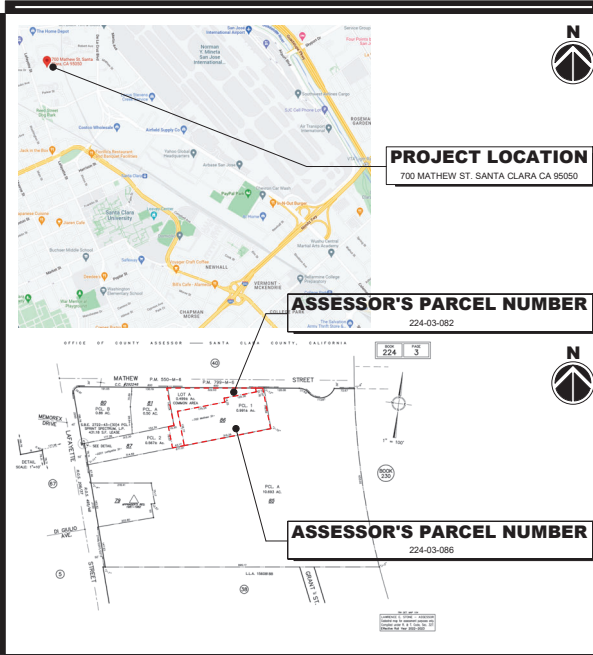


# RE-ZONING PERMIT FOR



700 MATHEW ST,  
SANTA CLARA, CA 95050



### PROJECT DATA

TOTAL SITE AREA	64,898 S.F.
EXISTING BUILDING AREA	BUILDING A: 22,032 S.F. B: 16,503 S.F.
EXISTING USE	INDOOR SOCCER FACILITY
PROPOSED BUILDING AREA	BUILDING A: 23,623 S.F. B: 34,062 S.F.
PROPOSED USE	HEAVY MANUFACTURING
LOT COVERAGE	59.8%
OCCUPANCY	B, F-1
NUMBER OF PROPOSED STORIES	2
MAX HEIGHT	35' - 0"
CONSTRUCTION TYPE	BUILDING A: V-A BUILDING B: V-A
FIRE SPRINKLERED	YES

### ALLOWABLE AREA ANALYSIS

AREA:	BUILDING A: 23,623 S.F.
	BUILDING B: 24,062 S.F.
BUILDING TYPE:	BUILDING A: V-A WITH SPRINKLERS BUILDING B: V-A WITH SPRINKLERS
BUILDING ALLOWABLE STORIES:	BUILDING A: 3 BUILDING B: 2
ALLOWABLE AREA:	BUILDING A: 42,000 S.F. BUILDING B: 42,000 S.F.
AREA	BUILDING A 23,623 S.F. < 42,000 S.F. ALLOWABLE BUILDING B 24,062 S.F. < 25,500 S.F. ALLOWABLE

### SHEET INDEX

ARCHITECTURAL  
 PL0 COVER SHEET  
 PL1-0 PHASING SITE PLAN  
 PL1-1 EXISTING SITE PLAN  
 PL2 PROPOSED SITE PLAN  
 PL3 FLOOR PLANS EXISTING  
 PL4-1 FLOOR PLANS PROPOSED - PHASE 0  
 PL4-2 FLOOR PLANS PROPOSED - PHASE 1  
 PL4-3 FLOOR PLANS PROPOSED - PHASE 2  
 PL5 ELEVATIONS  
 PL6 EXISTING AND PROPOSED RENDERINGS  
 PL7 EXTERIOR IMAGES & PROPOSED RENDERINGS

FIRE PROTECTION RESPONSE  
 FP1-0 PROPOSED SITE ACCESS IMPROVEMENTS  
 FP1-1 EXISTING STANDPIPES AND PROPOSED ROOF ACCESS

CIVIL  
 C1-0 EXISTING CONDITIONS & DEMO PLAN  
 C2-0 GRADING, DRAINAGE, & UTILITY PLAN  
 C2-1 GRADING, DRAINAGE & UTILITY PLAN  
 C3-0 STORMWATER CONTROL PLAN

ELECTRICAL  
 ED-0 ELECTRICAL GENERAL INFORMATION  
 E1-0S ELECTRICAL SITE PLAN  
 E5-0 ELECTRICAL ONE LINE DIAGRAM  
 E5-0 ELECTRICAL LOAD CALCULATION

LANDSCAPE  
 L-1 LANDSCAPE PLAN  
 L-2 PROPOSED LANDSCAPE PLAN

### SCOPE OF WORK

Re-zoning application for existing adjacent buildings. Use to be changed from indoor soccer facility to automated metal fabrication facility for production of high precision metal components. Use will include shipping and receiving of production materials and completed fabrication products.

Scope of work to include demolition of interior asphaltic flooring to be replaced with concrete interior flooring and seismically separated foundations for large-format metal shaping tools. Scope also includes remodeling/expansion of interior 2-story office area. Both buildings will have a new elevated equipment platform within the open warehouse for tool installation and maintenance access.

### PROJECT REPRESENTATIVES

<b>OWNER</b> Quality Metal Spinning & Machining, Inc. 4047 Transport St. Palo Alto, CA 94303	Contact: Andrew Czisch E-mail: andrew@qmsshields.com Phone: (650) 858-2491
<b>ARCHITECT</b> tpc Architecture, Inc. 225 N. Market Street, Suite 255 San Jose, CA 95110	Contact: Brian Brown E-mail: bbrown@tpc-arch.com Phone: (408) 297-5454 Direct: (408) 675-1782
<b>CIVIL</b> JMFI Weiss, Inc. 1731 Technology Drive, Suite 880 San Jose, CA 95110	Contact: Nicholas Brown E-mail: nbrown@jmfiweiss.com Phone: (408) 286-4555
<b>LANDSCAPE</b> RW Stover & Associates, Inc. 1620 North Main Street, Suite 4 Walnut Creek, CA 94596	Contact: Rick Stover E-mail: rstover@rweia.com Phone: (925) 933-2983, ext 105
<b>ELECTRICAL (For Reference Only)</b> Serrano Electric, Inc. 15920 Concord Cir. Morgan Hill, CA 95037	Contact: Dave Haney E-mail: Dave@serranoelectric.com Phone: (408) 968-1570, ext 109

hpc architecture, inc.  
Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arch.com

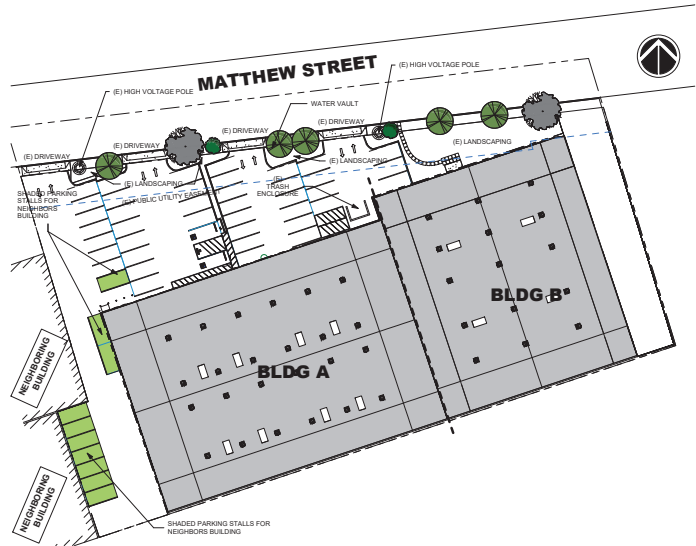
QMS - Santa Clara  
700 MATHEW ST,  
SANTA CLARA, CA 95050

Job Number  
22032  
Date  
2023.01.09  
Drawn  
Author  
Sheet Title  
COVER SHEET  
Scale

Revisions

PRINTED ON RECYCLED PAPER

PL0

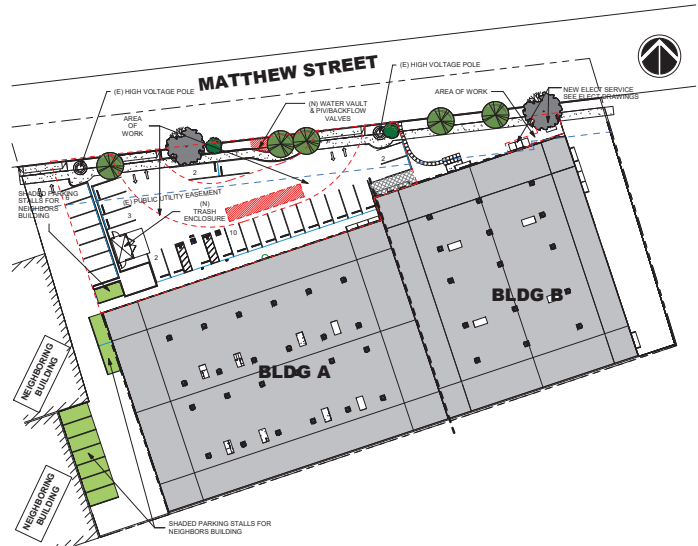


1 Phased Site Plan - Existing

SCALE: 1" = 30'-0"

EXISTING SITE NOTES:

- PENDING WORK FOR POWER UPGRADE TO BUILDING 'A' AND 'B'
- EXISTING FIRE SPRINKLER SYSTEMS FOR BUILDINGS ON SITE ARE CONSIDERED EXISTING NON-CONFORMING
- EXISTING CITY-APPROVED EVA ACCESS PLAN FOR CURRENT SITE IS NON COMPLIANT WITH CURRENT SC FIRE CODE REQUIREMENTS
- ZONING IS CURRENTLY PD WITH APPROVED USES OF:
  - INDOOR SOCCER TRAINING FACILITY
  - WAREHOUSE

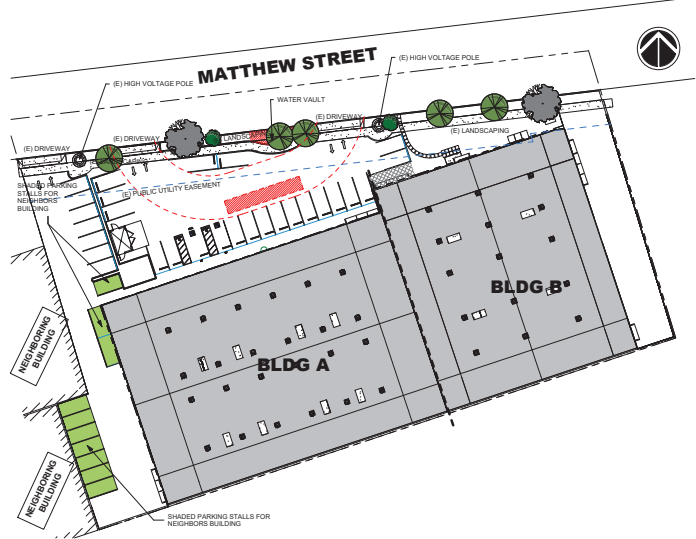


2 Phased Site Plan - Phase Zero

SCALE: 1" = 30'-0"

PHASE ZERO SITE NOTES:

- POWER UPGRADE TO BUILDING 'A' AND 'B' WILL BE CONCURRENT WITH PHASE ZERO WORK
- UPGRADED EVAE TO MEET WITH PROPOSED IMPROVEMENTS. SEE SHEET FP1.0
- PN AND FOC CONNECTIONS FOR BOTH BUILDING 'A' AND 'B' TO BE SEPARATED, INCLUDING INTERIOR FIRE SPRINKLER SYSTEM
- NEW TRASH ENCLOSURE
- EXTERIOR ROLL-UP DOORS SHALL BE ADDED DURING THIS PHASE
- NEW 5'-0" PUBLIC R.O.W. TO BE ADDED ALONG FRONTAGE OF MATHEW STREET

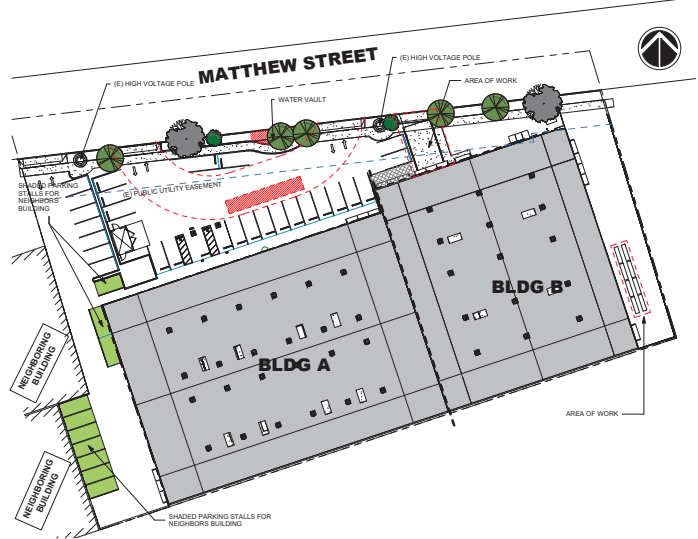


3 Phased Site Plan - Phase One

SCALE: 1" = 30'-0"

PHASE ONE SITE NOTES:

- NO SITE IMPROVEMENTS PLANNED FOR THIS PHASE



4 Phased Site Plan - Phase Two

SCALE: 1" = 30'-0"

PHASE TWO SITE NOTES:

- TRUCK DOCK ADDED TO THIS PHASE AS PART OF SHIPPING/RECEIVING BUILD OUT FOR PHASE 2
- NEW HVAC EQUIPMENT PLACED IN EAST YARD (POTENTIAL ALTERNATE PLACEMENT ONTO ROOF - REQUIRES STRUCTURAL UPGRADE)

hpc architecture, inc.  
 Steven M. Cox, A.I.A., Architect  
 255 N. Market St., Suite 255  
 San Jose, CA 95110  
 408.297.5454 | www.hpc-arch.com

QMS - Santa Clara  
 700 MATHEW ST.  
 SANTA CLARA, CA 95050

Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	PHASING SITE PLAN
Scale	1" = 30'-0"

Revisions

1	
2	
3	
4	

PRINTED ON RECYCLED PAPER

PL1-0

### SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL
- ▨ PLANTING AREA

### PARKING COUNTS

USE	PARKING REQUIRED			Parking Schedule - EXISTING	
	RATIO	AREA	REQUIRED	Family	Count
INDOOR SOCCER OFFICE	12000/1300	34,605 SF/4,031 SF	18	Accessible Space - Standard	2
				Parking Space	39
				Grand total:	41
		Total SF: 38,536	TOTAL: 32		

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE SEPARATED.  
 2. THIS SHEET IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE ARCHITECT'S REVIEW AND SIGNATURE.  
 3. THESE PLANS AND DETAILS SHALL BE CONSIDERED VOID IF NOT PRINTED ON THE ARCHITECT'S AND ARE MADE UP OF THE ORIGINAL ONLY. ALL DIMENSIONS SHALL BE TAKEN FROM THE ORIGINAL DRAWING UNLESS OTHERWISE SPECIFIED.  
 hpc architecture, inc.  
 Steven M. Cox, A.I.A., Architect  
 255 N. Market St., Suite 255  
 San Jose, CA 95110  
 408.297.5654 | www.hpc-arch.com

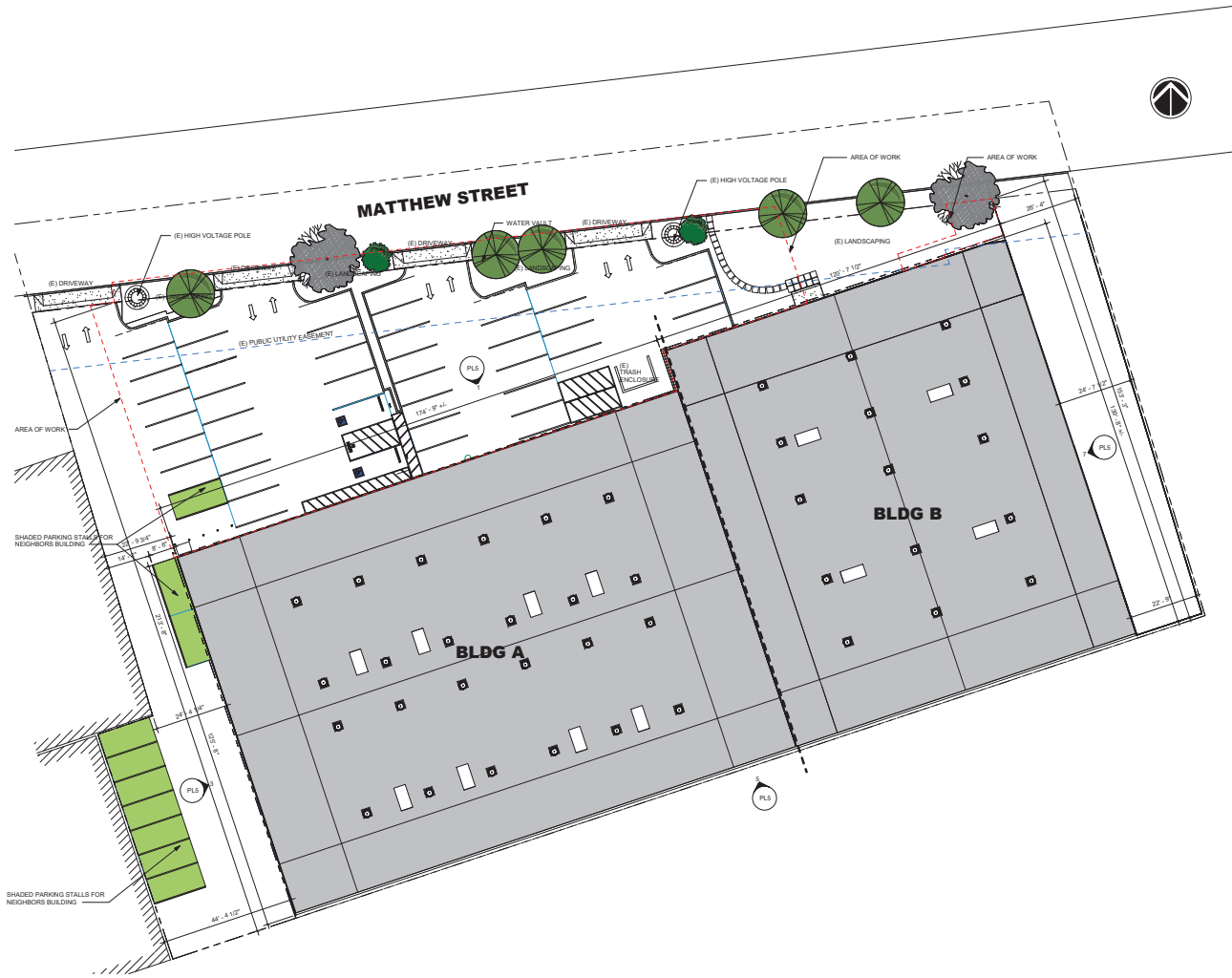


QMS - Santa Clara  
 700 MATHEW ST,  
 SANTA CLARA, CA 95050  
**QMS**  
 QUALITY METAL FINISHING

Job Number  
 22032  
 Date  
 2023.01.09  
 Drawn  
 Author  
 Sheet Title  
 EXISTING SITE PLAN  
 Scale  
 As Indicated

Revisions  
 ▲  
 ▲  
 ▲  
 ▲  
 ▲

PRINTED ON RECYCLED PAPER  
**PL1-1**



1 Site - Existing  
 SCALE: 1/16" = 1'-0"

### SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL
- ▨ PLANTING AREA

### PARKING COUNTS

PARKING REQUIRED				PARKING PROPOSED	
USE	RATIO	AREA	REQUIRED	TYPE	COUNT
HEAVY MANUFACTURING	1:15000	47,648 SF	32	ACCESSIBLE SPACE - VAN	1
				ACCESSIBLE SPACE - STANDARD	1
				PARKING SPACE	28
<b>TOTAL</b>			<b>32</b>	<b>TOTAL PROVIDED</b>	<b>28</b>

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE SEPARATED.  
 2. THIS SHEET IS NOT TO BE USED FOR ARCHITECT'S SHOP AND SPECIFICATIONS WITHOUT THE CONSULTATION AND WRITTEN APPROVAL OF THE ARCHITECT AND ARE SUBJECT TO THE REVISIONS AND COMMENTS FROM THE ARCHITECT'S CONSULTANT.  
 3. THESE PLANS AND PRINTS THROUGHOUT THIS SHEET ARE THE PROPERTY OF HPC ARCHITECTURE, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM WITHOUT THE WRITTEN PERMISSION OF HPC ARCHITECTURE, INC.



**hpc architecture, inc.**  
 Steven M. Cox, A.I.A., Architect  
 255 N. Market St., Suite 255  
 San Jose, CA 95110  
 408.297.5654 | www.hpc-arch.com

**GMS** - Santa Clara  
 700 MATHEW ST,  
 SANTA CLARA, CA 95050  
**QUALITY METAL SPINNING**

Job Number  
 22032  
 Date  
 2023.01.09  
 Drawn  
 Author  
 Sheet Title  
 PROPOSED SITE PLAN  
 Scale  
 As Indicated

Revisions  
 ▲  
 ▲  
 ▲  
 ▲  
 ▲

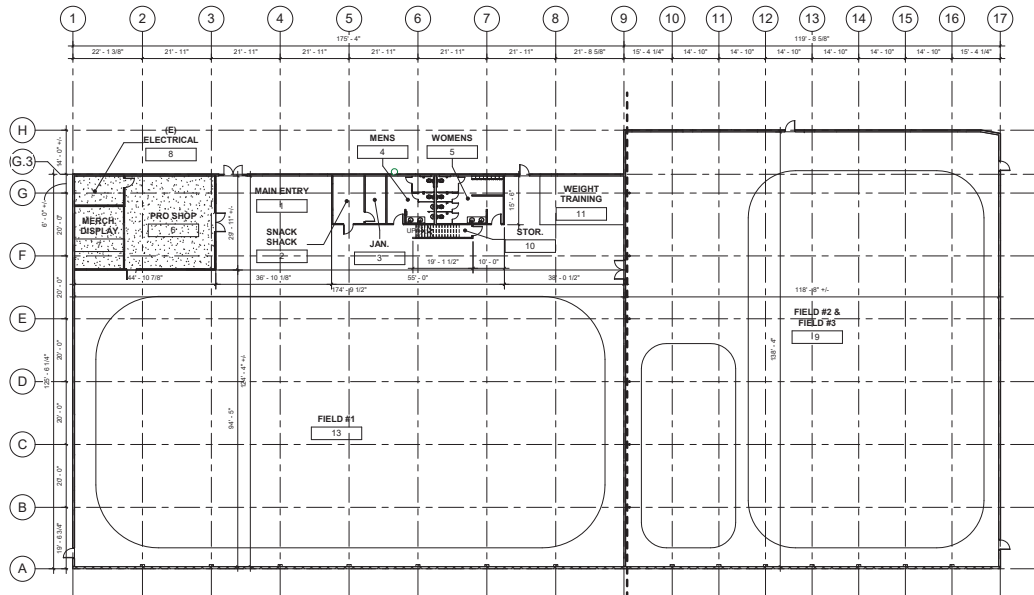
PRINTED ON RECYCLED PAPER

**PL2**

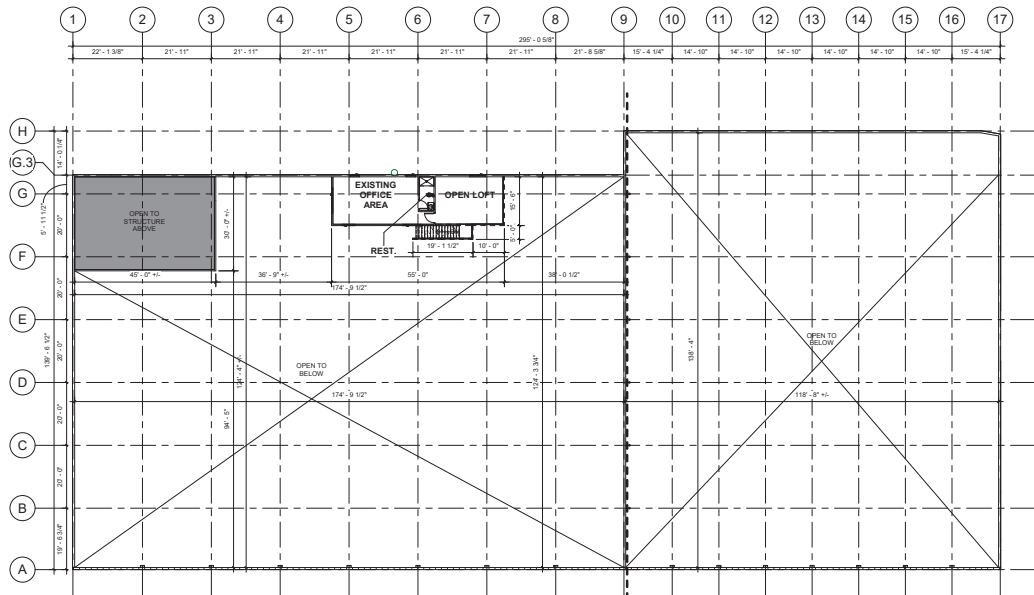


1 Site - Proposed  
 SCALE: 1/8" = 1'-0"





1 EXISTING FLOOR PLAN - LEVEL 1  
SCALE: 1/16" = 1'-0"



2 EXISTING FLOOR PLAN - LEVEL 2  
SCALE: 1/16" = 1'-0"

hpc architecture, inc.  
Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arch.com

QMS - Santa Clara  
700 MATHIEW ST,  
SANTA CLARA, CA 95050

**QMS**  
QUALITY METAL FABRICATING

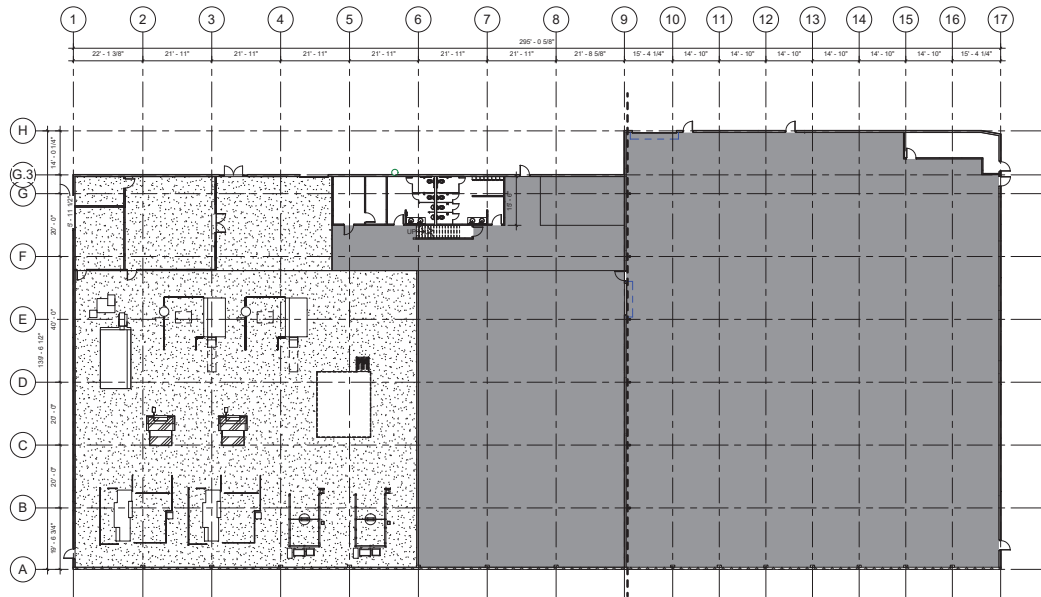
Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	FLOOR PLANS EXISTING
Scale	1/16" = 1'-0"

Revisions

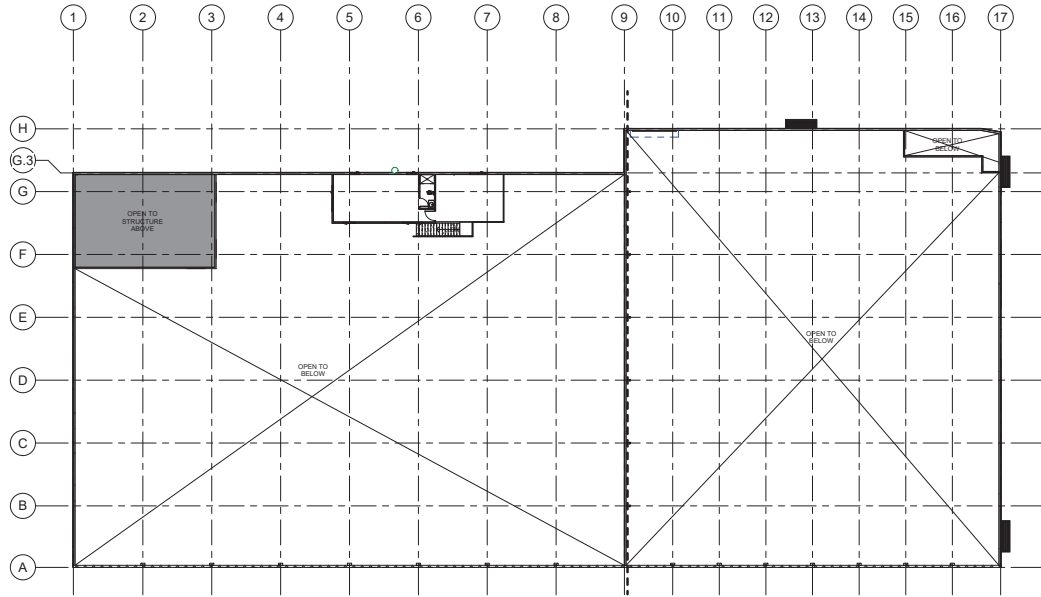
▲	
▲	
▲	
▲	
▲	

PRINTED ON RECYCLED PAPER

PL3



1 PROPOSED FLOOR PLAN - PHASE 0 - LEVEL 1  
SCALE: 1/16" = 1'-0"



2 PROPOSED FLOOR PLAN - PHASE 0 - LEVEL 2  
SCALE: 1/16" = 1'-0"

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE SEPARATED.  
2. THIS SHEET IS NOT TO BE USED FOR ARCHITECT'S SEALS AND SIGNATURES. RESUBMIT FOR CONSTRUCTION PERMITS.  
3. THESE PLANS AND PRINTS THEREOF, INCLUDING ALL INSTRUMENTS AND SPECIFICATIONS, ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE KEPT IN THE PROJECT OFFICE. NO REPRODUCTION OR TRANSMISSION OF THESE PLANS OR INSTRUMENTS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR HIS EMPLOYEE.

**hpc architecture, inc.**  
Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arch.com

**QMS - Santa Clara**  
700 MATHEW ST,  
SANTA CLARA, CA 95050

**QMS**  
QUALITY METAL FABRICATING

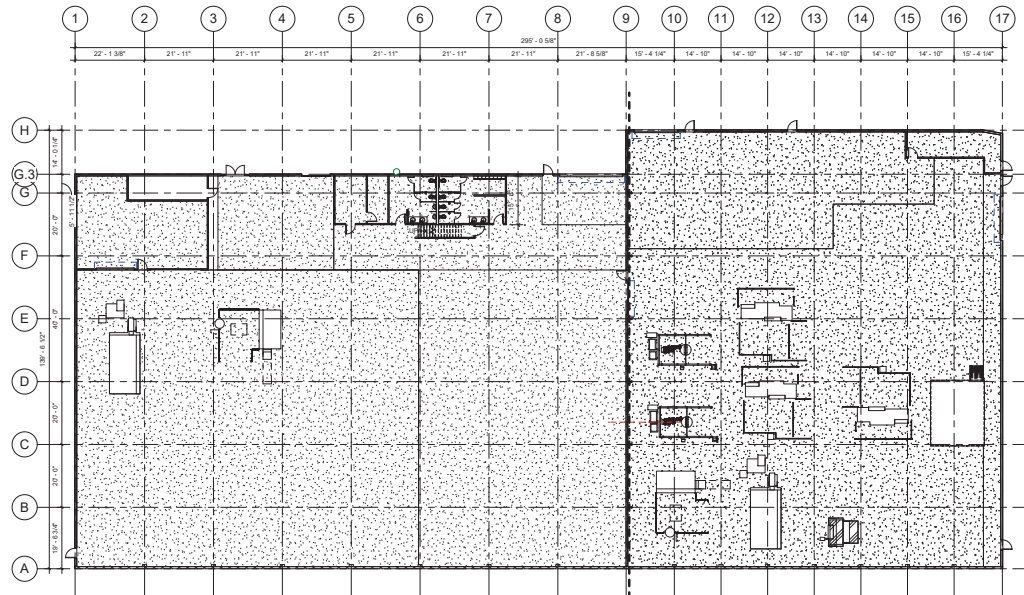
Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	FLOOR PLANS
	PROPOSED - PHASE 0
Scale	1/16" = 1'-0"

Revisions

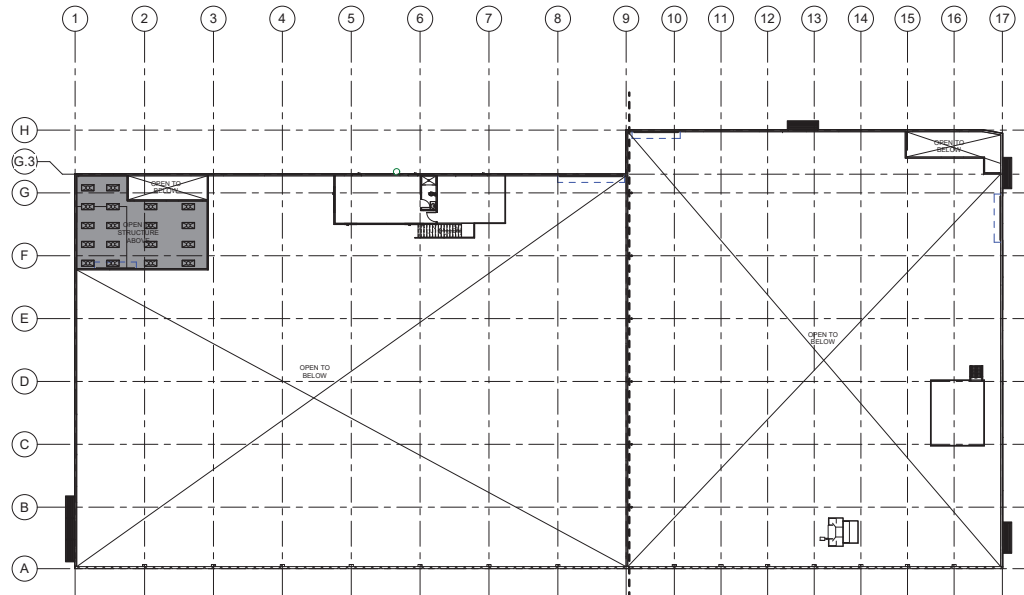
▲	
▲	
▲	
▲	
▲	

PRINTED ON RECYCLED PAPER

**PL4-1**



1 PROPOSED FLOOR PLAN - PHASE 1 - LEVEL 1  
SCALE: 1/16" = 1'-0"



2 PROPOSED FLOOR PLAN - PHASE 1 - LEVEL 2  
SCALE: 1/16" = 1'-0"

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.  
2. THIS SHEET IS NOT TO BE USED FOR ARCHITECT'S SHOP AND DOCUMENTS WITHOUT THE CONSULTATION AND WRITTEN APPROVAL OF THE ARCHITECT.  
3. THESE PLANS AND PRINTS THEREOF SHALL BE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED ONLY FOR THE PROJECT AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.

**hpc architecture, inc.**  
Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arch.com



**QMS - Santa Clara**  
700 MATHEW ST,  
SANTA CLARA, CA 95050

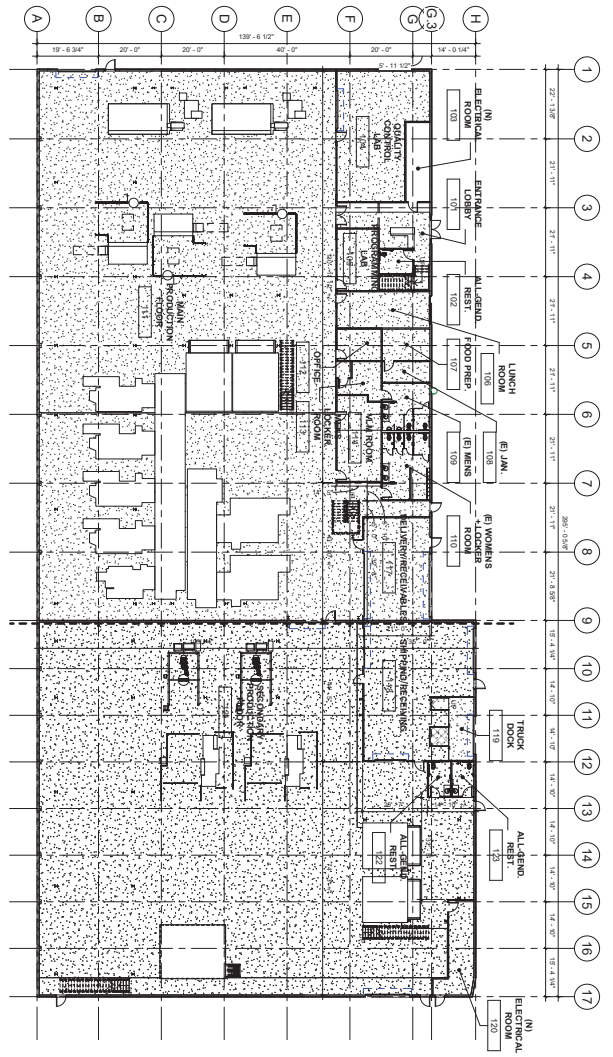
**QMS**  
QUALITY METAL FINISHING

Job Number  
22032  
Date  
2023.01.09  
Drawn  
Author  
Sheet Title  
FLOOR PLANS  
PROPOSED - PHASE 1  
Scale  
1/16" = 1'-0"

Revisions  
▲  
▲  
▲  
▲  
▲

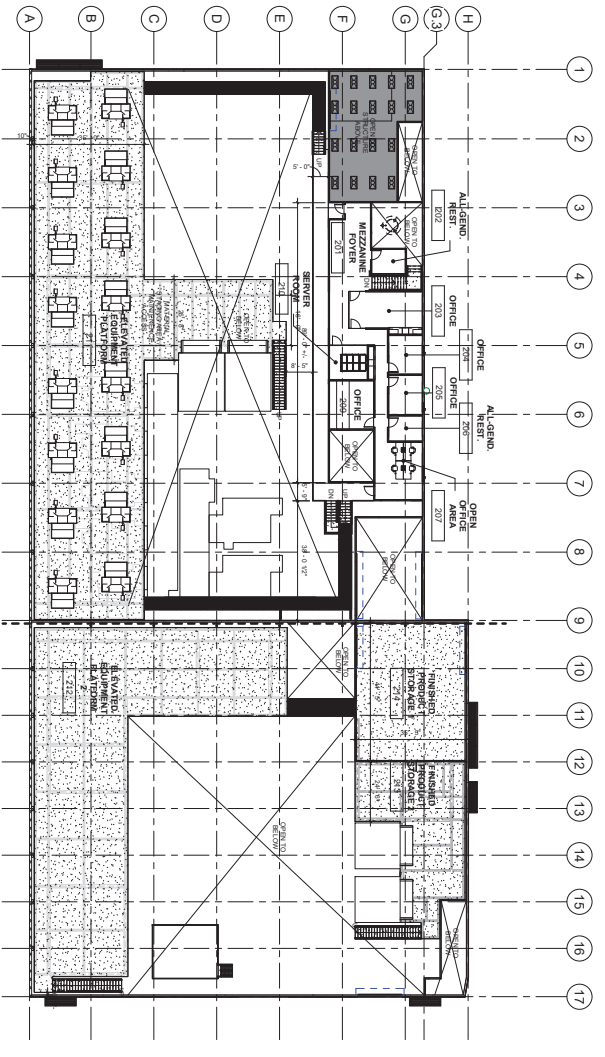
PRINTED ON RECYCLED PAPER

PL4-2



2 PROPOSED FLOOR PLAN - PHASE 2 - LEVEL 1  
SCALE: 1/8" = 1'-0"

PROPOSED SOFT AREAS			
USE	NO. OF	AREA	REMARKS
OFFICE (200, 201, 202, 203, 204, 205, 206, 207)	11000	4318 SF	3
MECHANICAL STORAGE	11000	508 SF	2
HEAVY MANUFACTURING	11000	6,820 SF	27
TOTAL		4789 SF	32



1 PROPOSED FLOOR PLAN - PHASE 2 - LEVEL 2  
SCALE: 1/8" = 1'-0"



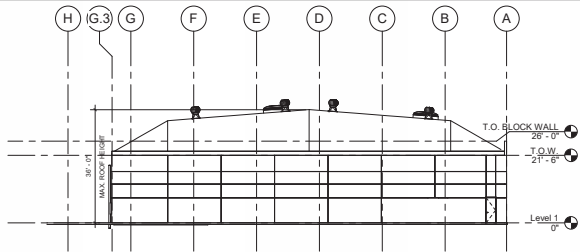
RECYCLED PAPER



DATE	2/20/23	
BY	22032	
DESCRIPTION		
REVISIONS		
NO.	DATE	DESCRIPTION
1	2/20/23	ISSUE FOR PERMIT
2	2/20/23	ISSUE FOR PERMIT
3	2/20/23	ISSUE FOR PERMIT
4	2/20/23	ISSUE FOR PERMIT
5	2/20/23	ISSUE FOR PERMIT
6	2/20/23	ISSUE FOR PERMIT
7	2/20/23	ISSUE FOR PERMIT
8	2/20/23	ISSUE FOR PERMIT
9	2/20/23	ISSUE FOR PERMIT
10	2/20/23	ISSUE FOR PERMIT
11	2/20/23	ISSUE FOR PERMIT
12	2/20/23	ISSUE FOR PERMIT
13	2/20/23	ISSUE FOR PERMIT
14	2/20/23	ISSUE FOR PERMIT
15	2/20/23	ISSUE FOR PERMIT
16	2/20/23	ISSUE FOR PERMIT
17	2/20/23	ISSUE FOR PERMIT

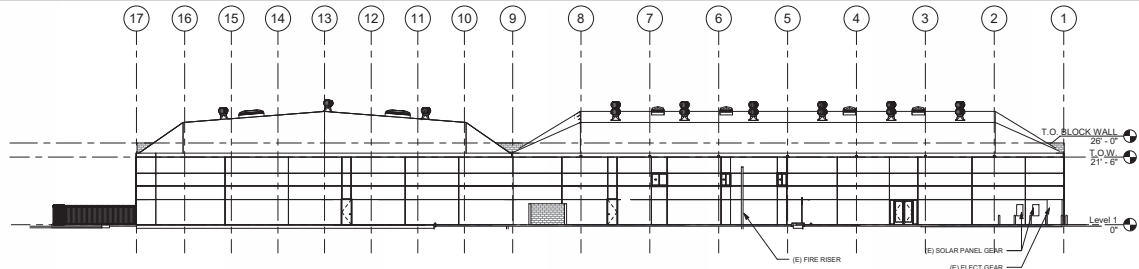
**QMS** - Santa Clara  
 QUALITY METAL FINISHING  
 700 MATHEW ST,  
 SANTA CLARA, CA 95050

**hpc architecture, inc.**  
 Steven M. Cox, A.I.A., Architect  
 255 N. Market St., Suite 255  
 San Jose, CA 95110  
 408.297.5454 | www.hpc-arch.com



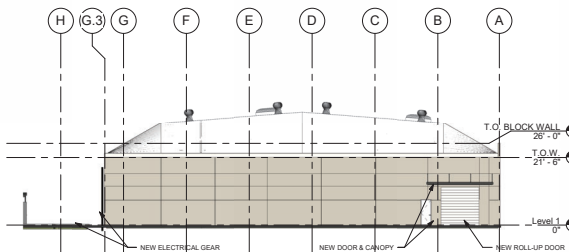
3 West Elevation - EXISTING

SCALE: 1/16" = 1'-0"



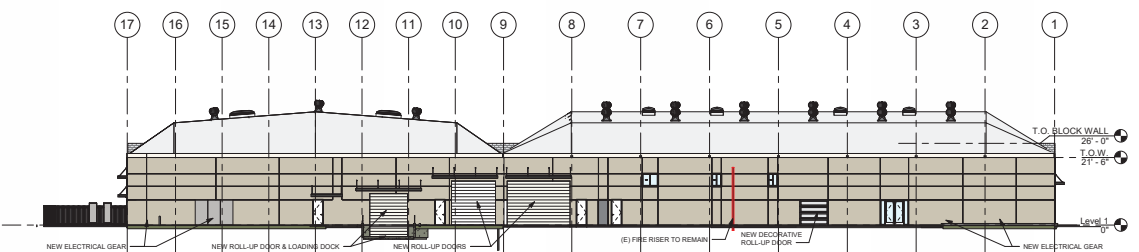
1 North Elevation - EXISTING

SCALE: 1/16" = 1'-0"



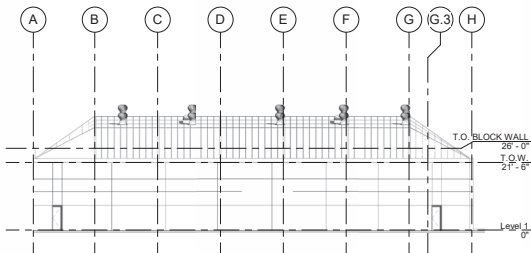
4 West Elevation - PROPOSED

SCALE: 1/16" = 1'-0"



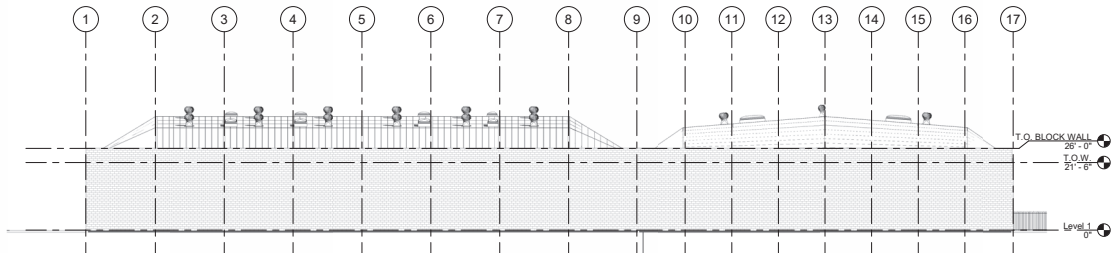
2 North Elevation - PROPOSED

SCALE: 1/16" = 1'-0"



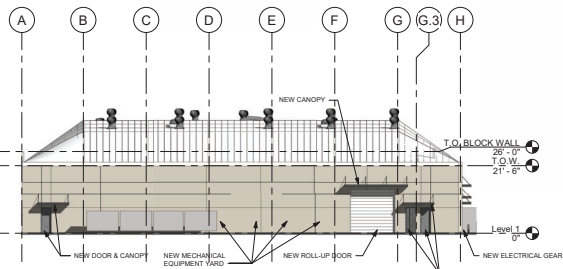
7 EAST ELEVATION - EXISTING

SCALE: 1/16" = 1'-0"



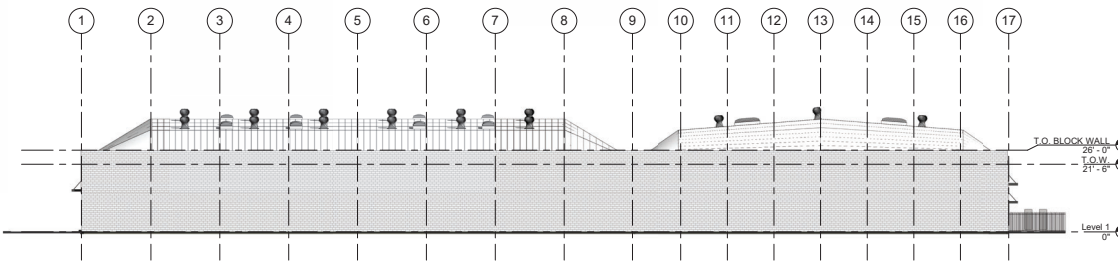
5 SOUTH ELEVATION - EXISTING

SCALE: 1/16" = 1'-0"



8 EAST ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"



6 SOUTH ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"

hpc architecture, inc.  
 Steven M. Cox, A.I.A., Architect  
 255 N. Market St., Suite 255  
 San Jose, CA 95110  
 408.297.5454 | www.hpc-arch.com

QMS - Santa Clara  
 700 MATHEW ST,  
 SANTA CLARA, CA 95050

**QMS**  
 QUALITY METAL FINISHING

Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	ELEVATIONS
Scale	1/16" = 1'-0"

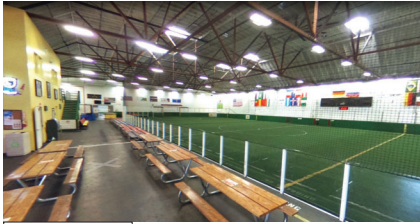
Revisions

▲	
▲	
▲	
▲	

PRINTED ON RECYCLED PAPER

PL5

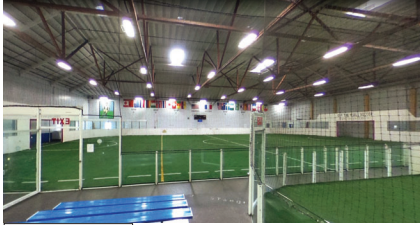




E1 - EXISTING INTERIOR BUILDING 'X'



E2 - EXISTING INTERIOR BUILDING 'X'



E3 - EXISTING INTERIOR BUILDING 'B'



E4 - EXISTING INTERIOR BUILDING 'B'



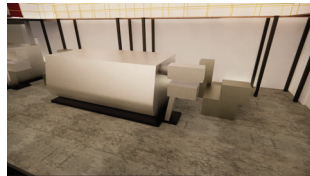
P2 - VERTICAL LIFT MODULE AND MATERIAL STAGING PLATFORM - BUILDING 'X'



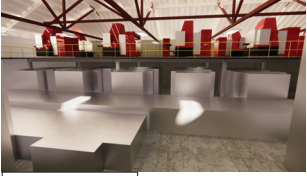
P3 - ROBOTIC LATHE AND EQUIPMENT YARD - BUILDING 'X'



P4 - ROBOTICALLY FED 5-AXIS LATHE ARRAY - BUILDING 'X'



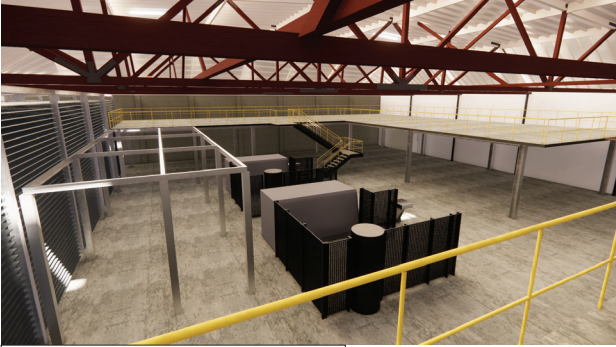
P5 - SELF-CONTAINED 3-AXIS LATHE UNIT - BUILDING 'X'



P6 - FUTURE TOOL AREA - BUILDING 'X'



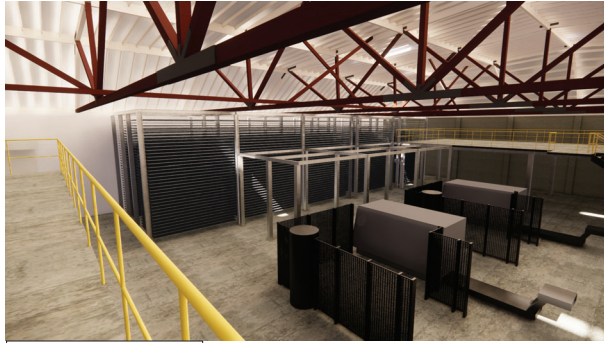
P7 - METAL SPINNING UNITS - BUILDING 'X'



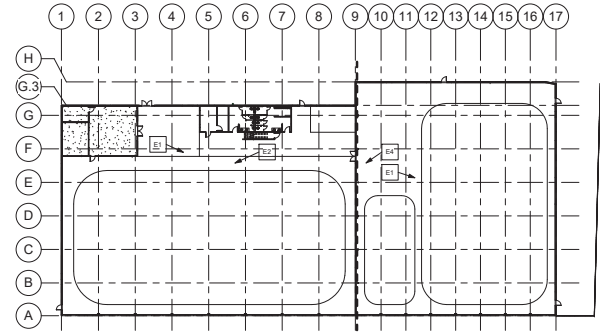
P9 - LASER ENGRAVING SYSTEM and ROBOTIC LATHE w/ EQUIPMENT YARD - BUILDING 'B' (PROPOSED)



P1 - EQUIPMENT FLOOR VIEW - BUILDING 'A' (PROPOSED)

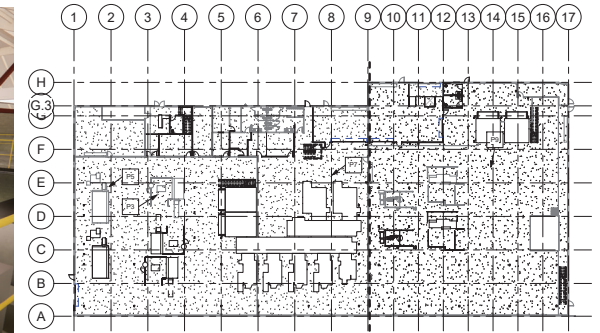


P8 - EQUIPMENT FLOOR VIEW - BUILDING 'B' (PROPOSED)



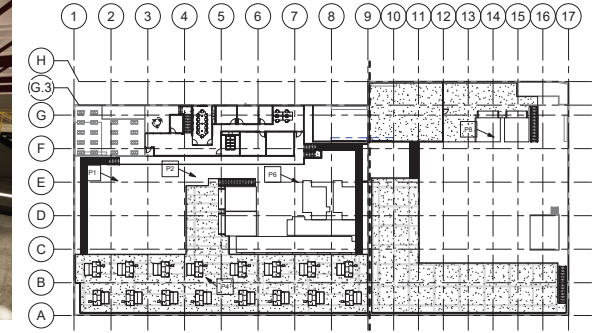
1 KEY PLAN - 1ST FLR (E)

SCALE: 1" = 30'-0"



2 KEY PLAN - 1ST FLR (PROPOSED)

SCALE: 1" = 30'-0"



3 KEY PLAN - 2ND FLR (PROPOSED)

SCALE: 1" = 30'-0"

hpc architecture, inc.  
Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arch.com



QMS - Santa Clara  
700 MATHEW ST,  
SANTA CLARA, CA 95050  
**QMS**  
QUALITY METAL FINISHING

Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	EXISTING AND PROPOSED RENDERINGS
Scale	1" = 30'-0"

Revisions  
▲  
▲  
▲  
▲  
▲

PRINTED ON RECYCLED PAPER

PL6





E1 - EXISTING STREET PERSPECTIVE FOR SITE CONTEXT



E3 - EXISTING EAST YARD AND NORTHEAST CORNER OF BUILDING B



E3 - EXISTING NORTH ELEVATION OF BUILDING B AND BUILDING A



E4 - EXISTING NORTH ELEVATION OF BUILDING A



AERIAL VIEW - EXISTING



AERIAL VIEW - PROPOSED



P1 - PROPOSED EAST YARD AND NORTHEAST CORNER OF BUILDING B



P2 - PROPOSED NORTHERN ELEVATION FOR BUILDING A



P3 - PROPOSED TRUCK DOCK FOR BUILDING B



P4 - PROPOSED NORTHERN ELEVATION FOR BUILDING A & BUILDING B



1 KEY SITE PLAN  
SCALE: 1" = 30'-0"

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE SEPARATED.  
2. THIS SHEET IS NOT TO BE USED FOR ARCHITECT'S REVIEW AND DOCUMENTATION PURPOSES UNLESS SPECIFICALLY NOTED OTHERWISE.  
3. THESE PLANS AND DETAILS THEREON, EXCEPT AS THE ARCHITECT AND ARE, ARE MADE IN THE BEST OF HIS OR HER PROFESSIONAL JUDGMENT AND LIABILITY. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY.

**hpc architecture, inc.**

Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arch.com



**GMS - Santa Clara**  
700 MATHEW ST.  
SANTA CLARA, CA 95050



Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	EXTERIOR IMAGES & PROPOSED RENDERINGS
Scale	1" = 30'-0"

Revisions	
▲	
▲	
▲	
▲	

PRINTED ON RECYCLED PAPER

PL7

### SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL
- ▨ PLANTING AREA

### PARKING COUNTS

PARKING REQUIRED				PARKING PROPOSED	
USE	RATIO	AREA	REQUIRED	TYPE	COUNT
HEAVY MANUFACTURING	1/1500	43,027 SF	29	ACCESSIBLE SPACE - VAN	1
				ACCESSIBLE SPACE - STANDARD	1
				PARKING SPACE	26
<b>TOTAL</b>			<b>29</b>	<b>TOTAL PROVIDED</b>	<b>28</b>

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE SEPARATED.  
 2. THIS SHEET IS NOT TO BE USED FOR ARCHITECT'S STAMP AND SIGNATURE PURPOSES FOR CONTRACT AND WORK.  
 3. THESE PLANS AND PRINTS THROUGHOUT THIS SHEET ARE THE PROPERTY OF HPC ARCHITECTURE, INC. AND ARE TO BE KEPT IN THE PROJECT OFFICE. ANY REVISIONS TO THESE PLANS MUST BE SUBMITTED WITHIN 10 BUSINESS DAYS OF THE ORIGINAL DATE OF SUBMISSION.

**hpc architecture, inc.**  
 Steven M. Cox, A.I.A., Architect  
 255 N. Market St., Suite 255  
 San Jose, CA 95110  
 408.297.5654 | www.hpc-arch.com



**GMS** - Santa Clara  
 700 MATHEW ST,  
 SANTA CLARA, CA 95050

**QUALITY METAL FINISHING**

Job Number  
22032  
 Date  
2023.01.09  
 Drawn  
Author  
 Sheet Title  
PROPOSED SITE  
PLAN - EVA LAYOUT  
 Scale  
As Indicated

Revisions

▲  
▲  
▲  
▲  
▲

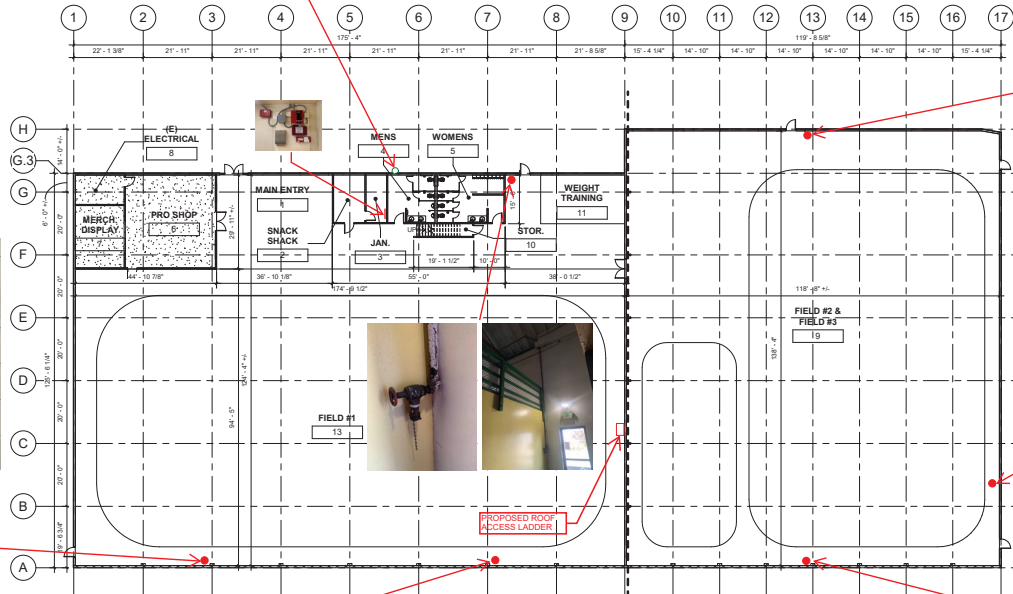
PRINTED ON RECYCLED PAPER

**FP1.0**

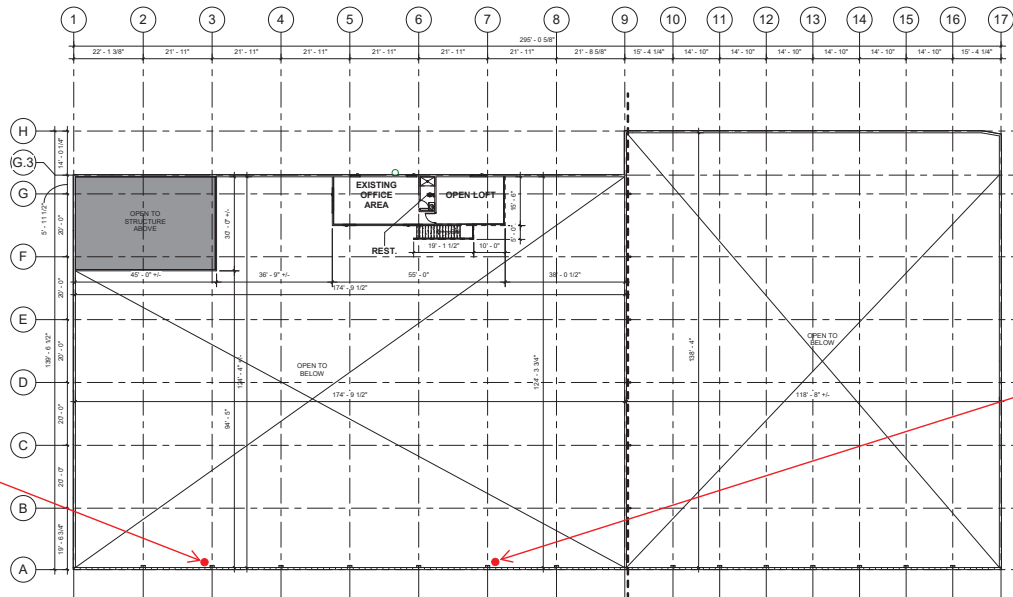


**1 Site Plan - Proposed EVA Route**  
 SCALE: 1/8" = 1'-0"





1 EXISTING FLOOR PLAN - LEVEL 1  
SCALE: 1/16" = 1'-0"



2 EXISTING FLOOR PLAN - LEVEL 2  
SCALE: 1/16" = 1'-0"



hpc architecture, inc.  
Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arch.com



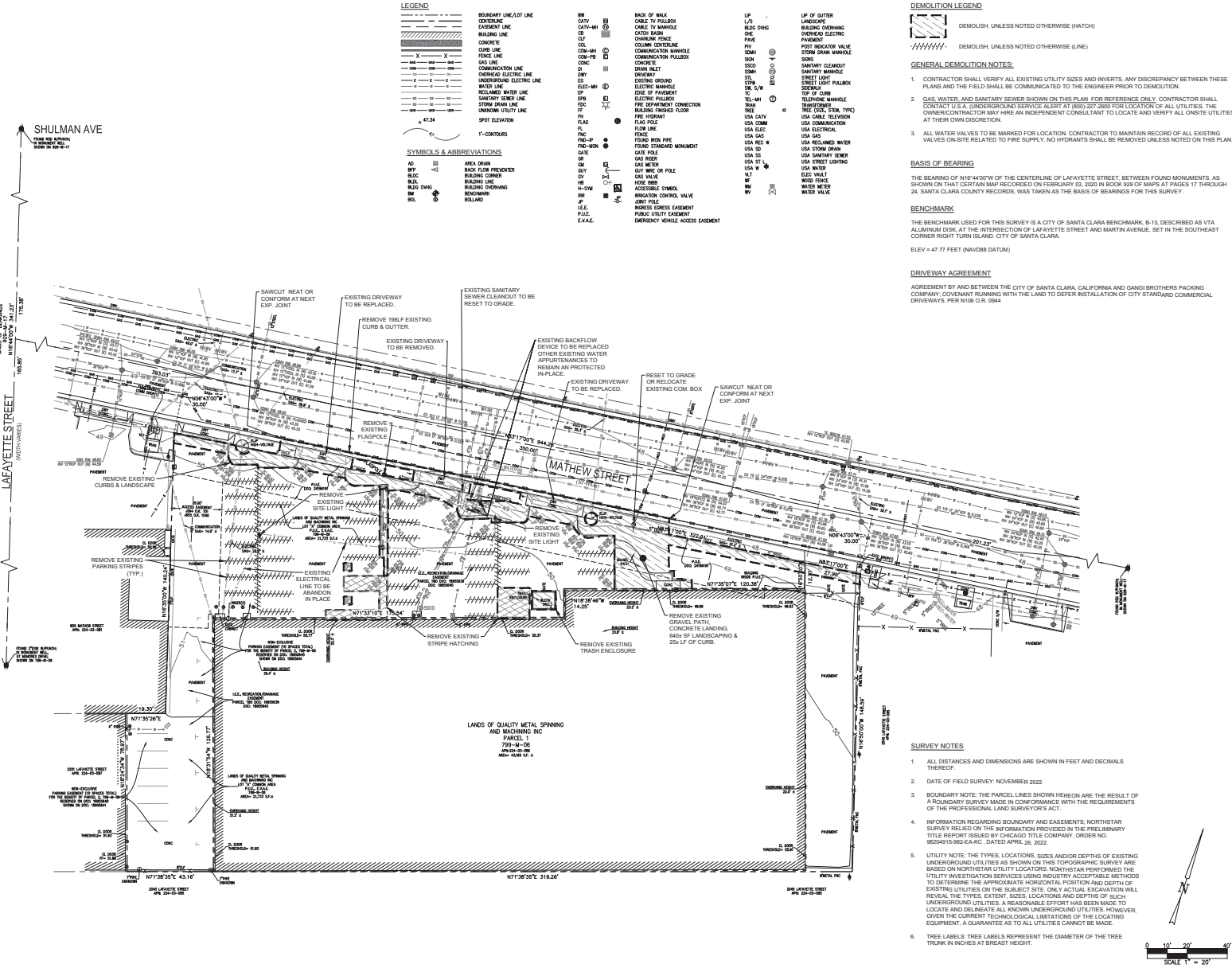
QMS - Santa Clara  
700 MATHEW ST,  
SANTA CLARA, CA 95050  
**QMS**  
QUALITY METAL BUILDINGS

Job Number  
22032  
Date  
2023.01.09  
Drawn  
Author  
Sheet Title  
FLOOR PLANS  
EXISTING  
Scale  
1/16" = 1'-0"

Revisions  
▲  
▲  
▲  
▲  
▲

PRINTED ON RECYCLED PAPER

FP1.1



### LEGEND

	BOUNDARY LINE (ADJ. LINE)		SEWER		BACK OF WALK		LP
	EXISTING LINE		CITY		CABLE TV MANHOLE		L/S
	CONCRETE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	CURB LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	GAS LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	OVERHEAD ELECTRIC LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	UNDERGROUND ELECTRIC LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	WATER LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	SANITARY SEWER LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	STORM DRAIN LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	UNKNOWN UTILITY LINE		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	SPOT ELEVATION		CITY-AM		CABLE TV MANHOLE		BACK OF WALK
	CONTOURS		CITY-AM		CABLE TV MANHOLE		BACK OF WALK

### SYMBOLS & ABBREVIATIONS

	AREA DRAIN		SEWER		SEWER
	BACK FLOW PREVENTER		SEWER		SEWER
	BUILDING CORNER		SEWER		SEWER
	BUILDING OVERHANG		SEWER		SEWER
	BENCHMARK		SEWER		SEWER
	BOLLARD		SEWER		SEWER

### DEMOLITION LEGEND

DEMOLISH, UNLESS NOTED OTHERWISE (MATCH)

DEMOLISH, UNLESS NOTED OTHERWISE (LINE)

### GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY SIZES AND INVERTS. ANY DISCREPANCY BETWEEN THESE PLANS AND THE FIELD SHALL BE COMMUNICATED TO THE ENGINEER PRIOR TO DEMOLITION.
- GAS, WATER, AND SANITARY SEWER SHOWN ON THIS PLAN. FOR REFERENCE ONLY. CONTRACTOR SHALL CONTACT U.S.A. UNDERGROUND SERVICES ALERT AT 800-327-3800 FOR LOCATION OF ALL UTILITIES. THE OWNER/CONTRACTOR MAY HIRE AN INDEPENDENT CONSULTANT TO LOCATE AND VERIFY ALL ON-SITE UTILITIES AT THEIR OWN DISCRETION.
- ALL WATER VALVES TO BE MARKED FOR LOCATION. CONTRACTOR TO MAINTAIN RECORD OF ALL EXISTING VALVES ON-SITE RELATED TO FIRE SUPPLY. NO HYDRANTS SHALL BE REMOVED UNLESS NOTED ON THIS PLAN.

### BASIS OF BEARING

THE BEARING OF N11°44'00"W OF THE CENTERLINE OF LAFAYETTE STREET, BETWEEN FOUND MONUMENTS AS SHOWN ON THAT CERTAIN MAP RECORDED ON FEBRUARY 10, 2008 IN BOOK 329 OF MAPS AT PAGES 17 THROUGH 24. SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

### BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS A CITY OF SANTA CLARA BENCHMARK, B-13, DESCRIBED AS VIA ALUMINUM DISK, AT THE INTERSECTION OF LAFAYETTE STREET AND MARTIN AVENUE, SET IN THE SOUTHEAST CORNER RIGHT TURN ISLAND, CITY OF SANTA CLARA.  
ELEV = 47.77 FEET (NAVD83 DATUM)

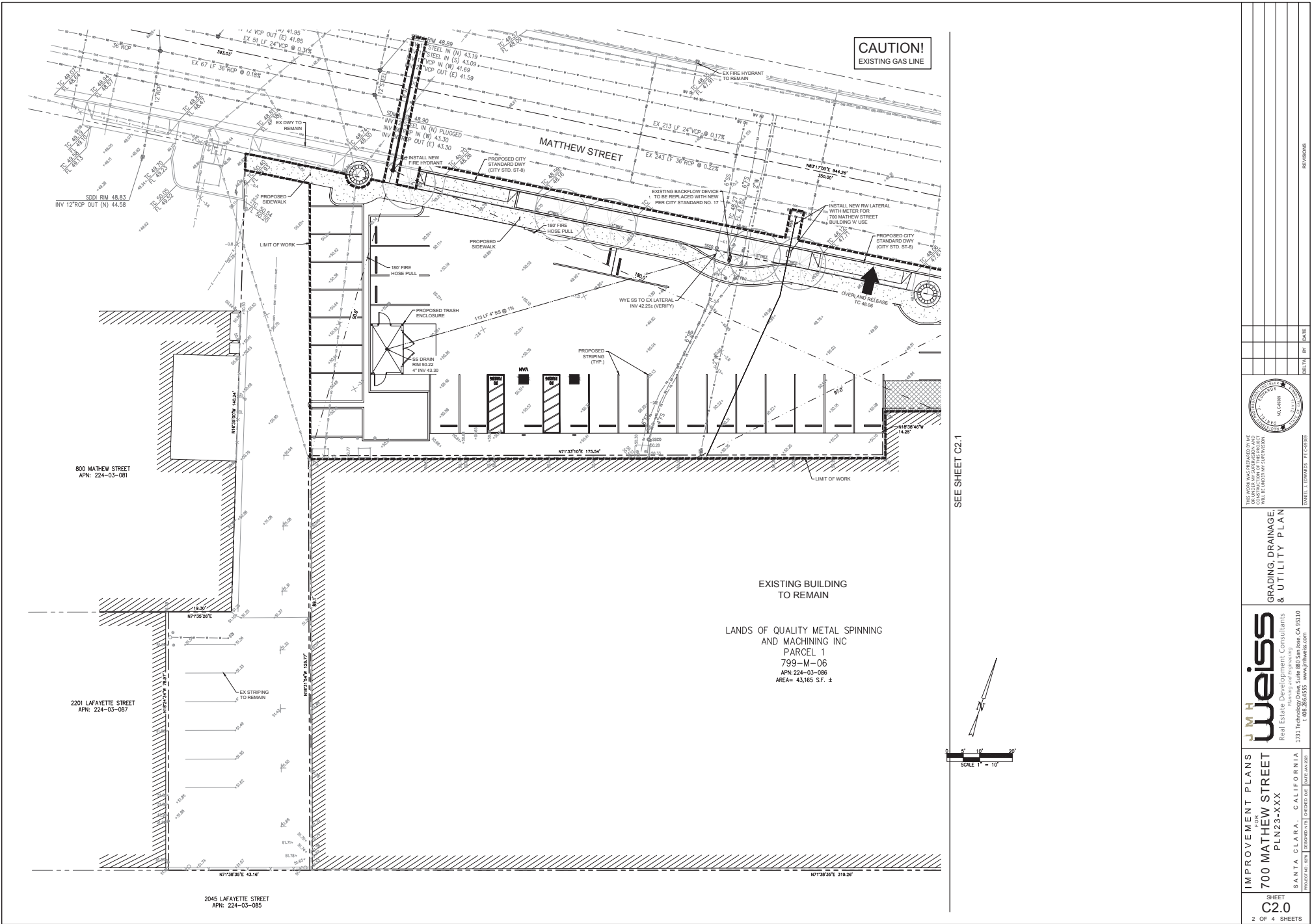
### DRIVEWAY AGREEMENT

AGREEMENT BY AND BETWEEN THE CITY OF SANTA CLARA, CALIFORNIA AND GANZI BROTHERS PACKING COMPANY, COVENANT RUNNING WITH THE LAND TO DEFER INSTALLATION OF CITY STANDARD COMMERCIAL DRIVEWAYS, PER N106 O.R. 0944

### SURVEY NOTES

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- DATE OF FIELD SURVEY: NOVEMBER 2022
- BOUNDARY NOTE: THE PARCEL LINES SHOWN HEREON ARE THE RESULT OF A BOUNDARY SURVEY MADE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT.
- INFORMATION REGARDING BOUNDARY AND EASEMENTS: NORTHESTAR SURVEY RELEASING THE INFORMATION PROVIDED IN THE PRELIMINARY TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, ORDER NO. B200419-885-E.A.C., DATED APRIL 29, 2022.
- UTILITY NOTE: THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE BASED ON NORTHESTAR UTILITY LOCATORS. NORTHESTAR PERFORMED THE UTILITY INVESTIGATION SERVICES USING INDUSTRY ACCEPTABLE METHODS TO DETERMINE THE APPROXIMATE HORIZONTAL POSITION AND DEPTH OF EXISTING UTILITIES ON THE SUBJECT SITE. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, GIVEN THE CURRENT TECHNOLOGICAL LIMITATIONS OF THE LOCATING EQUIPMENT, A GUARANTEE AS TO ALL UTILITIES CANNOT BE MADE.
- TREE LABELS: TREE LABELS REPRESENT THE DIAMETER OF THE TREE TRUNK IN INCHES AT BREAST HEIGHT.

	DATE	
	BY	
	SHEET	
<b>EXISTING CONDITIONS &amp; DEMOLITION PLAN</b>		
<b>weiss</b> Real Estate Development Consultants 1731 Technology Drive, Suite 800, San Jose, CA 95110 Tel: 408.286.6555 www.jmweiss.com		
<b>IMPROVEMENT PLANS FOR 700 MATHEW STREET PLAN23-XXX</b>		
SANTA CLARA, CALIFORNIA PROJECT NO. 2023-002   EXHIBIT 07B   DATE: JAN 2024		
<b>SHEET C1.0</b> 1 OF 4 SHEETS		



**CAUTION!**  
EXISTING GAS LINE

SEE SHEET C2.1



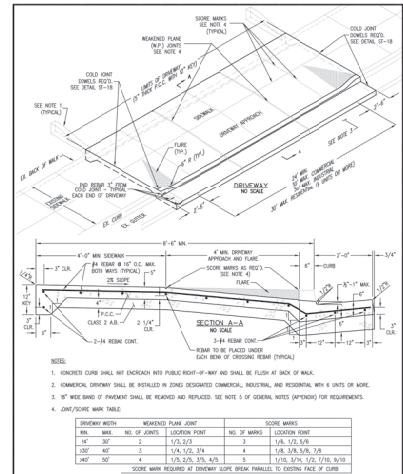
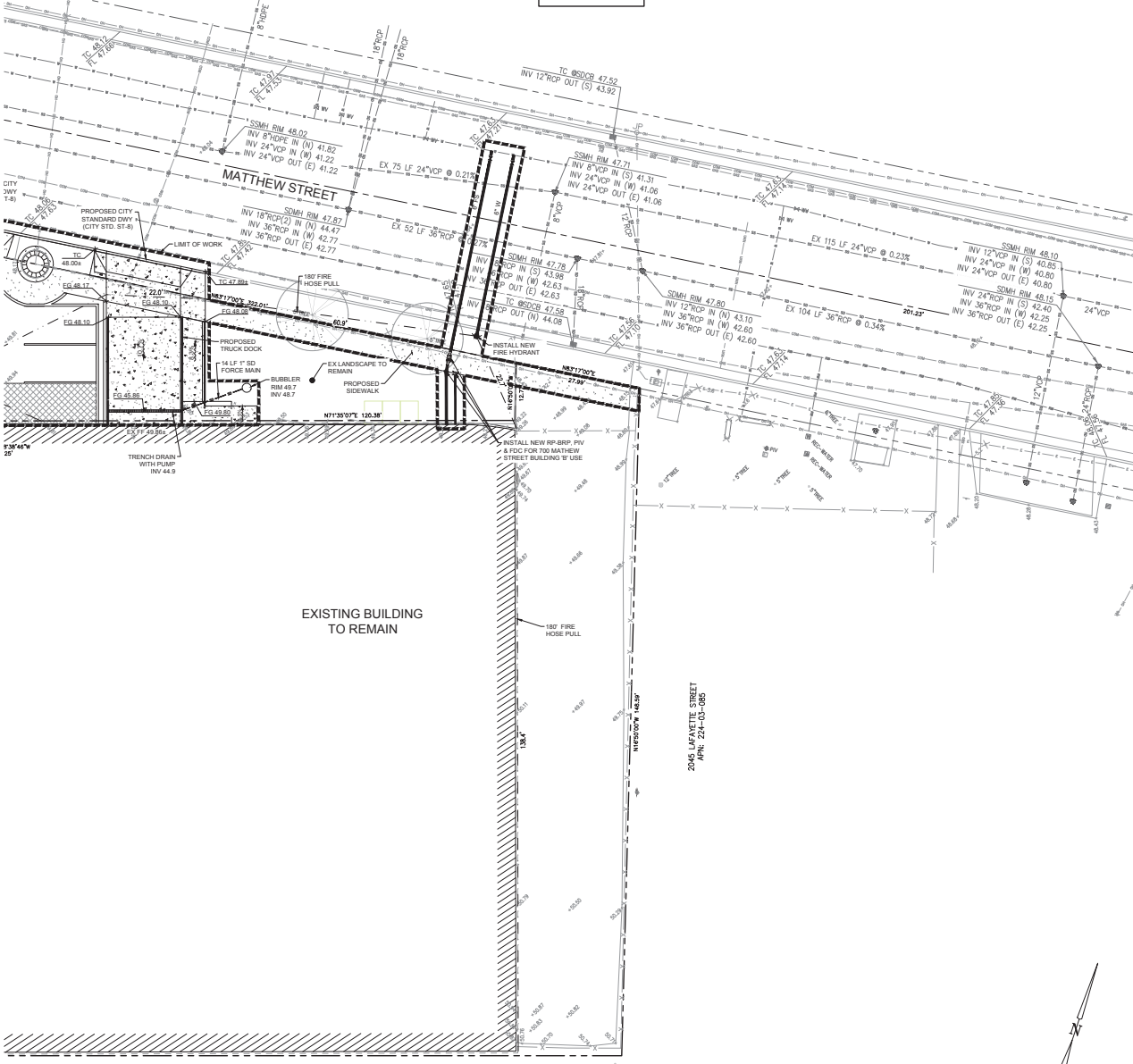
EXISTING BUILDING  
TO REMAIN

LANDS OF QUALITY METAL SPINNING  
AND MACHINING INC  
PARCEL 1  
799-M-06  
APN: 224-03-086  
AREA= 43,165 S.F. ±

IMPROVEMENT PLANS FOR <b>700 MATTHEW STREET</b> PLN23-XXX	S.A.N.T.A. C.L.A.R.A. - CALIFORNIA PROFESSIONAL ENGINEER LICENSE NO. 5081	1731 Technology Drive, Suite 880, San Jose, CA 95110 T: 408.264.6555 W: www.jmwweiss.com		SHEET <b>C2.0</b> 2 OF 4 SHEETS
				GRADING, DRAINAGE, & UTILITY PLAN



**CAUTION!**  
EXISTING GAS LINE



DRIVEWAY WIDTH	REQUIRED PLANK JOINT	SCORE MARKS
16"	1	1/2, 3/2
20"	2	1/2, 3/2, 5/2
24"	3	1/2, 3/2, 5/2, 7/2
30"	4	1/2, 3/2, 5/2, 7/2, 9/2

DRAWN BY: K TRAN  
CHECKED BY: F AMIN  
APPROVED BY: G GOMEZ  
DATE: DECEMBER 2014

COMMERCIAL DRIVEWAY WITH/  
WITHOUT SEPARATED SIDEWALK  
CITY OF SANTA CLARA

ST-8  
PAGE 8

JM Weiss, Inc.  
700 MATHEW STREET  
SANTA CLARA, CA

700 MATHEW STREET  
SANTA CLARA, CA

May 2023

Total Required Fire Flow Estimate

Contribution Type	Light Industrial		Residential		Total	Fire Hydrant Calculation		Fire Sprinkler Calculation		Total Required Fire Flow with Reductions Proposed <sup>2</sup>
	sqft	sqft	sqft	sqft		sqgpm	sqgpm	sqgpm	sqgpm	
Type V-A	25,331				25,331	2,750	1,544	2,063	1,375	772
Type V-B	19,798				19,798	2,500	1,097	1,875	1,250	548
Other	45,139				45,139	3,750	2,645	3,750	2,645	1,303
Round-Up						2,750		2,750		1,600

Min. number of hydrants	3019 CFC Table C105.1	
	sqft	sqft
Max. spacing between hydrants, ft	300	180
Max. distance from any point on street to a hydrant, ft	300	180

<sup>1</sup>Fire Flow and Hydrant Policy, Extra Hazard Occupancy or Full Flow  
Required flow multiplied by 1.5 for full flow, per Fireflow Department "Third Flow Requirements with Inlet Controller" dated 11/2017  
<sup>2</sup>Fire Flow and Hydrant Policy, allowed for Office Hazard Occupancy  
<sup>3</sup>Fire Flow and Hydrant Policy, allowed for Light Hazard Occupancy

**WATER UTILITY SUMMARY**

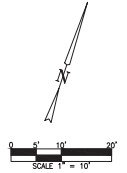
- EX. 6" FIRE SERVICE (FS) - REPLACE EXISTING BACKFLOW DEVICE
- EX. 2" DOMESTIC WATER (DOM.) - KEEP
- EX. 2" IRRIGATION (IRR.) - KEEP
- NEW 6" FIRE SERVICE (FS) - 700 MATHEW STREET BUILDING 'B'

SEE SHEET C2.0

EXISTING BUILDING TO REMAIN

2045 LAFAYETTE STREET  
APN: 224-03-085

2045 LAFAYETTE STREET  
APN: 224-03-085



IMPROVEMENT PLANS FOR 700 MATHEW STREET PLN23-XXX

SANTA CLARA, CALIFORNIA  
PROJECT NO. 2023-0010  
ISSUED DATE: 14/09/2023

SHEET C2.1  
3 OF 4 SHEETS

GRADING, DRAINAGE, & UTILITY PLAN

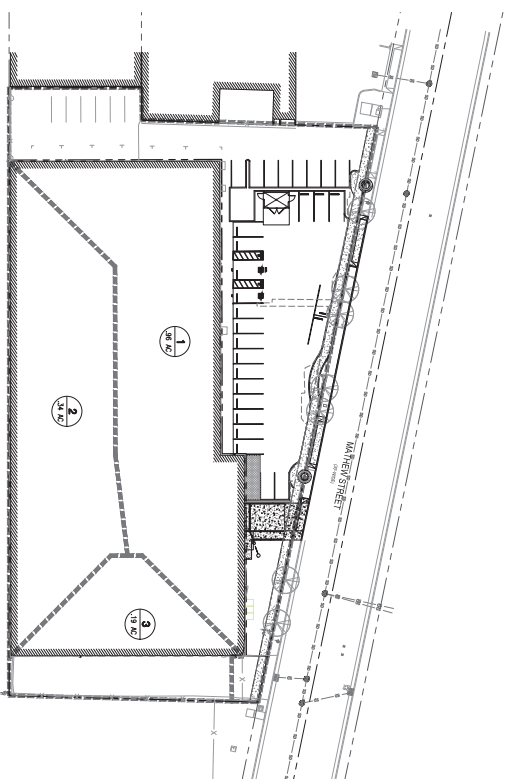
JM Weiss  
Real Estate Development Consultants  
1731 Technology Drive, Suite 800, San Jose, CA 95110  
408.264.6555 www.jmweiss.com

DATE: 14/09/2023

BY: [Signature]

DATE: [Signature]





State Clara Valley  
Public Agency  
Portland Excavation Program

David Dan Edwards - 60283  
Competency: 3873303

3. Project Size

Table with columns for Property Type, Acreage, Existing Footprint, and Total Footprint. Includes a sub-table for Total Area (GVA).

4. Selection of Specific Stormwater Control Measure

- Stormwater Management: Suburban, Suburban, Suburban, Suburban...
- Treatment Measures: Infiltration, Infiltration, Infiltration, Infiltration...

5. Stormwater Treatment Measure (STTM) Sizing for Projects with Treatment Requirements

Form for STTM Sizing with fields for Stormwater Treatment Measure (STTM) and Stormwater Sizing Criteria (LULU, LUP, LUT, etc.).

6. OAKM Responsibility Mechanism

Form for OAKM Responsibility Mechanism with fields for Project Owner, Name, Address, and Project Number.

Provision C.3 Data Form  
Valid Project Name: Camp...  
All project work must be reported...  
This form is to be completed by the project sponsor...

4. Project Information  
Project Address: 700 Mathew Street, Santa Clara, CA 95060  
Project Name: 700 Mathew Street  
Project Type: Commercial  
Project Status: Approved/Under Construction

6. Stormwater Management (SWM) Measures  
Suburban Measures:  Suburban Land and Soil  
Stormwater Management:  Suburban Stormwater Management  
Treatment Measures:  Suburban Stormwater Management

7. OAKM Responsibility Mechanism  
Project Sponsor: [Name]  
Project Address: [Address]  
Project Number: [Number]



FOR REFERENCE ONLY

FOR REFERENCE ONLY

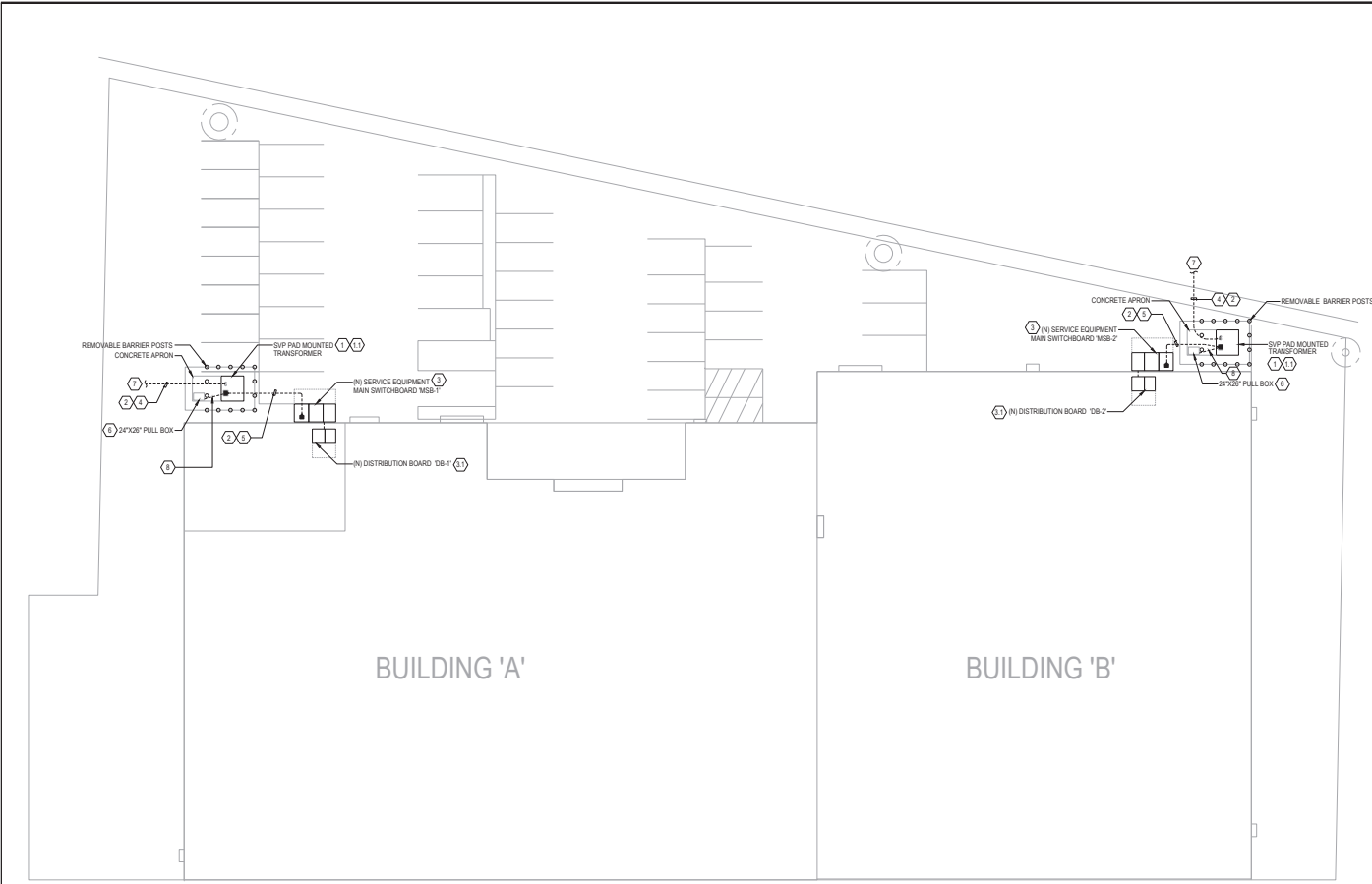
**GENERAL NOTES:**

- A. SEE GENERAL NOTES ON SHEET E3.00.
- B. INSTALLATION MUST COMPLY WITH SVP REQUIREMENTS.
- C. ALL TRENCHING, CUTTING AND PATCHING OF EXISTING CONCRETE SLAB FLOOR, AS REQUIRED FOR THE INSTALLATION OF THE ELECTRICAL SYSTEMS SHOWN, SHALL BE BY ELECTRICAL CONTRACTOR. PAINT ALL PATCHING TO MATCH ADJACENT EXISTING SURFACE.
- D. ALL CONDUITS AND WIRING SHALL BE UL LISTED AND MARKED FOR INTENDED USE PER CEC 2019.
- E. SEE SHEET E3.0 FOR ELECTRICAL ONE LINE DIAGRAM.

**KEY NOTES:** (1) (2)

- 1. SVP UTILITY TRANSFORMER. ELECTRICAL CONTRACTOR TO COORDINATE LOCATION WITH SVP.
- 1.1 PROVIDE 8 FT CLEAR WORKING SPACE FROM THE FRONT OF THE EQUIPMENT AND 3 FT FROM ALL OTHER SIDES.
- 2. UNDERGROUND FEEDER ROUTES SHOWN ARE DIAGRAMMATIC ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY AND MAP-OUT ROUTING TO SUIT ACTUAL FIELD CONDITION. DAMAGED TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED BY THE ELECTRICAL GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH OTHER TRADE PRIOR TO START OF WORK.
- 3. MAIN SWITCHBOARD: 400A, 480277V, 3PH, 4W, 65KAC, NEMA 3R. PROVIDE 4 FT WORKING SPACE IN FRONT OF MAIN SWITCHBOARD PER UTILITY COMPANY.
- 3.1 DISTRIBUTION BOARD: 400A, 480277V, 3PH, 4W, 65KAC, NEMA 1. PROVIDE 4 FT WORKING SPACE IN FRONT OF DISTRIBUTION BOARD.
- 4. UTILITY PRIMARY SERVICE PER SVP DESIGN. ELECTRICAL CONTRACTOR TO PROVIDE TRENCHING PER SVP REQUIREMENTS.
- 5. SEE ONE LINE DIAGRAM FOR SERVICE ENTRANCE CONDUCTOR. PROVIDE TRENCHING PER SVP REQUIREMENTS.
- 6. PROVIDE 24"X36" PULL BOX PER UTILITY REQUIREMENT. EC TO VERIFY LOCATION WITH SVP.
- 7. SEE SVP DRAWINGS FOR POINT OF CONNECTION.
- 8. PROVIDE 2" TO UIC BOX PER SVP REQUIREMENTS.

NO.	DESCRIPTION	DATE
	PERMIT SET	06/27/2022



PROJECT:  
 700 MATTHEW ST.  
 SERVICE APPLICATION  
 PHASE -1  
 700 MATTHEW ST.  
 STA. CLARA, CA 95050

SHEET TITLE:  
 ELECTRICAL  
 SITE PLAN

PROJECT #: SHEET NO.:  
 DATE: 06/22/2022  
 SCALE: AS NOTED E1.0S

GENERAL NOTES:

- ALL ELECTRICAL EQUIPMENTS AND FEEDERS ARE NEW UNLESS OTHERWISE NOTED AS 'EY' FOR EXISTING. RETORQUE ALL EXISTING TERMINATIONS PER MANUFACTURER RECOMMENDATION.
- SWITCHBOARD SHOWN ON THE SINGLE LINE DIAGRAM SHALL BE 'FULLY RATED' ADEQUATE FOR THE MAXIMUM FAULT CURRENT AVAILABLE AT THE POINT OF APPLICATION, INCORPORATING THE CURRENT LIMITING DEVICES AS SPECIFIED 'SERIES-RATING' FOR PANELBOARDS IS ACCEPTABLE. PROVIDE REQUIRED MARKING AS REQUIRED PER NEC ARTICLE 110.22(B) & (C) FOR SIGNAGE AT ALL PANELS AND EQUIPMENT. IF NOT 'FULLY RATED SYSTEM' CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING SERIES RATING AND INCLUDE A COPY OF ALL LABELING, INCLUDING RESPECTIVE UL LISTING, TO THE AHJ FOR REFERENCE.
- PROVIDE PHENOLIC NAMEPLATE LABELLING & TYPE WRITTEN PANEL DIRECTORY FOR ALL PANELS.
- INTERIOR METAL PIPING SYSTEM SHALL BE BONDED TO THE GROUNDING ELECTRODE SYSTEM.
- GROUND AND NEUTRAL SHALL ONLY BE BONDED AT THE SERVICE EQUIPMENT AND AT THE SEPARATELY SERVED SYSTEM.
- EQUIPMENT LINE-UP IS BASED ON SQUARE D PRODUCT. ALTERNATE MANUFACTURER IS ACCEPTABLE PROVIDED THAT IT MEETS THE DESIGN INTENT AND CLEARANCE REQUIREMENTS.
- ONLY UL LISTED EQUIPMENT SHALL BE USED.
- PROVIDE ALL NECESSARY SIGNAGE, LABELING AND PLAQUES AS REQUIRED BY CEC 23-70(B), 695 & 705.
- ELECTRICAL CONTRACTOR TO PROVIDE MAIN LUGS ADAPTOR LUGS AS NEEDED FOR CONNECTIONS AT PANEL, BOARDS AND EQUIPMENT.
- ALL METERING EQUIPMENTS SHALL BE SUBMITTED TO THE UTILITY PROVIDER FOR APPROVAL.
- INSTALL ENGRAVED BAKELITE NAMEPLATE ON SERVICE DISCONNECT SWITCH WITH SERVICE ADDRESS.
- LOAD CALCULATION FOR FUTURE TENANT IMPROVEMENT PROJECT TO BE PROVIDED UNDER PHASE 2 PACKAGE.

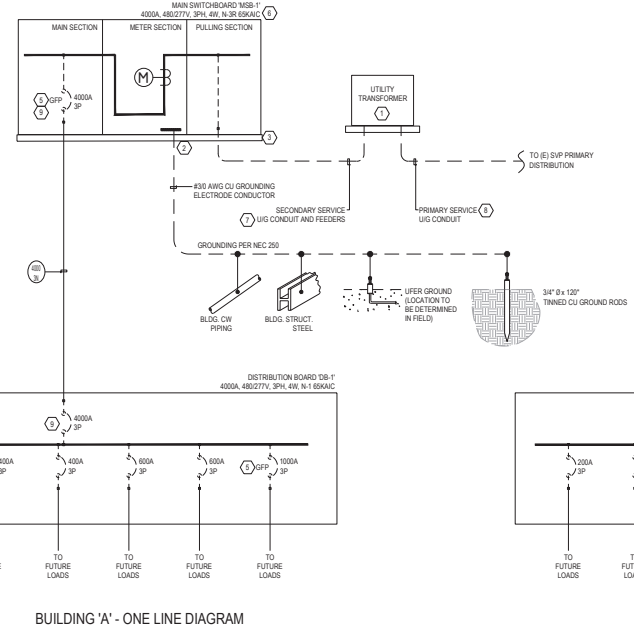
KEY NOTES: ⓧ

- NEW PAD-MOUNTED UTILITY TRANSFORMER: CONTRACTOR TO COORDINATE WITH SUPP REPRESENTATIVE FOR WORK REQUIRED. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
- GROUNDING ELECTRODE SYSTEM: CONNECT TO GROUNDING ELECTRODE SYSTEM USING #50 UNDERGROUND METAL WATER PIPE (WITHIN 2' OF ENTRANCE TO BUILDING), ALL METAL PIPING SYSTEM, CONTIGUOUS STRUCTURAL METAL (IF PRESENT) SHALL BE BONDED TO THE GROUNDING ELECTRODE SYSTEM IN MAIN SWITCHBOARD USING #50 PRODUCE (3/4" X 120" THINNED CU GROUND ROD - MINIMUM 12' APART. USE #4 CU WIRE FOR SOLE CONNECTION TO GROUND ROD. PROVIDE ADDITIONAL GROUNDING ELECTRODE WHERE RESISTANCE TO GROUND EXCEEDS 5 OHMS.
- PROVIDE PAD TO ENSURE LEVEL WORKING CLEARANCE IN FRONT OF EQUIPMENT. SEE PLANS FOR ADDITIONAL INFORMATION.
- NOT USED.
- PROVIDE CIRCUIT BREAKER WITH GROUND FAULT PROTECTION.
- PRIOR TO PURCHASE THE EQUIPMENT, COORDINATE EXACT AVAILABLE FAULT CURRENT WITH UTILITY PROVIDER. ADJUST TO THE NEXT STANDARD SIZE IF UTILITY FAULT CURRENT IS HIGHER THAN EQUIPMENT RATINGS AS SHOWN.
- PROVIDE 12 SETS OF 3 1/2" X 4800 MCM, 1# 3/0ND FOR SECONDARY SERVICE ENTRANCE CONDUCTORS.
- PROVIDE 2.5" EMPTY CONDUIT FOR PRIMARY SERVICE CONDUCTORS.
- PROVIDE CIRCUIT BREAKER WITH LONG TIME, SHORT TIME AND INSTANTANEOUS TRIP SETTINGS.

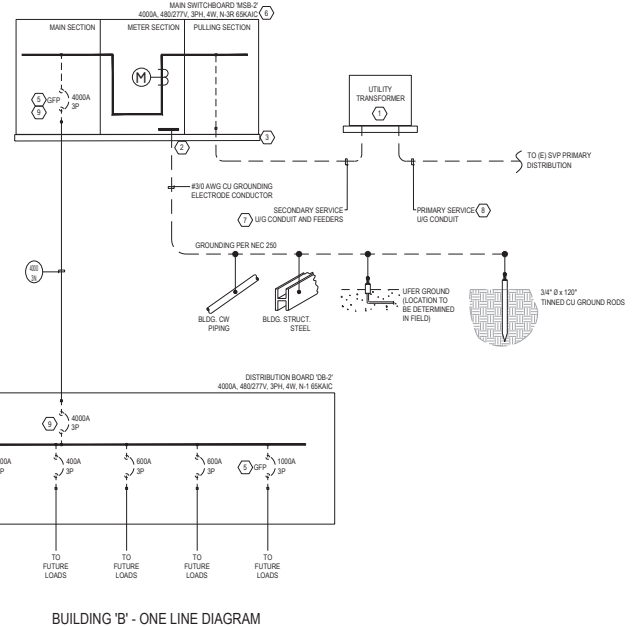
FEEDER SCHEDULE

TAG	WIRE & CONDUIT SIZE	TAG	WIRE & CONDUIT SIZE	TAG	WIRE & CONDUIT SIZE	TAG	WIRE & CONDUIT SIZE
(E) 3-1/2"	4800H - 1#1/2" IN 1/2"	(N) 3#1/2"	4800H - 1#1/2" IN 1/2"	(G) 3#1/2"	4800H - 1#1/2" IN 1/2"	(E) 3#1/2"	4800H - 1#1/2" IN 1/2"
(E) 2#1/2"	1400H - 1#1/2" IN 1/2"	(N) 3#1/2"	4800H - 1#1/2" IN 1/2"	(G) 3#1/2"	4800H - 1#1/2" IN 1/2"	(E) 3#1/2"	4800H - 1#1/2" IN 1/2"
(E) 2#1/2"	1400H - 1#1/2" IN 1/2"	(N) 3#1/2"	4800H - 1#1/2" IN 1/2"	(G) 3#1/2"	4800H - 1#1/2" IN 1/2"	(E) 3#1/2"	4800H - 1#1/2" IN 1/2"
(E) 2#1/2"	1400H - 1#1/2" IN 1/2"	(N) 3#1/2"	4800H - 1#1/2" IN 1/2"	(G) 3#1/2"	4800H - 1#1/2" IN 1/2"	(E) 3#1/2"	4800H - 1#1/2" IN 1/2"
(E) 2#1/2"	1400H - 1#1/2" IN 1/2"	(N) 3#1/2"	4800H - 1#1/2" IN 1/2"	(G) 3#1/2"	4800H - 1#1/2" IN 1/2"	(E) 3#1/2"	4800H - 1#1/2" IN 1/2"
(E) 2#1/2"	1400H - 1#1/2" IN 1/2"	(N) 3#1/2"	4800H - 1#1/2" IN 1/2"	(G) 3#1/2"	4800H - 1#1/2" IN 1/2"	(E) 3#1/2"	4800H - 1#1/2" IN 1/2"

- NOTES:
- ALL WIRE SHALL BE COPPER AND INSULATION SHALL BE THHN, THWN 2, XHHW 2.
  - H - HOT/UNGROUND CONDUCTOR; N - NEUTRAL/GROUNDED CONDUCTOR; G - GROUNDING CONDUCTOR; IG - ISOLATED GROUNDING CONDUCTOR.
  - UNLESS LISTED OTHERWISE, THE AMPACITY OF 600V OR LESS CONDUCTORS SHALL BE BASED ON THE TERMINALS NOT TO EXCEED 90 DEG C (140 DEG F) FOR CONDUCTOR SIZE #14 THROUGH #1 AWG OR 75 DEG C (167 DEG F) FOR CONDUCTOR SIZES OVER #1 AWG.
  - WHERE THE PHASE CONDUCTORS ARE INCREASED IN SIZE (E, G, G) FOR VOLTAGE DROP COMPENSATION), EQUIPMENT GROUNDING CONDUCTOR SHALL BE INCREASED IN SIZE PROPORTIONATELY ACCORDING TO CIRCULAR MIL AREA OF THE PHASE CONDUCTOR.



BUILDING 'A' - ONE LINE DIAGRAM



BUILDING 'B' - ONE LINE DIAGRAM

FOR REFERENCE ONLY

NO.	DESCRIPTION	DATE
	PERMIT SET	06/27/2022



PROJECT:  
700 MATHEW ST.  
SERVICE APPLICATION  
PHASE -1  
700 MATHEW ST.  
STA. CLARA, CA 95050

SHEET TITLE:

ELECTRICAL  
ONE LINE DIAGRAM

PROJECT #: \_\_\_\_\_ SHEET NO.: E5.0  
DATE: 06/22/2022  
SCALE: AS NOTED

Building 'A' Load Calc	AREA(SQ FT)	VA PER SQ FT	Quantity	VA per Qty	VA
Lighting per CEC 220.12	22252	5.00			111260
General Receptacle loads	22252	3.00			66756
Plumbing equipment	22252	5.00			111260
Outdoor lighting per T24	12905	1.00			12905
HVAC	22252	12.00			267024
					0
Dedicated Equipment load (CNC laser Machine Metal Spinning, Lathe Machines, Inspection Machine, etc)			1	350000	350000
Ac welder			20	2000	40000
1ØHP 1phase motor			10	11440	114400
15HP 3phase motor			15	17459	261885
15HP Compressor, 3phase motor			10	17459	174590
Grinding Machine			1	150000	150000
Data servers, UPS			1	100000	100000
Appliances (Coffee, Refrig, etc)			25	1200	30000
EV charger			12	7500	90000
					0
					0
<b>Total load</b>					<b>1880080</b>

Load Type & CEC Demand Load Formula	Quantity	VA per Qty	Load VA	CEC Demand VA
Lighting per CEC 220.12 @ 125% per CEC 220.3	22252 SF		111260	111260 X125% = 139075
Signage @ 125% per CEC 220.14(F)	4 circuit	1200	4800	4800 X125% = 6000
Outdoor lighting @ 125% per CEC 220.3	12905		12905	12905 X125% = 16131
Gen Receptacle loads (prevous) per CEC 220.44	6200 SF	3	18600	10000 X100% + 66756 X60% = 39376
HVAC			267024	149644 X125% + 967899 X100% = 1117543
Motor loads			708075	
Dedicated equipment load	1 lot		350000	X100% = 350000
Plumbing Equipment	22252		111260	X100% = 111260
Electric Vehicle Charger @ 125%			7500	X125% = 9375
Ac welder	20		2000	X100% = 40000
Data Servers, UPS, etc	1 lot		100000	X125% = 125000
Appliances (Coffee, Refrig, etc)			30000	X100% = 30000
Subtotal Demand Load				2085987
Spare for future (25%)				521497
<b>Total Demand Load</b>				<b>2607484</b>
<b>Total Demand Amperage @ 480/277V, 3PH, 4W</b>				<b>3136</b>
<b>Service Size Requested in Amps @ 480/277V, 3PH, 4W</b>				<b>4000</b>

BUILDING A - ELECTRICAL LOAD CALCULATION

SCALE: NONE 2

Building 'B' Load Calc	AREA(SQ FT)	VA PER SQ FT	Quantity	VA per Qty	VA
Lighting per CEC 220.12	16961	5.00			84805
General Receptacle loads	16961	3.00			50883
Plumbing equipment	16961	5.00			84805
Outdoor lighting per T24	16961	1.00			16961
HVAC	16961	12.00			203532
					0
Dedicated Equipment load (CNC laser Machine Metal Spinning, Lathe Machines, Inspection Machine, etc)			1	350000	350000
Ac welder			20	2000	40000
1ØHP 1phase motor			10	11440	114400
15HP 3phase motor			15	17459	261885
15HP Compressor, 3phase motor			10	17459	174590
Grinding Machine			1	150000	150000
Data servers, UPS			1	100000	100000
Appliances (Coffee, Refrig, etc)			30	1200	36000
EV charger			16	7500	120000
					0
					0
<b>Total load</b>					<b>1787851</b>

Load Type & CEC Demand Load Formula	Quantity	VA per Qty	Load VA	CEC Demand VA
Lighting per CEC 220.12 @ 125% per CEC 220.3	22252 SF		84805	84805 X125% = 106006
Signage @ 125% per CEC 220.14(F)	4 circuit	1200	4800	4800 X125% = 6000
Outdoor lighting @ 125% per CEC 220.3	16961		16961	16961 X125% = 21201
Gen Receptacle loads (prevous) per CEC 220.44	6200 SF	3	18600	10000 X100% + 66756 X60% = 39376
HVAC			203532	149644 X125% + 904407 X100% = 1054051
Motor loads			708075	
Dedicated equipment load	1 lot		350000	X100% = 350000
Plumbing Equipment	22252		84805	X100% = 84805
Electric Vehicle Charger @ 125%			7500	X125% = 9375
Ac welder	20		2000	X100% = 40000
Data Servers, UPS, etc	1 lot		100000	X125% = 125000
Appliances (Coffee, Refrig, etc)			36000	X100% = 36000
Subtotal Demand Load				2003505
Spare for future (25%)				500876
<b>Total Demand Load</b>				<b>2504381</b>
<b>Total Demand Amperage @ 480/277V, 3PH, 4W</b>				<b>3012</b>
<b>Service Size Requested in Amps @ 480/277V, 3PH, 4W</b>				<b>4000</b>

BUILDING B - ELECTRICAL LOAD CALCULATION

SCALE: NONE 1

FOR REFERENCE ONLY

FOR REFERENCE ONLY

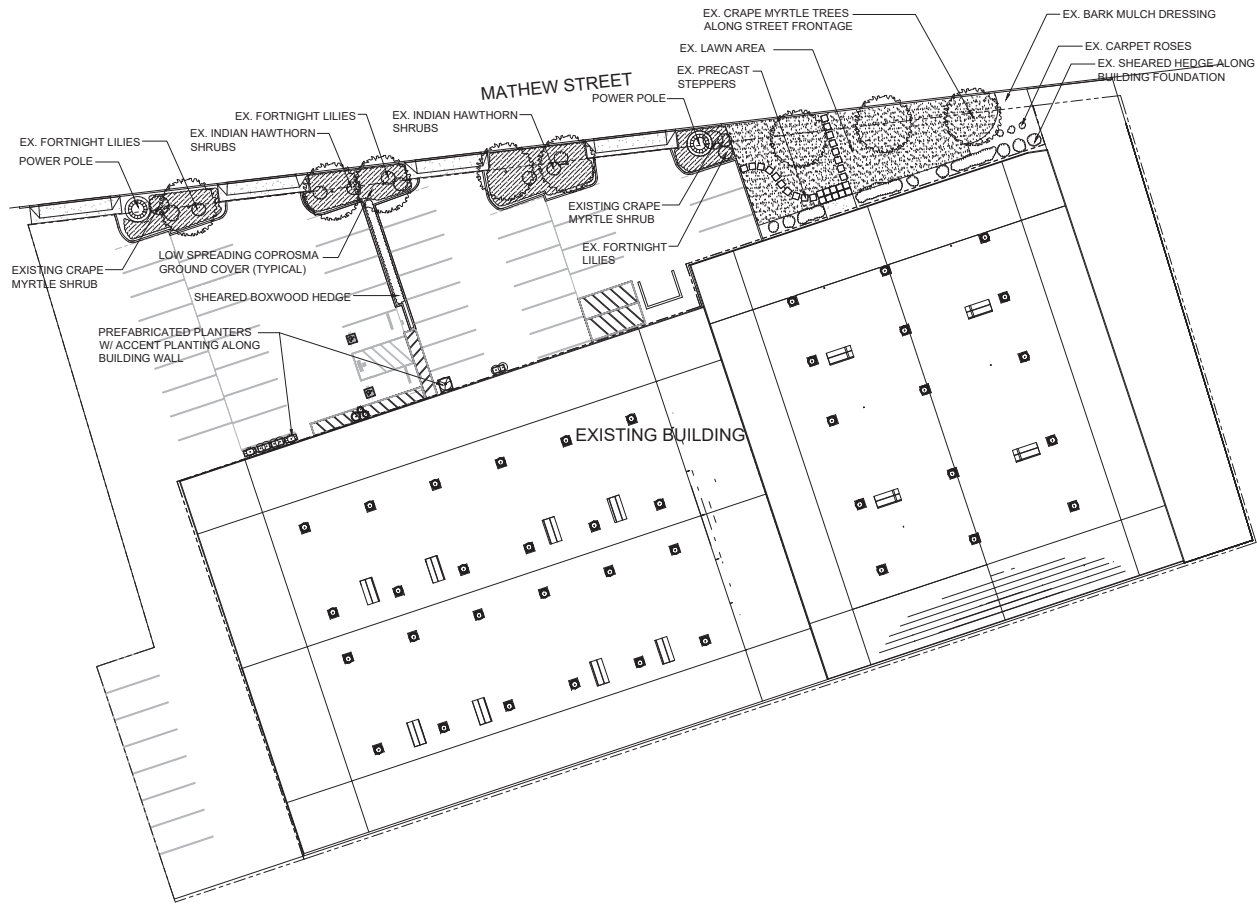
NO.	DESCRIPTION	DATE
	PERMIT SET	06/27/2022



PROJECT:  
700 MATTHEW ST.  
SERVICE APPLICATION  
PHASE -1  
700 MATTHEW ST.  
STA. CLARA, CA 95050

SHEET TITLE:  
ELECTRICAL LOAD  
CALCULATION

PROJECT #: SHEET NO.:  
DATE: 06/22/2022  
SCALE: AS NOTED E6.0



1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED SEPARATELY.  
 2. THIS SHEET IS NOT TO BE USED FOR ARCHITECTURAL, ENGINEERING, OR ANY OTHER PROFESSIONAL PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.  
 3. THESE PLANS AND SPECIFICATIONS SHALL BE USED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE CONTRACT DOCUMENTS, 10TH EDITION, 2018 EDITION, PUBLISHED BY THE NATIONAL SOCIETY OF LANDSCAPE ARCHITECTS.

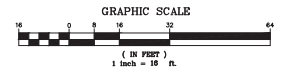
**hpc architecture, inc.**  
 Steven M. Cox, A.I.A., Architect  
 255 N. Market St., Suite 255  
 San Jose, CA 95110  
 408.297.5454 | www.hpc-arch.com



**QMS - Santa Clara**  
 700 MATTHEW ST, SANTA CLARA, CA 95050

Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	LANDSCAPE PLAN
Scale	

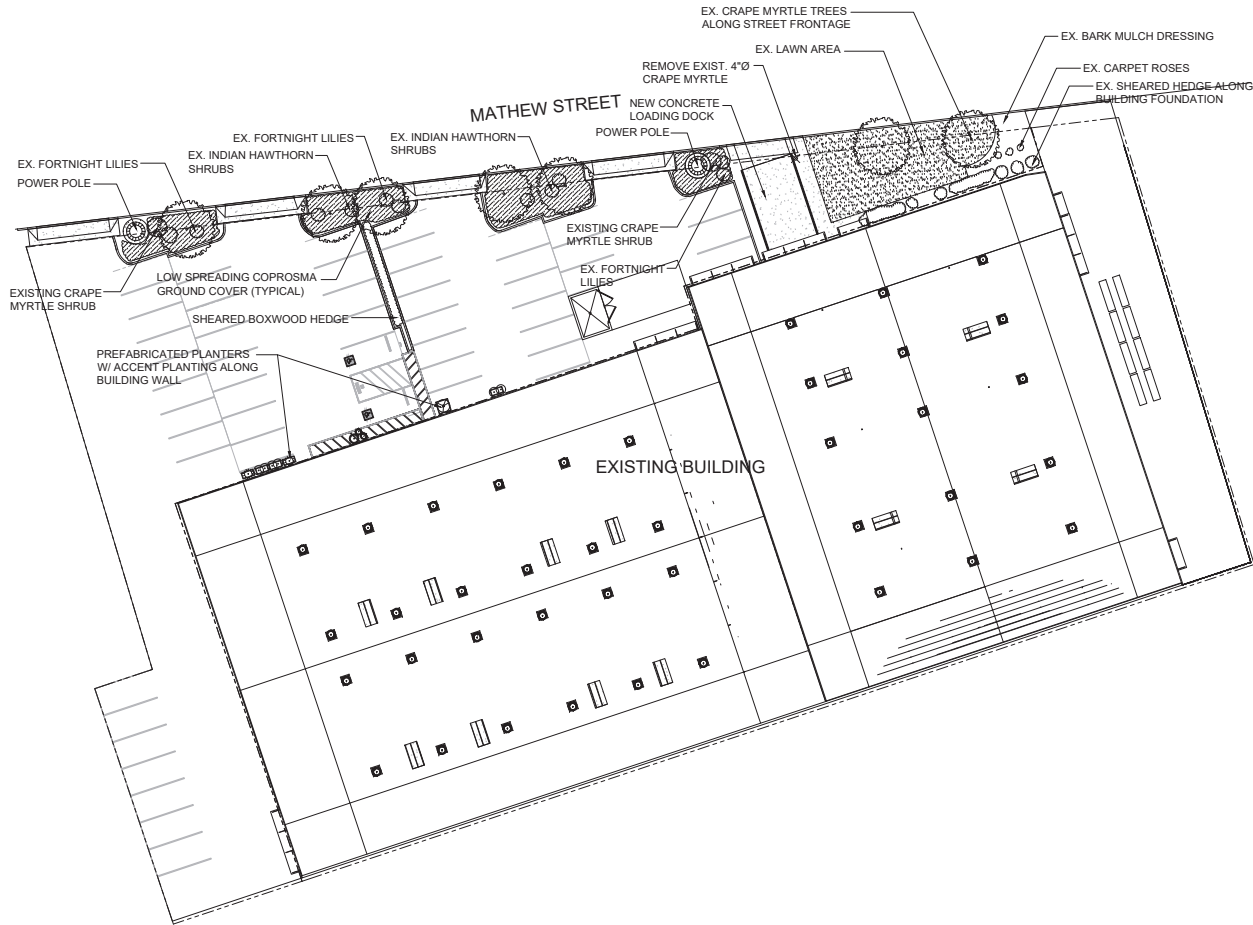
Revisions	
2023.01.09	CLP SUBMITTAL



PRINTED ON RECYCLED PAPER

L-1





1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED SEPARATELY.  
2. THIS SHEET IS NOT TO BE USED FOR ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR OTHER ENGINEERING PURPOSES.  
3. THESE PLANS AND SPECS. SUBMITTALS SHALL BE REVIEWED BY THE APPLICANT BEFORE ANY CONSTRUCTION BEGINS.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICANT AND LOCAL AGENCIES.

**hpc architecture, inc.**  
Steven M. Cox, A.I.A., Architect  
255 N. Market St., Suite 255  
San Jose, CA 95110  
408.297.5454 | www.hpc-arcb.com

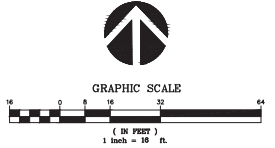


**QMS - Santa Clara**  
700 MATTHEW ST., SANTA CLARA, CA 95050



Job Number	22032
Date	2023.01.09
Drawn	
Author	
Sheet Title	PROPOSED LANDSCAPE PLAN

Revisions
▲ 2023.01.09 CLP SUBMITTAL
▲
▲
▲
▲



PRINTED ON RECYCLED PAPER




L-2