park Marketplace. The proposed on-site sale and consumption of beer and wine is an ancillary use which would provide convenience to restaurant guests that would further enhance a quality commercial use and meet the needs of local customers.

ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Class I Existing Facilities, in that the activity consists of the permitting of a proposed use that will occur at an existing facility involving negligible or no expansion of use.

FISCAL IMPACT

There is no cost to the City other than administrative staff time and expense for the typically covered by processing fees paid by the applicant.

COORDINATION

This report was coordinated with the City Attorney's Office.

PUBLIC CONTACT

On June 2, 2022, a notice of public hearing of this item was posted in three conspicuous locations within 300 feet of the project site and mailed to property owners within 300 feet of the project site. As of the date of this report, planning staff have not received public comments for this application.

RECOMMENDATION

Adopt a resolution approving a Use Permit to allow the on-site sale and consumption of beer and wine (ABC License Type 41) for a new Mendocino Farms Sandwich Market at 2040 Wyatt Street, suite 110, subject to conditions of approval.

Prepared by: Nimisha Agrawal, Associate Planner
Reviewed by: Alexander Abbe, Assistant City Attorney
Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

1. Resolution Approving a Use Permit
2. Conditions of Approval
3. Development Plan

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, APPROVING A USE PERMIT TO ALLOW ON-SITE SALE AND SERVICE OF BEER AND WINE (ABC LICENSE TYPE 41) LOCATED AT 2040 WYATT DRIVE, SUITE 110, SANTA CLARA, CA 95050

PLN21-15229 (Use Permit)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on February 10, 2022, Nina Raey for Mendocino Farms (“Applicant”) applied for a Use Permit to allow on-site sale and service of beer and wine (ABC License Type 41) in a 2,435 square feet tenant space within a previously approved retail center located at 2040 Wyatt Drive (“Site Location”);

WHEREAS, the Site Location is currently zoned Light Industrial (ML) and has the General Plan land use designation of Low Intensity Office / R&D;

WHEREAS, in order to implement the proposed activity, the Site Location requires a Use Permit to allow the on-site sales and consumption of beer and wine in conjunction with food service at Mendocino Farms Sandwich Market occupying the commercial tenant space in the existing retail center, as shown on the Development Plans;

WHEREAS, the California Environmental Quality Act (“CEQA”), Public Resources Code § 21000 *et seq.*, requires a public agency to evaluate the environmental impacts of a proposed project. The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per Section 15301, Class 1 existing facilities, in that the proposed use will occur at an existing location involving negligible or no expansion of an existing use;

WHEREAS, commercial uses including restaurants that serve alcoholic beverages are conditionally permitted in the Light Industrial (ML) district by the Planning Commission with the approval of a Use Permit;

WHEREAS, pursuant to SCCC Section 18.110.040, the Planning Commission cannot grant a Use Permit without first making specific findings related to the effect of the project on health, safety, peace, comfort, and general welfare, based upon substantial evidence in the record;

WHEREAS, on June 2, 2022, the notice of public hearing for the June 15, 2022, meeting date for this item was posted in three conspicuous locations within 300 feet of the Site Location and mailed to all property owners located within 300 feet of the Site Location; and,

WHEREAS, on June 15, 2022, the Planning Commission conducted a public hearing, at which all interested persons were given an opportunity to present evidence and give testimony, both in support of and in opposition to the proposed Use Permit.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby finds that approving a Use Permit to allow the on-site sale and consumption of beer and wine (ABC License Type 41) in the 2,435 square foot Mendocino Farms Sandwich Market with a 1,103 square foot outdoor patio, with 70 indoor and 32 outdoor seats, is consistent with the commercial uses contemplated in the development of the existing retail center.
3. That the Planning Commission hereby finds as follows:
 - A. The establishment or operation of the use or building applied for, under the circumstances of the particular case, are essential or desirable to the public convenience or welfare in that the proposal would serve to expand the options available to local and regional customers by providing a neighborhood restaurant and lounge use within an approved retail center to meet the interests of local customers and residents from the greater region;
 - B. Said use will not be detrimental to any of the following:

1) The health, safety, peace, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, in that the proposal provides a restaurant that serves alcohol in conjunction with food in a restaurant within the tenant space in an existing retail center which meets all City of Santa Clara codes and regulations, and the business will comply with all City and state laws regarding the sale of alcoholic beverages;

2) The property or improvements in the neighborhood of such proposed use, in that the proposed use will occur in an existing retail tenant space, and on-site parking is sufficient and available to service the proposed use and the existing businesses;

3) The general welfare of the City, in that the proposed use expands the options available to the local and regional population by providing a restaurant use serving a full-range of alcohol to support businesses, residents, and visitors in the vicinity of the Site Location;

C. That said use will not impair the integrity and character of the zoning district, in that the proposal is designed and conditioned in a manner to be compatible with adjacent commercial and residential development, on a developed parcel, with adequate parking, and properly designed ingress and egress points; and,

D. That said use is in keeping with the purposes and intent of the Zoning Code, in that sales and consumption of beer and wine in conjunction with food may be conditionally permitted when the use would not be objectionable or detrimental to the adjacent properties in this Light Industrial zoning district.

4. That the Planning Commission hereby approves Use Permit PLN22-00071 to allow on-site sale and consumption of beer and wine (ABC License Type 41) for Mendocino Farms Sandwich Market with outdoor patio located at 2040 Wyatt Drive, subject to the Conditions of Approval and development plans, attached hereto and incorporated herein by this reference.

5. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 15th DAY OF JUNE, 2022, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

- Attachments Incorporated by Reference:
1. Development Plans
 2. Conditions of Approval

CONDITIONS OF APPROVAL

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

GENERAL

- A. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- B. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- BD1. Informational: Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- BD2. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- BD3. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page: <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.
 - During construction retaining a single company to install all fire rated penetrations is highly recommended.

- The grade level lobbies shall be min.1 hour rated all sides and above.
- All stair shafts shall be min. 1 hour rated.
- All elevator shafts shall be min. 1 hour rated.
- All trash chute shafts shall be min. 1 hour rated.
- Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
- Any trash rooms shall be min. 1 hour rated all sides and above.

BD5. Informational: The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

BD6. Informational: Temporary Certificates of Occupancy will not be routinely issued, and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

PLANNING DIVISION

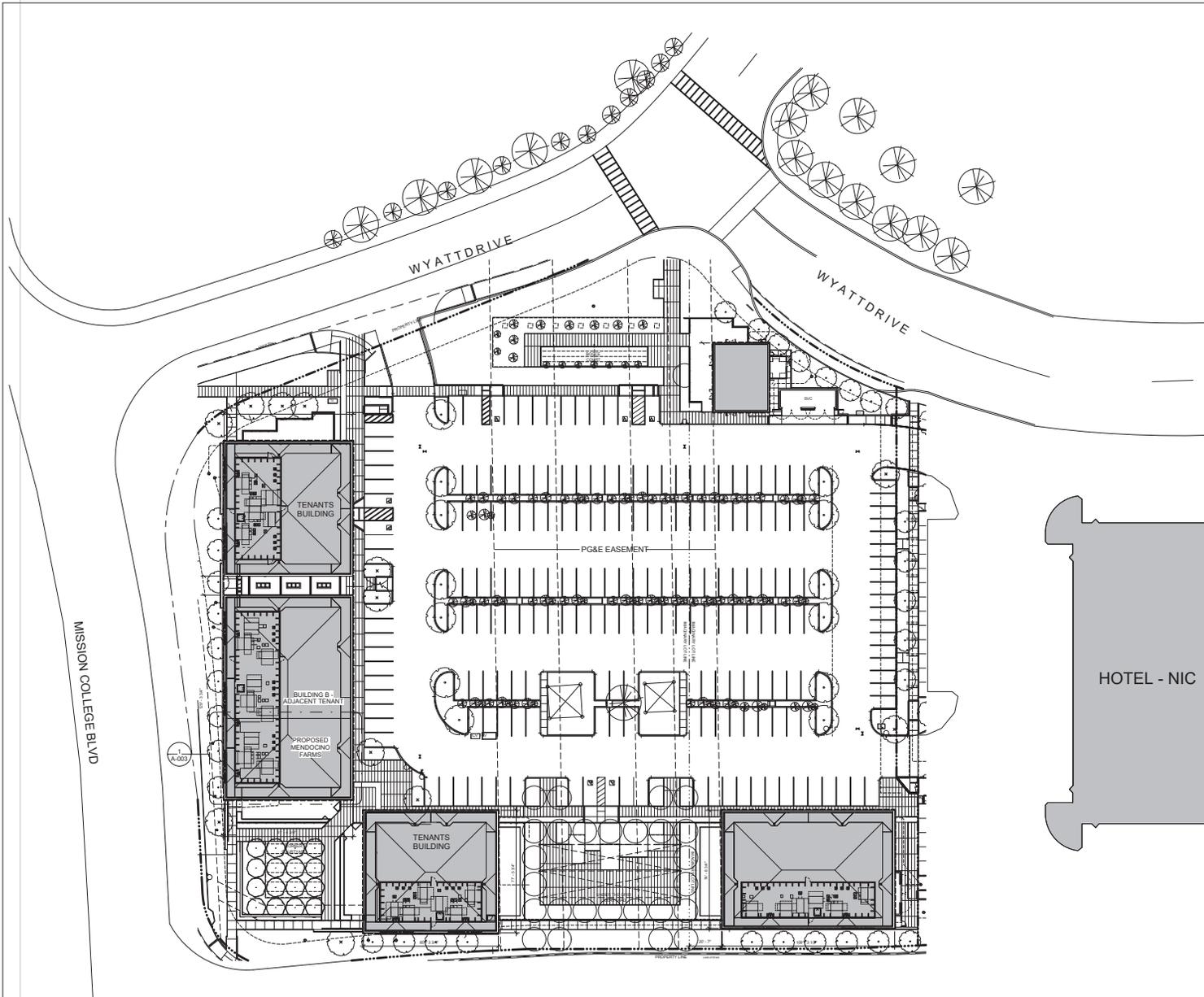
- P1. Obtain required permits and inspections from the Building Official and comply with all building code requirements and conditions thereof.
- P2. The project shall comply with all California Department of Alcoholic Beverage Control licensing requirements.
- P3. The Director of Community Development may refer the Use Permit to the Planning Commission at any time to consider the initiation of revocation proceedings if the conditions of approval are violated or the operation is inconsistent with the approved project description. In addition, if complaints are received by the City with respect to this use, staff shall provide a review of the Use Permit to the Planning Commission within three months for consideration of revocation proceedings.
- P4. Full menu food service shall be available during all hours that the restaurant is open and alcoholic beverages are served.
- P5. The hours of operation shall be limited to the hours of 11:00 a.m. to 11 p.m., 7 days a week.
- P6. On-site consumption of alcohol shall be limited to within the restaurant and the designated patio seating area.
- P7. The Planning Commission shall review this Use Permit twelve (12) months from the date that applicant obtains an active Alcoholic Beverage Control (ABC) License Type 41. After six months from obtaining the ABC license, the City shall conduct an administrative review of any ABC violations and police service calls and shall report any significant occurrences to the Planning Commission.
- P8. Applicant is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P9. Construction activity not confined within a building shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and not permitted on Saturdays and Sundays for projects within 300 feet of a residential use. Construction activity confined within a building shall be limited to the hours of 7:00 A.M. to 6:00 P.M. following on weekdays other than holidays, Monday through Friday, inclusive; and within the hours of 9:00 A.M. to 6:00 P.M. following, inclusive, on any Saturday which is not a holiday. Construction activity shall not be allowed on recognized State holidays, as noted in Section 9.10.230 of the SCCC, as amended.
- P10. Minor changes to the project would be subject to Planning Division review and approval prior to issuance of building permits.
- P11. This Use Permit shall be automatically revoked and terminated if not used within two years of the original grant, or within the period of any authorized extensions in accordance with the terms of SCCC Section 18.110.090.

POLICE

PD1. The business shall undergo a 6 month and a 1 year review, including a check for ABC violations and police service calls.

PUBLIC WORKS**ENGINEERING**

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.



GENERAL NOTES:

PROJECT DATA

SITE AREAS		
RETAIL:	183,990 SF	4.12 AC
HOTEL:	103,187 SF	2.47 AC
TOTAL:		6.59 AC

RETAIL BUILDING AREAS - TOTAL FOOTPRINT

RETAIL:		
A	4,600 SF	
B	7,503 SF	
C	4,318 SF	
D	5,563 SF	
E	1,516 SF	
SUB-TOTAL	23,500 SF	
HOTEL:	116,000 SF	175 RMS
TOTAL:	139,000 SF	

PARKING REQUIREMENTS

RETAIL:			
RETAIL	6,000 SF	5 SP/KSF	30 SP
QUICK FOOD	13,500 SF	5 SP/KSF	67 SP
RESTAURANT	4,000 SF	1 SP/3 SEATS	20 SP
PATIO DINING	10,840 SF	1 SP/3 SEATS	80 SP
		240 SEATS	197 SP
HOTEL:			
HOTEL (Per Code)	1 SP/RM		175 SP
HOTEL (Shown)	75 SP/RM		132 SP
TOTAL REQUIRED (Per Code)			372 SP
TOTAL REQUIRED (Shown)			329 SP

PARKING PROVISIONS (ON-SITE)

RETAIL:	197 SP
HOTEL:	132 SP
TOTAL PROVIDED:	329 SP

PARKING BREAKDOWN (ON-SITE)

RETAIL:		
STANDARD		189 SP
COMPACT		1 SP
STD. ACCESSIBLE		5 SP
VAN ACCESSIBLE		2 SP
TOTAL		197 SP
HOTEL:		
STANDARD		90 SP
COMPACT		19 SP
STD. ACCESSIBLE		3 SP
VAN ACCESSIBLE		3 SP
SHARED COMPACT		17 SP
TOTAL		132 SP
TOTAL PROVIDED:		329 SP

BICYCLE PARKING REQUIREMENTS

RETAIL:	REQUIRED	PROVIDED
CLASS I LOCKERS	4 SP	4 SP
CLASS II RACKS	21 SP	21 SP
HOTEL:		
CLASS I LOCKERS	5 SP	5 SP
CLASS II RACKS	7 SP	7 SP
TOTAL PROVIDED:		37 SP

EV CHARGING - RETAIL

RETAIL:	INSTALLED	FUTURE
STD EV CHARGERS	3 SP	5 SP
VAN ACCESSIBLE CHARGERS	1 SP	1 SP
STD ACCESSIBLE CHARGERS	4 SP	6 SP
TOTAL PROVIDED (INSTALLED & FUTURE):		10 SP

HOTEL - NIC



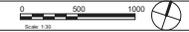
PROJECT: MENDOCINO FARMS - SANTA CLARA, CA
 1000 WYATT DRIVE, SUITE 110
 SANTA CLARA, CA 95050

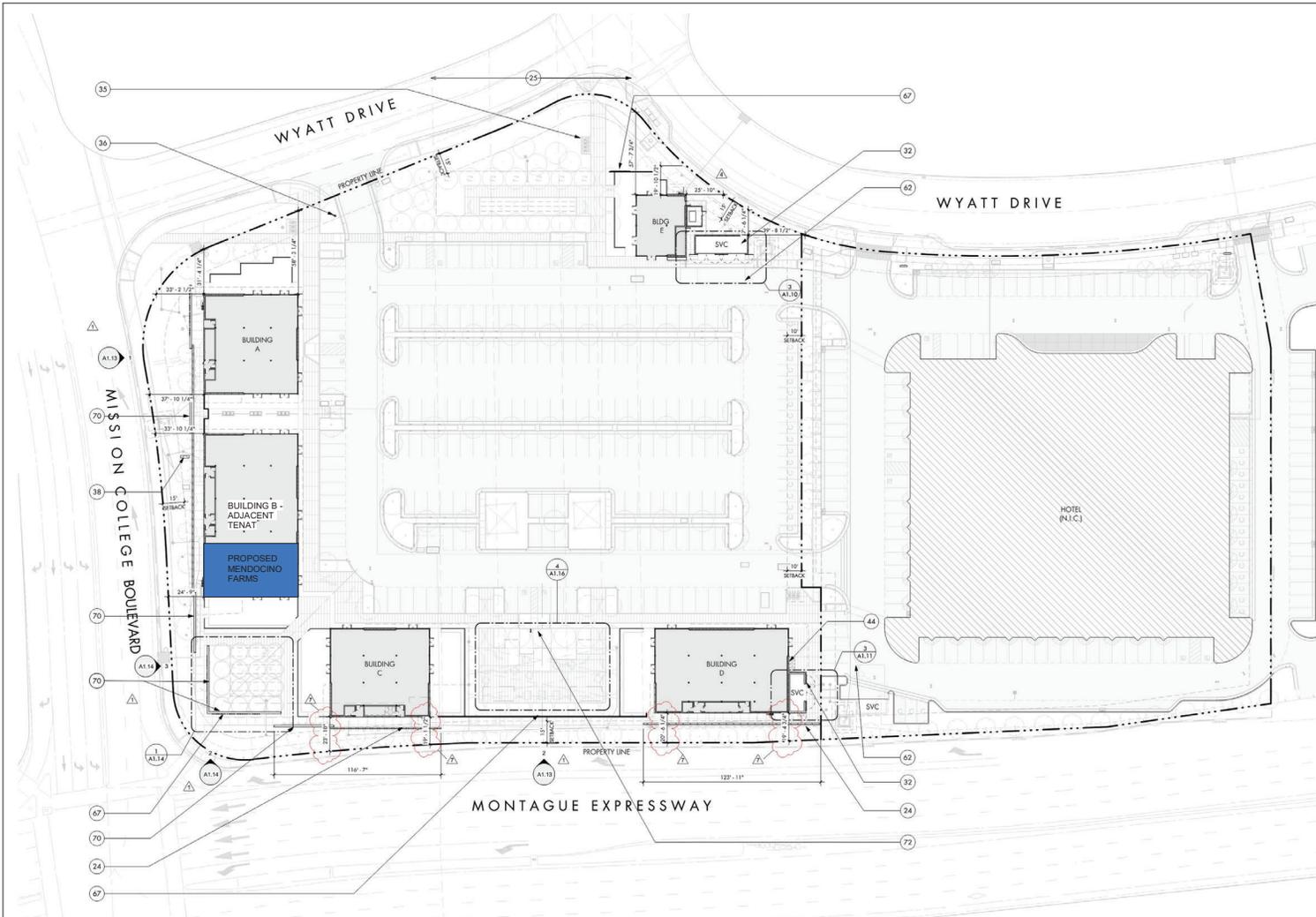
REVISIONS:

#	DATE	DESCRIPTION

SHEET TITLE:
OVERALL SITE PLAN

SHEET NO:
A-001





NOTED SITE PLAN - FOR REFERENCE ONLY

KEYNOTES	
24	C/MJ SITE WALL
25	PG&E EASEMENT
32	TRASH ENCLOSURE
35	BIKE RACKS, SLD
36	GATEWAY IDENTITY MONUMENT SIGNAGE, SEE SIGNAGE DRAWINGS (DEFERRED SUBMITTAL)
38	PYLON SIGN, SEE SIGNAGE DRAWINGS (DEFERRED SUBMITTAL)
44	BIKE LOCKERS, SLD
62	CONCRETE POUR IN FRONT OF TRASH ENCLOSURE PER CITY REQUIREMENTS, SEE CIVIL DRAWINGS
67	WALL SIGNAGE BY OWNER, SEE SIGNAGE DRAWINGS (DEFERRED SUBMITTAL)
70	WOOD CLAD SITE WALL
72	SITE SIGNAGE, SEE SIGNAGE DRAWINGS (DEFERRED SUBMITTAL)

GENERAL NOTES:
 ALL EXISTING SITE ELEMENTS TO REMAIN AS ORIGINALLY APPROVED IN LANDLORD PERMIT DRAWINGS

① NOTED SITE PLAN - FOR REFERENCE ONLY
 NTS



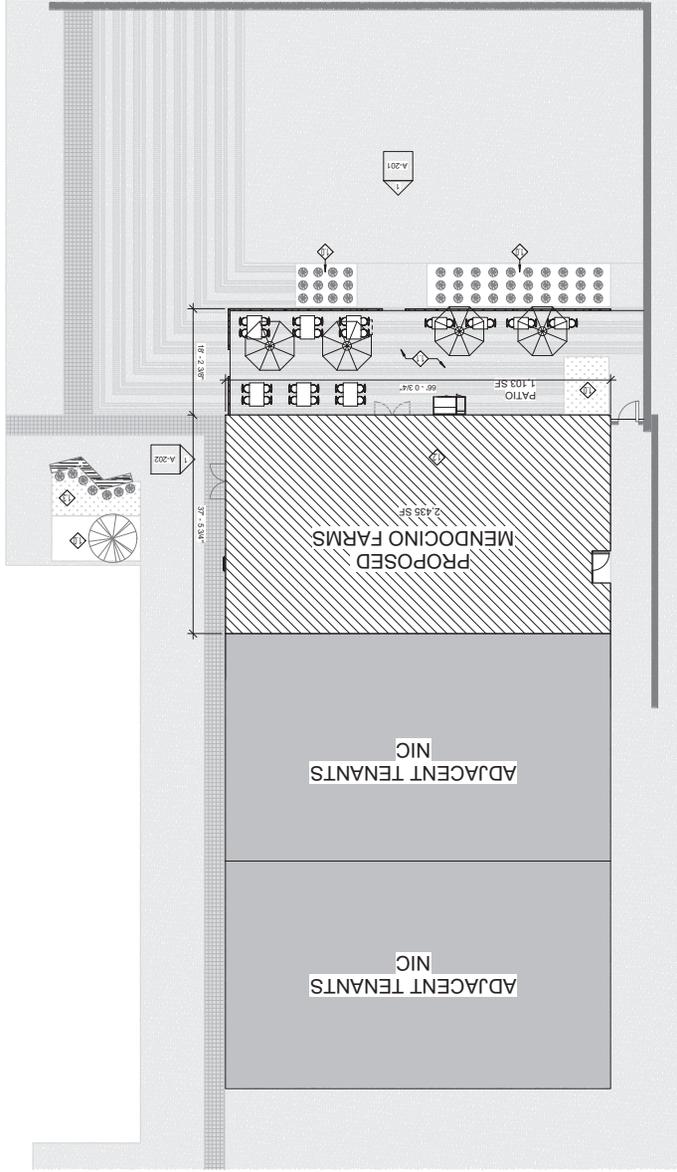
ARCHITECT:
NORR
 NATIONAL ARCHITECTURAL GROUP
 788 - Mission Road
 Ukiah, CA 95568
 Phone: (707) 731-5800
 Fax: (707) 802-0240

PROJECT:
 MENDOCINO FARMS - SANTA CLARA,
 CA
 1000 WYATT DRIVE, SUITE 110
 SANTA CLARA, CA 95050

REVISIONS:		
#	DATE	DESCRIPTION

SHEET TITLE:
 ARCHITECTURAL
 SITE PLAN

SHEET NO.:
 A-002



GENERAL NOTES:

1. ALL EXISTING SITE ELEMENTS TO REMAIN AS ORIGINALLY APPROVED IN LANDLORD PERMIT DRAWINGS.

KEYED NOTES:

1.0	EXISTING TREES AND SHRUBS TO REMAIN
1.1	NEW MENDOCINO FARMS PAIR TO AREA EQUIPPED WITH PLANTERS, HAYERS, STRAW LIGHTS, FURNITURE, AND CABINETRY
1.2	MENDOCINO FARMS TENANT SPACE
1.3	NEW AREA OF LANDSCAPING

PROJECT:
MENDOCINO FARMS - SANTA CLARA, CA
1000 WINTERS BLVD
SANTA CLARA, CA 95050

ARCHITECT:
NORR
201 N. GARDEN ST., SUITE 100, SAN JOSE, CA 95131
TEL: (415) 435-1100 FAX: (415) 435-1101

ENGINEERS:
NE NATIONAL
789 AMESON ROAD
OAKLAND, CA 94612
TEL: (415) 552-2200 FAX: (415) 552-0240

MENDOCINO FARMS
sandwich market

ARCHITECTURAL SITE PLAN

A-003

NO.	DATE	DESCRIPTION
1	XXXXXX	XXXXXXXX



REFERENCE FOR PATIO
UMBRELLAS



REFERENCE FOR PATIO
TABLES AND CHAIRS



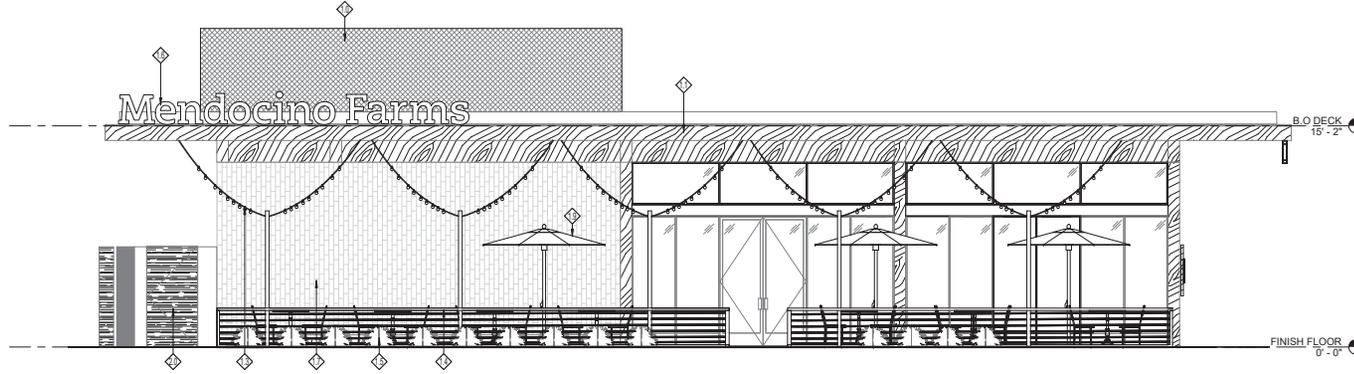
REFERENCE FOR PATIO FENCE

GENERAL NOTES:

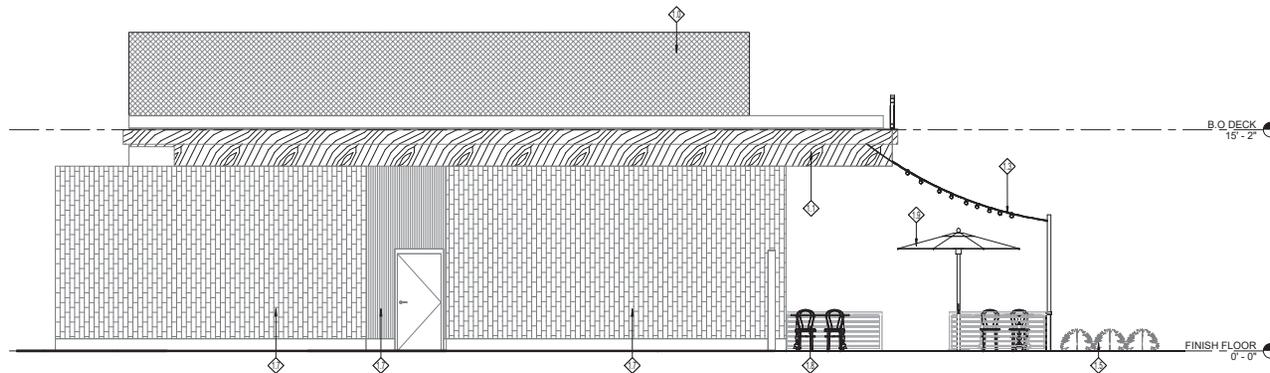
- A. ALL SIGNAGE TO COMPLY WITH LL TENANT DESIGN CRITERIA.
- B. ALL NEW STOREFRONT GLASS TO HAVE DARK TINT. CONFIRM SPECIFICATION WITH OWNER.
- C. IT IS THE RESPONSIBILITY OF THE GC AND TRADES TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. COORDINATE SURVEY WITH THE OWNER AND LANDLORD. THE OWNER WILL NOT BE RESPONSIBLE FOR CHANGE ORDERS THAT HAVE BEEN DETERMINED TO RESULT FROM CONDITIONS THAT COULD HAVE BEEN KNOWN PRIOR TO THE START OF CONSTRUCTION.

KEYED NOTES:

- 1.0 ROOF SCREEN EXISTING TO THE BUILDING TO REMAIN
- 1.1 WOOD STRUCTURE AND FINISHES EXISTING TO REMAIN
- 1.3 NEW STRING LIGHT MOUNTED TO EXISTING BUILDING AND TO THE NEW POSTS
- 1.4 NEW PATIO RAILING. WOOD FINISH TO MATCH EXISTING WOOD STRUCTURE.
- 1.5 EXISTING LANDSCAPE TO REMAIN
- 1.6 NEW SIGNAGE MOUNTED TO ROOF STRUCTURE. SIGNAGE SHOWN FOR REFERENCE ONLY. UNDER SEPARATE PERMITS.
- 1.7 EXISTING BUILDING FINISH TO REMAIN
- 1.8 TRASH STATION
- 1.9 NEW UMBRELLAS AT PATIO AREA
- 2.0 EXISTING BACK DOOR ENTRY TO REMAIN
- 2.1 NEW SIGNAGE MOUNTED TO EXISTING WOOD BOARD. SIGNAGE SHOWN FOR REFERENCE ONLY. UNDER SEPARATE PERMITS.



① SOUTH ELEVATION
1/4" = 1'-0"



② WEST ELEVATION
1/4" = 1'-0"



ENGINEERS:
NATIONAL
 788 - Mission Road
 Orange, CA 92667
 Phone: (714) 771-9200
 Fax: (714) 802-0240

ARCHITECT:
NORR
 4724 - Camino El Estero, Suite 110
 Santa Clara, CA 95050
 Phone: (408) 251-8888

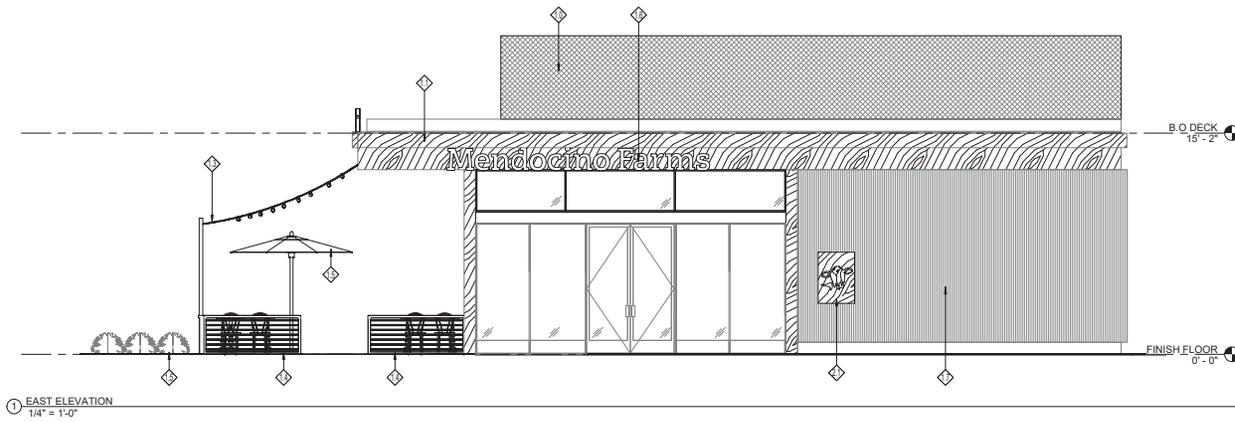
PROJECT:
 MENDOCINO FARMS - SANTA CLARA,
 CA
 SANTA CLARA, CA 95050

REVISIONS:

#	DATE	DESCRIPTION

SHEET TITLE:
 EXTERIOR ELEVATIONS

SHEET NO:
 A-004



1 EAST ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

- A. ALL SIGNAGE TO COMPLY WITH LL TENANT DESIGN CRITERIA.
- B. ALL NEW STOREFRONT GLASS TO HAVE DARK TINT. CONFIRM SPECIFICATION WITH OWNER.
- C. IT IS THE RESPONSIBILITY OF THE GC AND TRADES TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. COORDINATE SURVEY WITH THE OWNER AND LANDLORD. THE OWNER WILL NOT BE RESPONSIBLE FOR CHANGE ORDERS THAT HAVE BEEN DETERMINED TO RESULT FROM CONDITIONS THAT COULD HAVE BEEN KNOWN PRIOR TO THE START OF CONSTRUCTION.

KEYED NOTES: ⬇

- 1.0 ROOF SCREEN EXISTING TO THE BUILDING TO REMAIN
- 1.1 WOOD STRUCTURE AND FINISHES EXISTING TO REMAIN
- 1.2 NEW STRING LIGHT MOUNTED TO EXISTING BUILDING AND TO THE NEW POSTS
- 1.4 NEW PATIO RAILING. WOOD FINISH TO MATCH EXISTING WOOD STRUCTURE
- 1.5 EXISTING LANDSCAPE TO REMAIN
- 1.6 NEW SIGNAGE MOUNTED TO ROOF STRUCTURE. SIGNAGE SHOWN FOR REFERENCE ONLY. UNDER SEPARATE PERMITS.
- 1.7 EXISTING BUILDING FINISH TO REMAIN
- 1.8 TRASH STATION
- 1.9 NEW UMBRELLAS AT PATIO AREA
- 2.0 EXISTING BACK DOOR ENTRY TO REMAIN
- 2.1 NEW SIGNAGE MOUNTED TO EXISTING WOOD BOARD. SIGNAGE SHOWN FOR REFERENCE ONLY. UNDER SEPARATE PERMITS.



ENGINEERS:

NATIONAL ENGINEERS
788 - Mission Road
Pleasanton, CA 94566
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Fax: (914) 802-6240

ARCHITECT:

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1725 CALLE DE LOS ANGELES, SUITE 110
SANTA CLARA, CA 95050

PROJECT:
MENDOCINO FARMS - SANTA CLARA, CA
1725 CALLE DE LOS ANGELES, SUITE 110
SANTA CLARA, CA 95050

REVISIONS:

#	DATE	DESCRIPTION

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A-005



① EXTERIOR PERSPECTIVE - FOR REFERENCE ONLY



② EXTERIOR PERSPECTIVE - FOR REFERENCE ONLY



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NATIONAL
 NATIONAL ENGINEERS
 788 - Mission Road
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PROJECT:
 MENDOCINO FARMS - SANTA CLARA,
 CA
 1000 SANTA CLARA, SUITE 110
 SANTA CLARA, CA 95050

REVISIONS:

#	DATE	DESCRIPTION

SHEET TITLE:
 EXTERIOR PERSPECTIVES

SHEET NO:
 A-901



Agenda Report

22-718

Agenda Date: 6/15/2022

REPORT TO PLANNING COMMISSION

SUBJECT

Actions on a Proposed Multi-family Residential Project to Develop 60 units (40 Townhomes and 20 Flats) at 3141 - 3155 El Camino Real

EXECUTIVE SUMMARY

The applicant, Oak Investment Group, LLC, is proposing to construct a 60-unit residential development at 25 dwelling units per acre (du/ac) on two contiguous parcels totaling 2.41 acres. The site is currently developed with multiple commercial buildings totaling 21,780 square feet and paved surface parking areas. The proposal includes 60 for-sale residential units, a private street, visitor parking, common landscaped open space, and future private maintenance provisions with the establishment of a Homeowners Association (HOA) and Covenants, Conditions and Restrictions (CC&R's). The residential units are composed of 40 three-story townhomes and 20 flats. Nine units (15% of the 60 units) are to be provided as affordable housing units.

The project site is located in the El Camino Real Focus Area, a local and regional commercial and transportation corridor envisioned for high intensity commercial and residential development in the City's 2010-2035 General Plan. The proposal is generally consistent with the goals and policies set forth in the General Plan for the site as discussed in the following report; however, the three-story proposal does not follow the direction on height provided by the City Council during the summer 2022 consideration hearings on the El Camino Real Specific Plan.

BACKGROUND

The proposed project includes a Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program (MMRP); a Rezone from Thoroughfare Commercial (CT) to Planned Development (PD); and Tentative Tract Map (File Nos. CEQ2020-01080, PLN2020-14674 and PLN2020-14705). These entitlements together would allow development of 40 townhomes and 20 flats, private street site access and circulation, landscaped open area for shared resident use, and off-site improvements that includes removal of the pedestrian bridge over Calabazas Creek adjacent to the project site.

A rezoning of the property is required to convert the existing use of the site from commercial to residential use. The applicant has proposed a PD zoning of the site in order to establish unique development standards for the project and a Tentative Tract Map for sale of the individual units.

The subject property is currently developed with a mixture of restaurant, retail and service commercial uses located within three one-story commercial pad buildings totaling 21,780 square feet in area. Adjoining uses are single-family residential to the north and a lot currently under construction for a four-story residential project to the east. Commercial uses are also located to the south, across El Camino Real, and to the west, across Calabazas Boulevard.

El Camino Real Draft Specific Plan

In 2017, the City Council initiated preparation of a Specific Plan for the El Camino Real Focus Area to provide a more detailed level of policy and design guidance to support the successful transformation of the corridor. A Citizen Advisory Committee (CAC) was appointed to guide the Specific Plan planning process. Preparation of a draft El Camino Real Specific Plan was completed in May 2021 and presented to the City Council for adoption at the June 15, 2021 City Council meeting. The draft Specific Plan included three proposed land use designations, as recommended by the CAC, supporting residential and mixed-use development at low (Corridor Residential), medium (Corridor Mixed Use) and higher (Regional Mixed Use) densities. The Corridor Residential designation was intended to support development of townhouse and stacked flat projects, while the Corridor Mixed Use and Regional Mixed-Use designations were intended to support mixed-use residential apartment or condominium style development.

As recommended by the CAC, the El Camino Real Specific Plan draft land use plan identified the project site as Corridor Mixed-Use allowing four- to five-story residential development at 45 to 65 dwelling units per acre (du/ac). The draft Specific Plan, including land uses, was presented for City Council adoption at the June 15, 2021 City Council meeting. The City Council directed staff to modify the proposed Specific Plan Land Use designations to establish reduced height limits and densities as follows: no more than two-stories for Corridor Residential, no more than three stories for Corridor Mixed-Use, and no more than four stories for Regional Mixed-Use. As part of the Council consideration of the item, the applicant requested that the subject property be designated as Corridor Residential to align with their desire to develop the site with a townhouse/stacked flat project rather than at the higher density of Corridor Mixed-Use, which would correspond to a higher density, mixed-use type of development. Three community members expressed support for this lower density, while other community members advocated that it be retained as commercial use. The City Council did not take action on this request but expressed support for a townhouse type development.

On July 6, 2021, the City Council affirmed their direction to staff to prepare an alternative form of the Specific Plan that reduces densities from the prior draft, and, at their meeting on October 19, 2021, it was again reiterated to proceed with modification of the Specific Plan to include the height limits as directed at the July meeting. At the October meeting, the City Council also directed staff to continue consideration of the first draft Specific Plan and to prepare an analysis comparing the economic feasibility of the two different land use plans. At the time of this staff report, the draft Specific Plan is awaiting approval of funding within the City's budget to allow staff to initiate the work program to modify the Plan per City Council's direction.

DISCUSSION

The primary issues for the project are conformance with the City's General Plan and consistency with the City Code for a Planned Development Zoning.

General Plan Conformance

The site is currently designated Community Mixed-Use in the General Plan and is within the El Camino Real Focus Area. This designation provides flexibility to allow development that is either entirely commercial, completely residential or a combination of commercial and residential at a minimum floor area ratio (FAR) of 0.10 for commercial use and between 20 to 36 dwelling units per acre (du/ac) for residential use.

The General Plan vision for El Camino Real is to transform this Focus Area from a series of automobile-oriented commercial uses to a tree-lined pedestrian and transit-oriented corridor with a mix of retail and residential uses at higher intensities of development.

As noted above, the City has prepared a draft Specific Plan for the El Camino Real corridor that would include changes to the land use designations and policies for development along the corridor. However, because the City has not acted on the draft Specific Plan, the site continues to be designated as Community Mixed-Use and governed by General Plan land use policies as it was designated in the 2010 General Plan update.

The proposed project is consistent with existing General Plan Policies as follows:

General Land Use Policies

- 5.3.1-P2: Encourage advance notification and neighborhood meetings to provide an opportunity for early community review of new development proposals.
- 5.3.1-P26: Support a community-initiated planning process so that existing neighborhoods can participate in developing more detailed plans for street, landscape and pedestrian facility improvements.

Consistent with these policies, the applicant conducted public outreach through mailings and a virtual community meeting to involve neighboring property owners in the design of the project. Notices were mailed by the applicant to property owners within 500 feet of the project boundaries and interested parties.

- 5.3.1-P8: Work with property owners to improve or redevelop underutilized and vacant properties.
- 5.3.1-P9: Require that new development provide adequate public services and facilities, infrastructure, and amenities to serve the new employment or residential growth.

Consistent with these policies, the project would aggregate two commercial properties for the construction of 60 for-sale residential units consisting of 40 townhomes and 20 flats thereby increasing the type and tenure of the City's housing supply. The project includes public and private improvements such as streetscape enhancements, private street and utilities, visitor parking, and landscaped open space to serve the development.

- 5.3.1-P10: Provide opportunities for increased landscaping and trees in the community, including requirements for new development to provide street trees and a minimum 2:1 on- or of-site replacement for trees removed as part of the proposal to help increase the urban forest and minimize the heat island effect.

Consistent with this policy, the proposed development plan includes landscaping of the site and street frontages with a variety of plant and tree species, and would replace the 16 trees removed with redevelopment at a ratio greater than the minimum requirement of 2:1, with a total of 90 trees.

- 5.3.1-P12: Encourage convenient pedestrian connections within new and existing developments.

Consistent with this policy, the project includes a tree-lined separated sidewalk along the street frontages of the project site to facilitate pedestrian access and link neighboring land uses.

- 5.3.1-P16: Consolidate curb cuts with new development on arterial roadways to minimize pedestrian/vehicle conflicts at driveway locations and improve traffic flow.

Consistent with this policy, the project would eliminate the existing driveways along El Camino Real fronting the project site and replace them with a separated sidewalk that includes a planter strip adjacent to the curb and sidewalk behind, consistent with Complete Streets design standards, which would minimize the pedestrian and vehicle interface and improve traffic flow. A new curb-cut and driveway for site access and circulation would be provided along the Calabazas Boulevard frontage of the project site.

- P.3.1-P29: Encourage design of new development to be compatible with, and sensitive to, nearby existing and planned development, consistent with other applicable General Plan policies.

Consistent with this policy, the proposed project employs the City's Transition Policies to taper mass and scale of the building clusters from three stories down to two stories in height at the rear where it interfaces with single-family residential development to the north. The proposed project is compatible in density and design of the three- and four-story residential development currently under construction abutting the project site to the east. One-story commercial development is located to the south across El Camino Real and east beyond Calabazas Creek.

El Camino Real Focus Area Policies

- 5.4.1-P2: Allow new development under Community Mixed-Use designation for exclusively residential or commercial uses provided that it meets the minimum requirements for Medium Density Residential or Community Commercial land use classifications.
- 5.4.1-P5: Provide appropriate transition between new development in the Focus Area and adjacent uses consistent with General Plan Transition Policies.
- 5.4.1-P6: Encourage lower profile development in area designated Community Mixed-Use in order to minimize land use conflicts with existing neighborhoods.

The project proposes exclusively residential development at 25 du/ac consistent with the density range of 20 - 36 du/ac for moderate density residential assigned to Community Mixed-Use General Plan land use designation for the site. Also consistent with the above policies, the design is compatible in height and density with existing and recently approved three- and four-story residential construction along the El Camino Real corridor. The project also transitions from three-stories along the streetscape to two-stories at the rear of the property where it interfaces, and is separated by, a landscaped setback from neighboring single-family homes.

- 5.4.1-P8: Orient ground floor retail and residential entries to the public sidewalk on El Camino Real.
- 5.4.1-P9: Residential development should include front doors, windows, stoops, porches, and bay windows or balconies along street frontages.

Consistent with these policies, the buildings fronting El Camino Real and Calabazas Boulevard (Buildings 1, 2 and 3 on the site plan) are designed with front doors, windows and outdoor patios facing the adjacent street frontages.

- 5.4.1-P11: Locate parking at the side or rear of parcels and active uses along street frontages.

Consistent with this policy, the project design includes an attached garage for each unit that is oriented to and accessed from the private street internal to the project site. Visitor parking spaces are also located along the private street.

- 5.4.1-P16: Facilitate the implementation of streetscape improvements consistent with those illustrated in Figures 5.4-2.

Transition Policies

- 5.5.2-P1: Require that new development incorporate building articulation and architectural features, including front doors, windows, stoops, porches or bay windows along street frontages, to integrate new development into the existing neighborhoods.

Consistent with this policy, the project incorporates offsets along the building planes and a mixture of exterior materials and architectural features to create visual breaks and interest in the design for compatibility with the surrounding neighborhood. Buildings 1 - 3 integrate into the neighborhood with orientation of the front doors, windows, and outdoor patios towards the public domain. Pedestrian paths connect the units to the public sidewalk and neighboring properties.

- 5.5.2-P3: Implement site design solutions, such as landscaping and increased building setbacks, to provide buffers between nonresidential and residential uses.
- 5.5.2-P5: Require that new development provide an appropriate transition to surrounding neighborhoods.

See responses to policies 5.3.1-P29, 5.4.1-P5 and 5.4-P6 above.

Zoning Conformance

The project site consists of two parcels that are zoned Thoroughfare Commercial (CT). The CT zoning designation is intended for auto-oriented uses on a major commercial thoroughfare and does not allow residential uses. This zoning was established on the property prior to the City's General Plan update in 2010 and does not align with the current General Plan vision for the corridor. The El Camino Real Focus Area discourages auto-related uses and is intended to promote a mix of residential and retail uses (either horizontal or vertical) along a tree-lined pedestrian-oriented corridor. As the City's existing Zoning Code does not have a zoning district that would allow a for-sale residential development consisting of townhomes and flats, a rezone of the project site is necessary to construct the project.

The proposed rezone to PD would allow residential development consisting of townhomes and flats and would implement the General Plan vision for the current El Camino Real Focus Area. Chapter 18.54 establishes a process and the requirements for PD zoning districts. PD zoning districts are intended to allow for creative design solutions and land uses not otherwise allowed in standard zoning districts while maintaining compatibility with the existing community and allowing for

homeownership. The proposed PD zoning would establish standards for the residential development that are compatible with existing and approved land uses and development surrounding the project site. While the current General Plan designation of Community Mixed-Use typically requires a commercial element, General Plan policies allow an entirely residential use for sites along El Camino Real.

Affordable Housing

The proposed project is subject to the City's inclusionary housing ordinance and would be required to designate nine of the 60 units to be reserved for qualifying home buyers based on an income level at or below the 100 percent of Area Median Income.

Site Design and Architecture

The project consists of 60 residential units distributed among eight three-story buildings that transition to two-stories at the rear of the property. Buildings 1 and 2 include a mix of flats and townhomes that front El Camino Real. The flats are located on level 1 with the townhomes above on levels 2 and 3. Building 3 consists of townhomes and is oriented to front onto Calabazas Boulevard. Buildings 4 - 8 are composed of townhomes and located perpendicular to the rear property line in rows behind the private street. The maximum building height is 43.3 feet at top of stairwells and steps down to an average roof height of 36.8 feet for the three-story units. The end units of Buildings 5 - 8 terrace down to two stories (25.5 feet in height) where they interface with the single-family homes to the north. The buildings are located at landscaped setbacks that vary from 1.3 feet to 9.3 feet along El Camino Real, 21.4 feet along the northern property line adjacent to single-family homes and 10 feet along the east property line abutting new townhome development. Alternating private drive aisles and common landscaped paseos separate the building structures.

The unit mix includes four floor plan types made up of two bedroom units with either two or two and one-half baths ranging in size from 1,320 to 1,520 square feet of living area and three bedroom units with two and one-half or three baths with 1,445 to 1,740 square feet of living space. Each unit has private outdoor space in the form of either an enclosed outdoor patio, balcony, or rooftop deck ranging in size from 60 to 338 square feet.

The proposed building architecture has a modern design aesthetic that incorporates a mixture of stone veneer, composite lap siding and stucco finish with metal trellis, entry canopies and balcony railings for textural and visual interest. The use of divided light windows and alternating use of materials provides a rhythmic cohesion and symmetry in the design. Offsets in the building elevations, recessed windows, and varied roof forms (e.g. flat and shed) provide breaks in mass and scale of the buildings and roof structures.

Circulation and Parking

The existing curb-cuts and sidewalks along the project frontage would be removed and replaced with a single curb-cut along Calabazas Boulevard for site access and separated sidewalks along both street frontages that include a landscape strip next to the curb and sidewalk behind. Sidewalks along the project frontages and interior to the site would provide pedestrian access to the site and link adjacent land uses.

The development provides a mix of at-grade garage parking arrangements that include one-car parking, side-by-side two-car parking and tandem two-car parking for a total of 110 covered parking spaces and 10 open surface parking spaces distributed throughout the site.

As the use of the site is residential, the tandem parking garages are anticipated to be functional as residents would be familiar with their garage design and manage their household parking needs. The proposed conditions of approval require that every garage be accessible for parking at all times and that each be wired to allow for electrical vehicle charging.

Landscaping and Open Space

The project includes a landscape plan for the site and public right-of-way that incorporates a mixture of plant species and trees for planting the common areas and setbacks, as well as the planter strips fronting the project site. The 16 trees removed with demolition of existing conditions on-site would be replaced in excess of the 2:1 requirement with a total of 90 trees. A new eight-foot good neighbor fence is proposed along the north and east property lines of the project site abutting adjacent development.

An accessible recreation space for shared public use is proposed at the southwest corner of the project site fronting Calabazas Boulevard. This area totals 2,396 square feet and includes landscaped open space, shade trees, accent paving, bench, and bike racks for use by the residents and the community.

As a condition of project approval, an HOA is to be established and CC&R's recorded to manage and maintain on- and off-site improvements (including buildings, street, utilities, landscaping and fencing) in good condition for the life of the project.

City Council direction on height from June 2021

As noted above, in June of 2021, while discussing the El Camino Real Specific Plan, the City Council gave direction to staff to limit the height of the proposed Residential Corridor designation to a maximum height of two stories. The Residential Corridor designation supports townhouse development as proposed under the current project and so the City Council's intention through this direction is to limit the height of townhouse development to a maximum of two stories. While the proposed Specific Plan includes height restrictions along the interface between new development and the existing single-family residences immediately to the north of the project site, the City Council did not consider these sufficient to avoid a potential land use incompatibility and further expressed concerns about the height of new development along the corridor having too great of a visual impact. Accordingly, The Council directed staff to limit heights on Residential Corridor sites to a maximum of two stories in the next version of the draft Specific Plan.

As the current project is a Planned Development Zoning proposal, the City Council has the discretion to impose a similar height limit of two stories upon the subject project. However, the applicant has proposed to develop up to three stories on the site, as is common with contemporary townhouse development, and a three-story development would be consistent with the current General Plan designation.

Draft Specific Plan Commercial Requirement

During the City Council hearing in June 2021, several community members expressed concern over the loss of commercial uses that would occur with the development of the Specific Plan. Preserving commercial activity along the El Camino Real corridor has been an ongoing community objective and the draft Specific Plan identifies several sites that would be subject to a ground floor commercial requirement within new mixed-use development, but this requirement would not apply to the subject

property.

ENVIRONMENTAL REVIEW

An Initial Study and a Mitigated Negative Declaration (MND) were prepared for the project by the environmental consultant firm David J. Powers & Associate, Inc., in accordance with the California Environmental Quality Act (CEQA). The MND and Notice of Availability were posted on the City's website at

<https://www.santaclaraca.gov/our-city/departments-a-f/community-development/planning-division/environmental-review-ceqa> and circulated for 30-day review on February 14, 2022 and ending on March 16, 2022, in accordance with CEQA requirements. The Planning Department received agency comments on the MND from Caltrans and Santa Clara Valley Transportation Authority, and they are provided as Attachment 3 along with responses to comments for review.

The MND examined potential environmental impacts associated with project development and identified air quality, biological, cultural resources, geology and soils, and hazards and hazardous materials impacts that with incorporation of mitigation measures into the project would reduce all potential impacts to less than significant. A detailed discussion of the potential impacts and mitigation measures to be applied to the project are specified in the MND and would be implemented through project conditions of approval and the Mitigation Monitoring and Reporting Program (MMRP) for the proposed project.

CONCLUSION

The proposed project for the construction of a three-story residential development at 25 du/ac is consistent with the aforementioned General Plan land use policies, including the policies of the El Camino Real Focus Area, and the sites' land use designation of Community Mixed Use, and therefore staff is recommending approval of the project as proposed by the Applicant. Nevertheless, the proposal is not consistent with the direction by City Council to lower the building heights within a future draft of the El Camino Real Specific Plan. A two-story residential project at this location would likely require reconfiguration of the site and building plans to achieve the proposed density of 25 du/ac and require a redesign and resubmittal for processing, review and subsequent action.

FISCAL IMPACT

There is no fiscal impact to the City for processing the requested application other than administrative time and expense typically covered by processing fees paid by the applicant.

COORDINATION

This report has been coordinated with the City Attorney's Office.

PUBLIC CONTACT

On June 2, 2022, the notice of public hearing for this item was posted in three conspicuous places within 300 feet of the project site and was mailed to property owners within 500 feet of the project site boundaries. Newspaper notice of this item was published in *The Weekly* on June 1, 2022. Public comments have been received and are provided in Attachment 10 of this staff report.

A virtual public outreach meeting was conducted by the applicant on December 16, 2021 at 6:00 p.m. to present the proposed project and engage the neighborhood community in the planning process. Notices of the meeting were mailed by the applicant to property owners within 500 feet of the project

boundaries and interested parties and was also posted on the City's website.

ALTERNATIVES

1. Adopt a resolution to recommend the City Council adopt the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program for the 3155 El Camino Real Residential Project.
2. Adopt a resolution to recommend the City Council approve a rezoning from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60 condominium unit development consisting of 40 townhomes and 20 flats, private street, landscaped open space, surface parking and site improvements, at a height of two and three stories. [Developer's Proposal]
3. Adopt a resolution to recommend the City Council approve a rezoning from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60 condominium unit development consisting of 40 townhomes and 20 flats, private street, landscaped open space, surface parking and site improvements, but modified to limit the height to two stories. [Reduced Height Alternative]
4. Adopt a resolution to recommend the City Council approve the Tentative Tract Map to subdivide the land into residential condominiums and a common interest lot to serve the development.
5. Recommend the City Council deny the rezoning from Thoroughfare Commercial (CT) to Planned Development (PD) to allow development of 60 condominium units consisting of 40 townhomes and 20 flats, private street, landscaped open space, surface parking and site improvements.
6. Recommend the City Council deny the Tentative Tract Map to subdivide the land into residential condominiums and a common interest lot to serve the development.

RECOMMENDATION

Alternatives: 1, 2 and 4

1. Adopt a resolution to recommend the City Council adopt the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program for the 3155 El Camino Real Residential Project.
2. Adopt a resolution to recommend the City Council approve a rezoning from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60 condominium unit development consisting of 40 townhomes and 20 flats, private street, landscaped open space, surface parking and site improvements, at a height of two and three stories. [Developer's Proposal]
4. Adopt a resolution to recommend the City Council approve the Tentative Tract Map to subdivide the land into residential condominiums and a common interest lot to serve the development.

Reviewed by: Andrew Crabtree, Director of Community Development

Approved by: Rajeev Batra, City Manager

ATTACHMENTS

1. Mitigated Negative Declaration
2. Mitigation Monitoring and Reporting Program
3. Responses to Comments received on the Mitigated Negative Declaration
4. Project Data

5. Resolution Recommending Council Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program
6. Resolution Recommending Council Approve the Rezone [Developer's Proposal]
7. Resolution Recommending the Council Approve the Tentative Tract Map
8. Conditions of Rezoning Approval
9. Conditions of Tentative Tract Map Approval
10. Correspondence
11. Development Plans
12. Tentative Tract Map

3155 El Camino Real Residential Project

Initial Study / Mitigated Negative Declaration:

<https://www.santaclaraca.gov/Home/Components/BusinessDirectory/BusinessDirectory/441/3649>

DRAFT
MITIGATION MONITORING AND REPORTING PROGRAM

3155 El Camino Real Residential Development Project

CITY OF SANTA CLARA

April 19, 2022

P R E F A C E

Section 21081 of the California Environmental Quality Act (CEQA) requires a Lead Agency to adopt a Mitigation Monitoring or Reporting Program whenever it approves a project for which measures have been required to mitigate or avoid significant effects on the environment. The purpose of the monitoring or reporting program is to ensure compliance with the mitigation measures during project implementation.

On _____, the Planning Commission approved the Initial Study/Mitigated Negative Declaration for the 3155 El Camino Real Residential Development Project. The Initial Study/Mitigated Negative Declaration concluded that the implementation of the project could result in significant effects on the environment and mitigation measures were incorporated into the proposed project or are required as a condition of project approval. This Mitigation Monitoring or Reporting Program addresses those measures in terms of how and when they will be implemented.

This document does *not* discuss those subjects for which the Initial Study/Mitigated Negative Declaration concluded that mitigation measures would not be required to reduce significant impacts.

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
Air Quality				
<p>IMPACT AIR-1: The proposed project would generate fugitive dust in the form of PM10 and PM2.5 which would expose sensitive receptors to substantial pollutant concentrations.</p>	<p>MM BIO-1: During any construction period ground disturbance, the applicant shall ensure that the project contractor implement measures to control dust and exhaust. Implementation of the measures recommended by BAAQMD and listed below would reduce the air quality impacts associated with grading and new construction to a less than significant level. Additional measures are identified to reduce construction equipment exhaust emissions. The contractor shall implement the following best management practices that are required of all projects:</p> <ul style="list-style-type: none"> • All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. • All haul trucks transporting soil, sand, or other loose material off-site shall be covered. • All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. • All vehicle speeds on unpaved roads shall be limited to 15 miles per hour (mph). • All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. 	<p>During any construction period ground disturbance.</p>	<p>Project applicant</p>	<p>Director of Community Development</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<ul style="list-style-type: none"> • Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. • All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. • Post a publicly visible sign with the telephone number project construction superintendent regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District’s phone number shall also be visible to ensure compliance with applicable regulations. 			
<p>IMPACT AIR-2: The construction of the proposed project would result in nearby sensitive receptors being exposed to TAC emissions in excess of BAAQMD threshold</p>	<p>MM AIR-2.1: Prior to the issuance of any demolition, grading, or building permits (whichever occurs earliest), the project applicant shall submit construction operations plan to the Director of Community Development or the Director’s designee that includes specifications of the equipment to be used during construction. The plan shall be accompanied by a letter signed by an air quality specialist, verifying that the equipment included in the plan meets the standards set forth in MM AIR-2.2.</p>	<p>Prior to the issuance of any demolition, grading, or building permits (whichever occurs earliest)</p>	<p>Project applicant</p>	<p>Director of Community Development or the Director’s designee</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
<p>for cancer risk and annual PM2.5.</p>	<p>MM AIR-2.2: Use construction equipment that has low diesel particulate matter exhaust to minimize emissions.</p> <p>A feasible plan to reduce emissions such that increased cancer risk and annual PM2.5 concentrations from construction would be reduced below significance levels is as follows:</p> <ul style="list-style-type: none"> • All construction equipment larger than 50 horsepower used at the site for more than two continuous days or 20 hours total shall meet EPA Tier 4 emission standards for particulate matter (PM10 and PM2.5). Alternatives to this include the following: <ul style="list-style-type: none"> ○ Use of construction equipment with engines that meet EPA Tier 2 or 3 emission standards with CARB-certified Level 3 Diesel Particulate Filters (DPF) or equivalent, otherwise, ○ Use of electrical or non-diesel fueled equipment. <p>Alternatively, the applicant could develop a separate feasible plan that reduces on- and near-site construction DPM emissions by 40 percent or greater. Such a plan would have to be reviewed and approved by the City.</p>			

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
Biological Resources				
<p>Impact BIO-1.1: Construction activities could disrupt nesting raptors, or other birds, resulting in abandonment of nests and loss of fertile eggs.</p>	<p>MM BIO-1.1: Construction shall be scheduled to avoid the nesting season to the extent feasible. The nesting season for most birds, including most raptors, in the San Francisco Bay Area extends from February 1st through August 31st.</p> <p>If it is not possible to schedule construction and tree removal between September 1 and January 31, then pre-construction surveys for nesting birds shall be completed by a qualified ornithologist to ensure that no nests are disturbed during project implementation. This survey shall be completed no more than 14 days prior to the initiation of grading, tree removal, or other construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August).</p> <p>During this survey, the ornithologist shall inspect trees and other possible nesting habitats within and immediately adjacent to the construction area for nests. If an active nest is found sufficiently close to work areas to be disturbed by construction, the qualified ornithologist, shall determine the extent of a construction-free buffer zone to be established around the nest to ensure that raptor or migratory bird nests would not be disturbed during project construction.</p>	<p>During construction activities.</p>	<p>Project applicant</p>	<p>Director of Community Development</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
Cultural Resources				
<p>Impact CUL-1: Construction activities would potentially uncover and disturb archeological resources on-site.</p>	<p>MM CUL-1.1: Archaeological monitoring by a qualified prehistoric archaeologist shall be completed during soil excavation on-site.</p> <p>MM CUL-1.2: In the event that prehistoric or historic resources are encountered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped, the Community Development Director will be notified, and a qualified archeologist shall examine the find and provide recommendations for further treatment, if warranted. Construction and potential impacts to the area(s) within a radius determined by the archaeologist shall not recommence until the assessment is complete.</p>	<p>During excavation and grading, at the time a discovery is made</p>	<p>Project applicant</p>	<p>Director of Community Development</p>
<p>Impact CUL-2: Construction activities would potentially uncover and disturb human remain resources on-site.</p>	<p>MM CUL-2.1: In the event that human remains are discovered during excavation, trenching and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are of Native American origin or whether an investigation into the cause of death is required. If the remains are determined to be Native American, the Coroner shall notify the Native American Heritage Commission (NAHC) immediately. Once NAHC identifies the most likely descendants, the descendants will make recommendations regarding proper burial, which will be</p>	<p>During excavation and grading, if human remains are discovered</p>	<p>Project Applicant</p>	<p>Santa Clara County Coroner, Native American Heritage Commission</p>

MITIGATION MONITORING OR REPORTING PROGRAM 3155 El Camino Real Residential Development Project				
Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	implemented in accordance with Section 15064.5(e) of the CEQA Guidelines.			
Geology and Soils				
Impact GEO-1: The project site is located within a mapped liquefaction hazard zone and has soils with high shrink swell potential. Buildings constructed on-site could experience settlement in the event of strong ground shaking as a result of an earthquake or other geologic events	GEO-1.1: To avoid or minimize potential damage from seismic shaking and other geologic events, and consistent with General Plan Policy 5.10.5-P6, the project would be built using standard engineering and seismic safety design techniques. Building, redevelopment, design, and construction at the site shall be completed in conformance with the recommendations of a design-level geotechnical investigation, which will be included in a geotechnical report to the City. The report shall be reviewed and approved by the City of Santa Clara's Building Division as part of the building permit review and issuance process. The building shall meet the requirements of applicable Building and Fire Codes, including the 2019 California Building Code, as adopted or updated by the City. The project shall be designed to withstand potential geologic hazards identified on the site, including liquefaction and shrink swell capacity of soils, and the project shall be designed to reduce the risk to life or property to the extent feasible and in compliance with the Building Code.	Building permit review and issuance, and construction.	Project applicant	City of Santa Clara's Building Division
Hazards and Hazardous Materials				
Impact HAZ-1: Construction of the proposed project could expose construction	MM HAZ-1.1: The project applicant shall be required to develop a Soil and Groundwater Management Plan and submit it to the City of Santa Clara and the Santa Clara County Department of Environment Health (SCCDEH) prior to	Prior to issuance of any demolition or grading permits	Project applicant and contractors	Director of Community Development and SCCDEH

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
<p>workers to soil contaminants, soil vapor, and contaminated groundwater on the project site.</p>	<p>issuance of any demolition or grading permits (whichever occurs first) for review and approval. The project applicant must then provide the approved Soil and Groundwater Management Plan to the General Contractor and each of its subcontractors for incorporation into their Health and Safety Plans (HSP).</p> <p>MM HAZ-1.2: All contractors must prepare a site-specific Health and Safety Plans (HSP) to establish health and safety protocols for their personnel working at the project site. The HSPs will be reviewed and approved by the City of Santa Clara and the SCCDEH prior to issuance of demolition or grading permits (whichever occurs first) and will be modified accordingly if previously unknown impacted materials are encountered during construction. These modifications must meet federal and State of California (OSHA) standards for hazardous waste operations (29 CFR 1910.120 and 8 CCR 5192). Earthwork activities in contaminated materials will be performed by licensed contractors with personnel trained in hazardous waste operations (40-hour OSHA training).</p> <p>All contractors will be responsible for following the protocols presented in their HSP. The contractor will also prepare an injury and illness prevention plan. The contractor’s HSP will contain provisions for limiting chemical exposure to construction workers, chemical and on-chemical hazards, emergency procedures, and standard safety protocols.</p>	<p>(whichever occurs first)</p> <p>Prior to issuance of any demolition or grading permits (whichever occurs first)</p>	<p>Project applicant and contractors</p>	<p>Director of Community Development and SCCDEH</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>MM HAZ-1.6: In addition to the measures above, following demolition activities a qualified Environmental Professional will collect soil samples around former borings EB-2, EB-3, EB-4, and EB-5 to evaluate the lateral extent of soil exceeding residential screening levels. These samples will comply with the specifications identified in the Soil and Ground Water Management Plan prepared for the proposed project.</p> <p>MM-HAZ-1.7: If over excavation of some or all of the former tank backfill is required for geotechnical purposes, the designated Environmental Professional shall observe excavation activities and perform sampling of laboratory analyses.</p> <p>The contractor will delineate the former tank pit boundaries and will perform the necessary excavation. The Environmental Professional will document the approximate size of the former tank pit excavation as well as visibly apparent indicators of contamination on the excavation sidewall or base.</p> <p>An organic vapor meter will be used to monitor hydrocarbon vapors in the excavation. Soil observed to be potentially impacted should be placed on top of and covered by plastic sheeting and will be separately stockpiled from presumed “clean” soil. The Environmental Professional will process</p>	<p>In the event that contaminated soil is encountered.</p> <p>If over excavation of some or all of the former tank backfill is required.</p>	<p>Qualified Environmental Professional</p> <p>Designated Environmental Professional</p>	<p>SCCDEH</p> <p>SCCDEH</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>samples as described in the Soil and Groundwater Management Plan.</p> <p>MM-HAZ-1.8: During construction activities, if unanticipated contamination (e.g., if soil discoloration, odors, and/or elevated organic vapor meter readings are noted), buried structures (e.g., sumps or tanks), or hazardous debris are encountered that may pose a risk to human health or the environment, earthwork in the suspect area will be immediately stopped and worker access to the suspect area will be restricted. The area will be cordoned off using delineators and caution tape, or similar materials by the Contractor. Subsequently, the Environmental Professional and project applicant will be notified. The quality of soil suspected to be contaminated will be evaluated through analytical testing by the Environmental Professional so that appropriate handling and disposal alternatives can be determined.</p> <p>MM-HAZ-1.9: During impacted soil loading activities, the contractor will place heavy plastic sheeting beneath the trucks to collect any spilled soil. To avoid spreading of the contamination, after each truck is loaded and prior to moving off the plastic sheeting, the top rails, fences, tires, and all other surfaces with visible dust or soil spilled during loading will be removed by dry brushing methods at the point of loading. The collected soil on the plastic will be periodically removed to avoid the spreading of impacted soil on the truck tires.</p>	<p>During construction activities, if unanticipated contamination or hazardous debris are encountered that may pose a risk</p> <p>During impacted soil loading activities</p>	<p>Contractor</p> <p>Contractor</p>	<p>The Environmental Professional</p> <p>The Environmental Professional</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>MM-HAZ-1.10: The Environmental Professional will be present on-site during the removal of impacted soil and will be responsible for observing soil conditions and Contractor’s activities. As part of this process, daily field reports documenting Site activities will be completed and made available for inspection by authorized oversight personnel for the duration of the project.</p> <p>The Environmental Professional will complete daily field reports for each day that they are on-site. Entries will be complete and accurate enough to permit reconstruction of the Environmental Professional’s field activities. Each page will be dated, and the time of entry noted. The following information will be included for each sample:</p> <ul style="list-style-type: none"> • Sample identification number • Sample location and description • Site sketch showing sample location and measured distances • Sampler’s name(s) • Date and time of sample collection • Designation of sample as composite or grab • Type of sample (i.e., matrix) • Type of preservation 	<p>During the removal of impacted soil</p>	<p>The Environmental Professional</p>	<p>SCCDEH</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<ul style="list-style-type: none"> • Type of sampling equipment used • Field observations and details important to analysis or integrity of samples (e.g., heavy rains, odors, colors, etc.) • Instrument readings (e.g., photoionization detector [PID], etc.) • Chain-of-custody form numbers and chain-of-custody seal numbers • Transport arrangements (courier delivery, lab pickup, etc.) <p>MM-HAZ-1.11: The following General Procedures will be carried out for construction on the project site:</p> <ul style="list-style-type: none"> • Trenches/excavations that extend below the concrete section shall be screened daily with an organic vapor meter or similar meter. Total volatile organic compounds at a sustainable concentration of five ppmv above background shall require personnel to stop work and leave area. If concentrations do not recede, the trench/excavation shall be barricaded and the Environmental Consultant contacted. • Open trenches/excavations shall be inspected daily for readily observable indications of possible cave-ins, hazardous atmosphere or other hazardous conditions. • If readily observable conditions are noted that could result in cave-in, hazardous atmosphere or other hazardous condition, exposed workers shall be removed 	<p align="center">During Construction</p>	<p align="center">Contractor and applicant</p>	<p align="center">Director of Community Development</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>from the area until the necessary precautions have been taken to address the concern.</p> <ul style="list-style-type: none"> • Trenches/excavations shall be protected with adequate barriers or physical protection. • Stockpiles of soil shall not be stored within 2 feet of a trench/excavation. • Where oxygen deficiency (atmospheres containing less than 19.5 percent oxygen) or a hazardous atmosphere exists or could reasonably be expected to exist, the atmosphere shall be tested before workers enter the work area. • Adequate precautions shall be taken to prevent exposures to atmospheres containing less than 19.5 percent oxygen and or hazardous atmospheres, including proper respiratory protection or ventilation. • Workers shall not work in excavations/trenches in which there is accumulated water or in trenches/excavations in which water is accumulating, unless adequate precautions have been taken against the hazards posed by the accumulation. These measures can include PPE, shoring or water removal. • Workers shall wash hands thoroughly after handling project site soil or groundwater even if they were wearing protective gloves. <p>MM-HAZ-1.12: If utility trenches extend into groundwater, measures will be implemented to reduce the potential for vapor</p>			

**MITIGATION MONITORING OR REPORTING PROGRAM
3155 El Camino Real Residential Development Project**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
<p>expose future residents to vapor intrusion on-site.</p>	<p>screening levels (ESLs), vapor intrusion mitigation (VIM) measures will be implemented for the future development. A VIM system design and construction quality assurance plan will be submitted to Santa Clara County Department of Environmental Health (SCCDEH) for review and approval prior to start of construction. The VIM design document will describe pre-occupancy sub-membrane sampling. Although concentrations of PCE and benzene detected do not significantly exceed Tier 1 ESLs, the VIM system will be designed to avoid any post-occupancy sampling or monitoring requirement. Such a system could include two membranes (one on sub-grade and one sub-slab), a minimum eight inches of gas-permeable gravel beneath the concrete slab/membrane, and passive sub-slab ventilation.</p>			

In addition to mitigation measures listed above, there are also other conditions of approval the project shall implement, including the following:

CONDITIONS OF APPROVAL
3155 El Camino Real Residential Development Project
Long-term increased cancer risk and annual PM2.5 exposure for new project occupants: Best Management Practices
<ul style="list-style-type: none"> • Install air filtration in residential units on the ground floor that are within 90 feet of the closest El Camino Real travel lanes (Buildings 1 and 2). Air filtration devices shall be rated MERV13 or higher. To ensure adequate health protection to sensitive receptors (i.e., residents), this ventilation system, whether mechanical or passive, shall filter all fresh air that would be circulated into the dwelling units. • The ventilation system shall be designed to keep the building at positive pressure when doors and windows are closed to reduce the intrusion of unfiltered outside air into the building. • As part of implementing this measure, an ongoing maintenance plan for the buildings’ heating, ventilation, and air conditioning (HVAC) air filtration system shall be required that includes regular filter replacement. • Ensure that the use agreement and other property documents: (1) require cleaning, maintenance, and monitoring of the affected buildings for air flow leaks, (2) include assurance that new owners or tenants are provided information on the ventilation system, and (3) include provisions that fees associated with owning or leasing a unit(s) in the building include funds for cleaning, maintenance, monitoring, and replacements of the filters, as needed.
Soil Erosion: Best Management Practices
<ul style="list-style-type: none"> • All excavation and grading work would be scheduled in dry weather months or construction sites would be weatherized to withstand or avoid erosion. • Stockpiles and excavated soils would be covered during construction with secured tarps or plastic sheeting. • Vegetation in disturbed areas would be replanted as quickly as possible after construction.
Conditions for Lead and Asbestos Removal
<ul style="list-style-type: none"> • In conformance with state and local laws, a visual inspection/pre-demolition survey, and possible sampling, shall be conducted prior to the demolition of on-site buildings to determine the presence of asbestos-containing materials and/or lead-based paint. • Prior to demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, California Code of Regulations 1532.1, including employee training, employee air monitoring, and dust

CONDITIONS OF APPROVAL

3155 El Camino Real Residential Development Project

control. Any debris or soil containing lead-based paint or coatings would be disposed of at landfills that meet acceptance criteria for the waste being disposed.

- All potentially friable ACMs shall be removed in accordance with National Emissions Standards for Hazardous Air Pollutants (NESHAP) guidelines prior to any building demolition or renovation that may disturb the materials. All demolition activities will be undertaken in accordance with Cal/OSHA standards contained in Title 8 of CCR, Section 1529, to protect workers from exposure to asbestos.
- A registered asbestos abatement contractor shall be retained to remove and dispose of ACMs identified in the asbestos survey performed for the site in accordance with the standards stated above.
- Materials containing more than one percent asbestos are also subject to BAAQMD regulations. Removal of materials containing more than one percent asbestos shall be completed in accordance with BAAQMD requirements.

Best Management Practices: Construction Water Quality Impacts

- Burlap bags filled with drain rock shall be installed around storm drains to route sediment and other debris away from the drains;
- Earthmoving or other dust-producing activities would be suspended during period of high winds;
- All exposed or disturbed soil surfaces would be watered at least twice daily to control dust as necessary;
- Stockpiles of soil or other materials that can be blown by the wind would be watered or covered;
- All trucks hauling soil, sand, and other loose materials shall be covered;
- All paved access roads, parking areas, staging areas and residential streets adjacent to the construction sites would be swept daily (with water sweepers); and
- Vegetation in disturbed areas would be replanted as quickly as possible.

Best Management Practices: Post-Construction Water Quality

- When the construction phase is complete, a Notice of Termination (NOT) for the General Permit for Construction will be filed with the RWQCB and the City of Santa Clara. The NOT shall document that all elements of the SWPPP have been executed, construction materials and waste have been properly disposed of, and a post-construction stormwater management plan is in place as described in the SWPPP for the project site.

CONDITIONS OF APPROVAL

3155 El Camino Real Residential Development Project

- All post-construction Treatment Control Measures (TCMs) shall be installed, operated, and maintained by qualified personnel. On-site inlets will be cleaned out at a minimum of once per year, prior to the wet season.
- The property owner/site manager shall keep a maintenance and inspection schedule and record to ensure the TCMs continue to operate effectively for the life of the project. Copies of the schedule and record must be provided to the City upon request and must be made available for inspection on-site at all times.

Construction Noise Control Plan Measures

- Construction activities shall be limited to hours between 7:00 a.m. and 6:00 p.m. on weekdays and 9:00 a.m. and 6:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays.
- Construct temporary noise barriers, where feasible, to screen stationary noise-generating equipment. Temporary noise barrier fences would provide a 5 dBA noise reduction if the noise barrier interrupts the line-of-sight between the noise source and receiver and if the barrier is constructed in a manner that eliminates any cracks or gaps.
- Equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment.
- If geotechnical conditions allow, drilled piles should be used in place of impact or vibratory pile driving. Drilled piles would generate substantially less noise than impact-drive pile driving.
- Unnecessary idling of internal combustion engines should be strictly prohibited.
- Locate stationary noise-generating equipment, such as air compressors or portable power generators, as far as possible from sensitive receptors as feasible. If they must be located near receptors, adequate muffling (with enclosures where feasible and appropriate) shall be used reduce noise levels at the adjacent sensitive receptors. Any enclosure openings or venting shall face away from sensitive receptors.
- Utilize "quiet" air compressors and other stationary noise sources where technology exists.
- Construction staging areas shall be established at locations that will create the greatest distance between the construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
- Control noise from construction workers' radios to a point where they are not audible at existing residential uses to the north of the project site.
- The contractor shall prepare a detailed construction plan identifying the schedule for major noise-generating construction activities. The construction plan shall identify a procedure for coordination with adjacent residential land uses so that construction activities can be scheduled to minimize noise disturbance.

CONDITIONS OF APPROVAL

3155 El Camino Real Residential Development Project

- Designate a "disturbance coordinator" who would be responsible for responding to any complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint (e.g., bad muffler, etc.) and will require that reasonable measures be implemented to correct the problem. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include in it the notice sent to neighbors regarding the construction schedule.

Interior Noise Impact Conditions

- A qualified acoustical specialist shall prepare a detailed analysis of interior residential noise levels resulting from all exterior sources during the design phase pursuant to requirements set forth in the State Building Code. The study will review the final site plan, building elevations, and floor plans prior to construction and determine building treatments to reduce residential interior noise levels to 45 dBA DNL or lower. Treatments would include, but are not limited to, sound-rated windows and doors, sound-rated wall and window constructions, acoustical caulking, protected ventilation openings, etc. The specific determination of what noise insulation treatments are necessary shall be conducted on a unit-by-unit basis during final design of the project. Results of the analysis, including the description of the necessary noise control treatments, shall be submitted to the City, along with the building plans and approved design, prior to issuance of a building permit.

Sources: City of Santa Clara. *Draft Initial Study for the 3155 El Camino Real Residential Development Project*. April 2022.

3155 EL CAMINO REAL RESIDENTIAL PROJECT
RESPONSE TO COMMENTS

The 3155 El Camino Real Residential Project Initial Study/Mitigated Negative Declaration (IS/MND) was prepared and evaluated in compliance with the requirements of the California Environmental Quality Act (CEQA). The IS/MND was circulated for 30 days from February 14 to March 15, 2022. The City received two comment letters during the public comment period:

Comment Letters Received by the City from State, County, or Local agencies:

- | | | |
|----|---|----------------|
| A. | California Department of Transportation | March 14, 2022 |
| B. | Santa Clara Valley Transportation Authority | March 15, 2022 |

This memo responds to public comments on the IS/MND as they relate to the potential environmental impacts of the project under CEQA. Numbered responses correspond to comments in each comment letter. Copies of all comment letters are attached.

Comment Letter A: California Department of Transportation (Caltrans) – March 14, 2022

Comment A-1: The project is located directly along State Route (SR)-85 in Santa Clara. The project proposes to construct eight residential buildings containing a total of 60 residential units. The buildings would range from two to three stories with a height of approximately 34 to 40 feet. The project would also include 110 parking spaces.

Response A-1: Caltrans has correctly summarized the project as presented in the IS/MND.

Comment A-2: The project VMT analysis and significance determination are undertaken in a manner consistent with the Office of Planning and Research's (OPR) Technical Advisory. Per the IS/MND, this project is found to have a less than significant VMT impact, therefore working towards meeting the State's VMT reduction goals.

Response A-2: Caltrans has correctly interpreted the VMT analysis presented in the IS/MND.

Comment A-3: Potential impacts to the State Right-of-Way (ROW) from project-related temporary access points should be analyzed. Mitigation for significant impacts due to construction and noise should be identified. Project work that requires movement of oversized or excessive load vehicles on State roadways requires a transportation permit that is issued by Caltrans. To apply, visit: <https://dot.ca.gov/programs/traffic-operations/transportation-permits>. Prior to construction, coordination may be required with Caltrans to develop a Transportation Management Plan (TMP) to reduce construction traffic impacts to the State Transportation Network (STN).

Response A-3: The proposed project has analyzed the Air Quality, Noise, and Hazards impacts of the proposed project including improvements associated with the removal of the "porkchop" within the State ROW. These impacts were found to be less than significant, or were mitigated to a less than significant level with the incorporation of measures as identified in sections 4.3, 4.9, and 4.13 of the IS/MND. The proposed project would acquire all necessary permits from Caltrans to complete construction. Additionally, the proposed project would coordinate with Caltrans on the development of a TMP to reduce any impacts on the STN.

Comment A-4: As the Lead Agency, the City of Santa Clara is responsible for all project mitigation, including any needed improvements to the State Transportation Network (STN). The project's fair share contribution, financing, scheduling, implementation responsibilities and lead agency monitoring should be fully discussed for all proposed mitigation measures.

Response A-4: The analysis did not identify any impacts to the State ROW. Therefore, there is no nexus to require transportation mitigation for the project.

Comment A-5: If any Caltrans facilities are impacted by the project, those facilities must meet American Disabilities Act (ADA) Standards after project completion. As well, the project must maintain bicycle and pedestrian access during construction. These access considerations support Caltrans' equity mission to provide a safe, sustainable, and equitable transportation network for all users.

Response A-5: The proposed project will comply with state and local regulations for ADA accessibility and will maintain access to pedestrian and bicycle access during construction.

Comment A-6: Please be advised that any permanent work or temporary traffic control that encroaches onto Caltrans' ROW requires a Caltrans-issued encroachment permit. As part of the encroachment permit submittal process, you may be asked by the Office of Encroachment Permits to submit a completed encroachment permit application package, digital set of plans clearly delineating Caltrans' ROW, digital copy of signed, dated and stamped (include stamp expiration date) traffic control plans, this comment letter, your response to the comment letter, and where applicable, the following items: new or amended Maintenance Agreement (MA), approved Design Standard Decision Document (DSDD), approved encroachment exception request, and/or airspace lease agreement. Your application package may be emailed to D4Permits@dot.ca.gov.

Please note that Caltrans is in the process of implementing an online, automated, and milestone-based Caltrans Encroachment Permit System (CEPS) to replace the current permit application submittal process with a fully electronic system, including online payments. The new system is expected to be available during 2022. To obtain information about the most current encroachment permit process and to download the permit application, please visit <https://dot.ca.gov/programs/traffic-operations/ep/applications>.

Response A-6: The proposed project would require encroachment into the Caltrans ROW and would therefore require a Caltrans encroachment permit. The developer would provide the required permit information prior to construction and would coordinate with Caltrans on the requirements of the permit.

Comment Letter B: Santa Clara Valley Transportation Authority – March 15, 2022

Comment B-1: VTA appreciates the opportunity to comment on the Initial Study for the 3155 El Camino Real Residential Project. VTA has reviewed the document and has the following comments:

Central Bikeway Integration

VTA has worked closely with City of Santa Clara staff to plan for a future high quality, low stress bikeway that is complimentary of the City of Santa Clara Council Adopted Bicycle Master Plan vision for El Camino Real. Central Bikeways builds on the idea of protected bikeway and enhances it, with a sidewalk level bikeway, permanent protected barrier, enhanced landscaping, lighting upgrades, wayfinding, and improved protected intersections. While still in the conceptual planning stage, it is important to not preclude or increase costs for the future bikeway as properties redevelop along this important corridor. Please visit www.vta.org/centralbikeway for more details.

VTA commends the project for removing curb cuts along El Camino Real. Doing so reduces the amount of conflict points for pedestrians and bicycle and enhances the experience on this section of El Camino Real. VTA strongly recommends the following modifications to the site plan to better integrate with the future Central Bikeway:

- Maintain only eight-foot width maximum of sidewalk along the El Camino Real frontage. The project states it will build a 10.5-foot sidewalk, although it unclear from the site plan how much is on private property and how much is in the public right of way. Extending the sidewalk beyond eight feet in the public right of way could conflict with the future bikeway and require additional work or cost to rebuild the sidewalk in the future (see Attachment A). However, if the project intends to build some of the proposed 10.5-foot sidewalk on private property, VTA supports this plan.
- Potentially minimize the use of trees along the four-foot planted strip. Relocation or removal of this trees would likely occur I the future when the bikeway is constructed.
- Provide a fair share contribution towards the future reconstruction of the Calabazas Boulevard protected intersection improvements identified in the Central Bikeway Basis of Design Plans (see attachment A). VTA strongly supports this project removing the free right-hand turn (porkchop) from El Camino Real to Calabazas Boulevard. This goes a long way towards creating a safer city for all users.
- Require any light poles along El Camino Real to also include additional pedestrian-scale lighting to compliment the future bikeway.

We recognize some of these changes may be counterintuitive to the current design and vision of wider sidewalks and a planted buffer common along El Camino Real.

Response B-1: The VTA's support of the project is acknowledged. VTA's recommendations regarding sidewalk width, fair share contribution, lighting, and tree planting will be taken under consideration by the decision-making bodies. Additionally, the proposed project would expand the sidewalk into the project site and would not take up additional right of way on the street side of the sidewalk. The proposed project would comply with the policies, guidelines and regulations of the decision-making body regarding the project design features.

California Department of Transportation

DISTRICT 4
OFFICE OF TRANSIT AND COMMUNITY PLANNING
P.O. BOX 23660, MS-10D | OAKLAND, CA 94623-0660
www.dot.ca.gov



March 14, 2022

SCH #: 2022020290
GTS #: 04-SCL-2022-01020
GTS ID: 25578
Co/Rt/Pm: SCL/82/13.65

Debby Fernandez, Associate Planner
City of Santa Clara
1500 Warburton Avenue
Santa Clara, CA 95050

Re: 3155 El Camino Real Residential Project Mitigated Negative Declaration (MND)

Dear Debby Fernandez:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the 3155 El Camino Real Residential Project. We are committed to ensuring that impacts to the State's multimodal transportation system and to our natural environment are identified and mitigated to support a safe, sustainable, integrated and efficient transportation system. The following comments are based on our review of the February 2022 MND.

Project Understanding

The project is located directly along State Route (SR)-85 in Santa Clara. The project proposes to construct eight residential buildings containing a total of 60 residential units. The buildings would range from two to three stories with a height of approximately 34 to 40 feet. The project would also include 110 parking spaces.

Travel Demand Analysis

The project VMT analysis and significance determination are undertaken in a manner consistent with the Office of Planning and Research's (OPR) Technical Advisory. Per the IS/MND, this project is found to have a less than significant VMT impact, therefore working towards meeting the State's VMT reduction goals.

Construction-Related Impacts

Potential impacts to the State Right-of-Way (ROW) from project-related temporary access points should be analyzed. Mitigation for significant impacts due to construction and noise should be identified. Project work that requires movement of oversized or excessive load vehicles on State roadways requires a transportation

permit that is issued by Caltrans. To apply, visit: <https://dot.ca.gov/programs/traffic-operations/transportation-permits>. Prior to construction, coordination may be required with Caltrans to develop a Transportation Management Plan (TMP) to reduce construction traffic impacts to the STN.

Lead Agency

As the Lead Agency, the City of Santa Clara is responsible for all project mitigation, including any needed improvements to the State Transportation Network (STN). The project's fair share contribution, financing, scheduling, implementation responsibilities and lead agency monitoring should be fully discussed for all proposed mitigation measures.

Equitable Access

If any Caltrans facilities are impacted by the project, those facilities must meet American Disabilities Act (ADA) Standards after project completion. As well, the project must maintain bicycle and pedestrian access during construction. These access considerations support Caltrans' equity mission to provide a safe, sustainable, and equitable transportation network for all users.

Encroachment Permit

Please be advised that any permanent work or temporary traffic control that encroaches onto Caltrans' ROW requires a Caltrans-issued encroachment permit. As part of the encroachment permit submittal process, you may be asked by the Office of Encroachment Permits to submit a completed encroachment permit application package, digital set of plans clearly delineating Caltrans' ROW, digital copy of signed, dated and stamped (include stamp expiration date) traffic control plans, this comment letter, your response to the comment letter, and where applicable, the following items: new or amended Maintenance Agreement (MA), approved Design Standard Decision Document (DSDD), approved encroachment exception request, and/or airspace lease agreement. Your application package may be emailed to D4Permits@dot.ca.gov.

Please note that Caltrans is in the process of implementing an online, automated, and milestone-based Caltrans Encroachment Permit System (CEPS) to replace the current permit application submittal process with a fully electronic system, including online payments. The new system is expected to be available during 2022. To obtain information about the most current encroachment permit process and to download the permit application, please visit <https://dot.ca.gov/programs/traffic-operations/ep/applications>.

Debby Fernandez, Associate Planner
March 14, 2022
Page 3

Thank you again for including Caltrans in the environmental review process. Should you have any questions regarding this letter, or for future notifications and requests for review of new projects, please email LDR-D4@dot.ca.gov.

Sincerely,

A handwritten signature in black ink that reads "Mark Leong". The signature is written in a cursive, flowing style with a long horizontal tail stroke.

MARK LEONG
District Branch Chief
Local Development Review

c: State Clearinghouse



March 15, 2022

City of Santa Clara
1500 Warburton Avenue
Santa Clara, CA 95050

Attn: Debby Fernandez, Associate Planner
By Email: DFernandez@santaclaraca.gov

Dear Debby,

VTA appreciates the opportunity to comment on the Initial Study for the 3155 El Camino Real Residential Project. VTA has reviewed the document and has the following comments:

Central Bikeway Integration

VTA has worked very closely with City of Santa Clara staff to plan for a future high quality, low-stress bikeway that is complimentary of the City of Santa Clara Council Adopted Bicycle Master Plan vision for El Camino Real. Central Bikeway builds on the idea of protected bikeway and enhances it, with a sidewalk level bikeway, permanent protected barrier, enhanced landscaping, lighting upgrades, wayfinding, and improved protected intersections. While still in the conceptual planning stage, it is important to not preclude or increase costs for the future bikeway as properties redevelop along this important corridor. Please visit www.vta.org/centralbikeway for more details.

VTA commends the project for removing curb cuts along El Camino Real. Doing so, reduces the amount of conflict points for pedestrians and bicyclists and enhances the experience on this section of El Camino Real. VTA strongly recommends the following modifications to the site plan to better integrate with the future Central Bikeway:

- Maintain only eight-foot width maximum of sidewalk along the El Camino Real frontage. The project states it will build a 10.5-foot sidewalk, although it unclear from the site plan how much is on private property and how much is in the public right of way. Extending the sidewalk beyond eight feet in the public right of way could conflict with the future bikeway and require additional work or cost to rebuild the sidewalk in the future (see Attachment A). However, if the project intends to build some of the proposed 10.5-foot sidewalk on private property, VTA supports this plan.
- Potentially minimize the use of trees along the four-foot planted strip. Relocation or removal of this trees would likely occur in the future when the bikeway is constructed.
- Provide a fair-share contribution towards the future reconstruction of the Calabazas Boulevard protected intersection improvements identified in the Central Bikeway Basis of Design Plans (see Attachment A). VTA strongly supports this project removing the free right-hand turn (porkchop) from El Camino Real to Calabazas Boulevard. This goes a long way towards creating a safer city for all users.
- Require any light poles along El Camino Real to also include additional pedestrian-scale lighting to compliment the future bikeway.

We recognize that some of these changes may be counterintuitive to the current design and vision of wider sidewalks and a planted buffer common along El Camino Real.

Thank you again for the opportunity to review this project. If you have any questions, please do not hesitate to contact me at 408-321-5830 or lola.torney@vta.org.

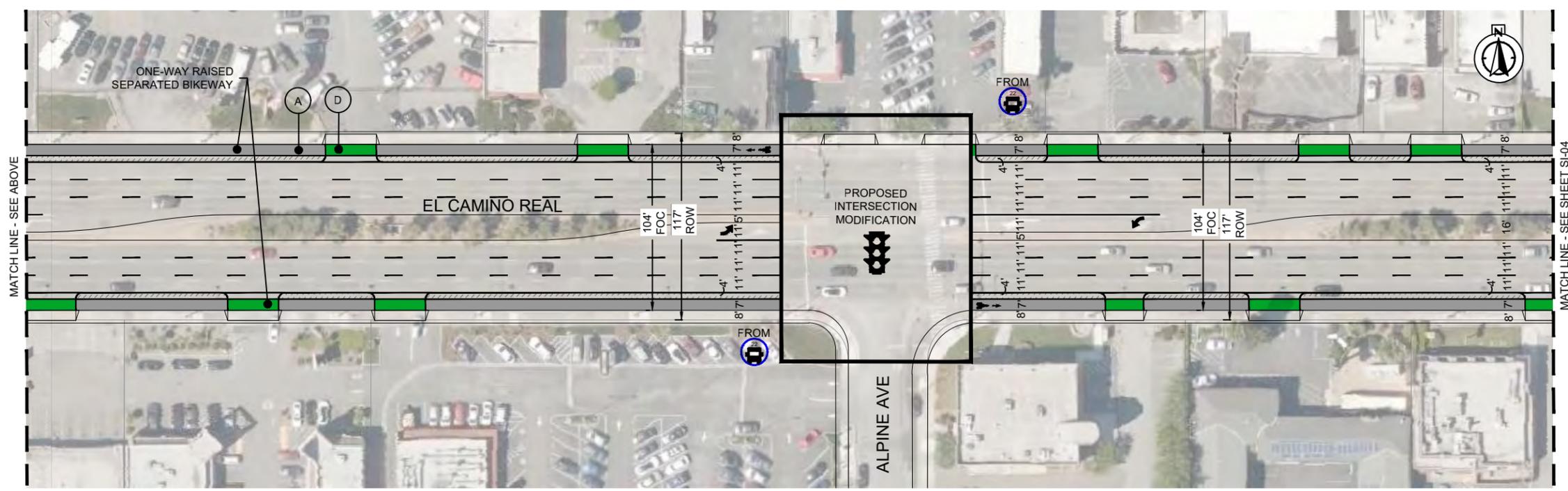
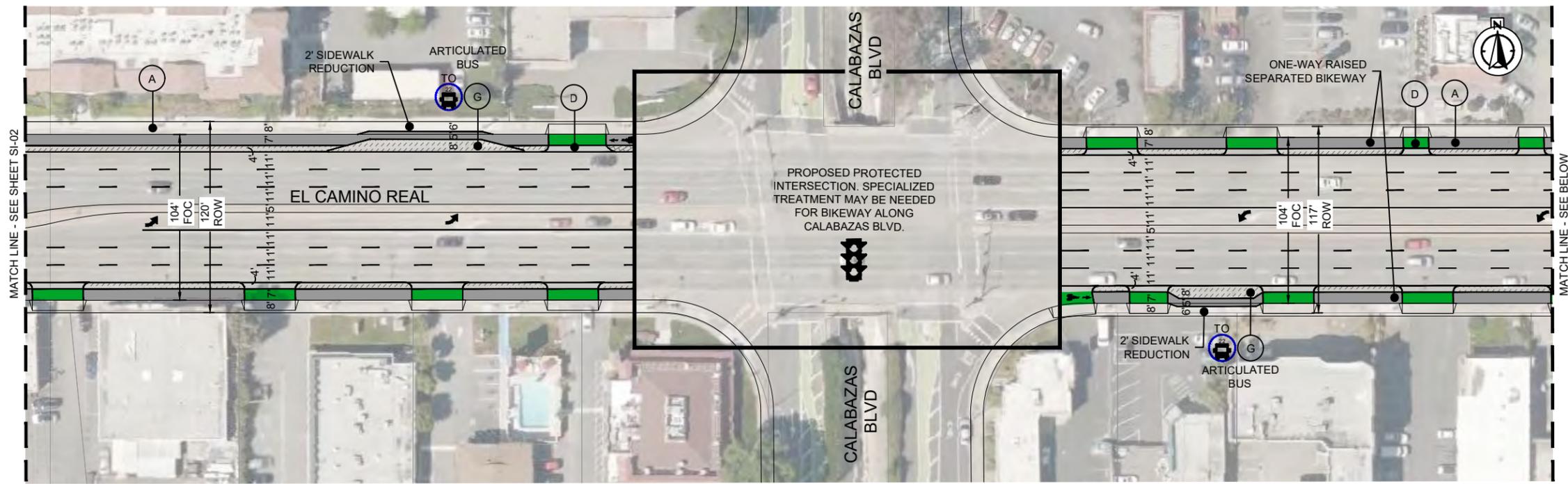
Sincerely,

A handwritten signature in black ink, appearing to read 'Lola Torney', written over a light gray rectangular background.

Lola Torney
Transportation Planner III

SC2203

NOTE:
RIGHT TURNS ON A RED SIGNAL PHASE SHALL BE RESTRICTED.



Dwg filename: S:\Projects\577100\WPLOT DRAWINGS\577100SI03.dwg Last saved by: mveracruz Plot date: 1/27/2022 2:16 PM Plot style table: ALTA NCS Standard.ctb

PROJECT NO:	MARK	DESCRIPTION	ISSUE	DATE	INITIAL
577100					
DESIGNED BY:					
DRAWN BY:					
REVIEWED BY:					
DATE:					
SCALE:					

Underground Service Alert

DIAL TOLL FREE
1-800-422-4133
AT LEAST TWO WORKING DAYS
BEFORE YOU DIG



SANTA CLARA VTA
CENTRAL BIKEWAY
PROJECT

3331 N 1ST STREET
SAN JOSE, CA
95134

SHEET TITLE
Santa Clara Valley
Central Bikeway Project

**CORRIDOR CONCEPTS
EL CAMINO REAL
ONE-WAY SIDEWALK-LEVEL
SEPARATED BIKEWAY**

SHEET NO.
SI-03

SHEET 10 OF 48

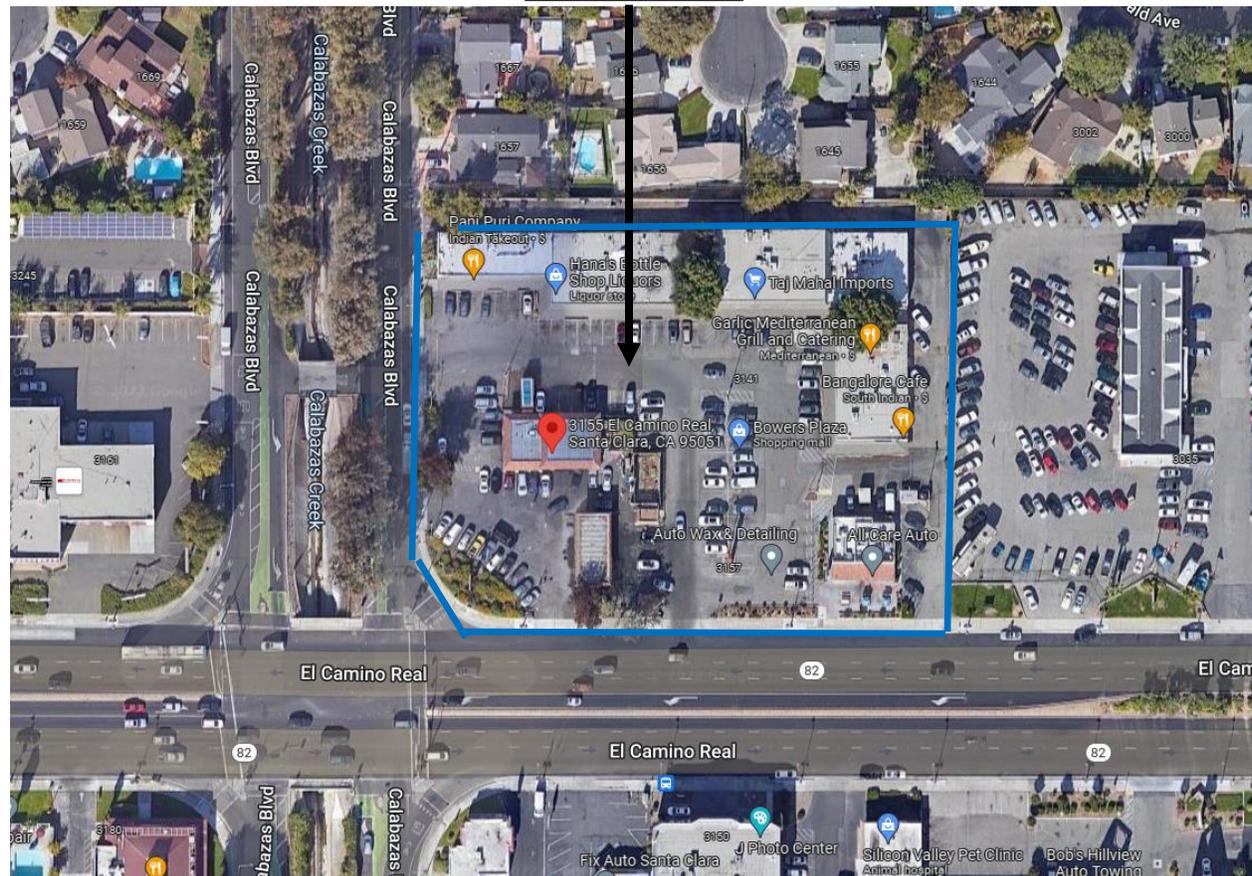
Project Data

File: CEQ2020-01080, PLN2020-14674 and PLN2020-14705
Location: 3141 – 3155 El Camino Real
Applicant/ Owner: Oak Investment Group, LLC / Bowers Plaza GP
CEQA Determination: Mitigated Negative Declaration

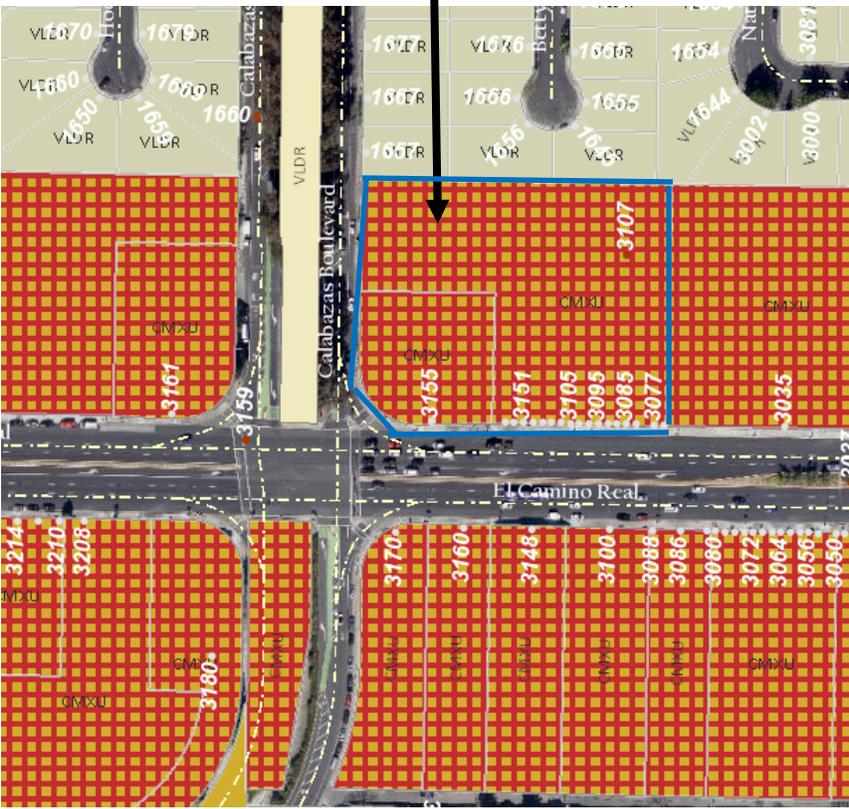
	Existing	Proposed
General Plan Designation	Community Mixed Use	Community Mixed Use
Zoning District	Thoroughfare Commercial (CT)	Planned Development (PD)
Lot Size	2.41 acres	Same
Land Use	Commercial	Residential
Commercial Space	21,780 sq.ft.	0
Residential Units	0	60
Private Open Space	N/A	Yes.
Stories / Total Height	One-story	Three and two stories (up to 43.3 feet)
Parking	Surface parking lots	Single, tandem and side-by-side attached garages and visitor spaces
Flood Zone	X	X

Aerial Map

Project Site



General Plan Map – Community Mixed Use Designation



Zoning Map – Thoroughfare Commercial (CT)



RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING THAT THE CITY COUNCIL ADOPT THE MITIGATED NEGATIVE DECLARATION AND THE MITIGATION AND REPORTING PROGRAM FOR THE 3155 EL CAMINO REAL RESIDENTIAL PROJECT LOCATED AT 3141 – 3155 EL CAMINO REAL, SANTA CLARA

PLN2020-014674 (Rezone)
PLN2020-14705 (Tentative Tract Map)
CEQ2020-01080 (Mitigated Negative Declaration)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on October 29, 2020, Oak Investment Group, LLC (“Applicant”) filed an application for the 2.14 acre site consisting of two contiguous parcels located at 3141 – 3155 El Camino Real with surface parking lots and seven one-story commercial buildings totaling 21,780 square feet (“Project Site”);

WHEREAS, the Applicant applied to rezone the Project Site from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60-unit residential development consisting of 40 townhomes and 20 flats, private street, and on- and off-site improvements (“Project”) as shown on the Development Plans, attached hereto and incorporated herein by this reference;

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), and the regulations implementing the Act, specifically 14 Cal. Code of Regs § 15070, this Project was determined after an Initial Study to identify potentially significant effects on the environment which could be avoided with the implementation of mitigation measures, resulting in the drafting of a Mitigated Negative Declaration (“MND”) and Mitigation Monitoring and Reporting Program (“MMRP”);

WHEREAS, in conformance with CEQA, the MND was noticed and circulated for a 30-day public review period to the State Office of Planning and Research, Santa Clara County Clerk’s Office, interested parties, and property owners within 500 feet of the Project Site from February 14, 2022 to March 16, 2022, where during that period comment letters were received from the

California Department of Transportation (Caltrans) and Santa Clara Valley Transportation Authority, and along with the attached Responses to Comments Received on the MND are made part of the record;

WHEREAS, on June 1, 2022, a newspaper notice for this item was published in *The Weekly*, a newspaper of general circulation for the City, for the Planning Commission meeting of June 15, 2022;

WHEREAS, on June 2, 2022 notices of the public meeting for the Planning Commission meeting of June 15, 2022 were posted in three conspicuous locations within 500 feet of the Project Site, and mailed to all property owners within 500 feet of the Project Site boundaries; and

WHEREAS, on June 15, 2022, the Planning Commission held a duly noticed public meeting to consider the Project, MND, MMRP and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby finds that all potentially significant environmental impacts that may directly or indirectly result from the Project would be reduced to a less-than-significant level by the mitigation measures specified in the MND and MMRP.
3. That the Planning Commission hereby finds that the MND is complete, prepared in compliance with CEQA, and represents the independent judgment of the Planning Commission.
4. That the Planning Commission hereby recommends that the City Council finds that the MND and MMRP completed for this Project has been completed in compliance with CEQA, and that approval of this Project as mitigated will have no significant negative impacts on the area's

environmental resources, cumulative or otherwise, as the impacts as mitigated would fall within the environmental thresholds identified by CEQA.

5. That the Planning Commission hereby recommends that the City Council adopt the MND and MMRP for the Project as required by the CEQA Guidelines (14 Cal. Code of Regs. § 15074).

6. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 15th DAY OF JUNE, 2022, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST:

ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Mitigated Negative Declaration (MND)
2. Mitigation Monitoring and Reporting Program (MMRP)
3. Responses to Comments Received on the MND
4. Development Plans

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING THAT THE CITY COUNCIL APPROVE A REZONING FROM THOROUGHFARE COMMERCIAL (CT) TO PLANNED DEVELOPMENT (PD) TO ALLOW A RESIDENTIAL DEVELOPMENT CONSISTING OF 60 RESIDENTIAL UNITS LOCATED AT 3141-3155 EL CAMINO REAL, SANTA CLARA

PLN2020-014674 (Rezone)
PLN2020-14705 (Tentative Tract Map)
CEQ2020-01080 (Mitigated Negative Declaration)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on October 29, 2020, Oak Investment Group, LLC (“Applicant”) filed an application for the 2.14 acre site consisting of two contiguous parcels located at 3141 – 3155 El Camino Real with surface parking lots and seven one-story commercial buildings totaling 21,780 square feet (“Project Site”);

WHEREAS, the Applicant applied to rezone the Project Site from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60-unit residential development consisting of 40 townhomes and 20 flats, private streets, and on-and off-site improvements (“Project”) as shown on the Development Plans, attached hereto and incorporated herein by this reference;

WHEREAS, in conformance with CEQA, the Mitigated Negative Declaration (MND) prepared for the Project was noticed and circulated for a 30-day public review period from February 14, 2022 to March 16, 2022;

WHEREAS, the MND identified potential significant impacts of Project development that with implementation of the mitigation measures identified in the Mitigation Monitoring and Reporting Program (“MMRP”) will reduce potential mitigation measures to less than significant and will be incorporated into the Project;

WHEREAS, Santa Clara City Code (SCCC) Section 18.112.030 provides for the review and recommendation of the City's Planning Commission of all rezoning requests before action is to be taken by the City Council;

WHEREAS, on June 2, 2022, the notice of public hearing for the June 15, 2022, Planning Commission meeting for this item was posted at least three conspicuous locations within 500 feet of the Project Site and was mailed to property owners within a 500 foot radius of the Project Site boundaries; and

WHEREAS, on June 15, 2022, the Planning Commission held a duly noticed public hearing to consider the Project, MND, MMRP, and all pertinent information in the record during which the Planning Commission invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby recommends that the City Council rezone the Project Site from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60 condominium residential development consisting of 40 townhomes and 20 flats, as shown on the attached Development Plans and conditioned as specified in the attached Conditions of Rezoning Approval, incorporated herein by this reference.
3. Pursuant to SCCC Code Section 18.112.040, the Planning Commission determines that the following findings exist in support of the rezoning:
 - A. The existing zoning is inappropriate or inequitable in that, the existing zoning for the Project Site does not allow residential development and creation of housing opportunities envisioned by the 2010-2035 General Plan. The Planned Development (PD) zoning would allow

residential development to implement the General Plan's vision for the El Camino Real Focus Area more fully than the existing Commercial Thoroughfare (CT) zoning for the Project Site.

B. The proposed zone change will conserve property values, protect or improve the existing character and stability of the area in question, and will promote the orderly and beneficial development of such area in that the proposal redevelops two contiguous auto-oriented properties and visually improves the Project Site and surrounding neighborhood with physical and financial investment in the construction of a modern and visually aesthetic residential home ownership development with on-site parking, site improvements, landscaping, and streetscape enhancements.

C. The proposed zone change is required by public necessity, public convenience, or the general welfare of the City in that the proposed zone change provides residential development contemplated by the General Plan for the El Camino Real Focus Area that is designed to activate the streetscape, is pedestrian-oriented, supports public investments in existing and planned transit service along the El Camino Real transit corridor, and provides high quality homeownership opportunities to the City's housing stock.

D. The proposed zone change would allow imaginative planning and design concepts to be utilized that would otherwise be restricted in other zoning districts in that the proposed zone change would allow flexibility in the development standards to construct for-sale condominiums that are compatible with existing and planned development within the El Camino Real Focus Area.

4. That based on the findings set forth in this resolution and the evidence in the City Staff Report, MND and MMRP, the Planning Commission hereby recommends that the City Council rezone the Project Site to allow a 60 condominium residential development consisting of 40 townhomes and 20 flats, as shown on the attached Development Plans and conditioned as specified in the attached Conditions of Rezoning Approval.

5. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 15th DAY OF JUNE, 2022, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

Attachments Incorporated by Reference:

1. Rezone Conditions of Approval
2. Development Plans

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE THE TENTATIVE TRACT MAP FOR THE 3155 EL CAMINO REAL RESIDENTIAL PROJECT PROPERTIES LOCATED AT 3141 – 3155 EL CAMINO REAL, SANTA CLARA, TO SUBDIVIDE THE 2.14 ACRE PROJECT SITE INTO 60 RESIDENTIAL CONOMINIUMS AND ONE COMMON LOT

PLN2020-014674 (Rezone)
PLN2020-14705 (Tentative Tract Map)
CEQ2020-01080 (Mitigated Negative Declaration)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on October 29, 2020, Oak Investment Group, LLC (“Applicant”) filed an application for the 2.14 acre site consisting of two contiguous parcels located at 3141 – 3155 El Camino Real with surface parking lots and seven one-story commercial buildings totaling 21,780 square feet (“Project Site”);

WHEREAS, the Applicant has simultaneously applied to rezone the Project Site from Thoroughfare Commercial (CT) to Planned Development (PD) to allow a 60-unit residential development consisting of 40 townhomes and 20 flats, private street, and on- and off-site improvements (“Project”) as shown on the Development Plans, attached hereto and incorporated herein by this reference;

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), and the regulations implementing the Act, specifically 14 Cal. Code of Regs § 15070, this Project was determined after an Initial Study to identify potentially significant effects on the environment which could be reduced to less than significant with the implementation of mitigation measures, resulting in the drafting of a Mitigated Negative Declaration (“MND”) and Mitigation Monitoring and Reporting Program (“MMRP”);

WHEREAS, pursuant to Section 17.05.210 of the Code of the City of Santa Clara (“SCCC”), a Tentative Tract Map shall be required for all divisions of land into five or more parcels;

WHEREAS, consistent with the proposed uses under the development plan, the proposal includes the division of the site into condominium and common lots, as shown on Exhibit “Tentative Tract Map” and attached hereto by this reference;

WHEREAS, on March 29, 2022, the Subdivision Committee determined that the application was complete and that the Tentative Tract Map be reviewed by the Planning Commission and the City Council in conformance with Section 17.05.300 of the SCCC as a Tentative Tract Map along with the Project;

WHEREAS, Section 17.05.300 (g) of the SCCC requires that the Planning Commission conduct a public hearing before considering the approval of a Tentative Tract Map for the division of land;

WHEREAS, notice of the public hearing on the Tentative Tract Map was published in *The Weekly*, a newspaper of general circulation for the City, on June 1, 2022;

WHEREAS on June 2, 2022, notices of the public hearing on the Tentative Tract Map were posted at least three conspicuous locations within 500 feet of the Project Site and were mailed to all property owners within 500 feet of the Project Site boundaries;

WHEREAS, before considering the Tentative Tract Map, the Planning Commission reviewed and considered the information contained in the MND for the Project and MMRP, and found that the mitigation measures identified and incorporated into the Project and this Tentative Tract Map, mitigate or avoid the significant environmental effects; and,

WHEREAS, the Planning Commission has reviewed the Tentative Tract Map and conducted a public hearing on June 15, 2022, at which time all interested parties were given an opportunity to present evidence and provide testimony, both in favor of and in opposition to the proposed Tentative Tract Map.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. That this Resolution incorporates, and by this reference makes a part hereof, that certain Tentative Tract Map, attached hereto as Exhibit “Tentative Tract Map”.

3. Tentative Tract Map Findings. Pursuant to California Government Code Sections 66426 and 66428 and SCCC Section 17.05.300(g), the Planning Commission finds and determines that:

A. The Tentative Tract Map is consistent with the objectives, policies, general land use and programs specified in the City’s General Plan in that the proposed Tentative tract Map is to allow the development of 60 ownership residential units (consisting of 40 townhomes and 20 flats), private streets, on-site resident and visitor parking, common landscaped area, and on- and off-site improvements compatible with neighboring residential development and existing and planned development within the El Camino Real Focus Area, subject to conditions set forth in the Tentative Tract Map Conditions of Approval, attached hereto and incorporated by this reference. The project proposes a density of 25 dwelling units per acre, consistent with the site’s Community Mixed Use General Plan designation. The project is also consistent with the El Camino Real Focus Area policies.

B. The design and improvements of the proposed subdivision are consistent with the City’s General Plan in that the Tentative Tract Map is subject to the conditions set forth in Exhibit “Tentative Tract Map Conditions of Approval”, attached hereto and incorporated by this reference.

C. The site is physically suitable for the proposed type of development in that the project is designed to provide high quality housing that is designed to be consistent with the on-

going and proposed development along El Camino Real. Moreover, the project is designed to retain the contextual consistency of the corridor.

D. This site is physically suitable for the proposed density of development in that the Project Site is located in an urbanized area and allows for redevelopment consistent with the height, uses and development that are existing and planned in the surrounding area.

E. The design of the subdivision and type of improvements are not likely to cause serious health problems in that the proposed residential subdivision will implement Covenants Conditions and Restrictions for operation and maintenance of the buildings, private street and site improvements, and does not propose the use of hazardous materials.

F. The design of the subdivision and type of improvements are not likely to cause substantial environmental damage and will not substantially or unavoidably injure fish or wildlife or their habitat in that the Project Site is located in an urbanized setting, on a previously developed site, and includes mitigation measures, as identified in the MND and MMRP, that reduce impacts to wildlife habitat to less-than-significant levels.

G. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large or use of property within the proposed subdivision in that, the project is designed to avoid encroachments and conflicts with public easements in the site design.

H. The Tentative Tract Map provides, to the extent feasible, for future passive or natural heating or cooling opportunities, in that it would allow flexibility in the development standards to maximize the benefits of green building standards for site and building design.

4. Based on the findings set forth in this Resolution and the evidence in the Staff Report, MND, MMRP, and such other evidence as received at the public hearings on this matter before the Planning Commission, the Planning Commission hereby recommends approval of the Tentative Tract Map to the City Council, substantially in the form on file as shown in the

“Tentative Tract Map” attached hereto, subject to conditions of approval attached as “Conditions of Tentative Tract Map Approval” and hereby incorporated by this reference.

5. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 15th DAY OF JUNE 2022, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

- Attachments Incorporated by Reference:
1. Tentative Tract Map
2. Tentative Tract Map Conditions of Approval

Debby Fernandez

From: Linda Zazzara [REDACTED]
Sent: Thursday, June 09, 2022 2:27 PM
To: Debby Fernandez
Subject: PLN2020-14674 3141-3155 El Camino Real

Debby Fernandez

Support letter for 3141-3155 El Camino Real PLN2020-14674

Dear Ms. Fernandez,

Please share this letter with material presented at the Planning Commission meeting scheduled for June 15, 2022.

Usually I actively challenge proposals along the ECR because they are too tall, too dense and not respectful to neighborhoods. There are some residents in Santa Clara that do not want any more housing development in our city. In my opinion that is not practical when so many people need housing and the State is pushing all cities to increase housing opportunities.

Although we need to add housing, we need to do it respectfully. This project is adding housing, including below 15% market rate opportunities and I think it is even more exciting that this project has for sale housing. I believe we have been building more rental units than for sale housing. I think we do need additional for sale housing, to give people in the City of Santa Clara the option to either rent or purchase.

In addition, the developer that wants to build this project has had his plans in for quite a while. I believe that it conforms to the existing General Plan. He has engaged, listened to and has the support of the neighbors. This developer has waited long enough. Let him proceed.

It is a sane plan with height and density considerations that respects neighbors. I can only hope that future developers along the ECR and more importantly Planning Commissioners and City Council members also show the same respect for current and future residents.

Regards,
Linda Zazzara

Sent from my iPad

Received 6/9/22
PN2020-14674

Dear Ms. Fernandez,

My family lives at 2139 Stebbins Ave. Santa Clara, 95051. We heard about the proposed development at the corner of Calabazas Boulevard and El Camino Real. I'm writing this letter to support the proposed project.

As a neighbor and resident of the City of Santa Clara, we urge the Planning Commission and City Council to approve the project and bring much needed For-Sale housing to the city and our neighborhood.

The proposed 2 and 3 story For-Sale buildings are sensitive to the neighborhood, complies with the existing General Plan and will provide a high quality architectural transition to the single family homes surrounding this critical corner. Not everyone wants to live in 4, 5 and potentially 6 story rental apartment buildings and this project provides a thoughtful alternative.

We support this project and hope it is approved as soon as possible.

Thank you,

ying zhou

Debby Fernandez

From: Annie Yuan [REDACTED]
Sent: Thursday, June 09, 2022 12:06 PM
To: Debby Fernandez
Subject: Santa Clara Residents Opinion on Bowers Plaza Project

Dear Ms. Fernandez,

We're residents of the City of Santa Clara, personally we support the proposed development at the corner of Calabazas Boulevard and El Camino Real. But we'd like to urge the Planning Commission and City Council to approve the project and bring much needed For-Sale housing to the city and our neighborhood.

The proposed 2 and 3 story For-Sale buildings are sensitive to the neighborhood, comply with the existing General Plan and will provide a high quality architectural transition to the single family homes surrounding this critical corner. Not everyone wants to live in 4, 5 and potentially 6 story rental apartment buildings and this project provides a thoughtful alternative. Hope this would be heard and considered!

Thanks!
Lipin & Xinyu

Debby Fernandez

From: Tam, Steven K. [REDACTED]
Sent: Thursday, June 09, 2022 10:12 AM
To: Debby Fernandez
Subject: Letter of Support PLN2020-1467 - 3141-3155 EL Camino Real Development Proposal

Dear Ms. Fernandez,

I support the proposed development at the corner of Calabazas Boulevard and El Camino Real. I have lived in the City of Santa Clara for over 8 years and support the development of appropriate for-sale/ownership housing in the City. The proposed 2 and 3 story buildings fit the adjacent neighborhood and the high quality architectural on a prominent corner will only enhance the area. This project strikes the right balance between providing 60 units of much needed housing while respecting the existing neighborhood, and we urge Planning Commission and City Council to approve the project.

Sincerely,

Steven K. Tam
Counsel
Lowenstein Sandler LLP

T: [REDACTED]
M: [REDACTED]



This message contains confidential information, intended only for the person(s) named above, which may also be privileged. Any use, distribution, copying or disclosure by any other person is strictly prohibited. In such case, you should delete this message and kindly notify the sender via reply e-mail. Please advise immediately if you or your employer does not consent to Internet e-mail for messages of this kind.

Debby Fernandez

From: Kent Hillhouse/USA [REDACTED]
Sent: Wednesday, June 08, 2022 3:41 PM
To: Debby Fernandez
Subject: 3141-3155 EL Camino Real Development Proposal

Debby Fernandez
DFernandez@santaclaraca.gov

Subject: Letter of Support PLN2020-1467 - 3141-3155 EL Camino Real Development Proposal

Dear Ms. Fernandez,

We support the proposed development at the corner of Calabazas Boulevard and El Camino Real. We have lived in the City of Santa Clara for over seven years and support the development of appropriate for-sale/ownership housing in the City. The proposed 2 and 3 story buildings fit the adjacent neighborhood and the high quality architectural on a prominent corner will only enhance the area. This project strikes the right balance between providing 60 units of much needed housing while respecting the existing neighborhood, and we urge Planning Commission and City Council to approve the project.

Sincerely,

Kent Hillhouse
740 Hilmar Street
Santa Clara, CA 95050

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Please see our website to view our privacy notice / statement.

Debby Fernandez

From: Patrick Downey [REDACTED]
Sent: Tuesday, May 31, 2022 12:32 PM
To: Debby Fernandez
Subject: Letter of Support PLN2020-14674 3141-3155 El Camino Real

Dear Ms. Fernandez,

We support the proposed development at the corner of Calabazas Boulevard and El Camino Real. My family has lived in the City of Santa Clara for over 30 years and as such, we urge the Planning Commission and City Council to approve the project and bring much needed for-sale ownership housing to the City. The proposed 2 and 3 story buildings are sensitive to the neighborhood, comply with the existing General Plan and will provide a high quality architectural transition to the single family homes surrounding this critical corner. Not everyone wants to live in 4, 5 and potentially 6 story rental apartment buildings and this project provides a thoughtful alternative.

I have many friends who live in these new developments of only 2-3 stories and they know their neighbors and are welcomed by the surrounding community. On the other hand, the friends I know who are in the larger buildings seldom know their neighbors. They often rent from the leasing company and have no pride for the community since they do not own their units. They have high turnover and rarely are able to connect with the people in their building because of the sheer volume. Please decide on the right path forward for the neighbors and support PLN2020-14674 3141-3155 El Camino Real

We support this project and hope it is approved as soon as possible.

Thank you,
Patrick Downey

May 13, 2022

Debby Fernandez
Associate Planner
City of Santa Clara Planning Department
1500 Warburton Avenue
Santa Clara, CA 95050

Re: PLN2020-14674
Request for Approval of Project at 3155 El Camino Real

Dear Ms. Fernandez,

As a born and raised Santa Clara resident for over three decades, I am in strong support of the proposed development project at the above referenced address on El Camino Real and Calabazas Blvd. Having grown up around this neighborhood, frequenting the businesses and restaurants, I can say that the project would be a welcome improvement to this part of the El Camino corridor. There is an urgent need for housing, but a balance is needed to avoid over densification. The buildings proposed meet that balance by maintaining a 2 to 3 story height and a pleasing architectural style. They also provide a great option for affordable for-sale units which would open up more opportunities for home-ownership, which has become increasingly difficult in the City of Santa Clara and surrounding areas.

I strongly support this project and urge the Planning Commission to approve as soon as possible.

Thank you,


Brett Zipse

March 4, 2022

City of Santa Clara Community Development
Planning Division
1506 Warburton Ave.
Santa Clara, Ca 95050

ATTN: Debby Fernandez, Associate Planner

RE: Mitigated Negative Declaration
3155 El Camino Real, 3141-3155 El Camino
Real @ El Camino Real and Calabazas
Blvd.

As a citizen of Santa Clara since 1959,
I have seen so many changes in our
beautiful city. Some good, some bad,
some for only the money to add to
City coffers.

It is not necessary to add 60
units plus eight residential buildings.
Santa Clara City has taken up almost
every corner to build large units of
Townhouses, apartments and flats plus
the parking areas, offices, retail stores
and restaurants. The one by Lawrence
Expressway and Monroe is so large, its

impossible to count the units,
Same for that ugly project at
El Camino and Lawrence Expressway
across from Luckys. Every where
I drive within our city, there
are the HUGE building projects.

I say enough is enough! We
have enough units as far as I'm
concerned.

The project proposed for the
corner of El Camino and Calabazas
will only add more traffic to
our neighborhood. We already have
more traffic due to all the units
built by Briarwood School, Little League
Park and City park. We also get
traffic from all those hundreds of units
at Monroe and Lawrence Exp. There
is also a substantial project at the
Moonlite Center at Kiehl/Bowers,
El Camino.

What about our schools? Will
they be overcrowded (as we closed so many
schools years ago)?

Please, - planning dept and city
Council - STOP this building? Find land

that could really use the
development (Hwy 237, by McCarthy
ranch.) Go somewhere else, Leave
El Camino and bordering
neighborhoods alone!

Sincerely,

Patricia Naki
3198 Merced Court (off Calabazas)
Santa Clara

December 16, 2020



Planning Dept.
City of Santa Clara
1500 Warburton
Santa Clara, Ca 95058

ATTN: Debbie Fernandez
Re: Development @ 3141/3155 El Camero
Bowers Plaza

I and my husband are opposed to this development and any other development within two miles of our home. Enough is enough! There are already so many completed and new projects around our neighborhood. Traffic is terrible. Parking is obscene. Curb parking is bumper to bumper. Developers include parking for what? - one car per unit, when most units have two to three cars or more. Many of these units are for one family, but many become two family units. Thus, more cars, more traffic.

And, for some reason the proposed development has driven a mass invasion of homeless people; in, alongside and at Bowers Plaza. It's a mess.

Debby Fernandez

From: Debby Fernandez
Sent: Tuesday, December 08, 2020 4:53 PM
To: DONALD BEST
Subject: RE: Proposed Development at 3141 - 3155 El Camino Real

Hello Donald, thank you for your comments below and for calling my attention to the incorrect email provided in the flyer. Your comments will be saved to the project file. I will alert the applicant of the error so that all future mailings provide the correct email address. This particular mailing was provided by the applicant.

Regards,
Debby

From: DONALD BEST [REDACTED]
Sent: Friday, December 04, 2020 4:31 PM
To: Debby Fernandez <DFernandez@santaclaraca.gov>
Subject: Proposed Development at 3141 - 3155 El Camino Real

Debby,

I am strongly opposed to this project. The city is letting these developers run haywire all for the all mighty dollar. El Camino is already congested enough without adding more problems to the area. When this was all started it was not supposed to take away retail space without having a place for it. We are having to drive farther and farther to shop. I understand progress I work in construction but this is getting ridiculous. Why not tear down the town hall and the fountain (that doesn't work most of the time) and put it there.

Don Best

[REDACTED]
Sent from my iPhone

Debby Fernandez

From: Zhefan Wang [REDACTED]
Sent: Thursday, October 07, 2021 1:58 AM
To: Debby Fernandez
Subject: 3077-3157 El Camino Real Resident Input

Hi Mr Debby Fenandez,

Hope you're doing well. I'm a 3-year resident of Tuscany Apartments (3229 El Camino Real), across the street from the planned development at 3077-3157 El Camino Real. Not sure if you're the best person to reach out to, I wanted to share some concerns about how this project affects the neighborhood's walkability, please let me know if there's someone better to reach out to.

It's my understanding that the planned development will lead to the demolition of the existing Taj Mahal Imports grocery at 3109 El Camino Real. I wanted to inquire about whether any upcoming planned developments in the area include a replacement Asian grocery, and if not, express my concern at how Taj Mahal's demolition eliminates the walkability of the neighborhood.

I personally chose Tuscany apartments in part because of its closeness to nearby groceries, allowing me to buy cooking ingredients daily without use of a car or public transit. There are no other groceries within <15 minute walk of Tuscany apartments with fresh produce. Lucky and Han Kook are over 15 minutes walk to the west and require crossing the pedestrian-unfriendly Lawrence Expressway underpass, while Target is almost 30 minutes walk to the east. Target and Lucky, furthermore, are car-oriented and require passing uncomfortably large parking lots. It is extremely rare to have a small "neighborhood grocery" feeling in the south bay, and I can say very confidently that such an amenity has attracted me and other professionals to live in the neighborhood.

I'll also add, a large portion of Tuscany residents are of international origin and need an Indian grocery for their daily shopping needs, and the next closest Indian grocery is even further, 25 minutes, to the West.

I totally support increased high-density development along the El Camino corridor, but I hope this will not be at the expense of the groceries and restaurants that enable this neighborhood to be walkable. I am concerned that future housing development without walkable amenities will be counterproductive to both residents' and city's goals for the neighborhood.

Thank you for reading, I really care about this neighborhood and am eager for opportunities like this to contribute to its development.

Zhefan Wang

Letter To The Planning Commission

(From Bowers Plaza Tenants. Address: 3075--3157 El Camino Real
Santa Clara, CA 95051)

September 17, 2021

Dear Planning Commission of city of Santa Clara

Please accept my humble respects. I, Miten Patel, am writing this letter on behalf of all the "Bowers Plaza Tenants." I am the manager and family member of Pani Puri Company located at above mentioned address.

First, we are writing to you as you are the first body of city committee that we were directed to by the project planner of the above address mentioned . We are requesting to delay the housing development project that is planned at the above mentioned address up to the year of 2023, along with some transitional support. Transitional support is needed so the businesses that operate in Santa Clara are not lost. The livelihood of the employees that work at these establishment are not tarnished. The City of Santa Clara must adopt or develop a transitional agenda to help businesses, so there won't be any grudge towards the city and city members. In such way work can flow flawlessly, in other words, all of the parties involved benefits! Or option two: If the council members votes to approve this project and if the tenants have to vacate the building, then at the least, we ask for is 12 months minimum of stay after the housing development project is approved. First reason for this is, there are five restaurants at this plaza, and it would take almost one year to build another facility for each of us, as the planning and permitting process is lengthy and time consuming by the city of Santa Clara. And it would take even more resources to redirect our current customer base to a new location. This request will give us time to relocate. Second, we cannot start the process of building another facility for ourselves because if the city does not approve the project then we would be either, stuck with two facility or may lose one of the investment unnecessarily. This is on top of the hardship that we are continually

facing during these difficulties due to the pandemic, hyper inflation, and labor shortages. We all can understand and argue that this is a reasonable plea.

Secondly, we are the families and citizens of Santa Clara. Some of us have been citizens of Santa Clara for over 30 years. And some of the businesses at Bowers Plaza have been in commission for over 25 years. Furthermore, we engage in other welfare activities such as: Books distribution, charity for autistic and disadvantaged children's, to name a few. We cannot just give up everything because a developer wants to build a project and make money at the cost of others' ruination or lively hood. Nor has the developers performed a single sacrifice for the city or the community. We need a justifiable process. What good is prosperity if the citizens are not happy? All of the parties should benefit!

Moreover, the tenants of Bowers Plaza have been contributing to the city tax revenue through their hard work and money which benefits the city and the community. It is the tenants of this property that have been maintaining the property through their hard earned money and also, engaging innumerable other businesses on maintaining this property. So, technically the tenants are the upholders of this property and partially this community, even though there is a separate owner. The tenants have invested large sum of capital through their hard earned services, so we should not lose that for the benefits of others.

Lastly, we ask that you take this matter very seriously, just like any other grave situation that you may have faced in your life time, but were denied of your sincere plea or request. All executives are great leaders and they have a great responsibility to uphold. The decision you make will not only affect the tenants but the whole community as well as your own humble self. This is the time for you to justify what should be the correct decision.

Sincerely Yours

Miten Patel [REDACTED]

Email - [REDACTED]

CONDITIONS OF REZONE APPROVAL

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

GENERAL

- A. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- B. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- BD1. Informational: Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- BD2. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- BD3. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page: <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- BD4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.

- During construction retaining a single company to install all fire rated penetrations is highly recommended.
 - The grade level lobbies shall be min. 1 hour rated all sides and above.
 - All stair shafts shall be min. 1 hour rated.
 - All elevator shafts shall be min. 1 hour rated.
 - All trash chute shafts shall be min. 1 hour rated.
 - Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
 - Any trash rooms shall be min. 1 hour rated all sides and above.
- BD5. Informational: The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.
- BD6. Informational: Temporary Certificates of Occupancy will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

HOUSING & COMMUNITY SERVICES DIVISION

- H1. In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the affordable housing requirements for the proposed 60 units of for-sale residential development. The Applicant shall provide not less than 9 units or fifteen percent (15%) of the units to affordable households made available at affordable sales prices to extremely low, very low, low and/or moderate-income households so long as the distribution of affordable units averages to a maximum of 100 percent Area Median Income. The Affordable Unit shall have prices set in accordance with the City's Below Market Purchase (BMP) Program Policies and Procedures Manual (subject to updates and changes).
- H2. Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the Affordable Sales Price, identify the actual unit to be sold as the Affordable Unit, and apply all terms and covenants guaranteeing the prescribed affordability, to the satisfaction of the Director of Community Development. There is a fee for the AHA preparation in the amount of \$3,771 which will be due prior to execution of the AHA.

PLANNING DIVISION

- P1. Submit plans for final architectural review to the Planning Division for Architectural Committee review and approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting, signage, and stormwater management plan.
- P2. The Developer must provide third party verification of the stormwater management plan for conformance with C3 requirements as part of the architectural submittal.
- P3. Submit complete landscape plans, including irrigation plan and composite utility and tree layout overlay plan, for Planning Department review and approval with installation of required landscaping prior to the issuance of occupancy and or final building permits. Landscape plan to include type and size of proposed trees. Type and size of tree replacement on project site shall be at the direction of the City Arborist and require Planning review and approval. Coordinate with the Street Department and City Arborist for the type, location, installation and maintenance of street trees fronting the project site along the public right-of-way. Installation of root barriers and super-soil may be required with the installation of trees where electric, water, and sewer utilities are in proximity.
- P4. The overlay plan is to show the location of all utilities, storm drains, catch basins, sewer mains, joint trenches, building footprints, driveways, walkways, and trees. Trees are required to be 10 feet from public water, storm and sewer facilities unless a City approved Tree Root Barrier (TRB) is used. If a

- City approved TRB is used the TRB must be a minimum of five feet from the public water, storm and sewer facility with the tree behind the TRB and specified on the plan. Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Planning and Inspection.
- P5. Submit as-built on-site plans prepared by a registered civil engineer showing all utilities serving the subject property.
- P6. Obtain required permits and inspections from the Building Official and comply with the conditions thereof. As this project involves land area of one acre or more, the Developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board prior to issuance of any building permit for grading, or construction; a copy of the NOI shall be sent to the City Building Inspection Division. A stormwater pollution prevention plan is also required with the NOI.
- P7. The Developer shall submit a truck hauling route for demolition, soil, debris and material removal, and construction to the Director of Community Development for review and approval prior to the issuance of demolition and building permits.
- P8. Minor changes to individual homes, landscaping, or other minor plan elements would be subject to Planning Division review and approval of a Minor Adjustment to an approved project, or through Architectural Review, subject to the discretion of the Director of Community Development.
- P9. Project site landscaping shall be maintained in good condition throughout the life of the Project and no trees shall be removed without City review and approval. Trees permitted by the City for removal shall be replaced at a 2:1 ratio with 24-inch box specimen tree, or equal alternative as approved by the Director of Community Development.
- P10. Developer shall submit to the City Covenants, Conditions and Restrictions (CC&R's) or equivalent instrument assigning and governing perpetual maintenance of the common lot/private street in good condition for the life of the Project, prior to issuance of building permits. Said document shall be recorded along with the Title for each property with the Santa Clara County Recorder's Office.
- P11. The Covenant, Conditions and Restrictions for this project shall include language that precludes exclusive storage use of the garage and obstruction of parking spaces in the garage by storage, shall and requires property owners to maintain garages for parking purposes.
- P12. Garages shall be accessible for parking and labeled as such on the building permit plans.
- P13. Overhead garage storage shall be offered as a design option in each of the units.
- P14. Provide automatic garage door openers and roll-up garage doors.
- P15. Each garage shall be equipped with electrical vehicle charging stations.
- P16. Signage shall be provided in the guest parking area closest to the live/work units reserving parking for business patrons during business hours.
- P17. HVAC units shall be screened from view along the public right-of-way.
- P18. Individual garbage and recycling containers shall be kept out of sight from the public right of way and private driveway until collection day.
- P19. Applicant shall comply with all the construction and on-going mitigation measures described in the adopted Mitigation Monitoring and Reporting Program to the satisfaction of the Director of Community Development. The Mitigation and Monitoring and Reporting Program shall be included in all construction plan sets.
- P20. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved roads) shall be watered two times per day, except on days when rain occurs.
- P21. All visible mud or dirt track-out onto the adjacent public right-of-way shall be removed using wet power vacuum street sweeper at least once per day. The use of dry power sweeping shall be prohibited.
- P22. Additional dust and noise abatement measures may be on the project site at the discretion of the Community Development Director to provide additional sound attenuation and fugitive dust abatement as described in the project Mitigation Monitoring and Reporting Program. This may include additional noise monitoring and installation of a temporary noise control blanket barrier, if necessary, along building facades facing construction sites if conflicts occurred which are irresolvable by proper scheduling.

FIRE

- F1. Fire apparatus access roadways shall be provided so that all portion of an exterior wall of the first story of the buildings are located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building. Ariel access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building, or the project team will be required to mitigate the lack of compliance. If these conditions can not be met the project team will be required to complete an Alternative materials, design and methods of construction and equipment application. The required mitigation measure will be determined by the Fire Department.
- F2. At time of Building Permit application provide documentation to show the minimum required fire-flow for the building based on the construction type and square footage in accordance with the California Fire Code, Appendix B, Table B105.1 can be met. A 75% reduction in fire-flow is allowed with the installation of a automatic fire sprinkler system designed in accordance with California Fire Code § B105.2. The resulting fire-flow shall not be less than 1,500 gallons per minute (or 1,000 gallons per minute for NFPA 13 fire sprinkler systems) minute for the prescribed duration.
- F3. At time of Building Permit application, the required number, location and distribution of fire hydrants for the building based on the California Fire Code, Appendix C, Table C102.1 shall be incorporated into the construction documents. The required number of fire hydrants shall be based on the fire-flow before the reduction.
- F4. At time of Building Permit application, construction documents for proposed fire apparatus access, location of fire lanes and construction documents and hydraulic calculations for fire hydrant systems shall be submitted to the Fire Prevention and Hazardous Materials Division.
- F5. Prior to the start of construction, fire protection water supplies shall be installed and made serviceable prior to the time of construction or prior to combustible materials being moved onsite, unless an approved alternative method of protection is approved by the Fire Prevention and Hazardous Materials Division.
- F6. At time of Building Permit application, construction documents for the fire department apparatus access roads are required submitted to the Fire Prevention and Hazardous Materials Division. Access roadways shall be provided to comply with all of the following requirements:
- a. Fire apparatus access roadways shall be provided for every facility, building, or portion of a building hereafter constructed or moved when any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building.
 - b. Fire apparatus access roadways shall have a “minimum” width of a fire apparatus access roadway for Engines is 20 feet. The “minimum” width of roadways for aerial apparatus is 26 feet. Ariel access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building and the sides of the building requiring access shall be approved by the Fire Department. Trees, overhead wiring, etc. shall not conflict with any means of fire department access.
 - c. Fire access roadways shall have a “minimum” unobstructed vertical clearance of not less than 13 feet 6 inches. Aerial apparatus access roads may require additional vertical clearance.
 - d. Fire access roadways shall All fire department access roadways shall be an all-weather surface designed to support the imposed load of fire apparatus with a gross vehicle weight of 75,000-pounds.
 - e. Fire apparatus access roadways shall have a “minimum” inside turning radius for fire department access roadways shall be 36 feet or greater.
 - f. Dead-end fire apparatus access roadways in excess of 150 feet in length shall be provided with approved provisions for turning around.
 - g. Traffic calming devices are not permitted on any designated fire access roadway, unless approved by the Fire Prevention & Hazardous Materials Division.
 - h. All Fire Department Access roadways shall be recorded as an Emergency Vehicle Access Easement (EVAE) on the final map. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.

- i. All gates installed on designated fire department access roads are required to electrically automatic powered gates. Gates shall be provided with an emergency battery power supply, or shall be a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. To control the automatic gates a detector/strobe switch shall be installed to allow emergency vehicles (e.g., fire, police, ems) to flash a vehicle mounted strobe light towards the detector/strobe switch, which in turn overrides the system and opens the gate. The gates shall be equipped with a TOMAR Strobe Switch or 3M OPTICOM Detector to facilitate this override. Said device shall be mounted at a minimum height of seven feet (7') above the adjacent road surface and is subject to an acceptance test witnessed by the Fire Department prior to final approval of the project.
- F7. Provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F8. Prior to issuance of a Building Demo Permit, Steps 1 through 3 summarized below must be addressed during the planning phase of the project. Submit Phase II environmental documents:
- a. **Step 1** – Hazardous Materials Closure (HMCP): This is a permit is issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer’s due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.
 - b. **Step 2** – Site Mitigation: Site mitigation is the cleanup or management of chemical contaminants in soil, soil vapor or groundwater. The type and extent of contamination on site(s) governs which of the regulatory agencies noted below will supervise the cleanup.
 - Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division (CUPA)
 - Department of Toxic Substances Control (DTSC)
 - State Water Resources Control Board
 - Santa Clara County, Department of Environmental Health.
 - c. **Step 3** – Community Development, Building Division Demolition Application: For the majority of projects within the City of Santa Clara, Steps 1 and/or 2 described above need to be completed prior to proceeding to demolition application in order to avoid permit approval delays. The purpose of a demolition permit is to ensure that the parcel is clear of debris and other health hazard material (lead, asbestos, etc.) and that the utility connections have been plugged and sealed.”

If the project intends to contract with a State or County Agency for onsite/offsite environmental remediation activities the following documentation shall be provided to the Fire Prevention & Hazardous Materials Division prior to issuance of a Building Permit for demolition or grading:

- Oversight agency case number; and
- Oversight mangers contact name, phone number.

PARKS & RECREATION

- PR1. This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 144 residents (2.4 persons/household x 60 units). Based on the Quimby Act standard of 3.0 acres/1000 residents | MFA standard of 2.6 acres/1,000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 0.432-acres. The equivalent fee due in lieu of parkland dedication is therefore \$2,668,080. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City.
- PR2. Application for Credit. It is unlikely the Project could achieve the requirements needed to qualify for credit; therefore, the Project would not be eligible for 50% credit against any fees due in lieu of parkland dedication.

- PR3. Dwelling Unit Tax. A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 28 two- bedroom units and 32 three-bedroom units for a total DUT of \$1,360.
- PR4. Calculations may change if the number of units change, if any areas do not conform to the Ordinance and City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.

PUBLIC WORKS

ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of parcel map and/or issuance of building permits.
- E4. All work within the State right-of-way shall require a Caltrans encroachment permit.
- E5. All work within the Santa Clara Valley Water District right-of-way shall require a Santa Clara Valley Water District encroachment permit.
- E6. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E7. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E8. Applicant will permanently block vehicular access to the bridge prior to issuance of building permit (not including demolition permit). Within the single Encroachment Permit for the project, Applicant shall reconstruct the street median, fence, and curb and gutter to match the existing conditions on either side of the bridge. Prior to occupancy, Applicant will have completed the removal of the bridge and closed out all permits or Applicant will post a bond with the City for \$350,000 to be held until bridge removal and permit closeout is completed.
- E9. The sanitary sewer (SS) discharge information (i.e., building use, square footage, point of connection to the public system, and 24-hour average and peak SS flow graphs for the peak day, showing average daily and peak daily SS flows) submitted by the developer was analyzed and determined that there should be enough SS conveyance capacity to accommodate the proposed development without adding it to the City's Sanitary Sewer Hydraulic Model (SSHM).
- E10. Sanitary sewer laterals shall be minimum 6" diameter with 2% slope from property line cleanout to City sanitary sewer main. Connections shall be minimum 5' from existing manholes.
- E11. Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
- E12. Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E13. Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding

areas. System improvements, if needed, will be at developer's expense. Show storm drain overland release arrows include limits of ponding.

- E14. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E15. Dedicate, as required, on-site easements for new and existing utilities and new sidewalks by Subdivision Map or approved instrument at time of development. Developer shall pay applicable easement preparation/processing fee.
- E16. Dedicate a sidewalk easement for the sidewalk and driveway portions within private property and pay the easement preparation fee. Sidewalk easement shall be 1' behind proposed back-of-walk if there is landscaping behind sidewalk and/or at the proposed back-of-walk with a cold joint if there is hardscape concrete behind sidewalk.
- E17. Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction
- E18. After City Council approval of the Tentative Map, submit 10 copies of the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.
- E19. Half width of Calabazas Boulevard along the property frontage shall be treated with 2" grind and overlay.
- E20. El Camino Real frontage from lip of gutter to the southern edge of the number 3 lane shall be treated with a 2" grind and overlay.
- E21. Provide 2 Class II bicycle parking spaces on-site. Class I bicycle parking is not required since garages are provided.
- E22. Improvements near proposed driveways must be in accordance with City Standard Detail TR-9 for visibility clearance/triangle of safety.
- E23. Construct minimum 5-foot wide sidewalk along the project frontage.
- E24. Construct driveways in accordance with City Standard Detail ST-8.
- E25. Remove and reconstruct curb ramps and porkchop island at northeast corner of El Camino Real and Calabazas Boulevard Northbound in accordance with Caltrans Standard Plan A88A, A88B and encroachment permit requirements.
- E26. Along project frontage of El Camino Real, install R28S(CA) signs with double arrow to implement parking removal approved by City Council via Resolution 22-9047.

STREETS DIVISION

Landscape

- L1. Include City of Santa Clara Tree Preservation/City Arborist specifications on all improvement plans.
- L2. No cutting of any part of private trees, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).
- L3. Identified existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City of Santa Clara prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.

Solid Waste

- SW1. None submitted.

Stormwater

- ST1. Stormwater treatment facilities shall be designed and installed to achieve the site design measures throughout their life in accordance to the SCVURPPP C.3 Stormwater Handbook. Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate).

- ST2. The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter shall be submitted with the Plan. Include C.3 Stormwater Treatment Facilities Construction General Notes on improvement plans.
- ST3. For project that disturbs a land area of one acre or more, the applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board for coverage under the State Construction General Permit (Order No. 2009-0009-DWQ) prior to issuance of any building permit for grading or construction. A copy of NOI with WDID number shall be provided to the City Building Inspection Division, along with a stormwater pollution prevention plan (SWPPP).
- ST4. Active projects with NOI will be inspected by the City once per month during the wet season (October – April). The applicant shall prepare an Erosion and Sediment Control Plan.
- ST5. The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans.
- ST6. During the construction phase, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The City reserves the right to review the 3rd party inspection reports on the C.3 stormwater facilities installation. As-Built drawing shall be submitted to the Public Works Department. Building occupancy will not be issued until all stormwater treatment measures have been adequately inspected and O&M Agreement is executed. For more information, contact Rinta Perkins at (408) 615-30081 or RPerkins@SantaClaraCA.gov.
- ST7. Media Filter vaults shall be inspected by a third-party reviewer and/or manufacturer representative for conformance with the details and specifications.
- ST8. Soils for bioretention facilities must meet the specifications accepted by the Water Board. If percolation rate test of the bioretention soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix is required.
- ST9. The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or Street@SantaClaraCA.gov for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>. For permeable pavement and underground media filter, inspection of these facilities is to be done annually.
- ST10. Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST11. Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST12. Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST13. Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST14. The use of architectural copper is discouraged. If such material is used, all wastewater generated by the installation, cleaning, treating, or washing of the surface of copper architectural features, including copper roofs, shall not be discharged to the City's storm drain system.

SILICON VALLEY POWER

- SVP1. Existing streetlights on El Camino are decorative and should remain protected in place. If any relocation of decorative streetlights is required they shall be replaced with the same style/color by SVP with actual costs paid by the developer.
- SVP2. Existing Electrical Pedestal (for street lighting) on concrete base is to be relocated. If placed within the landscape stripe will require bollards.

- SVP3. Trees along north side of the site must maintain 10' clearance to electric lines when fully mature. Per planting plan "OLE SH with a mature height of 20 feet" will be used.
- SVP4. Existing Transformer (T20048) on the site will need to be relocated prior to its removal, since it feeds the street lighting.
- SVP5. New site transformer will be above grade. No below grade equipment is used within Santa Clara. Bollards will be required.
- SVP6. Clearances: (To be Maintained throughout detail design)
- a. EQUIPMENT
 - i. Ten (10) foot minimum clearance is required in front of equipment access doors. (UG1000 sheet 11)
 - ii. Five (5) foot minimum clearance from pad is required on sides without equipment access doors. (UG1000 sheet 11)
 - iii. Eighteen (18) foot minimum width, shall be provided and maintained on one side of the equipment pad to allow an electric dept. line truck to drive up next to the pad for installation and maintenance of equipment. (UG1000 Sheet 11).
 - iv. Barrier pipes are required only on sides accessible to vehicles. (UG1000 Sheet 12).
 1. Thirty (30) inches from side of equipment sides.
 2. Forty-Eight (48) inches in front of access doors.
 - a. Barrier Pipes in front of access doors shall be removable.
 - b. CONDUITS
 - i. Five (5) foot minimum longitudinal clearance between new conduits or piping systems (open trench installation) and any existing or proposed SVP conduit system. This is for longitudinal. (UG1250 sheet 5)
 - ii. Twelve (12) inch minimum vertical clearance between new conduit/pipes installed perpendicular to existing SVP conduits for open trench installations. (UG1000 sheet 36, UG1250 Sheet 6)
 - iii. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
 - iv. Three (3) foot minimum clearance is required between signposts, barrier pipes or bollards, fence posts, and other similar structures. (UG1250 sheet 10).
 - v. Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities. (UG1000 sheet 8)
 - vi. Five (5) foot minimum clearance from walls, footings, retaining wall, landscape planter, tree root barrier or other subsurface wall or structure. (UG1250 sheet 9).
 - vii. Five (5) foot minimum clearance is required between fire hydrant thrust block. The thrust block extends 5' foot on either side of the fire hydrant in line with the radial water pipe connected to the hydrant.
 - c. VAULTS/MANHOLES
 - i. Ten (10) foot minimum clearance is required between adjacent Vaults or Manholes.
 - ii. Five (5) foot minimum clearance is required between adjacent conduits.
 - iii. Minimum 36" from face of curb, or bollards required.
 - d. Poles (Electrolier, Guy Stub poles, service clearance poles, self-supporting steel poles and lighting poles.)
 - i. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
 - e. Guy Anchors
 - i. Five (5) foot minimum clearance is required between center of anchor line and any excavation area. (UG1250 sheet 15).
 - f. Trees
 - i. OH 1230 for Overhead Lines
 - ii. SD 1235 for Tree Planting Requirements near UG Electric Facilities
- SVP7. Reference listed SVP standards for clearances.
- a. Installation of Underground Substructures by Developers

- b. UG1250 – Encroachment Permit Clearances from Electric Facilities
 - c. UG0339 – Remote Switch Pad
 - d. OH1230 – Tree Clearances From Overhead Electric Lines
 - e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- SVP8. Prior to submitting any project for Electric Department review, applicant shall provide a site plan showing all existing utilities, structures, easements and trees. Applicant shall also include a “Load Survey” form showing all current and proposed electric loads. A new customer with a load of 500KVA or greater or 100 residential units will have to fill out a “Service Investigation Form” and submit this form to the Electric Planning Department for review by the Electric Planning Engineer. Silicon Valley Power will do exact design of required substructures after plans are submitted for building permits.
- SVP9. The Developer shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.
- SVP10. Electric service shall be underground. See Electric Department Rules and Regulations for available services.
- SVP11. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- SVP12. Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP13. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- SVP14. If the “legal description” (not “marketing description”) of the units is condominium or apartment, then all electric meters and services disconnects shall be grouped at one location, outside of the building or in a utility room accessible directly from the outside. If they are townhomes or single-family residences, then each unit shall have it’s own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- SVP15. If transformer pads are required, City Electric Department requires an area of 17’ x 16’-2”, which is clear of all utilities, trees, walls, etc. This area includes a 5’-0” area away from the actual transformer pad. This area in front of the transformer may be reduced from a 8’-0” apron to a 3’-0”, providing the apron is back of a 5’-0” min. wide sidewalk. Transformer pad must be a minimum of 10’-0 from all doors and windows, and shall be located next to a level, drivable area that will support a large crane or truck.
- SVP16. All trees, existing and proposed, shall be a minimum of five (5) feet from any existing or proposed Electric Department facilities. Existing trees in conflict will have to be removed. Trees shall not be planted in PUE’s or electric easements.
- SVP17. Any relocation of existing electric facilities shall be at Developer’s expense.
- SVP18. Electric Load Increase fees may be applicable.
- SVP19. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (Santa Clara City Code chapter 17.15.210 (2)).
- SVP20. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or more or any series of non-residential private improvements made within a three-year period valued at \$200,000 or more (Santa Clara City Code Title 17 Appendix A (Table III)).

- SVP21. Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be “Open-Transition-Mode”, unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.
- SVP22. Encroachment permits will not be signed off by Silicon Valley Power until Developers Work substructure construction drawing has been completed.
- SVP23. All SVP-owned equipment is to be covered by an Underground Electric Easement (U.G.E.E.) This is different than a PUE. Only publically-owned dry utilities can be in a UGEE. Other facilities can be in a joint trench configuration with SVP, separated by a 1’ clearance, providing that they are constructed simultaneously with SVP facilities. See UG 1000 for details.
- SVP24. Proper clearance must be maintained from all SVP facilities, including a 5’ clearance from the outer wall of all conduits. This is in addition to any UGEE specified for the facilities. Contact SVP before making assumptions on any clearances for electric facilities.
- SVP25. Transformers and Switch devices can only be located outdoors. These devices MAY be placed 5’ from an outside building wall, provided that the building wall in that area meets specific requirements. (See UG 1000 document for specifics) EXAMPLE: If there are any doors, windows, vents, overhangs or other wall openings within 5’ of the transformer, on either side, then the transformer MUST be 10’ or more away from the building. These clearances are to be assumed to be clear horizontally 5’ in either direction and vertically to the sky.
- SVP26. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel by separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developer should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. *Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.*
- SVP27. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.
- SVP28. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.
- SVP29. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”), and cannot be supported on parking garage ceilings or placed on top of structures.
- SVP30. Applicant is advised to contact SVP (CSC Electric Department) to obtain specific design and utility requirements that are required for building permit review/approval submittal. Please provide a site plan to Leonard Buttitta at 408-615-6620 to facilitate plan review.

WATER & SEWER

- W1. Recycled Water Ready: All onsite plumbing for non-domestic water uses (e.g. irrigation) shall be designed for recycled water use and shall comply with all Recycled Water regulations.
- W2. Recycled Water Design: Each Recycled Water land use (irrigation, dual-plumbing, cooling system, industrial processes, etc.) shall have a separate metered service connection to the main. Applicant shall verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.
- W3. Potable Water Main: Pursuant to the findings of the Development Impact Analysis (DIA), the applicant shall upgrade the existing 8" and 10" Cast Iron water main along Calabazas and El Camino Real with a new 12" DIP pipe water main. The water main upgrade shall extend to the limits determined by the DIA, or, at a minimum, the entire length of the property's frontage.
- W4. Encroachment Permit: Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the

latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.

- W5. Utility Design Plans: Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W6. Utility Separations: Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W7. Separate Services: Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W8. City Standard Meters and Backflows: All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W9. Existing Services: The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W10. On-Site Storm Drain Treatment: Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W11. Water Usage: Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W12. Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director

of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.

- W13. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W14. Underground Fire Permit: Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.
- W15. Record Drawings: Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W16. Water Shortage Response Actions: Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

CONDITIONS OF TENTATIVE TRACT MAP APPROVAL

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

GENERAL

- A. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- B. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- BD1. Informational: Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- BD2. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- BD3. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page: <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.

- BD4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.
- During construction retaining a single company to install all fire rated penetrations is highly recommended.
 - The grade level lobbies shall be min.1 hour rated all sides and above.
 - All stair shafts shall be min. 1 hour rated.
 - All elevator shafts shall be min. 1 hour rated.
 - All trash chute shafts shall be min. 1 hour rated.
 - Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
 - Any trash rooms shall be min. 1 hour rated all sides and above.
- BD5. Informational: The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.
- BD6. Informational: Temporary Certificates of Occupancy will not be routinely issued, and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

PLANNING DIVISION

- P1. The project shall comply with Conditions of Approval for the 3155 El Camino Real Residential Project (PLN2020-14674) and Mitigated Negative Declaration/Mitigation Monitoring and Reporting Program (CEQ2020-01080).
- P2. Developer shall submit to the City Covenants, Conditions and Restrictions (CC&Rs) or equivalent instrument assigning and governing perpetual maintenance of the private street in good condition for the life of the Project, prior to issuance of building permits. Said document shall be recorded along with the Title for each property with the Santa Clara County Recorder's Office.

PARKS & RECREATION

- PR1. This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 144 residents (2.4 persons/household x 60 units). Based on the Quimby Act standard of 3.0 acres/1000 residents | MFA standard of 2.6 acres/1,000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 0.432-acres. The equivalent fee due in lieu of parkland dedication is therefore \$2,668,080. Final

- calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City.
- PR2. Application for Credit. It is unlikely the Project could achieve the requirements needed to qualify for credit; therefore, the Project would not be eligible for 50% credit against any fees due in lieu of parkland dedication.
 - PR3. Dwelling Unit Tax. A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 28 two-bedroom units and 32 three-bedroom units for a total DUT of \$1,360.
 - PR4. Calculations may change if the number of units change, if any areas do not conform to the Ordinance and City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.

PUBLIC WORKS

ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of parcel map and/or issuance of building permits.
- E4. All work within the State right-of-way shall require a Caltrans encroachment permit.
- E5. All work within the Santa Clara Valley Water District right-of-way shall require a Santa Clara Valley Water District encroachment permit.
- E6. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E7. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E8. Dedicate, as required, on-site easements for new and existing utilities and new sidewalks by Subdivision Map or approved instrument at time of development. Developer shall pay applicable easement preparation/processing fee.
- E9. Dedicate a sidewalk easement for the sidewalk and driveway portions within private property and pay the easement preparation fee. Sidewalk easement shall be 1' behind proposed back-of-walk if there is landscaping behind sidewalk and/or at the proposed back-of-walk with a cold joint if there is hardscape concrete behind sidewalk.
- E10. Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction

- E11. After City Council approval of the Tentative Map, submit 10 copies of the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.

WATER & SEWER

- W1. Recycled Water Ready: All onsite plumbing for non-domestic water uses (e.g. irrigation) shall be designed for recycled water use and shall comply with all Recycled Water regulations.
- W2. Recycled Water Design: Each Recycled Water land use (irrigation, dual-plumbing, cooling system, industrial processes, etc.) shall have a separate metered service connection to the main. Applicant shall verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.
- W3. Potable Water Main: Pursuant to the findings of the Development Impact Analysis (DIA), the applicant shall upgrade the existing 8" and 10" Cast Iron water main along Calabazas and El Camino Real with a new 12" DIP pipe water main. The water main upgrade shall extend to the limits determined by the DIA, or, at a minimum, the entire length of the property's frontage.
- W4. Encroachment Permit: Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W5. Utility Design Plans: Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W6. Utility Separations: Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales,

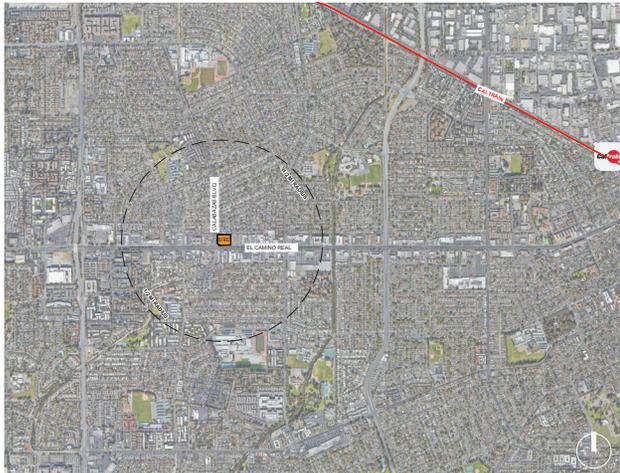
- etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W7. Separate Services: Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W8. City Standard Meters and Backflows: All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W9. Existing Services: The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W10. On-Site Storm Drain Treatment: Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W11. Water Usage: Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W12. Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W13. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W14. Underground Fire Permit: Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408)615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.

- W15. Record Drawings: Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W16. Water Shortage Response Actions: Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

3155 EL CAMINO REAL, SANTA CLARA, CA



AERIAL CONTEXT N.T.S.



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ARCHITECTURAL

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- A0.1 Project Data
- A0.2 GreenPoint Checklist

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- A2.0 Perspective: Buildings 1 + 2 : Type A
- A2.1 Perspective: Buildings 1 + 2 : Type A
- A2.2 Elevations: Buildings 1 + 2 : Type A
- A2.3 Elevations: Buildings 1 + 2 : Type A
- A2.4 Perspective: Buildings 3 + 4 : Type B
- A2.5 Perspective: Buildings 3 + 4 : Type B
- A2.6 Elevations: Buildings 3 + 4 : Type B
- A2.7 Elevations: Buildings 3 + 4 : Type B
- A2.8 Elevations: Buildings 5-8 : Type C
- A2.9 Elevations: Buildings 5-8 : Type C

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- A4.2 Floor Plans: Buildings 1 + 2 : Type A
- A4.3 Floor Plans: Buildings 1 + 2 : Type A
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- A4.5 Floor Plans: Buildings 1 + 2 : Type A
- A4.6 Floor Plans: Buildings 1 + 2 : Type A
- A4.7 Floor Plans: Buildings 1 + 2 : Type A
- A4.8 Floor Plans: Buildings 1 + 2 : Type A

A5.0 Townhome Building Plans:

- Buildings 3 + 4 : Type B
- A5.1 Townhome Building Plans: Buildings 3 + 4 : Type B
- A5.2 Townhome Building Plans: Buildings 5-8 : Type C
- A5.3 Townhome Building Plans: Buildings 5-8 : Type C
- A5.4 Townhome Floor Plans: Buildings 3-8 : Type B+C
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- A5.7 Townhome Floor Plans: Buildings 5-8 : Type B+C
- A5.8 Townhome Floor Plans: Buildings 5-8 : Type B+C

A6.0 Colors and Materials Board:

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- A6.1 Colors and Materials Board: Buildings 2+3: Type B

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- L1.0 Schematic Landscape Plan
- L2.0 Schematic Landscape Imagery
- L3.0 Schematic Planting Plan
- L4.0 Ladder Pad Exhibit
- L5.0 Tree Disposition Plan
- L5.1 Tree Disposition Plan

CIVIL

- C1.0 Title Sheet
- C2.0 Existing Conditions & Preliminary Removal Plan
- C3.0 Grading & Drainage Plan
- C4.0 Stormwater Control Plan
- C4.1 Stormwater Control Notes & Details
- C4.2 Media Filter Notes
- C5.0 Utility Plan
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- C7.0 Fire Layout Plan

- Tentative Tract Map 1 of 4
- Tentative Tract Map 2 of 4
- Tentative Tract Map 3 of 4
- Tentative Tract Map 4 of 4

JOINT TRENCH

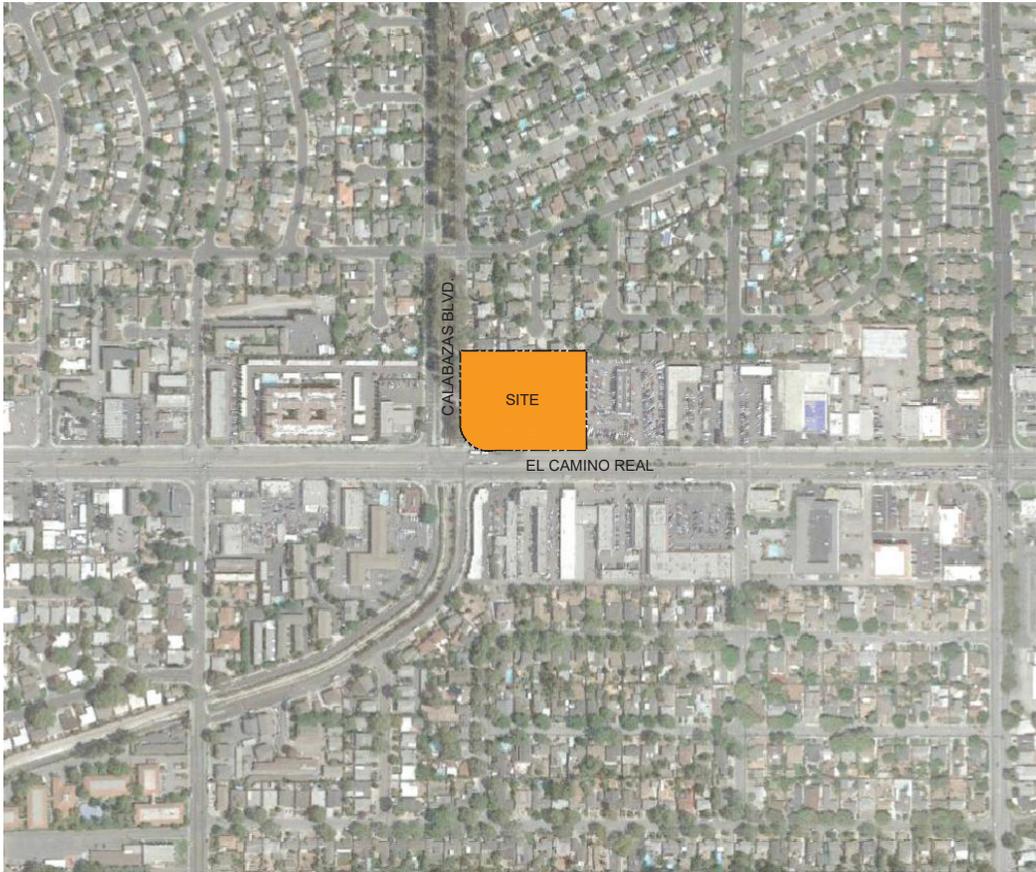
- JT-1 Joint Trench Title Sheet
- JT-2 Joint Trench Intent

Developer Working Drawing (DWD)

- Silicon Valley Power (SVP) Plan for Electric

TRASH

- TO-1 Site Plan
- TO-2 Trash Enclosure Layout
- TO-3 Option 2: Service Location Loose Front-Load Service



Site Context Map

Project Description/Use/Occupancy Classification

Buildings 1+2
Buildings 1+2 are 3 story, multifamily flats on level 1 and townhome units on level 2+3. The buildings are classified as R-2 occupancy. Each building has a main lobby entry with tuck-under garage for automobiles. Ground floor units are accessible. NFPA 13 Fire sprinkler system

Buildings 3-8
Buildings 3-8 are 2-3 story townhomes with attached garages. They are classified as R-3 townhouse condominiums. These buildings face Calabazas or internal paseos and have entries with trellis', patio's, and/or stoops to activate the street frontages. Buildings 5-8 step down at the Southern edge to respect the adjacent neighbors. Ten percent of the units in each building are accessible. NFPA 13D Fire sprinkler system (per CRC R313.1.1 and CFC 903.3.1.3)

Construction Type:
All buildings are 2-3 stories, type VB Construction.

Project Summary

Site Area Information			
Net Site Area	2.41 AC	Lot Coverage	41%
Density	25 DU/AC	Dwelling Unit Count	
On-Site Garage Parking	110 Stalls	Townhomes / Flats	20 Units
On-site Surface Parking	10 Stalls	Townhomes	40 Units
(Includes 1 loading stall + 1 Accessible Stall)		Total Units	60 Units

Gross Building Areas								
	BLDG Type	Level 1	Level 2	Level 3	Patios + Balcony	GSF Per Building Type	# of Bldgs	Cumulative GSF All BLDGS Per Type
Type A: Bldg 1+2	V	± 7,775 SF	± 7,765 SF	± 7,300 SF	± 1,400 SF	± 24,240 SF	2	± 48,480 SF
Type B: Bldg 3+4	V	± 3,900 SF	± 4,500 SF	± 4,540 SF	-	± 12,940 SF	2	± 25,880 SF
Type C: Bldg 5-8	V	± 4,810 SF	± 5,230 SF	± 4,360 SF	-	± 14,400 SF	4	± 57,600 SF
* Gross Building Area = To outside face of stud of building, includes patios + balcony.							Cumulative GSF FOR ALL BUILDING ON SITE	± 131,960 SF

Building Type A - Buildings 1 + 2 - Flats / Townhomes					
Unit Plan	Unit Type	NSF	Plan Count Per BLDG	NSF Per Building	Percent
P1	2 BR / 2 Bath	± 1,345 NSF	1	± 1,345 NSF	10.0%
P2	2 BR / 2 Bath	± 1,375 NSF	1	± 1,375 NSF	10.0%
P3	2 BR / 2.5 Bath	± 1,495 NSF	2	± 2,990 NSF	20.0%
P4	3 Br / 3 Bath	± 1,445 NSF	2	± 2,890 NSF	20.0%
PSR	3 Br / 3 Bath	± 1,500 NSF	1	± 1,500 NSF	10.0%
PSL	3 Br / 3 Bath	± 1,570 NSF	1	± 1,570 NSF	10.0%
P6	3 BR / 2.5 Bath	± 1,680 NSF	2	± 3,360 NSF	20.0%
Total SF for Buildings 1 & 2			10 Units	± 15,030 NSF	100%
			20 Units	± 30,060 NSF	

Building Type A - Total Parking Count			
Number of Buildings	# of Stalls	TOTAL Stalls	
2	19	38	Stalls

Building Type B - Buildings 3 + 4 - Townhomes					
Unit Plan	Unit Type	NSF	n Count Per BLDG	NSF Per Building	Percent
P1	2 BR / 2.5 Bath	± 1,520 NSF	2	± 3,040 NSF	33.3%
P2	3BR / 3 Bath	± 1,580 NSF	2	± 3,160 NSF	33.3%
P3	3 BR / 2.5 Bath	± 1,740 NSF	2	± 3,480 NSF	33.3%
Total SF for Buildings 3 & 4			6 Units	± 9,680 NSF	100%
			12 Units	± 19,360 NSF	

Building Type B - Total Parking Count			
Number of Buildings	# of Stalls	TOTAL Stalls	
2	12	24	Stalls

Building Type C - Buildings 5 - 8 - Townhomes					
Unit Plan	Unit Type	NSF	n Count Per BLDG	NSF Per Building	Percent
P1	2 BR / 2.5 Bath	± 1,520 NSF	2	± 3,040 NSF	28.5%
P2	3BR / 3 Bath	± 1,580 NSF	2	± 3,160 NSF	29.6%
P3	3 BR / 2.5 Bath	± 1,740 NSF	1	± 1,740 NSF	16.3%
PA	2 BR / 2.5 Bath	± 1,400 NSF	1	± 1,400 NSF	13.1%
PB	2 BR / 2.5 Bath	± 1,320 NSF	1	± 1,320 NSF	12.4%
Total Unit Count and SF for Buildings 5 - 8			7 Units	± 10,660 NSF	100%
			28 Units	± 42,640 NSF	

Building Type C - Total Parking Count			
Number of Buildings	# of Stalls	TOTAL Stalls	
4	12	48	Stalls

NEW HOME RATING SYSTEM, VERSION 8.0		MULTIFAMILY CHECKLIST		Points Required		Points Available	
Project Name	Project City	Project Type	Project Size	Points Required	Points Available	Points Required	Points Available
160	160	160	160	160	160	160	160
SECTION 1: GENERAL REQUIREMENTS							
160	160	160	160	160	160	160	160
SECTION 2: ENERGY EFFICIENCY							
160	160	160	160	160	160	160	160
SECTION 3: WATER EFFICIENCY							
160	160	160	160	160	160	160	160
SECTION 4: INDOOR AIR QUALITY							
160	160	160	160	160	160	160	160
SECTION 5: SUSTAINABILITY							
160	160	160	160	160	160	160	160

NEW HOME RATING SYSTEM, VERSION 8.0		MULTIFAMILY CHECKLIST		Points Required		Points Available	
Project Name	Project City	Project Type	Project Size	Points Required	Points Available	Points Required	Points Available
160	160	160	160	160	160	160	160
SECTION 6: TRANSPORTATION							
160	160	160	160	160	160	160	160
SECTION 7: COMMUNITY ENGAGEMENT							
160	160	160	160	160	160	160	160
SECTION 8: TOTAL POINTS							
160	160	160	160	160	160	160	160

NEW HOME RATING SYSTEM, VERSION 8.0		MULTIFAMILY CHECKLIST		Points Required		Points Available	
Project Name	Project City	Project Type	Project Size	Points Required	Points Available	Points Required	Points Available
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SECTION 9: SUMMARY							
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SECTION 10: TOTAL POINTS ACHIEVED							
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NEW HOME RATING SYSTEM, VERSION 8.0		MULTIFAMILY CHECKLIST		Points Required		Points Available	
Project Name	Project City	Project Type	Project Size	Points Required	Points Available	Points Required	Points Available
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SECTION 11: ENERGY EFFICIENCY							
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SECTION 12: WATER EFFICIENCY							
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SECTION 13: INDOOR AIR QUALITY							
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SECTION 14: SUSTAINABILITY							
160	160	160	160	160	160	160	160

NEW HOME RATING SYSTEM, VERSION 8.0		MULTIFAMILY CHECKLIST		Points Required		Points Available	
Project Name	Project City	Project Type	Project Size	Points Required	Points Available	Points Required	Points Available
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SECTION 15: TRANSPORTATION							
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SECTION 16: COMMUNITY ENGAGEMENT							
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SECTION 17: TOTAL POINTS							
160	160	160	160	160	160	160	160

NEW HOME RATING SYSTEM, VERSION 8.0		MULTIFAMILY CHECKLIST		Points Required		Points Available	
Project Name	Project City	Project Type	Project Size	Points Required	Points Available	Points Required	Points Available
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SECTION 18: SUMMARY							
160	160	160	160	160	160	160	160
SECTION 19: TOTAL POINTS ACHIEVED							
160	160	160	160	160	160	160	160



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3155 EL CAMINO
 SANTA CLARA CA # 2019-0598

SUBMITTAL #4
 FEBRUARY 11, 2022

Site Plan

A1.0



1 . Type A - Perspective



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SUBMITTAL #4
FEBRUARY 11, 2022

Perspective
Buildings 1 + 2 : Type A

A2.0



2 . Type A - Perspective



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SUBMITTAL #4
FEBRUARY 11, 2022

Perspective
Buildings 1 + 2 : Type A

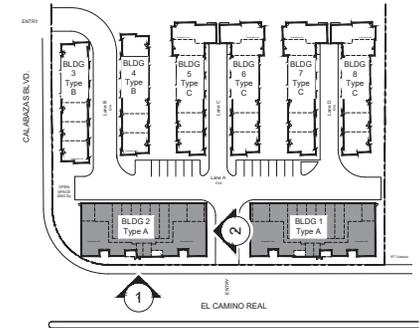
A2.1



2. Type A - Right Elevation



1. Type A - Front Elevation



Key Map n.t.s.

Building Type A: Material Legend

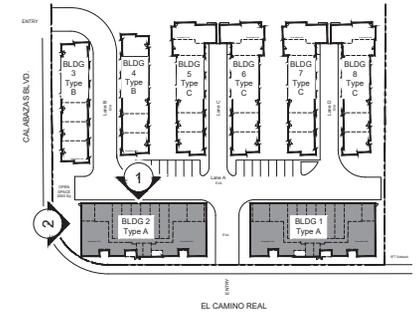
- 1. Stucco
- 2. Composite Lap Siding
- 3. Metal Railing
- 4. Vinyl Window
- 5. Stone Veneer Patio
- 6. Metal Awning
- 7. Trellis



2. Type A- Left Elevation



1. Type A - Back Elevation



Key Map n.t.s.

Building Type A: Material Legend

1. Stucco
2. Composite Lap Siding
3. Metal Railing
4. Vinyl Window
5. Stone Veneer Patio
6. Metal Awning
7. Trellis



1 . Type B - Perspective



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SUBMITTAL #4
FEBRUARY 11, 2022



Perspective
Buildings 3 + 4 : Type B

A2.4



2 . Type B - Perspective



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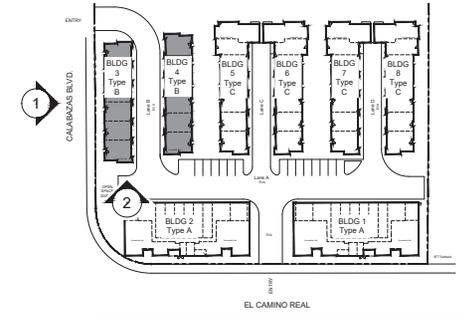
3155 EL CAMINO
 SANTA CLARA CA # 2019-0598

SUBMITTAL #4
 FEBRUARY 11, 2022



Perspective
 Buildings 3 + 4 : Type B

A2.5



Key Map n.t.s.

Building Type B/C: Material Legend

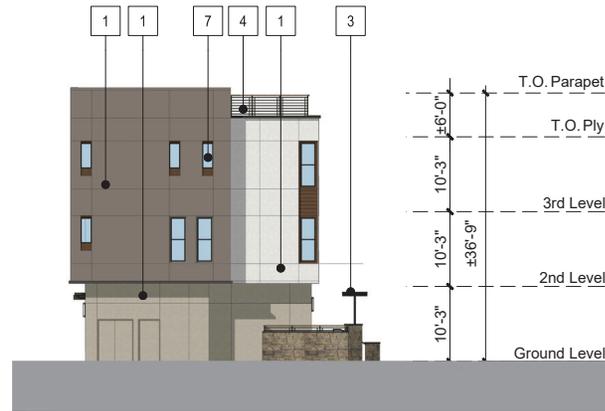
- 1. Stucco
- 2. Roof
- 3. Metal Trellis
- 4. Metal Railing with Cap
- 5. Trim
- 6. Composite Lap Siding
- 7. Vinyl Window
- 8. Canopy



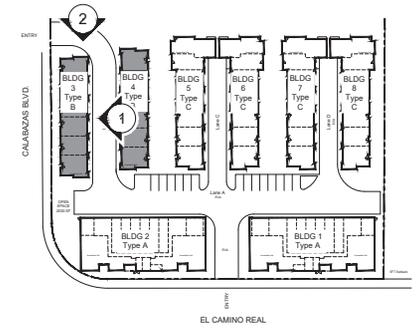
2. Type B - Elevation



1. Type B - Elevation



2. Type B - Elevation



Key Map n.t.s.

Building Type B/C: Material Legend

1. Stucco
2. Roof
3. Metal Trellis
4. Metal Railing with Cap
5. Trim
6. Composite Lap Siding
7. Vinyl Window
8. Canopy



1. Type B - Elevation



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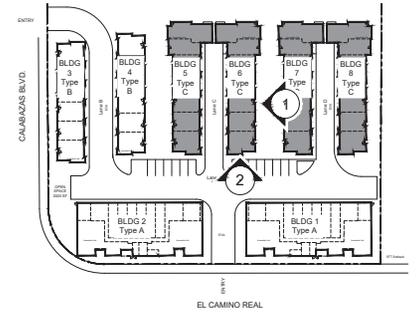
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Elevations
Buildings 3 + 4 : Type B

A2.7



2. Type C - Elevation

Building Type B/C: Material Legend

- 1. Stucco
- 2. Roof
- 3. Metal Trellis
- 4. Metal Railing with Cap
- 5. Trim
- 6. Composite Lap Siding
- 7. Vinyl Window
- 8. Canopy



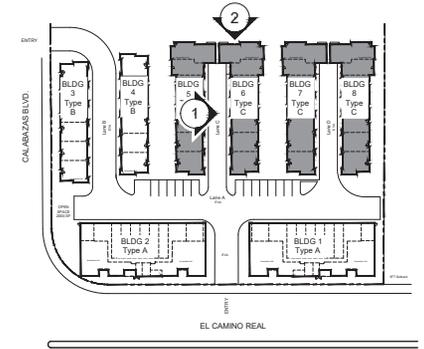
1. Type C - Elevation



2. Type C- Elevation



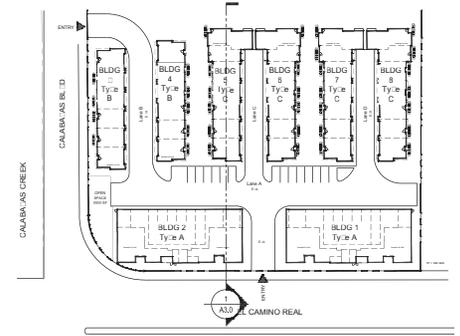
1. Type C - Elevation



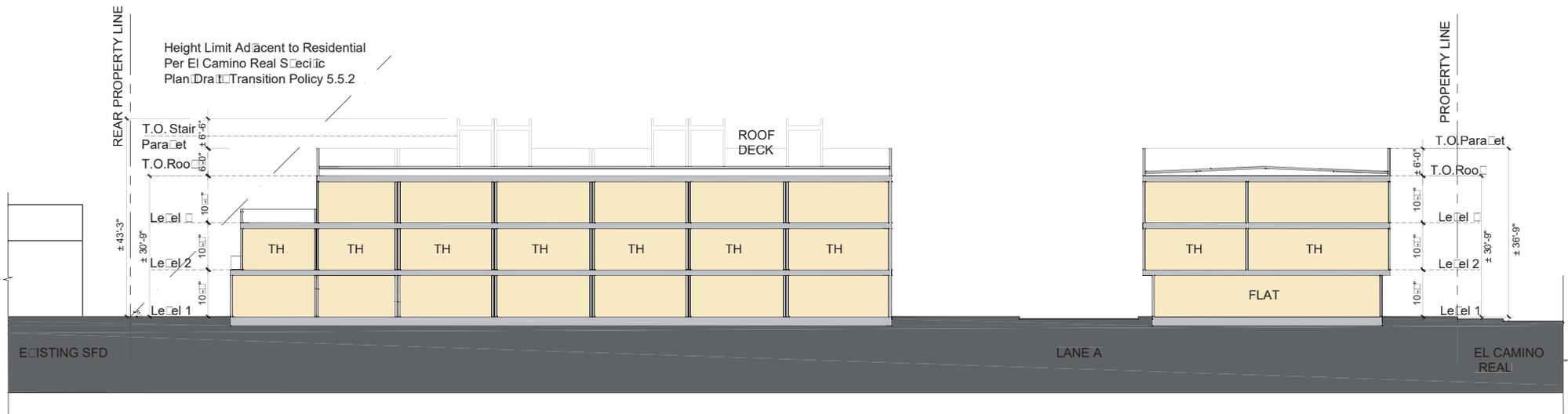
Key Map n.t.s.

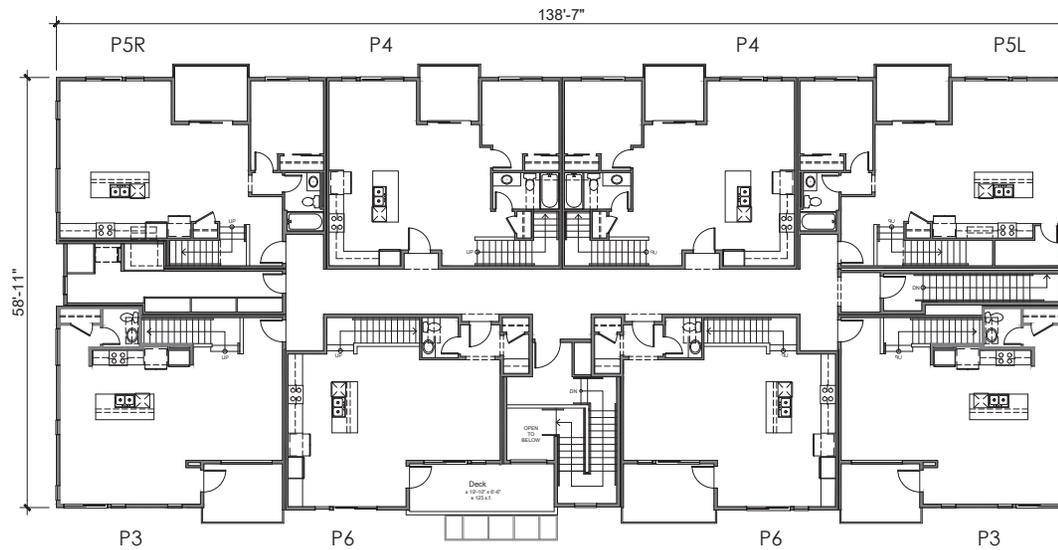
Building Type B/C: Material Legend

- 1. Stucco
- 2. Roof
- 3. Metal Trellis
- 4. Metal Railing with Cap
- 5. Trim
- 6. Composite Lap Siding
- 7. Vinyl Window
- 8. Canopy

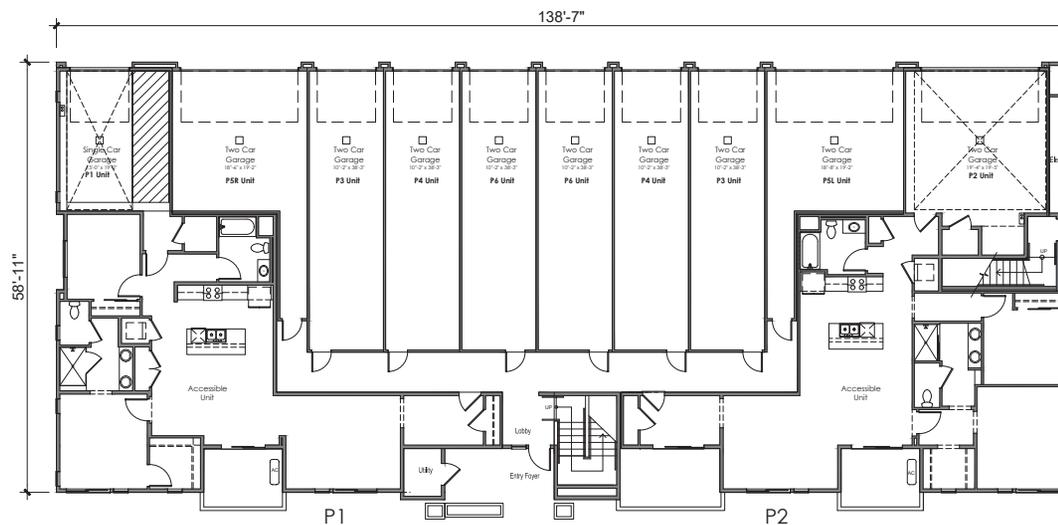


Key Ma□.n.t.s.





Second Floor



First Floor

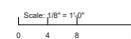


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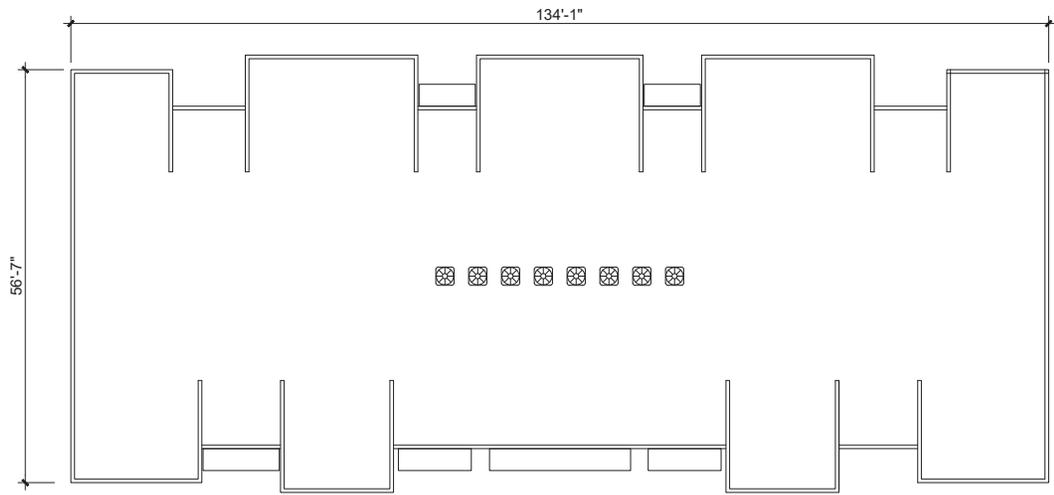
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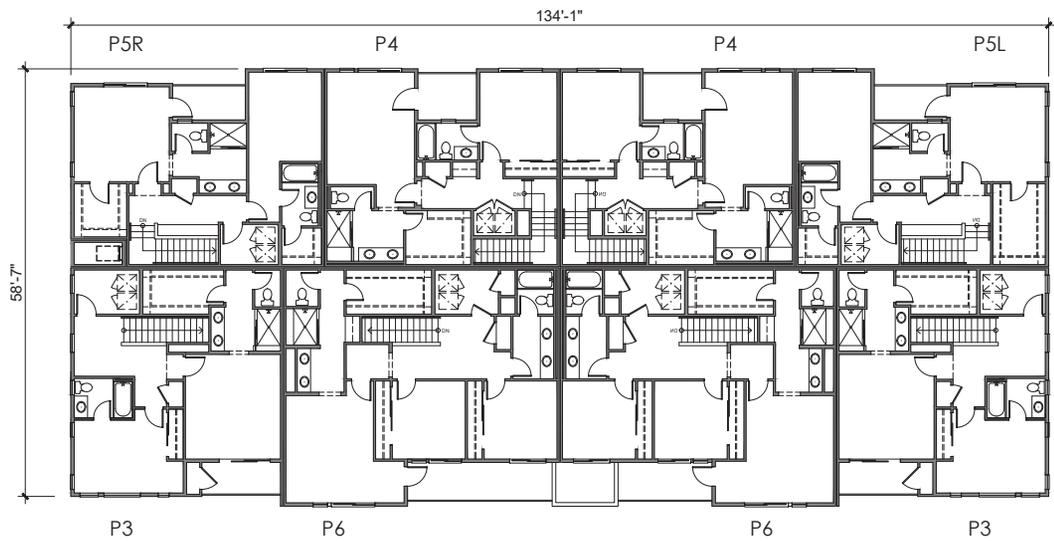


Building Plans
Buildings 1 + 2 : Type A

A4.0



Roof



Third Floor

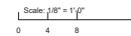


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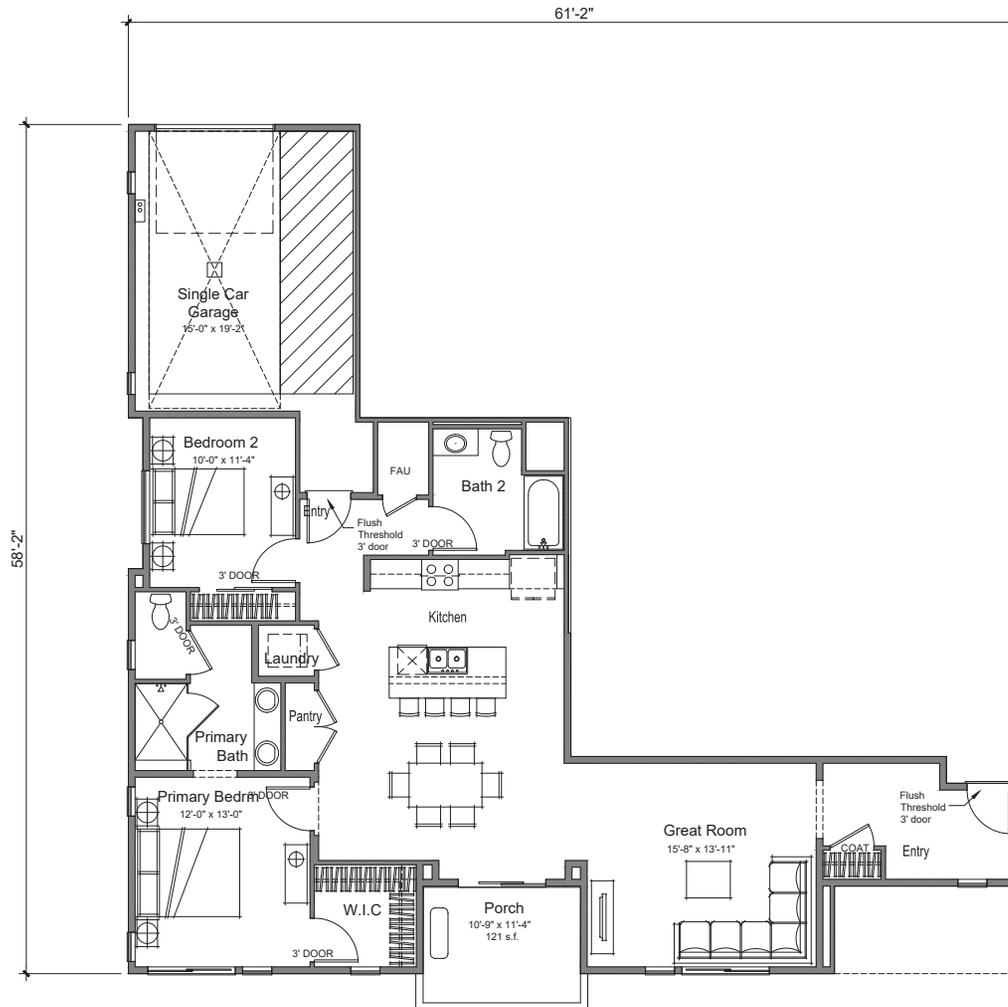
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Building Plans
Buildings 1 +2 : Type A

A4.1



P1- Accessible Unit
 2 Bedroom
 2 Baths
 ±1345 n.s.f.

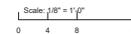


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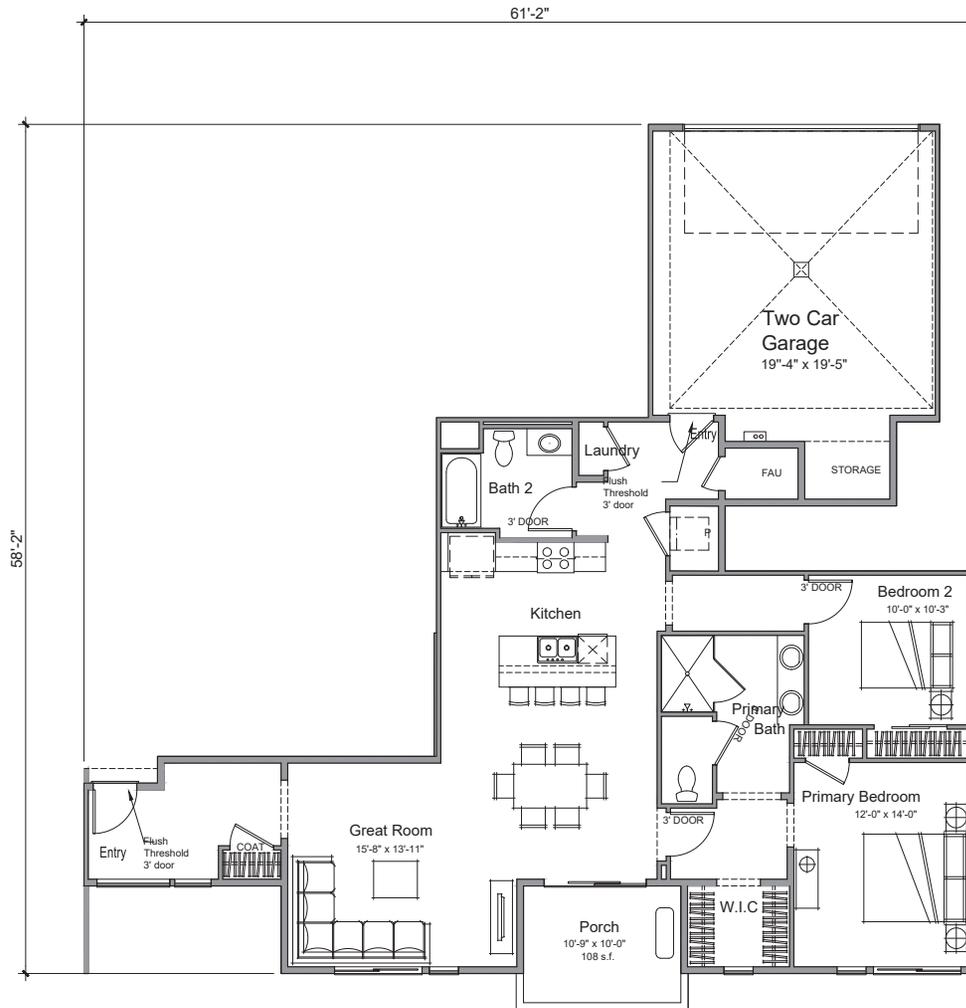
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Floor Plans
 Buildings 1 +2 : Type A

A4.2



P2
 Accessible Unit
 2 Bedroom
 2 Baths
 ±1375 n.s.f.

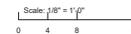


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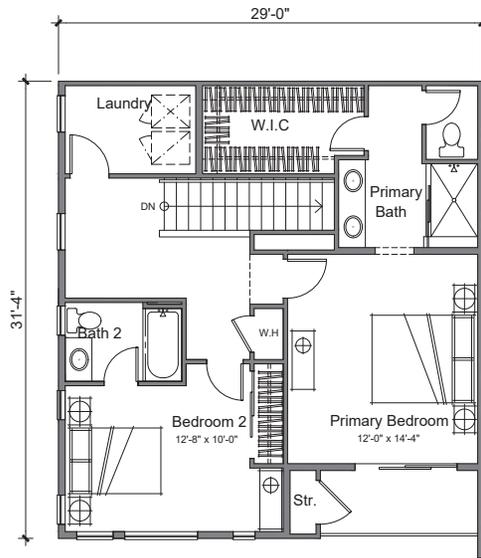
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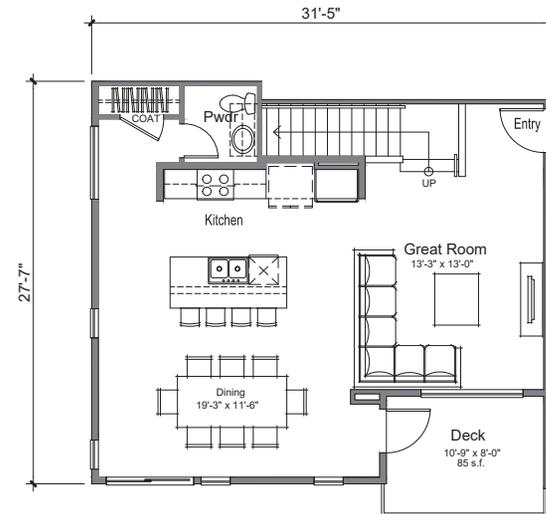


Floor Plans
 Buildings 1 +2 : Type A

A4.3



Second Floor



First Floor

P3
 2 Bedroom
 2.5 Baths
 ±1,495 n.s.f.

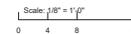


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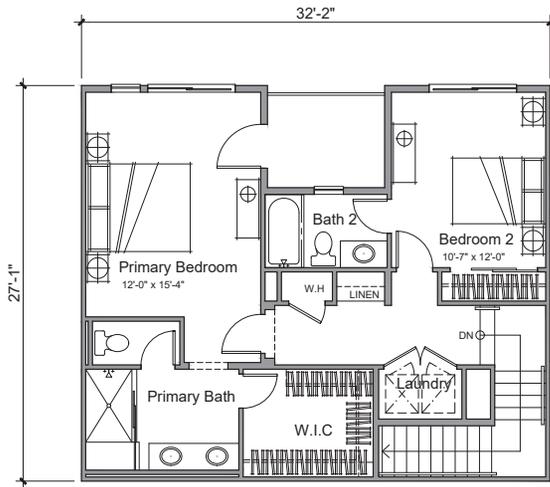
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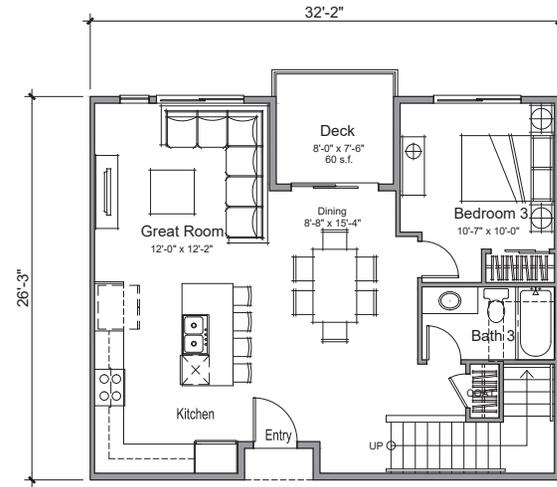


Floor Plans
 Buildings 1 +2 : Type A

A4.4



Second Floor



First Floor

P4
 3 Bedroom
 3 Baths
 ±1445 n.s.f.

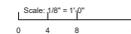


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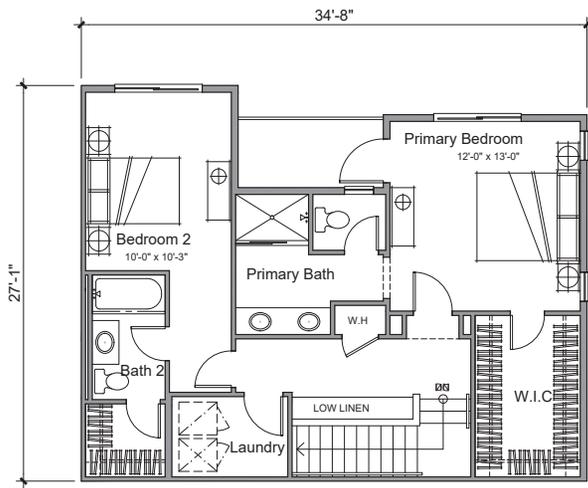
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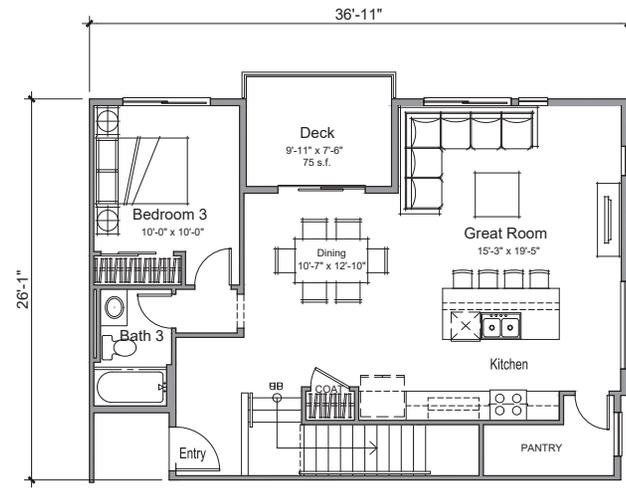


Floor Plans
 Buildings 1 +2 : Type A

A4.5



Second Floor



First Floor

P5L
 3 Bedroom
 3 Baths
 ±1,570 n.s.f.

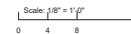


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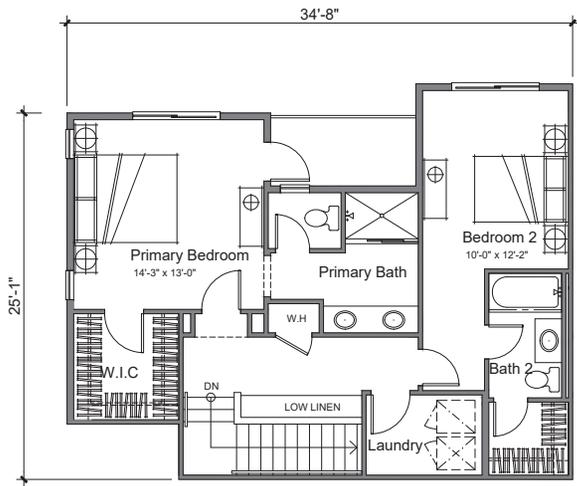
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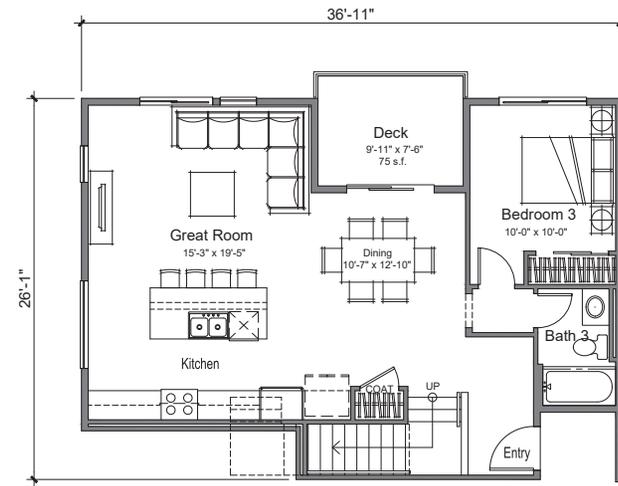


Floor Plans
 Buildings 1 + 2 : Type A

A4.6



Second Floor



First Floor

P5R
 3 Bedroom
 3 Baths
 ±1,500 n.s.f.

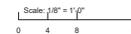


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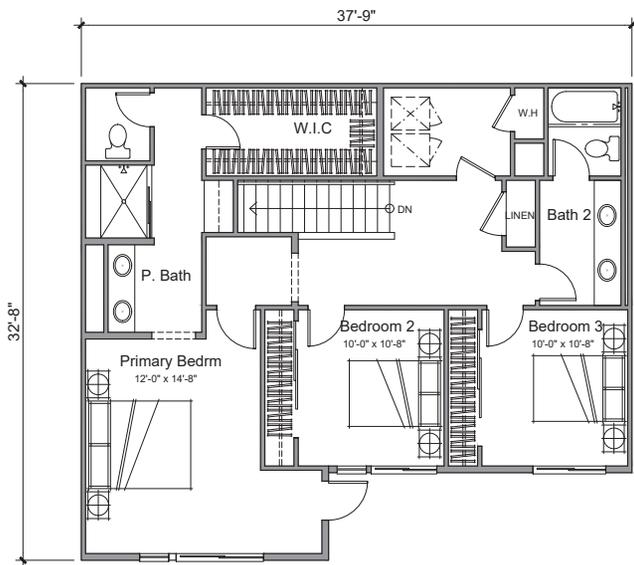
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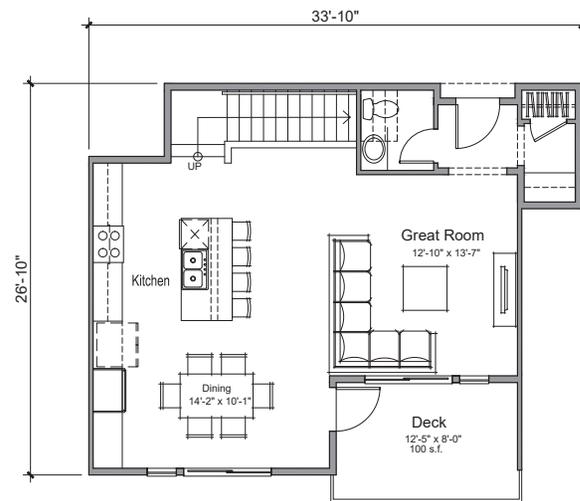


Floor Plans
 Buildings 1 + 2 : Type A

A4.7



Second Floor



First Floor

P6
 3 Bedroom
 2.5 Baths
 ±1,680 n.s.f.

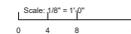


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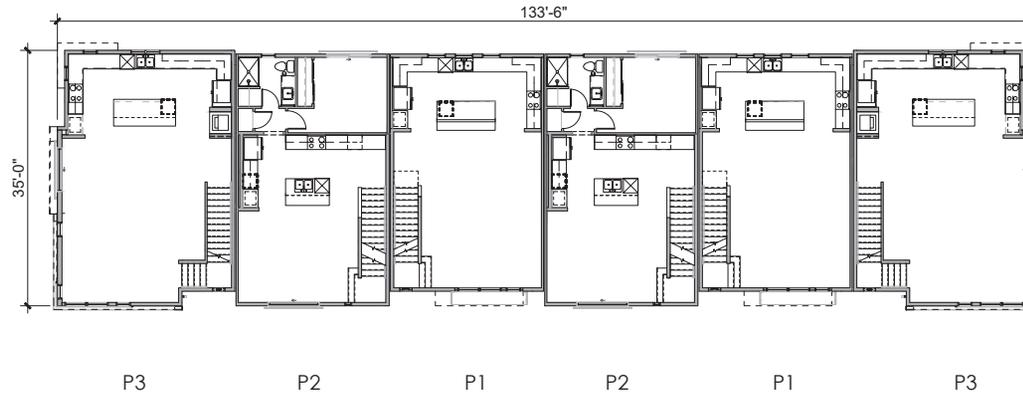
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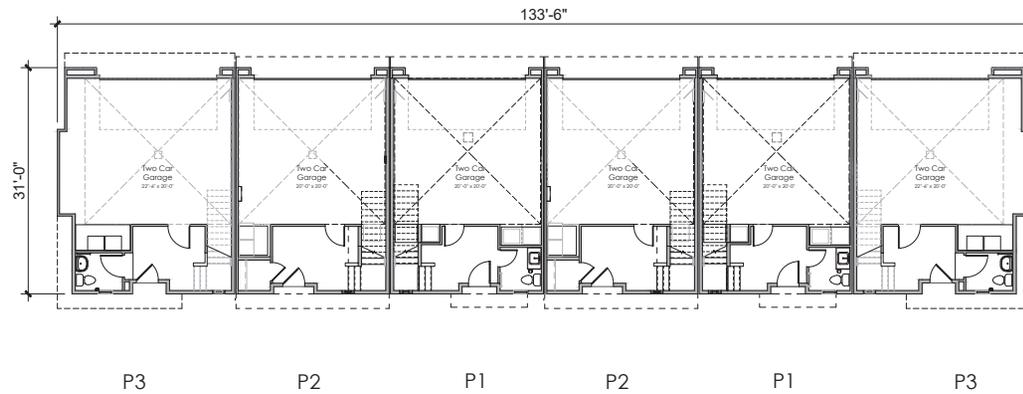


Floor Plans
 Buildings 1 + 2 : Type A

A4.8



Second Floor



First Floor

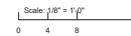


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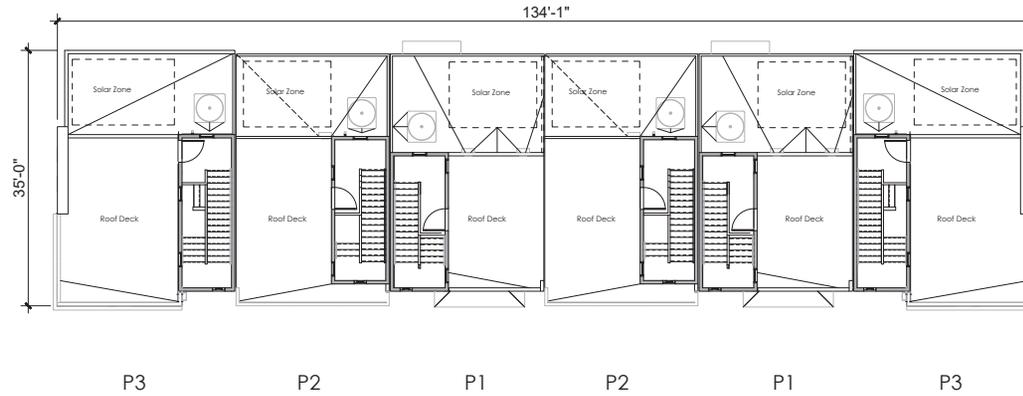
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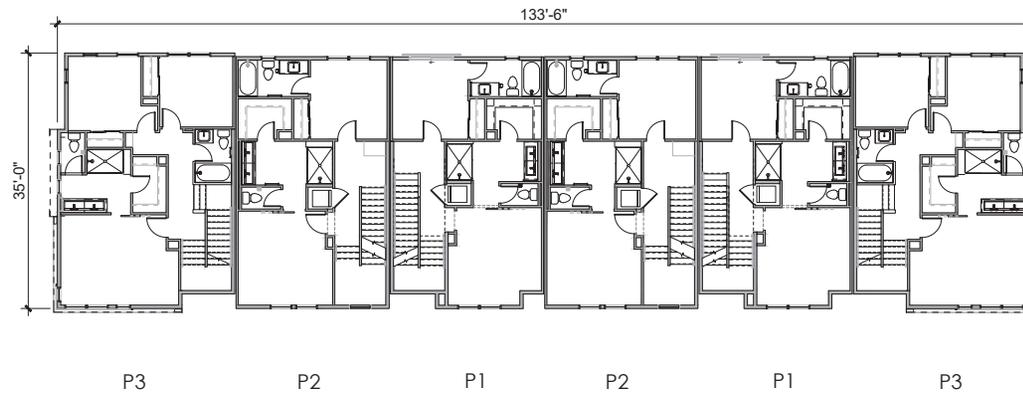


Building Plans
Townhome Buildings 3 + 4 : Type B

A5.0



Roof



Third Floor

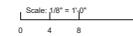


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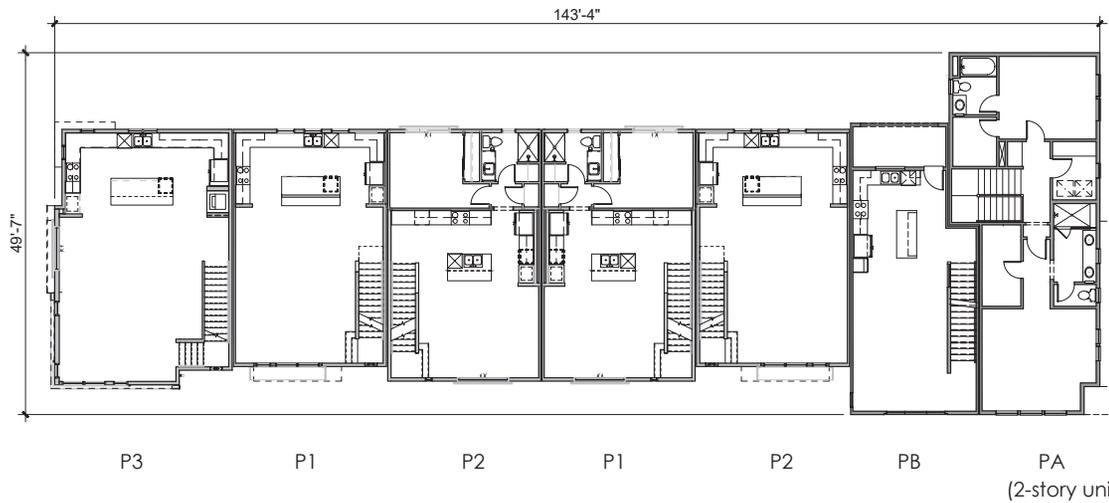
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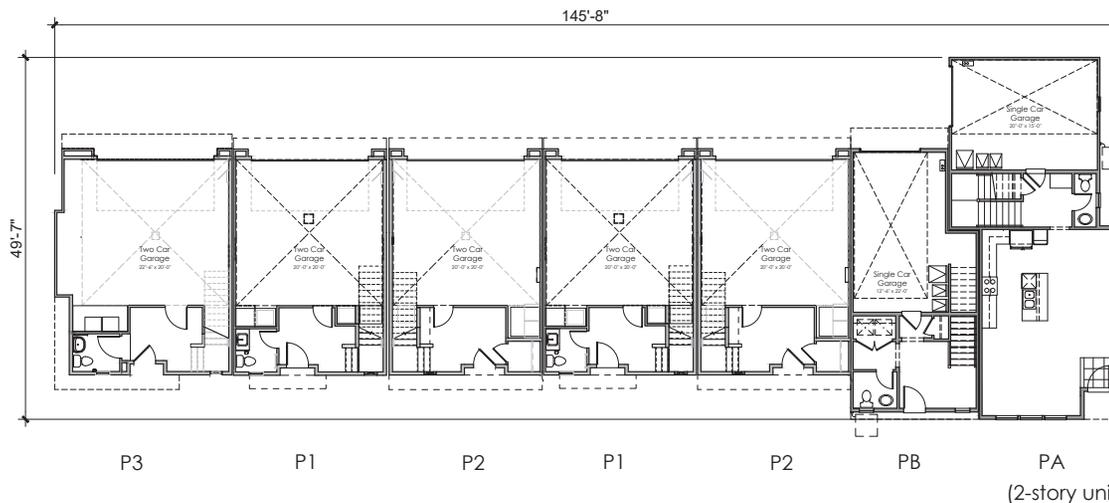


Building Plans
Townhome Buildings 3 + 4 : Type B

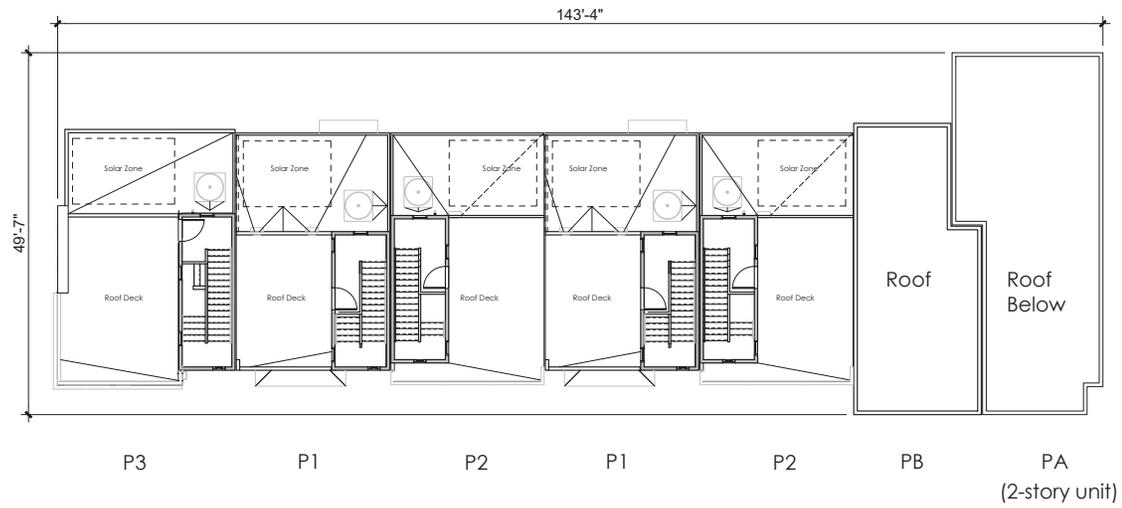
A5.1



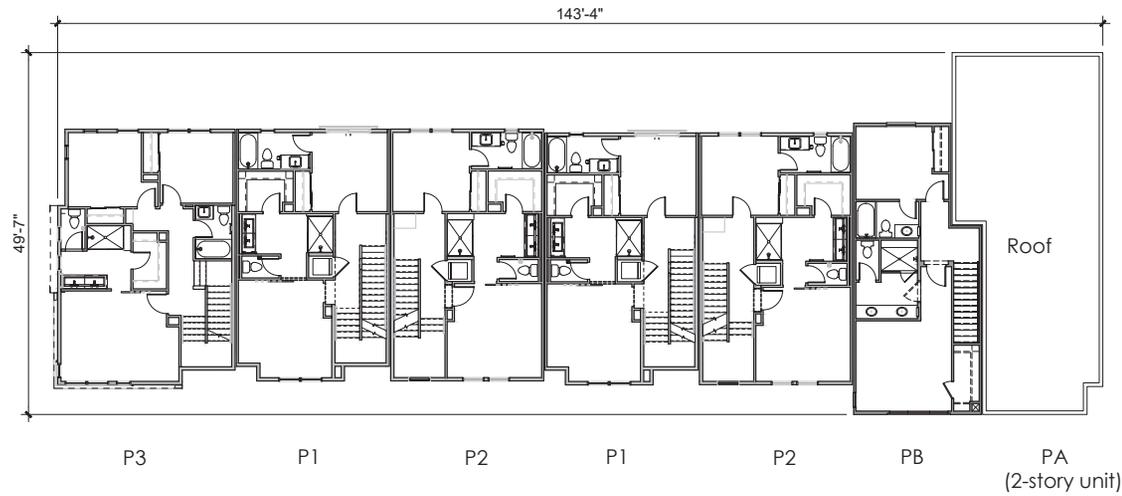
Second Floor



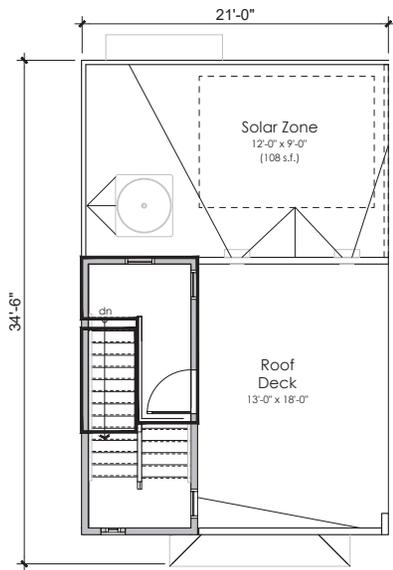
First Floor



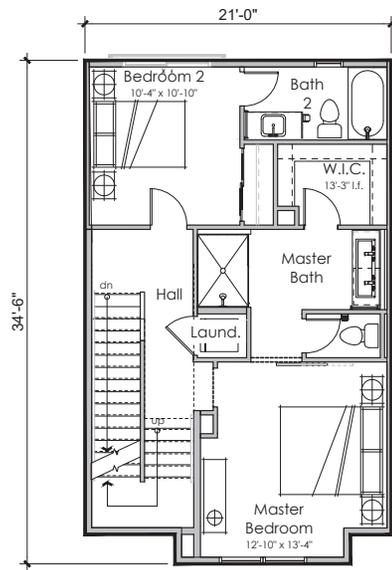
Roof



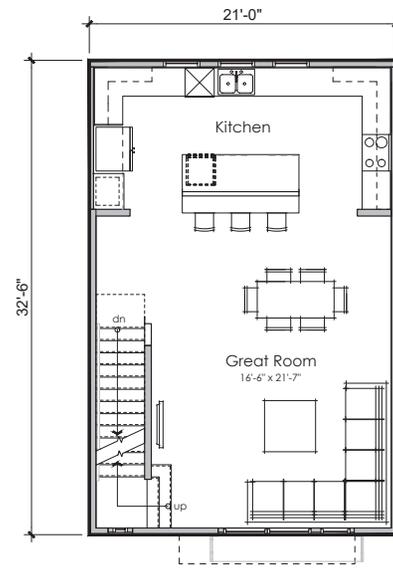
Third Floor



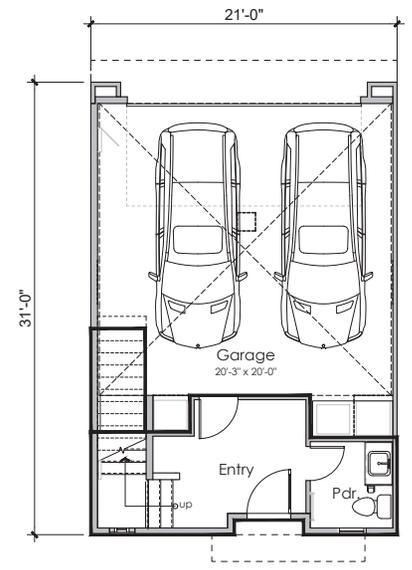
Roof



Third Floor



Second Floor



First Floor

P1
 2 Bedroom
 2.5 Baths
 ±1520 n.s.f.

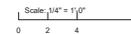


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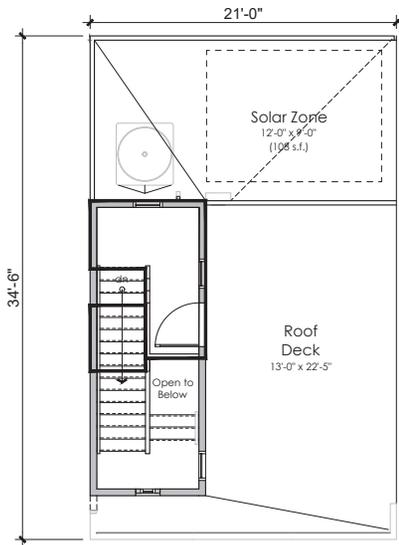
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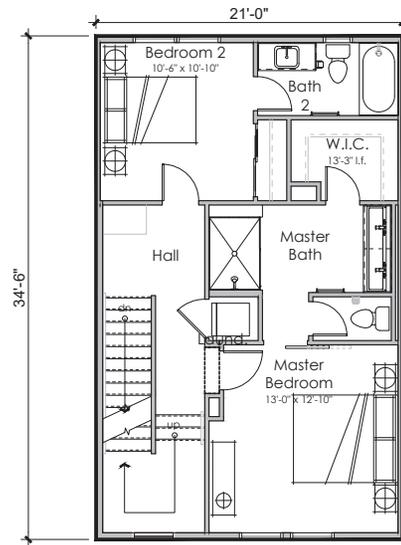


Floor Plans
 Townhome Buildings: 3 - 8 : Type B & C

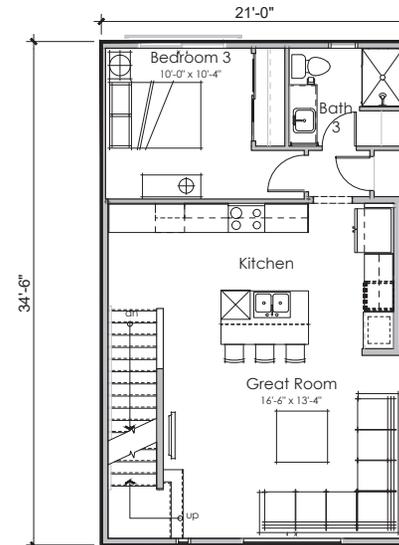
A5.4



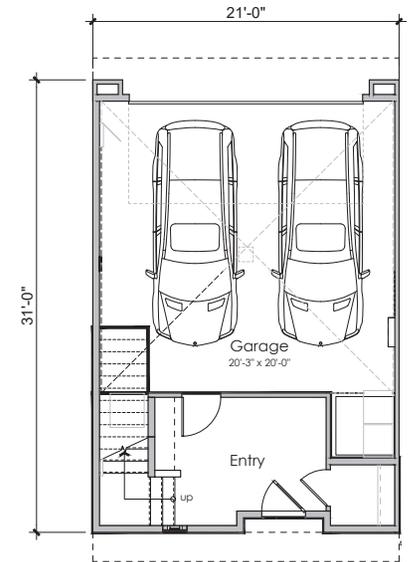
Roof



Third Floor



Second Floor



First Floor

P2
 3 Bedroom
 3 Baths
 ±1580 n.s.f.

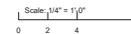


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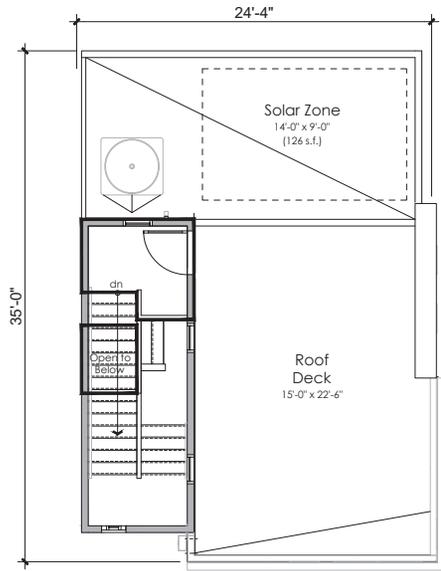
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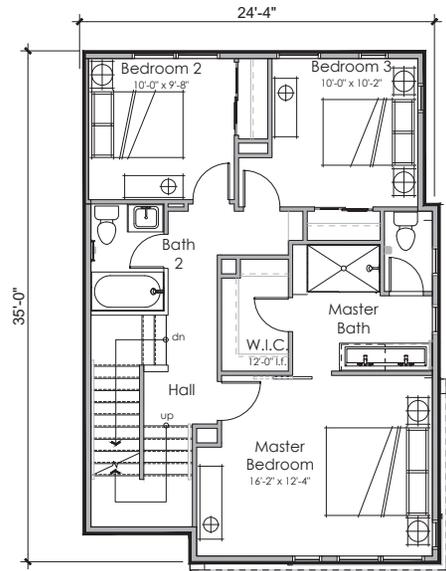


Unit Plans
 Townhome Buildings: 3 - 8 : Type B & C

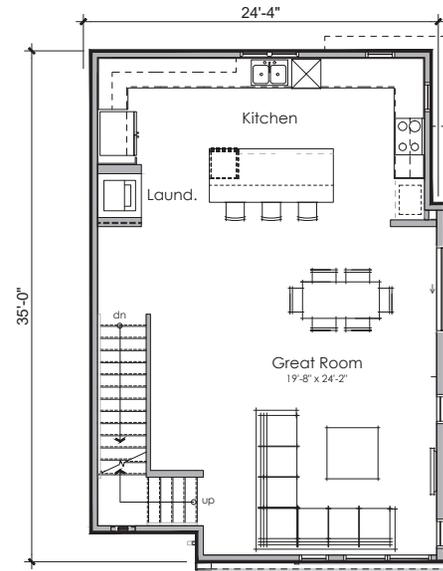
A5.5



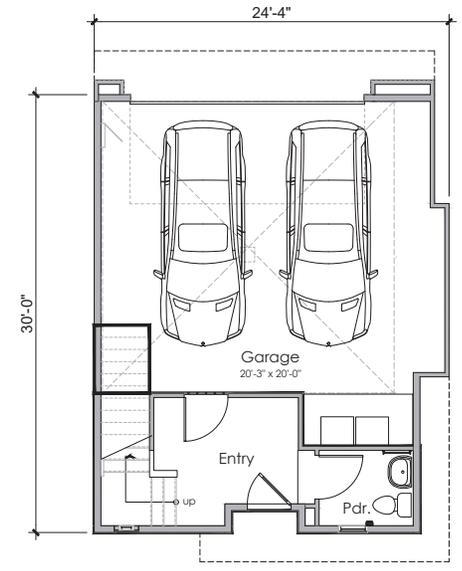
Roof



Third Floor

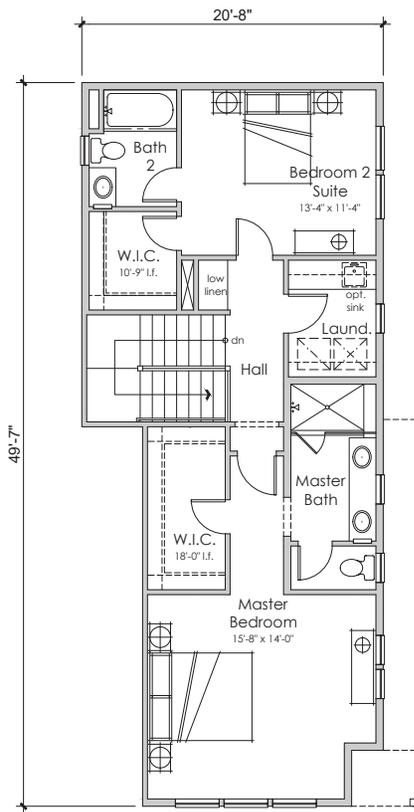


Second Floor

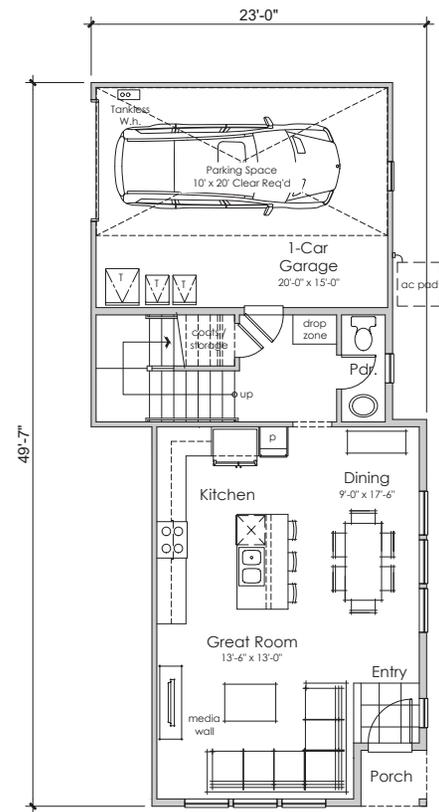


First Floor

P3
 3 Bedroom
 2.5 Baths
 ±1740 n.s.f.

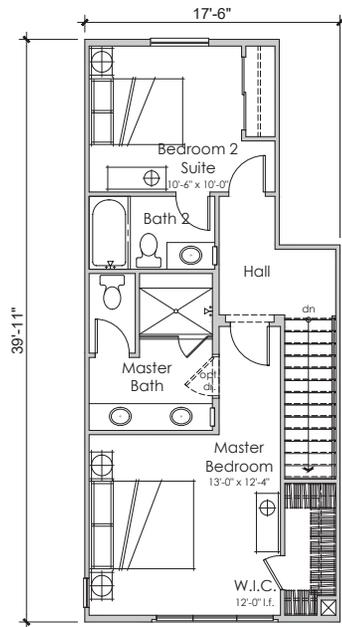


Second Floor

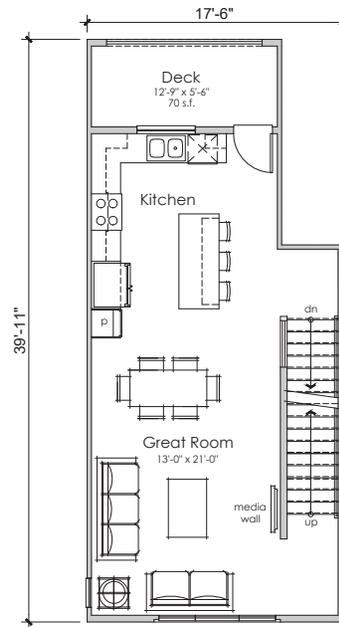


First Floor

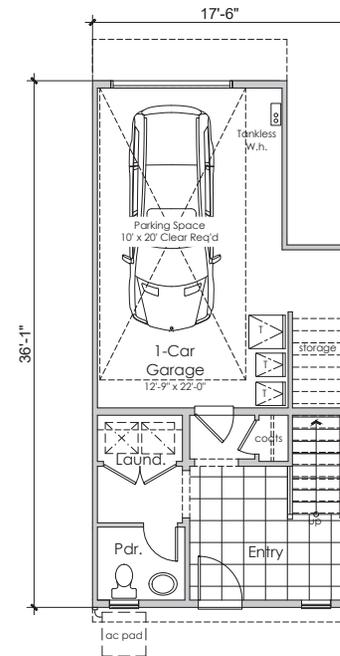
PA
 2 Bedroom
 2.5 Baths
 ±1400 n.s.f.



Third Floor



Second Floor



First Floor

PB
 2 Bedroom
 2.5 Baths
 ±1320 n.s.f.

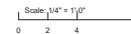


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Floor Plans
 Townhome Buildings: 5 - 8 : Type C

A5.8



1. Stucco



2. Stucco



3. Stucco



4. Stucco



5. Metal Railing



6. Composite Lap Siding



7. Vinyl Window



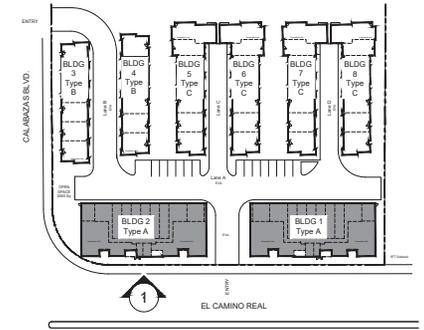
8. Stone Veneer Patio
medium



9. Metal Railing



10. Metal Awning/ Trellis



Key Map n.t.s.



1. Type A - Front Elevation



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Colors and Materials Board
 Buildings 1 + 2 : Type A

A6.0



1. Stucco



2. Stucco



3. Stucco



4. Stucco



5. Roof



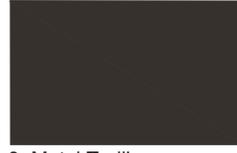
6. Composite Lap Siding



7. Vinyl Window



8. Metal Railing



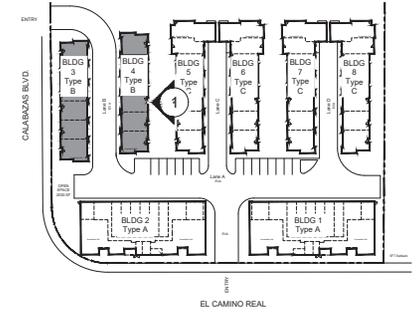
9. Metal Trellis



10. Stone Veneer Patio Light



11. Stone Veneer Patio Medium



Key Map n.t.s.



1. Type B - Front Elevation



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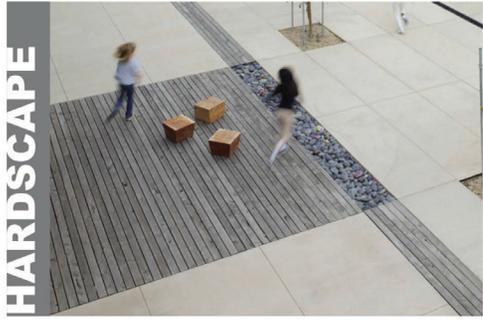


Colors and Materials Board
Buildings 3 + 4 : Type B

A6.1



HARDSCAPE

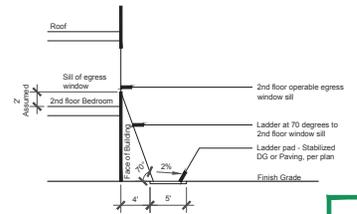
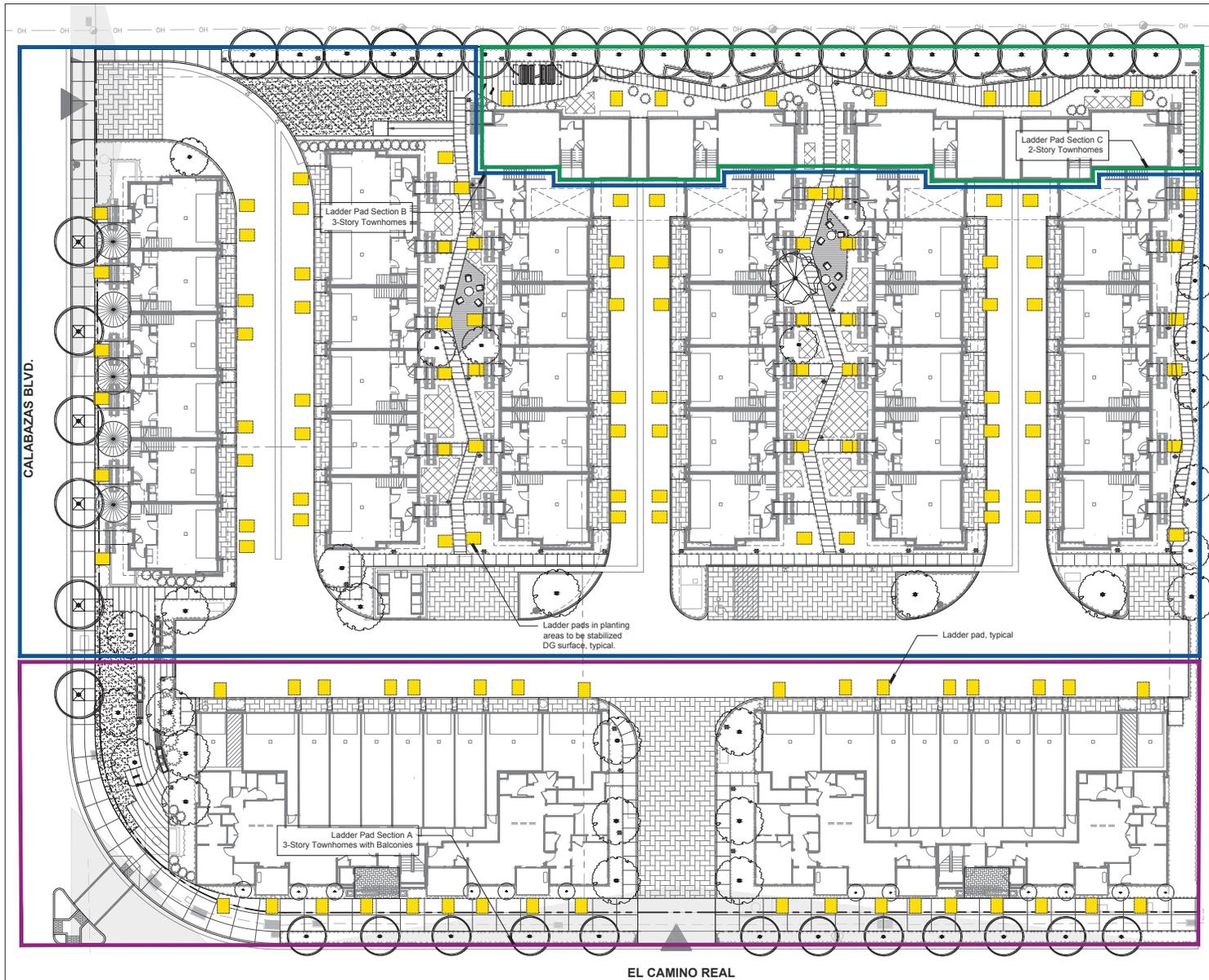


GOOD NEIGHBOR FENCE

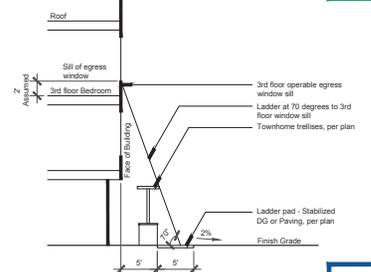


PLANTING

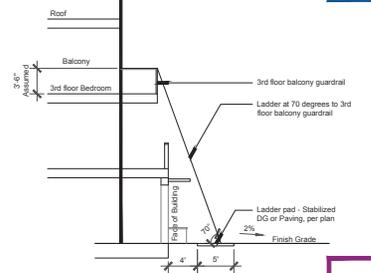




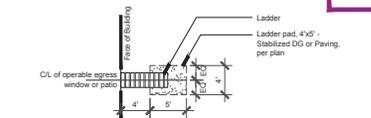
Section C: 2-Story Townhomes



Section B: 3-Story Townhomes



Section A: 3-Story Townhomes with Balconies



Plan View

Ladder Pad Diagram

Scale: 1/4" = 1'-0"



**CITY OF SANTA CLARA
ARBORIST NOTES**

I. GENERAL

1. No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-615-3080).
2. No cutting of any part of private trees, including roots, shall be done without direct supervision of an international society of arboriculture (ISA) certified arborist.
3. When construction occurs within the drip line of existing trees, contractor shall pile the soil or the side away from the tree. When this is not possible, place soil on plywood, tarp, or 4"-5" thick bed of mulch. This is to help prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
4. Refill open trenches quickly within hours of excavation: when they occur within the drip line of existing trees. If this is not possible and the weather is hot, dry, or windy, contractor must keep root ends moist by covering them with wet burlap. If the temperature is 80°F or greater, the burlap must be inspected every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can dry out and die in 10-15 minutes. Larger roots can succumb in an hour or less under unfavorable weather conditions.
5. When roots 2" or larger are required to be cut, shovel by hand near the roots and prune the roots with an industry-approved pruning tool. Roots that are accidentally broken should be pruned two inches from the damaged end. Crushed or torn roots are more likely to allow decay to begin. Sharply cut roots produce a flush of new roots helping the tree to recover from its injury.
6. Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
7. A clear system of flagging must be provided around trees within 20' of the proposed grading. Contractor shall secure approval of such system from the city arborist or arborist employed by city.
8. Materials, equipment, temporary buildings, fuels, paints and other construction items shall not be placed within the drip line of existing trees.



**CITY OF SANTA CLARA
ARBORIST NOTES**

9. Fence all trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fencing shall be placed at the drip line of existing trees or, if possible, 1.5 times the radius of the drip line out from the trunk of the tree. A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 8.5"x11" and clearly state "warning - tree protection zone this fence shall not be removed without approval from the city arborist/project arborist". Fences shall be 6-foot tall chain link or equivalent, as approved by the city arborist or arborist employed by city. Fences shall remain until all grading and construction work is completed. In addition, wrap all trees with straw waddle up to the first main branch, and then wrap snow fencing around the waddle on all trees in the construction zone to protect them from bark damage caused by the work.
10. No trenching shall be done within the drip line of existing trees without the approval of the city arborist or arborist employed by city. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside the drip line of the tree involved. Except as may be allowed if in the opinion of the city arborist or arborist employed by city, the impact of trenching on the tree will be negligible.
11. Any cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
12. Grading should not create drainage problems for trees by channeling water into them, or creating sunken areas.
13. All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade at the base of existing trees shall not be modified. If a grade increase is necessary, dry wells should be used.
14. When trenching is allowed, the contractor must first cut roots with a vermeer root cutter prior to any trenching to avoid tagging or pulling of roots.
15. Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the



**CITY OF SANTA CLARA
ARBORIST NOTES**

- contractor. The city arborist or arborist employed by city shall determine the replacement specie, size, quantity, and spacing.
16. Place 4"-6" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
 17. Bore pits are not allowed within the drip line of any tree.

II. BORING

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 5' DRIH, the installation must be made by boring. The beginning and ending distance of the bore from the face of the tree in any direction is determined by the diameter of the tree as specified by the accompanying table:

When the tree diameter at 4 1/2 feet is:	Trenching will be replaced by boring at this minimum distance from the face of the tree in any direction:
0-2 inches	1 foot
3-4 inches	2 feet
6-9 inches	5 feet
10-14 inches	10 feet
15-19 inches	12 feet
over 19 inches	15 feet

Tree diameter	(minimum) depth of bore
0 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

III. TREE PROTECTION

1. Contractor shall tag and identify existing trees which are to remain within the project limits and on the public right-of-way prior to start of work. Protect all tagged trees at all times from damage by the work. Treatment of all minor damage to tagged trees shall be performed by an ISA certified arborist or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently



**CITY OF SANTA CLARA
ARBORIST NOTES**

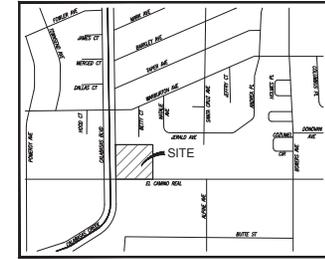
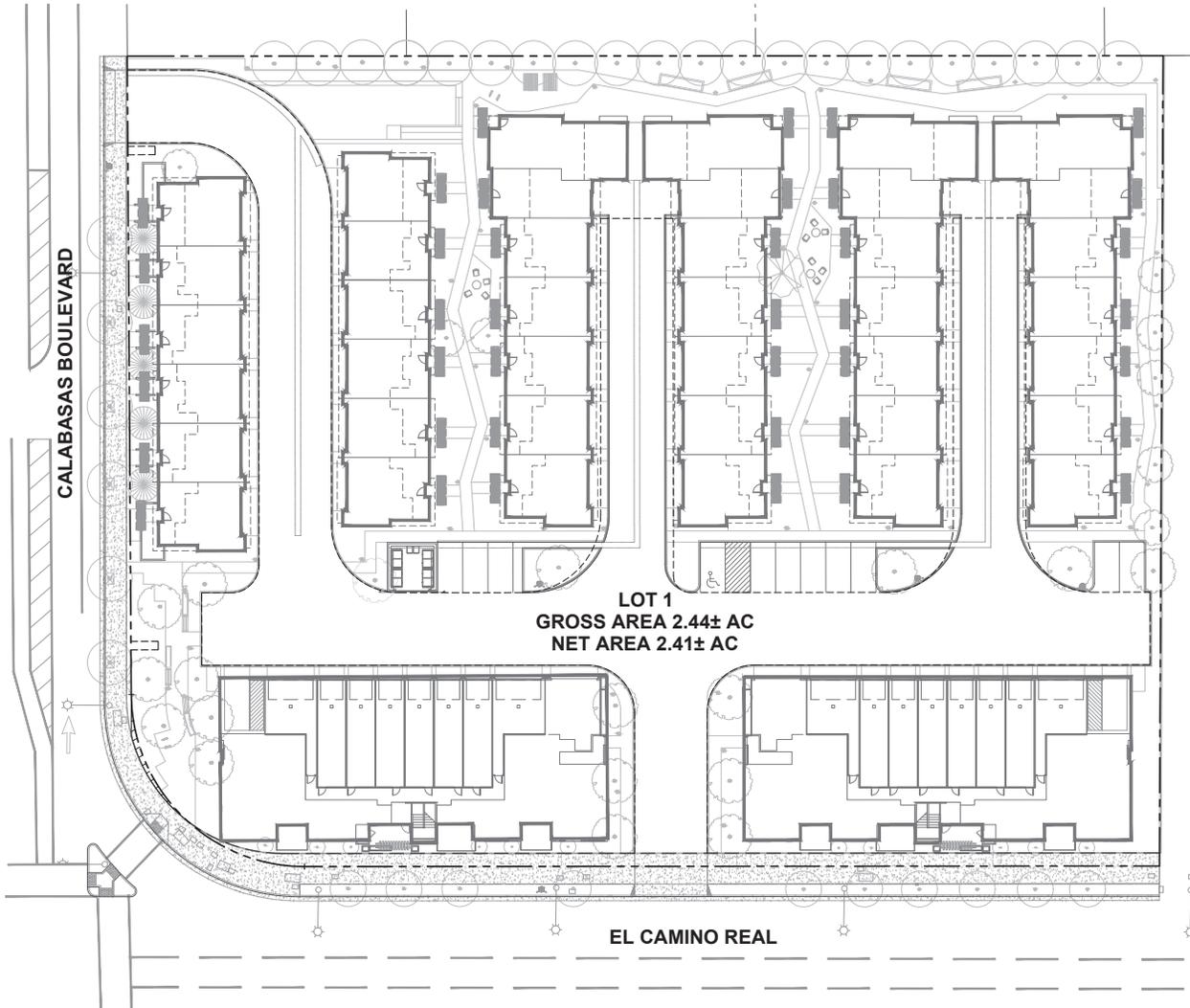
disfigured or killed as a result of the work, contractor shall remove the tree, including its roots, from the site and replace each removed tree with an equal-sized tree. If such replacement is not possible, the contractor shall reimburse to the tree owner the amount listed in the table below. The city arborist or arborist employed by city shall be the sole judge of the condition of any tree. Contractor shall provide regular watering of existing landscaping within the construction area through the construction period.

2. Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protection and maintenance. The payment amount shall be in accordance with the following schedule of values, using "tree caliper" method established in the most recent issue of the "guide for establishing values of trees and other plants", prepared by the council of tree and landscape architects.

7 inches	\$ 2,400
8 inches	\$ 3,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$ 10,000
16 inches	\$ 11,000
17 inches	\$ 12,000
18 inches and over: Add for each caliper inch	\$ 1,200

3155 EL CAMINO REAL

SANTA CLARA, CALIFORNIA



ABBREVIATION:

- AN/PNT Angle Point
- ARV Air Release Valve
- ASB Appurtenant Subbase
- BC Begin Curve
- BS Blowoff Valve
- B/W Back Of Walk
- C&G Curb & Gutter
- CS Centerline
- CR Curb Ramp
- DIP Ductile Iron Pipe
- DL Centerline Of Driveway
- EASE Easement
- EF Edge Of Pavement
- ER Edge Of Return
- FIH Fire Hydrant
- FL Fire Line
- FS Fire Service
- FRV Front Of Walk
- GRD Grade Break
- HP High Point
- INW Invert
- LA Lateral
- LA Rt Low Point
- LA Lt Low Point
- LE Public Utility Easement
- PC Public Utility
- RCP Reinforced Concrete Pipe
- RW R/W
- RS Sanitary Sewer
- SS Sanitary Sewer Clean Out
- SDD Storm Drain Drop Inlet
- SM Storm Drain Manhole
- SMH Sanitary Sewer Manhole
- SS Lat Sanitary Sewer Lateral
- SS Sid Sanitary Sewer Lateral
- TC Top Of Curb
- TRC Top Of Depressed Curb
- TRC Top Of Volled Curb
- TRC Top Of Vertical Curb
- VCP Vitrified Clay Pipe
- WL Water Line Easement
- WM Water Meter
- WS Water Service
- WV Water Valve
- WV Crossing

LEGEND:

DESCRIPTION	TO BE CONST.	EXISTING
PROPERTY LINE	---	---
CENTERLINE	---	---
CURB AND GUTTER	---	---
SIDEWALK	---	---
STANDARD HOODED INLET	▲	▲
CITY SURVEY MONUMENT	▲	▲
FIRE HYDRANTS	■	■
ELECTROQUIP	⊗	⊗
ELECTROQUIP (REMOVED/RELOCATED)	⊗	⊗
FULL BOX	⊗	⊗
P, G & E SERVICE POINT	⊗	⊗
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER	---	---
GAS	---	---
ELECTRIC CONDUIT	---	---
JOINT TRENCH	---	---
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
DRIVEWAY	---	---
HANDICAP RAMP	---	---
NEW AC PAVEMENT	---	---
KEY TO CHANGES	---	---
STREET TREES	---	---
WATER METER	---	---

SHEET INDEX

- C1.0 TITLE SHEET
- C2.0 EXISTING CONDITIONS & PRELIMINARY REMOVAL PLAN
- C3.0 GRADING & DRAINAGE
- C4.0 STORMWATER CONTROL PLAN
- C4.1 STORMWATER CONTROL NOTES & DETAILS
- C4.2 MEDIA FILTER NOTES
- C5.0 UTILITY PLAN
- C5.1 COMPOSITE TREE PLAN
- C6.0 SECTIONS & DETAILS
- C7.0 FIRE PROTECTION PLAN

SITE ADDRESS

3155 EL CAMINO REAL
SANTA CLARA, CALIFORNIA

BASIS OF BEARINGS:

THE BEARING, N 0°29'33" EAST, OF THE NORTHERLY LINE OF EL CAMINO REAL, AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD ON MARCH 5, 1957, IN BOOK 79 OF MAPS, PAGE 32, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK:

VERTICAL DATUM IS BASED UPON SOUND BENCHMARK #31, A BRASS DISK IN THE SIDEWALK ON THE SOUTH SIDE OF THE EL CAMINO REAL BRIDGE OVER CALABASAS CREEK, HAVING AN ELEVATION OF 88.93 FEET (NAVD88)

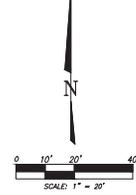
FLOOD HAZARD NOTE:

THE PARCEL DESCRIBED HEREON IS LOCATED WITHIN THE FLOOD HAZARD ZONE DESIGNATION ZONE X, AS SHOWN UPON THE FLOOD INSURANCE RATE MAP (FIRM) ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR THE CITY OF SANTA CLARA, SANTA CLARA COUNTY, EFFECTIVE DATE: AUGUST 10, 2021.

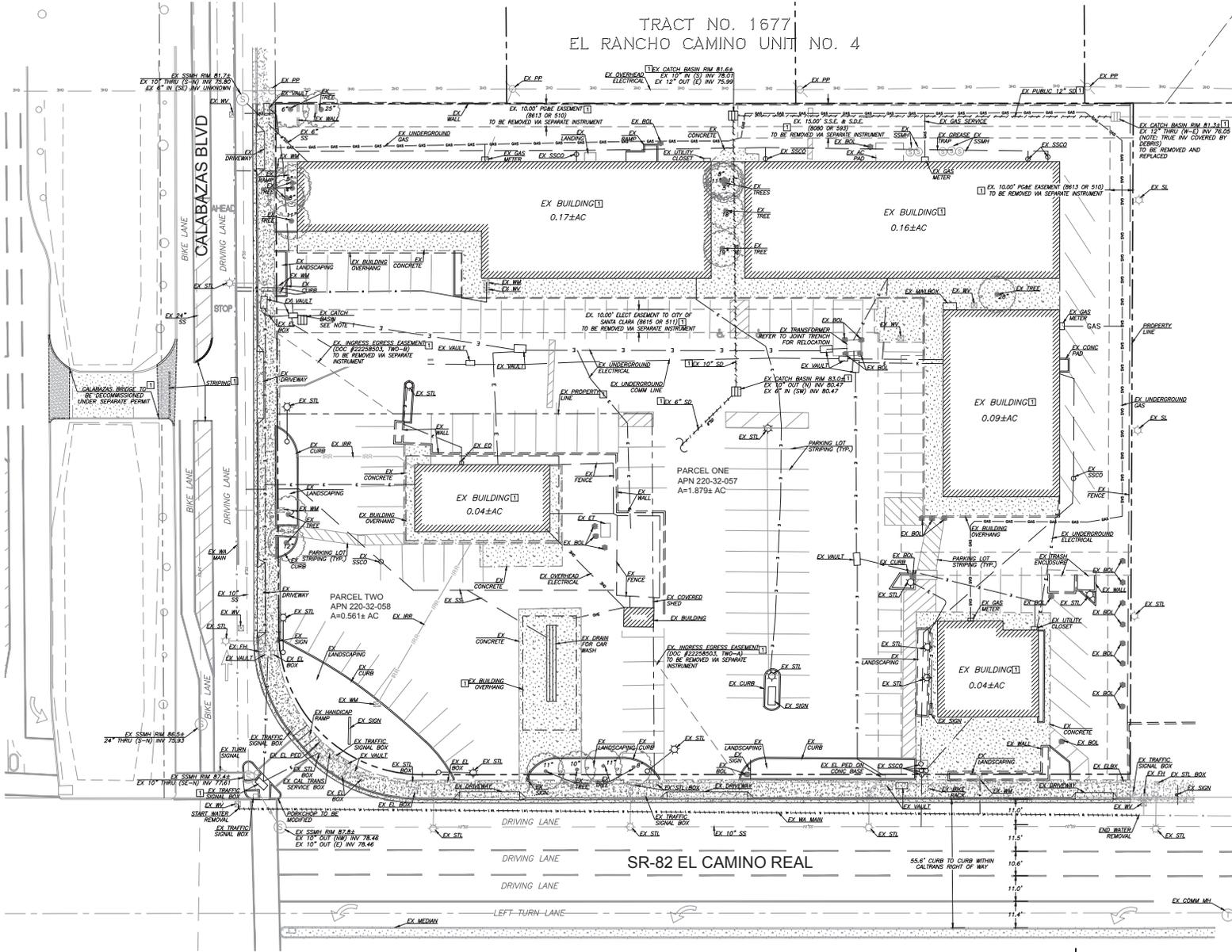
SAID ZONE X IS DEFINED AS AREAS WITH REDUCED FLOOD RISK DUE TO LEVEE.

SURVEY NOTE:

ALL FEATURES SHOWN HEREON REPRESENT SURFACE CONDITIONS OF THE PROJECT AREA AS COMPILED FROM AERIAL AND GROUND SURVEYS COMPLETED ON SEPTEMBER 8, 2020, SEPTEMBER 9, 2020 AND SEPTEMBER 28, 2020. NO ATTEMPT HAS BEEN MADE BY SURVEYOR TO DETERMINE THE EXISTENCE OR EXTENT OF UNDERGROUND UTILITIES OR OTHER FEATURES NOT SURFACE VISIBLE.



TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4



BASIS OF BEARINGS:
THE BEARING IS 89°59'53" EAST, OF THE NORTHERLY LINE OF EL CAMINO REAL, AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD ON MARCH 5, 1997, IN BOOK 76 OF MAPS, PAGE 32, S.C.C., WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

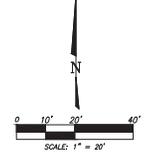
BENCHMARK:
VERTICAL DATUM IS BASED UPON SCONO BENCHMARK #31:
A BRASS PIN IN THE BENCHMARK ON THE SOUTH SIDE OF THE EL CAMINO REAL BRIDGE OVER CALABAZAS CREEK, HAVING AN ELEVATION OF 88.93 FEET (NAVB88).

GENERAL NOTES:
1. SCONO DRAWN SHEET LATERAL UNCOVERED BY SURVEY, TO BE REMOVED ONSITE AND CUT & CAPPED AT PROPERTY LINE PER CITY OF SANTA CLARA STANDARD DETAILS.
2. UTILITIES SHOWN ON THIS PLAN ARE ONLY CONSIDERED CORRECT UNLESS CONTRACTOR U.S.A. (UNDERGROUND SERVICE ALERT) AT (800)-227-2600 FOR LOCATION OF ALL UTILITIES. THE OWNER/CONTRACTOR MAY HIRE AN INDEPENDENT CONSULTANT TO LOCATE AND VERIFY ALL ONSITE UTILITIES AT THEIR OWN DISCRETION.

- LEGEND**
- TO BE REMOVED
 - ▨ CONCRETE TO BE REMOVED
 - ▩ ASPHALT TO BE REMOVED
 - TREE
 - +++++ TO BE REMOVED

CONSTRUCTION SOLID WASTE MANAGEMENT NOTES

1. ALL CONSTRUCTION AND DEMOLITION (C&D) PROJECTS OVER 5,000 SQUARE FEET SHALL TRACK AND OVERT A MINIMUM OF 65% OF THE DEBRIS CREATED DURING THE PROJECT. DIVERSION IS ACHIEVED THROUGH RECYCLING OR REUSE. ALL CONTRACTORS AND SUB-CONTRACTORS ARE RESPONSIBLE FOR THE PROPER MANAGEMENT OF THE C&D DEBRIS ON THE PROJECT SITE. THIS MAY INVOLVE SEPARATING RECYCLABLE MATERIALS FROM NONRECYCLABLE MATERIALS BEFORE HAULING TO A RECYCLING OR DISPOSAL FACILITY IN ORDER TO ACHIEVE 65% DIVERSION.
2. PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL CREATE A CONSTRUCTION WASTE MANAGEMENT PLAN (CWMP) AND OBTAIN A PROJECT TRACKING NUMBER USING SANTA CLARA WASTE INFORMATION HOSTED BY GREENWALD. ALL MISSION TRAILS WASTE SYSTEMS HIRED DEBRIS BOXES SHALL BE TAKEN TO ZANKER LANDFILL FOR PROCESSING. ALL OTHER C&D WASTE SHALL BE TAKEN TO A CITY-AUTHORIZED WASTE DIVERSION FACILITY. FOR A CURRENT LIST OF THESE CITY-AUTHORIZED WASTE FACILITIES VISIT SANTACLARACALGOV.GOV.
3. THROUGHOUT THE PROJECT UPLOAD ALL WEIGHT TICKETS FOR DEBRIS GOING TO SALVAGE, RECYCLING AND OPTICAL FACILITIES INTO THE ONLINE WASTE TRACKING SYSTEM. WEIGHT TICKETS MUST STATE THE SYSTEM ADDRESS AND THE MATERIAL TYPE ON THE TICKETS MUST MATCH WHAT IS ENTERED INTO THE SYSTEM. FAILURE TO DEFINE AND TRACK WASTE DIVERSION WILL AFFECT THE PROJECT'S DIVERSION RATE AND MAY RESULT IN PENALTIES.
4. AT A MINIMUM OF TWO WEEKS PRIOR TO FINAL BUILDING INSPECTION, UPLOAD ALL WEIGHT TICKETS AND SUBMIT THE CWMP REPORT ONLINE FOR FINAL REVIEW. EVIDENCE OF FINAL APPROVAL IS REQUIRED WHEN REQUESTING THE FINAL INSPECTION.
5. PROJECTS THAT FAIL TO ACHIEVE THE 65% DIVERSION RATE ARE SUBJECT TO A FINE EQUAL TO THE DIVERSION SHORTFALL MULTIPLIED BY THE SQUARE FOOTAGE OF THE PROJECT, MULTIPLIED BY \$1. FINE SHALL BE PAID PRIOR TO THE PROJECT CLOSURE.
6. MISSION TRAIL WASTE SYSTEMS HAS THE EXCLUSIVE RIGHTS TO PROVIDE ALL HIRED DEBRIS BOX SERVICES IN ALL AREAS OTHER THAN THOSE ZONED AS INDUSTRIAL. NO OTHER HAULER SHALL BE HIRED TO PLACE DEBRIS BOXES WITHIN THESE ZONES. DEBRIS BOXES MAY BE ORDERED BY CONTACTING MISSION TRAIL WASTE SYSTEMS AT 408-727-5363. A CITY ENCROACHMENT PERMIT IS REQUIRED PRIOR TO THE PLACEMENT OF ALL DEBRIS BOX ON A CITY STREET.
7. FOR AREAS ZONED INDUSTRIAL IT IS PERMISSIBLE TO HIRE A DEBRIS BOX COMPANY FROM THE CITY OF SANTA CLARA'S APPROVED NON-EXCLUSIVE FRANCHISE HAULER LIST. FOR A CURRENT LIST OF APPROVED NON-EXCLUSIVE FRANCHISE HAULERS VISIT SANTACLARACALGOV.GOV.
8. THE USE OF ANY OTHER HAULING SERVICE OUTSIDE OF THOSE LISTED ABOVE REQUIRES ADVANCED APPROVAL BY THE CITY OF SANTA CLARA - ENVIRONMENTAL PROGRAMS STAFF. FOR INQUIRES CALL 408-615-3080 OR EMAIL ENVIRONMENT@SANTACLARACALGOV.GOV.
9. FAILURE TO ABIDE BY THESE DEBRIS BOX/HAULING REQUIREMENTS IS A VIOLATION OF SANTA CLARA CITY CODES 8.2.2.209 AND IS SUBJECT TO A \$1000 FINE.

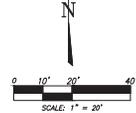
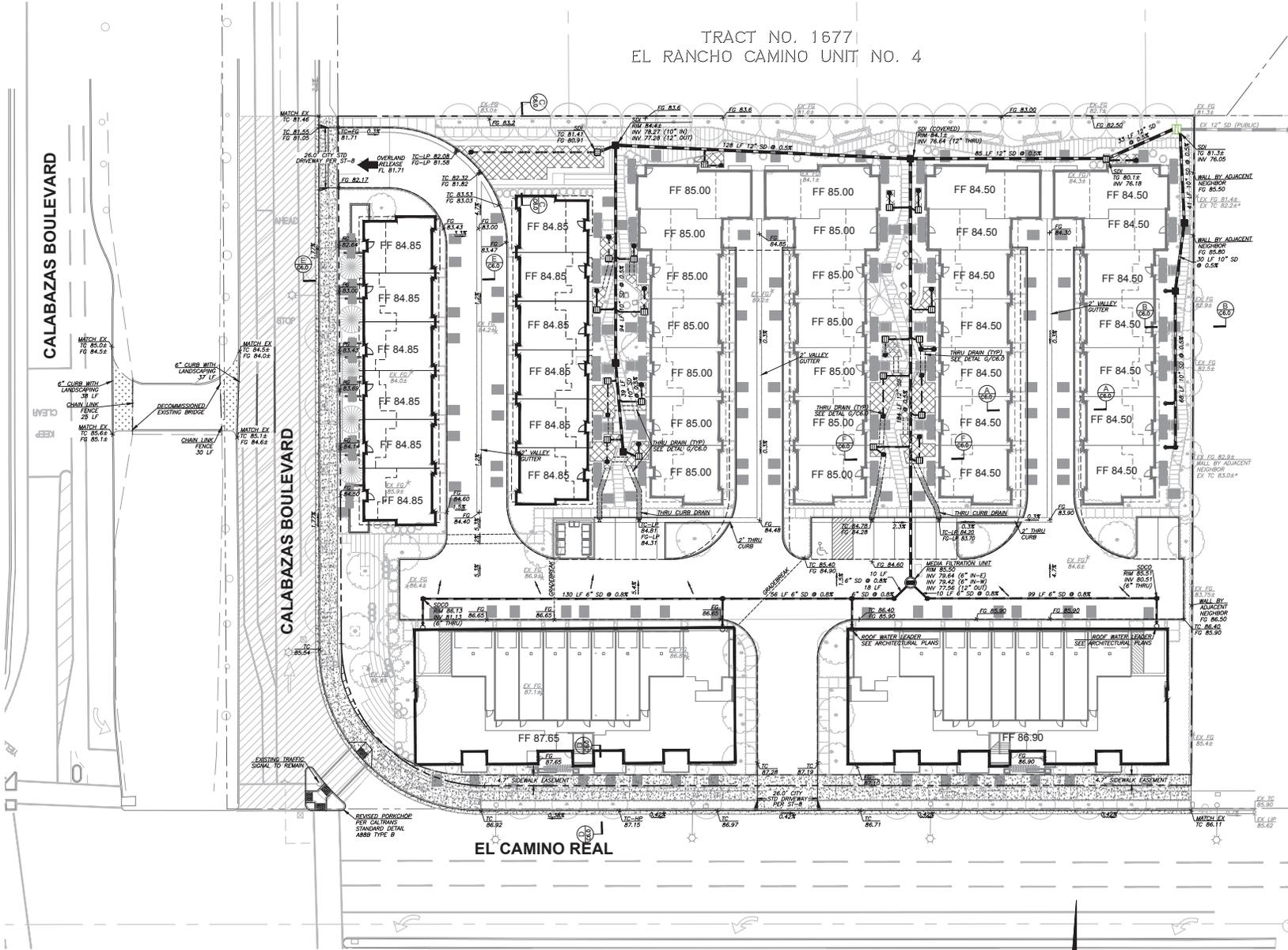


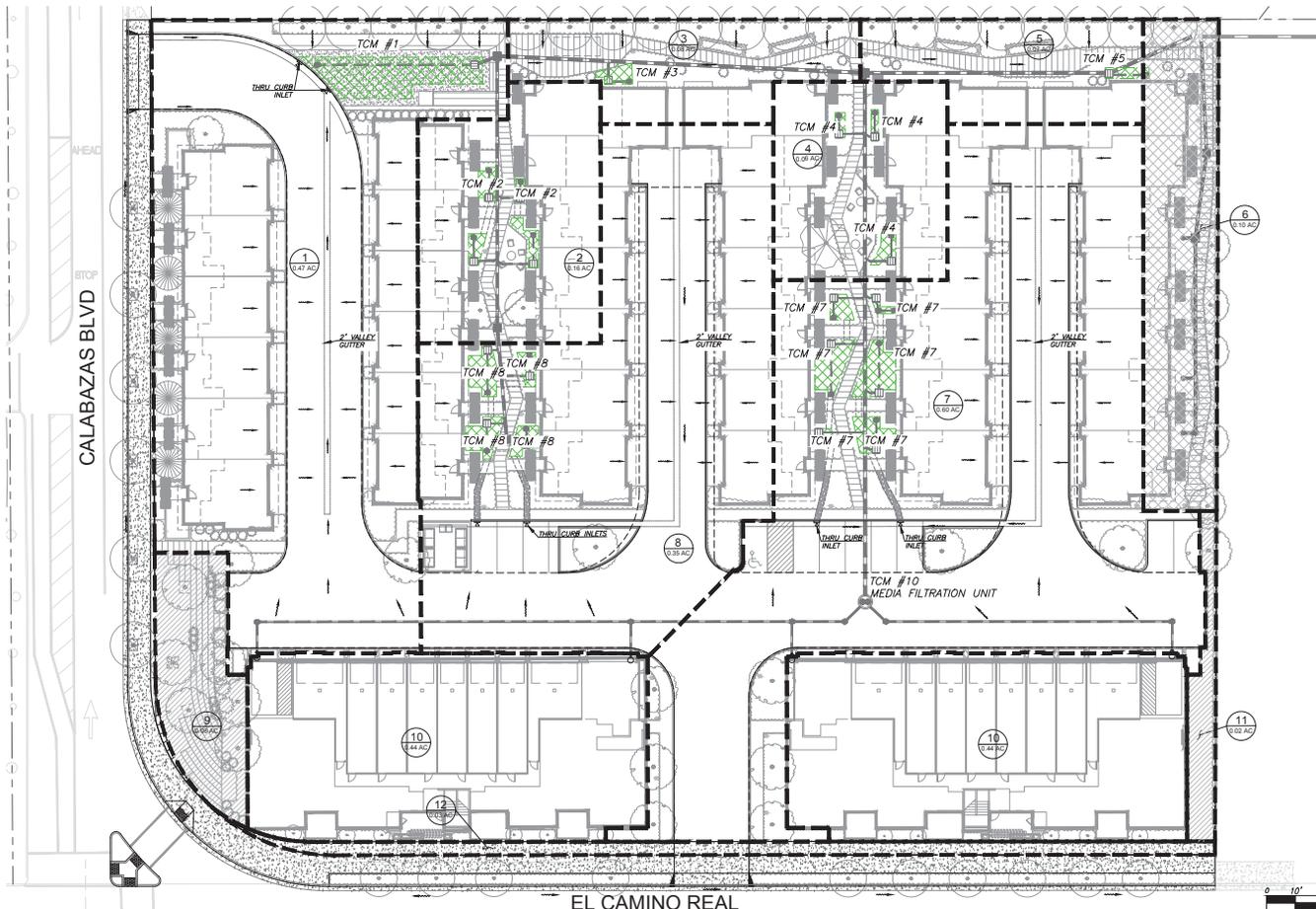
TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4

- GENERAL GRADING & DRAINAGE NOTES:**
1. ALL ON-SITE STORM DRAIN PIPES SHALL BE RCP CLASS II UNLESS OTHERWISE SPECIFIED
 2. ALL PVC TO CONCRETE CONNECTIONS SHALL BE DONE WITH WATERSTOP PER CITY OF SUNSHINE STANDARD DETAIL.
 3. ALL INLETS TO BE INSTALLED PER CITY STANDARD DETAIL.

LEGEND

	SLURRY SEAL STRIPING TO BE REPLACED TO PRE-IMPROVEMENT CONDITION
	NEW PLANTING



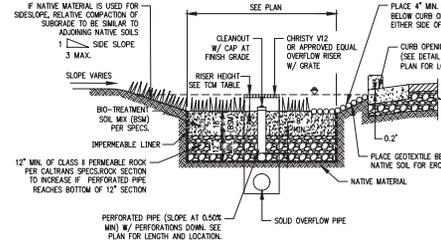


LEGEND

- BIOTREATMENT AREAS
- SELF-RETAINING AREAS
- DRAINAGE MANAGEMENT AREA (DMA)
- DRAINAGE AREA (DA)
- DRAINAGE AREA BOUNDARY LINE

NOTES

1. PROJECT WILL NOT LOCATE OVERFLOW STRUCTURES DIRECTLY IN LINE WITH OR NEXT TO STORMWATER INLET STRUCTURES.
2. PER CHAPTER 2.3 OF THE CS STORMWATER HANDBOOK ROADWAY PROJECTS THAT ADD NEW SIDEWALK ALONG AN EXISTING ROADWAY ARE EXEMPT FROM PROVISION C.3.C OF THE STORMWATER PERMIT.
3. STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUE ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT. MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
4. DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS. CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PLANT AND PROPERTY AND AT THE APPROPRIATE TIME OF YEAR, PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.
5. PROJECT FALLS WITHIN SPECIAL PROJECT CATEGORY "C" STATUS DRAINING AT LEAST 50% OF SITE'S IMPERVIOUS AREA MAY BE TREATED THROUGH MEDIA FILTRATION ELEMENTS INSTEAD OF BIOTREATMENT THROUGH MEDIA FILTRATION.
6. STORM DRAIN INLETS TO INCLUDE "NO DUMPING" - FLOWS TO BE STOPPED IN 3" WHITE LETTERING PER CITY OF SANTA CLARA STANDARDS.
7. PERFORATED PIPE SHALL BE PVC SDR 35 WITH PERFORATIONS FACED DOWN UNLESS OTHERWISE NOTED.



1 BIOTREATMENT BASIN W/ LINER
SCALE: N.T.S.

SIZING METHODS:
4% METHOD & FLOW COMBO

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIOTREATMENT AREAS

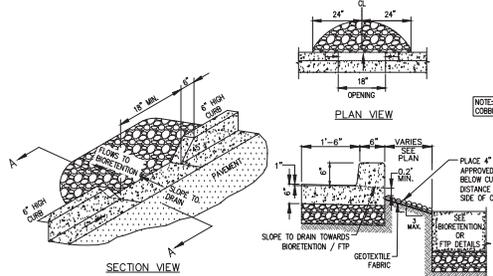
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIOTREATMENT AREA AND ITS INLETS AND OUTLETS, AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIOTREATMENT AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIOTREATMENT AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIOTREATMENT AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location	Treatment Type	LED of Non-LED	Sizing Method	Drainage Area (A _D)	Impervious Area (A _I)	Permeable Area (A _P)	Previous Area (A _P)	% Onsite Area Treated by LED or Non-LED TCM	Bioretention Area Required (A _R)	Bioretention Area Provided (A _P)	Overflow Riser Height (ft)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)	# of Credit Times	Treatment Credit (x.t.)	Comments
1	1	Onsite	Bioretention lined w/ underdrain	LED	2C Flow 4% Method	20,536	17,404	0	3,132	19.60%	696	697	6	3	3	N/A	N/A	N/A	N/A	N/A	N/A	
2	2	Onsite	Bioretention lined w/ underdrain	LED	2C Flow 4% Method	6,973	5,023	0	1,950	6.69%	201	202	6	3	3	N/A	N/A	N/A	N/A	N/A	N/A	
3	3	Onsite	Bioretention lined w/ underdrain	LED	2C Flow 4% Method	3,526	1,580	0	1,946	3.37%	63	63	6	3	3	N/A	N/A	N/A	N/A	N/A	N/A	
4	4	Onsite	Bioretention lined w/ underdrain	LED	2C Flow 4% Method	4,168	3,188	0	980	3.98%	128	132	6	3	3	N/A	N/A	N/A	N/A	N/A	N/A	
5	5	Onsite	Bioretention lined w/ underdrain	LED	2C Flow 4% Method	3,121	1,432	0	1,689	2.98%	57	60	6	3	3	N/A	N/A	N/A	N/A	N/A	N/A	
6	6	Onsite	Self-retaining areas	LED	2C Flow 4% Method	4,411	2,473	0	1,938	4.21%	0	0	3	0.25	0.25	N/A	N/A	N/A	N/A	N/A	N/A	
7	7	Onsite	Bioretention lined w/ underdrain	LED	3 Flow Volume Control	35,660	21,599	0	3,691	24.52%	628	628	6	3	3	N/A	N/A	N/A	N/A	N/A	N/A	
8	8	Onsite	Bioretention lined w/ underdrain	LED	3 Flow Volume Control	15,198	13,006	0	2,292	14.51%	394	399	6	3	3	N/A	N/A	N/A	N/A	N/A	N/A	
9	9	Onsite	Self-retaining areas	LED	N/A	2,320	0	0	2,320	2.21%	0	0	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
10	10	Onsite	Proprietary Media Filter System (MFS)	Non-LED	2C Flow 4% Method	17,990	15,637	0	2,053	17.17%	0	0	0	N/A	N/A	N/A	2	2	PhosphoSub	18	N/A	N/A
11	11	Onsite	Self-retaining areas	LED	2C Flow 4% Method	841	0	0	841	0.80%	0	0	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
12	12	Offsite	Roadway Project	N/A	2C Flow 4% Method	859	0	0	856	0.00%	0	0	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
Totals:						104,714	82,842	0	21,932	100.00%												

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS. CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR, PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.



CURB OPENING
SCALE: N.T.S.

NOTE: ON SLOPES STEEPER THAN 3:1 CURB SHALL BE RECENT BROUGHT

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEAN-OUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

J M H Weiss
 IMH Weiss Project Number: #5133
 Project Name: 3155 El Camino Real
 Date: 02/11/2022
 Project Address: 3155 El Camino Real

Existing Flow Hydrology (10 Year)		Proposed Flow Hydrology (10 Year)	
Existing Pervious Area =	3,193	Proposed Pervious Area =	20,849
Existing Impervious Area =	101,581	Proposed Impervious Area =	83,925
C Value =	0.883	C Value =	0.791
Intensity (in/hour)** =	1.85	Intensity (in/hour)** =	1.85
Acreages =	2.41	Acreages =	2.41
Existing Q (cfs) =	3.93	Proposed Q (cfs) =	3.52

Existing Flow Hydrology (100 Year)		Proposed Flow Hydrology (100 Year)	
Existing Pervious Area =	3,193	Proposed Pervious Area =	20,849
Existing Impervious Area =	101,581	Proposed Impervious Area =	83,925
C Value =	0.883	C Value =	0.791
Intensity (in/hour)** =	2.5	Intensity (in/hour)** =	2.5
Acreages =	2.41	Acreages =	2.41
Existing Q (cfs) =	5.31	Proposed Q (cfs) =	4.75

Existing to Proposed Flow Differential (CFS) = -0.41
 Existing to Proposed Flow Reduction % = 10.49%

Existing to Proposed Flow Differential (CFS) = -0.56
 Existing to Proposed Flow Reduction % = 10.49%

** "C Value" weighted average counting pervious areas as C=0.18 & impervious as C=0.90
 * Intensity based on City of San Jose rain gauge with a 10 minute concentration time.

a. Total Site Area = 267		b. Total Site Area Distributed =	
Impervious Area (IA)		Existing IA	New IA
Pre-project (Existing) IA (ft²)	Related to IA (ft²)	Existing IA Replaced with IA (ft²)	Created (ft²)
Roof	30,474	17,418	7,465
Surface Parking	20,949	1,107	187
Sidewalks, streets, etc.	30,158	34,059	22,796
c. Total Impervious Area	101,581	0	52,584
d. Total new and replaced impervious area			82,942
Pervious Area (PA)	Pre-project (Existing) PA (ft²)	Total Post-Project PA (ft²)	
Landscaping ¹	3,193	23,832	
Pervious Paving			
Other (e.g. Green Roof)			
e. Total Pervious Area	3,193	23,832	
f. Total Area (IA+PA)	104,774	104,774	
g. Percent Replacement of IA in Redevelopment Projects (Total Existing IA Replaced with IA ÷ Total Existing IA) × 100% =	51.77%	51.77%	

3. State Construction General Permit Applicability:
- a. Is #2.b. equal to 1 acre or more?
- Yes, applicant must obtain coverage under the State Construction General Permit (see www.scrb.ca.gov/water_issues/programs/stormwater/construction.shtml) for details.
- No, applicant does not need coverage under the State Construction General Permit.
4. MRP Provision C.3 Applicability:
- a. Is #2.d. equal to 10,000 sq. ft. or more, or 5,000 sq. ft. or more for restaurants, auto service facilities, retail gas outlets, and stand-alone uncovered parking?
- Yes, C.3. source control, site design and treatment requirements apply
- No, C.3. source control and site design requirements may apply - check with local agency
- b. For redevelopment projects, is #2.g. equal to 50% or more?
- Yes, C.2. requirements (site design and source control, as appropriate, and stormwater treatment) apply to the entire site
- No, C.2. requirements only apply to the impervious area created and/or replaced
5. Hydromodification Management (HM) Applicability:
- a. Does the project create and/or replace one acre or more of impervious surface AND is the total post-project impervious area greater than the pre-project (existing) impervious area?
- Yes (continue) No - exempt from HM, go to page 3
- b. Is the project located in an area of HM applicability (green area) on the HM Applicability Map? (www.sewrppp-w2k.com/hm_maps.htm)
- Yes, the project must implement HM requirements
- No, the project is exempt from HM requirements

¹ The "new" and "replaced" IA are based on the total area of the site and not specific locations on site. "Retained" means to leave existing IA in place. "Replaced" means to reconstruct IA where existing IA is removed. "New" IA is the quantity of IA that exceeds "Retained" IA at the site.
² Include bioretention and infiltration areas in landscaping.

6. Selection of Specific Stormwater Control Measures:
- Site Design Measures**
- Minimize land disturbed (e.g., protect trees and soil)
 - Minimize impervious surfaces (e.g., reduction in post-project impervious surface)
 - Minimum-impact street or parking lot design (e.g., parking on top-of or under buildings)
 - Cluster structures/pavement
 - Disconnected downspouts (direct runoff from roofs, sidewalks, patios to landscaped areas)
 - Pervious pavement
 - Green roof
 - Other self-sealing area (e.g., landscaped areas)
 - Self-retaining area
 - Intercept trees¹
 - Rainwater harvesting and use (e.g., rain barrel, cistern for designated use)²
 - Preserved open space
 - Subject to sanitary sewer authority requirements
 - Protected riparian and wetland areas (Setback from top of bank: ft.)
 - Other
- Source Control Measures**
- Wash areas³, drain to sanitary sewer⁴
 - Covered dumpster area, drain to sanitary sewer⁴
 - Sanitary sewer connection or accessible cleanout for swimming pool/spa/fountain⁴
 - Beneficial landscaping (minimize irrigation, runoff, pesticides and fertilizers; promote treatment)
 - Outdoor material storage protection
 - Covers, drains for loading docks, maintenance bays, fueling areas
 - Maintenance (pavement sweeping, catch basin cleaning, good housekeeping)
 - Storm drain labeling
 - Other
- Flow Duration Controls for Hydromodification Management (HM)**
- Extended Detention basin
 - Underground tank or vault
 - Bioretention with outlet control
 - Other

¹ See SCRURPPP C.3 Handbook for definitions.
² Optional site design measure; does not have to be sized to comply with Provision C.3.d treatment requirements.
³ Subject to sanitary sewer authority requirements.
⁴ These treatment measures are only allowed if the project qualifies as a "Special Project".
⁵ These treatment measures are only allowed as part of a multi-step treatment process (i.e., for pretreatment).

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2.1 Name of DMA: 7

For Items 2 and 2.3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
Impervious surface	21,999	1.0	21,999
Pervious surface	3,691	0.1	369
Total DMA Area (square feet) =	25,690		
		Total Effective Impervious Area (EIA)	22,368 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5.2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns		
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients
Oakland Airport	18.35	0.67
San Jose	14.4	0.56

3.1 Unit basin storage volume from Table 5.2: **0.56** Inches
 (The coefficient for this method is 1.00, due to the conversion of only landings to effective impervious area)

3.2 Adjusted unit basin storage volume: **0.56** Inches
 (The unit basin storage volume is adjusted by applying the MMR adjustment factor)

3.3 Required Capture Volume (in cubic feet): **1,051** Cubic feet
 (The adjusted unit basin storage volume [inches] is multiplied by the size of the DMA and converted to feet)

4.0 Calculate the Duration of the Rain Event

4.1 Rainfall intensity: **0.2** Inches per hour

4.2 Hours of Rain Event Duration: **2.82** Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5.1 8% of DMA impervious surface: **895** Square feet

5.2 Area 25% smaller than item 5.1: **671** Square feet

5.3 Volume of treated runoff for area in item 5.2: **788** Cubic feet (item 5.1 * 5 inches per hour * 1/12 * item 4.2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6.1 Subtract item 5.3 from item 3.3: **263** Cubic feet (Amount of runoff to be stored in ponding area)

6.2 Divide item 6.1 by item 5.2: **0.4** Feet (Depth of stored runoff in surface ponding area)

6.3 Convert item 6.2 from ft. to inches: **4.7** Inches (Depth of stored runoff in surface ponding area)

6.4 If ponding depth in item 6.3 meets your target depth, skip to item 8.1. If not, continue to Step 7.1.

7.0 Optimize Size of Treatment Measure

7.1 Enter an area larger or smaller than item 5.2: **628** Sq. Ft. (enter larger area if you need less ponding depth; smaller for more depth.)

7.2 Volume of treated runoff for area in item 7.1: **738** Cubic feet (item 7.1 * 5 inches per hour * 1/12 * item 4.2)

7.3 Subtract item 7.2 from item 3.3: **313** Cubic feet (Amount of runoff to be stored in ponding area)

7.4 Divide item 7.3 by item 7.1: **0.50** Feet (Depth of stored runoff in surface ponding area)

7.5 Convert item 7.4 from feet to inches: **5.99** Inches (Depth of stored runoff in surface ponding area)

7.6 If the ponding depth in item 7.5 meets target, stop here. If not, repeat Steps 7.1 through 7.5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8.1 Final surface area of treatment: **628** Square feet (Either item 5.2 or final amount in item 7.1)

*Note: Check with the local jurisdiction as to its policy regarding the minimum bioretention surface area allowed.

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2.1 Name of DMA: 8

For Items 2 and 2.3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
Impervious surface	13,906	1.0	13,906
Pervious surface	1,292	0.1	129
Total DMA Area (square feet) =	15,198		
		Total Effective Impervious Area (EIA)	14,035 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5.2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns		
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients
Oakland Airport	18.35	0.67
San Jose	14.4	0.56

3.1 Unit basin storage volume from Table 5.2: **0.56** Inches
 (The coefficient for this method is 1.00, due to the conversion of only landings to effective impervious area)

3.2 Adjusted unit basin storage volume: **0.56** Inches
 (The unit basin storage volume is adjusted by applying the MMR adjustment factor)

3.3 Required Capture Volume (in cubic feet): **660** Cubic feet
 (The adjusted unit basin storage volume [inches] is multiplied by the size of the DMA and converted to feet)

4.0 Calculate the Duration of the Rain Event

4.1 Rainfall intensity: **0.2** Inches per hour

4.2 Hours of Rain Event Duration: **2.82** Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5.1 8% of DMA impervious surface: **561** Square feet

5.2 Area 25% smaller than item 5.1: **421** Square feet

5.3 Volume of treated runoff for area in item 5.2: **495** Cubic feet (item 5.1 * 5 inches per hour * 1/12 * item 4.2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6.1 Subtract item 5.3 from item 3.3: **165** Cubic feet (Amount of runoff to be stored in ponding area)

6.2 Divide item 6.1 by item 5.2: **0.4** Feet (Depth of stored runoff in surface ponding area)

6.3 Convert item 6.2 from ft. to inches: **4.7** Inches (Depth of stored runoff in surface ponding area)

6.4 If ponding depth in item 6.3 meets your target depth, skip to item 8.1. If not, continue to Step 7.1.

7.0 Optimize Size of Treatment Measure

7.1 Enter an area larger or smaller than item 5.2: **394** Sq. Ft. (enter larger area if you need less ponding depth; smaller for more depth.)

7.2 Volume of treated runoff for area in item 7.1: **463** Cubic feet (item 7.1 * 5 inches per hour * 1/12 * item 4.2)

7.3 Subtract item 7.2 from item 3.3: **197** Cubic feet (Amount of runoff to be stored in ponding area)

7.4 Divide item 7.3 by item 7.1: **0.50** Feet (Depth of stored runoff in surface ponding area)

7.5 Convert item 7.4 from feet to inches: **5.99** Inches (Depth of stored runoff in surface ponding area)

7.6 If the ponding depth in item 7.5 meets target, stop here. If not, repeat Steps 7.1 through 7.5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8.1 Final surface area of treatment: **394** Square feet (Either item 5.2 or final amount in item 7.1)

*Note: Check with the local jurisdiction as to its policy regarding the minimum bioretention surface area allowed.

OPERATION AND MAINTENANCE INFORMATION:

I. PROPERTY INFORMATION:
 I.A. PROPERTY ADDRESS:
 3155 EL CAMINO
 SANTA CLARA, CA 95051

I.B. PROPERTY OWNER:
 DM INVESTMENT GROUP

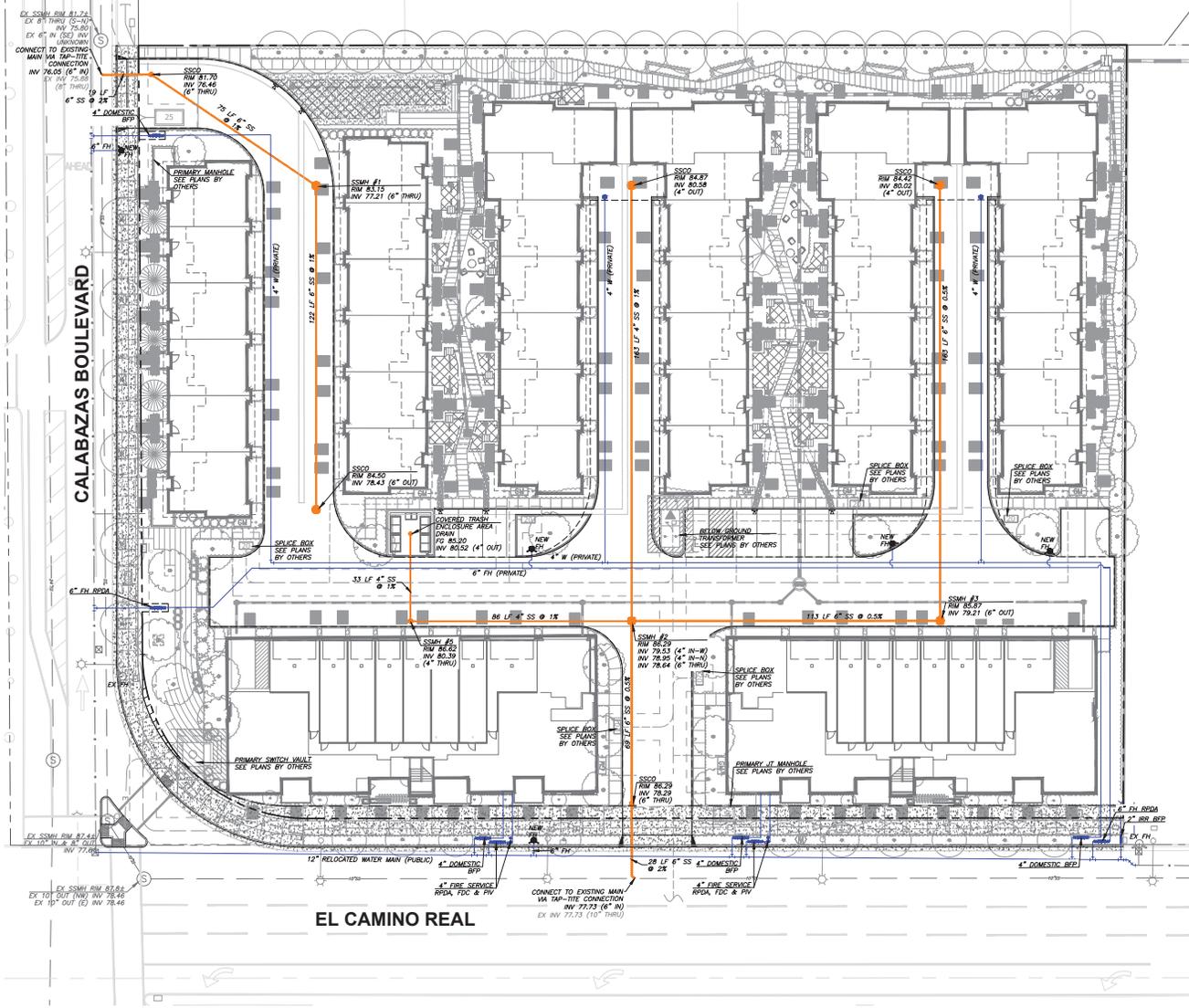
II. RESPONSIBLE PARTY FOR MAINTENANCE:
 I.A. CONTACT:
 CALIB CATER

I.B. PHONE NUMBER OF CONTACT:
 (650)-397-6280

I.C. EMAIL:
 CALIBCATER@BAYVIEWMDC.COM

I.D. ADDRESS:
 80 S MARKET ST. SAN JOSE, CA 95113

TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4



- GENERAL UTILITY NOTES:**
1. ALL ON-SITE SANITARY SEWER PIPES 12 INCHES OR LESS SHALL BE SDR-26 UNLESS OTHERWISE NOTED.
 2. ALL PVC TO CONCRETE CONNECTIONS SHALL BE DONE WITH WATERSTOP.
 3. WATER DESIGN IS SCHEMATIC ONLY AND NOT MEANT FOR CONSTRUCTION PURPOSES. REFER TO PLUMBING PLANS FOR FINAL DESIGN SPECIFICATIONS.
 4. ALL WATER LINES ON-SITE ARE PRIVATE UNLESS OTHERWISE NOTED.
- LEGEND**
- WATER LINE
 - - - - - SANITARY SEWER LINE
 - - - - - STORM DRAIN
 - - - - - JOINT TRENCH (SEE PLANS BY OTHERS)

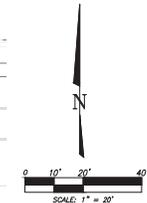
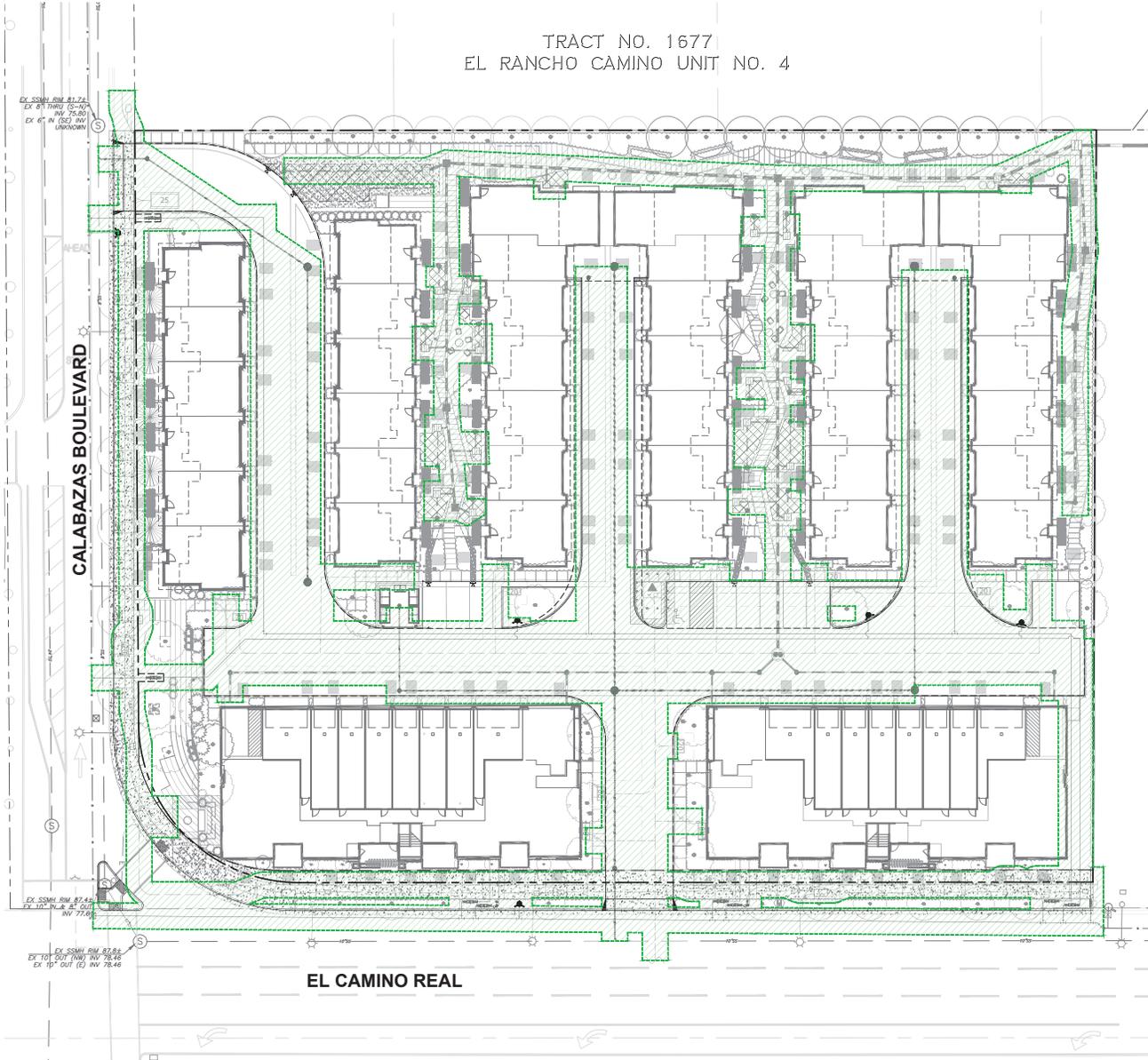
TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4

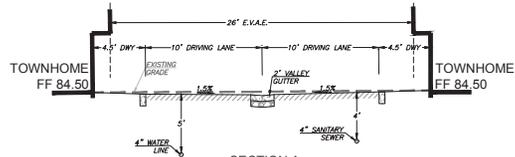
GENERAL COMPOSITE TREE PLAN NOTES

1. EXHIBIT DOCUMENTS 5' FROM DRY & WET UTILITIES AS CLEAR AREA FROM TREE PLANTING.

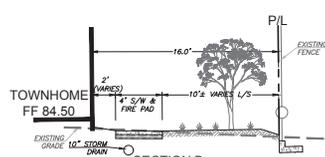
LEGEND

 5' CLEAR AREA NO TREE PLANTING ZONE

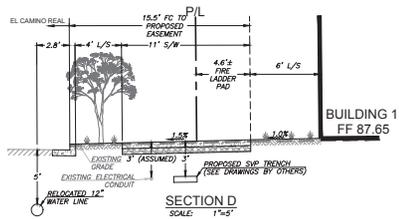




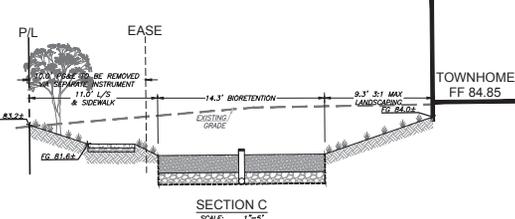
SECTION A
SCALE: 1"=5'



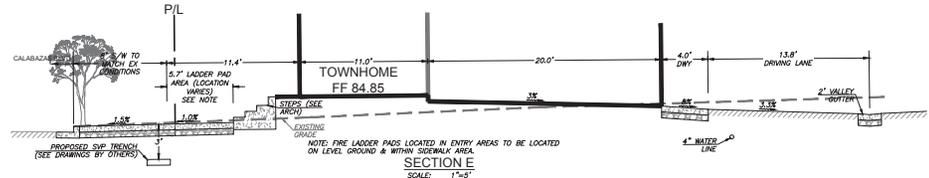
SECTION B
SCALE: 1"=5'



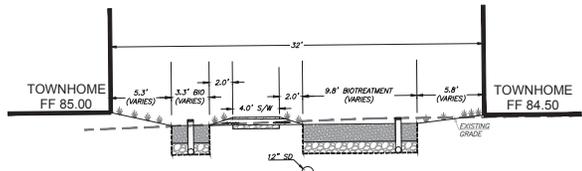
SECTION D
SCALE: 1"=5'



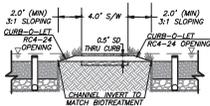
SECTION C
SCALE: 1"=5'



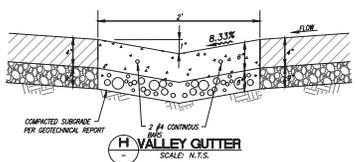
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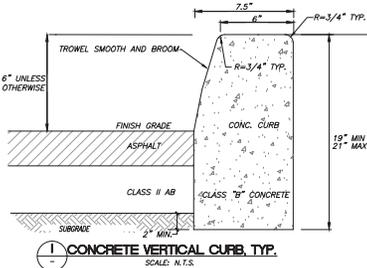
SECTION F
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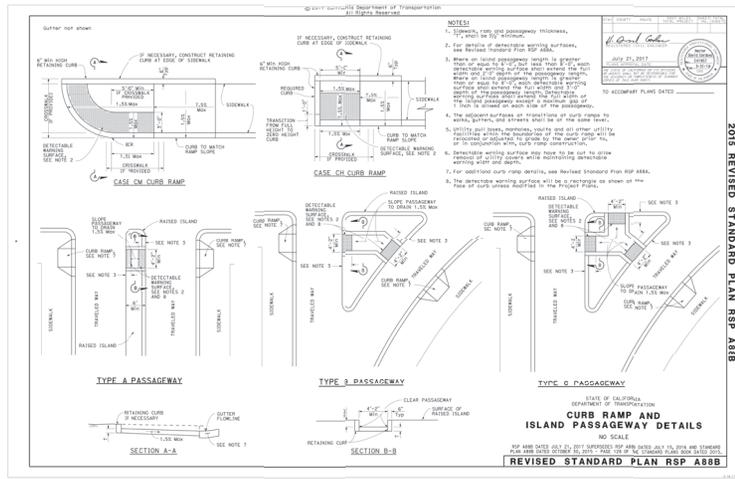
STANDARD THRU DRAIN
SCALE: 1"=5'



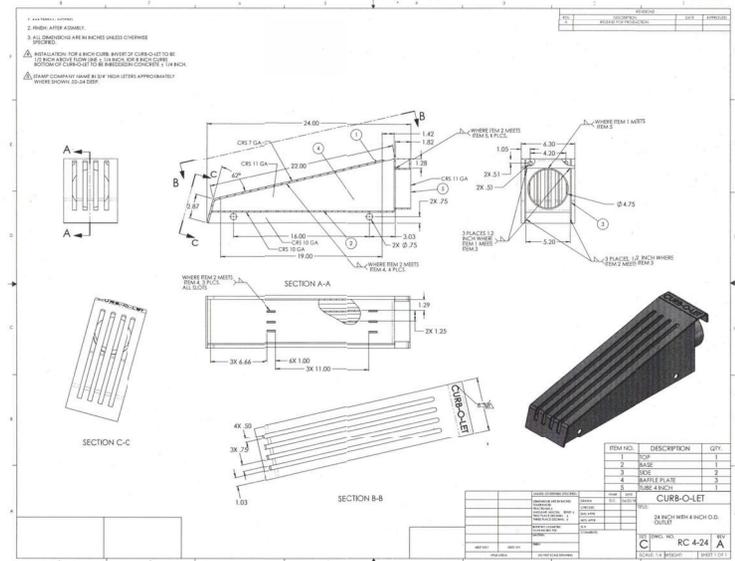
H VALLEY GUTTER
SCALE: N.E.S.



CONCRETE VERTICAL CURB, TYP.
SCALE: N.E.S.



STATE OF CALIFORNIA
REVISOR: JUNE 27, 2017
REVISED STANDARD PLAN RSP A88B



ITEM NO.	DESCRIPTION	QTY.
1	TOP	1
2	BASE	1
3	SOE	1
4	BATTLE PLATE	1
5	FLARE BRUSH	1

TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4

GENERAL NOTES:

- RED CURB TO READ "NO PARKING-FIRE LANE" IN WHITE PAINT, 6 INCHES IN HEIGHT WITH A MINIMUM 1-INCH STROKE EVERY 25 FEET.
- SEE FIRE ALARM LAYOUT ON PLANS BY OTHERS.
- ALL PRIVATE FIRE HYDRANTS SHOWN HEREON SHALL BE CLOW MODEL 860 OR EQUIVALENT.
- EACH SPRINKLER RISER SHALL BE PROTECTED BY A 17 LB GALVANIC ANODE WITH ALL METAL PIPE AND FITTINGS, FROM THE FLANGE 6" ABOVE FINISHED FLOOR TO THE DUCTILE IRON PIPE EXTENDING 5 LF BEYOND BUILDING LINE, AND BEING BONDED TOGETHER WITH A #8 CABLE.

FIRE PROTECTION NOTES:

- BUILDINGS 1 & 2**
 - CONSTRUCTION TYPE: VB
 - SQUARE FOOTAGE NEW WITH ARCHITECTURAL PLANS: 24,255 SF
 - FLOW REQUIREMENTS: 3,188 GPM FROM 3 HYDRANTS
 - MAX DISTANCE FROM ANY POINT TO A HYDRANT: 210 FEET
 - BUILDING 1 SERVED VIA #1, #4, #5, #6, & #7
 - BUILDING 2 SERVED VIA #2, #3, #4, #5, & #7
- BUILDINGS 3-8**
 - CONSTRUCTION TYPE: VB
 - SQUARE FOOTAGE NEW WITH ARCHITECTURAL PLANS: 12,940 SF
 - FLOW REQUIREMENTS: 2,250 GPM FROM 3 HYDRANTS
 - MAX DISTANCE FROM ANY POINT TO A HYDRANT: 225 FEET
 - BUILDING 3 SERVED VIA #1, #2, & #3
 - BUILDING 4 SERVED VIA #1, #2, & #3
- BUILDINGS 9-8**
 - CONSTRUCTION TYPE: VB
 - SQUARE FOOTAGE NEW WITH ARCHITECTURAL PLANS: 14,440 SF
 - FLOW REQUIREMENTS: 2,438 GPM FROM 3 HYDRANTS
 - MAX DISTANCE FROM ANY POINT TO A HYDRANT: 225 FEET
 - BUILDING 9 SERVED VIA #1, #3, & #4
 - BUILDING 6 SERVED VIA #1, #3, & #4
 - BUILDING 7 SERVED VIA #4, #5, & #6
 - BUILDING 8 SERVED VIA #4, #5, & #6
- ALL FIRE TRUCK ACCESSIBLE ROADWAYS FOR THIS PROJECT ARE, OR WILL BE, DESIGNED TO SUPPORT FIRE APPARATUS OF AT LEAST 75,000 LBS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS PLAN IS SCHEMATIC ONLY AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. REFER TO CONTRACTOR'S SHOP DRAWINGS FOR PIPE SIZING, LOCATION AND APPURTENANCES.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE JURISDICTION.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE JURISDICTION, THE RATING AGENCY AND THE ARCHITECT ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO THE START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL COORDINATE WITH THE OVERHEAD SPRINKLER CONTRACTOR FOR LOCATION OF RISER ASSEMBLIES.
- ALL FIRE DEPARTMENT ACCESS ROADS, WATER MAINS, AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL DURING CONSTRUCTION IN ACCORDANCE WITH THE FIRE CODE AND ALL OTHER APPLICABLE STANDARDS.
- LADDER PADS AS SHOWN LOCATED IN DRIVEWAYS OR HARDSCAPE AREAS. LADDER PADS REQUIRED TO BE BUILT AROUND LANDSCAPING WILL BE CONSTRUCTED VIA HARDSCAPE MATERIALS.

MATERIALS SCHEDULE

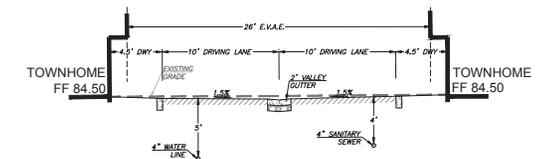
SANITARY SEWER PIPE	SDR26 OR EQUIVALENT
WATERMAIN (FS) PIPE	C900 CL200 PVC OR EQUIVALENT
STORM DRAIN	RCP CLASS III OR EQUIVALENT

FIRE SERVICE NOTES:

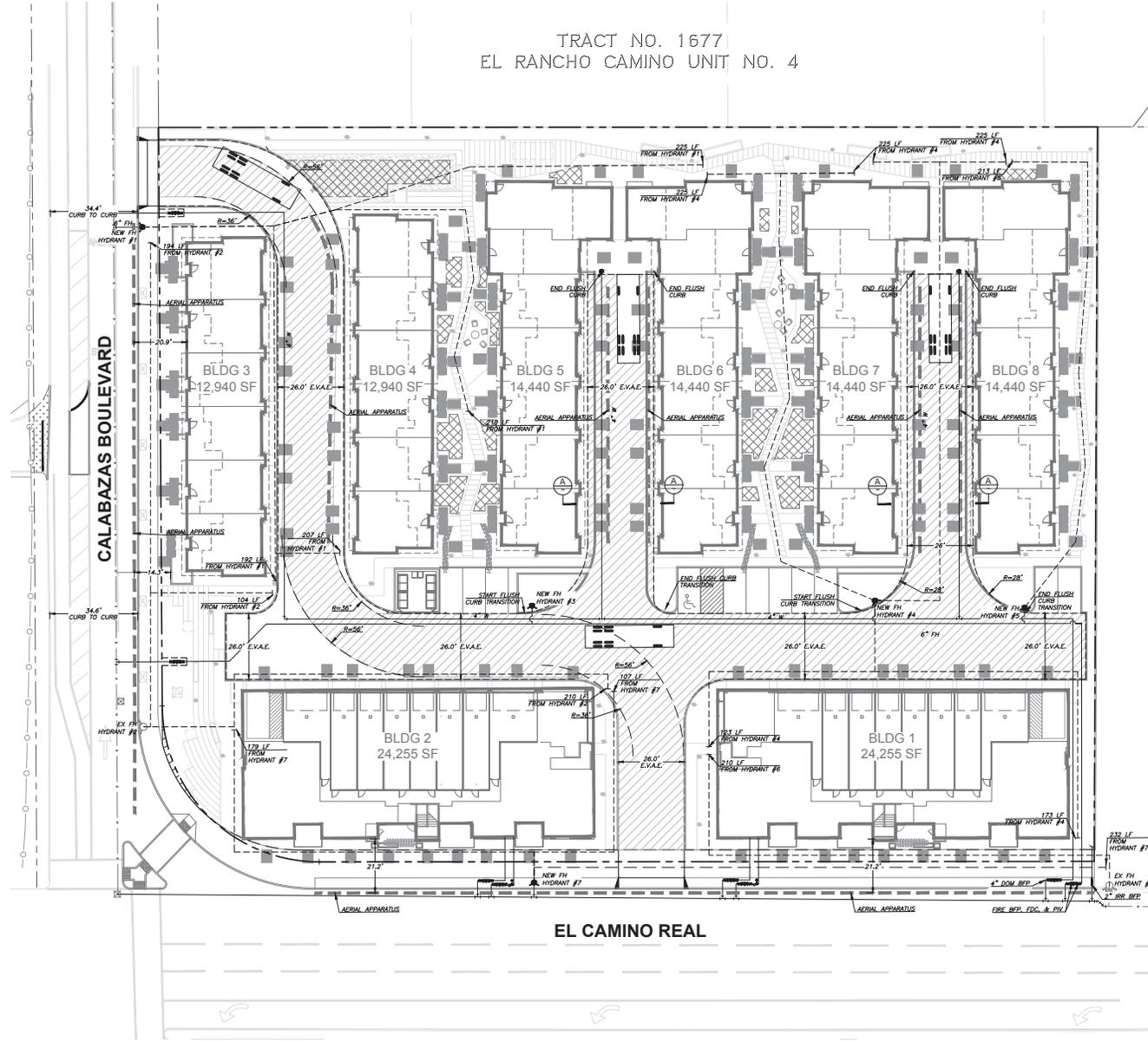
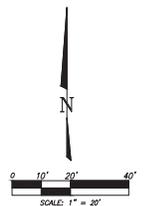
- FIRE SERVICE LAYOUT IS SCHEMATIC ONLY AND SUBJECT TO CHANGE WITH FINAL BUILDING FIRE DEMAND CALCULATIONS. UNDERGROUND CONTRACTOR TO PROVIDE SHOP DRAWINGS. EXISTING FIRE SERVICES TO REMAIN UNLESS NOTED OTHERWISE. ALL SHUTDOWN OF ACTIVE FIRE LOOPS REQUIRE NOTIFICATION OF FIRE DEPARTMENT AND OWNER. A SEPARATE PERMIT IS REQUIRED FOR UNDERGROUND FIRE SERVICE.
- FIRE SPRINKLER SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE JURISDICTION ALLOWING TIME FOR REVIEW AND ACCEPTANCE PRIOR TO THE START OF WORK.

LEGEND

- FIRE TRUCK ENVELOPE AREA
- AERIAL APPARATUS
- LADDER PAD (TO BE BUILT ON HARDSCAPE)
- ROLLED CURB LIMITS

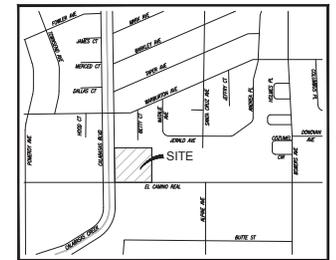
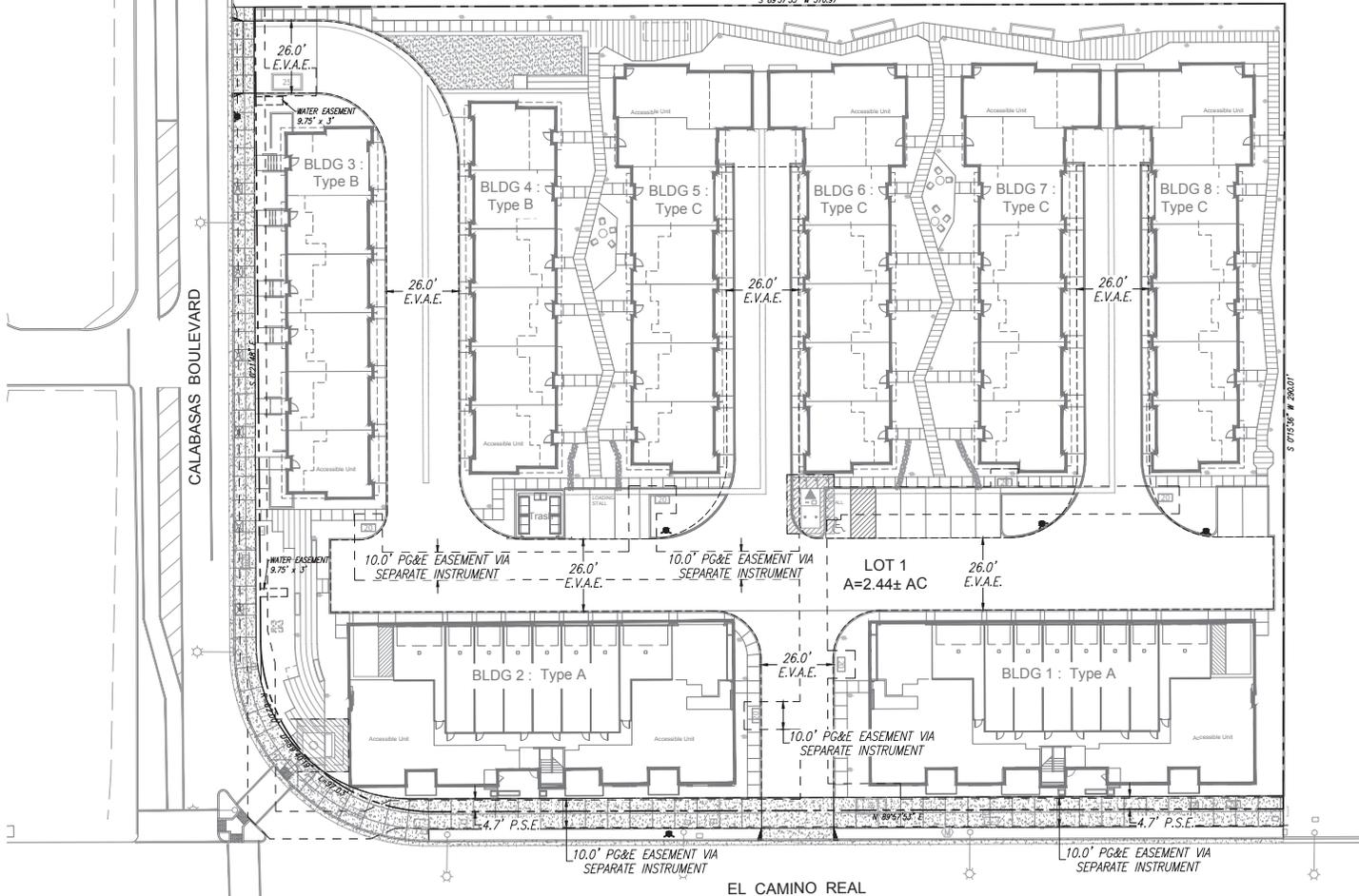


SECTION A
SCALE: 1" = 5'



TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4

S 89°5'31" W 370.97'

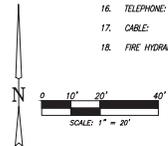


VICINITY MAP
NTS

BASIS OF BEARINGS
THE BEARING, N 89°5'31" EAST, OF THE NORTHERLY LINE OF EL CAMINO REAL, AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD ON MARCH 5, 1957, IN BOOK 76 OF MAPS, PAGE 32, S.C.C.R., WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK
VERTICAL DATUM IS BASED UPON SCWMD BENCHMARK #31: A BRASS DISK IN THE SIDEWALK ON THE SOUTH SIDE OF THE EL CAMINO REAL BRIDGE OVER CALABASAS CREEK, HAVING AN ELEVATION OF 88.93 FEET (NAVD83)

- GENERAL NOTES:**
- OWNER/SUBDIVIDER: OAK INVESTMENT GROUP
60 S MARKET STREET, STE #450
SAN JOSE, CA 95119
ATTN: EDWARD McMAHON
(650) 397-6289
 - CIVIL ENGINEER/
LAND SURVEYOR: KEVIN R. WEISS, R.C.E. 47967, P.L.S. 7139
DJ EDWARDS, R.C.E. 69368
JMH WEISS, INC.
1321 TECHNOLOGY DRIVE, STE #880
SAN JOSE, CA 95110
(408) 286-4555
 - ASSESSOR'S PARCEL NUMBER: 220-32-057 & 220-32-058
 - EXISTING ZONING/LAND USE: THOROUGHFARE COMMERCIAL
 - PROPOSED ZONING: NO CHANGE
 - SUBDIVIDED AREA: 2.44± ACRES (GROSS)
2.41± ACRES (NET)
 - TOTAL EXISTING LOTS: 2 LOTS
 - TOTAL PROPOSED LOTS: 1 LOT OF RESIDENTIAL CONDOMINIUM PURPOSES
 - EXISTING LAND USE: COMMERCIAL / RETAIL
 - PROPOSED LAND USE: 60 RESIDENTIAL CONDOMINIUM UNITS
 - WATER SYSTEM: CITY OF SANTA CLARA
 - STORM DRAIN: TO BE INSTALLED IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF SANTA CLARA
 - SANITARY SEWER: TO BE INSTALLED IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF SANTA CLARA
 - GAS: PACIFIC GAS & ELECTRIC (PG&E)
 - ELECTRIC: SILICON VALLEY POWER (SVP)
 - TELEPHONE: AT&T
 - CABLE: COMCAST
 - FIRE HYDRANTS: TO BE INSTALLED TO CONFORM TO LOCATIONS AND STANDARDS OF THE CITY OF SANTA CLARA



LEGEND & ABBREVIATIONS

- | | | | |
|--------|---------------------------------|---------|----------------------------------|
| --- | EX. PROPERTY LINE | ⊕ | ELECTRICAL STREET LIGHT |
| --- | EX. PROPERTY LINE TO BE REMOVED | ev | ELECTRICAL VAULT |
| --- | NEW PROPERTY LINE | gv | GAS VALVE |
| --- | EXISTING EASEMENT LINE | gs | SANITARY SEWER CLEANDOUT |
| --- | PROPOSED EASEMENT LINE | sk | SKIN |
| --- | BUILDING LINE | sl | SITE LIGHT |
| --- | FENCELINE | + 100.0 | SPOT ELEVATION |
| --- | WALL | - 100.0 | SPOT ELEVATION (AERALLY DERIVED) |
| --- | PROPOSED STORM DRAIN | sl | STREET LIGHT BOX |
| --- | PROPOSED SANITARY SEWER | sm | STORM DRAIN MANHOLE |
| --- | PROPOSED WATER | ts | TRAFFIC SIGNAL BOX |
| ■ or ■ | AREA DRAIN OR CATCH BASIN | tr | TRANSFORMER |
| cv | COMMUNICATIONS VAULT | uc | UTILITY CONDUIT |
| a | CURB DRAIN | u | UTILITY MANHOLE (TYPE UNKNOWN) |
| d | DETECTOR | up | UTILITY POLE |
| ev | DETECTOR CHECK VALVE | uv | UTILITY VAULT (TYPE UNKNOWN) |
| e | ELECTRICAL UTILITY BOX | w | WATER METER |
| | | wf | WATER VALVE |

NOTES

- EASEMENTS, AS NEEDED, TO BE DEDICATED ON THE FINAL MAP OR BY SEPARATE INSTRUMENTS
- SOME EASEMENTS TO BE ABANDONED, AS NEEDED TO NECESSITATE SITE DESIGN, EITHER BY THE FINAL MAP OR BY SEPARATE INSTRUMENT.
- SUBJECT TO PROJECT OCCASIONALS TO BE RECORDED
- EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) TO BE DEDICATED THROUGHOUT PROPERTY AS INDICATED.

REVISIONS	
#	DESCRIPTION
1	10/19/2020 FIRST SUBMITTAL
2	09/27/2021 SECOND SUBMITTAL
3	12/24/2021 THIRD SUBMITTAL
4	02/11/2022 FOURTH SUBMITTAL

PROPOSED DEVELOPMENT

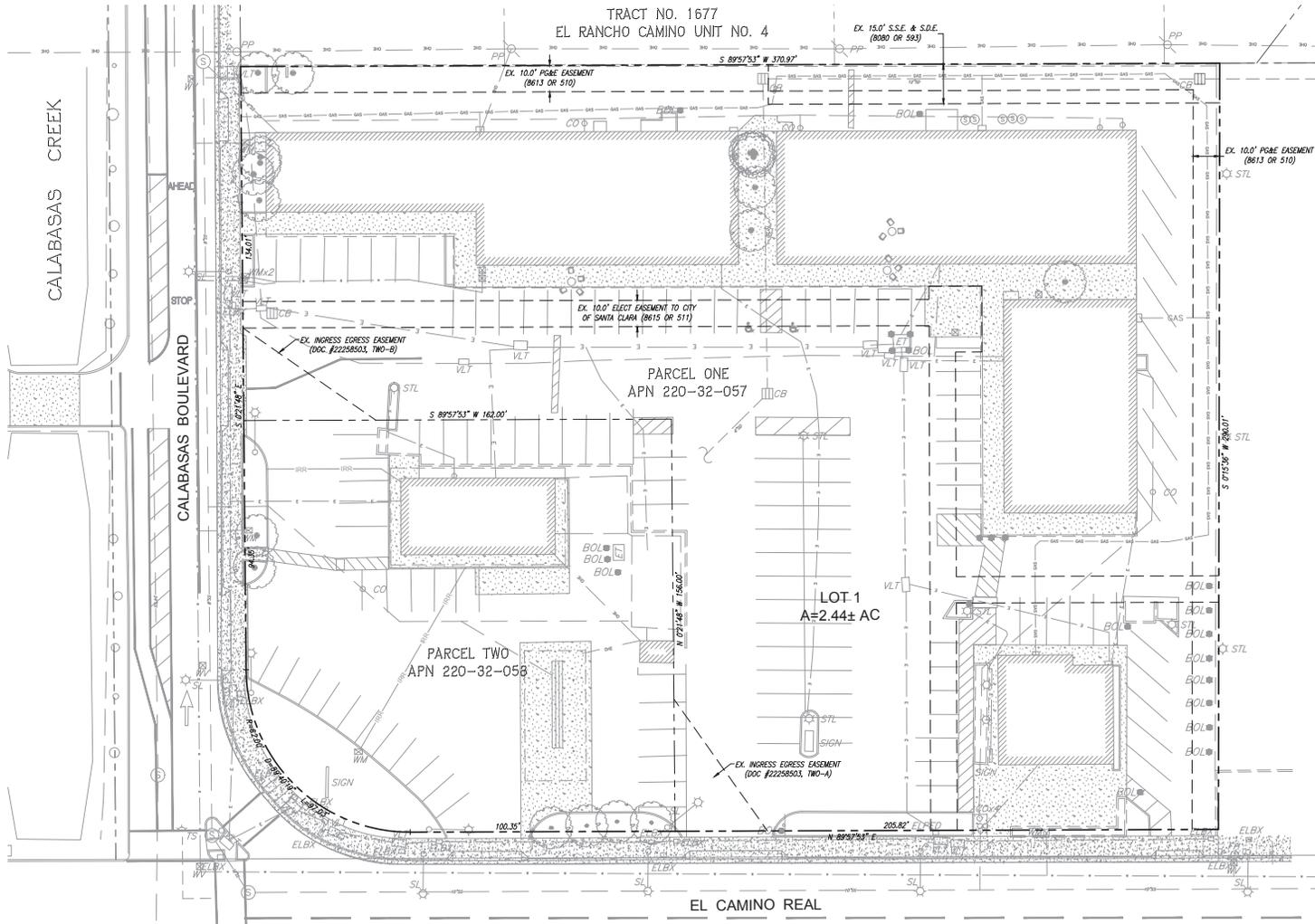
VESTING TENTATIVE TRACT MAP
FOR RESIDENTIAL CONDOMINIUM PURPOSES
3074 - 3157 EL CAMINO REAL
SANTA CLARA PLN2020-14674 CALIFORNIA

JMH WEISS, INC.
Civil Engineering ~ Surveying ~ Land Planning
1321 Technology Drive, Ste 880 • San Jose, CA 95110
Tel: (408) 286-4555

AS SHOWN	02/11/2022	5213	1 OF 4
SCALE	DATE	JOB NO.	

303 JMH WEISS - 3141 D Center Red - Santa Clara (3/24/2022) - 10/11/2022 - 10/11/2022 - 10/11/2022 - 10/11/2022
USER: C:\Users\jweiss\OneDrive\Documents\3141 D Center Red.dwg PLOT DATE: 10/11/2022 10:00am
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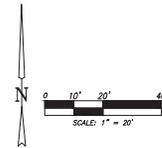
TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4



LEGEND & ABBREVIATIONS

- EX. PROPERTY LINE
- - - - EX. PROPERTY LINE TO BE REMOVED
- NEW PROPERTY LINE
- - - - EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING LINE
- FENCELINE
- WALL
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- AREA DRAIN OR CATCH BASIN
- COMMUNICATIONS VAULT
- CURB DRAIN
- DETECTOR
- DETECTOR CHECK VALVE
- ELECTRICAL UTILITY BOX

- ELECTROLIER/STREET LIGHT
- ELECTRICAL VAULT
- GAS VALVE
- SANITARY SEWER CLEANOUT
- SIGN
- SITE LIGHT
- SPOT ELEVATION
- SPOT ELEVATION (AERIALY DERIVED)
- STREET LIGHT BOX
- STORM DRAIN MANHOLE
- TRAFFIC SIGNAL BOX
- TRANSFORMER
- UTILITY CONDUIT
- UTILITY MANHOLE (TYPE UNKNOWN)
- UTILITY POLE
- UTILITY VAULT (TYPE UNKNOWN)
- WATER METER
- WATER VALVE



EXISTING BOUNDARY AND TOPOGRAPHY

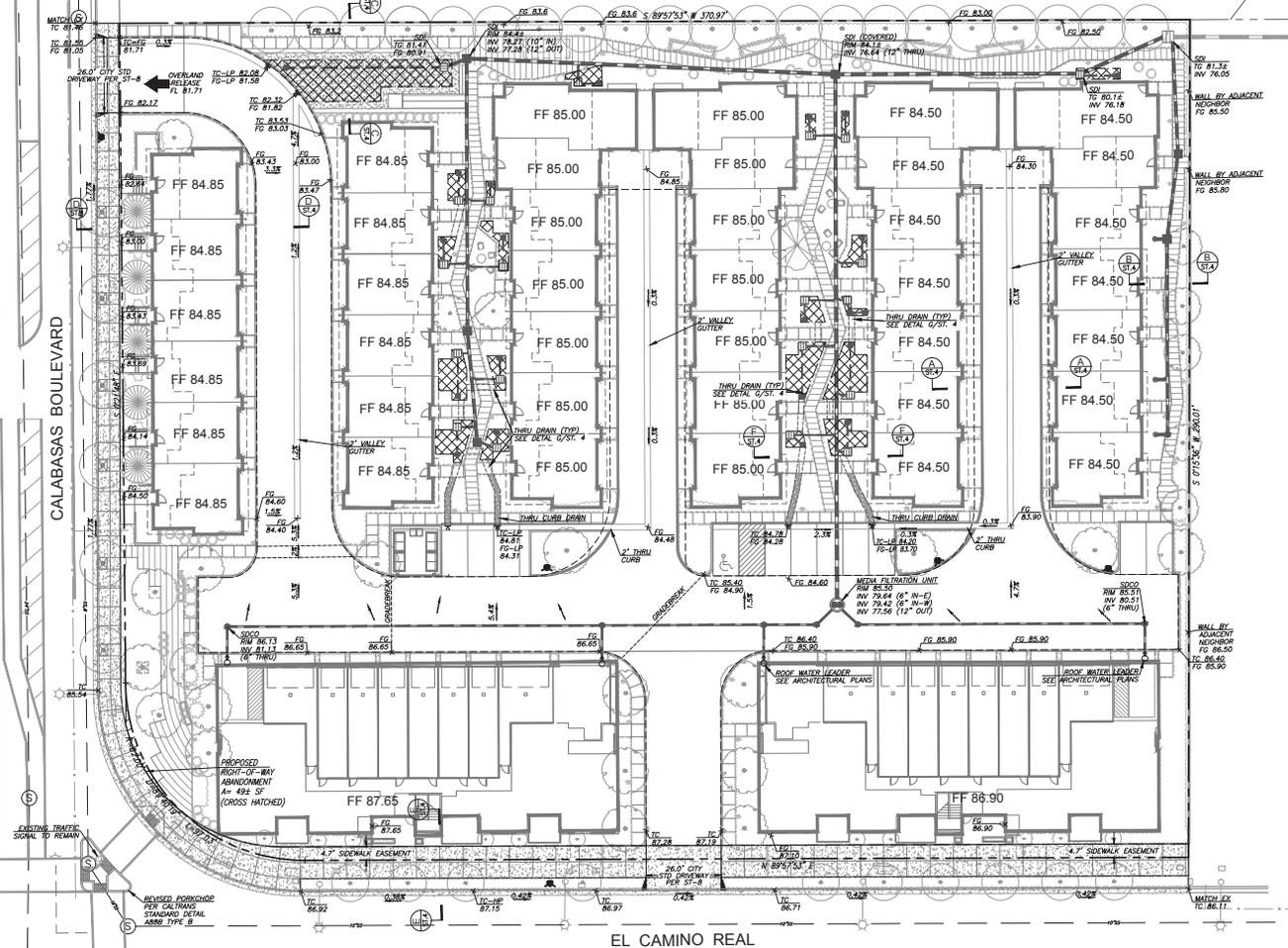
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PLN2020-14674
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JMH WEISS, INC.
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1721 Technology Drive, Ste 6000 San Jose, CA 95110
Tel: 408/286-4555

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3	12/22/2021 THIRD SUBMITTAL
4	02/11/2022 FOURTH SUBMITTAL

AS SHOWN	02/11/2022	5213	2 OF 4
SCALE	DATE	JOB NO.	

TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4



LEGEND & ABBREVIATIONS

- | | | | |
|-----|---------------------------------|---------|----------------------------------|
| --- | EX. PROPERTY LINE | ⊕ | ELECTROLYTIC STREET LIGHT |
| --- | EX. PROPERTY LINE TO BE REMOVED | ev | ELECTRICAL VAULT |
| --- | NEW PROPERTY LINE | gv | GAS VALVE |
| --- | EXISTING EASEMENT LINE | sp | SANITARY SEWER CLEANOUT |
| --- | PROPOSED EASEMENT LINE | sk | SKIN |
| --- | BUILDING LINE | sl | SITE LIGHT |
| --- | FENCELINE | + 100.0 | SPOT ELEVATION |
| --- | WALL | - 100.0 | SPOT ELEVATION (AERALLY DERIVED) |
| --- | PROPOSED STORM DRAIN | sl | STREET LIGHT BOX |
| --- | PROPOSED SANITARY SEWER | sm | STORM DRAIN MANHOLE |
| --- | PROPOSED WATER | ts | TRAFFIC SIGNAL BOX |
| --- | AREA DRAIN OR CATCH BASIN | tr | TRANSFORMER |
| --- | COMMUNICATIONS VAULT | uc | UTILITY CONDUIT |
| --- | CURB DRAIN | um | UTILITY MANHOLE (TYPE UNKNOWN) |
| --- | DETECTOR | up | UTILITY POLE |
| --- | DETECTOR CHECK VALVE | uv | UTILITY VAULT (TYPE UNKNOWN) |
| --- | ELECTRICAL UTILITY BOX | w | WATER METER |
| --- | | wv | WATER VALVE |



PRELIMINARY GRADING, DRAINAGE & UTILITIES

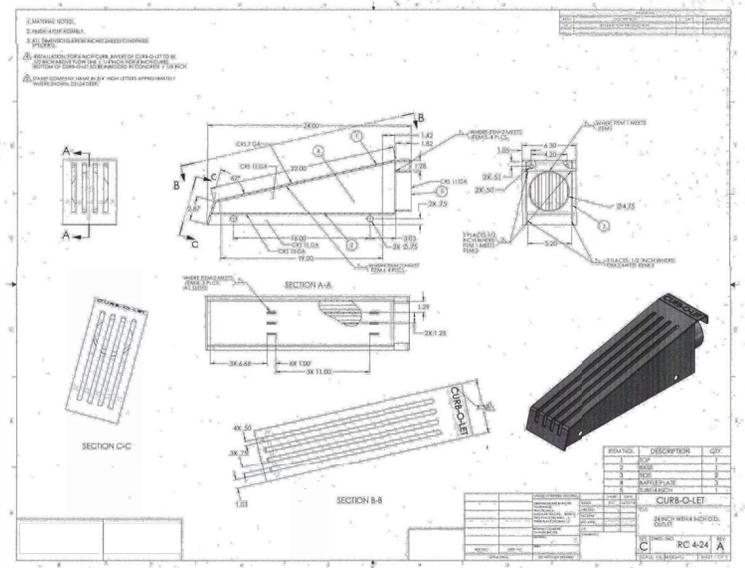
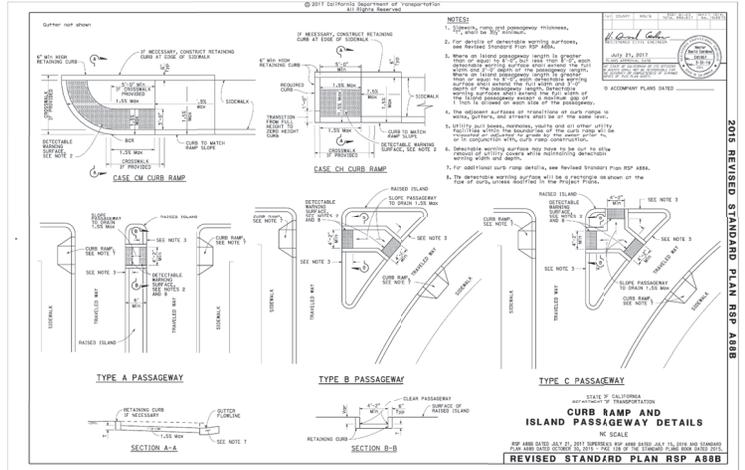
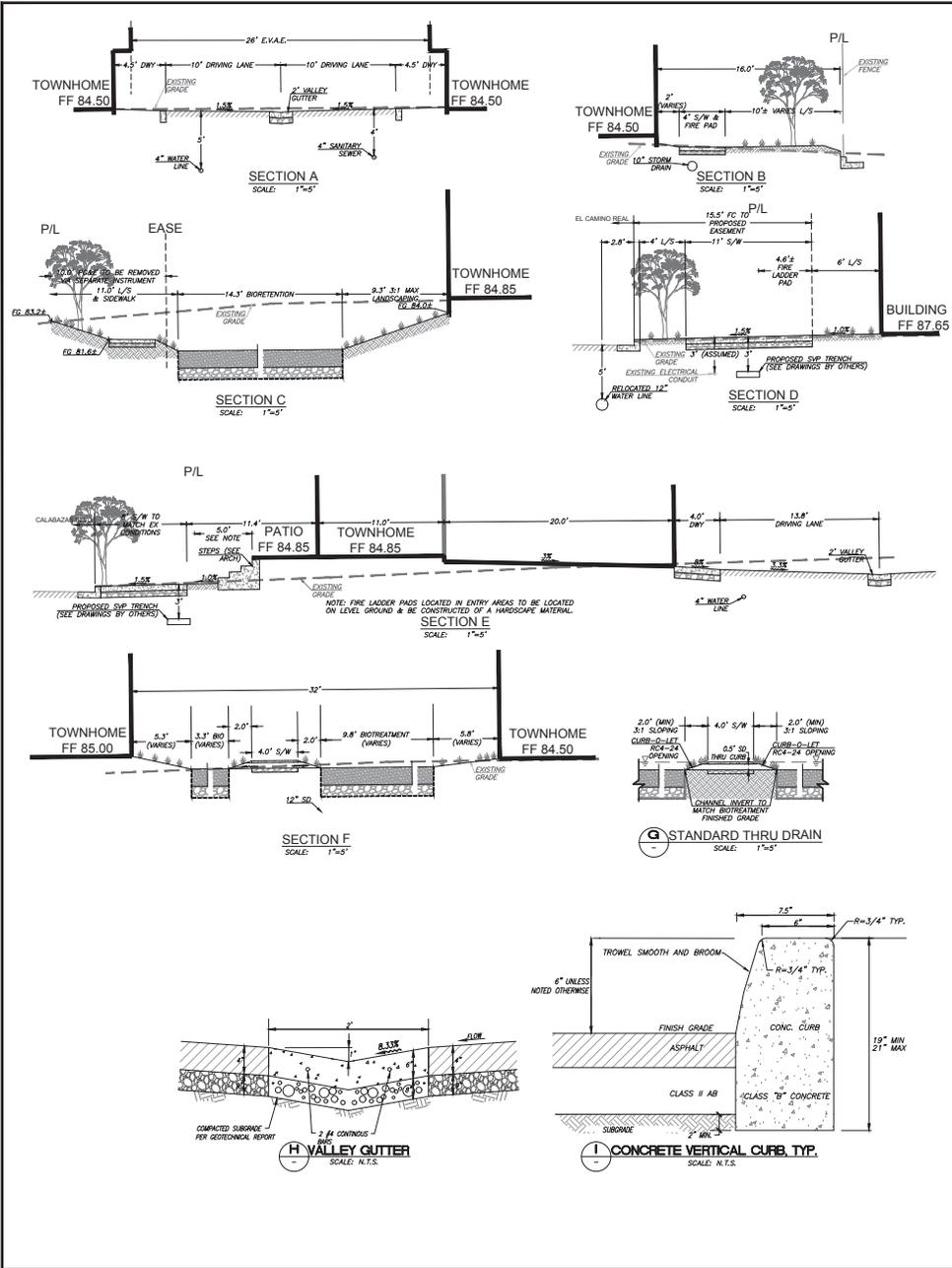
VESTING TENTATIVE TRACT MAP
FOR RESIDENTIAL CONDOMINIUM PURPOSES
3074 - 3157 EL CAMINO REAL
PLN2020-14674
SANTA CLARA CALIFORNIA

JMH WEISS, INC.
Civil Engineering ~ Surveying ~ Land Planning
1721 Technology Drive, Ste 6000 San Jose, CA 95110
Tel: (408) 286-4555

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2	09/19/2021 SECOND SUBMITTAL
3	12/22/2021 THIRD SUBMITTAL
4	02/11/2022 FOURTH SUBMITTAL

AS SHOWN	02/11/2022	5213	3 OF 4
SCALE	DATE	JOB NO.	

JMH WEISS, INC. - 3041 O Center Ave - Santa Clara (San Jose) CA 95051 - Tel: 408.286.4555 FAX: 408.286.1688
USER: C:\Users\jweiss\OneDrive\Documents\Projects\2020\2020-14674\2020-14674.dwg DATE PLOTTED: 02/11/2022 10:00am
USER: C:\Users\jweiss\OneDrive\Documents\Projects\2020\2020-14674\2020-14674.dwg DATE PLOTTED: 02/11/2022 10:00am



VESTING TENTATIVE TRACT MAP
FOR RESIDENTIAL CONDOMINIUM PURPOSES
3074 - 3157 EL CAMINO REAL
SANTA CLARA CALIFORNIA
PLN2020-14674

JMH WEISS, INC.
Civil Engineering ~ Surveying ~ Land Planning
1721 Technology Drive, Ste 4000 ~ San Jose, CA 95110
Tel: (408) 298-4555

#	DATE	REVISIONS DESCRIPTION
1	10/19/2020	FIRST SUBMITTAL
2	08/19/2021	SECOND SUBMITTAL
3	12/22/2021	THIRD SUBMITTAL
4	02/11/2022	FOURTH SUBMITTAL

AS SHOWN	02/11/2022	5213	4 OF 4
SCALE	DATE	JOB NO.	

JMH WEISS, INC. - 3041 O Center Ave - Suite 4000/Santa Clara County, CA 95051
USER: C:\Users\jweiss\OneDrive\Documents\Projects\2020\2020-14674\2020-14674.dwg



VICINITY MAP
N. T. S.

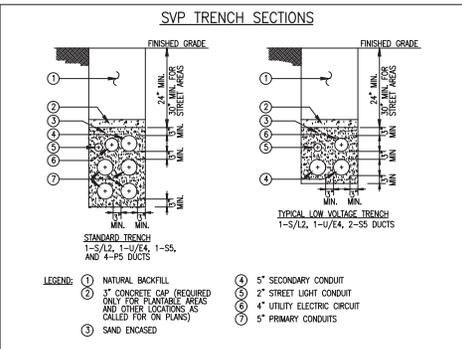
WORK RESPONSIBILITY
JOINT TRENCH

TRENCHING EXCAVATE & BACKFILL	PG&E
GAS MATERIAL SUPPLY & INSTALL	PG&E
ELECTRIC CABLE SUPPLY & INSTALL	PG&E
ELECTRIC CONDUIT SUPPLY & INSTALL	PG&E
ELECTRIC BOXES SUPPLY & INSTALL	PG&E
ELECTRIC TRANSFORMER PADS SUPPLY & INSTALL	PG&E
ELECTRIC SWITCHGEAR & TRANSFORMER SUPPLY & INSTALL	PG&E
TELEPHONE CONDUIT SUPPLY & INSTALL	PG&E
TELEPHONE CABLE SUPPLY & INSTALL	PG&E
TELEPHONE SPICE BOXES SUPPLY & INSTALL	PG&E
TELEPHONE S&I PAD SUPPLY & INSTALL	PG&E
C.A.T.V. CONDUIT SUPPLY & INSTALL	PG&E
C.A.T.V. SPICE BOXES SUPPLY & INSTALL	PG&E
C.I.E.C. FIBER CONDUIT	ACCEPTED / DECLINED
C.I.E.C. FIBER SPICE BOXES	ACCEPTED / DECLINED
DIRECTIONAL DRILL / JACK AND BORE	PG&E

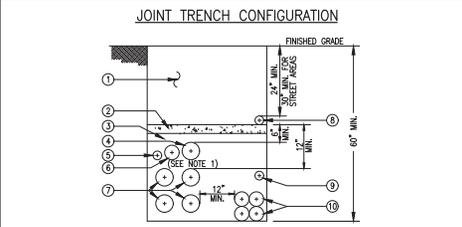
THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

CIVIL IMPROVEMENT PLANS/GRADING PLANS	12-10-2021	PRELIMINARY
ARCHITECTURAL ELECTRIC PLANS	12-10-2021	PRELIMINARY
APPlicant DESIGN (GAS)		RECEIVED
SVP DESIGN (ELECTRIC)		
TELEPHONE		
C.A.T.V.		
LANDSCAPE	12-10-2022	PRELIMINARY
LIGHT LOCATIONS		

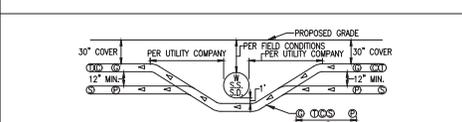
VISION UTILITY PARTNERS is not responsible for any schedule changes or cancellations. OTHER UTILITIES SHOWN ARE APPROXIMATE AND BASED ON FIELD SURVEY AND AVAILABLE UTILITY INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. PHYSICAL VERIFICATION OF UTILITY LOCATIONS SHALL BE PERFORMED BY CAREFUL PROBING OR HAND DIGGING IN ACCORDANCE WITH ARTICLE 6 OF THE CALIFORNIA CONSTRUCTION SAFETY ORDERS.



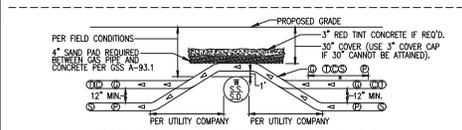
- LEGEND:**
- 1 NATURAL BACKFILL
 - 2 3" CONCRETE CAP (REQUIRED ONLY FOR PLANTABLE AREAS AND OTHER LOCATIONS AS CALLED FOR ON PLANS)
 - 3 SAND ENCASED
 - 4 5" SECONDARY CONDUIT
 - 5 2" STREET LIGHT CONDUIT
 - 6 4" UTILITY ELECTRIC CIRCUIT
 - 7 5" PRIMARY CONDUITS
 - 8 PG&E GAS
 - 9 CATV CONDUIT
 - 10 TELEPHONE CONDUITS
- NOTES:**
- CONCRETE CAP REQUIRED WHEN DUCTS ARE INSTALLED IN AN AREA THAT CAN BE PLANTED. USE A 3 SACK MINIMUM MIX FOR THE CONCRETE.
 - ALL DIMENSIONS SHOWN ARE MINIMUM REQUIRED. 30" MINIMUM COVER OVER PRIMARY DUCTS IS REQUIRED. NUMBER AND SIZES OF DUCTS TO BE SHOWN ON DETAILED SVP TRENCH DRAWINGS.
 - DUCTS SHALL BE SEPARATED, TIED TOGETHER, AND SUPPORTED WITH 3" NON-METALLIC SPACERS AT 4'-0" INTERVALS. NO METALLIC MATERIALS MAY BE USED TO PROVIDE CROSS SUPPORT OR BE PLACED ACROSS DUCT BANKS.
 - IF ADDITIONAL PRIMARY DUCTS ARE REQUIRED, ADD THEM TO THE BOTTOM OF THE TRENCH USING THE SAME CONFIGURATION AS SHOWN IN THE ADJACENT DETAILS.
 - BACKFILL IN ACCORDANCE WITH CITY OF SANTA CLARA ENGINEERING DEPARTMENT SPECIFICATIONS. SAND BACKFILL AROUND DUCTS WITH 90% MINIMUM COMPACTION. SEE "MATERIALS" SECTION IN UG-1000 FOR SAND REQUIREMENTS.



- LEGEND:**
- 1 NATURAL BACKFILL
 - 2 3" CONCRETE CAP (REQUIRED ONLY FOR PLANTABLE AREAS AND OTHER LOCATIONS AS CALLED FOR ON PLANS)
 - 3 SAND ENCASED
 - 4 5" SECONDARY CONDUIT
 - 5 2" STREET LIGHT CONDUIT
 - 6 4" UTILITY ELECTRIC CIRCUIT
 - 7 5" PRIMARY CONDUITS
 - 8 PG&E GAS
 - 9 CATV CONDUIT
 - 10 TELEPHONE CONDUITS
- NOTES:**
- REFER TO "TRENCH CROSS-SECTIONS" FOR TYPICAL ELECTRIC TRENCH SECTIONS AND MINIMUM DUCT SPACING REQUIREMENTS.
 - MINIMUM DEPTH AND SEPARATION REQUIREMENTS BETWEEN GAS, CATV, AND TELEPHONE CONDUITS TO BE PROVIDED BY THE RESPECTIVE UTILITIES.
 - DEPTH AND BACKFILL REQUIREMENTS FOR JOINT TRENCHES IN PUBLIC RIGHT OF WAY SHALL COMPLY WITH CITY OF SANTA CLARA ENGINEERING DEPARTMENT STANDARD SPECIFICATIONS.
 - JOINT TRENCH CONSTRUCTION REQUIREMENTS APPLY WHEN ALL UTILITY SUBSTRUCTURES ARE INSTALLED AT THE SAME TIME.



JOINT TRENCH UNDER WATER & S.S. & S.D.
*WIDTH PER SIZE & NUMBER OF EACH UTILITY. PG&E AND CITY INSPECTOR TO DETERMINE METHOD OF CROSSING.



JOINT TRENCH OVER WATER & S.S. & S.D.
*WIDTH PER SIZE & NUMBER OF EACH UTILITY. PG&E AND CITY INSPECTOR TO DETERMINE METHOD OF CROSSING.

NOTE: TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

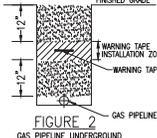
TRENCHING CONTRACTOR SHALL NOT ASSUME THAT EITHER OF THE ABOVE DETAILS WILL BE ACCEPTABLE TO PG&E AND SVP. YOU ARE REQUIRED TO CONTACT THE LOCAL PG&E AND SVP ENGINEERING OFFICE WITH ANY ISSUE RELATING TO COVERS LESS THAN MINIMUM OR COVERS REQUIRING SHORING. CONCRETE CAPPING IS ONLY ACCEPTABLE WHERE NO OTHER SOLUTION IS POSSIBLE AND ONLY WHEN CERTAIN CRITERIA ARE MET AND ONLY WITH PG&E AND SVP APPROVAL.

GENERAL NOTES:

- THE PREFERRED TRENCH LOCATION IS IN A PUBLIC UTILITY EASEMENT (P.U.E.).
- ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM FINAL GRADE.
- COVER CLEARANCE AND SEPARATION SHALL BE AS SHOWN AS PRACTICABLE UNDER THE CIRCUMSTANCES, BUT UNDER NO CIRCUMSTANCES SHALL BE LESS THAN THE MINIMUM COVER, CLEARANCE AND SEPARATION REQUIREMENTS SET FORTH IN GENERAL ORDER 178 AND 4807R 192.301 AND 4807R 192.302 AND 4807R 192.327. ALL UTILITIES SHALL BE ANCHORED IN PLACE PRIOR TO CONSTRUCTION, OR OTHERWISE BE TAKEN TO ENSURE NO MOTION OF THE FACILITIES. DIMENSIONAL REQUIREMENTS FOR SHADING, LEVELING, AND BACKFILLING SHALL BE DETERMINED SUBSEQUENT TO COMPLETION.
- TRENCH DIMENSIONS SHOWN ARE TYPICAL. TRENCH SIZES AND CONFIGURATIONS MAY VARY DEPENDING UPON OCCUPANCY AND/OR FIELD CONDITIONS. TRENCH SIZE AND CONFIGURATION MUST AT ALL TIMES BE CONSTRUCTED IN A MANNER THAT ENSURES CLEARANCE AND COVER REQUIREMENTS ARE MET. ANY "CHANGES" TO THE TRENCH WIDTH AND CONFIGURATIONS AS SHOWN IN THIS EXHIBIT MUST BE DESIGNED TO ENSURE THIS REQUIREMENT.
- NON-UTILITY FACILITIES ARE NOT ALLOWED IN ANY JOINT UTILITY TRENCH, E.G., IRRIGATION CONTROL LINES, BUILDING FIRE ALARM SYSTEMS, PRIVATE TELEPHONE SYSTEMS, OUTDOOR ELECTRICAL CABLE, ETC.
- NEW COMMUNICATION DUCTS ARE INSTALLED: A MINIMUM OF 1/2" RADII. SEPARATION SHALL BE MAINTAINED FROM GAS FACILITIES, EXCEPT WITH MUTUAL AGREEMENT, WHEN A 4-INCH DIAMETER OR SMALLER GAS PIPE IS INSTALLED, THE SEPARATION MAY BE REDUCED TO NOT LESS THAN 6 INCHES.
- PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
- MAINTAIN PROPER SEPARATION BETWEEN PG&E FACILITIES AND "NET" UTILITIES AS DESCRIBED IN LUO STANDARD "SAS" AS THE MINIMUM ALLOWABLE HORIZONTAL SEPARATION BETWEEN COMPANY FACILITIES AND "NET" FACILITIES IS 3' WITH A MINIMUM 1" OF UNDISTURBED EARTH OR THE INSTALLATION OF A SUITABLE BARRIER BETWEEN THE FACILITIES. A 3' HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "NET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY BE APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO THE SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL. SEPARATIONS OF 1" OR LESS ARE NOT PERMISSIBLE AND WILL NOT BE ALLOWED. THE COMPANY MAY AGREE TO WAIVE THE MINIMUM 3' SEPARATION REQUIREMENT AT THE REQUEST OF AN APPLICANT IF WARRANTED AND THE NEED IS JUSTIFIED. THE REQUEST FOR A WAIVER MUST:
 - BE MADE IN WRITING AND SUBMITTED TO THE COMPANY AHEAD OF THE PLANNING AND DESIGN PHASE OF THE PROJECT.
 - CLEARLY DESCRIBE THE CONDITIONS NECESSITATING THE WAIVER.
 - USE A PROPOSED BARRIER AND/OR BARRIER BETWEEN THE "NET" UTILITIES AND COMPANY DRY FACILITIES IN THE EVENT 1" OF UNDISTURBED EARTH CANNOT BE MAINTAINED. NOTE: DRAIN LINES CONNECTED TO DOWNSPUTS ON BUILDINGS ARE CONSIDERED A "NET" UTILITY FOR THE PURPOSES OF THIS STANDARD.
- SEPARATIONS SHALL BE MAINTAINED AT UNDERGROUND SEPARATION POINTS:
 - PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING OF GAS FACILITIES:
 - RANDOMLY SELECTED SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
 - THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE.
 - THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING, OR LEVELING.
 - COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE PG&E FEDERAL, STATE, COUNTY, OR LOCAL REQUIREMENTS.
 - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
 - THE SEVES AND SCREENS SHALL BE:
 - 1/2" SIEVE: 30" DIAMETER STAINLESS STEEL MESH SCREEN.
 - 1/4" SCREEN: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
 - FOR SVP ELECTRIC SUBSTRUCTURE BACKFILL REQUIREMENTS, SEE SVP STANDARD DOCUMENT UG-0345.
- COMPACT NATIVE SOILS ARE PREFERRED TO BE USED FOR SHADING, BEDDING, AND BACKFILLING THROUGHOUT THE TRENCH.
- WHERE NATIVE SOILS EXCEED 1/2" MINUS AND/OR WHERE GAS IS TO BE PLACED AT THE BOTTOM OF A TRENCH IN AREAS THAT EXCEED 1/2" MINUS SOIL CONDITIONS, OR WHERE THE BOTTOM OF A TRENCH IS CONSIDERED TO CONSIST OF HARD PAID POLE APPROVED IMPORT MATERIAL, SAND OR GRAVEL SHALL BE USED FOR SHADING AND/OR BEDDING OF GAS FACILITIES.
- PG&E APPROVED IMPORT MATERIAL IS PER CGE ENGINEERING GUIDELINE 4123.
- IF A LEVELING COURSE IS REQUIRED FOR GAS FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS CONDITIONS ARE ATTIKABLE WITH NATIVE SOILS, THEN THE USE OF PG&E APPROVED IMPORT MATERIAL IS REQUIRED. BEDDING UNDER COMPANY FACILITIES WILL BE A MINIMUM OF 2" OF COMPACTED 1/2" MINUS NATIVE SOILS OR PG&E APPROVED IMPORT MATERIAL.
- FOR ELECTRIC FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS CONDITIONS ARE ATTIKABLE WITH NATIVE SOILS, THEN THE USE OF PG&E APPROVED IMPORT MATERIAL IS REQUIRED. BEDDING UNDER COMPANY FACILITIES WILL BE A MINIMUM OF 2" OF COMPACTED 1/2" MINUS NATIVE SOILS OR PG&E APPROVED BEDDING MATERIAL MAY BE INCREASED AT THE DISCRETION OF PG&E WHEN WARRANTED BY EXISTING FIELD CONDITIONS (E.G., ROCKY SOILS, HARD PAN, ETC.).
- THE USE OF ANY IMPORTED MATERIAL FOR BACKFILLING PURPOSES SHALL BE LIMITED TO THOSE SITUATIONS WHEN NATIVE SOILS DO NOT ALLOW FOR REQUIRED COMPACTION.
- THE APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF EXCESS SPOIL AND ASSOCIATED COSTS.
- SERVICE SAIDLES ARE THE PREFERRED SERVICE FITTINGS FOR USE THROUGHOUT THE JOINT TRENCH PROJECT. ALL PRODUCTS WILL BE DESIGNED AND ESTIMATED USING SERVICE SAIDLES. HOWEVER, SERVICE TEES MAY BE USED IF ALL CLEARANCES, SEPARATION, AND COVER REQUIREMENTS ARE MAINTAINED.
- CONTRACTOR TO INCREASE GAS METER SPACING AS NECESSARY WHEN EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT ARE REQUIRED. EARTHQUAKE VALVES ARE REQUIRED IN SOME AREAS AND ARE NOT PART OF PG&E/UTILITY PARTNERS' SCOPE. THIS INFORMATION CAN BE FOUND ON BUILDING, MECHANICAL, ENGINEERS' PLAN. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT APPLY RELATING TO EARTHQUAKE VALVES.

GAS PIPELINE UNDERGROUND WARNING TAPE NOTES:

- A WARNING TAPE IS TO BE INSTALLED IN OPEN TRENCH INSTALLATION OVER GAS PIPES IN BOTH TRANSMISSION AND DISTRIBUTION FACILITIES. THIS INCLUDES TRENCHES, BELL HOLES, EXCAVATIONS FOR REPAIR PURPOSES AND REPAIR REPLACEMENTS. THE WARNING TAPE IS INTENDED FOR EXCAVATOR DIGGING IN THE "TOLERANCE ZONE" TO STRIKE THE WARNING TAPE PRIOR TO THE APPLICABLE TRENCH TOLERANCE ZONE. THE WARNING TAPE IS BROADCAST AND DUBBED WITH EXCAVATING EQUIPMENT. IT STRETCHES WITHOUT BREAKING, THUS ALERTING THE EXCAVATOR OF THE GAS FACILITY BELOW.
- INSTALL 6" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" BELOW GRADE, AND NO CLOSER THAN 12" FROM THE PIPE. INSTALLATION SHOULD PROVIDE THE GREATEST DISTANCE BETWEEN THE PIPELINE AND THE TAPE AS POSSIBLE. INSTALL THE TAPE ALONG THE LENGTH OF THE EXCAVATION, ENSURE THAT THE TAPE OVERLAPS WHEN TWO OR MORE PIECES OF TAPE ARE USED. EXCEPT WHEN A JOINT TRENCH DESIGN DOES NOT ALLOW FOR INSTALLATION OF WARNING TAPE WITHIN THE "WARNING TAPE INSTALLATION ZONE", INSTALL THE WARNING TAPE A MINIMUM OF 6" ABOVE THE GAS PIPELINE, AND BELOW THE FACILITY ABOVE THE TAPE.
- WARNING TAPE SHALL BE BRIGHTLY COLORED YELLOW AND MARKED "CAUTION: GAS LINE BURIED BELOW" OR MARKED WITH A SIMILAR NOTIFICATION.
- WARNING TAPE SHALL BE STORED IN SUCH A MANNER THAT LIMITS ULTRAVIOLET (UV) EXPOSURE.



TYPICAL GAS METER REQUIREMENTS*

METER TYPE	LOAD (SQFT)	DELIVERY PRESSURE (PSIG)	PAD SIZE (INCHES)	MIN. WIDTH REQUIRED FOR METERS (INCHES)	DISTANCE FROM RISER TO FINISHED WALL (INCHES)	MIN. HOUSING SIZE OUT (INCHES)
TYPICAL RESIDENTIAL	0-350	0-25	N/A UNLESS USING FLEX-METER	24	6 TO 9	4
400 TO 1000	351-1,400	0-25	N/A UNLESS USING FLEX-METER	24	6 TO 9	6
CLASS	601-2,400					
1.5M OR SM ROTARY	1,401-3,000	APPROVED BY PG&E	40 X 36 X 4	52	20	VARIES
SM OR TM ROTARY	3,001-7,000	APPROVED BY PG&E	78 X 36 X 4	90	20	VARIES
11M OR 16M ROTARY	7,001-16,000	APPROVED BY PG&E	84 X 36 X 4	106	20	VARIES

*ACTUAL METER-SET CONFIGURATIONS MAY VARY DEPENDING ON FIELD CONDITIONS AND RESTRICTIONS. FOR GAS METER DETAILS, SEE SECTION 2 OF CURRENT ELECTRICAL AND GAS SERVICE REQUIREMENTS SCHEDULE.
*DELIVERY PRESSURE TO BE CONFIRMED VIA BUILDING PLUMBING AND MECHANICAL PLANS. PG&E MAINTAINS SECT AUTHORITY TO DETERMINE IF THE ELEVATED DELIVERY-PRESSURE SERVICE IS AVAILABLE AT A SPECIFIC LOCATION.

PG&E PM'S: DESIGN CHANGE COMPONENT

GAS: ANY CHANGES TO THIS DESIGN MUST BE APPROVED BY PG&E GAS ADE PHONE NUMBER

CONSTRUCTION NOTES:

- ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH PG&E LUO STANDARD 55453 (EFFECTIVE DATE 7-5-2006) AND SILICON VALLEY POWER STANDARD DOCUMENT UG-1000.
- ALL WORK MUST COMPLY WITH PG&E SVP, TELEPHONE, CATV, STANDARDS AND PRACTICES. ALL WORK MUST BE INSPECTED AND APPROVED BY RESPECTIVE UTILITIES. RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF THREE LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLES MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND IS TO BE AT THE DISCRETION OF THE PG&E/UTILITY PARTNERS REPRESENTATIVE ON SITE. THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE. THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1/2" IF TO BE USED AS SHADING, BEDDING, OR LEVELING. COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE PG&E FEDERAL, STATE, COUNTY OR LOCAL REQUIREMENTS. ANY NATIVE SOILS OR IMPORT MATERIALS USED MUST NOT VIOLATE THESE REQUIREMENTS.
- BACKFILL SHALL BE APPROVED BY THE UTILITY COMPANIES AND THE CITY. COMPACTION WILL BE TESTED AND PASSED BY THE SOILS ENGINEER.
- IF SOIL IS NOT ROCK FREE, ADD 4" DEPTH OF TRENCH FOR SAND BEDDING.
- VERIFY SPICE BOX EXCAVATION SIZES WITH SUPPLIERS).
- THE TRENCHING CONTRACTOR SHALL COORDINATE THE UTILITY COMPANIES' INSTALLATION. THE TRENCHING CONTRACTOR TO PLACE CONNECTING CONDUIT WITHIN 5' OF BUILDING EXTERIOR WALL.
- CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- IF IS THE TRENCHING CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE ALL EXISTING FACILITIES. NO EXTRA PAYMENT WILL BE CONSIDERED FOR CROSSING OTHER SYSTEMS.
- VISION UTILITY PARTNERS ASSUMES NO RESPONSIBILITY FOR THE PROJECT IMPROVEMENTS. THESE DRAWINGS WERE PREPARED USING DATA SUPPLIED BY PG&E, SVP, TELEPHONE, CATV, CONDUIT PLANS AND THE CITY'S VARIOUS "AS BUILT" INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY REVIEW THE PROJECT PRIOR TO SUBMITTING HIS BID.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A., INDUSTRIAL SAFETY PROCEPS AND LOCAL CODES AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING NEAR ENERGIZED OR "HOT" EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER, PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL PROTECT CONSTRUCTION STAKING. HE SHALL COORDINATE STAKING WITH THE PROJECT'S CIVIL ENGINEER.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) 2 WEEKS WORKING DAYS PRIOR TO START OF WORK.
- CONTRACTOR SHALL NOTIFY INSPECTORS OF ANY POTENTIAL CONFLICTS PRIOR TO START OF WORK.
- THIS PLAN IS TO BE USED FOR SOLE PURPOSE OF DIGGING THE JOINT TRENCH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY CONDUIT SIZES AND TYPES OF CONDUITS ARE INSTALLED PER THE ENGINEERED PLANS BY EACH UTILITY COMPANY.
- NOTE: PLANS ISSUED AT THE PRE-CONSTRUCTION MEETING MAY BE SUBJECT TO REVISIONS, IF FINAL PLANS FROM EACH UTILITY COMPANY WERE NOT AVAILABLE AT THE START OF CONSTRUCTION.
- WATER SEWER DRAINS, SANITARY WASTE, FUELS (INCLUDING DIESEL AND GASOLINE), OIL, PROPANE AND OTHER VOLATILE HEAVIER THAN AIR GASES, FERTILIZERS, IRRIGATION, STEAM AND OTHER "NET" FACILITIES SHALL MAINTAIN A MINIMUM OF THREE FEET FROM THE NEAREST OUTER SURFACE OF PG&E AND SVP FACILITIES WITH NO LESS THAN ONE FOOT OF EARTH (SOIL BARRIER) BETWEEN THE ADJACENT SIZES OF THE INDIVIDUAL TRENCHES.
- IN THE EXTRAORDINARY CASE THAT THE MINIMUM THREE FOOT HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "NET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY BE APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL.
- THIS JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHICAL SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY UTILITY PARTNERS STRONGLY RECOMMENDS THAT ALL UTILITIES BE PHYSICALLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.
- THIS JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHICAL SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY UTILITY PARTNERS STRONGLY RECOMMENDS THAT ALL UTILITIES BE PHYSICALLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.

STRUCTURE VERIFICATION STAMP

DEVELOPER
PLEASE NOTE AND SIGN

ALL ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPER. EXISTING UTILITY PARTNERS STRONGLY RECOMMENDS THAT ALL UTILITIES BE PHYSICALLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.

SIGNED _____
DATE _____

FOR VIZION USE ONLY
QA REVIEW

UTILITY	APPROVED BY	DATE
AIR&T (PHONE)		
COMCAST (CATV)		
CITY ENGINEER		

DEVELOPER:
BAYVIEW DEVELOPMENT GROUP
60 S MARKET ST, SUITE 450
SAN JOSE, CA 95113
CALEB CARTER
T: 831-578-9896
E: CALEB.CARTER@BAYVIEWDGC.COM

PRASK	INITIALS	DATE
WENT		
COMPOSED		
PRE-CON		

SHEET INDEX

- JT-1 JOINT TRENCH TITLE SHEET
- JT-2 JOINT TRENCH INTENT

PROJECT NO: 20-055
SCALE: 1" = 30'
DATE: K. MENDOZA
DRAWN BY: R. FALCON
CHECKED BY: PG&E QUALIFIER DESIGNER
LAST MODIFIED: 02-11-2022
DRAWING NO: JT-1
SHEET: 1 OF 2

JOINT TRENCH TITLE SHEET
3141-3155 EL CAMINO REAL
NEW BUSINESS
BAYVIEW DEVELOPMENT GROUP
SANTA CLARA

REGISTERED PROFESSIONAL ENGINEER
CIVIL
No. 26429
EXPIRES 12/31/25

REGISTERED PROFESSIONAL ENGINEER
CIVIL
No. 26429
EXPIRES 12/31/25

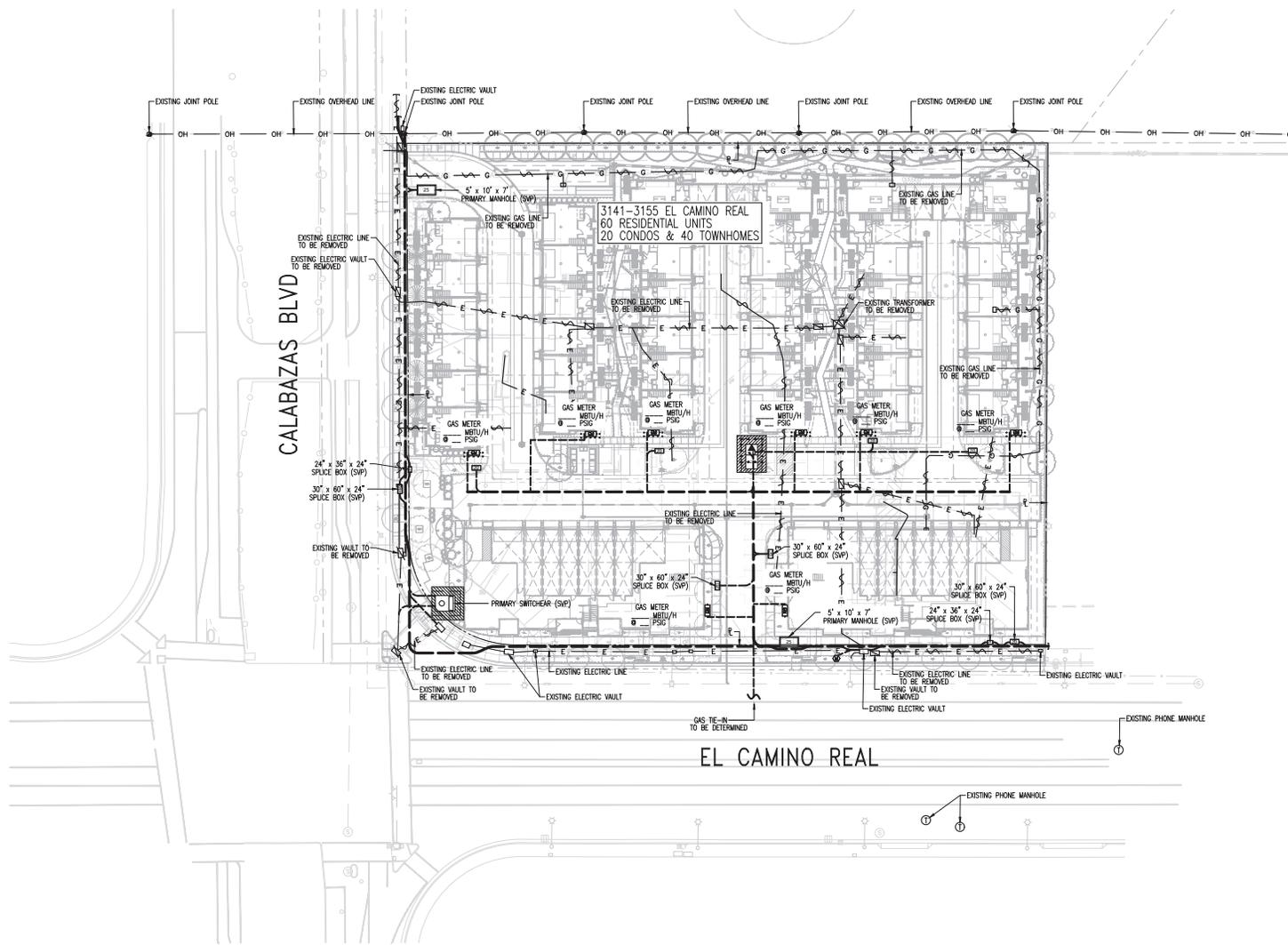
UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

**-PRELIMINARY-
NOT FOR CONSTRUCTION**

NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JT-1)

LEGEND

-  PROPOSED SERVICE TRENCH
-  PROPOSED GAS METER
-  PRIMARY SWITCHGEAR (SVP)
-  84" x 75" THREE PHASE TRANSFORMER PAD (SVP)
WORKING SPACE SHOWN WITH 8' APRON
-  24" x 36" x 24" SPLICE BOX (SVP)
-  30" x 60" x 24" SPLICE BOX (SVP)
-  5' x 10' x 7' PRIMARY MANHOLE (SVP)
-  EXISTING JOINT POLE
-  OH — EXISTING OVERHEAD LINE
-  ⓪ — EXISTING PHONE MANHOLE
-  — EXISTING ELECTRIC LINE TO BE REMOVED
-  — EXISTING ELECTRIC VAULT TO BE REMOVED
-  — EXISTING GAS LINE TO BE REMOVED



NOTE TO COMCAST:
PLEASE CONFIRM WHO WILL PROVIDE CONDUIT AND
VAULTS. DEVELOPER TO PROVIDE TRENCH.

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A
LICENSED SURVEYOR PRIOR TO CONSTRUCTION.
SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE
SHEET (JT-1) REGARDING EXISTING CONDITIONS.

SHEET INDEX

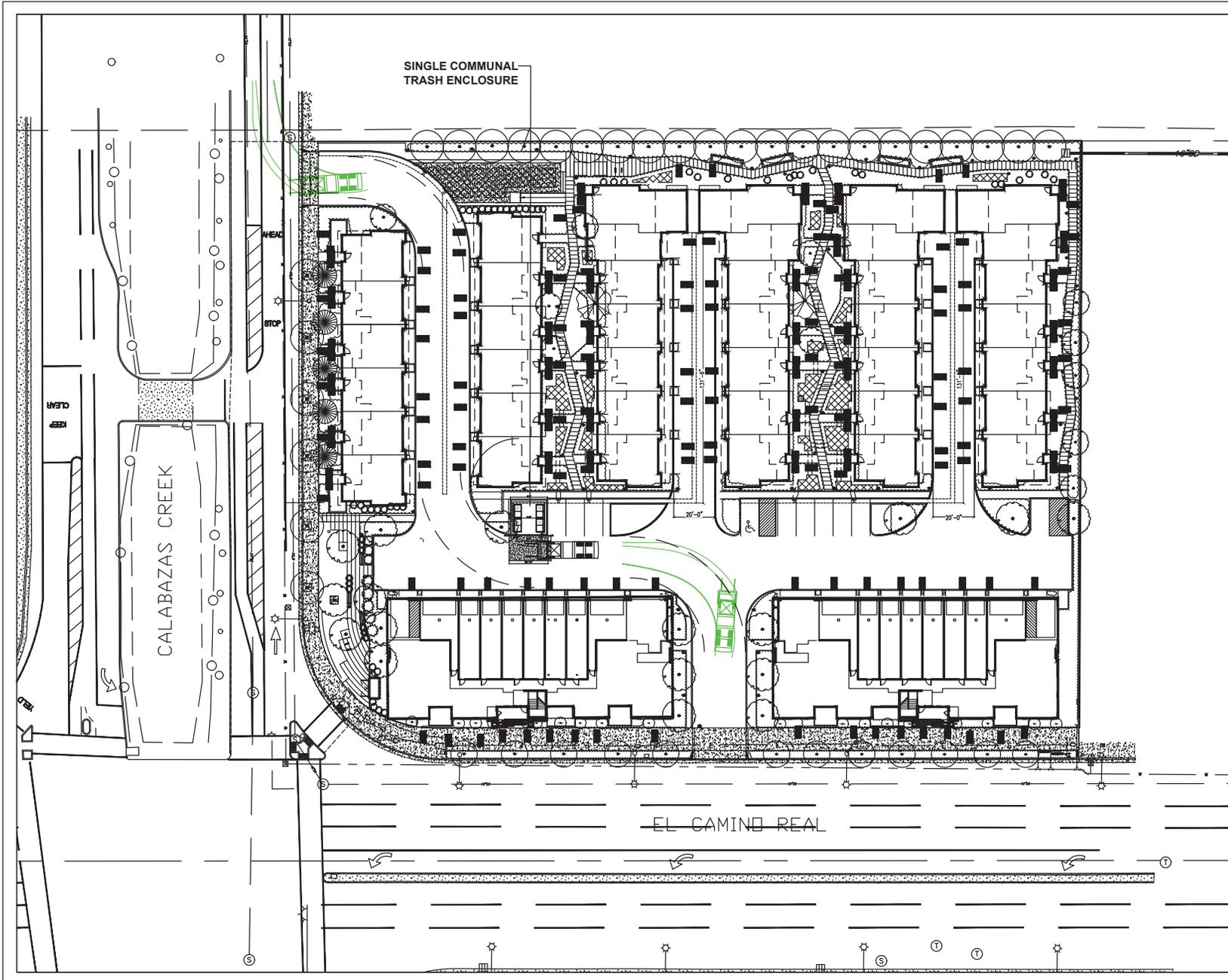
JT-1	JOINT TRENCH TITLE SHEET
JT-2	JOINT TRENCH INTENT

DATE	12/22/21
REVISION	
SUBMITAL	1
DATE OF SIGNATURE	

JOINT TRENCH INTENT
3141-3155 EL CAMINO REAL
NEW BUSINESS
BAYVIEW DEVELOPMENT GROUP
SANTA CLARA CALIFORNIA

Vizion Utility
PARTNER
UTILITY ENGINEERS, CONSULTANTS & STREETLIGHT DESIGN
7001 BONDWICH DRIVE, SUITE 114, SAN JOSE, CA 95128

PROJ. NO. 20-055
SCALE: 1" = 30'
FILE: K. MENDOZA
DRAWN BY: R. FALCON
CHECKED BY: POPE QUALIFIED DESIGNER
LAST UPDATED: 02-11-2022
DRAWING NO. JT-2
SHEET: 2 OF 2



AMERICAN TRASH MANAGEMENT
 AMERICAN TRASH MANAGEMENT
 1900 POWELL STREET, SUITE 220
 EMERYVILLE, CALIFORNIA 94608
 P: 415.292.5400
 F: 415.292.5410
 SBROWN@TRASHMANAGE.COM

CONSULTANT
 KTG

ARCHITECT
 BAYVIEW DEVELOPMENT GROUP

OWNER / DEVELOPER

12.20.21	SUBMITTAL #2		
NO.	DATE	ISSUE / REVISION	ISSUED BY

3155 EL CAMINO
 SANTA CLARA, CA

PROJECT
 SITE PLAN

DRAWING TITLE		T0.1
PROJECT NO.	DRAWING NO.	
DRAWN DU		
APPROVED SB		
DATE 02/11/2022		
SCALE		

SINGLE ENCLOSURE PROJECTED TRASH COLLECTION SCHEDULE / WK

SERVICE	M	T	W	T	F	S
WASTE - 3CY - LOOSE	2			2		
RECYCLING - 3CY - LOOSE	2			2		



AMERICAN TRASH MANAGEMENT
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CONSULTANT

KTGY

ARCHITECT

BAYVIEW DEVELOPMENT GROUP

OWNER / DEVELOPER

12.22.21	SUBMITTAL #2		
NO.	DATE	ISSUE / REVISION	ISSUED BY

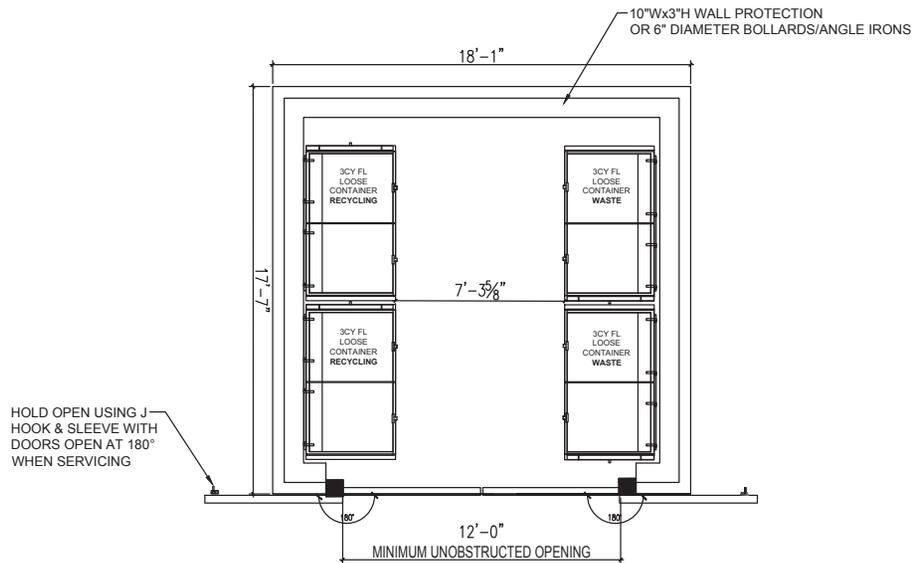
3155 EL CAMINO
 SANTA CLARA, CA

PROJECT

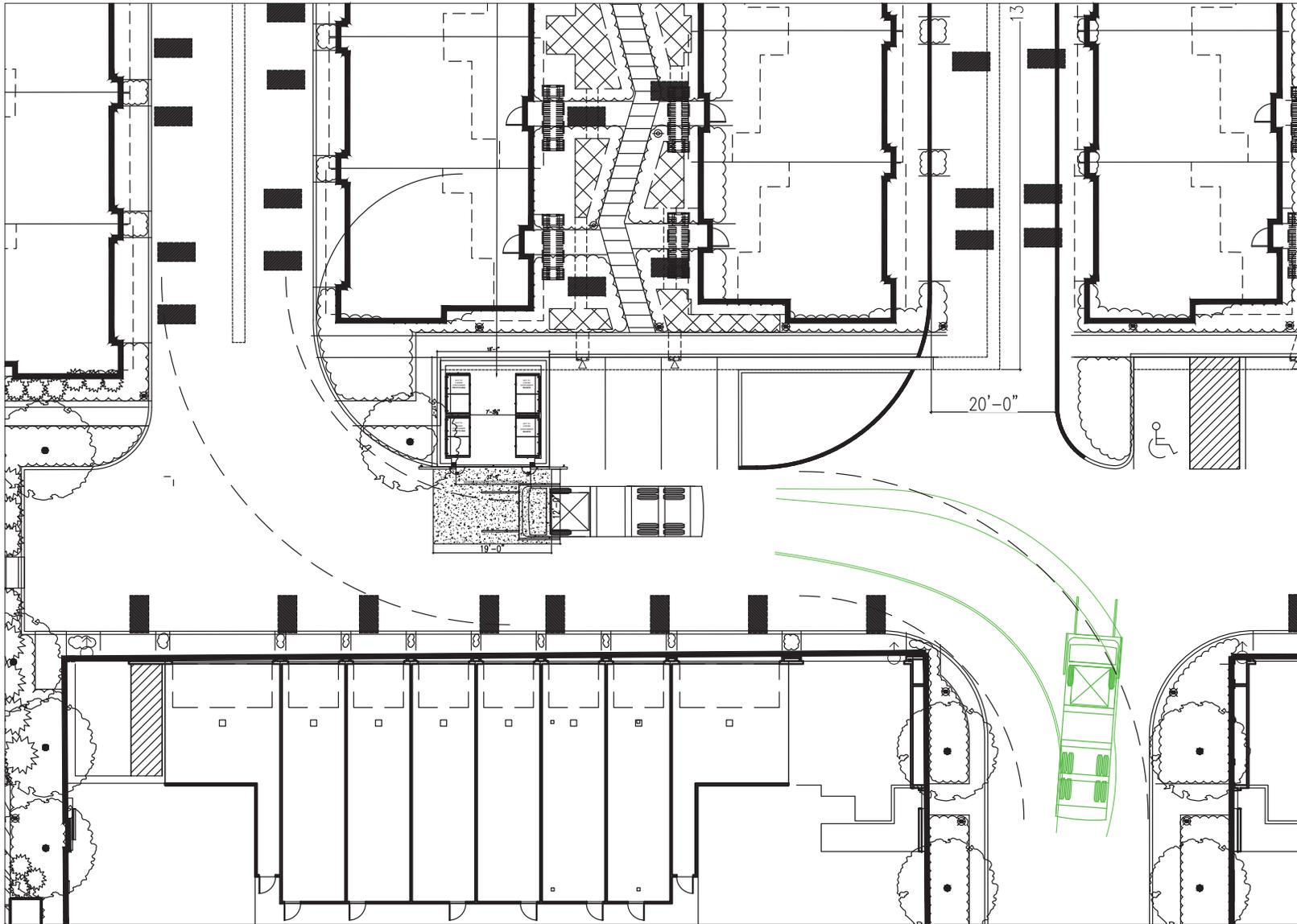
TRASH ENCLOSURE LAYOUT

DRAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN DU	T0.2
APPROVED SB	
DATE 02/11/2022	
SCALE 3/16" = 1'-0"	



**TRASH ENCLOSURE LAYOUT
 SINGLE TRASH ENCLOSURE (RESIDENTIAL ACCESS)**



AMERICAN TRASH MANAGEMENT

AMERICAN TRASH MANAGEMENT
 1900 POWELL STREET, SUITE 220
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CONSULTANT

KTGY

ARCHITECT

BAYVIEW DEVELOPMENT GROUP

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY
12.22.21		SUBMITTAL #2	

3155 EL CAMINO
 SANTA CLARA, CA

PROJECT

OPTION 2: SERVICE LOCATION
 LOOSE FRONT-LOAD SERVICE

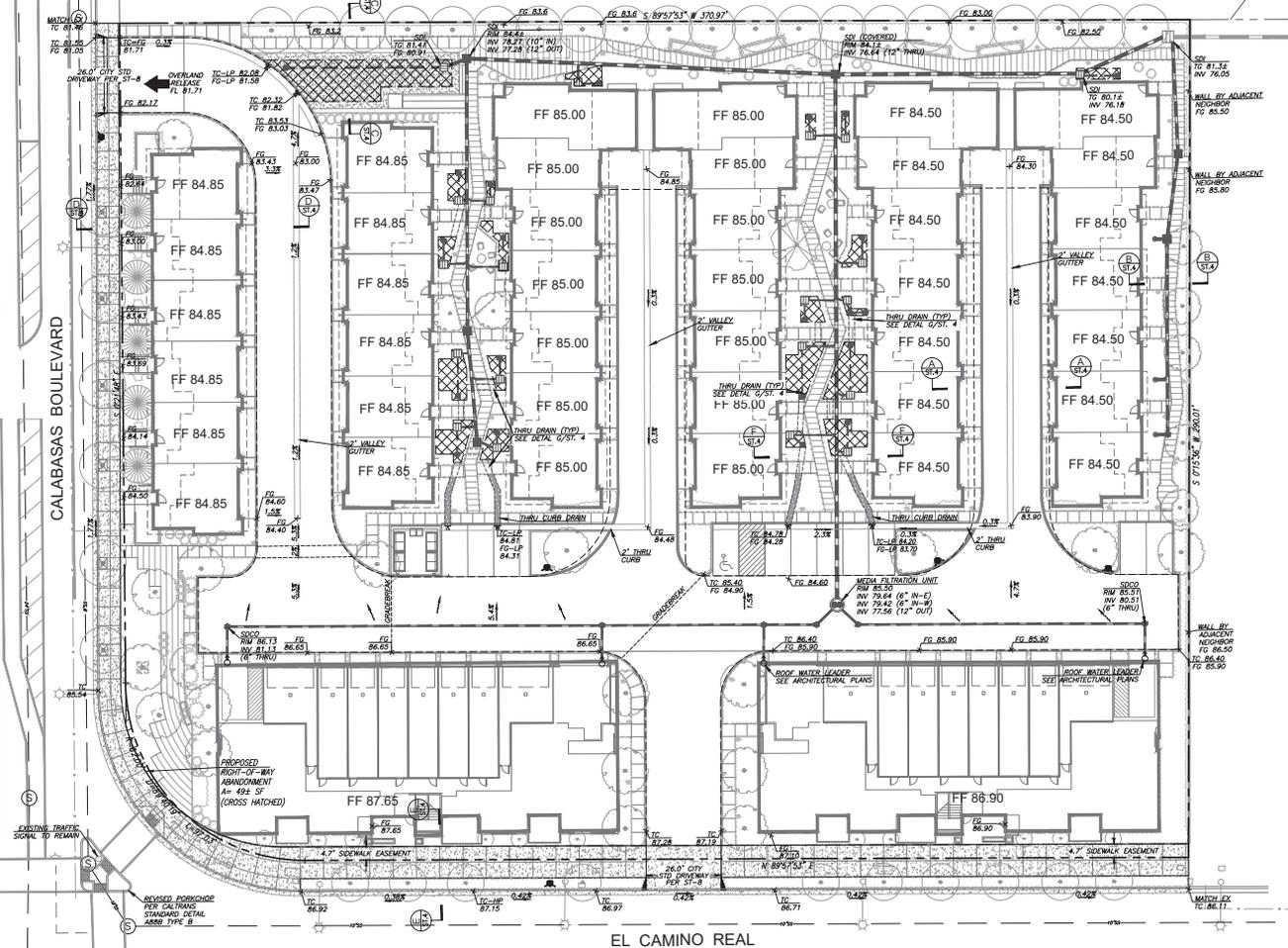
DRAWING TITLE

PROJECT NO.	
DRAWN	DU
APPROVED	SB
DATE	02/11/2022
SCALE	1/16" = 1'-0"

DRAWING NO.

T0.3

TRACT NO. 1677
EL RANCHO CAMINO UNIT NO. 4



LEGEND & ABBREVIATIONS

- EX. PROPERTY LINE
- - - - - EX. PROPERTY LINE TO BE REMOVED
- NEW PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- BUILDING LINE
- FENCELINE
- WALL
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- or ■ AREA DRAIN OR CATCH BASIN
- cv COMMUNICATIONS VAULT
- a CURB DRAIN
- d DETECTOR
- ev DETECTOR CHECK VALVE
- EL ELECTRICAL UTILITY BOX

- ⊕ ELECTROLYTIC STREET LIGHT
- EV ELECTRICAL VAULT
- gv GAS VALVE
- sp SANITARY SEWER CLEANOUT
- SN SIGN
- SL SITE LIGHT
- + 100.0 SPOT ELEVATION
- 100.0 SPOT ELEVATION (AERALLY DERIVED)
- SL STREET LIGHT BOX
- sd STORM DRAIN MANHOLE
- ts TRAFFIC SIGNAL BOX
- trf TRANSFORMER
- uc UTILITY CONDUIT
- um UTILITY MANHOLE (TYPE UNKNOWN)
- up UTILITY POLE
- uv UTILITY VAULT (TYPE UNKNOWN)
- w WATER METER
- W WATER VALVE



PRELIMINARY GRADING, DRAINAGE & UTILITIES

VESTING TENTATIVE TRACT MAP

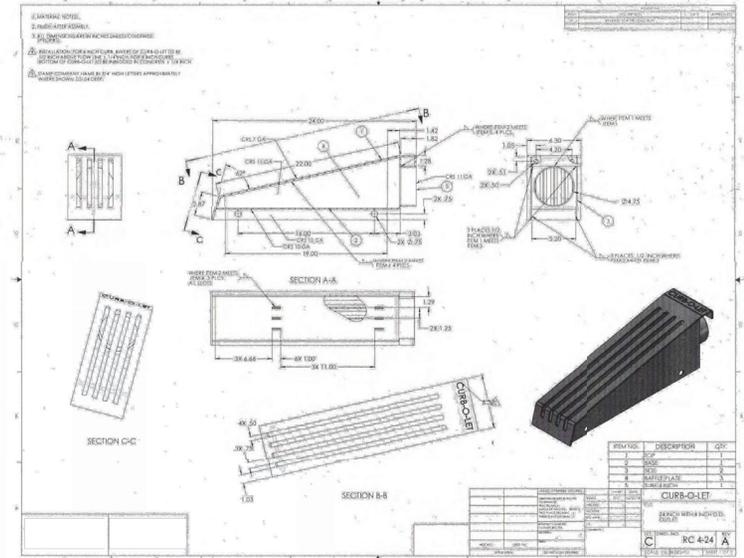
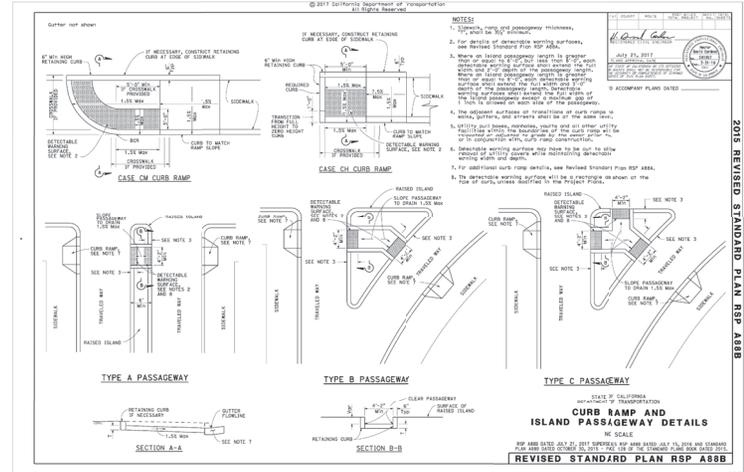
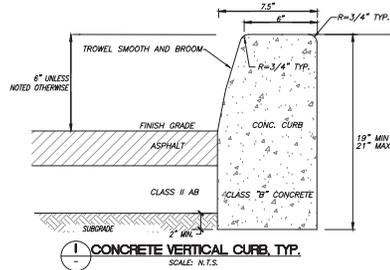
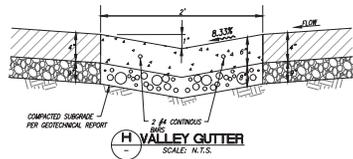
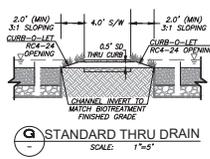
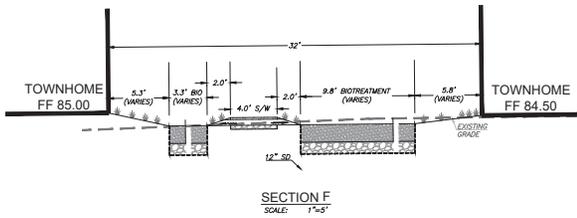
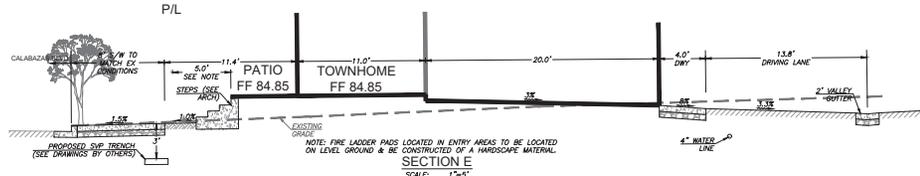
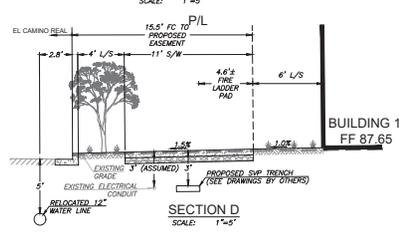
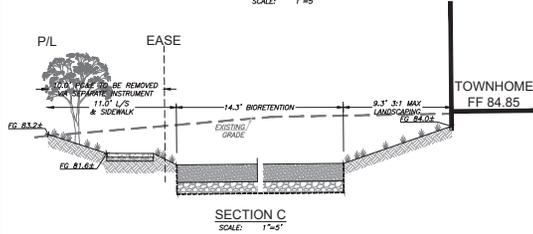
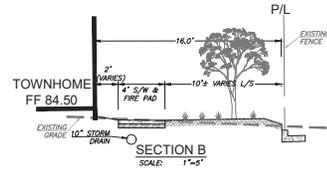
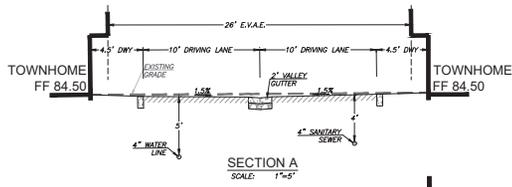
FOR RESIDENTIAL CONDOMINIUM PURPOSES
3074 - 3157 EL CAMINO REAL
PLN2020-14674 CALIFORNIA

JMH WEISS, INC.
Civil Engineering ~ Surveying ~ Land Planning
1721 Technology Drive, Ste 6000 San Jose, CA 95110
Tel: (408) 286-4555

REVISIONS	
#	DATE DESCRIPTION
1	10/19/2020 FIRST SUBMITTAL
2	09/19/2021 SECOND SUBMITTAL
3	12/22/2021 THIRD SUBMITTAL
4	02/11/2022 FOURTH SUBMITTAL

AS SHOWN	02/11/2022	5213	3 OF 4
SCALE	DATE	JOB NO.	

JMH WEISS, INC. - 3041 O Center Ave - Suite 600 (San Jose) CA 95128-1000 FAX: 415.222.1000
USER: C:\Users\k221\OneDrive\Documents\Projects\1677\1677.dwg DATE PLOTTED: 02/11/2022 10:00am
DSC: C:\Users\k221\OneDrive\Documents\Projects\1677\1677.dwg



VESTING TENTATIVE TRACT MAP
FOR RESIDENTIAL CONDOMINIUM PURPOSES
3074 - 3157 EL CAMINO REAL
SANTA CLARA CALIFORNIA
PLN2020-14674

JMH WEISS, INC.
Civil Engineering ~ Surveying ~ Land Planning
1721 Technology Drive, Ste 4000 ~ San Jose, CA 95110
Tel: (408) 298-4555

#	DATE	DESCRIPTION
1	10/19/2020	FIRST SUBMITTAL
2	08/19/2021	SECOND SUBMITTAL
3	12/22/2021	THIRD SUBMITTAL
4	02/11/2022	FOURTH SUBMITTAL

AS SHOWN	02/11/2022	5213	4 OF 4
SCALE	DATE	JOB NO.	



Agenda Report

22-489

Agenda Date: 6/15/2022

REPORT TO PLANNING COMMISSION

SUBJECT

Public Hearing: Review of the Proposed FY 2022/23 and FY 2023/24 Biennial Capital Improvement Program Budget for Conformity with the City of Santa Clara 2010-2035 General Plan

EXECUTIVE SUMMARY

In accordance with State law and City procedures, the Planning Commission is charged with reviewing the proposed Capital Improvement Program (CIP) Budget (Pursuant to Government Code Section 65401) to determine its consistency with the adopted 2010-2035 General Plan. The City Council reviews the Planning Commission's findings prior to taking action on the budget. The proposed budget was presented at a City Council Study Session on May 24, 2022 and a second Study Session on June 7, 2022. The proposed budget will be brought forward for final approval on June 21, 2022. Although the draft CIP Budget may change somewhat before the City Council's public hearing, those changes are expected to be relatively minor and generally in line with what is currently contained in this draft document. If necessary, any significant additions can be subsequently brought before the Commission.

BACKGROUND

The Capital Improvement Program (CIP) is a five-year expenditure plan that guides the City in the planning, scheduling and budgeting of capital investments for its infrastructure and facility needs. The capital projects are aligned to the Adopted City Council Strategic Pillars and the Adopted FY 2022/2023 Budget Principles. These Budget Principles provide a framework for budget review and development, ensuring fiscal stability by considering both the short and long-term impacts of any funding decisions.

Budget Principles for FY 2022/2023

1. Make decisions within the context of the City's Code of Ethics and Values, especially being Fiscally Responsible, Communicative, and Service-Oriented.
2. Consider budget decisions with long-term implications taking into account data from the Ten-Year Financial Forecast.
3. To the extent possible, align ongoing expenditures with ongoing revenues to avoid negative impacts on future budgets and maintain the City's high financial management standards.
4. When addressing General Fund shortfalls, use a combination of ongoing and one-time solutions to balance the competing goals of aligning ongoing revenues and expenditures and minimizing the service delivery impacts to the community.
5. Continue cost control measures until the ongoing General Fund revenues and expenditures are in alignment.
6. Approve an exception to the Council Policy that dictates setting the General Fund Budget Stabilization Reserve at or above 25% of adopted budget expenditures; set the Reserve level at a minimum of 15% of expenditures and address any remaining FY 2022/23 shortfall with the use of the Land Sale Reserve.
7. Focus on projects and services that benefit the community as a whole.
8. Pursue economic development objectives and strategies to foster new public and private investment within Santa Clara, and to create employment opportunities.

9. Balance between compensation adjustments to retain and attract employees and funding for positions.
10. Use one-time unrestricted revenues (e.g., annual General Fund surplus) for one-time uses such as increasing reserves, funding capital or Information Technology projects, paying off debt, and/or paying off unfunded pension or other post-employment benefits liabilities.
11. Inform and communicate clearly and broadly to residents, businesses and employees regarding the City's fiscal position and budget; schedule hearings to promote active participation in the City Council's budget deliberations.
12. With limited exceptions, establish fees based on full cost recovery where individuals/businesses rather than the community at-large are benefitting from City services. This preserves limited unrestricted resources for providing services that benefit the community as a whole.
13. Focus on business process redesign in order to improve employee productivity and the quality, flexibility, and cost-effectiveness of service delivery (e.g., streamlining, simplifying, reorganizing functions, and reallocating resources).
14. Explore expanding existing revenue sources and/or adding new revenue sources.
15. Engage employees to contribute new and innovative ideas during the department budget development process.
16. Use the General Plan as a primary long-term fiscal planning tool and link ability to provide City services to development policy decisions.

In addition to the capital projects' alignment to the Council Strategic Pillars and Budget Principles, the new CIP projects will be reviewed by the Planning Commission (Commission) on a biennial basis for consistency with the 2010-2035 General Plan. All other projects in the CIP would have been reviewed for consistency in prior years.

2010-2035 General Plan

On November 16, 2010, the City Council adopted the 2010-2035 General Plan and certified the associated Final Environmental Impact Report. There are seven Major Strategies that represent the overarching principles in the City's General Plan. The Strategies provide the foundation for the Plan's goals and policies, as well as implementing actions. Each Strategy listed below defines a distinct priority, such as economic vitality or sustainability.

1. Enhance the City's High Quality of Life
2. Preserve and Cultivate Neighborhoods
3. Promote Sustainability
4. Enhance the City Identity
5. Support Focus Areas and Community Vitality
6. Maintain the City's Fiscal Health and Quality of Services
7. Maximize Health and Safety Benefits

The General Plan is a "Progressive General Plan" which provides a multi-horizon sequence for development as a mechanism to facilitate responsible growth. The City's General Plan policies are designed to guide this development. Collectively, these policies comprise the Plan's implementation program. Policies provide direction for public improvements, define appropriate land uses, identify standards for new development and detail measures to protect the City's environmental quality.

Implementation of the General Plan involves the City Council, the Planning Commission, other City review bodies, City Staff, and the community. Community Development Department staff has primary responsibility for implementing the Plan.

New Projects for Consistency Review

There are 13 newly created projects that are fully or partially funded in the Biennial FY 2022/2023 and FY 2023/2024 CIP (Attachment 1). Those projects are focused on the construction or improvements of new transmission lines for Silicon Valley Power; a battery storage system to store clean power for use during peak periods; improvements to existing facilities such as replacement of a section of sidewalk in front of the library; and construction of a new roof for the parks service center. The new projects are consistent with the General Plan's intent of promoting high quality of life enjoyed in the City; encouraging the preservation and enhancement of existing neighborhoods; maintaining the quality of City services and amenities; and supporting the Major Strategies.

DISCUSSION

For the purpose of this report, staff is emphasizing the projects that are new to the CIP budget, and have not yet been analyzed for General Plan conformance. These newly added projects support several of the Major Strategies such as Major Strategy No. 1, Enhancing the City's High Quality of Life and No. 6, Maintain the City's Fiscal Health and Quality Services.

Moreover, the projects also align to various goals and strategies that include, but not limited to, Public Facilities and Services, Mobility and Transportation, and Quality of Services. Some of the major projects are highlighted below and are organized by the goals and policies category of the General Plan.

Public Facilities and Services

As part of the General Plan, the City included goals and policies aimed at offering facilities for physical activities that would promote community health to meet the varying needs of residents in the community. The projects include the Central Park Master Plan, which will set the direction for the City's primary recreational amenity.

The relevant goals and policies are listed below.

- **5.9.1 G1:** Ample facilities for physical activities that promote community health.
- **5.9.2 P1:** Provide a diverse range of community, art, cultural and recreational facilities to meet the varying needs of residents in the City, including youth and seniors.

Mobility and Transportation

The CIP budget also includes line items for implementation studies for the Bicycle Plan and for the Traffic Impact Fee Nexus Study update. The Bicycle Plan studies will include outreach, and traffic and parking studies for a number of proposed bike lane projects within the City. The Traffic Impact Fee Nexus Study will help to ensure that the City charges developers appropriate fees for required transportation improvements.

These projects are consistent with the General Plan Mobility and Transportation policies, including:

- **5.8.1 P2:** Link all City transportation networks, including pedestrian and bicycle circulation, to existing and planned regional networks
- **5.8.1-P8:** Support efficient and effective use of revenue sources to adequately meet all transportation modes and needs.
- **5.8.4-P2:** Provide a system of pedestrian and bicycle friendly facilities that supports the use of alternative travel modes and connects to activity centers as well as residential, office and mixed use developments.

Quality of Services

The CIP also consists of projects that help to maintain the City's Quality of Services, which includes the construction new transmission lines for the electric utility, and a new roof for the Parks Service Center. These projects are consistent with the following General Plan policies:

- **5.3.1 P17** Promote economic vitality by maintaining the City's level of service for public facilities and infrastructure, including affordable utilities and high-quality telecommunications.
- **5.10.3 P10** Maintain the City's level of service for high quality utilities and telecommunications infrastructure.

The CIP budget also includes a number of line items for the administration of fees, including a line for the refund of impact fees not used within the 5-year statutory timeframe, and for the administration of CIP projects in the Tasman East and Patrick Henry Drive Specific Plan Areas using developer fees as a funding source. These items are consistent with the following General Plan Policy:

- **5.3.1 P9** Require that new development provide adequate public services and facilities, infrastructure, and amenities to serve the new employment or residential growth.

Each of the projects in the proposed CIP was similarly compared to relevant General Plan policies. Based on this analysis, staff has concluded that the Proposed FY 2022/23 and 2023/24 Biennial Capital Improvement Program Budget is consistent with the 2010-2035 General Plan.

Findings

Staff recommends that the Planning Commission find that the proposed CIP budget is consistent with the City of Santa Clara adopted General Plan 2010-2035 in that:

- The projects listed in the proposed FY 2022/23 and 2023/24 Biennial Capital Improvement Program Budget are consistent with the Santa Clara 2010-2035 General Plan major strategies and goals and policies; and
- The proposed FY 2022/23 and 2023/34 Biennial Capital Improvement Program Budget takes into consideration the FY 2022/23 Budget Principles.

These findings are included in the proposed resolution (Attachment 2).

ENVIRONMENTAL REVIEW

Environmental review determinations are provided as part of the table entitled, Proposed FY 2022/2023 and FY 2023/2024 Biennial Capital Improvement Program Budget CEQA Determinations, which is included as Attachment 1.

FISCAL IMPACT

There is no fiscal impact to the City for the determination of General Plan Consistency for CIP projects.

COORDINATION

This report has been coordinated with the City Attorney's Office.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any

agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

RECOMMENDATION

Adopt a Resolution making findings on the conformity of the Proposed FY 2022/23 & FY 2023/24 Biennial Capital Improvement Program Budget with the 2010-2035 General Plan.

Reviewed by: Alexander Abbe, Assistant City Attorney

Reviewed by: Lesley Xavier, Planning Manager

Approved by: Reena Brilliot, Assistant Director of Community Development

ATTACHMENTS

1. Environmental Determinations for New CIP Projects
2. Resolution - Proposed FY 2022/23 and FY 2023/2024 Capital Improvement Program Budget General Plan Conformity Findings
3. Resolution Exhibit 1 - Proposed Biennial Capital Improvement Program Budget
4. Proposed FY 2022/23 and FY 2023/2024 CIP Budget projects

Attachment 1:
FY2022-2023 and FY 2023-2024 CIP Budget CEQA Determinations

Project No & Title	Department Display Name	Project Manager	Strategic Pillar Description	Project Location	Project Description / Scope / Purpose	Environmental Determination
TEMP29 - Walsh-Uranium 60kV Reconductor	Electric Utility	Tu Hu	Deliver and Enhance High Quality Efficient Services and Infrastructure	1600 Walsh St to 2705 Bowers	The Walsh-Uranium 60kV line is part of SVP's Center Loop between Scott Receiving Station (SRS) and Kifer Receiving Station (KRS). The 60kV line is configured with SVP's standard bundled 954 All Aluminum Conductor (AAC) between Walsh Substation and Uranium Substation. The line is overhead (above the ground) and comprises of a mixture of wood and steel poles and has a total length of 1.64 miles. SVP plans to replace the bundled 954 AAC with its new standard wire size of bundled 715 KCM Aluminum Conductor Ceramic Reinforced (ACCR). By completing this project, SVP will increase the 60kV line section rating from 174 MW's to 330 MW's. The Walsh-Uranium 60kV line section will still be limited to 207 MW's by the 2000 amp breakers at Uranium Substation. Breakers will be replaced as part of a separate capital project to allow full capacity.	15262, Feasibility and Planning Studies
TEMP30 - Reconfigure Northwest & Center Loops	Electric Utility	Tu Hu	Deliver and Enhance High Quality Efficient Services and Infrastructure	West Central and North West	The Northwest (NW) loop and Center Loop reconfiguration project includes the addition of new 60kV lines sections south of Scott Blvd along Bowers, along Owen, and north along San Tomas Expressway to Scott Blvd. The new 60kV line sections will allow for the relocation of Fairview Substation and Stender Way Junction from the Center loop to the NW Loop. SVP will install 5,500 circuit feet of new bundled 715 KCM Aluminum Conductor Ceramic Reinforced (ACCR), and replace 4,500 circuit feet of bundled 954 AAC with bundled 715 KCM ACCR. New easements will be required for the new 60kV line sections. This project includes finalizing the final line route and studies for integration with future 60kV/115kV loops.	15262, Feasibility and Planning Studies
TEMP31 - Grizzly Tap Line Repairs	Electric Utility	Nick Van Haefen	Deliver and Enhance High Quality Efficient Services and Infrastructure	2550 Co Rd 306	This project is to replace the City-owned 4.2 mile long transmission line that connects the Grizzly power plant to the PG&E Bucks Creek substation. The transmission line was severed during the Dixie fire occurring between July 13, 2021 to October 25, 2021. Further evaluation and scope are pending the outcome of a PG&E analysis.	15262, Feasibility and Planning Studies
TEMP32 - Battery Energy Storage System	Electric Utility	Sachin Bajracharya	Deliver and Enhance High Quality Efficient Services and Infrastructure	3025 Raymond St	This project includes the installation of a Battery Energy Storage System (BESS) with a capacity of up to 50MW/200MWh. The system would connect to the transmission system at 60kV and help increase the system's capacity at peak times and provide voltage/VAR support. SVP is expected to enter into a twenty (20) year Power Purchase agreement (PPA) and would pay annual fees per energy per KW which are currently under negotiation. This arrangement will not require SVP to invest project capital during the construction; however, there will be some preconstruction and make ready work that SVP is required to perform as a part of this agreement.	15262, Feasibility and Planning Studies
TEMP24 - New Project - Replacement SCBA Filling Stations	Fire Department	Nick Restani	Deliver and Enhance High Quality Efficient Services and Infrastructure	Fire Station 9	This project funds the replacement of an existing self-contained breathing apparatus (SCBA) filling station at Fire Station 9. The replacement of this equipment is necessary as this filling station has been deemed no longer serviceable by the manufacturer/service provider as parts for this iteration of the equipment are no longer being made. Additionally, this equipment continues to have increased failed air sample tests. The funding of \$100,000 in FY 2022/23 is sufficient to replace one filling station. The second filling station at Fire Station 2 remains unfunded.	15302(c) Replacement or reconstruction of existing facilities involving negligible expansion of capacity
TEMP6 - Central Park Library - Concrete Sidewalk Replacement	Library Department	Evelyn Liang	Deliver and Enhance High Quality Efficient Services and Infrastructure	Central Park Library	At the Central Park Library, the concrete sidewalk between the handicapped parking and short term parking spaces and the building is settling and sinking. The sinking is occurring at an angle toward the building which is creating drainage issues. There are concerns for the building foundation and tripping hazards for library patrons including our disabled community. The project scope includes design and construction of work needed to address the drainage issues and make the existing concrete walkway ADA compliant.	15301, Existing Facilities
TEMP16 - Central Park Master Plan- Aquatic Center Planning & Design	Parks & Recreation	James Teixeira	Enhance Community Sports, Recreational and Arts Assets	Central Park	In 2018, the City's Facility Condition Assessment Report (Kitchell), identified the George Haines International Swim Center (ISC) as critical and beyond its useful life, needing replacement. This project includes both a study of the facility and master planning efforts for the first phase of the project, a new 50-meter multi-use pool and bathhouse. A forensic engineering/architectural and failure study of the existing 1960's era ISC facility and its infrastructure would be completed with recommendations on necessary repairs, costs, and potential closure timeline. This project also includes planning for the first phase of the project, including: community outreach; master plan preparation; and development of specific plans, specifications, and cost estimate (PS&E) for a 50-meter deep/shallow pool with moveable bulkhead. The new pool facility would be located on the Kiely Blvd. side of the park, reducing existing traffic, parking, and noise concerns. An Aquatic Center Master Plan would provide opportunity for future phased expansion with additional pools as illustrated in the 2019 Central Park Master Plan and take advantage of previous extensive community input, geotechnical, engineering, CEQA and other studies. This project is partially funded and addresses the first phase of the planning effort; the unfunded amount totals \$2.1 million. This project follows the Central Park Master Plan vision and guiding principles adopted by Council and vetted with community and Commission.	15262, Feasibility and Planning Studies

Attachment 1:
FY2022-2023 and FY 2023-2024 CIP Budget CEQA Determinations

Project No & Title	Department Display Name	Project Manager	Strategic Pillar Description	Project Location	Project Description / Scope / Purpose	Environmental Determination
TEMP18 - Parks Service Center Roof	Parks & Recreation	Huy Nguyen	Enhance Community Sports, Recreational and Arts Assets	Parks Service Center	<p>The Parks Service Center building was constructed in the 1960's and contains the original roofing materials. The roof has had a number of emergency repairs and patches due to rainwater leaks into the building. The existing roof is beyond its useful life and is in dire need of replacement. The project consists of replacement of the parks service center roof and, if required in order to comply with code requirements, minor ADA upgrades to the existing restroom. The installation of solar panels, funded by the SVP Greenhouse Gas Program, will also be incorporated into the project and will generate energy savings for the City.</p> <p>The project is proposed to be partially funded in the amount of \$800,000, with an unfunded estimate of \$235,000.</p>	15301, Existing Facilities
TEMP36 - Quimby Developer Reimbursement	Parks & Recreation	James Teixeira	Enhance Community Sports, Recreational and Arts Assets	City-wide	<p>This project will allocate funds in accordance with local, state and/or federal regulations, as applicable.</p> <p>In accordance with California Gov't Code section 66477, as may be amended, fees may be returned to developers upon dedication of parkland or fees that are not committed within the prescribed 5-year timeframe. Applicable subsections are provided below:</p> <p>-(a)(6)(A) The city, county, or other local public agency to which the land or fees are conveyed or paid shall develop a schedule specifying how, when, and where it will use the land or fees, or both, to develop park or recreational facilities to serve the residents of the subdivision. Any fees collected under the ordinance shall be committed within five years after the payment of the fees or the issuance of building permits on one-half of the lots created by the subdivision, whichever occurs later. If the fees are not committed, they, without any deductions, shall be distributed and paid to the then record owners of the subdivision in the same proportion that the size of their lot bears to the total area of all lots within the subdivision.</p> <p>-(a)(9) If the subdivider provides park and recreational improvements to the dedicated land, the value of the improvements together with any equipment located thereon shall be a credit against the payment of fees or dedication of land required by the ordinance.</p>	Not a project per CEQA Guidelines Section 15378(b)(4), fiscal activities
TEMP33 - Tasman East Developer Reimbursement	Public Works	Viet Nguyen	Deliver and Enhance High Quality Efficient Services and Infrastructure	Tasman East	This project provides developer reimbursements from the Tasman East Specific Plan Infrastructure Impact Fees. The Nexus Study identified a list of infrastructure items of approximately \$30 million to be funded by impact fees. This project manages the repayment to developers for these improvements in the event they build out more than their fee requires.	Tasman East Specific Plan EIR
TEMP34 - Patrick Henry Drive Administration	Public Works	Viet Nguyen	Deliver and Enhance High Quality Efficient Services and Infrastructure	Patrick Henry	This project provides funding for the administration of the Patrick Henry Drive Specific Plan Infrastructure Impact Fee. The Nexus Study identified a list of infrastructure items at a cost of approximately \$106 million to be funded by impact fees. This project manages the implementation of these improvements, funded by impact fees.	Patrick Henry Drive EIR
TEMP4 - Bicycle Plan Implementation Studies	Public Works	Carol Shariat	Deliver and Enhance High Quality Efficient Services and Infrastructure	Various	This project will complete community outreach, identify existing conditions, complete traffic and parking analyses, and recommend alternatives to implement bicycle facilities approved in the Bicycle Plan Update 2018. Some of these alternatives include parking removal or lane reductions. The project will study two corridors, including: Bowers Avenue & Kiely Boulevard (Chromite Drive to Stevens Creek Boulevard) and Saratoga Avenue (Scott Boulevard to Stevens Creek Boulevard).	The project implements the 2018 Bicycle Plan Update, which the City Council determined to be exempt under PRC 21080.20 on September 24, 2019
TEMP5 - Traffic Impact Fee Nexus Study Update	Public Works	Carol Shariat	Deliver and Enhance High Quality Efficient Services and Infrastructure	Citywide	The project will complete the following tasks to recommend updates for the City's traffic impact fee program: 1) Project the level of future growth in dwelling units, jobs, and vehicle trips, 2) Complete a traffic operations analysis using approved roadway improvements, 3) Identify any locations with Level of Service worse than the Council adopted threshold, 4) Identify projects that would improve Level of Service, 5) Identify the scope and cost of those projects, 6) Calculate a proposed impact fee, and 7) Recommend any changes.	15262, Feasibility and Planning Studies

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA MAKING FINDINGS ON THE CONFORMITY OF THE PROPOSED FISCAL YEAR 2022-2023 AND FY 2023-2024 BIENNIAL CAPITAL IMPROVEMENT PROGRAM BUDGET WITH THE 2010-2035 GENERAL PLAN AND RELATED CEQA DETERMINATIONS

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, a list of capital improvement projects from the City of Santa Clara Capital Improvement Program (“CIP”) Budget for Fiscal Year 2022-23 and Fiscal Year 2023-24 is attached hereto and incorporated herein as Exhibit 1 (“Proposed FY 2022-23 and FY 2023-24 CIPBudget”). This list was submitted to the Planning Commission on June 15, 2022 for the Commission’s review and report as to the conformity of the CIP with the General Plan; and

WHEREAS, the Planning Commission reviewed and considered the Proposed FY 2022-2023 and FY 2023-2024 Biennial CIP Budget to determine whether the list of proposed public works is consistent with the Santa Clara 2010-2035 General Plan pursuant to the requirements of State law.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission has reviewed the “FY 2022-2023 and FY 2023-2024 CIP Budget CEQA Determinations,” attached hereto as Attachment 1 and incorporated herein by this reference. The Planning Commission finds that those determinations are complete, made in compliance with CEQA, and reflect the independent judgment of the Planning Commission, and the Commission recommends that the City Council adopts those CEQA determinations.
2. That the Planning Commission hereby determines that all of the projects listed in the Proposed FY 2022-2023 and FY 2023-2024 Biennial CIP Budget, attached hereto as Attachment 2 and incorporated herein by this reference, conform with the Santa Clara 2010-2035 General Plan major strategies and goals and policies.

3. That the Planning Commission hereby determines that the Proposed FY 2022-2023 and FY 2023-2024 Biennial CIP Budget takes into consideration Council Strategic Objectives.

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 15TH DAY OF JUNE, 2022, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. FY 2022-2023 and FY 2023-2024 CIP Budget CEQA Determinations
2. Proposed FY 2022-2023 and FY 2023-2024 Biennial CIP Budget

Project Number and Title	Department Display Name	Project Planned Completion Year	Five-Year Total
1199 - PW Capital Projects Management - Streets and Highways	Public Works	Ongoing	11,667,286
1203 - Annual Creek Trail Rehabilitation Program	Public Works	Ongoing	200,000
1211 - Neighborhood Traffic Calming	Public Works	Ongoing	315,250
1212 - LED Traffic Signal & Safety Light Replacements	Public Works	Ongoing	600,000
1219 - Traffic Signal Enhancements	Public Works	Ongoing	2,450,000
1220 - Pedestrian and Bicycle Enhancement Facilities	Public Works	Ongoing	1,450,000
1225 - Santa Clara VTA - Congestion Management Program	Public Works	Ongoing	1,407,100
1226 - Uncontrolled Crosswalks Improvements Project	Public Works	Ongoing	5,650,000
1232 - Traffic Signal Interconnect Upgrade	Public Works	FY 2031/32	1,800,000
1234 - Transportation Modeling Update	Public Works	Ongoing	50,000
1235 - Annual Street Maintenance and Rehabilitation Program	Public Works	Ongoing	38,244,160
1246 - Bassett and Laurelwood Bicycle Lanes	Public Works	FY 2023/2024	200,000
1250 - Annual Curb Ramp Installation	Public Works	Ongoing	300,000
1256 - Traffic Engineering Consultant Support	Public Works	Ongoing	200,000
1258 - Multimodal Improvement Plan Phase 2 Projects	Public Works	FY 2026/2027	750,000
1259 - Monroe - Los Padres Traffic Signal Modification	Public Works	FY 2023/24	535,000
1266 - El Camino Real Bike Lane Project	Public Works	FY 2025/26	850,000
1273 - Street Tree Services	Public Works	FY 2023/24	419,000
1325 - Bridge Maintenance Program	Public Works	Ongoing	2,410,000
1376 - Safe Routes to School	Public Works	Ongoing	555,000
1382 - Sidewalk, Curb and Gutter Repair	Public Works	Ongoing	2,600,000
1811 - Storm Drain Pump Station Facility Maintenance & Repair	Public Works	Ongoing	184,000
1838 - SDPS Motor and Control Maintenance, Repair, and Replacement	Public Works	Ongoing	491,000
1839 - Urban Runoff Pollution Prevention Program	Public Works	Ongoing	300,000
1844 - Storm Drain Slide Gate Rehabilitation	Public Works	FY 2026/2027	500,000
1899 - PW Capital Projects Management - Storm Drain	Public Works	Ongoing	1,093,416
1908 - S.J.-S.C. Regional Wastewater Facility	Water and Sewer Utility Dept	FY 2043	76,489,915
1909 - Sanitary Sewer Capacity Improvements	Public Works	Ongoing	1,047,445
1911 - Sanitary Sewer System Condition Assessment	Water and Sewer Utility Dept	Ongoing	2,500,000
1912 - Sanitary Sewer System Improvements	Water and Sewer Utility Dept	Ongoing	10,000,000
1919 - Sanitary Sewer Hydraulic Modeling As Needed Support	Public Works	Ongoing	1,680,000
1920 - Sanitary Sewer Master Plan Update	Public Works	FY 2023/24	500,000
1979 - PW Capital Projects Management - Sewer	Water and Sewer Utility Dept	Ongoing	4,294,769
2004 - Fiber Development, Design, and Expansion	Electric Utility	Ongoing	11,231,693
2005 - New Business Estimate Work	Electric Utility	Ongoing	23,547,250
2006 - Transmission and Distribution Capital Maintenance and Betterments	Electric Utility	Ongoing	7,469,738
2010 - Electric Yard Buildings and Grounds	Electric Utility	Ongoing	2,230,624
2119 - Generation Capital Maintenance and Betterments	Electric Utility	Ongoing	7,800,000
2124 - Transmission System Reinforcements	Electric Utility	FY 2022/23	22,035
2127 - Major Engine Overhaul and Repair	Electric Utility	Ongoing	15,411,000

Project Number and Title	Department Display Name	Project Planned Completion Year	Five-Year Total
2395 - Operations and Planning Technology	Electric Utility	Ongoing	1,210,000
2398 - Clean Energy and Carbon Reduction	Electric Utility	FY 2022/23	1,732,669
2410 - System Capacity Expansion	Electric Utility	Ongoing	5,045,917
2418 - Esperanca Substation	Electric Utility	FY 2025/26	26,806,526
2424 - Substation Physical Security Improvements	Electric Utility	FY 2024/25	100,869
2430 - North Receiving Station (NRS) 230kV Spare Transformer	Electric Utility	FY 2023/24	16,200,000
2431 - Homestead Substation Rebuild	Electric Utility	FY 2028/29	33,037,746
2434 - Replace Balance of Plant Control System (DCS)	Electric Utility	FY 2024/25	4,461,000
2437 - Valve Replacement and Repair	Electric Utility	FY 2023/24	725,000
2438 - Underground/Above Ground Tank Replacement and Maintenance	Electric Utility	FY 2024/25	55,000
2441 - Electric Vehicle (EV) Charging	Electric Utility	FY 2029/30	5,077,056
2444 - Northwest Loop Capacity Upgrade	Electric Utility	FY 2024/25	2,150,000
2445 - NRS Breaker 392 Addition	Electric Utility	FY 2024/25	1,390,000
2447 - Substation Control and Communication System Replacement	Electric Utility	FY 2026/27	607,872
2448 - Stender Way Junction Substation	Electric Utility	FY 2024/25	7,130,000
2449 - Memorex Junction Substation	Electric Utility	FY 2024/25	4,355,000
2450 - Martin Avenue Junction Substation	Electric Utility	FY 2024/25	6,852,000
2451 - Freedom Circle Junction Substation	Electric Utility	FY 2023/24	1,363,250
2452 - 60KV Breaker Upgrades	Electric Utility	FY 2024/25	14,138,000
2453 - KRS Rebuild and Replacement	Electric Utility	FY 2024/25	53,010,203
2454 - NRS Transformer Replacement	Electric Utility	FY 2024/25	14,000,000
2455 - NRS-KRS 115kV Line	Electric Utility	FY 2027/28	22,758,000
2456 - SRS Rebuild and Replacement	Electric Utility	FY 2024/25	58,560,203
2871 - Miscellaneous Street Lighting	Electric Utility	Ongoing	500,000
2875 - Great America Street Light Replacement Project	Electric Utility	FY 2023/24	2,121,455
3132 - Community Park North - Phase I	Parks & Recreation	2025	4,500,000
3136 - Westwood Oaks Park Playground Rehabilitation	Parks & Recreation	FY 2022/23	1,000,000
3181 - Park Impact Fees (Quimby, MFA, Developer) Monitoring Project	Parks & Recreation	Ongoing	546,000
3199 - PW Capital Projects Management - Parks & Recreation	Parks & Recreation	Ongoing	439,877
3699 - PW CIP Management Services	Parks & Recreation	Ongoing	49,828
4084 - Protective Equipment Replacement	Fire Department	Ongoing	1,008,284
4089 - Defibrillator/Monitor Replacement	Fire Department	2024	140,000
4099 - PW Capital Projects Management - Fire	Fire Department	Ongoing	8,736
4511 - Related General Admin Project	Non-Departmental	Ongoing	1,946,058
4512 - Related Permit Work Project	Non-Departmental	Ongoing	10,571,817
4513 - Other Development Project Services	Non-Departmental	Ongoing	1,300,000
4610 - Tasman East Admin Study and Engineering Studies	Public Works	Ongoing	140,874
5099 - PW Capital Projects Management - Library	Library Department	Ongoing	47,697
6103 - Utility Management Information System (UMIS) Enhancements	Finance Department	Ongoing	2,000,000
6109 - Sanitary Landfill Development - Post Closure	Public Works	Ongoing	3,944,000

Project Number and Title	Department Display Name	Project Planned Completion Year	Five-Year Total
6138 - Repairs-Modifications to City Buildings	Public Works	Ongoing	325,000
6139 - Repair to Historic Buildings	Public Works	Ongoing	200,000
6140 - Triton Museum Repair and Modifications	Public Works	Ongoing	35,000
6158 - Stationary Standby Generators	Public Works	FY 2028/29	2,111,000
6199 - PW Capital Projects Management - Public Buildings	Public Works	Ongoing	105,499
6501 - FHRMS Update Project	Finance Department	Ongoing	296,434
6534 - GIS Enterprise System (Geospatial Information System)	Information Technology	Ongoing	1,500,000
6558 - Morse Mansion Maintenance & Repair	Public Works	Ongoing	100,000
7005 - Buildings and Grounds	Water and Sewer Utility Dept	Ongoing	3,685,000
7054 - Distribution System Replacement/Restoration	Water and Sewer Utility Dept	Ongoing	10,000,000
7057 - Asset Management Program	Water and Sewer Utility Dept	Ongoing	800,000
7058 - SCADA Improvements	Water and Sewer Utility Dept	Ongoing	2,500,000
7059 - New and Replacement Wells	Water and Sewer Utility Dept	Ongoing	5,600,000
7505 - Recycled Water System Mains and Services	Water and Sewer Utility Dept	Ongoing	250,000
8101 - Santa Clara Convention Center Condition Assessment Repair	Non-Departmental	Ongoing	550,000
TEMP16 - Central Park Master Plan- Aquatic Center Planning & Design	Parks & Recreation	2026	358,000
TEMP18 - Parks Service Center Roof	Parks & Recreation	2025	800,000
TEMP24 - New Project - Replacement SCBA Filling Stations	Fire Department	2023	100,000
TEMP29 - Walsh-Uranium 60kV Reconductor	Electric Utility	FY 2024/25	2,757,000
TEMP30 - Reconfigure Northwest & Center Loops	Electric Utility	FY 2027/28	8,682,000
TEMP31 - Grizzly Tap Line Repairs	Electric Utility	FY 2023/24	25,000,000
TEMP32 - Battery Energy Storage System	Electric Utility	FY 2023/24	2,230,725
TEMP33 - Tasman East Developer Reimbursement	Public Works	Ongoing	2,849,684
TEMP34 - Patrick Henry Administration	Public Works	Ongoing	367,418
TEMP36 - Quimby Developer Reimbursement	Parks & Recreation	Ongoing	1,760,920
TEMP4 - Bicycle Plan Implementation Studies	Public Works	FY 2027/28	440,000
TEMP5 - Traffic Impact Fee Nexus Study Update	Public Works	FY 2023/24	300,000
TEMP6 - Central Park Library - Concrete Sidewalk Replacement	Library Department	2023	273,000
Grand Total			624,453,298



Agenda Report

22-763

Agenda Date: 6/15/2022

REPORT TO PLANNING COMMISSION

SUBJECT

Election of Planning Commission Chair, Vice Chair and Secretary

BACKGROUND

City commissions rotate the position of Chair and Vice Chair each year during the beginning of the new Fiscal Year which commences on July 1. The roles of the Chair, Vice Chair, and Secretary are defined in the Procedures section of the City's Board, Commissions, and Committee Handbook. The Planning Commission Chair is responsible for the following duties:

- Preside at all official meetings of the City commission
- Consult with the staff liaison on the meeting agenda
- Attend City Council meetings as needed to represent the City commission
- Sign correspondence on behalf of the City commission

Responsibility of the Vice Chair:

- Substitute for the Chair as needed.

Responsibility of the Secretary:

- Read the invocation, read the agenda items into the record, conduct meeting roll call and be responsible for any updates to the Planning Commission Policies and Procedures. The Secretary will also fill in for the Commission Vice-Chair in their absence.

DISCUSSION

Nancy Biagini serves as the current Planning Commission Chair, and Priya Cherukuru serves as the current Vice Chair. Ricci Herro currently serves as Secretary. The Planning Commission may vote to elect a new Chair, Vice Chair, and Secretary to serve a one-year term ending on June 30, 2023. After nominations, voting and election of each officer, the new officers will assume their positions at the August 24, 2022 Planning Commission meeting.

ENVIRONMENTAL REVIEW

The action being considered does not constitute a "project" within the meaning of the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines section 15378(a) as it has no potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.

FISCAL IMPACT

There is no fiscal impact associated with this item aside from administrative cost and expenses.

COORDINATION

This report has been coordinated with the City Attorney's Office

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

RECOMMENDATION

There is no staff recommendation.

Prepared by: Elizabeth Elliott, Office Specialist IV, Community Development

Approved by: Lesley Xavier, Planning Manager, Community Development