



# City of Santa Clara

## Meeting Agenda

### Development Review Hearing

---

**Wednesday, September 17, 2025**

**4:00 PM**

**Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050**

---

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

- o Via Zoom:
- o <https://santaclaraca.zoom.us/j/92950218717>  
Meeting ID: 929 5021 8717
- o Phone: 1 (669) 900-6833

How to Submit Written Public Comment Before Development Review Hearing Meeting:  
By email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) by 12 p.m. the day of the meeting. Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

Note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Development Review Hearing items may be viewed on the Internet at <https://santaclaraca.legistar.com/Calendar.aspx>

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

## PUBLIC PARTICIPATION IN ZOOM

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

## CALL TO ORDER AND ROLL CALL

25-994 [Declaration of Procedures](#)

## REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

### CONSENT CALENDAR

1.A 25-993 [Development Review Hearing Meeting Minutes of August 20, 2025](#)

**Recommendation:** Approve the Development Review Hearing Meeting Minutes of the August 20, 2025 Meeting.

## PUBLIC PRESENTATIONS

*[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]*

## GENERAL BUSINESS



2.     **25-981**     [Public Hearing: Action on the Significant Property Alteration / Architectural Review \(PLN25-00300\) for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence on the Historic Resource Inventory With Five Bathrooms Located at 4120 Bassett Street \(Continued from 8/20/25 DRH\).](#)

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Sections 15301(e)(2) -Existing Facilities and 15331-Historical Resource Restoration / Rehabilitation, and **Approve** the Significant Property Alteration / Architectural Review for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence on the Historic Resource Inventory With Five Bathrooms Located at 4120 Bassett Street, subject to the findings and conditions of approval.

3.     **25-929**     [Public Hearing: Action on the Architectural Review \(PLN25-00342\) for the Demolition and Reconstruction of a 1,809 Square Foot One-Story Residence located at 1252 Cabrillo Avenue.](#)

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for the complete demolition of the existing 1,248 square foot single story home and the construction of a new 1,809 square foot single story residence, subject to the findings and conditions of approval.

4.     **25-956**     [Public Hearing: Action on An Architectural Review \(PLN25-00266\) for the Demolition of an Existing Residence to Construct a 1,645 Square Foot Three Bedroom, Two & a Half Bathroom, Single-Family Residence with a 475 Square Foot Attached Two-Car Garage on a 5,384 Square Foot Lot at 2495 Painted Rock.](#)

**Recommendation:** Determine the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and **Approve** the Architectural Review for the demolition of an existing residential building to construct a 1,645 square foot three-bedroom, two and a half-bathroom single-family residence with a 475 square foot attached garage on a 5,384 square foot lot at 2495 Painted Rock Drive, subject to findings and conditions of approval.

5.     **25-957**     [Public Hearing: Action of the Significant Property Alteration / Architectural Review \(PLN25-00116\) for a 465 Square Foot First Floor Addition Resulting in a 1,559 Square-Foot Single-Story Residence on the Historic Resource Inventory Located at 834 Main Street](#)

**Recommendation:** Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Sections 15332 - Infill and 15331 - Historical Resource Restoration / Rehabilitation, and **Approve** the Significant Property Alteration / Architectural Review for a 456 square-foot addition resulting in a 1,559 square-foot single-story residence on the Historic Resource Inventory Located at 834 Main Street, subject to the findings and conditions of approval.

## **ADJOURNMENT**

The next regular scheduled meeting is on Wednesday, October 15, 2025 at 4 p.m.

## **MEETING DISCLOSURES**

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

---

**25-994**

**Agenda Date: 9/17/2025**

---

### **REPORT TO DEVELOPMENT REVIEW HEARING**

#### **SUBJECT**

Declaration of Procedures



The Hearing Officer for this agenda will be Sheldon Ah Sing on behalf of and delegated by the Director of Community Development Afshan Hamid.

The hearing procedure and order of input will be as follows:

1. Each project will be identified as described on the agenda.
2. For those items on the Consent Calendar, the Hearing Officer will ask if anyone wishes to speak on the item. If a separate discussion is warranted, the item will be moved to the Public Hearing portion of the agenda. If a separate discussion is not needed, the item will remain on the Consent Calendar for approval.
3. For those items listed under Public Hearing, staff will provide a brief report.
4. The applicant or their representative will have up to five minutes to speak at the microphone and should identify themselves by stating their name for the record.
5. After the applicant or their representative has spoken, any member of the public who wishes to speak on the item may provide testimony, up to two minutes per speaker, either for or against the project. All speakers are required to state their name for the record.
6. Following comments from the public, the applicant may make additional remarks for up to five minutes.
7. The Hearing Officer will then close the public hearing, and may ask staff to answer questions, respond to comments made by the applicant or the public, or further discuss the item. The Hearing Officer will then take action on the item.

**If you challenge these land use decisions in court, you may be limited to raising only those issues you or someone else raised at this public hearing or in written correspondence delivered to the City at, or prior to, the public hearing.**

**The Hearing Officer's actions on agenda items are final unless appealed within seven calendar days.**



# City of Santa Clara

1500 Warburton Avenue  
Santa Clara, CA 95050  
santaclaraca.gov  
@SantaClaraCity

## Agenda Report

---

**25-993**

**Agenda Date: 9/17/2025**

---

### **REPORT TO DEVELOPMENT REVIEW HEARING**

#### **SUBJECT**

Development Review Hearing Meeting Minutes of August 20, 2025

#### **RECOMMENDATION**

Approve the Development Review Hearing Meeting Minutes of the August 20, 2025 Meeting.



# City of Santa Clara

## Meeting Minutes

### Development Review Hearing

---

08/20/2025

4:00 PM

Hybrid Meeting  
City Hall Council  
Chambers/Virtual  
1500 Warburton Avenue  
Santa Clara, CA 95050

---

The City of Santa Clara is conducting the Development Review Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

o Via Zoom:

o <https://santaclaraca.zoom.us/j/92950218717>

Meeting ID: 929 5021 8717

o Phone: 1 (669) 900-6833

How to Submit Written Public Comment Before Development Review Hearing Meeting:

By email to [PlanningPublicComment@santaclaraca.gov](mailto:PlanningPublicComment@santaclaraca.gov) by 12 p.m. the day of the meeting.

Those emails will be forwarded to Staff and will be uploaded to the Development Review Agenda as supplemental meeting material. Emails received after 12:00 P.M. cutoff time up through the end of the meeting will form part of the meeting record. Please identify the Agenda Item Number in the subject line of your email.

Note: Emails received as public comment will not be read aloud during the meeting.

Agendas, Staff Reports and some associated documents for Development Review Hearing items may be viewed on the Internet at <https://santaclaraca.legistar.com/Calendar.aspx>

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the Office of the City Clerk at Santa Clara City Hall, 1500 Warburton Avenue, Santa Clara, CA 95050 at the same time that the public records are distributed or made available to the legislative body.

## PUBLIC PARTICIPATION IN ZOOM

Please follow the guidelines below when participating in a Zoom Webinar:

- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press \*9 to raise your hand if you are calling in by phone only.
- Identify yourself by name before speaking on an item.
- Unmute when called on to speak and mute when done speaking. If there is background noise coming from a participant, they will be muted by the host. Press \*6 if you are participating by phone to unmute.
- If you no longer wish to stay in the meeting once your item has been heard, please exit the meeting.

## CALL TO ORDER AND ROLL CALL

**Development Review Officer Sheldon Ah Sing** called the meeting to order at 4:00 p.m.

[25-912](#)

Declaration of Procedures

**Development Review Officer Sheldon Ah Sing** read the Declaration of Procedures.

## REQUEST FOR EXCEPTIONS, WITHDRAWALS AND CONTINUANCES

None.

## PUBLIC PRESENTATIONS

None.

## CONSENT CALENDAR

- 1A. [25-841](#) Withdrawal of the Architectural Review Application (PLN24-00637) for the Construction of a 425 Square-Foot First Floor Addition and a 1,250 Square-Foot Second Floor Addition, Resulting in a 3,151 Square-Foot Four Bedroom and Three and a Half Bathroom Two-Story Single-Family Residence on a 5,508 Square-Foot Lot at 2121 Nobili Avenue.

**Recommendation:** Acknowledge the withdrawal of this item from the August 20, 2025, Development Review Hearing.



- 1B. [25-844](#) Development Review Hearing Meeting Minutes of July 9, 2025

**Recommendation:** Approve the Development Review Hearing Meeting Minutes of the July 9, 2025 Meeting.

**Action: Development Review Officer Sheldon Ah Sing approved the consent calendar.**

## **GENERAL BUSINESS**

2. [24-1215](#) PUBLIC HEARING: Consistency Determinations to the adopted Initial Study and Mitigated Negative Declaration and Action (PLN23-00577) to Allow Demolition of a single-family residence and Development of Eight Semi-Attached Single-Family Residences and Associated On- and Off-Site Improvements Located at 2303 Gianera Street.

**Recommendation:**

Find the project to be consistent with the adopted Mitigated Negative Declaration and approve the Architectural Review for the demolition of existing structures and construction of eight semi-attached single-family residences and associated on- and off-site improvements located at 2303 Gianera Street, subject to the findings and conditions of approval.

**Associate Planner Daniel Sobczak** provided the staff presentation.

**Applicant Kelly Rohry** spoke about the project.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

3. [25-869](#) PUBLIC HEARING: Consistency Determination to the Initial Study and Mitigated Negative Declaration and Action on the Architectural Review (PLN2019-13847) for a Construction of Nine Two-story Townhouses located at 4249 Cheeney Street.

**Recommendation:** Determine the project to be consistent with the adopted Mitigated Negative Declaration and **approve** the Architectural Review for the construction of nine two-story townhomes with two-car garages and associated on- and off-site improvements located at 4249 Cheeney Street, subject to the findings and conditions of approval.

**Associate Planner Tracy Tam** provided the staff presentation.

**Applicant Saul Flores** spoke about the project.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

4. [25-849](#) PUBLIC HEARING: Action on the Architectural Review (PLN25-00262) for a 555 Square Foot First Floor Addition to an Existing One-Story Residence and the Enclosure and Expansion of the Existing Carport to Create a New 435 Square Foot Two-Car Garage, Resulting in a 2,454 Square Foot Residence with Four Bedrooms Located at 3015 Machado Ave.

**Recommendation:** Determine the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for a 555 Square Foot First Floor Addition to an Existing One-Story Residence and the Enclosure and Expansion of the Existing Carport to Create a New 435 Square Foot Two-Car Garage, Resulting in a 2,454 Square Foot Residence With Four Bedrooms Located at 3015 Machado Avenue, subject to the findings and conditions of approval.

**Assistant Planner Summer Foss** provided the staff presentation.

**Applicant Tinh Huynh** spoke about the project.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

5. [25-862](#) PUBLIC HEARING: Action on the Significant Property Alteration / Architectural Review (PLN25-00300) for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence on the Historic Resource Inventory With Five Bathrooms Located at 4120 Bassett Street.

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Sections 15301(e)(2)-Existing Facilities and 15331-Historical Resource Restoration / Rehabilitation, and **Approve** the Significant Property Alteration / Architectural Review for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence on the Historic Resource Inventory With Five Bathrooms Located at 4120 Bassett Street, subject to the findings and conditions of approval.

**Associate Planner Daniel Sobczak** provided the staff presentation.

**Public Speakers:**

Mark and Patti Hofmeister

**Action: Development Review Officer Sheldon Ah Sing continued this item date certain to the September 17, 2025, Development Review Hearing.**

6. [25-855](#) PUBLIC HEARING: Action on the Architectural Review (PLN25-00265) for a 349 Square Foot First Floor Addition and a 1,427 Square Foot Second Floor Addition to the Existing 2,240 Square Foot One-Story Residence, resulting in a 4,004 Square-Foot Residence with Seven Bedrooms, Four and a Half Bathrooms at 3109 Alexander Avenue.

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for a 349 Square Foot First Floor Addition and a 1,427 Square Foot Second Floor Addition to the Existing 2,240 Square Foot One-Story Residence, resulting in a 4,004 Square-Foot Residence with Seven Bedrooms, Four and a Half Bathrooms at 3109 Alexander Avenue, subject to the findings and conditions of approval.

**Assistant Planner Summer Foss** provided the staff presentation.

**Applicant Darco Farhardo** spoke about the project.

Public Comments: **None.**

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation.**

7. [25-856](#) PUBLIC HEARING: Action on the Architectural Review (PLN25-00228) for the demolition and reconstruction of a 4,007 Square Foot Two-Story Residence with Four Bedrooms, Three and a Half Bathrooms, a 297 Square Foot covered porch, and an attached 601 Square Foot First-Story Accessory Dwelling Unit at 271 Madrone Avenue.

**Recommendation:** **Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for a new 4,007 Square Foot Two-Story Residence with Four Bedrooms, Three and a Half Bathrooms, a 297 Square Foot covered porch, and an attached 601 Square Foot First-Story Accessory Dwelling Unit at 271 Madrone Avenue, subject to the findings and conditions of approval.

**Assistant Planner Summer Foss** provided the staff presentation.

**Homeowner Suhas Sheshadri** provided a presentation.

**Public Speakers:**

Janey Chan

Sachchidanand Vaidya

**Action: Development Review Officer Sheldon Ah Sing approved staff recommendation with added conditions: (1) reduce the size of the second-story window on the right elevation, with a high sill and frosted glass; (2) remove one window from the second-story right elevation.**

**ADJOURNMENT**

The meeting adjourned at 5:12 p.m.

The next regular scheduled meeting is on Wednesday, September 17, 2025.

The meeting recording is available on the City's website:

<https://santaclara.legistar.com/calendar.aspx>

**MEETING DISCLOSURES**

The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitation period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred. If a person wishes to challenge the nature of the above section in court, they may be limited to raising only those issues they or someone else raised at the meeting described in this notice, or in written correspondence delivered to the City of Santa Clara, at or prior to the meeting. In addition, judicial challenge may be limited or barred where the interested party has not sought and exhausted all available administrative remedies.

If a member of the public submits a speaker card for any agenda items, their name will appear in the Minutes. If no speaker card is submitted, the Minutes will reflect "Public Speaker."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the City of Santa Clara will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities, and will ensure that all existing facilities will be made accessible to the maximum extent feasible. The City of Santa Clara will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities including those with speech, hearing, or vision impairments so they can participate equally in the City's programs, services, and activities. The City of Santa Clara will make all reasonable modifications to policies and programs to ensure that people with disabilities have an equal opportunity to enjoy all of its programs, services, and activities.

Agendas and other written materials distributed during a public meeting that are public record will be made available by the City in an appropriate alternative format. Contact the City Clerk's Office at 1 408-615-2220 with your request for an alternative format copy of the agenda or other written materials.

Individuals who require an auxiliary aid or service for effective communication, or any other disability-related modification of policies or procedures, or other accommodation, in order to participate in a program, service, or activity of the City of Santa Clara, should contact the City's ADA Coordinator at 408-615-3000 as soon as possible but no later than 48 hours before the scheduled event.



## Agenda Report

25-981

Agenda Date: 9/17/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

PUBLIC HEARING: Action on the Significant Property Alteration / Architectural Review (PLN25-00300) for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence on the Historic Resource Inventory With Five Bathrooms Located at 4120 Bassett Street (Continued from 8/20/25 DRH).

**File No.:** PLN25-00300

**Location:** 4120 Bassett Street, a 7,504 Square Foot Lot Located about 50 Feet North from the Corner of Beech Street and Bassett Street

**Applicant:** Otoniel Rojas Campos

**Owner(s):** Jeffery Jaurigui

**Request:** **Significant Property Alteration and Architectural Review** for a Proposed 411 square foot addition, 526 square foot attic addition/remodel, interior remodel, and conversion/addition to existing basement to create an 818 square foot Accessory Dwelling Unit (ADU), to create a four-bedroom, three-bathroom residence with a 401 square foot detached garage and Accessory Dwelling Unit (ADU) for a property on the City's Historic Resource Inventory (HRI).

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The proposed project was continued from the August 20, 2025, Development Review Hearing. At that hearing the project was presented, discussed, and there was public comment by the rear abutting neighbors regarding privacy concerns due to the proposed elevated rear deck. No representative for the project attended the meeting to address concerns, as such, the Development Review Officer continued the item to the September 17, 2025, Development Review Hearing. No changes have been made to the project from the previous hearing date.
  - Staff's recommendation regarding the comment is to add lattice or some other form of privacy screening to southern side of the deck.
- The project is in a residential tract consisting of both one- and two-story residences and five other Historic Resource Inventory (HRI) properties on the block. See Vicinity Map in Attachment 1.
- 1 The property is listed on the City's HRI and was constructed in 1905. The project went before the Historic and Landmarks Commission (HLC) on August 7th, 2025. The HLC voted 6-0-1 to recommend approval of the project in that the project met the Secretary of the Interior Standards for rehabilitation and alterations. The staff report from the HLC meeting is available (Attachment 4).
- 2 The proposed project is the combination of restoration and rehabilitation of a historic residence involving interior and exterior alterations and new construction to provide additional living area and functional use of the home.
- 3 A Historic Resources Design Review and a Department of Parks and Recreation (DPR) Form 523 were completed by Lorie Garcia of Beyond Buildings. The analysis concludes that the project at 4120 Bassett Street appears to support an efficient contemporary use while preserving the character-defining features of the historic Neoclassical Rowhouse.
- 4 The proposed project meets the required findings set forth in Santa Clara City Code 18.120.

- 5 There are no active City code enforcement cases for this property.
- 6 A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

### **FINDINGS SUPPORTING STAFF'S RECOMMENDATION**

Granting the Significant Property Alteration approval requires the following findings consistent with City Code Section 18.130.050(D):

- 1) *The alterations shall be designed to the essential character, features, and defining elements that make the HRI property significant, in that:*
  - The attic addition is proposed at a height lower than the ridge of existing roofline and includes a rear facing dormer with gable roof end and double hung windows, and composition shingle roof to match existing.
  - The additions, such as the angled bay window on the southside elevation, are compatible with Neoclassical Rowhouse architecture.
- 2) *The project proposal shall not have a significant adverse effect on the integrity of the HRI property, in that:*
  - The proposal includes selective removal and relocation of existing windows, removal and salvage of the original siding and trim for reuse elsewhere, addition of an angled bay window on the main floor of the south/side elevation, and installation of new and preserved double hung windows across the building elevations.
  - The proposed rear entranceway and stairs are proposed along the rear elevation and would not be visible from the street frontage nor impact the historic integrity of the original building architecture.
- 3) *The alterations must be compatible with the existing structure or district, in that:*
  - Demolition of the exiting concrete stairs at the front of the home and construction of new terraced stoops in proportion to the original stairs are proposed using the exterior lap siding salvaged during construction of the rear additions and the angled bay window.
  - The proposed changes to the residence would maintain the historic residences' Neoclassical Rowhouse architecture.
- 4) *The alterations must be consistent with the Secretary of the Interior's Treatment Standards, in that:*
  - The project plans include a detailed historic preservation treatment plan on Sheet HP1.0 of the Development Plan to guide the property owner and contractor in the proper techniques for construction of the addition and alterations according to the Secretary of Interior Standards for Rehabilitation.

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
  - The property maintains a two-car garage which will provides the Code required two covered parking spaces. Per Santa Clara City Code, each garage should maintain an unobstructed 20'x20' space for parking. As conditioned, the project would require that the garage be used for parking vehicles and not only for storage.
  - The proposed project provides areas surfaced with all-weather materials of parking vehicles, including two guest parking spaces.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic*



*congestion or hazard, in that:*

- The proposed project would create an ADU on the property and expand the main residence in such a way that would not create substantive traffic congestion or hazards.
- Public streets, including Bassett Street, are adequate in size and design to serve the proposed residences, and the use will not create a substantive increase in traffic.

*3) That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*

- The attic addition is proposed at a height lower than the ridge of existing roofline and includes a rear facing dormer with gable roof end and double hung windows, and composition shingle roof to match existing. The changes would be reflective of similar alterations found throughout the neighborhood.
- The additions, such as the angled bay window on the southside elevation, are compatible with, and would maintain the historic residences' Neoclassical Rowhouse architecture

*4) That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*

- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.

*5) That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The proposed project is consistent with the surrounding character of the neighborhood by including such architectural elements as gabled roofs, dormers, and a mixture of materials that includes asphalt shingle roofing, salvaged historic siding, and salvaged windows.
- The architectural features of the proposed design are true to the architectural form and appropriate for the neighborhood.
- The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.

### **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

### **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Exemption Sections 15301(e)(2)-Existing Facilities and 15331-Historical Resource Restoration / Rehabilitation, in that the project involves an addition and renovations of a historic single-family residence.

### **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on August 7,

2025. The project was continued date certain from the August 20, 2025, Development Review Hearing to the September 17, 2025 Development Review Hearing.

### **RECOMMENDATION**

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Sections 15301(e)(2)-Existing Facilities and 15331-Historical Resource Restoration / Rehabilitation, and **Approve** the Significant Property Alteration / Architectural Review for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence on the Historic Resource Inventory With Five Bathrooms Located at 4120 Bassett Street, subject to the findings and conditions of approval.

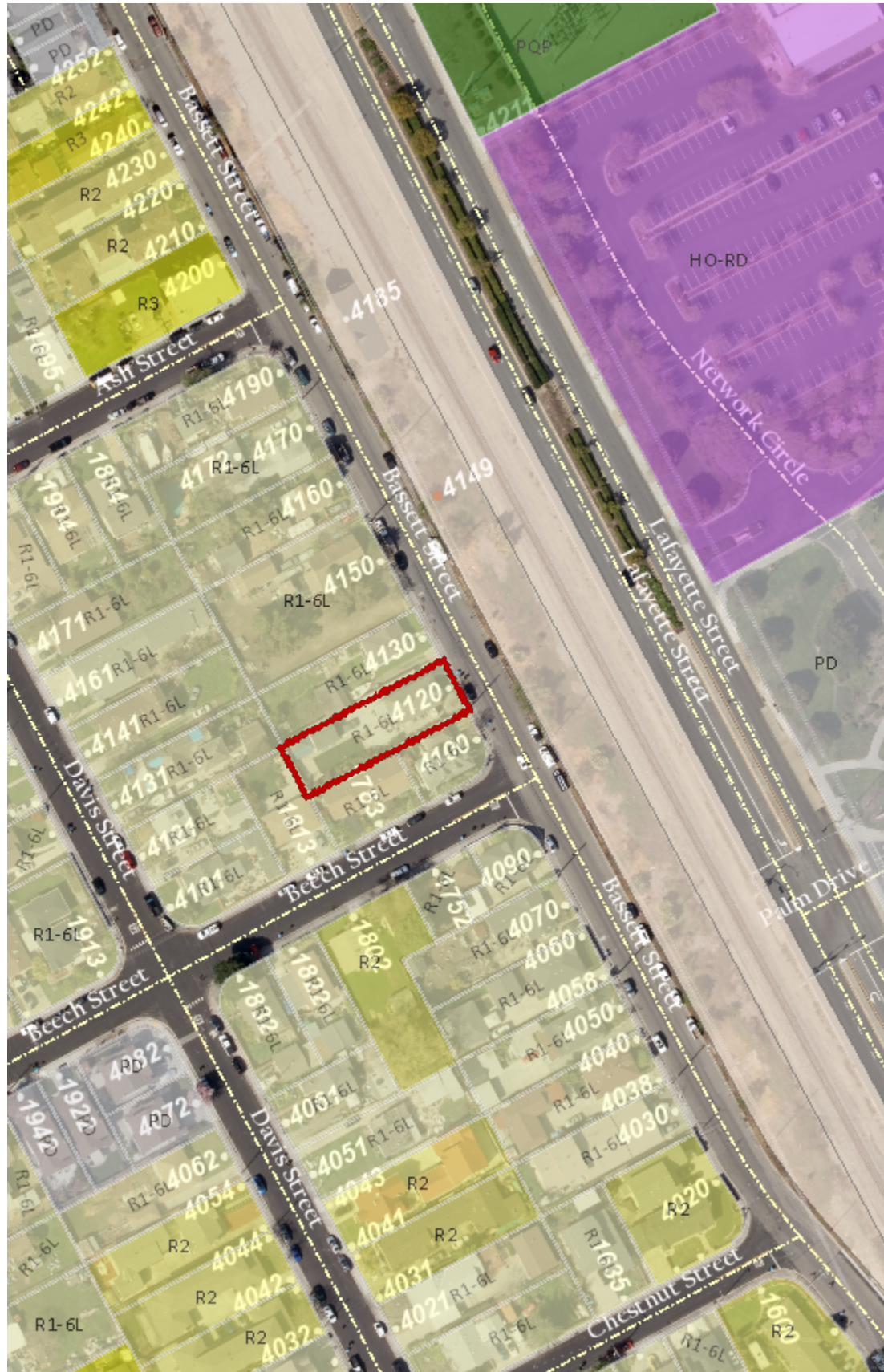
Prepared by: Daniel Sobczak, Associate Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

### **ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Web Links - August 20, 2025 DRH Meeting
5. Development Plans

Vicinity Map (Zoning) – 4120 Bassett Street



Legend

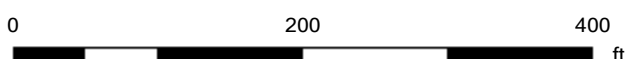
- City Limit
- Municipal Boundary
- Base Layers
- Site Addresses
  - Single
  - Utility
- Streets
- Air Parcels
- Land Parcels
  - Land Parcels
  - Right of Ways
  - Common Areas



Notes

PLN25-00300

created on 07/14/2025 11:19:56







**Legend**

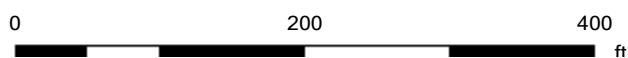
- City Limit
- Municipal Boundary
- Base Layers
- Site Addresses
  - Single
  - Utility
- Streets
- Air Parcels
- Land Parcels
  - Land Parcels
  - Right of Ways
  - Common Areas



**Notes**

PLN25-00300

created on 07/14/2025 11:28:05



**Attachment 2: Project Data/Compliance**

**Project Address: 4120 Bassett Street**  
**Zoning: R1-6L**

**Project Number: PLN25-00300**

Standard	Existing	Proposed	Requirement	Complies? (Y/N)
<b>Lot Area (SF) (min):</b>	7,504	7,504	6,000	Y
<b>Building Square Footage (SF)</b>				
<b>Main Floor:</b>	1,047	1,489	--	--
<b>Attic:</b>	539 (Unconditioned)	678 (Conditioned)	--	--
<b>Basement:</b>	1,029 (Unconditioned)	935 (Conditioned)	--	--
<b>Garage:</b>	401	No change	--	Y
<b>Accessory Building:</b>	124	Demolish	--	Y
<b>Front Porch/Patio:</b>	84	No change	--	Y
<b>Rear Porch</b>	n/a	90		
<b>Total:</b>	1,725	2,607	--	--
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	22%	27.9%	40% max	Y
<b>Rear Yard Accessory Building Coverage:</b>	<40%	No change	40% max	Y
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	10	No change	20	N <sup>1</sup>
<b>Left Side (1<sup>st</sup> floor):</b>	12	No change	5	Y
<b>Right Side (1<sup>st</sup> floor):</b>	12	No change	5	Y
<b>Rear (1<sup>st</sup> floor):</b>	90	65	20	Y
<b>Accessory Building Setbacks (FT)</b>				
<b>Side (left):</b>	28	No change	3	Y
<b>(right):</b>	2'- 6"			N <sup>1</sup>
<b>Rear:</b>	23	No change	5	Y
<b>From main building:</b>	50	26'-6"	6	Y
<b>Height (FT)</b>				
<b>Main building:</b>	23'-11"	No change	25	Y
<b># of Bedrooms/Bathrooms:</b>	2/1	4/3	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street</b>	2 spaces	No change	2 spaces	Y
<b>Common Living Area (SFR)</b>	>25%	>25%	Min 25%	Y
<b>Open Landscaped Area (Front):</b>	>35%	No change	Min 35%	Y

1. Legal Non-conforming

## Conditions of Significant Property Alteration Permit Approval

PLN25-00300 / 4120 Bassett Street

**Significant Property Alteration / Architectural Review (PLN25-00300) for a 441 Square Foot First Floor Addition and an 818 Square Foot Basement Addition to an Existing Single-Story Residence Resulting in a 2,307 Square Foot Residence With Five Bathrooms Located at 4120 Bassett Street.**

### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is September 24, 2027.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)
- P2. **Privacy.** Add lattice or some other form of privacy screening to southern side of the rear deck

### DURING CONSTRUCTION

- P3. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.

- P4. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P5. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

**OPERATIONAL CONDITIONS**

- P6. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P7. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P8. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

**KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.



## Web Links

---

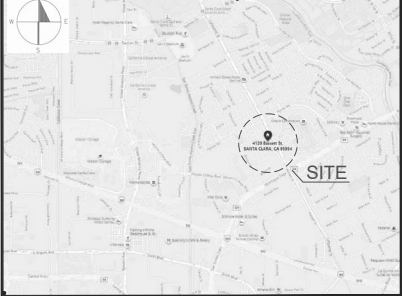
### **DRH Meeting (8/20/2025):**

Here you will find documents related to the Planning Commission meeting such as the staff report and attachments.

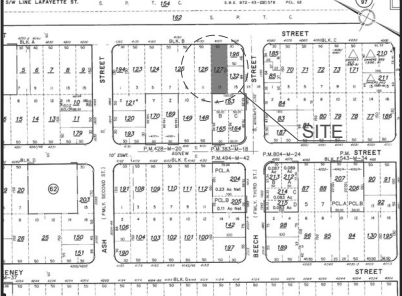
<https://santaclara.legistar.com/LegislationDetail.aspx?ID=7513290&GUID=3F5C5291-F114-46D9-95A7-38C6EE0C85BC&FullText=1>

**These documents are available for viewing in the Community Development Department**

**VICINITY MAP**  
EXISTING LOCATION: 4120 BASSETT ST., SANTA CLARA  
SCALE: Site Image Not To Scale

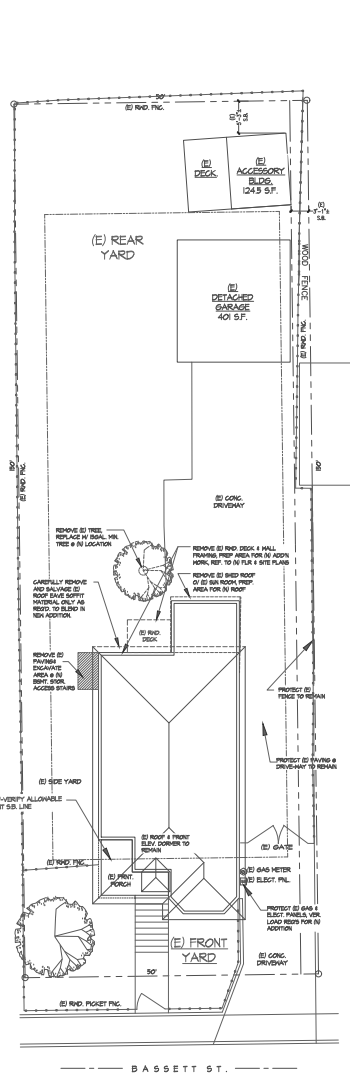


**ASSESSOR'S MAP**

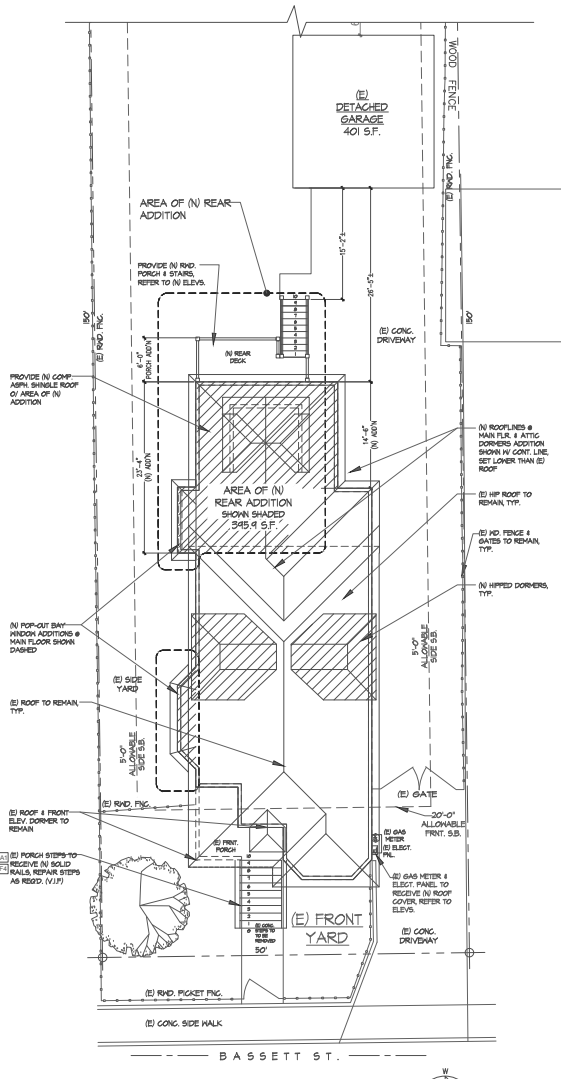


**ABBREVIATIONS**

A	AND	HR.	HOURLY	TOK.	TOP OF KILL
C	CENTERLINE	INSUL.	INSULATION	T.PLT.	TOP PLATE
Ø	DIAMETER OR ROUND	LOC.	LOCATION	TY.	TELEVISION
(N)	NEW	LT.	LANDSCAPING	U.G.A.	UNDERNEATH OTHERWISE NOTED
+/-	PLUS OR MINUS	MECH.	MECHANICAL	VERT.	VERTICAL
ADJ.	ADJACENT	MEMB.	MEMBRANE	W.	WIDTH
A.F.F.	ABOVE FINISHED FLOOR	MFP	MECHANICAL FINISH PLAN	W.C.	WOOD CLOSET
APPROX.	APPROXIMATE	MFR.	MANUFACTURER	W.D.	WOOD
ASPH.	ASPHALT	MIS.	MISCELLANEOUS	W/W	WINDOW
BIFUM.	BIFURCATED	MTD.	MONUMENT	W/O	WITHOUT
BUILD.	BUILDING	N.A.C.	NOT IN CONTRACT	W/P	W/PLAIN
BLK.	BLOCK	NO.	NUMBER	WTR.	WATER
B.M.	BENCHMARK	NOM.	NOMINAL		
B.S.	BOTTOM	N.T.S.	NOT TO SCALE		
CAB.	CABINET	O.A.	OVERALL		
C.B.	CROWN BARS	OF	OVER		
C.I.	CAST IRON	O.C.	ON CENTER		
C.J.	CORNER JOINT	OD.	OUTSIDE DIA. DIM.		
CLO.	CLOSET	OPP.	OPPOSITE		
C.L.G.	CALLING	P.L.T.	PLATE		
CONC.	CONCRETE	PL.	PLASTER		
CLP.	CLEAR	PLYW.	PLYWOOD		
C.M.U.	CONCRETE MASONRY UNIT	P.F.	PAPER		
CONT.	CONTINUOUS	PHTD.	PAINTED		
CTR.	CENTER	PTF.	PRES. TREATED OF QUARTZ		
D.B.	DOOR BELL	Q.T.	QUARRY TILE		
DET.	DETAIL	RAD.	RISER		
DR.	DOUBLE	R.D.	ROOF DRAIN		
DIA.	DIAMETER	RECC.	RECESSED		
DM.	DOWN	REF.	REFERENCE		
DN.	DOWN	REF.	REFERENCE		
DR.	DOWN	REQ.	REQUIRED		
D.V.	DOWNSPOUT	REQ.	REQUIRED		
DRY.	DRY VENT	R.M.	ROUND ROOM		
D.W.G.	DRAWING	RND.	ROUND		
D.H.M.	DOMESTIC WATER HTR.	R.O.	ROUGH OPENING		
E.A.	EACH	R.W.	REDWOOD		
E.C.	EXHAUST FAN	S.C.	SOLID CORE		
E.L.	EXPANSION JOINT	S.C.	SOLID CORE		
ELEC.	ELECTRICAL	SECT.	SECTION		
E.N.	EDGE NAIL	S.C.	SOLID CORE		
EQ.	EQUAL	SCHED.	SCHEDULE		
EXH.	EXHAUST	SECT.	SECTION		
EXT.	EXTERIOR	SGDR.	SLIDING GLASS DR		
F.D.	FLOOR DRAIN	SH.	SHIRT		
FND.	FOUNDATION	SHT.	SHEET		
FNL.	FANSH	S.L.	SLOPE		
FLOOR.	FLOOR	S.L.T.	SOFT LT.		
F.L.C.	FLUORESCENT (OR CUR)	SPEC.	SPECIFICATION		
F.O.C.	FACE OF CONC.	S.S.	SEE STRUCT. DWGS		
F.O.C. (OR CUR)	FACE OF CONG.	S.S.T.	STAINLESS STEEL		
F.F.	FACE OF FINISH	STD.	STANDARD		
F.O.S.	FACE OF STUDS	STL.	STEEL		
F.F.	FULL FACE	STOR.	STORAGE		
FT.	FOOT OR FEET	SURF.	SURFACE		
FTL.	FOOTING	TEL.	TELEPHONE		
FURR.	FURRING	TEMP.	TEMPERED GLASS		
G.	GALV.	T.A.G.	TONGUE AND GROOVE		
G.A.	GALVANIZED	THSHD.	THRESHOLD		
G.L.B.	GULF LUMI BEAM	TOP.	TOP		
GND.	GROUND	TOP.	TOP		
GSM.	GALV. SHEET METAL	TOP.	TOP		
GRD.	GROUND	TOP.	TOP		
H.E.	HESIT	TOP.	TOP		
H.B.	HESIT	TOP.	TOP		
H.S.	HESIT	TOP.	TOP		
H.D.	HOT DP (GALV.) (OR HOLDDOWN)	TOP.	TOP		
HDR.	HEADER BEAM	TOP.	TOP		
HORIZ.	HORIZONTAL	TOP.	TOP		



**(E) DEMO SITE PLAN** SCALE: 1"=10'



**(N) NEW SITE PLAN** SCALE: 1/8"=1'

**PROJECT DESCRIPTION**

**PROJECT SCOPE OF WORK:**  
PROJECT CONSISTS OF INT. 4 EXT. DESIGN TO AN EXISTING 1900 ERA VICTORIAN RESIDENCE WITH INT. DES. IMPROVEMENTS TO DEVELOP OUT THE (E) BASEMENT INTO A USABLE ACCESSORY DWELLING UNIT (ADU) W/ INT. STAIRS AND AN EXT. EGRESS STAIR WELL. REMODEL AND ENLARGE THE KITCHEN TO ACCOM. THE (N) INT. STAIRS @ THE LIVING/DINING ROOM AREAS. (N) FOUND. RETAINING WALL @ BASEMENT FOR PERIMETER WALLS OF (N) ADU. SPACE.

**ADDRESS:**  
4120 BASSETT STREET  
SANTA CLARA, CA 95054

**APN:** 104-12-127  
**ZONING:** RI-6L  
**BUILDING TYPE:** TYPE V-B  
**OCCUPANCY:** R-3U-1  
**LOT SIZE:** 7504 SQ. FT.

**PROJECT AREA:**  
(E) RESIDENCE: 4441.1 SQ. FT.  
(N) MAIN FLR. ADDITIONS: 441.4 SQ. FT.  
(E) ATTIC REMODEL (USABLE SPACE): 671.1 SQ. FT.  
(N) MAIN FLR. RES. SQ. FT. TOTAL: 2,166.8 SQ. FT.  
ALLOWABLE ADU. SQ. FT. (50%): 1,083.4 SQ. FT. (ALLOWABLE)  
(E) BASEMENT (UNCOND. SPACE): 1,024.6 SQ. FT. (PROPOSED)  
PROPOSED (N) BSMT. ADU: 818.2 SQ. FT. (PROPOSED)  
PROPOSED (N) MECH RM: 116.3 SQ. FT. (PROPOSED)  
TOTAL (N) BSMT. SPACE: 454.5 SQ. FT. (PROPOSED)  
(N) MAIN FLR. RES. SQ. FT. TOTAL: 1,489.1 SQ. FT.  
(E) FRONT PORCH: 84.25 SQ. FT.  
(E) DET. GARAGE: 401.0 SQ. FT.  
(E) DET. ACCESS. BLDG.: 124.5 SQ. FT.  
(N) TOTAL LOT COVERAGE: 2,049.8 SQ. FT. (PROPOSED)  
2,049.8 / 7504 = 27.1% (40% MAX. ALLOWABLE)

**DRAWING INDEX:**  
A0.0 TITLE SHEET / WHITE PLANS & PROJECT INFO.  
A0.1 CALIF. GREEN BLDG. STDS, WATER CONSERV., REGS.  
A0.2 CALIF. GREEN BLDG. STDS, HER.S, HVAC REGS.  
A0.3 PROJECT SPECS, CODE NOTES  
HP.0 HISTORIC PRESERVATION TREATMENT (CHART)  
A1.0 (E) MAIN FLR. 4 EXT. ELEV. DEMO. PLAN  
A1.1 (E) BASEMENT DEMO PLAN  
A2.0 (N) MAIN FLOOR PLAN  
A2.1 (N) BASEMENT ADU, 4 ATTIC FLOOR PLANS  
A3.0 (N) EAST & SOUTH EXT. ELEVATIONS  
AS.1 (N) WEST & NORTH EXT. ELEVATIONS  
A4.0 (N) SECTIONS

**PROJECT DIRECTORY**

**OWNER - CLIENT:**  
JEFF JAURIGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
PH: 415.608.4670  
em: getjeff@gmail.com

**ARCHITECT:**  
STRATA DESIGN STUDIO  
P.O. Box #112  
SAN JOSE, CA 95108  
JOHN TABUENA-FRULLI, AIA  
HISTORIC ARCHITECT  
408.105.3148  
jtfrull@gmail.com

**BUILDING CONTRACTOR:**  
T.B.D.

**STRUCT. ENGINEER:**  
TBD

**SHEET NOTES**

- CODES: PROJECT CONSTRUCTION IS TO COMPLY WITH THE MOST CURRENT ADOPTED CODES: 2014 CALIF. HISTORIC CODE, 2014 CALIF. RESID. CODE (2014 IRC.), 2014 CEC, 2014 ELEC., PLUMBING, & MECH. CODES, CALGREEN, AND ENERGY CODES.
- LOCATE, IDENTIFY, AND PROTECT ALL UNDERGROUND UTILITY LINES AND METERS TO REMAIN PRIOR TO START OF SITE WORK AND ANY DIGGING.
- REFER TO DEMOLITION NOTES FOR ADDITIONAL INFORMATION. OBTAIN SALVAGE REQUIREMENTS AND DEMOLITION REGULATIONS FROM CITY BLDG DEPT AS REQUIRED BY THE CITIES DISPOSAL AND CALGREEN BUILDING PROGRAM (REFER CALGREEN PGS. REF'D. ABOVE)
- IDENTIFY AND PROTECT ANY LANDSCAPING OR TREES TO REMAIN PRIOR TO SITE WORK. SEE ALSO TREE PROTECTION NOTES @ DEMO SITE PLAN.
- REFER TO SHT. INDEX ABOVE FOR 'GREEN BUILDING PROJECT REGS.' FOR ADDITIONAL CONSTRUCTION, DEMOLITION, AND DISPOSAL INFO.
- SEE FOLLOWING ATTACHED SHEETS FOR NEW CONSTRUCTION REQUIREMENTS AND ADDITIONAL DEMOLITION INFORMATION.

**SITE LEGEND**

—	PROPERTY LINE	⊕	NEW GAS METER
—	UNDERGROUND WATER LINE	EL	ELECT. SERV. 4 METER
—	UNDERGROUND GAS LINE	WM	WATER METER
●	NEW ELECT. POLE	Ⓢ	SEWER ACCESS

JAURIGUI REMODEL  
ISSUE DATE:  
07/03/2020 PROGRESS REVIEW  
10/11/2020 PERIODIC DRAWING  
03/09/2021 PLANNING SUBMIT.  
04/15/2022 HIST. ELEV. REVIEW  
02/04/2023 PLANNING & BUDGET

STRATA DESIGN STUDIO  
DESIGN • CONSULTING • PRESERVATION  
JOHN S. TABUENA-FRULLI, AIA  
SANTA CLARA, CA 95054  
PH: 408.293.5148 • jfrull@gmail.com

OWNER:  
JEFF JAURIGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
09819@comcast.com  
PH: 415.608.4670

PROJECT/SITE:  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
APN: 104-12-127

DRAWN:  
GTF/JTF  
DATE:  
02/24/2023  
SCALE:  
AS NOTED  
PROJECT NO.:  
2019.22  
SHEET:  
A0.0





2019 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2020, Includes August 2019 Supplement)

Table with 2 columns: Item and Description. Includes sections like 4.001 FIBERGLASS, 4.002 POLLUTANT CONTROL, 4.003 FIBERGLASS MATERIAL POLLUTANT CONTROL, 4.004 ADHESIVE VOC LIMIT, 4.005 INDOOR AIR QUALITY AND EXHAUST, 4.006 ENVIRONMENTAL QUALITY, 4.007 INTERIOR MOISTURE CONTROL, 4.008 INDOOR AIR QUALITY AND EXHAUST, 4.009 ENVIRONMENTAL QUALITY.

TABLE 4.004.2 - SEALANT VOC LIMIT. Table with 2 columns: Material and VOC Limit. Includes items like Sealants, Mortar, Concrete, etc.

TABLE 4.004.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS. Table with 2 columns: Coating Category and VOC Limit. Includes items like Floor Coatings, Wall Coatings, etc.

TABLE 4.004.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (continued). Table with 2 columns: Coating Category and VOC Limit. Includes items like Primer Coatings, Topcoat Coatings, etc.

TABLE 4.004.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (continued). Table with 2 columns: Coating Category and VOC Limit. Includes items like Maintenance Coatings, Adhesives, etc.

TABLE 4.004.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (continued). Table with 2 columns: Coating Category and VOC Limit. Includes items like Adhesives, Sealants, etc.

TABLE 4.004.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (continued). Table with 2 columns: Coating Category and VOC Limit. Includes items like Adhesives, Sealants, etc.

TABLE 4.004.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (continued). Table with 2 columns: Coating Category and VOC Limit. Includes items like Adhesives, Sealants, etc.

TABLE 4.004.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (continued). Table with 2 columns: Coating Category and VOC Limit. Includes items like Adhesives, Sealants, etc.

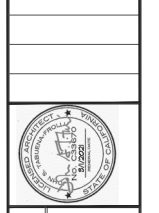
CHAPTER 7 SPECIAL INSPECTOR QUALIFICATIONS. 702 QUALIFICATIONS. 702.1 INSTALLER TRAINING. 702.2 SPECIAL INSPECTION TECHNIQUES.

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued). 4.501 AIR QUALITY. 4.502 SOUND AND VIBRATION. 4.503 LIGHT AND GLARE. 4.504 THERMAL ENVIRONMENT.

4.505 INDOOR AIR QUALITY AND EXHAUST. 4.505.1 GENERAL. 4.505.2 MECHANICAL VENTILATION. 4.505.3 MECHANICAL EXHAUST.

4.506 ENVIRONMENTAL QUALITY. 4.506.1 AIR QUALITY. 4.506.2 SOUND AND VIBRATION. 4.506.3 LIGHT AND GLARE. 4.506.4 THERMAL ENVIRONMENT.

JAIURIGUI REMODEL. ISSUE DATE: 07/03/2020. PROJECT: 4120 BASSETT STREET, SANTA CLARA, CA 95054.



STRATA DESIGN STUDIO. DESIGN, CONSULTING, PRESERVATION. JOHN S. TAKIEMA-FROLLI, AIA. SAN JOSE, CA 95128. PHONE: 408.253.5148. EMAIL: jfrolli@stratadsg.com

OWNER: JEFF JAIURIGUI. PROJECT SITE: 4120 BASSETT STREET, SANTA CLARA, CA 95054. PHONE: 408.947.0311. FAX: 408.947.4670.

PROJECT/SITE: 4120 BASSETT STREET, SANTA CLARA, CA 95054. APN: 104-12-127.

DRAWN: GTF/JTF. DATE: 02/24/2023. SCALE: AS NOTED. PROJECT NO.: 2019.22. SHEET: A0.2.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AS A GUIDE AND IS NOT A CONTRACT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

H.E.R.S. REQUIREMENTS (new hvac ducts)

4.507 ENVIRONMENTAL QUALITY. 4.507.1 AIR QUALITY. 4.507.2 SOUND AND VIBRATION. 4.507.3 LIGHT AND GLARE. 4.507.4 THERMAL ENVIRONMENT.

4.508 INDOOR AIR QUALITY AND EXHAUST. 4.508.1 GENERAL. 4.508.2 MECHANICAL VENTILATION. 4.508.3 MECHANICAL EXHAUST.



# HISTORIC PRESERVATION TREATMENTS

## EXTERIOR MATERIALS

### FRONT (EAST) ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
A1	Front Porch Steps and Stairs	As described in the Historic Resources Design Review (HRDR) prepared for the subject house. The main entry on the front (east) facade is accessed by five (5) wide steps comprised of one (1) wood (original) and eight (8) concrete (not original) steps, which lead to the walkway from Bassett Street. The updated HRDR points out that the "existing front steps to front porch entry" were "replaced with concrete steps and the 'original' terraced steps replaced with pipe railings, prior to 1980." However, it should be noted that while the replacement of the terraced steps somewhat diminished the architectural integrity of the structure, this is reversible.  Description and Condition quoted from Historic Resources Design Review (HRDR) by Lisa A. Garcia, Historian, September 17, 2022.  The existing pipe railings and concrete steps are to be removed, and rebuilt to match the original based on historic photographic evidence. The new floor finishing is original and is to remain and is to be restored.	Remove existing concrete steps and metal pipe guardrails. Protect existing siding to remain.  Rebuild wood steps and stoop to match the original house. Refer to available historic photographs and HRDR. Verify framing and structural conditions. Re-use original horizontal base siding salvaged from the wall removed at rear elevation where possible. Provide new siding material as necessary. The new siding will match the surrounding design in depth and profile. Ensure tight fit at mitered corners and corner boards, patch gaps as req'd to match existing w/ in-kind materials.  New front terraced entry steps and stoop to match the original in size, height, and massing and finishes as the former porch.  This repair would be keeping with the Standards.  Tech. Ref.: Nat. Park Serv. Preservation Briefs, Brief No. 6: Damages of Abrasive Cleaning to Hist. Bldgs. Brief No. 37: Reducing Lead Paint Haz. in Hist. Housing.

### SOUTH SIDE ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
B1	Rehabbed Windows	According to the HRDR, "Windows on the subject residence are all single 1-over-1, double hung windows with 6" transoms at the rear of the south side elevation. Features of the basement include a pair of hinged, large, wood-framed windows with a single glass pane, set into the opening. All of the house's windows have a narrow projecting sill with decorative molding and baseboards and are surrounded by wide wood frames enhanced with a plain narrow trim."  Description and Condition quoted from Historic Resources Design Review (HRDR) by Lisa A. Garcia, Historian, September 17, 2022.  The project proposes to remove selected existing windows that are to be relocated. Replacing openings will be patched using salvaged material where possible, to match remaining existing walls.	Where occurs, carefully remove old windows. Preserve & restore prior to installing in final locations as shown on elevations. Patch resulting openings w/ new wall framing, using original salvaged siding, see Note B2, below. Verify rough openings and framing conditions at new locations, repair as req'd.  Any replacement sashes or muntins shall utilize wood components or materials that match existing window profiles as that of existing window units. Where new windows are installed, they shall be of similar proportions w/ trim that is slightly differentiated from other historic windows.  The existing window trim pieces are to be preserved, and, where required, be restored to match. All wood trim will be prepared for painting using the greatest means possible and painted.  This repair would be keeping with the Standards.  Tech. Ref.: Nat. Park Serv. Preservation Briefs, Brief No. 6: Damages of Abrasive Cleaning to Hist. Bldgs. Brief No. 37: Reducing Lead Paint Haz. in Hist. Housing.

### REAR (WEST) ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
C1	Rear (West) Wall at New Rear Addition	The existing rear elevation includes an entry porch landing, stairs, and sunroom which are non-original and are to be removed to accommodate the new rear addition. The new west wall includes a new rear entry door & windows, porch landing, stairs, and a gable-roofed attic dormer with weatherband windows at the attic lounge landing.	Remove existing non-historic lattice bant walls, sunroom walls, rear kitchen wall, porch steps & landing.  Carefully remove original horizontal siding & exterior trim and sawtooth for re-use at other locations and where required, be restored to match. Prior to re-use, all wood trim will be prepared for painting using the greatest means possible and painted.  Provide new roof in areas as shown on site plan.  For new exterior wall treatment, refer to Exterior Wall Siding, Note B2 above.  Provide new windows and rear entry door per schedules, SHI, AZD.  Install new rear entry landing, rear porch deck, quothers, & stairs w/ handrails. Refer to new floor plan SHI, AZD.

### NORTH SIDE ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
D1	New Dormer at Existing Roof, North Elevation	A new dormer is proposed along the south elevation in order to accommodate attic living space. The new dormer is to have gable to match the original house, with a hipped roof, windows, siding, and trim made from materials compatible yet differentiated from the historic original house.	See Note B4 below for New Dormer Notes
D2	North Wall at New Rear Addition	At the south wall of the new addition, a new square bay with paired double-hung windows and a new roof dormer is proposed to be built with exterior finishes in a style compatible with the existing house. New basement addition to include a new serving window and a new double-hung egress window with an east wall.	Remove existing non-historic lattice bant walls, sunroom walls, rear kitchen wall, porch steps & landing.  Carefully remove original horizontal siding & exterior trim and sawtooth for re-use at other locations and where required, be restored to match. Prior to re-use, all wood trim will be prepared for painting using the greatest means possible and painted. (Ref. to Tech. Refs., below).  Provide new roof in areas as shown site plan. For new exterior wall treatment, refer to Exterior Wall Siding, Note B2 above.  Provide new windows and rear entry door per schedules, SHI, AZD.  At all new rear porch deck, provide sheathing at the base compatible with the horizontal siding at the base of the main house.  These treatments are in keeping with the Standards.  Tech. Ref.: Nat. Park Serv. Preservation Briefs, Brief No. 6: Damages of Abrasive Cleaning to Hist. Bldgs. Brief No. 37: Reducing Lead Paint Haz. in Hist. Housing.

## FORM AND STRUCTURE

### REAR (WEST) ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
F1	Roof	The form of the original 8 1/2 (approx.) hipped roof remains and is covered with modern asphalt composite shingles. At the front elevation a lower roof at an attic dormer roof which are also @ 8 1/2 pitch and are to remain.	The proposed design includes two new dormers built into the existing roof and a new hipped roof to cover the areas of the new addition. New roof shingles (existing roof), keeping an 8 1/2 pitch at its slopes, and will be covered with material that matches the rest of the roof.  All roof areas to remain and to be protected except where necessary areas of repair work. Patch work required, ensure enough materials to match existing roof.

### FRONT (EAST) ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
F2	Floor Plan, Interior Remodel	The original house has been described in the HRDR as an example of a house with a Rear/Loose property common to the area and era of its construction. It follows a square-of-rectangular floor plan with its front porch built into the rectangular footprint rather than as a projection from it, which is a character-defining feature of the historic subject house. The proposed design will retain its square-of-rectangular footprint, with additions to the sides and rear to accommodate public-use areas.  The HRDR states, "The rear addition is located at the rear of the historic home and, except for the insertion of the angled bay window on the south side elevation, leaves the overall design, form and feeling of the original house mostly intact. Thus, if the new addition and new angled bay were removed in the future, there would be no impairment to the essential form of the historic property and its environment and the house's historic integrity would basically remain undiminished."	The spirit and intent of the original plan will be retained in the proposed plan allowing the house to retain its square-of-rectangular footprint, with the proposed siding of the rooms roughly matching those of the original plan.  Changes to the main floor include the movement of interior walls to improve traffic flow, two new enclosed bays at the south wall, and a rear addition to provide a new dining room, expanded kitchen, laundry room, storage cabinets, and a new interior stairway leading to the attic space.  Updates, the design proposes a new finished attic lounge area with a new bathroom.  The basement will be converted to a 818 sq. ft., with a new entrance built on the south wall and an egress well accessible from the new ADU bedroom.

### INTERIOR FINISH TRIM

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
E1	Interior door & window trim and cased openings.	The design proposes to upgrade the interior. Where occurs, trim is to be replaced with traditional wood trim materials in keeping with the period.	Provide new interior trim with traditional wood trim material, refer to pre-dimensioned photos for door, window & cased openings.

### FRONT (EAST) ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
F3	New Rear Addition	Currently, a non-historic flat-roofed sunroom and rear porch deck, steps, and rails are present at the rear elevation. Under the sunroom, lattice walls cover the unfinished substrate.  As stated in the HRDR, "As this is an addition to the rear, a secondary elevation, it is not highly visible from the public right of way, as recommended in the Guidelines for Designing a New Exterior Addition to a Historic Building. It is subordinate in both size and design to the historic building and its location in the rear helps minimize the degree of material loss to the historic building's external wall and does not destroy the spatial relationships that characterize the house. Helping retain the house's historic appearance and character... the removal of the existing exterior 'non-historic' trim (2017) rear entry landing, and access stairway and construction of a new rear porch and access stairway at the rear of the new addition. The existing rear entry landing and access stairway were constructed between 2003 and 2017." As these features are "non-historic" their removal will not destroy historic materials, features, and spatial relationships that characterize the property. As a new rear porch and access stairway are proposed to be constructed at the rear facade of the new addition, there will be no visible relationship between it and the historic forms to the integrity of the property will be maintained.	The new design proposes to construct a new 395 sq. ft. rear addition beginning at the original house's rear wall. The existing lattice walls, sunroom, and rear entry porch, deck, wood steps, and handrails rear wall will be removed to accommodate the new addition.  At the attic level, the new gabled dormer will have three new double-hung windows and a transom with decorative veneer.  Walls of the new addition will be clad with new 3/4" horizontal drop siding, similar to that of the existing walls.  Three windows at the new addition will be salvaged from the original house, restored for use. New windows and doors will be selected to be compatible with the existing remaining windows.  The base of the new rear porch will be clad with horizontal siding that complements the existing east siding at the main house.

### FRONT (EAST) ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
F4	New Dormers at Existing Roof	New dormers built into the existing roof are proposed along the north and south elevations in order to accommodate attic living space.	The new dormers are designed to complement the original house, with a hipped roof, windows, siding, and trim made from materials compatible yet differentiated from the historic original house.

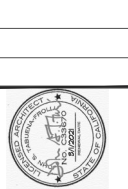
### FRONT (EAST) ELEVATION

TAG	FEATURE	DESCRIPTION / CONDITION	TREATMENT
F4	Front Entry Stoop and Steps	The front porch at the east wall is a character-defining feature. Based on historic evidence, the subject house's original porch included a brick stoop and wooden stairs. According to the HRDR, repairs were made to the porch prior to 1980 that resulted in the original stoop and wood stairs to be removed and replaced with bent-pipe handrails and concrete steps leading up to the original wood porch floor.	Remove existing bent handrails and concrete steps, preserve existing siding and trim to remain. Restore & restore original wood trim & siding in situ & remain to match existing. Using historic photographic evidence, rebuild the terraced stoop and install new wood steps with new framing and in-kind finish materials to match the original 1900s house.  These treatments are in keeping with the Standards.  Tech. Ref.: Nat. Park Serv. Preservation Briefs, Brief No. 6: Damages of Abrasive Cleaning to Hist. Bldgs. Brief No. 37: Reducing Lead Paint Haz. in Hist. Housing.

## JAURIGUI REMODEL

ISSUE DATE:  
07/03/2023 PROGRESS REVIEW  
10/11/2023 PERIODIC DESIGN REVIEW  
03/05/2024 PLANNING SUBMIT.  
04/15/2024 HIST. ELEV. REVIS

02/04/2023 PLANNING HAZ. SUBMIT.



STRATA DESIGN STUDIO  
DESIGN, CONSULTING, PRESERVATION  
JOHN S. TAKIENA-FROLLI, AIA  
SANTA CLARA, CA 95054  
408.703.1147 - jfrolli@sdsg.com

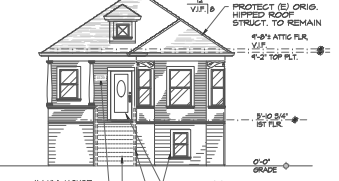
OWNER:  
JEFF JAURIGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
09819@cmrmail.com  
PH:415.608.4670

PROJECT/SITE:  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
09819@cmrmail.com  
APN: 104-112-127

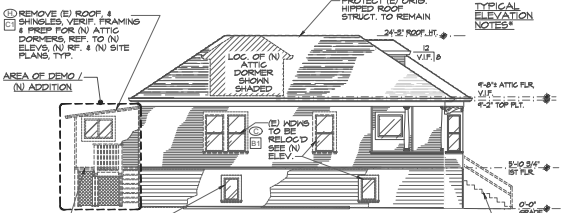
DRAWN  
GTF/JTF  
DATE  
02/24/2023  
SCALE  
AS NOTED  
PROJECT NO.  
2019.22  
SHEET

HP1.0  
OF

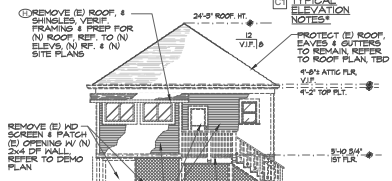
\* SEE TYPICAL ELEVATION N NOTES PAGES 4 & 5



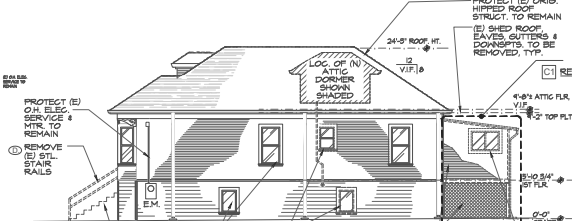
(E) DEMO FRONT (EAST) ELEVATION SCALE: 1/8"=1'



(E) SOUTH (SIDE) ELEVATION SCALE: 1/8"=1'



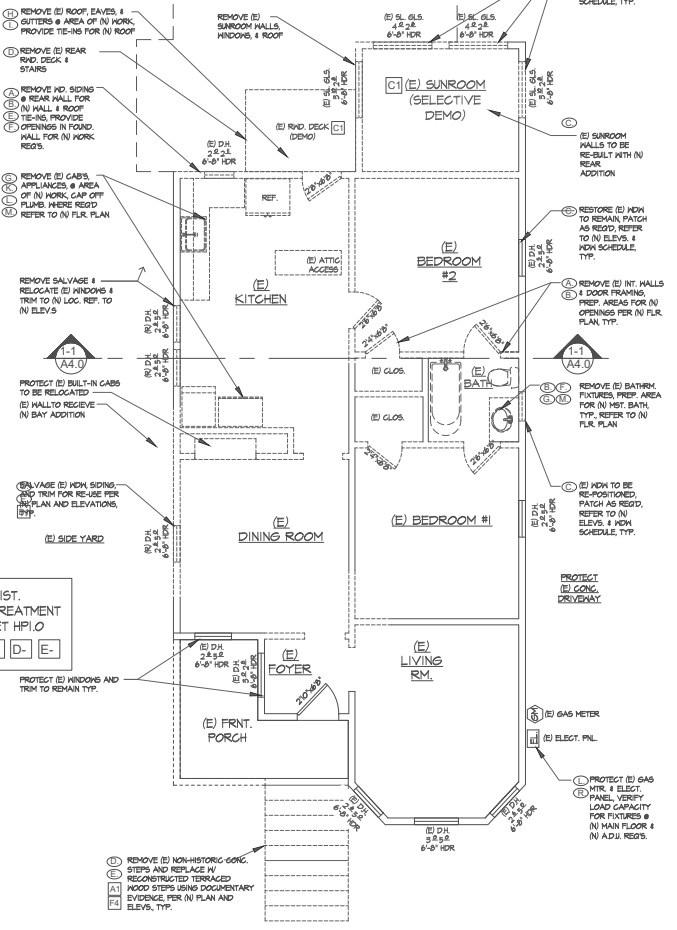
(E) WEST (REAR) ELEVATION SCALE: 1/8"=1'



(E) DEMO NORTH SIDE ELEVATION SCALE: 1/8"=1'

SEE HIST. PRESERV. TREATMENT NOTES- SHEET A3.0

OUTLINED AREA OF (N) ADDITION (DASHED)



(E) MAIN RES. DEMO FLR. PLAN SCALE: 1/4"=1'

REFER TO HIST. PRESERV. TREATMENT NOTES, SHEET HPI.0  
A B C D E

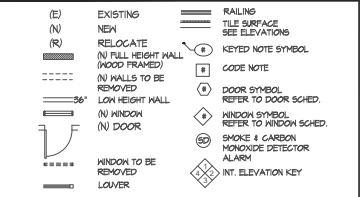
KEYED DEMO NOTES

- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT. SEE (N) ELEV. SHT. A3.0, TYP.
- CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY a) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND b) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED FOR REUSE ON THE PROJECT. TYP.

SELECTIVE DEMOLITION KEY NOTES

- REMOVE (E) WALL FINISHES ONLY AS RECD. FOR NEW WORK TO INCLUDE SIDING, FRAMING, DRYWALL, WIRING, AND INSUL. ONLY IN AREAS AS RECD. FOR (N) WORK. INSPECT FRAMING COND. & REPAIR AS RECD. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & COND.'S IN THE FIELD PRIOR TO DEMOLITION. TYP.
- SALVAGE REMOVED MAT'L'S FOR REUSE BY OR RESIDENCE PER NEW PLANS SPECS. FOR MATERIALS TO BE REMOVED FROM SITE OBSERVE CITY APPR. SALVAGE / REUSE CO. PER GREEN BLDG. RECS. NO MAT'L OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY W/O PRIOR APPROVAL. OBTAIN RECD. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- RESTORE (E) WINDOWS TYP. CAREFULLY REMOVE AND RELOCATE (E) WDW'S & DRS. ONLY AS NOTED IN NEW PLAN. REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED. REFER TO (N) FLR. PLAN FOR LOCS.
- AT FRONT ENTRY STAIRS, REMOVE NON-HISTORIC PIPE RAIL AND CONCRETE STEPS. REPLACE WITH WOOD STICOP. RECONSTRUCT THE HISTORIC TERRACED STAIRS USING DOCUMENTARY EVIDENCE FOR ORIGINAL HOUSE. USE SALVAGED SIDING FOR EXT. FINISH. AT REAR DOOR REMOVE (E) REAR PWD. DECK, RAILING & STAIRS @ AREA OF (N) WORK. PATCH CONC. FOUND. TO ALLOW FOR NEW FLR. FOUNDATION & FRAMING, AS NEEDED.
- AT EXT. WALL PENETRATIONS, INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) DRKND. SIDING OVER 2 LAYERS OF BUILDING PAPER, TO MATCH (E) TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. CAREFULLY REMOVE AND SALVAGE EXT. SIDING AND TRIM WHERE RECD. FOR (N) BAY WDW. @ REINSTALL AT SELECTED LOCATIONS PER NEW PLAN TYP.
- PROV. SAW CUTTING AND DRILLING AT FOUND. WALL AS RECD. FOR (N) ELECT., PLUMBING WORK, AND SUB AREA ACCESS OPENING. VERIFY LOCATION AND CONDITIONS IN THE FIELD.
- REMOVE (E) BATH FIXTURES. VERIFY (E) WATER & SEWER LINE RUNS AND PROVIDE (N) UTILITY LINES AT AREAS OF (N) WORK. IN WALLS & FLOOR AREA TO (N) SINK AND (N) BATH RM. AREA FIXTURES TYP.
- PROTECT (E) EAVE AND ROOF FRAMING TO REMAIN. TRIM ONLY AS RECD. TO BLEND W/ (N) ROOF OF ADD'TN. COORD. ROOF FRAMING HEIGHTS. VERIFY (E) FIELD. (E) ROOF, EAVES & GABLE VENT ON HOUSE @ AREA OF WORK. VER. COND. OF SHEATHING & FRMG. PREP. FOR (N) ROOF INSTALLATION.
- REMOVE (E) WATER HEATER & (E) F.A.U. W/ DUCTING. RELOC. OR STORE & PROTECT FOR POSSIBLE RE-USE OR DISPOSAL. VER. W/ OWNER.
- VERIFY (E) AND PROVIDE (N) CLEAN-OUT & WATER SUPPLY LINE. FOR AREA OF (N) ADDITIONS & (N) BSMT. A.D.U.
- REMOVE (E) CABS, COUNTERS @ (E) KITCHEN. CAREFULLY REMOVE & STORE (E) APPLIANCES & A.C. UNIT TO BE REPLACED ON SITE FOR POSSIBLE DONATION OR RESALE. VERIFY W/ OWNER.
- PROTECT (E) GAS & (E) ELECT. SERVICE LINES TO REMAIN. EXTEND AT AREAS OF (N) WORK. VERIFY SIZE RECS. FOR (N) LOAD OR DEMAND.
- VERIFY (E) WATER SUPPLY, CLEANOUTS, & SEWER LINE RUNS AND PROVIDE (N) LINE EXTENSION IN WALLS & FLOOR AREA TO FIXTURES @ (N) KITCHEN, PANTRY, AND (N) BATH RM(S). TYP.
- REMOVE AIR REGISTERS & REPAIR FINISHES W/ (N) MAT'L'S TO MATCH (E). ADJ. SURFACE. RELOCATE OR EXTEND (E) AIR DUCT & SUPPLY REGISTERS TO (N) LOCATIONS WHERE NOTED ON MEP PLAN. TYP.
- CAREFULLY REMOVE (E) INT. TRIM FROM WINDOWS & DOORS. SALVAGE & PRESERVE TRIM FOR POSSIBLE RE-USE AT (N) OPENINGS. TYP.
- REMOVE (E) BRICK CHIMNEY FLUE FROM BASEMENT TO ROOF. PATCH FLOOR, WALLS, CEILING, AND ROOF TO MATCH (E) SURFACES. SALVAGE BRICKS FOR RE-USE PER TYP. NOTE RB ABOVE.
- PROTECT (E) WOOD FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS RECD. AT AREAS OF (N) WORK.
- VERIFY (E) 200A ELECT. PANEL. VERIFY LOAD RECS. & REPAIR AS NEC. FOR LOADS @ (N) KIT., (N) ATTIC SPACE & (N) BASEMENT A.D.U.
- REM. (E) CONC. CURBS. EXCAVATE TO DEPTH OF (N) BSMT. A.D.U. FLR. HT. PATCH & PREP. BSMT. FLR. SURF. TO RECEIVE (N) POURED CONC. SLAB FLOOR. TO INCL. (N) WATERPROOFING SYST., REF. TO SECTS. SHT A4.0
- RELOCATED (E) FURNACE & WATER HEATER FOR RE-USE IN ADDITION/REMODEL. LOCATION TO BE DETERMINED.

FLOOR PLAN LEGEND



JOURIGUI REMODEL  
10/03/2020 PROPOSED REVIEW  
10/11/2020 PROCD. DSA DCA  
03/08/2021 PLANNING SUBMIT.  
04/15/2022 HIST. ELEV. REVIS  
02/24/2023 PLANNING / H&C SUBMIT.

STRATA DESIGN STUDIO  
DESIGN · CONSULTING · PRESERVATION  
JOHN S. TAKIENA-FROLLI · AIA  
SANUCCINI · AIA  
SANUCCINI · AIA  
04/25/2018 - jfr@stratadsgn.com

OWNER:  
JEFF JOURIGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
09849@comcast.net  
PH: 415.608.4670

PROJECT/SITE:  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
APN: 104-12-127

DRAWN  
GTF/JTF  
DATE  
02/24/2023  
SCALE  
AS NOTED  
PROJECT NO.  
2019.22  
SHEET  
A1.0

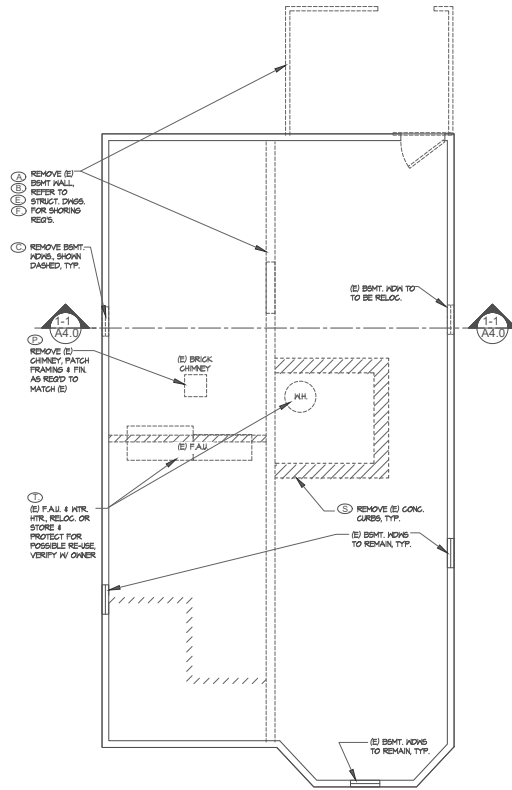
TYPICAL CODE NOTES- SEE SHEET A0.3

KEYED DEMO NOTES

- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT. SEE (N) ELEV. SHT. A.D.U. TYP.
- CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY (A) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND (B) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED FOR REUSE ON THE PROJECT. TYP.

SELECTIVE DEMOLITION KEY NOTES:

- (A) REMOVE (E) WALL FINISHES ONLY AS REQ'D. FOR NEW WORK TO INCLUDE: SIDING, FRAMING, DRYWALL, WIRING, AND INSUL. ONLY IN AREAS AS REQ'D. FOR (N) WORK. INSPECT FRAMING COND. & REPAIR AS REQ'D. PREP AREA FOR (N) WORK. VERIFY LIMITS OF WORK & COND.'S IN THE FIELD PRIOR TO DEMOLITION. TYP.
- (B) SALVAGE REMOVED MATL'S FOR REUSE BY ON RESIDENCE PER NEW PLANS SPECS. FOR MATERIALS TO BE REMOVED FROM SITE OBSERVE CITY APPR. SALVAGE / RESALE CO. PER GREEN BLDG. REQ'S. NO MATL OR CONTAINERS (DEBRIS BOXES) ARE ALLOWED IN PUBLIC RIGHT OF WAY W/O PRIOR APPROVAL. OBTAIN REQ'D. DEMO PERMIT FROM CITY OR PUBLIC WORKS DEPT.
- (C) RESTORE (E) WINDOWS TYP. CAREFULLY REMOVE AND RELOCATE (E) WOODS & DRIS. ONLY AS NOTED IN NEW PLAN. REPLACE W/ (N) FRAMING FOR WALLS & OPENINGS PER DR. & WDW. SCHED. REFER TO (N) FLR. PLAN FOR LOC'S.
- (D) AT FRONT ENTRY STAIRS. REMOVE NON-HISTORIC PIPE RAIL AND CONCRETE STEPS. REPLACE WITH WOOD STOOP. RECONSTRUCTED THE HISTORIC TERRACED STOOPS USING DOCUMENTARY EVIDENCE FOR ORIGINAL HOUSE. USE SALVAGED SIDING FOR EXT. FINISH. AT REAR DOOR REMOVE (E) REAR WOOD DECK, RAILING & STAIRS @ AREA OF (N) WORK. PATCH CONC. FOUND. TO ALLOW FOR NEW FLR. FOUNDATION & FRAMING, AS NEEDED.
- (E) AT EXT. WALL PENETRATIONS. INSPECT & VERIFY COND. & PATCH (E) EXT. WALL W/ (N) IN-KIND WOOD SIDING OVER 2 LAYERS OF BUILDING PAPER, TO MATCH (E) TYPICAL. REFER TO (N) ELEVATIONS FOR DEMOLITION LOCATIONS. CAREFULLY REMOVE AND SALVAGE EXT. SIDING AND TRIM WHERE REQ'D FOR (N) BAY WDW. @ REINSTALL AT SELECTED LOCATIONS PER NEW PLAN TYP.
- (F) PROV. SAW CUTTING AND DRILLING AT FOUND. WALL AS REQ'D FOR (N) ELECT. PLUMBING WORK, AND SUB AREA ACCESS OPENING. VERIFY LOCATION AND CONDITIONS IN THE FIELD.
- (G) REMOVE (E) BATH FIXTURES. VERIFY (E) WATER & SEWER LINE RUNS AND PROVIDE (N) UTILITY LINES AT AREAS OF (N) WORK. IN WALLS & FLOOR AREA TO (N) SINK AND (N) BATH RM. AREA FIXTURES TYP.
- (H) PROTECT (E) EAVE AND ROOF FRAMING TO REMAIN. TRIM ONLY AS REQ'D TO BLEND W/ (N) ROOF OF ADD'N. COORD. ROOF FRAMING HEIGHTS. VERIFY IN FIELD. (E) ROOF. EAVES & GABLE VENT ON HOUSE @ AREA OF WORK. VER COND. OF SHEATHING & FRMG. PREP. FOR (N) ROOF INSTALLATION.
- (I) REMOVE (E) WATER HEATER & (E) F.A.U.W. DUCTING. RELOC. OR STORE & PROTECT FOR POSSIBLE RE-USE OR DISPOSAL. VER. W/ OWNER.
- (J) VERIFY (E) AND PROVIDE (N) CLEAN-OUT & WATER SUPPLY LINE. FOR AREA OF (N) ADDITIONS & (N) BSMT. A.D.U.
- (K) REMOVE (E) CABS, COUNTERS @ (E) KITCHEN. CAREFULLY REMOVE & STORE (E) APPLIANCES & A.C. UNIT TO BE REPLACED ON SITE FOR POSSIBLE DONATION OR RESALE. VERIFY W/ OWNER.
- (L) PROTECT (E) GAS & (E) ELECT. SERVICE LINES TO REMAIN. EXTEND AT AREAS OF (N) WORK. VERIFY SIZE REQ'S. FOR (N) LOAD OR DEMAND.
- (M) VERIFY (E) WATER SUPPLY. CLEANOUTS, & SEWER LINE RUNS AND PROVIDE (N) LINE EXTENSION IN WALLS & FLOOR AREA TO FIXTURES @ (N) KITCHEN, PANTRY, AND (N) BATH RM(S). TYP.
- (N) REMOVE AIR REGISTERS & REPAIR FINISHES W/ (N) MATL'S TO MATCH (E). ADJ. SURFACE. RELOCATE OR EXTEND (E) AIR DUCT & SUPPLY REGISTERS TO (N) LOCATIONS WHERE NOTED ON MEP PLAN. TYP.
- (O) CAREFULLY REMOVE (E) INT. TRIM FROM WINDOWS & DOORS. SALVAGE & PRESERVE TRIM FOR POSSIBLE RE-USE AT (N) OPENINGS. TYP.
- (P) REMOVE (E) BRICK CHIMNEY FLUE FROM BASEMENT TO ROOF. PATCH FLOOR, WALLS, CEILING, AND ROOF TO MATCH (E) SURFACES. SALVAGE BRICKS FOR RE-USE PER TYP. NOTE #B ABOVE.
- (Q) PROTECT (E) WOOD FLOORING TO REMAIN. PATCH IN (N) FLOORING TO MATCH (E) AS REQ'D AT AREAS OF (N) WORK.
- (R) VERIFY (E) 200A ELECT. PANEL. VERIFY LOAD REQ'S. & REPAIR AS NEC. FOR LOADS @ (N) KIT., (N) ATTIC SPACE & (N) BASEMENT A.D.U.
- (S) REM. (E) CONC. CURBS. EXCAVATE TO DEPTH OF (N) BSMT. A.D.U. FLR. HT. PATCH & PREP. BSMT. FLR. SURF. TO RECEIVE (N) POURED CONC. SLAB FLOOR, TO INCL. (N) WATERPROOFING SYST., REF. TO SECT'S. SHT A0.0
- (T) RFI (C)ATFD (F) FURNACE & WATER HEATER FOR RE-USE IN



(E) BASEMENT DEMO PLAN SCALE: 1/4"=1' 2



FLOOR PLAN LEGEND

(E)	EXISTING	=====	RAILING
(N)	NEW	=====	TILE SURFACE
(R)	RELOCATE	=====	SEE ELEVATIONS
----	(N) FULL HEIGHT WALL (WOOD FRAMED)	●	KEYED NOTE SYMBOL
----	(N) WALLS TO BE REMOVED	□	CODE NOTE
=====	36" LOW HEIGHT WALL	⊕	DOOR SYMBOL REFER TO DOOR SCHED.
=====	(N) WINDOW	⊕	WINDOW SYMBOL REFER TO WINDOW SCHED.
=====	(N) DOOR	⊕	SMOKE & CARBON MONOXIDE DETECTOR ALARMS
=====	WINDOW TO BE REMOVED	⊕	INT. ELEVATION KEY
=====	LOUVER		

JAIRIGUI REMODEL  
 ISSUE DATE: 07/03/2020 PROPOSES REVIEW  
 10/10/2020 PROPOS. DATA DEL.  
 02/08/2021 PLANNING SUBMIT.  
 04/15/2022 HIST. ELEV. REVIS  
 02/24/2023 PLANNING / H.C. SUBMIT.



STRATA DESIGN STUDIO  
 DESIGN - CONSULTING - PRESERVATION  
 JOHN S. TAKIENA-FROLLI - AIA  
 4120 BASSETT STREET  
 SANTA CLARA, CA 95054  
 408.293.5144 - jfr@stratadsg.com

OWNER:  
 JEFF JAURIGUI  
 4120 BASSETT STREET  
 SANTA CLARA, CA 95054  
 09819@comcast.net  
 PH: 415.608.4670

PROJECT/SITE:  
 4120 BASSETT STREET  
 SANTA CLARA, CA 95054  
 APN: 104-12-127

DRAWN: GTF/JTF  
 DATE: 02/24/2023  
 SCALE: AS NOTED  
 PROJECT NO.: 2019.22

SHEET  
**A1.1**  
 OF



TYPICAL CODE NOTES- SEE SHEET A0.3

SHEET NOTES

1. ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT, SEE (N) ELEV. SHT. A3.0. TYP.
  2. CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY A) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND B) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED. FOR REUSE ON THE PROJECT, TYP.
- KEYED SHEET NOTES:**
1. REMOVE (E) FINISHES ONLY AS REQ'D FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIR.
  2. INSTALL (N) 2x6 FR. W/ SIDING EXT. FIN. 02" LAYERS OF GRD. D BLDG PAPER PER CBC 2512. WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROPP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING. TYP. COORD. INFL. FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.
  3. PROVIDE INSULATION & INSTALL AS REQUIRED.
- (NOTE: USE FORMALDEHYDE FREE)
- CEILING R-120 MIN. BATT INSUL. VENTED ATTIC) TYP.
  - WALLS R-120 MIN. BATT INSUL. TYP.
  - FLOORS R-120 MIN. BATT INSUL. TYP.
  - PROVIDE SOUND ATTENUATING R-13 MIN. INSULAT. AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTIONAL; & BEDROOMS. VERIFY W/ OWNER
6. COORD. SUPPLY LINES FOR WTR, ELECT, HVAC, & DRAINAGE FOR (N) RECS. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. UTILIZE (E) FURN. DUCTING WHERE POSS. REPL. W/ (N) DUCTING AS REQ'D TO (N) ROOMS. TIE IN ALL (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
  7. INSTALL (N) 24 GA GSM OGGEE GUTTER W/ 1" RND. 26 GA GSM S'S & SPLASH BLS. SLOPED AWAY FROM BASE OF S.S. DIRECT TO YARD. SEE SITE PLAN.
  8. INST. (N) 1x6 EXT. PAINT GRADE TRIM & CS. WORK W/ COLOR & TEXT. TO MATCH (E). PROV. SHOP REVIEW DRAWINGS AS REQ'D FOR APPROV. BY OWNER. TYP.
  9. INSTALL (N) ROOF & AREAS OF (N) WORK W/ (N) CLASS A HIGH DEF. COMP ASPH. SHINGLE SFG. TO MATCH (E) TYP. INSTALL OVER 2 LAYERS 5/8" BSM. IMPREG. REG. FLS. TYP. REVIEW COLOR IN FIELD W/ (E) ROOF AND OWNER. PROTECT (E) ROOF TO REMAIN. REFER TO ROOF PLAN SHT. A3.0.
  10. PROTECT (E) WINDOWS TO REMAIN. PROVIDE (N) APPROV. HDWS. AS SEL. BY ARCH. INSTALL W/ TRIM PER ELEV. @ (N) BSM. TRIM. HDWS. AS SPEC. D BY ARCH. - SEE WDW. SPECS A0.3 AND SCHED. A2.1 FOR ADDL. INFO TYP.
  11. VERIFY (E) FRAMING AND INSTALL (N) 2x4 DT. HDWR. 1x TRIMMERS AROUND WINDOWS. W/ 2x4 BLS. EA. WAY AT TOP AND BTM. OF WDW FRAMING. W/SM. STRAPS PER STRUCT. DETAIL TYP.
  12. SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WD. DR. & HDWR. TO MATCH (E). PROV. (N) PAINT GRID. POCKET DR. TO MATCH (E) OR. PATTERN. W/ JOHNSON GLIDE HDWR. PER DR. SCHED. TYP.
  13. PROVIDE (N) S.C. PAINT GR. EXT. DR. TO (N) KIT. REAR ENTRY. PROV. (N) S.C. PAINT GRD. HINGED FR. DR. & HDWR. W/ PREHUNG JAMB ASSY. PER MFG. SPECS TYP. - INST. (N) EXT. TRIM. (N) PAINTED. 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIE (SEAL ALL) @ SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
  14. CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRANCES & PORTALS. INSTALL BUILT-IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SHT. \_\_\_\_\_. INSTALL INT. (N) DR. CASING. 1x FLAT. & 1x BASE BOARD, WINDOWS, CASES & SIMILAR TO (E) HEAD STOOD. AND APRON TRIM. PER INT. ELEV. & DETAIL NOTES TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED. 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIE (SEAL ALL) @ SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWK. SPECS. SHT A0.3. TYP.
  15. PROTECT (E) TAG WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLRS. @ (N) ADDN TO MATCH (E). PATCH (N) IN TAG WOOD FLRS. TO MATCH (E). VERIFY COND. OF EX. & FRAMING PRIOR TO INSTALLING. CONFIRM SIZE, WD. TYPE, STAIN CLR. & PATTERN IN FIELD AND W/ OWNER. @ KIT. & LAUNDRAMA RM. AREAS. INSTALL (N) WOOD OR OTHER MAT'L. AS SPEC. BY OWNER. PREP. FLR. AS REQ'D TO REC. (N) MAT'L'S. PER MFG. S. SPEC. TYP. COORD. SUBFR. PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF (N) OR (E) WD. FLRS. AS REQ'D. PROV. SAMPLES TO OWNER. PRIOR TO ORDERING.
  16. PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.I. AS STAIN GUARD. VERIFY COLOR W/ OWNER.
  17. INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A SMOOTH, HARD NONABSORPT. SURFACE OVER A W.P. MEMB. FLK. AND MOISTURE RESISTANT UNDERLAYMENT WALL TO HT. OF T2 ABOVE DRAIN INLET.
  18. PROVIDE (N) PAINT GRD. CAB. & STONE COUNTERTOPS & TLE BACKSPLASH. AND (N) OR (E) APPLIANCES PER FLR PLAN AND ELEV. PER OWNERS SPECS. SEE ALSO CASEWK. SPECS. SHT. A0.4. INT. ELEV. & SW. WKEY. NOTES.
  19. INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, TOILET, AND SHOWER ENCL. (UNITS-AS OCCURS) AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL CLOS. AND MEP REQMENTS. IN FIELD W/OWNER. TYP.
  20. INSTALL GRAB BARS, TOWEL BARS, WALL SCANCES, AND BATHROOM ACCESS. AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED. NEW 2x4" OR BLOCKING WORK. VERIFY FINAL LOC. IN FIELD W/OWNER. TYP.
  21. PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSM. ADU. ENSURE 12" CLEARANCE FROM FIN. IN ADU. ENTRANCE. PROVIDE SMOOTH TRANS. W/ (N) AND (E) STEPS @ AREA OF WORK. PREP. SURF. FOR (N) SHEET VINYL FLRNG. TO BE INSTALLED @ ADU. DETAILS SHT. A. \_\_\_\_\_. TYP.
  22. PROV. (N) CONC. LIND. & STEP TO BSM. ADU. SIDE ENTRY. PATCH TO MATCH (E) PAVER LEVEL SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS. PROVIDE (N) CONC. EGRESS WELL AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 4 SQ. FT. CLEAR FLOOR AREA W/ MIN. HORIZONTAL DIRECTION. W/ PERMANENT EGRESS LADDER. SEE CODE NOTE 10.
  23. PROV. (N) INT. STAIRS TO FIN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD. (N) BSM. (IN ADU. & FIN. STOR. AREAS TO REMAIN. (E) SOL. TO BE COVERED & VAPOR BARRIER INSTALLED AS REQ'D. (E) CONC. FTG. TO RCV. (N) RETRO. ANCHORAGE PER SECT. \_\_\_\_\_. DETAIL PER SHT. \_\_\_\_\_. VAPOR BARRIER @ EXIST. (E) PERIMETER TO RCV. (N) VENT OPENINGS & VOLUNTARY RESTRICT. OPENINGS, AS REQ'D. TYP. INSTALL (N) PL. W/D. SHEATHING @ (N) BSM. STORAGE AREAS W/ ACCESS DR. FROM (N) ADU. KITCHEN.
  24. REBUILD FRONT ENTRY STEPS & STOOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING COND'TNS. REPAIR AS REQ'D.
  25. PROVIDE (N) SCREENED FIN. VENTS AS SHOWN ON FOUND. PLAN.
  26. (N) LOC. OF WASTE WTR'S. ELEC. PUMP. REFER TO MFD. 1.3 FOR MORE INFO. AT ALL (N) & (E) LIGHT & EGRESS WELLS. PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MAT'L. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS. PROVIDE SAFETY EXIT LADDER & 24" EXT. GATE AT RAILINGS.
  27. PROVIDE (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. RES. INSTALL 2x4" RWD. RAILS. RWD STAIRS W/ 36" HANDRAILS, & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. (N) SITE PLAN, & DECK DETAILS AD. \_\_\_\_\_. TYP.
  28. PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 4 SQ. FT. CLEAR FLOOR AREA W/ 5" MIN. HORIZONTAL DIRECTION. SEE CODE BOX-X.
  30. PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 4 SQ. FT. CLEAR FLOOR AREA W/ 5" MIN. HORIZONTAL DIRECTION. SEE CODE BOX-X.
  31. AT NORTH WALL OF (N) ADDN. PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HDWR. SIDING FINISH FOR BUND DOWNS. TYP. REF. TO (N) PLANS & ELEV.
  32. SEE ADDL. REGS. MEP. 1.0 AND TYP. CODE NOTES A0.3.

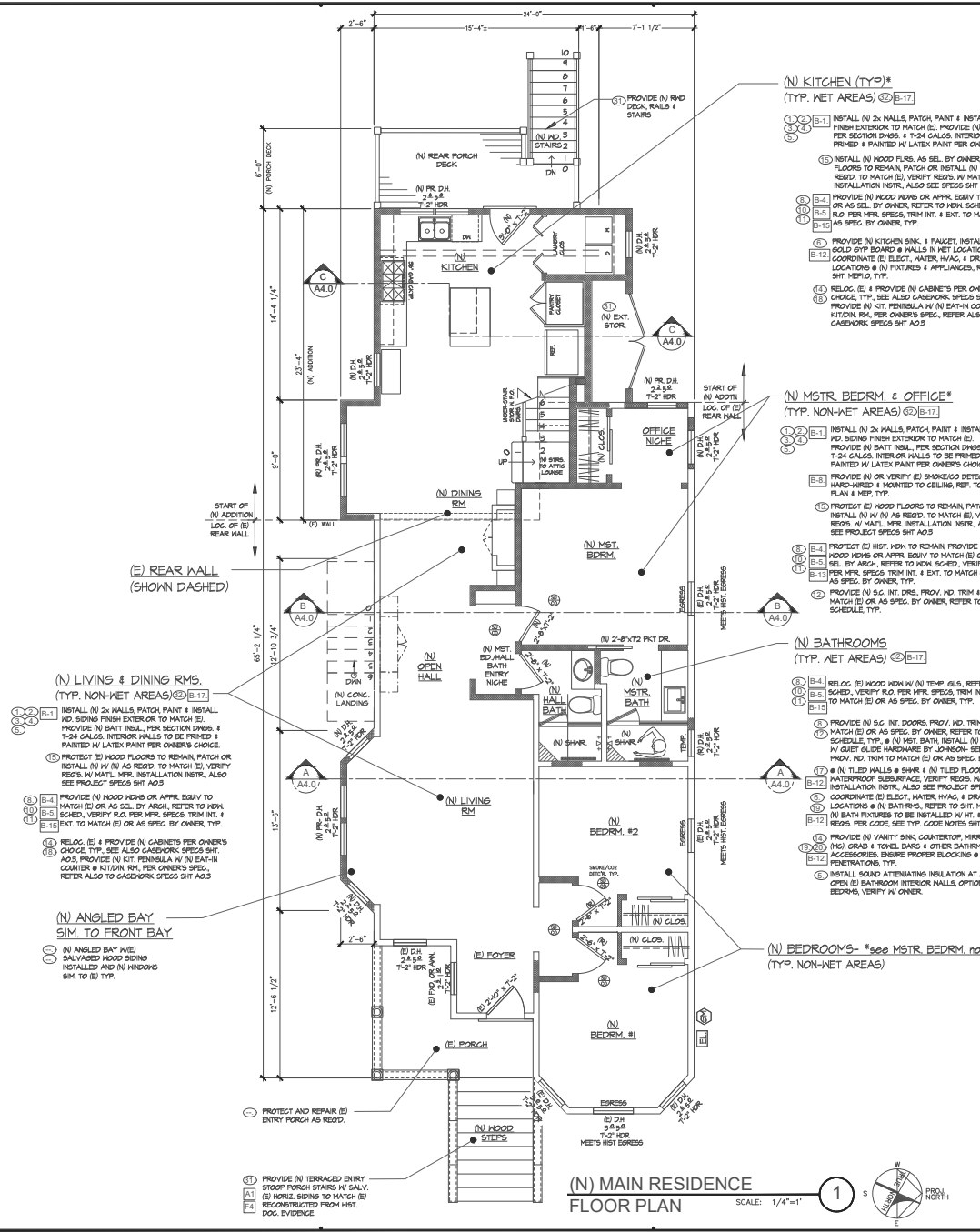
**JAUREGUI REMODEL**  
SHEET DATE: 07/03/2020  
PROJECT NO: 10110200  
PLANNING SUBJECT: 04/15/2022 HIST. ELEV. REV.  
02/24/2023 PLANNING HST. SUBMIT.

**STRATA DESIGN STUDIO**  
DESIGN, CONSULTING, PRESERVATION  
JOHN S. TAKIENA-FROLLI, AIA  
SAN JUAN, P.R. BOX 112476  
983-923-1141 - jfr@stratadsg.com

**OWNER:** JEFF JAUREGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
098jfr@att.net  
PH: 415.608.4670

**PROJECT/SITE:** 4120 BASSETT STREET  
SANTA CLARA, CA 95054  
APN: 104-12-127

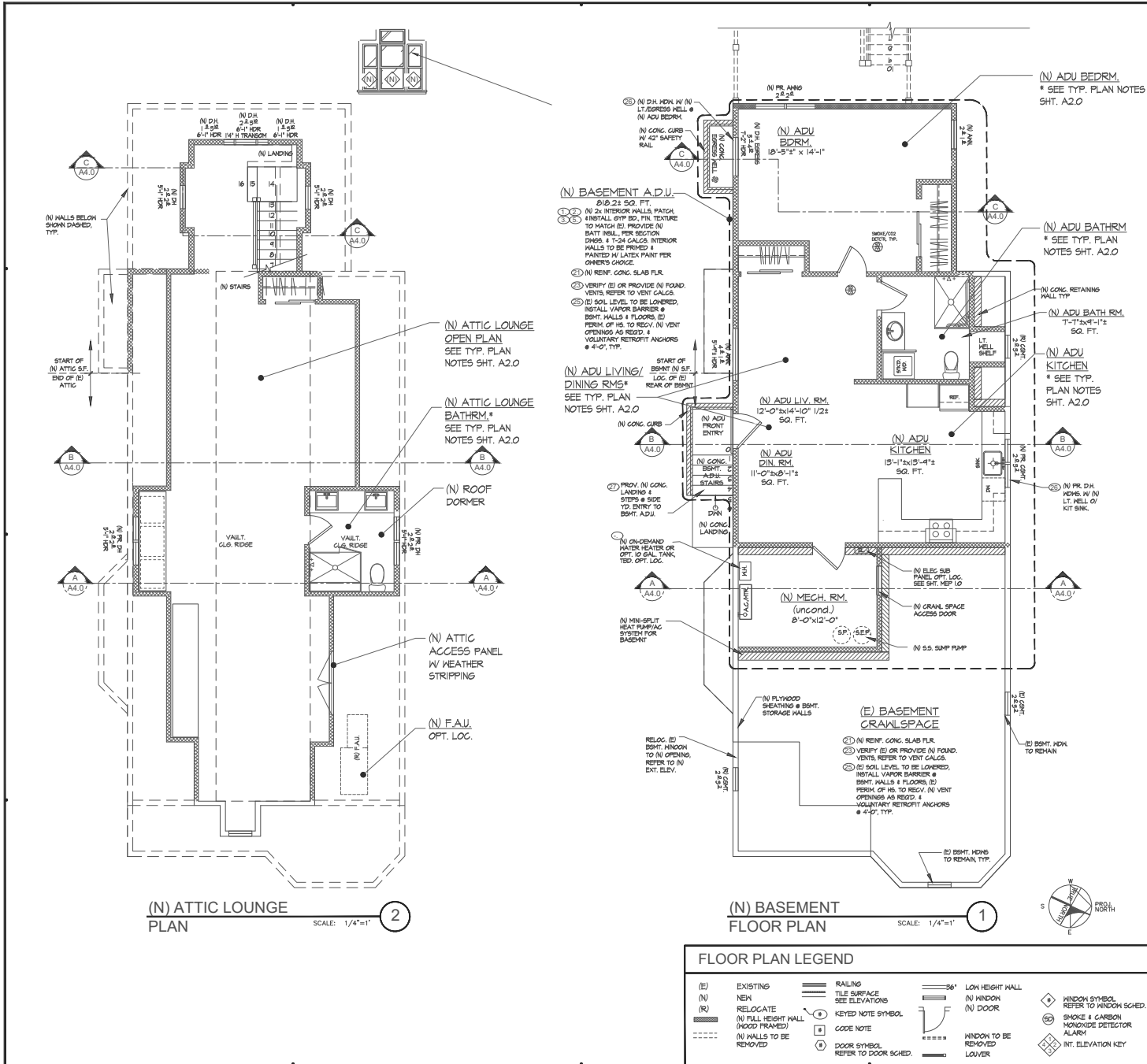
**JAUREGUI REMODEL**  
DRAWN: GTF/JTF  
DATE: 02/24/2023  
SCALE: AS NOTED  
PROJECT NO.: 2019.22  
SHEET: **A2.0**  
OF



FLOOR PLAN LEGEND

(E)	EXISTING	=====	RAILING
(N)	NEW	=====	TILE SURFACE
(R)	RELOCATE	=====	SEE ELEVATIONS
---	N FULL HEIGHT HALL	○	KEYED NOTE SYMBOL
---	N WALLS TO BE REMOVED	□	CODE NOTE
---	LOW HEIGHT HALL	□	DOOR SYMBOL. REFER TO DOOR SCHED.
---	(N) WINDOW	○	WINDOW SYMBOL. REFER TO WINDOW SCHED.
---	(N) DOOR	○	SMOKE & CARBON MONOXIDE DETECTOR ALARM
---	HATCH TO BE REMOVED	○	INT. ELEVATION KEY
---	LOWER		

**(N) MAIN RESIDENCE FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
1



- ### SHEET NOTES
- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT. SEE (N) ELEV. SHT. A3.0, TYP.
  - CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY a) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND b) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.
- #### KEYED SHEET NOTES:
- REMOVE (E) FINISHES ONLY AS REQ'D FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
  - INSTALL (N) 2x NO. 2 STUD FRAMING W/ STRUCT. 1 SHEAR PLWD WHERE NOTED ON STRUCT. DWGS.
  - WHERE REQ'D, PATCH (E) WALLS WITH (N) GYPBD TO MATCH (E) NAILED W/DRYWALL SCREWS @ 8" O.C. EDGES, 16" O.C. FIELD MAX. TYP. PROVIDE DENSE GOLD OYP. BOARD AT ALL VET. WALLS. REFER TO FLR. PLAN.
  - INSTALL (N) HORIZ. W/ SIDING EXT. FIN. O2Z LAYERS OF GRD. D BLDG PAPER PER CBC 2512, WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING. TYP. COORD. INFL. FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.
  - PROVIDE INSULATION & INSTALL AS REQUIRED:
    - CEILING: R-15 MIN. BATT INSUL. (VENTED ATTIC) TYP.
    - WALLS: R-15 MIN. BATT INSUL. TYP.
    - FLOORS: R-15 MIN. BATT INSUL. TYP.
    - PROVIDE SOUND ATTENUATING R-13 MIN. INSUL. AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS. OPT. FOR (E) REPAIRS. VERIFY (E) WALLS.
  - COORD. SUPPLY LINES FOR WTR., ELECT., HVAC, & DRAINAGE FOR (N) REQS. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. UTILIZE (E) FURN. DUCTING WHERE POSS. REFR. W/ (N) DUCTING AS REQ'D. TO (N) ROOMS, TIE IN ALL (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/OWNER.
  - INSTALL (N) 2x GA GSM OEGE GUTTER W/ (N) RFD. 2x GA GSM O'S S & S SPLASH BLKS. SLOPED AWAY FROM BASE OF HS. DIRECT TO YARD, SEE SITE PLAN.
  - INST. (N) 1x DF INT. PAINT GRADE TRIM & CS. W/ (N) COLOR & TEXT. TO MATCH (E). PROV. SHOF REVIEW DRAWINGS AS REQ'D FOR APPROV. BY OWNER. TYP.
  - INSTALL (N) ROOF (E) AREAS OF (N) WORK W/ (N) CLASS A HIGH DEF. COMP. ASPH. SHINGLE REG. TO MATCH (E) TYP. INSTALL OVER LAYERS 30LB ASPH. IMPREG. RFG. FELT. TYP. REVIEW COLOR IN FIELD W/ (E) ROOF AND OWNER. PROTECT (E) ROOF TO REMAIN. REFER TO ROOF PLAN SHT. A3.1.
  - PROTECT (E) WINDOWS TO REMAIN. PROVIDE (N) APPROV. WDWS. AS SEL. BY ARCH. INSTALL W/ TRIM PER ELEV. @ (N) BSMT. PROV. WDWS. AS SPEC'D BY ARCH. SEE WDM. SHT. A2.1 FOR ARCH. INFO. TYP.
  - VERIFY (E) FRAMING AND INSTALL (N) 4x 4 DFR WOOD 1x TRIMMERS AROUND WDWS. W/ DBL. 2x BLK. EA. WAY AT TOP AND BTM OF WDW FRAMING. W/SHAP. STRAPS PER STRUCT. DETAIL TYP.
  - SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WD. DR. & HDWR. TO MATCH (E). PROV. (N) PAINT GRD. POKER DR. TO MATCH (E) DR. PATTERN. W/ JOHNSON GLIDE HDWR. PER DR. SCHED. TYP.
  - PROVIDE (N) S.C. PAINT GR. EXT. DR. TO (N) KIT. REAR ENTRY. PROV. (N) S.C. PAINT GRD. HINGED FR. DR. & HDWR. W/ PREHUNG JAMB ASSY. PER MFG. SPECS TYP. INST. (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-FRAME (SEAL. ALL) SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
  - CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRIES & PORTALS. INSTALL BUILT-IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SHT. INSTALL INT. (N) DR. CASING 1x FLUT. & 1x BASE BOARD. WINDOWS: CASED & SIMILAR TO (E). HEAD, STOOL, AND APRON TRIM. PER INT. ELEV. & DETAIL NOTES TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-FRAME (SEAL. ALL) SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWK. SPECS. SHT. A0.3.
  - PROTECT (E) TAG WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLS. @ (N) ADJ. TO (E) TAG WOOD. 1/2" MIN. TO MATCH (E). VERIFY COND. OF SUBFLR. & FRAMING PRIOR TO INSTALLATION. CONFIRM SIZE, WD. TYP. STAIN CLR. & PARTNER IN FIELD W/ (E) OWNER. KIT. & LAUNDRY RM. AREAS. INSTALL (N) FLOORING OR OTHER MATL. AS SPEC'D BY OWNER. PREP. FLR. AS REQ'D. TO REC. (N) MATLS. PER MFG. S SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH (E) HT. OF (N) OR (E) WD. FLS. AS REQ'D. PROV. SAMPLES TO OWN. PRIOR TO ORDERING.
  - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/OWNER.
  - INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A SMOOTH, HARD NONABSORBENT SURFACE OVER A 1/2" MEMB. FL. & MOISTURE RESISTANT UNDERLAYMENT WALL TO A HT. OF 72" ABOVE DRAIN INLET.
  - PROVIDE (N) PAINT GRD. CABS. w/ STONE COUNTERTOPS & TILE BACKSPLSH. AND (N) OR (E) APPLIANCES PER FLR. PLAN AND ELEV. PER OWNERS SPECS. SEE ALSO CASE WORK SPECS. SHT. A0.4 & INT. ELEV. AS O WIRY NOTES.
  - INSTALL BATHRM VANITY, COUNTER TOP w/BACKSPLASH, TOILET, AND SHOWER ENCLOSURE (UNITS/ACCESSORIES) AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LOC. AND MEP REQ'D/TMS. IN FIELD W/OWNER. TYP.
  - INSTALL GRAB BARS, TOWEL BARS, WALL SCONES, AND BATHROOM ACCESS. AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED NEW 2x10 DF WALL BLOCKING WORK. VERIFY FINAL LOC. IN FIELD W/OWNER. TYP.
  - PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSMT. ADJ. ENSURE 12" CLEARANCE FRM. FIN. (N) AND (E) UNFIN. ENTRANCE. PROVIDE SMOOTH TRMS. W/ (N) AND (E) STEPS @ AREA OF WORK. PREP. SURF. FOR (N) SHEET VINYL FLRS. TO BE INSTALLED @ ADJ. ENTRY. REFER TO FND. DETAIL SHT. A.1.
  - PROV. (N) CONC. LNDG. & STEP TO BSMT. ADJ. SIDE ENTRY. PATCH TO MATCH (E) PAVR LEVEL-SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS. PROVIDE (N) CONC. EGRESS WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT. CLEAR FLOOR AREA W/ 3" MIN. HORIZONTAL DIRECTION. W/ PERMANENT EGRESS LADDER. SEE CODE NOTE 10.
  - PROV. (N) INT. STAIRS TO FN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD.
  - (N) BSMT. - (N)ADJ. & UNFIN. STORAREAS TO REMAIN: (E) SOIL TO BE LOWERED & VAPOR BARRIER INSTALLED AS REQ'D. (E) CONC. FTG. TO RCV. (N) RETRO. ANCHORAGE PER SECT. & DETAIL PER SHT. A.1. VAPOR BARRIER @ EXIST. (E) PERIMETER TO RCV. (N) VENT OPENINGS & VOLUNTARY RETROFIT OPENINGS. AS REQ'D. TYP. INSTALL (N) PLWD. SHEATHING @ (N) BSMT. STORAGE AREAS W/ ACCESS DR. FROM (N) ADJ. KITCHEN.
  - REBUILD FRONT ENTRY STEPS & STOOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING CONDITIONS, REPAIRS AS REQ'D.
  - PROVIDE (N) SCREENED FND. VENTS AS SHOWN ON FOUND. PLAN.
  - (N) LOC. OF WASTE WTR/S.S. EJECT. PUMP. REFER TO MEP 1.0 FOR MORE INFO.
  - AT ALL (N) & (E) LIGHT & EGRESS WELLS. PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MATL. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS. PROVIDE SAFETY EXT. LADDER & EXT. GATE AT RAILINGS.
  - PROVIDE (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. RES. INSTALL 42H. RWD. RAILS. RWD STAIRS W/ 36H HANDRAILS, & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. & (N) SITE PLAN, & DECK DETAILS AS REQ'D.
  - PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT. CLEAR FLOOR AREA W/ 3" MIN. HORIZONTAL DIRECTION. SEE CODE B-X.
  - AT NORTH WALL OF (N) ADJ. TRM. PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HORIZ. SIDING FINISH FOR BLIND DOORS. TYP. REF. TO (N) PLNS & ELEV.
  - SEE ADJTL. REQS. MEP 1.0 AND TYP. CODE NOTES A0.3.

**JAURIGUI REMODEL**

ISSUE DATE: 07/03/2020  
 PROJECT: 4120 BASSETT STREET  
 03/08/2020 PLANNING SUBMIT.  
 04/15/2022 HIST. ELEV. REVIS  
 02/24/2023 PLANNING H.C. SUBMIT.

OWNER: JEFF JAURIGUI  
 4120 BASSETT STREET  
 SANTA CLARA, CA 95054  
 098496@comcast.net  
 PH: 415.608.4670

PROJECT/SITE: 4120 BASSETT STREET  
 SANTA CLARA, CA 95054  
 APN: 104-12-127

DRAWN: GTF/JTF  
 DATE: 02/24/2023  
 SCALE: AS NOTED  
 PROJECT NO.: 2019.22  
 SHEET: A2.1

TYPICAL CODE NOTES- SEE SHEET A0.3

SHEET NOTES

- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT. SEE (N) ELEV. SHT. A3.0. TYP.
  - CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY a) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND b) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.
- KEYED SHEET NOTES:**
- REMOVE (E) FINISHES ONLY AS REQ'D FOR (N) WORK TO INCLUDE FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
  - INSTALL (N) 2x4 DF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLYWG WHERE NOTED ON STRUCT. DWGS.
  - WHERE REQ'D, PATCH (E) WALLS WITH (N) GYPSUM TO MATCH (E) NAILED WDRYWALL SCREWS @ 8" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROVIDE DENSE GYPSUM BOARD AT ALL VET WALLS. REFER TO FLR PLAN.
  - INSTALL (N) HORIZ. WD. SIDING EXT. FIN. O/2 LAYERS OF GRD. D BLDG PAPER PER CBC 25.12 WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING TYP. COORD. INT'L FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.
  - PROVIDE INSULATION & INSTALL AS REQUIRED:
    - NOTE: USE FORMALDEHYDE FREE
    - Ceilings R-TID MIN. BATT INSUL. (VENTED ATTIC) TYP.
    - Walls R-TID MIN. BATT INSUL. TYP.
    - Floors R-TID MIN. BATT INSUL. TYP.
    - PROVIDE SOUND ATTENUATING R-13 MIN. INSUL. AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VENT W/ OWNER
  - COORD. SUPPLY LINES FOR WTR. ELECT. HVAC, & DRAINAGE FOR (N) REQ'S. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. UTILIZE (E) FLTR. DUCTING WHERE POSS. REEL. W/ (N) DUCTING AS REQ'D. TO (N) ROOMS. TIE IN ALL (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD W/ OWNER.
  - INSTALL (N) 24 GA GSM GEE GUTTER, W/ (N) 2" RND. 26 GA GSM D.S.'S & SPLASH BLKS. SLOPED AWAY FROM BASE OF HS. DIRECT TO YARD. SEE SITE PLAN.
  - INST. (N) 1x4 DF INT. PAINT GRADE TRIM & CS. WORK W/ COLOR & TEXT. TO MATCH (E) PROV. SHOP REVIEW DRAWINGS AS REQ'D FOR APPROV. BY OWNER. TYP.
  - INSTALL (N) ROOF @ AREAS OF (N) WORK W/ (N) CLASS A HIGH DEF. COMP. ASPH. SHINGLE RFG. TO MATCH (E) TYP. INSTALL OVER 2 LAYERS 30LB ASPH. IMPREG. RFG. FELT TYP. REVIEW COLOR IN FIELD W/ (E) ROOF AND OWNER. PROTECT (E) ROOF TO REMAIN. REFER TO ROOF PLAN SHT. AS 1.
  - PROTECT (E) WINDOWS TO REMAIN. PROVIDE (N) APPROV. WDW. AS SEL. BY ARCH. INSTALL WD. TRIM PER ELEV. @ (N) BSMT. PROV. WDW. AS SPEC'D BY ARCH. SEE WDW. SPECS. A0.3 AND SCHED. A2 FOR ADD'L INFO. TYP.
  - VERIFY (E) FRAMING AND INSTALL (N) 4x4 DFR WIDBL. 1x TRIMMERS AROUND WDW. W/ DBL. 2x BLK'G EA. WAY AT TOP AND BTM OF WDW FRAMING. W/SM. STRAPS PER STRUCT. DETAIL TYP.
  - SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WDR. DR. & HDWR. TO MATCH (E) PROV. (N) PAINT GRD. POCKET DR. TO MATCH (E) DR. PATTERN. W/ JOHNSON GUIDE HDWR. PER DR. SCHED. TYP.
  - PROVIDE (N) S.C. PAINT GR. EX. DR. TO (N) KIT. REAR ENTRY. PROV. (N) S.C. PAINT GRD. HINGED FR. DR. & HDWR. W/ PREHUNG JAMB ASSY. PER MFG. SPECS TYP. INST. (N) EXT. TRIM. (N) PAINTED. 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
  - CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRIES & PORTALS. INSTALL BUILT-IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SHT. INSTALL INT. (N) DR. CASING. 1x FLTR. & 1x BASE BOARD. WINDOWS CASING & SIMILAR TO (E) HEAD, STOOD. AND APRON TRIM. PER INT. ELEV. & DETAIL NOTES TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED. 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWK. SPECS. SHT. A0.3. TYP.
  - PROTECT (E) TAG WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLRS. @ (N) ADJ. TO MATCH (E). PATCH (N) TAG HDW. FLRS. TO MATCH (E). VERIFY COND. OF SUBFLR. & FRAMING PRIOR TO INSTALLATION. CONFIRM SIZE, WD. TYP. STAIN CLR. & FINISH IN FIELD AND W/ OWNER. @ KIT. & LIVING RM. AREAS. INSTALL (N) FLOORING OR OTHER MAT'L. AS SPEC BY OWNER. PREP. FLR. AS REQ'D. TO REC. (N) MAT'L. PER MFG'S SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF (N) OR (E) FLRS. AS REQ'D. PROV. SAMPLES TO OWNER. PRIOR TO ORDERING.
  - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR E. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/ OWNER.
  - INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A SMOOTH, HARD NONABSORBENT SURFACE OVER A P.F. MEM. FLR. AND MOISTURE RESISTANT UNDERLAYMENT WALL TO A HT. OF 72" ABOVE DRAIN INLET.
  - PROVIDE (N) PAINT GRD. CABINETS W/ STONE COUNTERTOPS & TILE BACKSPLASH. AND (N) OR (E) APPLIANCES PER FLR PLAN AND ELEV. PER OWNERS SPECS. SEE ALSO CASE WORK SPECS. SHT. A0.4 & INT. ELEV. A5.0 WKEY NOTES.
  - INSTALL BATHRM VANTY. COUNTER TOP W/BACKSPLASH, TOILET, AND SHOWER ENCLOSURE UNLESS OTHERWISE AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELECT. / MECH. WORK. VERIFY FINAL LOCS. AND MEP READING. IN FIELD W/ OWNER. TYP.
  - INSTALL GRAB BARS, TOWEL BARS, WALL SCONES, AND BATHROOM ACCESS. AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED NEW 2x10 DF WALL BLOCKING WORK. VERIFY FINAL LOCS. IN FIELD W/ OWNER. TYP.
  - PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSMT. ADJ. ENSURE 10" CLEARANCE FROM FIN. (N) ADJ. ENTRANCE. PROVIDE SMOOTH TRANS. W/ (N) AND (E) STEPS @ AREA OF TRANS. SURF. FOR NEW OR EXIST. TRANS. TO BE INSTALLED @ ADJ. ENTRY. REFER TO FND. DETAILS SHT. A.
  - PROV. (N) CONC. LNDG. & STEP TO BSMT. ADJ. ENTRY. PATCH TO MATCH (E) PAVR LEVEL-SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS. PROVIDE (N) CONC. EGRESS WELL AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. W/ PERMANENT EGRESS HEADER. SEE CODE NOTE 19.
  - PROV. (N) INT. STAIRS TO FIN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD.
  - (N) BSMT. - (NADU & UNFIN. STOR. AREAS TO REMAIN: (E) SOIL TO BE LOWERED & VAPOR BARRIER INSTALLED AS REQ'D. (E) CONC. FTG. TO RCV. (N) RETRO. ANCHORAGE PER SECT. A & DETAIL SHT. A. VAPOR BARRIER @ EXIST. (E) PERIMETER TO RCV. (N) VENT OPENINGS & VOLUNTARY RETROFIT OPENINGS, AS REQ'D. TYP. INSTALL (N) PL. YVD. SHEATHING @ (N) BSMT. STORAGE AREAS W/ ACCESS DR. FROM (N) ADJ. ENTRY.
  - REBUILD FRONT ENTRY STEPS & STOOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING CONDITNS. REPAIR AS REQ'D.
  - PROVIDE (N) SCREENED FND. VENTS AS SHOWN ON FOUND. PLAN
  - (N) LOC. OF WASTE WTRRS. S. ELECT. PUMP. REFER TO MEP 1.0 FOR MORE INFO.
  - AT ALL (N) & (E) LIGHT & EGRESS WELLS. PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MAT'L. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS. PROVIDE SAFETY EXIT LADDER & EXIT GATE AT RAILINGS.
  - PROVIDE (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. RES. INSTALL 42H. RWD. RAILS. RWD. STAIRS W/ 36H HANDRAILS, & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. (N) SITE PLAN, & DECK DETAILS SHT. A.
  - PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. SEE CODE B-X.
  - AT NORTH WALL OF (N) ADJTN. PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HORIZ. SIDING FINISH FOR BLIND DOORS. TYP. REF. TO (N) PLNS & ELEV.
  - SEE ADD'L REQ'S. MEP 1.0 AND TYP. CODE NOTES A0.3.

JAUROGUI REMODEL

ISSUE DATE: 07/03/2023

PROJECT REVIEW: 10/10/2023

PLANNING SUBMIT: 03/03/2023

HIST. ELEV. REVIS: 04/15/2022

PLANS & HIST. SUBMIT: 02/04/2023

STRATA DESIGN STUDIO  
DESIGN, CONSULTING, PRESERVATION

JOHN S. TAKIENA-FROLLI, AIA  
SAN JUAN, CA 95054  
909.503.5148 - jfr@sdsg.com

OWNER: JEFF JAUROGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
0981967@gmail.com  
PH: 415.608.4670

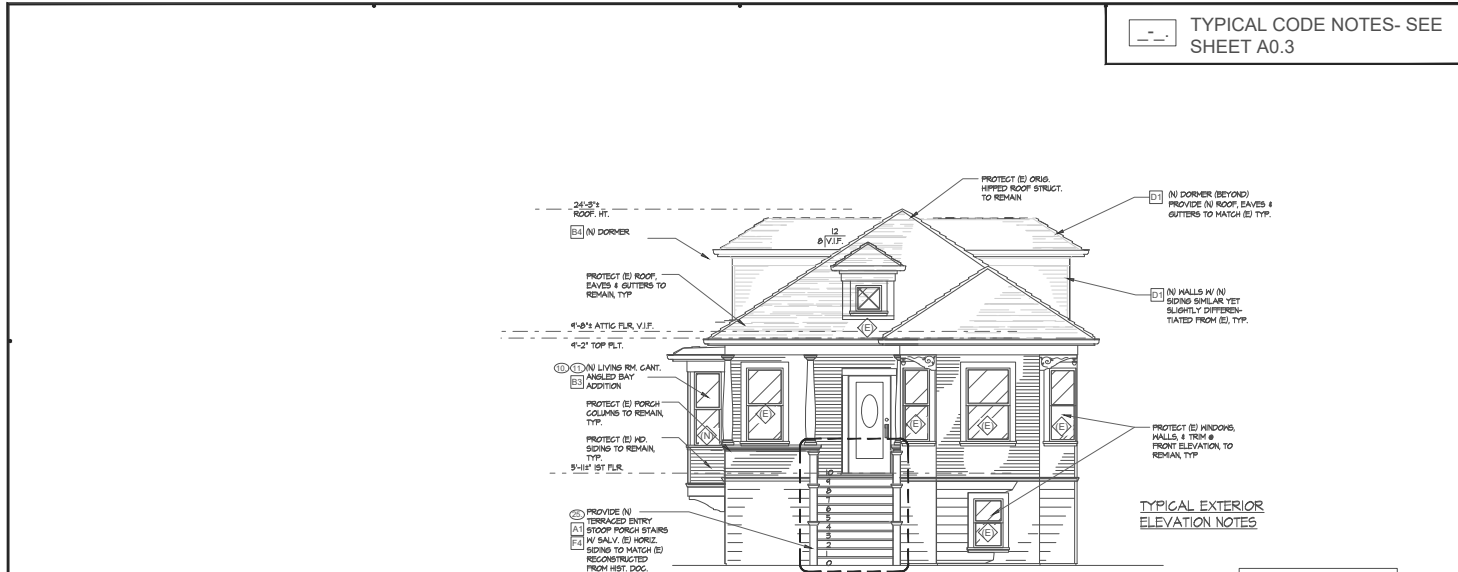
PROJECT/SITE: JAUROGUI REMODEL  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
APN: 104-12-127

DATE: 02/24/2023

SCALE: AS NOTED

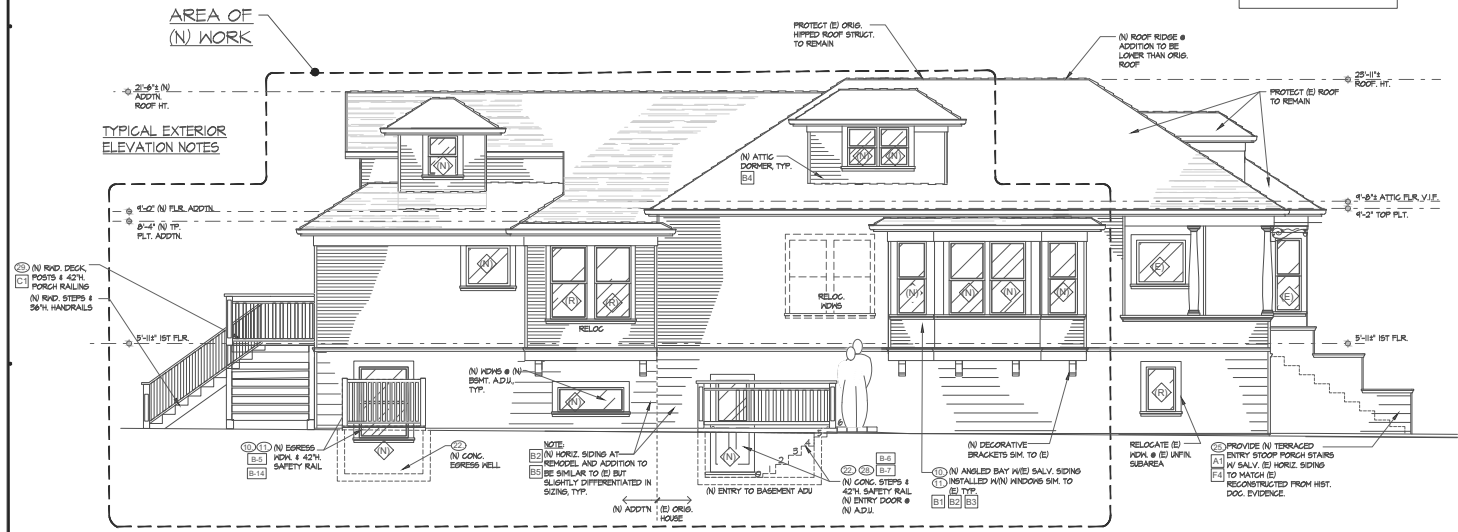
PROJECT NO.: 2019.22

SHEET: A3.0



(N) FRONT (EAST) ELEVATION 1  
SCALE: 1/4"=1'

REFER TO HIST. PRESERV. TREATMENT NOTES, SHEET HP1.0  
A- B-



(N) SOUTH (SIDE) ELEVATION 2  
SCALE: 1/4"=1'

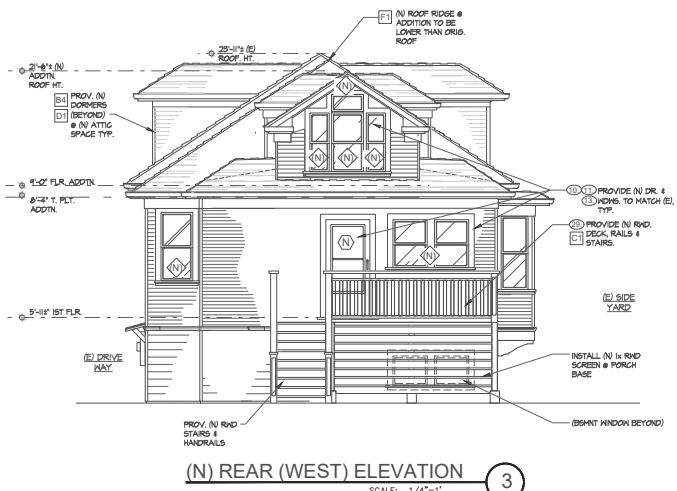
AREA OF (N) WORK

TYPICAL EXTERIOR ELEVATION NOTES

TYPICAL CODE NOTES- SEE SHEET A0.3

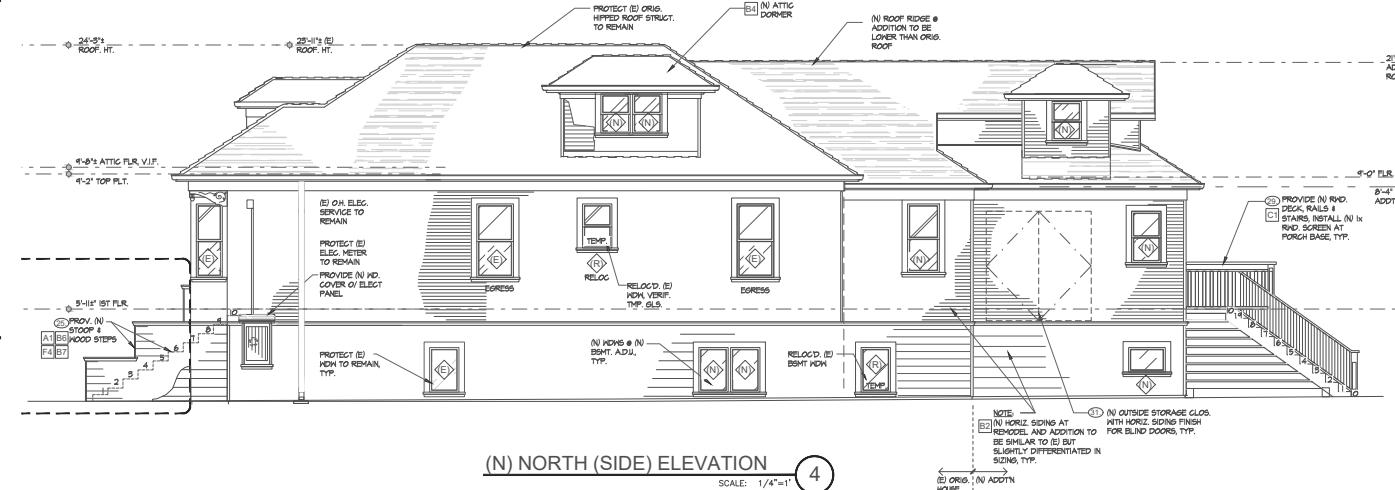
SHEET NOTES

- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT, SEE (N) ELEV. SHT. A3.0. TYP.
  - CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY (a.) THE EXISTING BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND (b.) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.
- KEYED SHEET NOTES:**
- REMOVE (E) FINISHES ONLY AS REQ'D FOR (N) WORK TO INCLUDE: FRAMING, WRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING REMOVAL OF (N) WORK AND REPAIRS.
  - INSTALL (N) 2x OF NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR PLWD WHERE NOTED ON STRUCT. DWGS.
  - WHERE REQ'D, PATCH (E) WALLS WITH (N) GYPSO TO MATCH (E) NAILED w/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROVIDE DENSE SOLD GYP BOARD AT ALL WET WALLS. REFER TO FLR. PLAN.
  - INSTALL (N) HORIZ. WD. SIDING EXT. FIN. O2 LAYERS OF GRD. D BLDG PAPER PER CBC 2512. WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING TYP. COORD. INFLL FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.
  - PROVIDE INSULATION & INSTALL AS REQUIRED:  
(NOTE: USE FORMALDEHYDE FREE)  
- CEILINGS R-TBD MIN. BATT INSUL. (VENTED ATTIC) TYP.  
- WALLS R-TBD MIN. BATT INSUL. TYP.  
- FLOORS R-TBD MIN. BATT INSUL. TYP.  
- PROVIDE SOUND ATTENUATING R-13 MIN. INSUL AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTICAL @ BEDROOMS. VERIFY (N) OWNER COORD. SUPPLY LINES FOR WTR, ELECT., HVAC, & DRAINAGE FOR (N) REQ'D. CAP OFF ABANDONED LINES & RE-ROUTE AS REQ'D TO (N) FIXTURES. UTILIZE (E) FURN. DUCTING WHERE POSS. REPL. W/ (N) DUCTING AS REQ'D. TO (N) ROOMS. TIE IN ALL (N) DRAINS TO MAIN SEWER LINE. PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQ'D. VERIFY FINAL LOC. IN FIELD w/OOWNER.
  - INSTALL (N) 24 GA GSM OEGE GUTTER, W/ (N) 2" RND. 28 GA GSM O.S.S. SPLASH BLKS. SLOPED AWAY FROM BASE OF WS. DIRECT TO YARD. SEE SITE PLAN.
  - INST. (N) 1x OF INT. PAINT GRADE TRIM & CS. WORK W/ COLOR & TEXT. TO MATCH (E). PROV. SHOP REVIEW DRAWINGS AS REQ'D FOR APPROV. BY OWNER. TYP.
  - INSTALL (N) ROOF @ AREAS OF (N) WORK w/ (N) CLASS A HIGH DEF. COMP. ASPH. SHINGLE PFG. TO MATCH (E) TYP. INSTALL OVER 2 LAYERS SOLB ASPH. IMPREG. PFG. FELT. TYP. REVIEW COLOR IN FIELD w/ (E) ROOF AND OWNER. PROTECT (E) ROOF TO REMAIN. REFER TO STRUCT. PLAN SHT. A3.1.
  - PROTECT (E) WINDOWS TO REMAIN. PROVIDE (N) APPROV. WDWS. AS SEL. BY ARCH. INSTALL WD. TRIM PER ELEV. @ (N) BSMT PROV. WDWS. AS SPEC'D BY ARCH. SEE WDWS. SPECS A0.3 AND SCHED. A2.1 FOR ADDTL. INFO. TYP.
  - VERIFY (E) FRAMING AND INSTALL (N) 1x OF HOR. WOOD 1x TRIMMERS AROUND WDWS. w/ DBL 2x BLK'G EA. WAY AT TOP AND BTM OF WDW FRAMING. w/SMP. STRAPS PER STRUCT. DETAIL TYP.
  - SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WD. DRS & HDWR. TO MATCH (E). PROV. (N) PAINT GRD. POCKET DRS. TO MATCH (E) DR. PATTERN. W/ JOHNSON GUIDE HDWR. PER DR. SCHED. TYP.
  - PROVIDE (N) S.C. PAINT GR. EXT. DR. TO (N) KIT. REAR ENTRY. PROV. (N) M.F.C. PAINT GRD. HINGED FL. DR. & HDWR. W/ PREHUNG JAMB ASSY. PER SFG. SPECS TYP. INST. (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL ALL) @ SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
  - CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRIES & PORTALS. INSTALL BUILT-IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SHT. \_\_\_\_ INSTALL INT. (N) DR. CASING, 1x FLAT. & 1x BASE BOARD, WINDOWS, CASED & SIMILAR TO (E). HEAD, STOOL, AND APRON TRIM. PER INT. ELEV. & DETAIL NOTES TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL ALL) @ SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWK. SPECS. SHT. A0.3. TYP.
  - PROTECT (E) T&G WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLRS. @ (N) ADDTL TO MATCH (E). PATCH (N) T&G WOOD FLOOR TO MATCH (E). VERIFY COND. OF SUBFLR. & FRAMING PRIOR TO INSTALLATION. CONFIRM SIZE, WD. TYPE, STAIN CLR. & PATTERN IN FIELD AND W/OOWNER @ KIT. & LAUNDRY/MD RFL AREAS. INSTALL (N) FLOORING OR OTHER MATL. AS SPEC'D BY OWNER. PREP. FLR. AS REQ'D. TO SUBFLR. (N) MATL'S. PER MFG'S SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH (E) INT. FIN. (E) OR (E) WD. FLRS. AS REQ'D. PROV. SAMPLES TO OWNER. PRIOR TO ORDERING.
  - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR EQ. WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. U.O.N. AS STAIN GRADE. VERIFY COLOR W/OOWNER.
  - INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A SMOOTH, HARD NONABSORBENT SURFACE OVER A 1/2" MEMB. FLR. AND MOISTURE RESISTANT UNDERLAYMENT WALL TO A HT. OF 72" ABOVE DRAIN INLET.
  - PROVIDE (N) PAINT GRD. CABS. w/ STONE COUNTERTOPS & TILE BACKSPLSH. AND (N) OR (E) APPLIANCES PER FLR. PLAN AND ELEV. PER OWNER'S SPECS. SEE ALSO CASE WORK SPECS. SHT. A0.4 & INT. ELEV. AS O WKEY NOTES.
  - INSTALL BATHRM VANITY, COUNTER TOP w/BACKSPLASH, TOILET, AND SHOWER ENCLOSURE UNITS (AS OCCURS) AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELECT. / MECH. WORK, VERIFY FINAL LGS. AND MEP REQMENTS. IN FIELD w/OOWNER. TYP.
  - INSTALL GRAB BARS, TOWEL BARS, WALL SCONES, AND BATHROOM ACCESS. AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED NEW 2x10 DF WALL BLOCKING WORK. VERIFY FINAL LGS. IN FIELD w/OOWNER. TYP.
  - PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSMT. ADD. ENSURE 12" CLEARANCE FROM FIN. (N) ADJ. ENTRANCE. PROVIDE SMOOTH TRANS. W/ (N) AND (E) STEPS @ AREA OF WORK. PREP. SURF. FOR (N) SHEET VINYL FLNG. TO BE INSTALLED @ ADJ. DETAIL SHT. \_\_\_\_
  - PROV. (N) CONC. LINDG. & STEP TO BSMT. ADD. SIDE ENTRY. PATCH TO MATCH (E) PAVER LEVEL SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS PROVIDE (N) CONC. EGRS. HELD IN (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT. CLEAR FLOOR AREA W/ 3' MIN. HORIZONTAL DIRECTION. W/ PERMANENT EGRESS LADDER. SEE CODE NOTE 10.0. PROV. (N) INT. STAIRS TO FIN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD.
  - (N) BSMT. - INADJ. & UNFIN. STORAREAS TO REMAIN. (E) SOIL TO BE LOWERED & VAPOR BARRIER INSTALLED AS REQ'D. (E) CONC. FTG. TO RCV. (N) RETRO. ANCHORAGE PER SECT. \_\_\_\_ A DETAIL PER SHT. \_\_\_\_ VAPOR BARRIER @ EXIST. (E) PERIMETER TO RETRO. (N) VENT OPENINGS & VOLUNTARY RETROFIT OPENINGS, AS REQ'D. TYP. INSTALL (N) PLWYD. SHEATHING @ (N) BSMT. STORAGE AREAS W/ ACCESS DR. FROM (N) ADJ. KITCHEN.
  - REBUILD FRONT ENTRY STEPS & STOOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING CONDITIONS. REPAIR AS REQ'D.
  - PROVIDE (N) SCREENED END. VENTS AS SHOWN ON FOUND. PLAN.
  - (N) LOC. OF WASTE WTRIS. S. EJECT. PUMP. REFER TO MEP 1.0 FOR MORE INFO. AT ALL (N) & (E) LIGHT & EGRESS WELLS. PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MATL. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS. PROVIDE SAFETY EXIT LADDER & 24" EXT. GATE AT RAILINGS.
  - PROVIDE (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. RES. INSTALL 42" RWD. RAILS. RWD STAIRS W/ 36" HANDRAILS, & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. (N) SITE PLAN, & DECK DETAILS A0. \_\_\_\_
  - PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 9 SQ. FT. CLEAR FLOOR AREA W/ 3' MIN. HORIZONTAL DIRECTION. SEE CODE B-X-X.
  - AT NORTH WALL OF (N) ADDTL. PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HORIZ. SIDING FINISH FOR BLIND DOORS. TYP. REF TO (N) PLNS & ELEV.
  - SEE ADDTL. REFS. MEP 1.0 AND TYP. CODE NOTES A0.3.



(N) REAR (WEST) ELEVATION  
SCALE: 1/4"=1' 3

REFER TO HIST. PRESERV. TREATMENT NOTES, SHEET HPI.0  
C- D-



(N) NORTH (SIDE) ELEVATION  
SCALE: 1/4"=1' 4

JAIURIGUI REMODEL  
ISSUE DATE: 07/03/2020 PROPOSED REVIEW: 10/15/2020 PROJECT DATA DOW: 02/05/2021 PLANNING SUBMIT: 04/15/2022 HIST. ELEV. REVIS: 02/04/2023 PLANNING / H.C. SUBMIT

STRATA DESIGN STUDIO  
DESIGN, CONSULTING, PRESERVATION  
JOHN S. TAKIENA-FROLLI - AIA  
SANTA CLARA, CA 95054  
408.923.5144 - jf@stratadsg.com

OWNER: JEFF JAIURIGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
098967@comcast.com  
PH: 415.608.4670

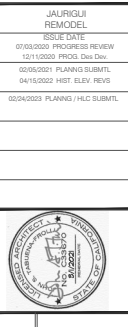
PROJECT/SITE: 4120 BASSETT STREET  
SANTA CLARA, CA 95054  
APN: 104-12-127

DRAWN: GTF/JTF  
DATE: 02/24/2023  
SCALE: AS NOTED  
PROJECT NO.: 2019.22  
SHEET: A3.1

TYPICAL CODE NOTES- SEE SHEET A0.3

SHEET NOTES

- ALL WORK IS TO FOLLOW THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC RESOURCES. REFER TO AND OBSERVE THE REQUIREMENTS OF THE HISTORIC PRESERVATION PLAN NOTES FOR THE PROJECT. SEE (N) ELEV. SH. A3.0, TYP.
  - CONTRACTOR AND SITE WORK CREWS SHALL NOT COMMENCE WITH THE SELECTIVE DEMOLITION WORK UNTIL AFTER MEETING WITH THE OWNER AND HISTORIC ARCHITECT TO IDENTIFY THE BUILDING COMPONENTS TO BE PROTECTED AND RETAINED, AND b.) THE SELECTIVE DEMOLITION COMPONENTS TO BE REMOVED AND SALVAGED, FOR REUSE ON THE PROJECT, TYP.
- KEYED SHEET NOTES:**
- REMOVE (E) FINISHES ONLY AS REQD FOR (N) WORK TO INCLUDE: FRAMING, WIRING, AND INSULATION. ENSURE ALL (E) AREAS TO REMAIN ARE PROTECTED FROM DAMAGE DURING PERIOD OF (N) WORK AND REPAIRS.
  - INSTALL (N) 2x4 NO. 2 STUD FRAMING W/ STRUCT 1 SHEAR FLYWD WHERE NOTED ON STRUCT. DWGS.
  - WHERE REQD PATCH (E) WALLS WITH (N) CYPED TO MATCH (E) NAILED W/DRYWALL SCREWS @ 6" O.C. EDGES, 10" O.C. FIELD MAX. TYP. PROVIDE DENSE GOLD GYP. BOARD AT ALL WET WALLS, REFER TO FLR PLAN.
  - INSTALL (N) HORIZ. WD. SIDING EXT. FIN. 02 LAYERS OF GRD. D. BLDG PAPER PER CBC 2512 WITH SMOOTH SURF. TEXTURE AND PAINT TO MATCH ORIG. DROP SIDING. TYP. PRIME AND PAINT TO MATCH (E) SIDING TYP. COORD. INFLL FRAMING TO ENSURE EVEN FLUSH TRANSITION W/ (E) SURF. TYP.
  - PROVIDE INSULATION & INSTALL AS REQUIRED:  
(NOTE: USE FORMALDEHYDE FREE)  
- CEILING: R-180 MIN. BATT INSUL. VENTED ATTIC TYP.  
- WALLS: R-180 MIN. BATT INSUL. TYP.  
- FLOORS: R-180 MIN. BATT INSUL. TYP.  
- PROVIDE SOUND ATTENUATING R-13 MIN. INSUL AT ALL (N) AND OPEN (E) BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
  - COORD. SUPPLY LINES FOR WTR. ELECT. HVAC & DRAINAGE FOR (N) REQD. CAP OFF ABANDONED LINES & RE-ROUTE AS REQD TO (N) FIXTURES, UTILIZE (E) FURN. DUCTING WHERE POSS. REFL. W/ (N) DUCTING AS REQD. TO (N) ROOMS, TIE IN ALL (N) DRAINS TO MAIN SEWER LINE PROV. (N) CIRCUITS FROM (N) SUBPANEL AS REQD. VERIFY FINAL LOC. IN FIELD w/OWNER.
  - INSTALL (N) 24 GA GSM OEGE GUTTER, W/ (N) 2" RND - 26 GA GSM D.S.S & SPLASH BAS. SLOPED AWAY FROM BASE OF HS. DISCONNECT TO YARD. SEE SITE PLAN.
  - INST. (N) 1x4 DF INT. PAINT GRADE TRIM & CS. WORK W/ COLOR & TEXT. TO MATCH (E). PROV. SHOP REVIEW DRAWINGS AS REQD FOR APPROV. BY OWNER. TYP.
  - INSTALL (N) ROOF @ AREAS OF (N) WORK W/ (N) CLASS A HIGH DEF. COMP. ASPH. SHINGLE REF. TO MATCH (E) TYP. PROVIDE 2x4 OVER LAYERS 2x8 ASPH. IMPREGG. RFG. FELT. TYP. REVIEW COLOR IN FIELD W/ (E) ROOF AND OWNER. PROTECT (E) ROOF TO REMAIN. REFER TO ROOF PLAN SH. A3.1
  - PROTECT (E) WINDOW (E) REMAIN. (N) APPROV. WDW. AS SEL BY ARCH. INSTALL WD. TRIM PER ELEV. @ (N) BSMT PROV. WDW. AS SPEC'D BY ARCH. SEE WDW. SPECS A0.3 AND SCHED. A2.1 FOR ADDL. INFO. TYP.
  - VERIFY (E) FRAMING AND INSTALL (N) 4x4 DF HOR. WIDE 1x TRIMMERS AROUND WDW. W/ DBL. 2x BLDG. EA. WAY AT TOP AND BTM OF WDW FRAMING. W/ SHMP STRAPS PER STRUCT. DETAIL TYP.
  - SALVAGE (E) OR PROV. (N) PAINT GRADE (1-3/8" MIN.) SOLID CORE INT. WD. DRS & HWDR. TO MATCH (E). PROV. (N) PAINT GRD. POCKET DRS. TO MATCH (E) OR. PATTERN. W/ JOHNSON GLIDE HWDR. PER DR. SCHED. TYP.
  - PROVIDE (N) S.C. PAINT GR. EXT. DR. TO (N) KIT REAR ENTRY. PROV. (N) S.C. PAINT GRD. HINGED FL. DR. & HWDR. W/ PREHUNG JAMB ASSY. PER MFG. SPECS TYP. INST. (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. TYP.
  - CASEWORK: PROV. CUSTOM TRIM @ (N) ENTRANCES & PORTALS. INSTALL BUILT IN BENCH SEATS @ (N) DIN. RM. & LIVING RM. REFER TO DETAIL SH. \_\_\_\_\_. INSTALL INT. (N) DR. CASING, 1x FLAT, & 1x BASE BOARD, WINDOWS, CASES & SIMILAR TO (E) HEAD STUOL. AND APPROX. TRIM PER INT. ELEV. & DETAIL NOTES TYP. PROVIDE (N) EXT. TRIM. (N) PAINTED 1x CLEAR CEDAR OR RWD. TO MATCH (E) TRIM. PRE-PRIME (SEAL) ALL (E) SIDES OF EXT. TRIM PRIOR TO INSTALLING. REF. TO CASEWK. SPECS. SH. A0.3, TYP.
  - PROTECT (E) T&G WOOD FLOOR FROM DAMAGE DURING WORK. INSTALL (N) WD. FLRS. @ (N) ADDN TO MATCH (E). PATCH (N) T&G WVD. FLRS. TO MATCH (E). VERIFY COND. OF SUBFLR & FRAMING PRIOR TO INSTALLATION. CONFIRM SIZE, WD. TYP. STAIN CLR. & PATTERN IN FIELD AND W/OWNR. @ KIT. & LAUNDRY/MD RM. AREAS. INSTALL (N) FLOORING OR OTHER MATL. AS SPEC. BY OWN. PREP. FLR AS REQD. TO REC. (N) MATL'S. PER MFG. S. SPEC. TYP. COORD. SUBFLR. PREP. W/ CEMENT BOARD TO MATCH FIN. HT. OF (N) OR (E) WD. FLRS. AS REQD. PROV. SAMPLES TO OWN. PRIOR TO ORDERING.
  - PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR EQ. WATER BASE LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. I.O.D. AS STAIN GRADE. VERIFY COLOR w/OWNER.
  - INSTALL (N) SHOWER TILE WALL & FLOORS @ (N) BATH. TO HAVE A SMOOTH, HARD NONABSORBENT SURFACE OVER A V.P. MEMB. FLR. AND MOISTURE RESISTANT UNDERLAYMENT WALL. TO A HT. OF 72" ABOVE DRAIN INLET.
  - PROVIDE (N) PAINT GRD. CAB. W/ STONE COUNTERTOPS & TILE BACKSPLASH. AND (N) OR (E) APPLIANCES PER FLR PLAN AND ELEV. PER OWNERS SPECS. SEE ALSO CASE WORK SPECS. SH. A0.4 & INT. ELEV. AS V. WKEY NOTES.
  - INSTALL BATHRM VANITY, COUNTER TOP W/BACKSPLASH, TOILET, AND SHOWER ENCLOSURE UNITS HAS OCCURRED AS SELECTED BY OWNER. COORDINATE INSTALLATION AND REQUIRED ELECT. MECH. WORK. VERIFY FINAL LOCKS AND MEP REQUIREMENTS. IN FIELD w/OWNER. TYP.
  - INSTALL GRAB BARS, TOWEL BARS, WALL SCISSORS, AND BATHROOM ACCESS. AS SEL. BY OWNER. COORD. INSTALLATION AS REQUIRED NEW 2x10 DF W/ WALL BLOCKING WORK. VERIFY FINAL LOCKS. IN FIELD w/OWNER. TYP.
  - PROVIDE (N) POURED CONCRETE SLAB FLR. @ (N) BSMT. ADU. ENSURE 1/2" CLEARANCE FRM. FIN. (N) ADU. ENTRANCE. PROVIDE SMOOTH TRANS. W/ (N) AND (E) STEPS @ AREA OF WORK. PREP. SURF. FOR (N) SHEET VINYL FLRNG. TO BE INSTALLED @ ADU. ENTRY. REFER TO FND. DETAILS SH. A.
  - PROV. (N) CONC. LAID & SET UP TO BSMT. ADU. SIDE ENTRY PATCH TO MATCH (E) PAVY LEVEL SURF. WALK-WAY PER OWNERS SEL. SEE FOUND. PLAN & DETS PROVIDE (N) CONC. EGRESS WELL AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 8 SQ. FT CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. W/ PERMANENT EGRESS LADDER. SEE CODE NOTE 10.
  - PROV. (N) INT. STAIRS TO FIN. ATTIC AREA. VERIFY RISE & RUN IN THE FIELD.
  - (N) BSMT. - INADU & UNFR. STORAGE TO REMAIN. (E) SOL. TO BE COVERED & VAPOR BARRIER INSTALLED (REQD). (E) CONC. FTG. TO ROV. (N) RETRO. ANCHORAGE PER SECT. A. DETAIL PER SH. A. - VAPOR BARRIER @ EXIST. (E) PERIMETER TO ROV. (N) INT. OPENINGS & VOLUNTARY RETROFIT OPENINGS, AS REQD. TYP. - INSTALL (N) FLYWD. SHEATHING @ (N) BSMT. STORAGE AREAS W/ ACCESS DR. FROM (N) ADU. KITCHEN.
  - REBUILD FRONT ENTRY STEPS & STOP TO MATCH ORIGINAL HS. BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. PROTECT (E) SIDING & TRIM TO REMAIN. VERIFY FRAMING CONDITS. REPAIR AS REQD.
  - PROVIDE (N) SCREENED FND. VENTS AS SHOWN ON FOUND. PLAN
  - (N) LOC. OF WASTE WTR'S S. ELECT. PUMP. REFER TO MEP 1 FOR MORE INFO.
  - AT ALL (N) & (E) LIGHT & EGRESS WELLS, PROVIDE (N) 42" H. SAFETY RAILING TO MATCH COLOR & MATL. OF (E) FRONT PORCH RAIL. @ EGRESS WELLS, PROVIDE SAFETY EXIT LADDER & 24" EXIT GATE AT RAILINGS.
  - PROV. (N) RWD. DECK @ REAR ENTRY TO MAIN FLR. INST. 42" RND. RAIL S. RND STAIRS W/ 3/4" HANDRAILS. & (N) 1x WOOD SCREEN AT BASE. REFER TO EXT. ELEV. (N) SITE PLAN, & DECK DETAILS A0.
  - PROVIDE (N) CONC. LIGHT WELLS AS SHOWN ON (N) FLOOR & FOUND. PLANS. ENSURE MIN. 8 SQ. FT CLEAR FLOOR AREA W/ 3 MIN. HORIZONTAL DIRECTION. SEE CODE B-XX.
  - AT NORTH WALL OF (N) ADDTN. PROV. EXTERIOR OUTSIDE STORAGE CLOS. WITH HORZ. SIDING FINISH FOR BLIND DOORS. TYP. REF. TO (N) PLAN & ELEV.
  - SEE ADDTL. REQ'S. MEP 1.0 AND TYP. CODE NOTES A0.3.

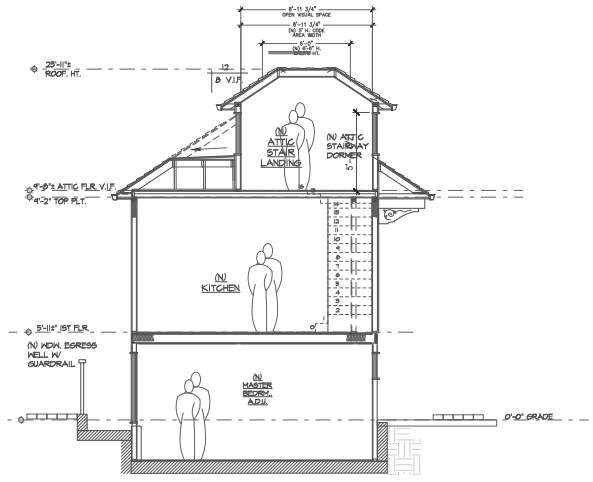


STRATA DESIGN STUDIO  
DESIGN, CONSULTING, PRESERVATION  
JOHN S. TAKIENA-FROLLI, AIA  
SAN JOSE, CA  
408.933.1144 - jfl@stratadsg.com

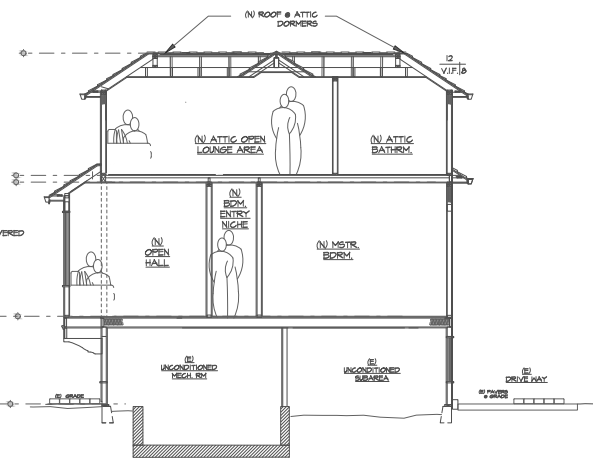
OWNER:  
JEFF LAURIGUI  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
098167@comcast.net  
PH: 415.608.4670

PROJECT/SITE:  
4120 BASSETT STREET  
SANTA CLARA, CA 95054  
APN: 104-12-127

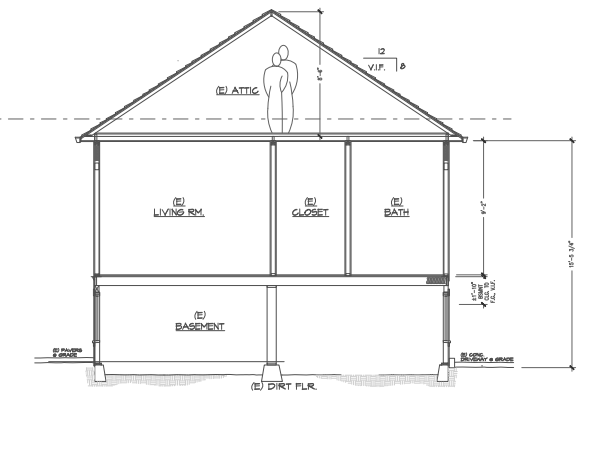
DRWN  
GTF/JTF  
DATE  
02/24/2023  
SCALE  
AS NOTED  
PROJECT NO.  
2019.22  
SHEET  
A4.0  
OF



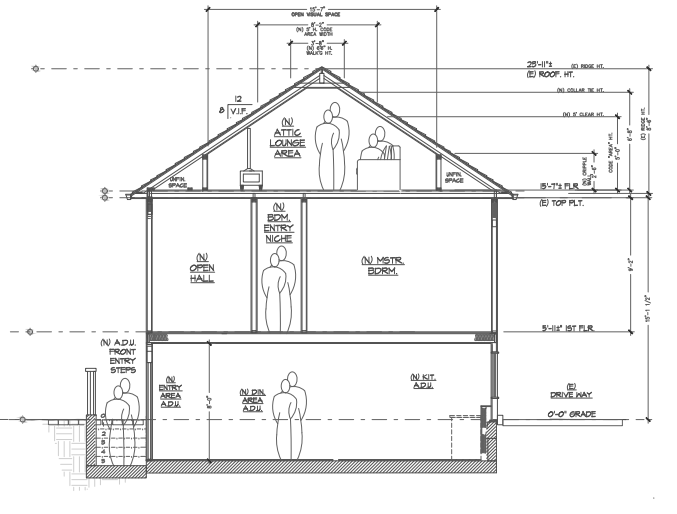
(N) BUILDING SECTION (PRELIM.) SCALE: 1/4"=1' C-C



(N) BUILDING SECTION SCALE: 1/4"=1' A-A



(E) BUILDING SECTION SCALE: 1/4"=1' 1-1



(N) BUILDING SECTION SCALE: 1/4"=1' B-B



## Agenda Report

25-929

Agenda Date: 9/17/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

PUBLIC HEARING: Action on the Architectural Review (PLN25-00342) for the Demolition and Reconstruction of a 1,809 Square Foot One-Story Residence located at 1252 Cabrillo Avenue.

**File No.:** PLN25-00342

**Location:** 1252 Cabrillo Avenue, a 5,000 square foot property on the Northwest side of Cabrillo Avenue

**Applicant:** Mohammad Salek

**Owner(s):** Shideh Heidarkhani and Mohammad Salek

**Request:** **Architectural Review** for the demolition of the existing 1,248 square foot single story residence and the construction of a new 1,809 square foot one-story residence.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of Mid-Century Modern style one-story residences. See Vicinity Map in Attachment 1.
- 1 The site is currently developed with a 1,248 square foot one-story single-family residence.
- Per the Santa Clara City Code 18.120(D)(7), the request requires Architectural Review approval through a Development Review Hearing because the existing residence is proposed for demolition
- The project proposes demolition of the existing 1,248-square-foot, single-story residence and construction of a new 1,809-square-foot, single-story residence with two bedrooms and one-and-a-half bathrooms. A 686-square-foot attached accessory dwelling unit is also proposed, however, not subject to discretionary review. The project also includes a 23-square-foot covered porch and a 400-square-foot attached garage.
- 1 The new residence is designed as a contemporary one-story residence with stucco and wood cladding and shingle hip-style roof.
- 2 The proposed project complies with the City's Single-Family and Duplex Residential Design Guidelines (2014). Specifically, the project is consistent with the guidelines, in that:
  - The front of the house is oriented toward the primary street frontage with an emphasis on the front porch or entry element toward the street by architectural design and landscaping treatment.
  - The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
- 1 There are no active City code enforcement cases for this property.
- 2 A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

**FINDINGS SUPPORTING STAFF'S RECOMMENDATION**

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
  - The proposal provides the required two covered parking spaces at the front of the residence with the two-car garage.
  - The required parking spaces are not located in the required front yard or side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials for parking vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
  - The proposed residence would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed one-story residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
  - Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood. Surrounding properties are one story homes with Mid-Century Modern architectural style. The applicant has proposed stucco siding, wood clad detailing, a hipped shingle-roof, and gable entry feature.
  - While the project will differ from the predominate style, the proposed project is consistent with the scale and character found in the existing surrounding neighborhoods.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*
  - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
    - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent corner properties.



### CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

### ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), in that the proposed project is for the construction of a new single-family residence on a vacant lot, which meets Class 3 exemption requirements.

### PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on September 4, 2025. As of the writing of this report, planning staff has not received public comments for this application.

### RECOMMENDATION

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), and **Approve** the Architectural Review for the complete demolition of the existing 1,248 square foot single story home and the construction of a new 1,809 square foot single story residence, subject to the findings and conditions of approval.

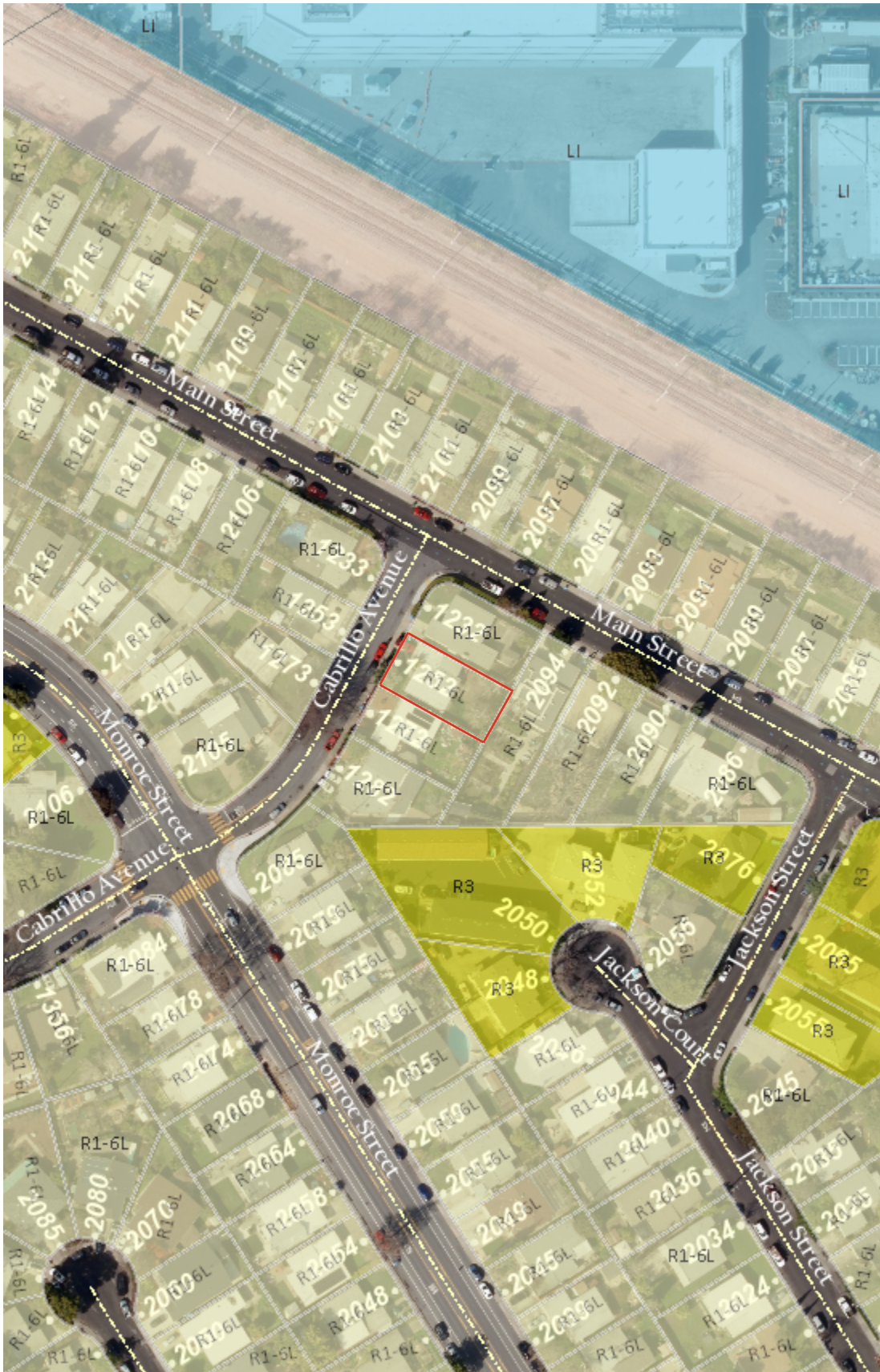
Prepared by: Summer Foss, Assistant Planner, Community Development Department

Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

### ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans

## Vicinity Map (Zoning)- 1252 Cabrillo Avenue



### Legend

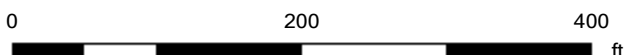
- City Limit
- Municipal Boundary
- Base Layers
- Site Addresses
  - Single
- Streets
- Land Parcels
  - Land Parcels
  - Right of Ways



### Notes

PLN25-00342

created on 08/15/2025 14:20:34



**Attachment 2: Project Data/Compliance**

**Project Address: 1252 Cabrillo Avenue  
Zoning: R1-6L**

**Project Number: PLN25-00342**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Requirement</b>	<b>Complies? (Y/N)</b>
<b>Lot Area (SF) (min):</b>	5,000	5,000	6,000	N
<b>Building Square Footage (SF)</b>				
<b>1<sup>st</sup> Floor:</b>	992	1,404	--	--
<b>Porch/Patio:</b>	152	24	--	--
<b>Gargage:</b>	256	406	400	Y
<b>ADU:</b>	--	686	--	--
<b>Total:</b>	1,248	2,496	--	--
<b>Floor Area Ratio:</b>	25%	49.9%	--	--
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	28%	36.7%	40% max	Y
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	25'-5"	20	20	Y
<b>Left Side (1<sup>st</sup> floor):</b>	5'-2"	5	5	Y
<b>Right Side (1<sup>st</sup> floor):</b>	5	5	5	Y
<b>Rear (1<sup>st</sup> floor):</b>	29'-4"	20	20	Y
<b>Attached Accessory Dwelling Unit Setbacks (FT)</b>				
<b>Side (left): (right):</b>	--	24'-5" 5'	4	Y
<b>Rear:</b>	--	7' 1"	4	Y
<b>Height (FT)</b>				
<b>Main building:</b>	10'-4"	19'-2"	25	Y
<b># of Bedrooms/Bathrooms:</b>	3/1	2/1.5 ADU: 1/1	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street</b>	1	2	2	Y
<b>Common Living Area (SFR)</b>	31.6%	25.3%	Min 25%	Y

## Conditions of Architectural Review Approval

PLN25-00342 / 1252 Cabrillo Avenue

**Architectural Review for the demolition of the existing 1,248 square foot single story home and the construction of a new 1,809 square foot single story residence.**

### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is September 17, 2027
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

### DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.



- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

**OPERATIONAL CONDITIONS**

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

**KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

# 1252 CABRILLO PROPOSED NEW HOME 1252 CABRILLO AVE SANTA CLARA, CA, 95050

(Main House and Attached ADU)



**LINE DESIGN BUILD**  
Phone: 415-426-0146  
Email: info@linedesignbuild.com

REVISION TABLE	
REVISION DATE	BY
01 08/05/2025	R.A. PLN
02 08/18/2025	R.A. PLN

PRODUCT ADDRESS:  
1252 Cabrillo Ave  
Santa Clara, CA, 95050  
(Main House and Attached ADU)

SCALE:	
AS NOTED	
OWNER	R.A.
DESIGNER	M.E.
DATE	08/18/2025
PHASE	PLANNING
SHEET	
Cover Sheet	
A 0.0	
DRAWING NUMBER	
1 OF 10	

MAP	PROJECT DIRECTORY	PROJECT DATA	AREA CALCULATIONS	SHEET INDEX																		
	<p><b>OWNER:</b> Shideh Heidarkhani 1252 Cabrillo Ave, Santa Clara, CA, 95050</p> <p><b>DESIGNER:</b> LINE DESIGN (415) 426-0145 4100 MOORPARK AVE#114, SAN JOSE, CA 95117 Info@linedesignbuild.COM</p> <p><b>STRUCTURAL:</b> EAS DESIGN (925) 510-1300 5870 Stoneridge Mall Rd, Pleasanton, CA 94568</p>	<p>APN: 224-22-088</p> <p>OCCUPANCY GROUP: R - 3 / U</p> <p>CONSTRUCTION TYPE: VB - SPRINKLERED</p> <p>ZONING: R1 - 6L</p> <p>EXISTING/PROPOSED NUMBER OF FLOORS : 1 (ONE)</p> <p>FIRE SPRINKLERS: PROPOSED NEW</p> <p>MAIN HOUSE : BEDROOM/BATHROOM RATIO: 2/1.5</p> <p>ADU : BEDROOM/BATHROOM RATIO: 1/1</p> <p>General Plan designation: Very Low Density Residential</p>	<p>A) LOT: 5,000 SF</p> <p>B) NEW LIVING AREA MAIN HOUSE: 1,403.6 (KITCHEN: 256 SF - DINNING: 155 SF - LIVING: 220 SF)</p> <p>C) NEW GARAGE: 405.9</p> <p>D) NEW COVERED PORCH: 23.6</p> <p>E) NEW ATTACHED ADU: 686.4</p> <p>F) TOTAL AREA: 2,519.5</p> <p>LOT COVERAGE: (F/A) x 100 = (1,835.1 / 5,000) X 100 = 36.7%</p> <p>EXISTING AREA (TO BE DEMOLISHED): EXISTING LIVING AREA : 992 SF (KITCHEN: 104 SF - DINNING: 70 SF - LIVING: 220 SF) EXISTING GARAGE : 256 SF EXISTING COVERED PATIO : 152 SF TOTAL AREA : 1,400 SF</p>	<p>ARCHITECTURAL</p> <p>A 0.0 COVER SHEET</p> <p>A0.1 PROPOSED SITE PLAN</p> <p>A1.1 EXISTING SITE PLAN</p> <p>A2 EXISTING FLOOR PLAN</p> <p>A3 PROPOSED FLOOR PLAN</p> <p>A4 PROPOSED ROOF PLAN</p> <p>A5 PROPOSED ELEVATIONS</p> <p>A6 PROPOSED ELEVATIONS</p> <p>A7 EXISTING ELEVATIONS</p> <p>A8 EXISTING ELEVATIONS</p>																		
DEFERRED SUBMITTAL	APPLICABLE CODES	SCOPE OF WORK	FIRE PROTECTION REQUIREMENTS	EXTERIOR MATERIAL SCHEDULE																		
<p>1) FIRE SPRINKLER SYSTEM DESIGN</p>	<p>2022 CALIFORNIA BUILDING CODE</p> <p>2022 CALIFORNIA RESIDENTIAL CODE</p> <p>2022 CALIFORNIA MECHANICAL CODE</p> <p>2022 CALIFORNIA PLUMBING CODE</p> <p>2022 CALIFORNIA ELECTRICAL CODE</p> <p>2022 CALIFORNIA ENERGY CODE</p> <p>2022 CALIFORNIA FIRE CODE</p> <p>2022 CALIFORNIA GREEN BUILDING CODE</p> <p>CITY OF SANTA CLARA MUNICIPAL CODE</p> <p>ALL APPLICABLE COUNTY OF SANTA CLARA CODES &amp; REGULATIONS</p>	<p>1) 2,519.5 SF NEW HOME INCLUDING 1,403.6 SF NEW LIVING AREA, 405.9 SF NEW GARAGE, 23.6 SF NEW FRONT PORCH, AND 686.4 ATTACHED ADU</p> <p>2) FULL DEMOLITION OF EXISTING HOUSE &amp; ACCESSORY STRUCTURES.</p> <p>3) SERVICE PANEL UPGRADE TO 200 AMPS</p> <p>4) NEW 2-CAR DRIVEWAY</p> <p>NOTE : THIS PROJECT SHALL BE ALL ELECTRIC AND NO GAS SERVICE SHALL BE ALLOWED. EXISTING GAS SERVICE &amp; METER SHALL BE CAPPED AND SEALED.</p>	<p>1) AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13D OR SECTION R313(R313.2.1)</p> <p>2) APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.</p>	<p>SMOOTH STUCCO    WOOD SIDING    SHINGLE ROOFING</p> <table border="1"> <thead> <tr> <th>TITLE</th> <th>TYPE</th> <th>INFO</th> </tr> </thead> <tbody> <tr> <td>ROOF</td> <td>SHINGLE ROOFING</td> <td>DARK CHARCOAL</td> </tr> <tr> <td>SIDING</td> <td>STUCCO / WOOD</td> <td>WHITE SMOOTH / WOOD</td> </tr> <tr> <td>GARAGE DOOR</td> <td>CLOPAY</td> <td>DARK GREY / GLASS</td> </tr> <tr> <td>DOOR</td> <td>FEATHER RIVER DOORS</td> <td>DARK GRAY / GLASS</td> </tr> <tr> <td>WINDOWS</td> <td>MILGARD</td> <td>TUSCANY / DARK GREY</td> </tr> </tbody> </table>	TITLE	TYPE	INFO	ROOF	SHINGLE ROOFING	DARK CHARCOAL	SIDING	STUCCO / WOOD	WHITE SMOOTH / WOOD	GARAGE DOOR	CLOPAY	DARK GREY / GLASS	DOOR	FEATHER RIVER DOORS	DARK GRAY / GLASS	WINDOWS	MILGARD	TUSCANY / DARK GREY
TITLE	TYPE	INFO																				
ROOF	SHINGLE ROOFING	DARK CHARCOAL																				
SIDING	STUCCO / WOOD	WHITE SMOOTH / WOOD																				
GARAGE DOOR	CLOPAY	DARK GREY / GLASS																				
DOOR	FEATHER RIVER DOORS	DARK GRAY / GLASS																				
WINDOWS	MILGARD	TUSCANY / DARK GREY																				





**LINE DESIGN BUILD**  
 Phone: 415-426-0146  
 Email: info@linedesignbuild.com

REVISION TABLE

NO.	REVISION DATE	BY	CHK
01	08/02/2025	R.A.	PLN
02	08/18/2025	R.A.	PLN

PROJECT ADDRESS:  
 1252 Cabrillo Ave  
 Santa Clara, CA 95050  
 (Main House and Attached ADU)

SCALE:

1/8"=1'-0"

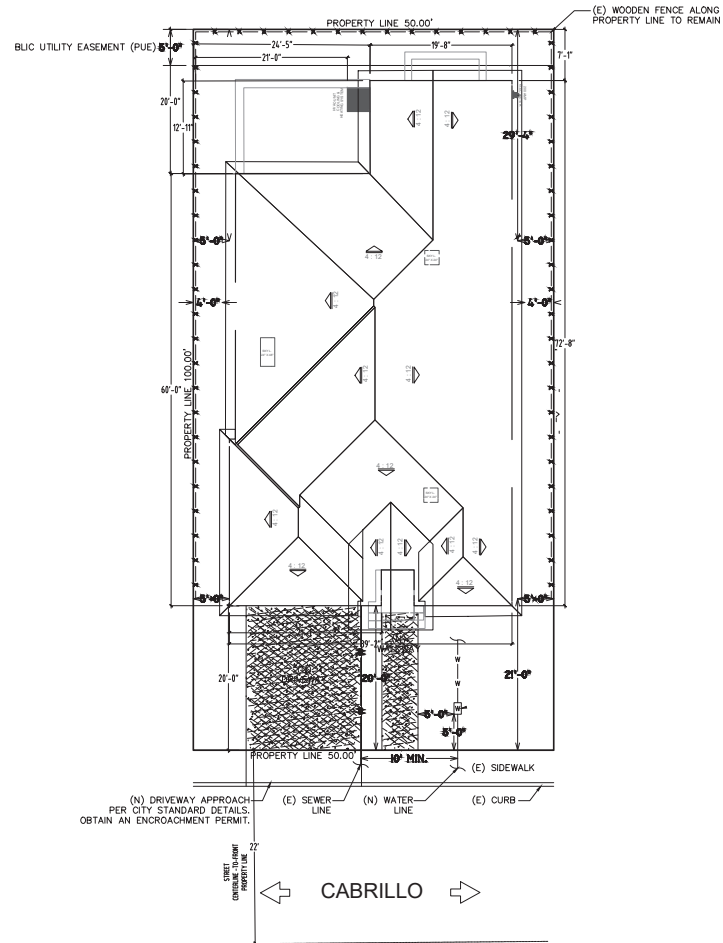
DATE	BY	CHK
08/18/2025	R.A.	PLN
08/18/2025	M.E.	CHK
08/18/2025	R.A.	PLN

SHEET:

A 0.1

DRAWING NUMBER

2 OF 10



PROPOSED SITE PLAN  
 SCALE: 1/8"=1'-0"



REVISION TABLE:

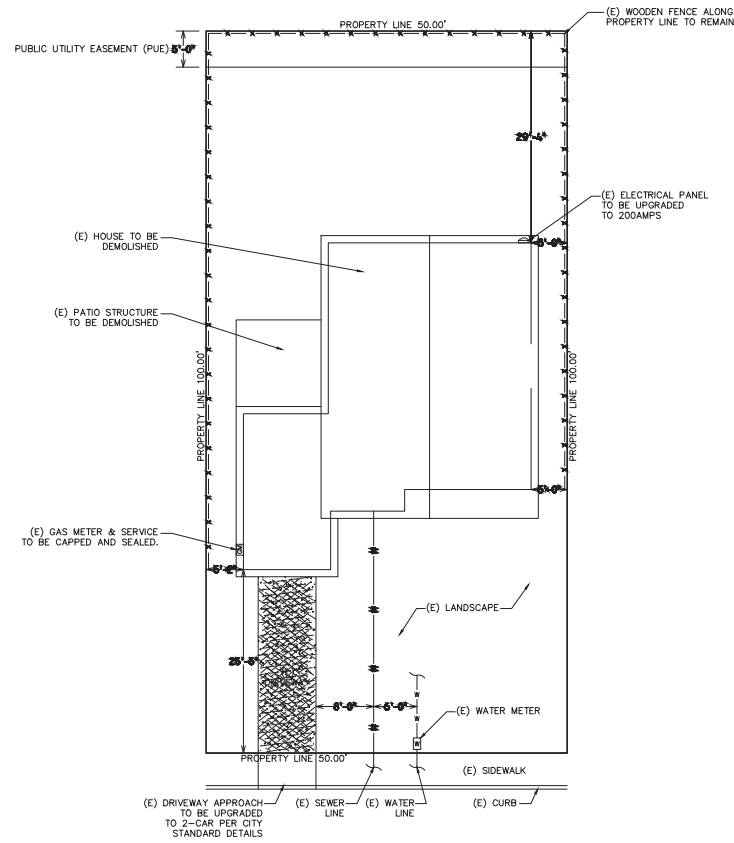
REVISION	DATE	BY	DESCRIPTION
01	08/05/2025	R.A. PLN	
02	08/18/2025	R.A. PLN	

PROJECT ADDRESS:  
1252 Cabrillo Ave  
Santa Clara, CA 95050  
(Main House and Attached ADU)

SCALE:  
1/8" = 1'-0"

DATE	BY
08/18/2025	R.A. PLN
08/18/2025	R.A. PLN
08/18/2025	R.A. PLN
08/18/2025	R.A. PLN

SHEET:  
A 1.1  
DRAWING NUMBER  
3 OF 10



← CABRILLO →

EXCITING SITE PLAN  
SCALE: 1/8"=1'-0"

LEGEND	
	PROPERTY LINE
	ROOF LINE
	WALL BELOW ROOF
	SETBACK LINE, REQUIRED
	EXISTING FENCE
	EXISTING WATER LINE, FIELD VERIFY
	EXISTING SEWER LINE, FIELD VERIFY
	EXISTING GAS LINE, FIELD VERIFY
	CONCRETE



REVISION TABLE

REVISION DATE	BY	DESCRIPTION
01/08/2025	R.A. PLM	01
08/18/2025	R.A. PLM	02

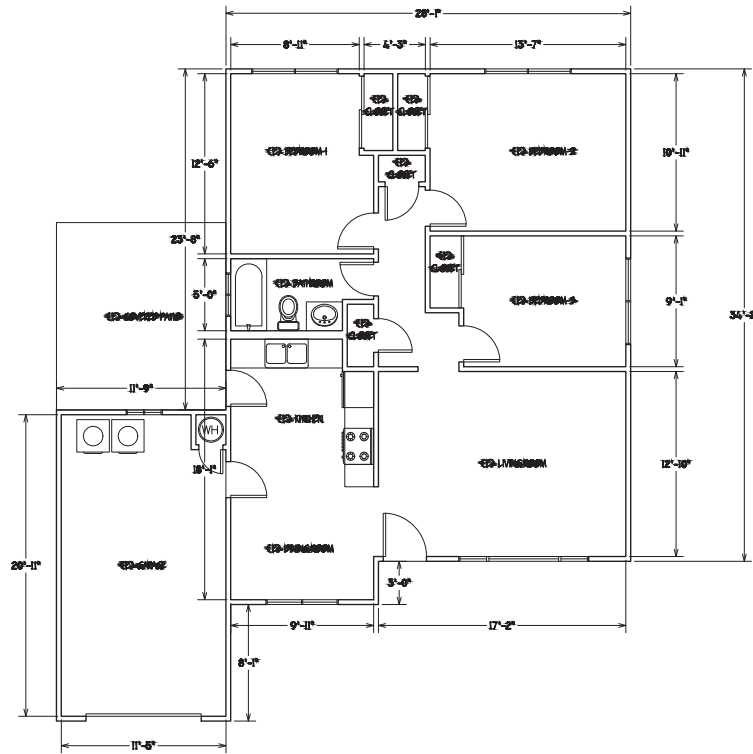
PROJECT ADDRESS:  
1252 Cabrillo Ave  
Santa Clara, CA 95050  
(Main House and Attached ADU)

SCALE:  
1/4" = 1'-0"

DATE	BY	DESCRIPTION
08/18/2025	PLM	PLANNING

SHEET

A 2  
DRAWING NUMBER  
4 OF 10



EXISTING FLOOR PLAN  
SCALE: 1/4"=1'-0"

WALL SCHEDULE

LEGEND	DESCRIPTION
	EXISTING WALL TO BE DEMOLISHED (2X4 WOOD STUDS)



REVISION TABLE:

NO.	REVISION DATE	BY	CHK
01	08/05/2025	R.A.	PLN
02	08/18/2025	R.A.	PLN

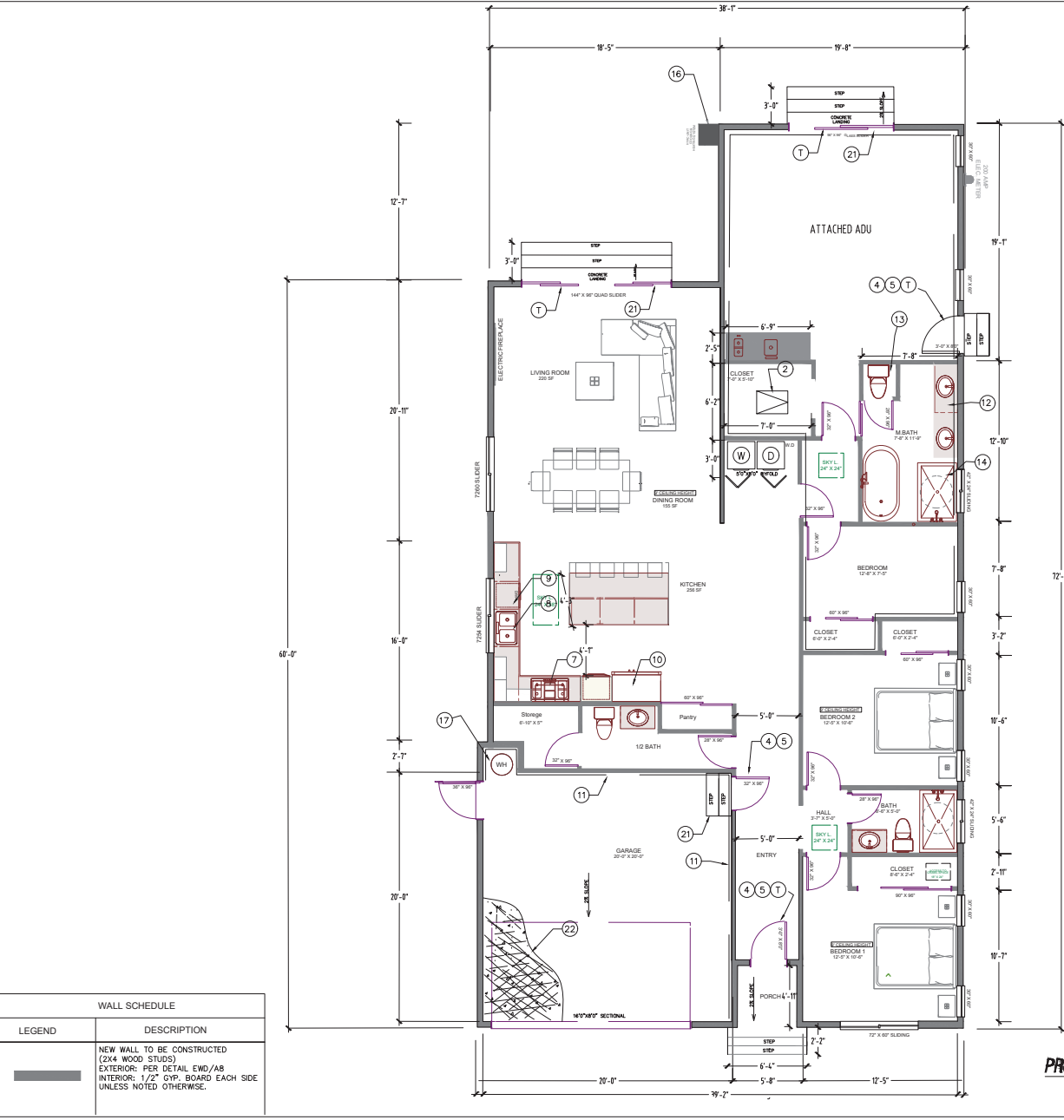
PROJECT ADDRESS:  
 1252 Cabrillo Ave  
 Santa Clara, CA 95050  
 (Main House and Attached ADU)

SCALE:  
 1/4"=1'-0"

DATE	BY	CHK
08/05/25	R.A.	PLN
08/18/25	R.A.	PLN

A 3  
 DRAWING NUMBER  
 5 OF 10

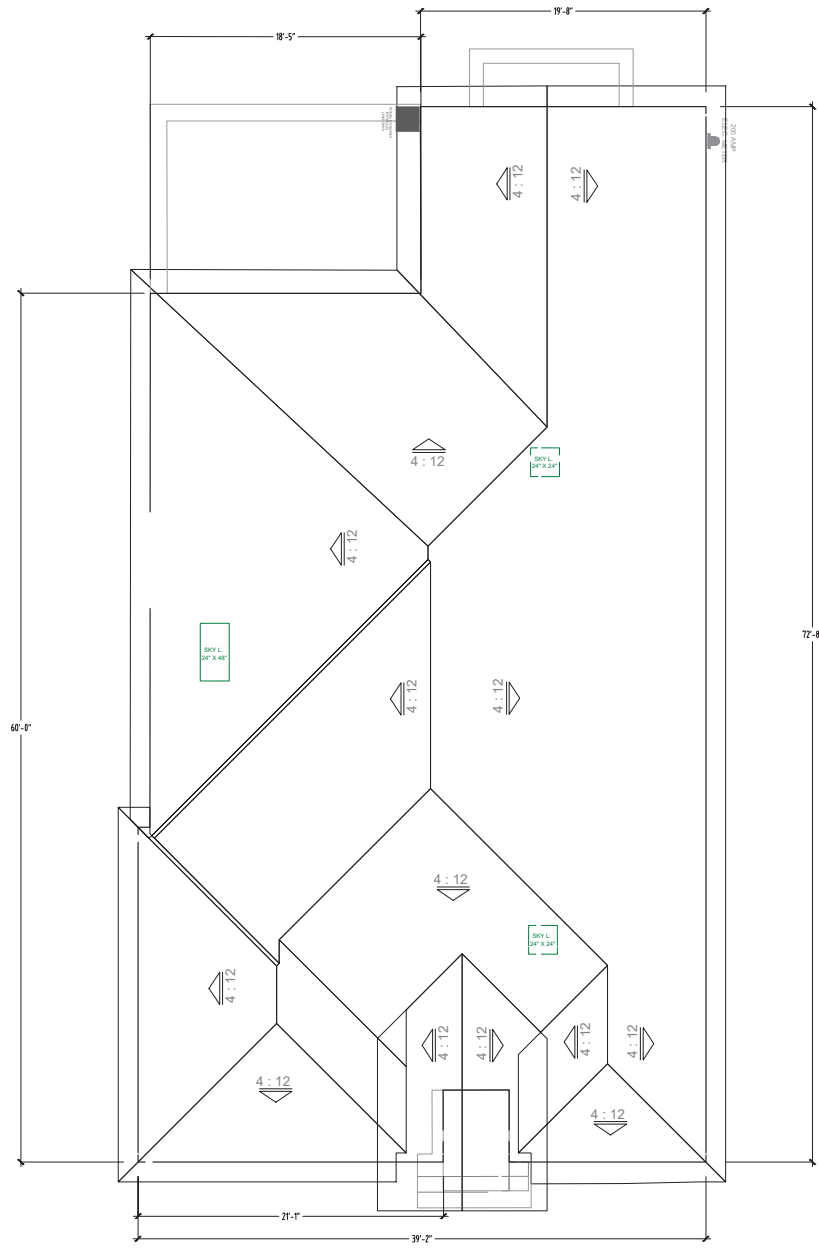
KEYNOTE	
1	DOUBLE GLAZED LOW-E WINDOW U-FACTOR & SHGC PER T24 ENERGY CALCULATIONS SEE 6/AS.0 FOR FLASHING DETAIL.
2	30"x30" ATTIC ACCESS OPENING W/ 30" MIN. CLEAR HEADROOM ABOVE OPENING (CRC R807.1)
3	18"x24" MIN. CRAWL SPACE ACCESS (CRC R.408.4.)
4	PROVIDE WEATHER STRIPPING
5	SOLID WOOD DOOR NOT LESS THAN 1-3/8 INCHES IN THICKNESS. SOLID OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1-3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOOR, EQUIPPED WITH A SELF-CLOSING AND SELF-LATCHING DEVICE. (CRC R302.5.1)
6	MAIN ENTRY DOOR TO BE OPENABLE FROM INSIDE W/O USE OF KEY, SPECIAL KNOWLEDGE, OR EFFORT; WITH MIN. 32" CLEAR WIDTH & MIN. 78" CLEAR HEIGHT (CRC R.311.2.)
7	ELECTRIC RANGE WITH MIN. 100 CFM HOOD TO EXHAUST TO OUTSIDE OF THE BUILDING
8	SINK WITH GARBAGE DISPOSAL
9	DISHWASHER
10	36"-48" CLEAR REFRIGERATOR SPACE; PLUMB FOR WATER SUPPLY
11	PROVIDE 5/8" TYPE X SHEETROCK FROM FLOOR TO ROOF FLYWOOD (CRC SEC. R302.6 & TABLE R302.6)
12	LAVATORY SINK WITH A MAX. FLOW OF 1.2 GPM AT 60 PSI FOR FAUCET (CGBC 4.303.1.4.1)
13	WATER CLOSET WITH MIN. 24"(DEPTH) X 30"(WIDTH) ACCESS AREA (CPC 402.5)
14	CONTROL VALVE & SHOWER HEAD WITH A MAX. FLOW OF 1.8 GPM AT 80 PSI (CGBC 4.303.1.3.1)
15	PROVIDE TEMPERED GLASS SHOWER DOOR ENCLOSURE W/ A MIN. CLEAR UNOBSTRUCTED FINISHED WIDTH OF 22 INCHES. SEE TUB/SHOWER REQUIREMENTS SHEET AS.1.
16	HEAT PUMP PER ENERGY REPORT.
17	HYBRID WATER HEATER PER ENERGY REPORT
18	WASHER/DRYER MACHINES. SEE MECHANICAL NOTES SHEET AS.1.
19	VELUX FCM/ICE SKYLIGHT (OR APPROVED EQUAL) PER SKYLIGHT DETAILS & NOTES SHEET AS.0 & AS.1
20	EXTERIOR DOOR LANDING FOR REQUIRED EGRESS DOORS SHALL BE 7.75" (MAX.) FOR IN-SWING & 1-1/2" (MAX.) FOR OUT-SWING DOORS FROM THE TOP OF THE THRESHOLD TO THE LANDING. (CRC R311.3.1).
21	DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7.75" INCHES BELOW THE TOP OF THE THRESHOLD. (CRC R311.3.2) SEE EXTERIOR STEP NOTES & DETAIL SHEET AS.1.
22	GARAGE FLOOR SLAB WITH 2% SLOPE
T	PROVIDE TEMPERED GLASS
E	EGRESS WINDOW TO COMPLY WITH FLOOR PLAN NOTES#7 SHEET AS 1



WALL SCHEDULE	
LEGEND	DESCRIPTION
	NEW WALL TO BE CONSTRUCTED (2x4 WOOD STUDS) EXTERIOR: PER DETAIL EWD/AB INTERIOR: 1/2" GYP. BOARD EACH SIDE UNLESS NOTED OTHERWISE.

**PROPOSE FLOOR PLAN**  
 SCALE: 1/4"=1'-0"





**PROPOSE ROOF PLAN**

SCALE: 1/4"=1'-0"



**LINE DESIGN BUILD**  
 Phone: 415-426-0146  
 Email: info@linedesignbuild.com

REVISION TABLE:

NO.	REVISION DATE	BY	DEP
01	08/05/2025	R.A.	PLN
02	08/18/2025	R.A.	PLN

PROJECT ADDRESS:  
 1252 Cabrillo Ave  
 Santa Clara, CA, 95050  
 (Main House and Attached ADU)

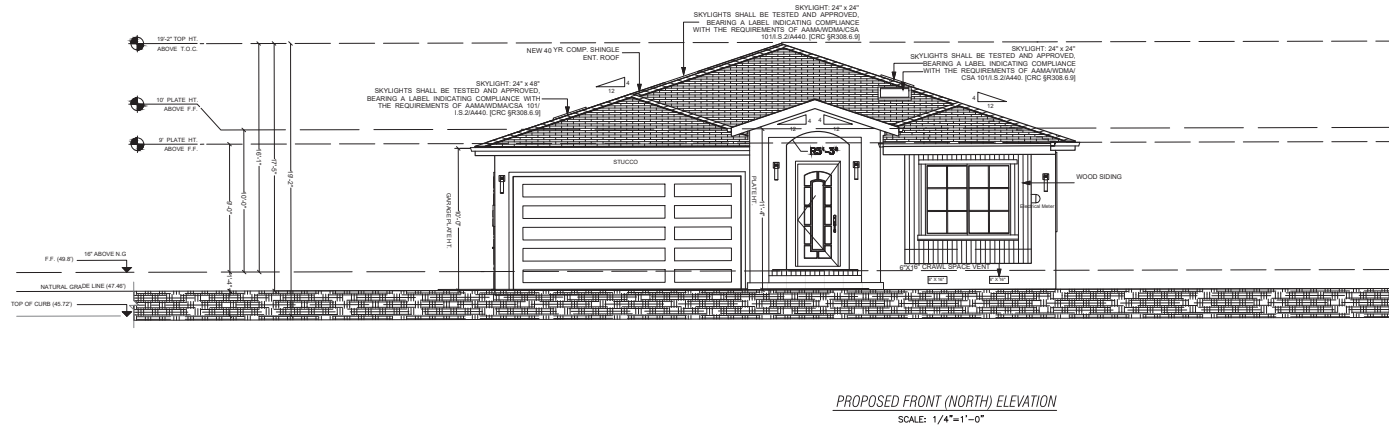
SCALE:  
 1/4"=1'-0"

Drawn by	R.A.
Checked	R.A.
Date	08/25
Drawn	08/18/2025
Drawn by	PLN/RRG

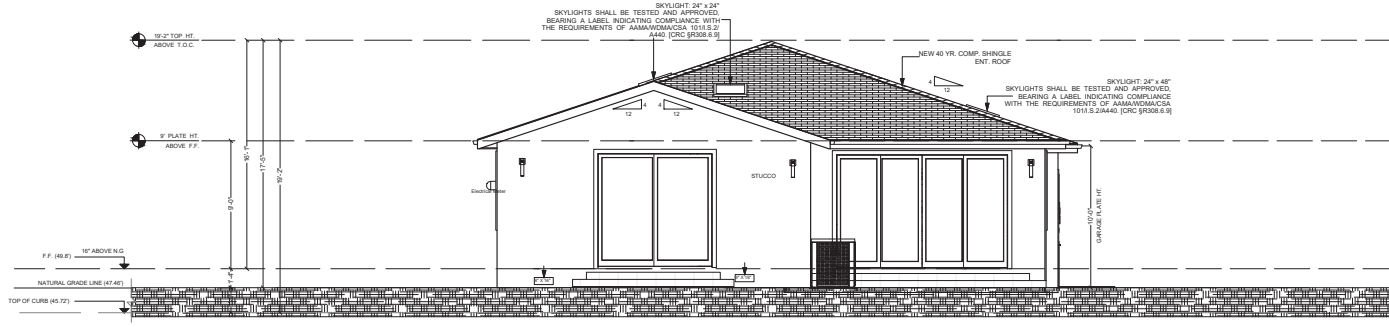
SHEET:  
 A 4  
 DRAWING NUMBER  
 6 OF 10

**ELEVATION NOTES**

- 1) FINISH GRADE WITHIN 10' OF THE HOUSE SHALL HAVE A MIN. 5% SLOPE AWAY FROM FOUNDATION FOR PERVIOUS SURFACE AND MIN. 2% SLOPE FOR IMPERVIOUS SURFACE (CBC 1804.3).
- 2) ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MIN. OF 12 INCHES PLUS 2%.
- 3) EXISTING DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.
- 4) ROOFING MATERIAL SHALL HAVE 2-LAYERS OF # 30 FELT AS UNDERLAY AND FASTENED TO ROOF SHEATHING WITH CORROSION RESISTANT FASTENERS, TYPICAL (CRC R905.2.5).
- 5) FLASHING (CBC 1507 AND CRC R905.2.8-R905.2.8.4) PROVIDE ROOF FLASHING AT ALL WALL AND ROOF INTERSECTIONS, GUTTERS, AND WHERE THERE IS A CHANGE IN THE ROOF SLOPE OR DIRECTION AROUND ROOF OPENINGS. FLASHING SHALL BE A MINIMUM 26 GAUGE CORROSION-RESISTANT GALVANIZED METAL.
- 6) DRIP EDGE (CBC 1507.2.8.3 AND CRC R905.2.8.5) PROVIDE A DRIP EDGE AT EAVES AND GABLES OF ASPHALT SHINGLE ROOFS. ADJACENT PIECES OF THE DRIP EDGE SHALL BE OVERLAPPED A MINIMUM OF 2 INCHES. THE DRIP EDGE SHALL EXTEND ¼ INCH BELOW THE ROOF SHEATHING AND A MINIMUM OF 2 INCHES UP THE ROOF DECK. THE DRIP EDGE SHALL BE MECHANICALLY FASTENED TO THE ROOF DECK AT A MAXIMUM OF 12 INCHES WITH APPROVED FASTENERS. THE UNDERLAYMENT SHALL BE INSTALLED OVER THE DRIP EDGE ALONG THE EAVES, AND UNDER THE DRIP EDGE AT GABLES (RAKE EDGES). SHINGLES CAN BE FLUSH WITH THE DRIP EDGE IF ALLOWED BY THE MANUFACTURER.
- 7) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.6.3).
- 8) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING (R703.6.2).
- 9) A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH (R703.6.2.1);
  - A) A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
  - B) THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.
- 10) WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR "U-FACTOR" & "SHGC" AS REQUIRED PER ENERGY CODE. SEE ENERGY COMPLIANCE INFORMATION ON SHEET T-24.
- 11) CRAWL SPACE VENTS SHALL NOT OCCUR AT SHEAR WALLS.
- 12) MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA (R408.2).
- 13) ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING (R408.2).
- 14) 50% TO 70% OF EYEBROW VENTS SHALL BE IN THE UPPER 1/3 OF ROOF STRUCTURE.
- 15) Shielded light fixtures where necessary to direct light to the ground and protect adjacent properties from excessive glare.



PROPOSED FRONT (NORTH) ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED REAR (SOUTH) ELEVATION  
SCALE: 1/4"=1'-0"

**ATTIC VENTILATION CALCULATIONS**

MANUFACTURER: CONSTRUCTION METALS  
 MODEL: LPDH18-0.125 (OR APPROVED EQUAL)  
 VENT OPENING: 18" X 7"  
 NET FREE AREA: 81 SQ. INCH (0.56 SF)  
 NEW ATTIC SPACE: 2,595 SF  
 REQUIRED VENTILATION (SF):  $\frac{2595}{185} = 16.79$   
 REQUIRED VENTS (#):  $\frac{16.79}{0.56} = 30$

**UNDERFLOOR VENTILATION CALCULATIONS**

MANUFACTURER: CONSTRUCTION METALS  
 MODEL: SCV166 (OR APPROVED EQUAL)  
 VENT OPENING: 6" X 16"  
 NET FREE AREA: 96" SQ. INCH ( 0.667 SF)  
 UNDERFLOOR SPACE: 2,113.6 SF  
 REQUIRED VENTILATION (SF):  $\frac{2113.6}{500} = 4.23$   
 REQUIRED VENTS (#):  $\frac{4.23}{0.667} = 6.34$



**LINE DESIGN BUILD**  
 Phone: 415-426-0146  
 Email: info@linedesignbuild.com

REVISION TABLE:

NO.	REVISION DATE	BY	CHK
01	08/06/2025	R.A.	PLN
02	08/18/2025	R.A.	PLN

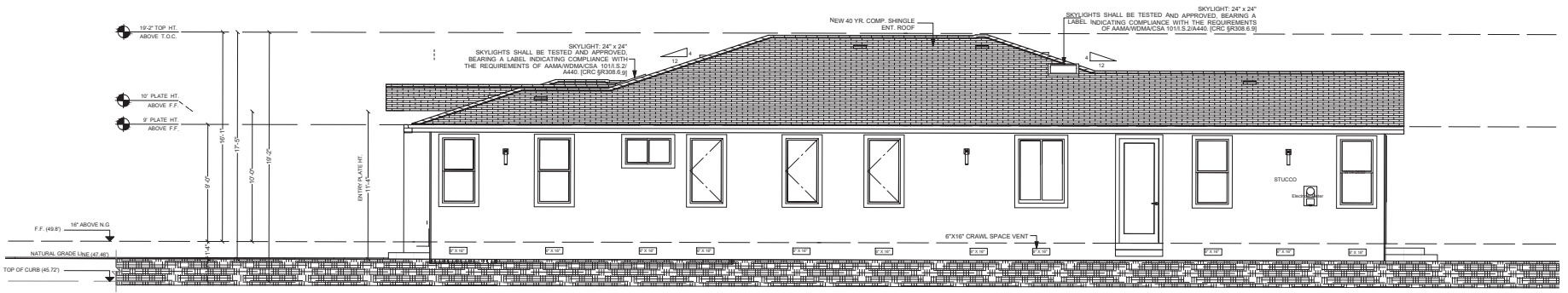
PROJECT ADDRESS:  
 1252 Cabrillo Ave  
 Santa Clara, CA, 95050  
 (Main House and Attached ADU)

SCALE:  
 1/4" = 1'-0"

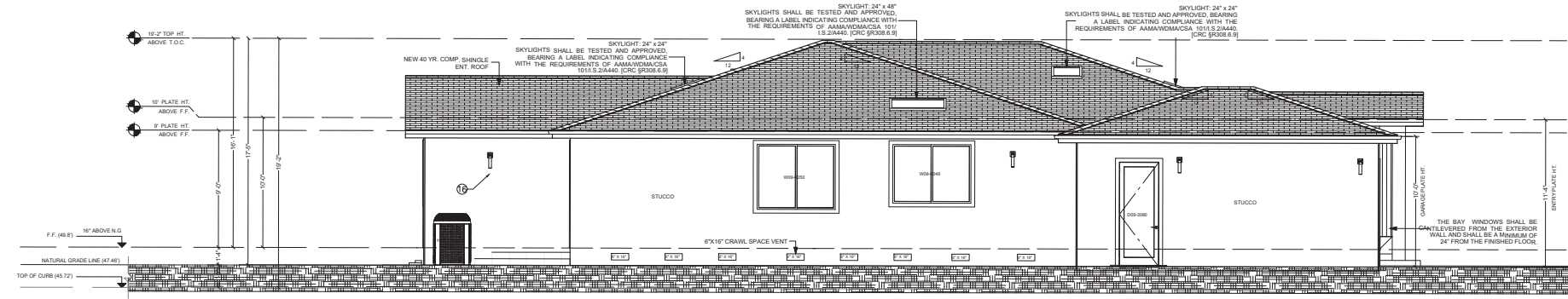
DATE	R.A.
08/06/2025	M.S.
08/07/2025	
08/18/2025	
PLANNING	

A 5  
 DRAWING NUMBER  
 7 OF 10





**PROPOSED LEFT (EAST) ELEVATION**  
SCALE: 1/4"=1'-0"

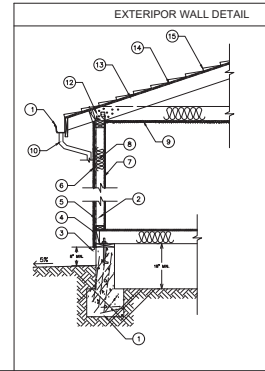


**PROPOSED RIGHT (WEST) ELEVATION**  
SCALE: 1/4"=1'-0"

REVISION TABLE:

NO.	REVISION DATE	BY	DEP.
01	08/09/2020	R.A.	PLN
02	08/18/2020	R.A.	PLN

PROJECT ADDRESS:  
1252 Cabrillo Ave  
Santa Clara, CA, 95050  
(Main House and Attached ADU)



**KEYNOTE**

1	FOUNDATION PER PLAN	6	3-COAT OF 7/8" STUCCO APPLIED OVER METAL LATH (CRC R703.6)	11	CORROSION RESISIANI GUILLER	16	
2	STUD WALL PER PLAN	7	1/2" SHEETROCK	12	ROOF FRAMING PER PLAN		
3	STUCCO WEEP SCREED @ FOUNDATION PLATE LINE, 4" MIN. ABOVE THE EARTH, 2" MIN. ABOVE PAVED AREAS. TYP. (R703.6.2.1)	8	INSULATION PER PLAN	13	ROOF SHEATHING PER PLAN		
4	WALL SHEATHING PER PLAN	9	5/8" SHEETROCK	14	#30 FELT UNDERLAYMENT		
5	2-LAYERS OF GRADE D PAPER AS WATER-RESISTIVE BARRIER (CRC R703.2 / R703.6.3)	10	NONCOMBUSTIBLE OR A MIN. OF SCHEDULE 40 PLASTIC PIPE DOWNSPOUT, TYP. (CBC 1502.4)	15	ROOFING PER PLAN		

SCALE:

1/4"=1'-0"

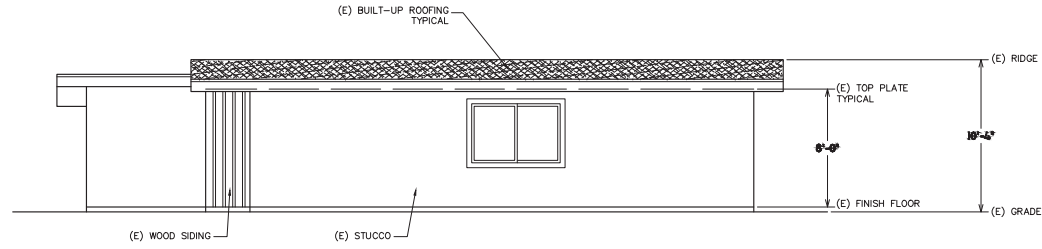
PROPERTY	VALUE
DESIGNED BY	M.S.
CHECKED BY	001-25
DATE	08/18/2020
PROJECT	PLANNING

A 6

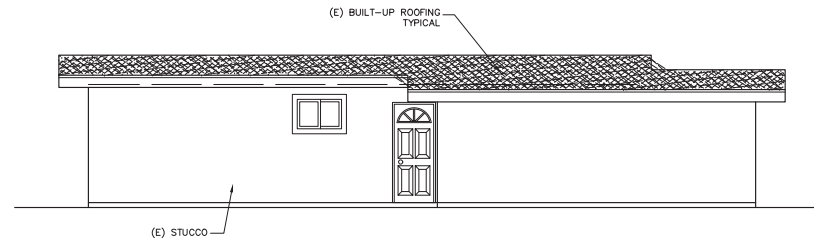
DRAWING NUMBER

8 OF 10





EXCITING NORTH/RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



EXCITING SOUTH/LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

REVISION TABLE:

REVISION	DATE	BY	DEP
01	08/05/2025	R.A.	PLN
02	08/18/2025	R.A.	PLN

PROJECT ADDRESS:

1252 Cabrillo Ave  
Santa Clara, CA, 95050  
(Main House and Attached ADU)

SCALE:

1/4"=1'-0"

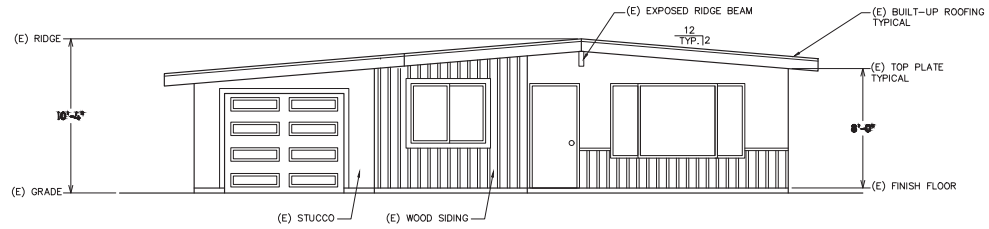
DESIGNED BY	R.A.
DRAWN BY	M.S.
CHECKED BY	001/25
DATE	08/18/2025
PROJECT	PLANING

SHEET:

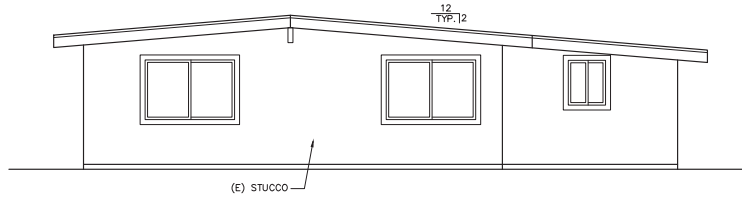
A 7

DRAWING NUMBER

9 OF 10



EXCITING EAST/FRONT ELEVATION  
SCALE: 1/4"=1'-0"



EXCITING WEST/ REAR ELEVATION  
SCALE: 1/4"=1'-0"

REVISION TABLE

NO.	REVISION DATE	BY	DEP.
01	08/05/2025	R.A.	PLN
02	08/18/2025	R.A.	PLN

PROJECT ADDRESS:  
1252 Cabrillo Ave  
Santa Clara, CA, 95050  
(Main House and Attached ADU)

SCALE:  
1/4" = 1'-0"

DATE	BY	DEP.
08/05/2025	R.A.	PLN
08/18/2025	R.A.	PLN

PLANNING

SHEET:  
A 8  
DRAWING NUMBER  
10 OF 10



## Agenda Report

25-956

Agenda Date: 9/17/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

Public Hearing: Action on An Architectural Review (PLN25-00266) for the Demolition of an Existing Residence to Construct a 1,645 Square Foot Three Bedroom, Two & a Half Bathroom, Single-Family Residence with a 475 Square Foot Attached Two-Car Garage on a 5,384 Square Foot Lot at 2495 Painted Rock.

**File No.:** PLN25-00266

**Location:** 2495 Painted Rock Drive

**Applicant:** Ramin Zohoor

**Owner(s):** Guillermo Segura Flores

**Request:** **Architectural Review** for the demolition of an existing residential building to construct a 1,645 square foot three-bedroom, two and a half-bathroom single-family residence with a 475 square foot attached garage.

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The proposed project is in a residential tract that consist of single-story ranch style residences as shown in the Vicinity Map on Attachment 1.
- The site currently consists of an 897 square-foot one-story, three-bedroom, one-bathroom single family residence built in 1954. The property has an existing non-conforming attached one-car garage.
- The existing single-family residence is a non-conforming structure as it does not have a required two car garage per the R1-6L Zoning District regulations. All new construction is required to conform to the R1-6L Zoning District regulations and provide a two-car garage.
- There are no significant historical features in the existing residence other than the age of the structure therefore not eligible to be designated a Historical Resource under Santa Clara City Code ("SCCC") 18.130.040.
- Per SCCC 18.120.020 (E) and 18.120.020(D)(7), the request to demolish an existing structure requires an Architectural Review approval through a Development Review Hearing (DRH).
- The result of the project will be a 1,645 square foot three-bedroom, two & a half bathroom single family residence with a 475 square foot attached two-car garage.
- The proposal includes construction of a 420 square foot attached Accessory Dwelling Unit ("ADU"). Per SCCC 18.60.020 an attached ADU is subject to a ministerial approval and will be approved through the Zoning Clearance after the proposal for the main house is approved at the DRH.
- The applicant proposes a contemporary take on the tract-home architectural style with a minimalistic roof form and massing.

- The proposed construction will consist of new composition roofing shingles, stucco, and wood siding in the lower portion of the front façade and on the entry feature
- The project is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
  - Building height and bulk is appropriate relative to the neighborhood.
  - The architectural features of the proposal are appropriate for the neighborhood
  - The roof materials, building materials, and finishes work in conjunction with one another and are consistent with the architectural style of the building.
- The front elevation's design went through multiple revisions to ensure it met the City's design guidelines. The entry feature's roof was incorporated into the proposed structure's roof to reduce the complexity of the rooflines. The roof now consists of two gables instead of three.
- The proposed project meets the required findings set forth in Santa Clara City Code 18.120 for Architectural Review.
- There are no active City code enforcement cases for this property.
- A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

#### **FINDINGS SUPPORTING STAFF'S RECOMMENDATION**

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
  - The proposal is consistent with Santa Clara City Code Section 18.38.060D as the new construction has code compliant 20' by 20' two-car garage.
  - The proposed parking spaces are not located in the required front yard or side yard landscape areas
  - The proposal provides areas surfaced with all-weather materials for vehicle parking.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
  - The proposed construction would not create any traffic congestion or hazards.
  - The public streets are adequate size to accommodate a single-family residence of this size.
  - The proposed design matches nearby residence in scale and would not impair the desirability of the neighborhood.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
  - The proposed project is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
    - Building height and bulk is appropriate relative to the neighborhood.
    - Roof materials, building materials, and finishes work in conjunction with one another

and consistent with the architectural style of the building.

- Architectural features of the proposed design are true to the architectural form and appropriate for the neighborhood.

Portions of the front façade will have wood siding to break the plain expanse.

A tree will be planted in the front yard to provide shade, soften the building, improve the streetscape, and comply with the City's Climate Action Plan.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*

- The project is subject to the California Building Code and City Code requirements. Which serve to regulate new construction to protect public health, safety, and general welfare.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*

- The proposed construction is consistent with the City's Single-Family & Duplex Residential Design Guidelines (2014):
  - The project would create a house design that is compatible in scale and character with the housing types that are typical in the neighborhood as the proposed design will have similar massing to the adjacent properties.
- The proposed construction complies with the R1-6L Zoning Districts development standards.
- The proposed construction complies with the intent of the Santa Clara General Plan and all its policies.

## **CONDITIONS OF APPROVAL**

Conditions of approval are proposed for the project and are contained in Attachment 3.

## **ENVIRONMENTAL REVIEW**

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (Class 32 - Infill Development Projects), in that the project site is less than five acres, served by utilities, and complies with the General Plan

## **PUBLIC CONTACT**

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on September 4, 2025. As of the writing of this report, planning staff has not received public comments for this application.

## **RECOMMENDATION**

**Determine** the project to be exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Section 15332 (Class 32 -- Infill Development Projects), and **Approve** the Architectural Review for the demolition of an existing residential building to construct a 1,645 square foot three-bedroom, two and a half-bathroom single-family residence with a 475 square foot attached garage on a 5,384 square foot lot at 2495 Painted Rock Drive, subject to findings and conditions of approval.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department  
Reviewed by: Nimisha Agrawal, Senior Planner, Community Development Department  
Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

#### **ATTACHMENTS**

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans



## Vicinity Map (Zoning) for 2495 Painted Rock



### Legend

- Base Layers
- Site Addresses
    - Single
  - Streets
  - Land Parcels
    - Land Parcels



### Notes

PLN25-00266

created on 08/22/2025 08:59:03





**Attachment 2: Project Data/Compliance**

**Project Address: 2495 Painted Rock Drive  
Zoning: R1-6L**

**Project Number: PLN25-00266**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Requirement</b>	<b>Complies? (Y/N)</b>
<b>Lot Area (SF) (min):</b>	5,384	5,384	6,000	N (Existing Lot)
<b>Lot Area per Dwelling Unit (SF):</b>	5,384	5,384	--	--
<b>Building Square Footage (SF)</b>				
<b>1<sup>st</sup> Floor:</b>	897	1,610	--	--
<b>2<sup>nd</sup> Floor:</b>	--	-	--	--
<b>Garage:</b>	--	475	--	--
<b>Porch/Patio:</b>	--	35	--	--
<b>Total:</b>	897	2,085	--	--
<b>Floor Area Ratio:</b>	0.16	0.39	--	--
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor:</b>	--	--	66% max	--
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	0.16	0.39	40% max	Y
<b>Rear Yard Accessory Building Coverage:</b>	--	--	40% max	--
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	24'- 3"	20	20	Y
<b>Left Side (1<sup>st</sup> floor):</b>	6'- 7"	5'- 2"	5	Y
<b>Right Side (1<sup>st</sup> floor):</b>	7'- 2"	8'- 11"	5	Y
<b>Rear (1<sup>st</sup> floor):</b>	41'- 3"	20	20	Y
<b>Accessory Dwelling Unit Setbacks &amp; Square Footage</b>				
<b>Size (SF)</b>	--	420	1,000 max	Y
<b>Front (FT):</b>	--	48'	20	Y
<b>Side (FT) – left :</b>	--	31'- 4"	4	Y
<b>                    right:</b>	--	6'	4	Y
<b>Rear (FT):</b>	--	13'- 6"	10' PUE	Y
<b>Height (FT)</b>				
<b>Main building:</b>	16	18	24	Y
<b>Accessory Dwelling Unit:</b>	--	18	18	Y
<b># of Bedrooms/Bathrooms:</b>	2/1	3/2.5	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street</b>	1	2	2	Y
<b>Common Living Area (SFR)</b>	28%	32%	Min 25%	Y
<b>Open Landscaped Area (Front):</b>	1,040	1,040	--	--

PUE: Public Utility Easement

## Conditions of Architectural Review Approval

PLN25-00266 / 2495 Painted Rock Drive

**An Architectural Review for the demolition of an existing residential building to construct a 1,645 square foot three-bedroom, two and a half-bathroom single-family residence with a 475 square foot attached garage.**

### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Development Review Officer and all appeal periods have been exhausted. The expiration date is September 24, 2027
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Planting (On-site).** One code compliant tree (minimum size: 15- gallon) shall be planted on-site in the front yard. (SCCAP N-1-2)

### DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

#### **OPERATIONAL CONDITIONS**

- P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.
- P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

#### **KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)

**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

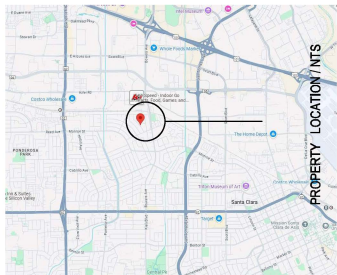
Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.

# 2495 PAINTED ROCK DR RESIDENCE

SANTA CLARA, CA 95051

- \* FIRE SPRINKLERS UNDER SEPARATE PERMIT
- \* 2.92 kWdX DC PV SYSTEM UNDER SEPARATE PERMIT
- \* EV CHARGER SEPARATE PERMIT

## VICINITY MAP:



## PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 216-16-009  
 PROJECT TYPE: NEW RESIDENTIAL HOUSE  
 PROJECT LOCATION: 2495 PAINTED ROCK DR, SANTA CLARA, CA 95051  
 ZONING: R1-SL  
 OCCUPANCY GROUP: R-3 / U  
 CONSTRUCTION TYPE: V-B  
 NUMBER OF FLOORS: 1  
 FIRE PROTECTION: HOUSE & ADU FIRE SPRINKLERS UNDER SEPARATE PERMIT  
 BEDROOM NUMBER: MAIN HOUSE 3 BEDROOMS  
 BATHROOM NUMBER: ADU 1  
 GARAGE: MAIN HOUSE 2 FULL BATHROOMS  
 LOT SIZE: 2 COVERED ATTACHED 5384 SQ.FT  
 FLOOR AREA RATIO: 40 % (NOT INCLUDING ADU)  
 SF OF COMMON LIVING SPACE: 1610 HABITABLE MAIN HOUSE  
 ADU HABITABLE SPACE: 420 HABITABLE ATTACHED ADU  
 OPEN LANDSCAPE AREA: 2600 SQ.FT  
 EXISTING BUILDING YEAR: 1964

## CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL	2022 EDITION
B. CALIFORNIA BUILDING	2022 EDITION
C. CALIFORNIA GREEN BUILDING	2022 EDITION
D. CALIFORNIA MECHANICAL	2022 EDITION
E. CALIFORNIA PLUMBING	2022 EDITION
F. CALIFORNIA ELECTRICAL	2022 EDITION
G. CALIFORNIA ENERGY	2022 EDITION
H. CALIFORNIA FIRE	2022 EDITION
ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.	2022 EDITION
I. SANTA CLARA MUNICIPAL CODE	2022 EDITION

## PROJECT CONTACT:

OWNER: GULEMERO  
 2495 PAINTED ROCK DR,  
 SANTA CLARA, CA 95051  
 DESIGNER: RAMIN ZOHOR  
 GMJ CONSTRUCTION  
 2582 AMETHYST DR.,  
 SANTA CLARA, CA 95051  
 TEL: 408-780-0479  
 EMAIL: ZOHOR.RAMIN@GMAIL.COM  
 BUILDER: GMJ CONSTRUCTION  
 2582 AMETHYST DR,  
 SANTA CLARA, CA 95051  
 TEL: 408-780-0479  
 EMAIL: info@gmjconstruction.com  
 EMAIL: joseph.gmjconstruction@gmail.com  
 LIC. 966536

ENGINEER: Jose C Fernandez  
 JF Design & Engineering  
 8839 N Cedar Ave #27  
 Fresno, CA 93728  
 Tel: 408.512.8400  
 408.800.4038-tx

SURVEY: OSUNA ENGINEERING INC.  
 1949 OTTOLE WAY  
 SAN JOSE, CA 95131  
 TEL: 408-772-4281  
 EMAIL: INFO@OSUNAENGINEERING.COM

SOILS: VISHA CONSULTANTS  
 11501 DUBLIN BLVD, #200  
 DUBLIN, CA  
 TEL: 510-501-3240  
 WEB: www.vishiconsultants.com

## DRAWING INDEX:

ARCHITECTURAL PLAN:	
A-00.01:	COVER SHEET
TOPO & BOUNDARY MAP	
A-S1:	SITE PLAN CONDITIONS
A-F1:	PROPOSED FLOOR PLAN CONDITIONS
A-F2:	MAIN HOUSE ROOF PLAN CONDITIONS
A-F3:	WINDOW & DOOR SCHEDULE
A-F4:	PROPOSED ELEVATIONS
A-F5:	PROPOSED CROSS SECTIONS
A-F6:	MATERIAL BOARDS

## AREA CALCULATION:

EXISTING CONDITION:  
 DEMO EXISTING HOUSE FULL STRUCTURAL AT 897 SQ.FT.

\*\* NEW CONDITIONS

"N" MAIN HOUSE:	1610	SQ.FT.
"N" ATTACHED ADU FLR:	420	SQ.FT.
"N" ATTACHED GARAGE:	475	SQ.FT.
"N" PORCH:	35	SQ.FT.

LOT AREA: 5384 SQ  
 LOT COVERAGE (INCLUDING ADU)

1610+420+475+35 / 5384 = 2540 / 5384 = 0.471 = 47.1 %

LOT COVERAGE (NOT INCLUDING ADU)

1610+475+35 / 5384 = 2120 / 5384 = 0.393 = 40 %

## SCOPE OF WORK

- DEMO EXISTING SINGLE STORY HOUSE.
- NEW SINGLE FAMILY HOME WITH AN ATTACHED ADU.
- TOTAL 3 BEDROOMS & 2 FULL BATHROOM NEW RESIDENCE. WITH ONE BATHROOM AND STUDIO ADU.
- NEW ATTACHED TWO CARS GARAGE.
- OPEN CONCEPT KITCHEN.
- FURNACE TO BE LOCATED INSIDE THE ATTIC. HEAT PUMP.
- NEW TANK HEAT PUMP WATER HEATER.
- NEW 400 AMP ELECTRICAL PANEL.
- REMOVE EXISTING GAS METER, ALL ELECTRIC HOUSE.

## PLUMBING NOTES: (IMPORTANT READ)

All existing non-compliant plumbing fixtures in the dwelling unit shall be replaced with water conserving fixtures as listed in the table below. Note the requirements on plans.

Fixture Type	Non-Compliant (Flow rate over)	Conserving Fixtures (Max flow rate)
Kitchen Faucet	2.2 Gal/min	1.8 Gal/min @ 60 psi
Other Faucets	2.2 Gal/min	1.2 Gal/min @ 60 psi
Shower*	2.5 Gal/min	1.8 Gal/min @ 80 psi
Water Closet	1.6 Gal/flush	1.28 Gal/flush

\*Flow rates combined for all showerheads and/or other outlets controlled by a single valve. (CGBCS 4.303, California CIV 1101.4))

## PERMIT NOTES:

- Applications for which no permit is issued with 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- Every permit issued shall become invalid unless work authorized is suspended or abandon for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than ONE extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactivation fee shall be approximately 100% of the original permit fee, per CRC R105.5.

## GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

## HERS NOTES:

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT, PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

## ADDITIONAL NOTES:

MINIMUM 65 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED PER CALIFORNIA GREEN BUILDING CODE SECTION 4.406.1

ADDITION and REVISIONS LOG:

## 2495 Painted Rock Dr RESIDENCE

2495 Painted Rock Dr  
 Santa Clara, CA 95051

REVISION TABLE:



RAMIN ZOHOR  
 GMJ CONSTRUCTION  
 2582 AMETHYST DR,  
 SANTA CLARA, CA 95051  
 TEL: 408-780-0479  
 EMAIL: ZOHOR.RAMIN@GMAIL.COM

SHEET TITLE:

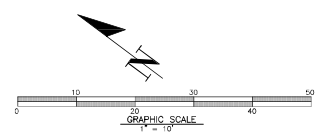
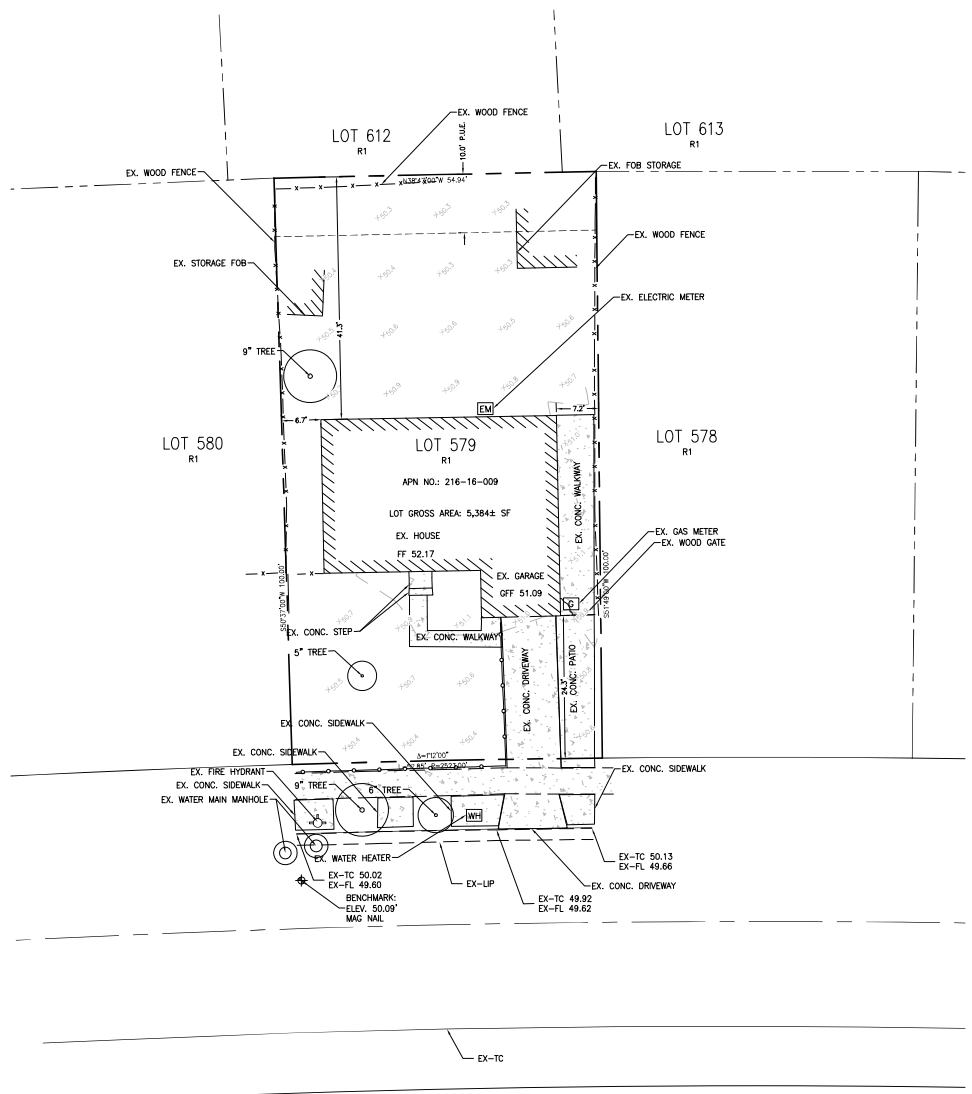
## COVER SHEET

PROJECT ID: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DRAWN BY: RAMIN ZOHOR  
 GMJ CONSTRUCTION

SHEET NUMBER:  
**A-00.01**

OWNER:   
 RAMIN ZOHOR  
 GMJ CONSTRUCTION  
 TEL: 408-497-5071  
 EMAIL: ZOHOR.RAMIN@GMAIL.COM

- LEGEND**
- 200--- EXISTING CONTOUR LINE
  - 200--- NATURAL GRADE CONTOUR LINE
  - ⊙ FOUND CITY MONUMENT BOX, OR AS NOTED
  - BOUNDARY OF PROPERTY SURVEYED
  - ( ) RECORD INFORMATION
  - CENTERLINE
  - △ CURB INLET
  - CURB LINE
  - DRIVEWAY APRON
  - ⊙ ELECTROLYSER
  - FENCE
  - ⊕ FIRE HYDRANT
  - ⊖ FLAT GRATE INLET
  - OVERHEAD POWER LINE
  - OVER-HEAD TELEPHONE LINE
  - SANITARY SEWER LINE
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ SANITARY SEWER CLEANOUT
  - SIGN
  - STORM DRAIN LINE
  - ⊙ STORM DRAIN MANHOLE
  - ⊙ UTILITY BOX
  - ⊙ UTILITY POLE
  - WATER LINE
  - ⊕ WATER METER
  - ⊖ WATER VALVE
  - ⊖ ELECTRIC METER
  - ⊖ WATER HEATER
  - ⊖ GAS



**BASIS OF BEARINGS**  
 THE BEARING NORTH 89°38'15\"/>

**REFERENCES**  
 R1 TRACT NO. 1309 50-M-12  
 R2 PARCEL MAP 962-M-49

**BENCH MARK**  
 DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE WESTERLY CORNER OF LOT AS SHOWN.  
 PROJECT BENCHMARK 50.09' (NAVD88 DATUM)

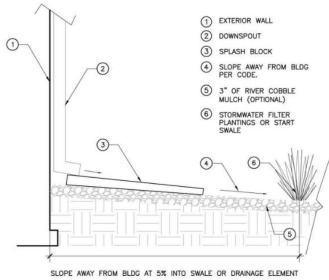
- ABBREVIATIONS**
- |          |                           |
|----------|---------------------------|
| APN      | ASSESSOR'S PARCEL NUMBER  |
| AE       | ANCHOR EASEMENT           |
| EM       | BENCH MARK                |
| BSL      | BUILDING SETBACK LINE     |
| BTRC     | BACK/TOP OF ROLLED CURB   |
| CATV     | CABLE TELEVISION OVERHEAD |
| D        | CURVE DELTA               |
| DRWY     | DRIVEWAY                  |
| DS       | DOWNSPOUT                 |
| EX       | EXISTING                  |
| FF       | FINISH FLOOR              |
| FL       | FLOW LINE ELEVATION       |
| GFF      | GARAGE FINISH FLOOR       |
| IP       | IRON PIPE                 |
| L        | CURVE LENGTH              |
| M-M      | MONUMENT TO MONUMENT      |
| O.H. PWR | OVERHEAD POWER LINE       |
| O.H. TEL | OVERHEAD TELEPHONE LINE   |
| PCL      | PARCEL                    |
| P.M.     | PARCEL MAP                |
| PTN      | PORTION                   |
| R        | RADIUS                    |
| R/E      | REFERENCE DOCUMENT        |
| SD       | STORM DRAIN               |
| SS       | SANITARY SEWER            |
| TC       | TOP OF CURB ELEVATION     |
| TEMP.    | TEMPORARY                 |
| PUE      | PUBLIC UTILITY EASEMENT   |
| WLE      | WATER LINE EASEMENT       |
| WCE      | WIRE CLEARANCE EASEMENT   |

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
  - TREES SPECIES NAMES ARE APPROXIMATE AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
  - TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
  - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "X" (1-800-642-2440).
  - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
  - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
  - RECORD EASEMENTS ARE SHOWN AS INDICATED IN THE TITLE REPORT PROVIDED BY OWNER, PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. 4307-7272716 DATED MAY 16, 2025

	REVISIONS
	BY: CITY: DATE:
<b>SITE SURVEY</b> 2455 PAINTED ROCK DR APN: 216-16-009 DRAWN BY: Ed Hansen 02/26/2025 PROJECT NO.: 2025-008 SHEET NO.: 2 OF 2 SHEETS	DATE OF SURVEY: 5/21/2025 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS 1415 SAN JOSE, CA 95131 info@osuna-engineering.com

**GRADING and DEMO NOTES:**

1. CONTACT PUBLIC WORKS, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAIN/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. N/A
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL WITH EXCEPTION:
  - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
  - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
  - (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

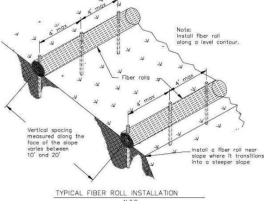


**TREE PROTECTION NOTES:**

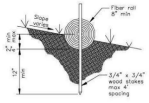
1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN, NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

**CITY NOTE**

RAIN RUNOFF WILL NOT DRAIN INTO NEIGHBORING LOT(S). WATERS TO BE DRAINED INTO APPROVED DOWNSPOUTS WITH APPROVED SPLASH BLOCK AND SLOPED TO THE FRONT OF THE PROPERTY & STREET

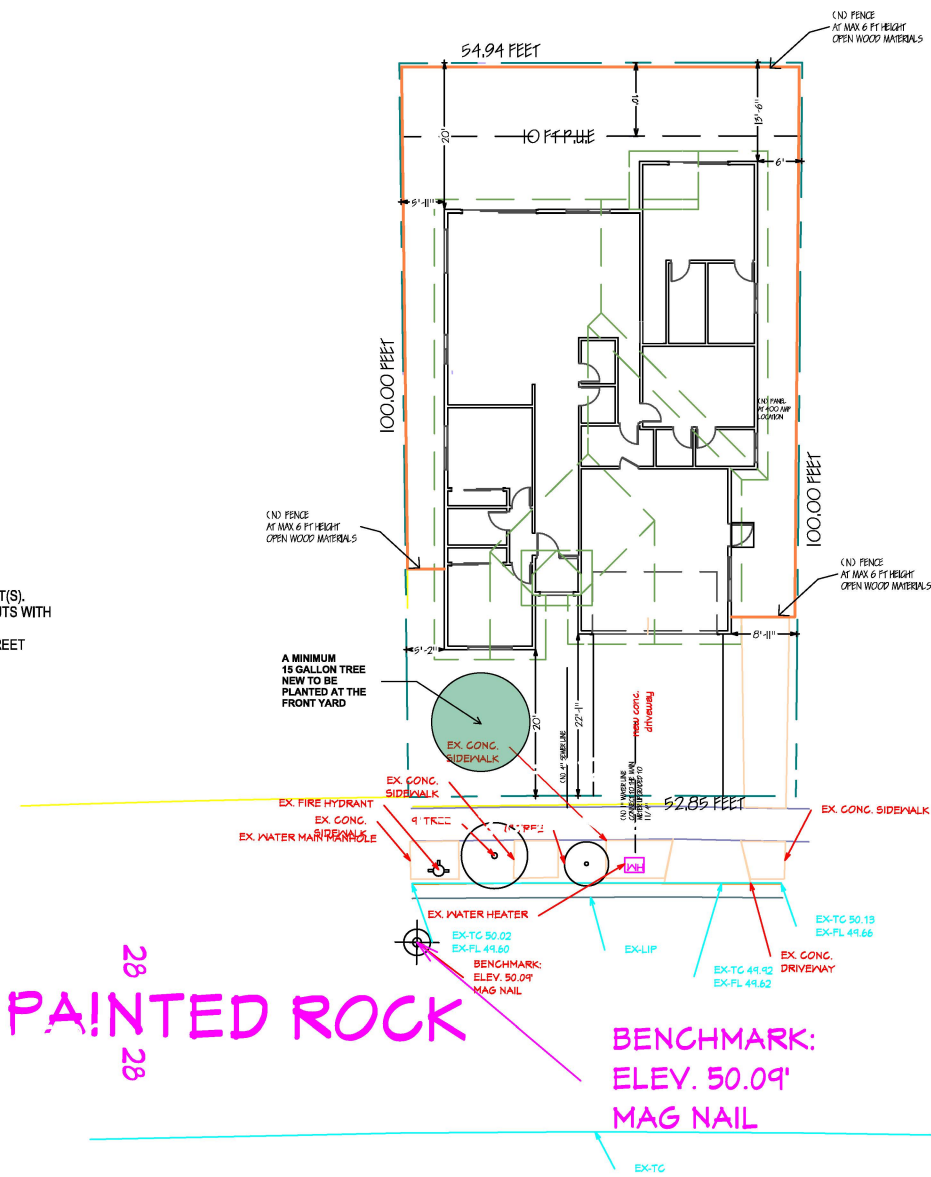


TYPICAL FIBER ROLL INSTALLATION



ENCROACHMENT DETAIL

D1 FIBER ROLL DETAIL 1



28  
PAINTED ROCK  
28

1 PROPOSE SITE PLAN  
SC: 1/8" = 1'-0"

ADDITION and REVISIONS FOR:

**2495 Painted Rock Dr RESIDENCE**

2495 Painted Rock Dr  
Santa Clara, CA 95051

REVISION TABLE:


**GMJ CONSTRUCTION**

RAMIN ZOHOR  
GMJ CONSTRUCTION  
2382 AMETHYST DR.  
SANTA CLARA, CA 95051  
TEL: 408-780-0479  
EMAIL: ZOHOR.RAMIN@GMAIL.COM

SHEET TITLE:

**SITE PLAN CONDITIONS**

PROJECT ID: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: RAMIN ZOHOR  
GMJ CONSTRUCTION

SHEET NUMBER:

**A-S1**

OWNERSHIP: *D. R. Johnson*




RAMIN ZOHOR  
GMJ CONSTRUCTION  
TEL: 408-497-5071  
EMAIL: ZOHOR.RAMIN@GMAIL.COM



\*\*\* SHOWER AND BATH GLASS DOORS SHALL BE TEMPERED OF ALL BATHROOMS.

CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEADS DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING TO THE SPRAY. 408.9 (2022 CPC)

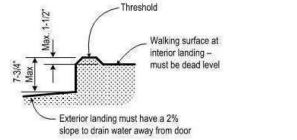
**LEGEND:**

-  NEW CONSTRUCTION WALL  
2X4 @ 16" O.C. WALL STUDS  
OR PER STRUCTURAL DRAWINGS
-  GARAGE WALL SEPARATION  
HOUSE
-  ATTACHED ADU  
BOUNDARIES

GRAPHIC SCALE: 1/4" = 1'-0"




**TYPICAL AT ALL LANDINGS:**  
AT EACH LANDING FOR EXTERIOR DOOR: MINIMUM 36 INCH DEEP LANDING AND NOTE MORE THAN 7-3/4 INCHES LOWER THAN THRESHOLD FOR IN-SWINGING DOOR AND NOT MORE THAN 1 1/2" LOWER FOR OUT-SWINGING DOOR. W/ 2% SLOPE PER DETAIL "D1"  
THE NEW STEP SHALL HAVE A TREAD DEPTH OF 10 INCHES MINIMUM PLUS TREAD NOSING AND A RISER HEIGHT OF 7.75 INCHES MAXIMUM PER CRC R311.6.5.1.



**MECHANICAL NOTES:**

KITCHEN RANGE HOOD MUST BE HVI RATED, LIMITED TO 3 SONE, AND WITH A MINIMUM AIRFLOW AS SPECIFIED IN ASHRAE 62.2. PER ROOM 4.8.4.7, VENTED RANGE HOODS INCLUDING PER TABLE 150.0-G DWELLING UNIT WITH FLOOR AREA OF GREATER THAN 1500 AND HOOD OVER ELECTRIC RANGE WITH 110 CFM OR 50% CE REQUIRED.

**MAIN HOUSE KITCHEN HOOD:**  
PER TABLE 150.0-G DWELLING UNIT WITH FLOOR AREA OF GREATER THAN 1400 AND HOOD OVER ELECTRIC RANGE WITH 110 CFM OR 50% CE REQUIRED.

VENT 3 FT AWAY FROM ANY OPENINGS

**CMC Section 304.4 Appliances in Attics and Under-Floor Spaces.**  
An attic or under-floor space in which an appliance is installed shall be accessible through an opening and passageway not less than the largest component of the appliance, and not less than 22 inches by 30 inches (559 mm by 762 mm).

**304.4.1 Length of Passageway.**  
Where the height of the passageway is less than 6 feet (1829 mm), the distance from the passageway access to the appliance shall not exceed 20 feet (6096 mm) measured along the center line of the passageway. [NFPA 54:9.5.1.1]

**304.4.2 Width of Passageway.**  
The passageway shall be unobstructed and shall have solid flooring not less than 24 inches (610 mm) wide from the entrance opening to the appliance. [NFPA 54:9.5.1.2]

**304.4.3 Work Platform.**  
A level working platform or grade surface not less than 30 inches (762 mm) by 30 inches (762 mm) shall be provided in front of the service side of the appliance. [NFPA 54:9.5.2]  
Exception: A working platform need not be provided where the furnace is capable of being serviced from the required access opening. The furnace service side shall not exceed 12 inches (305 mm) from the access opening.

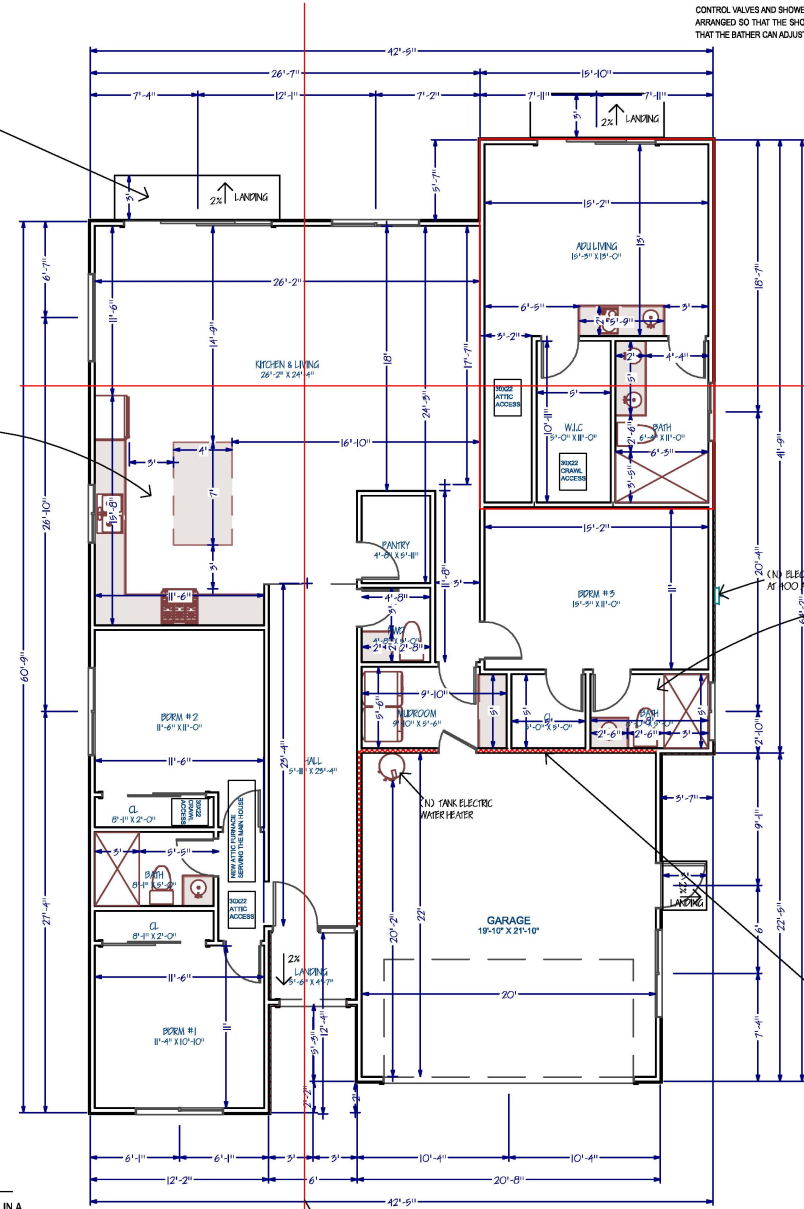
**304.4.4 Lighting and Convenience Outlet.**  
A permanent 120-volt receptacle outlet and lighting fixture shall be installed near the appliance. The switch controlling the lighting fixture shall be located at the entrance to the passageway. [NFPA 54:9.5.3]

**904.10 Furnace (Upright and Horizontal).**  
Upright furnaces shall be permitted to be installed in an attic, furled, or under-floor space exceeding 5 feet (1524 mm) in height, provided the required listings and furnace and duct clearances are observed. Horizontal furnaces shall be permitted to be installed in an attic, furled, or under-floor space, provided the required listings and furnace and duct clearances are observed.

ATTIC FURNACE TYP. DETAILS

**HOUSE NUMBER NOTES:**

NEW MAIN & ADU: APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)



**PLUMBING NOTE:**

1. MAXIMUM WATER TEMPERATURE DISCHARGING FROM AN INDIVIDUAL SHOWERHEAD SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THIS TO BE ACHIEVED BY
2. The valve is field-adjusted to require maximum temperature, or the handle position, stop, or temperature limiting control is set in accordance with the manufacturer's instructions to the required maximum temperature
- SHOWERS TO HAVE CURB - NO CURBLESS BEING PROPOSED  
Gypsum board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity. CRC R702.3.7.1.  
NON-SLIP JOINT TRAP TO BE USED

**ALL BATHROOMS TYP. NOTES:**

- SHOWERS TO HAVE CURB - NO CURBLESS BEING PROPOSED
1. PROPOSED SHOWER HEAD AND CONTROL VALVE LOCATION
2. SHOWER DOOR MUST BE SIZED AND OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING. GLASS DOORS MUST BE TEMPERED. SAFETY GLAZING (I.E. TEMPERED) IN DOORS AND PANELS OF ALL SHOWER AND BATH TUB ENCLOSURES. CRC R308.4
3. SHOWERS AND TUBSHOWERS ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS.
4. SHOWER AND TUBSHOWERS WALLS HAVE A SMOOTH, HARD, NON ABSORBENT SURFACE (E.G. CERAMIC TILE) OVER AN APPROVED MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET.
5. A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ.FT INCHES.
6. CAPABLE OF ENCOMPASSING 30-INCH CIRCLE.
7. THE FINISHED FLOOR OF THE RECEPTOR MUST SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4" PER FOOT AND NOT MORE THAN 1/2" PER FOOT.

SHOWER TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE, OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING VALVE TYPE CPC 408.3

1. SHOWER CONTROL VALVE & RAIN SHOWER HEAD NOT DISCHARGING DIRECT AT THE ENTRANCE.
2. DRAIN AND SLOPE TO DRAIN TO SHOWER RECEPTOR.
3. SHOWER RECEPTORS SHALL BE TESTED FOR WATER TIGHTNESS BY FILLING WITH WATER TO THE LEVEL OF THE ROUGH THRESHOLD PER CPC 408.7.5

**(N) FIRE RATED WALL / CEILING PER CRC TABLE R302.6**

Garage and/or carport shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. Attachment of gypsum board shall comply with Table R702.3.5. The wall separation provisions of Table R302.6 shall not apply to garage walls that are perpendicular to the adjacent dwelling unit wall. A separation is not required between the dwelling unit and a carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.

1. From habitable rooms above the garage PROVIDE Not less than 5/8-inch Type X gypsum board or equivalent
2. Garages located less than 3 feet from a dwelling unit PROVIDE Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area
3. From the residence and attics PROVIDE Not less than 1/2-inch gypsum board or equivalent applied to the garage side

1 PROPOSE FLOOR PLAN  
SC: 1/4" = 1'-0"

SECTION A-A  
SHEET A-08

SECTION B-B  
SHEET A-08

ADDITION AND REMODELING FOR:  
**2495 Painted Rock Dr RESIDENCE**  
2495 Painted Rock Dr  
Santa Clara, CA 95051

REVISION TABLE:



RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
2382 AMETHYST DR.  
SANTA CLARA, CA 95051  
TEL: 408-780-0479  
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**PROPOSED FLOOR PLAN FIRST FLR**

PROJECT ID: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: RAMIN ZOHOOOR  
GMJ CONSTRUCTION

SHEET NUMBER:  
**A-01**

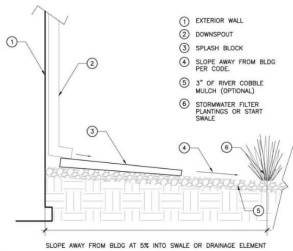
OWNER:   
RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
TEL: 408-497-5071  
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

**R302.11 Fireblocking.**

In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

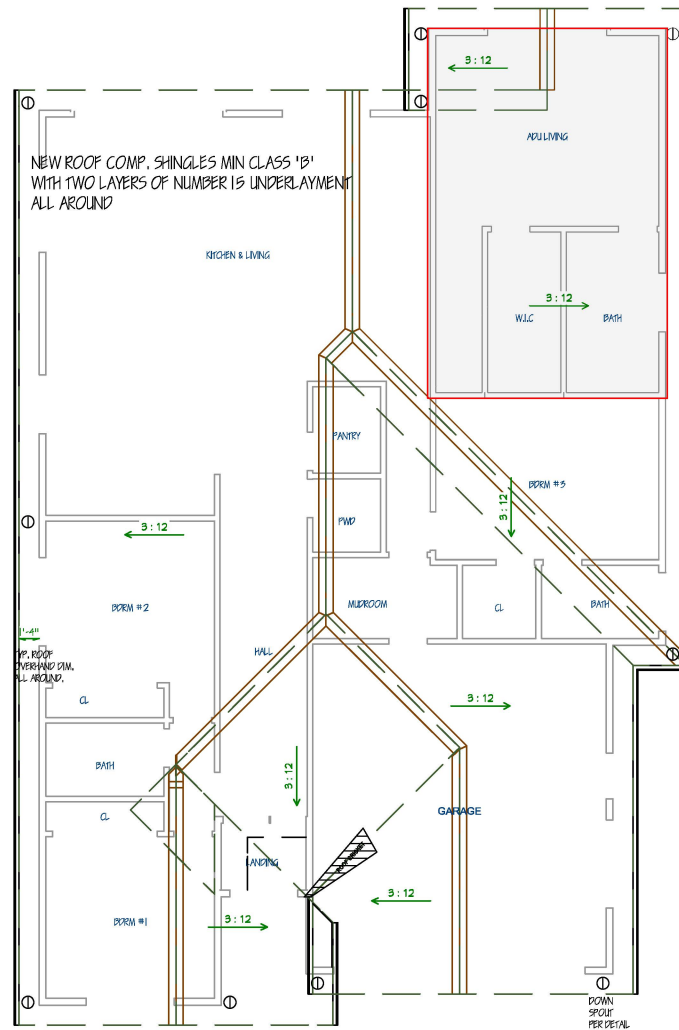
Fireblocking shall be provided in wood-framed construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
  - 1.1. Vertically at the ceiling and floor levels.
  - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. For the fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.



**CITY NOTE**

RAIN RUNOFF WILL NOT DRAIN INTO NEIGHBORING LOT(S).  
WATERS TO BE DRAINED INTO APPROVED DOWNSPOUTS WITH APPROVED SPLASH BLOCK AND SLOPED TO THE FRONT OF THE PROPERTY & STREET



ROOF PLAN PITCH AT 4:12  
ALL AROUND

1 PROPOSE FLOOR PLAN  
SC: 1/4" = 1'-0"

**LEGEND:**

NEW CONSTRUCTION WALL  
2X4 @ 16" O.C. WALL STUDS  
OR PER STRUCTURAL DRAWINGS

ATTACHED ADU  
BOUNDARIES



ADDITION and REMODELING FOR:

**2495 Painted Rock Dr  
RESIDENCE**

2495 Painted Rock Dr  
Santa Clara, CA 95051

REVISION TABLE:




RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
2592 AMETHYST ST. DR.  
SANTA CLARA, CA 95051  
TEL: 408-780-0479  
EMAIL:  
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**ROOF PLAN  
CONDITIONS**

PROJECT ID: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

RAMIN ZOHOOOR  
GMJ CONSTRUCTION

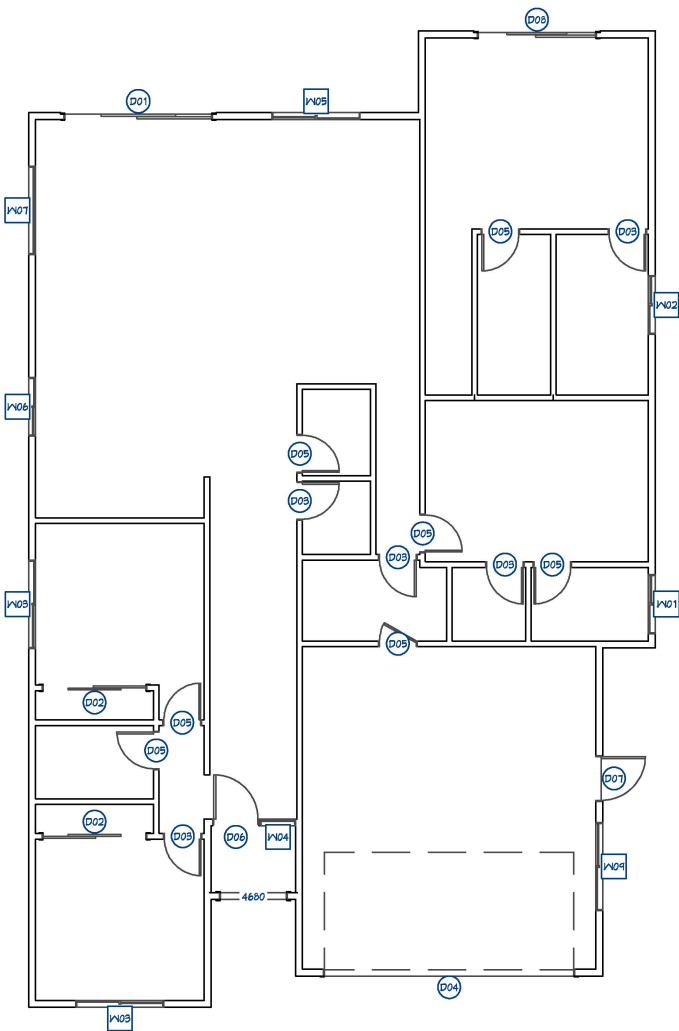
SHEET NUMBER:

**A-02**

OWNERSHIP: \_\_\_\_\_

*Ramin Zohoor*

RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
TEL: 408-497-5071  
EMAIL:  
ZOHOOOR.RAMIN@GMAIL.COM



1 PROPOSE OPENING PLAN  
 SC: 1/4" = 1'-0"

WINDOW SCHEDULE										
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	BOTTOM	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	4030LS	1	4030LS	48"	36"	60"	YES	YES	LEFT SLIDING	
W02	4054LS	1	4054LS	48"	64"	32"	YES	YES	LEFT SLIDING	
W03	6054LS	2	6054LS	72"	64"	32"	YES	YES	LEFT SLIDING	
W04	2580PX	1	2580PX	29"	96"	0"		YES	FIXED GLASS	
W05	6054LS	1	6054LS	72"	64"	32"		YES	LEFT SLIDING	
W06	4048LS	1	4048LS	48"	56"	40"		YES	LEFT SLIDING	
W07	6054AW	1	6054AW	72"	64"	32"			SINGLE AWNING	
W08	6040LS	1	6040LS	72"	48"	48"		YES	LEFT SLIDING	

DOOR SCHEDULE							
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	10080	1	10080 L EX	120"	96"	EXT. SLIDER-GLASS PANEL	
D02	17080	2	17080 R IN	84"	96"	SLIDER-DOOR P04	
D03	2880	5	2880 L IN	30"	96"	HINGED-DOOR P04	
D04	17080	1	17080	204"	96"	GARAGE-GARAGE DOOR P06	
D05	2880	7	2880 R IN	30"	96"	HINGED-DOOR P04	
D06	3080	1	3080 L EX	36"	96"	EXT. HINGED-GLASS PANEL	
D07	3080	1	3080 L EX	36"	96"	EXT. HINGED-PANEL	
D08	8080	1	8080 L EX	96"	96"	EXT. SLIDER-GLASS PANEL	

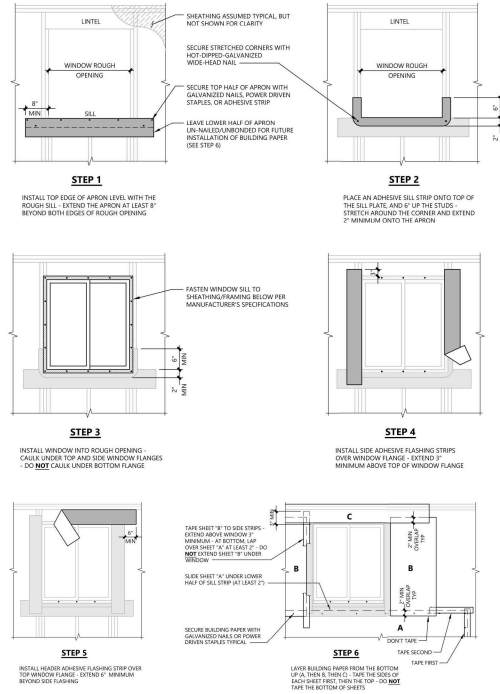
**WINDOW NOTES:**

Every sleeping room shall have at least one operable emergency escape and rescue opening. Emergency escape and rescue opening shall open directly into a public way, or to a yard or court that opens to a public way. (R310.2).

The opening shall comply with the following minimums:

- a) Minimum net clear operable dimension of 24 inches in height (R310.2.1).
- b) Minimum net clear operable dimension 20 inches in width (R310.2.1).
- c) Minimum net clear operable dimension of 5.7 square feet in area. Grade floor or below grade openings shall have a minimum net clear opening of 5 sq ft (R310.2.1).
- d) The bottom of the clear opening shall not be greater than 44 inches measure from the floor. (R310.2.2).

**\*\* NEWLY INSTALLED WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30 AND A MAXIMUM SHGC OF 0.23.**



D1 EXTERIOR OPENING FLASHING DETAIL PER CRC  
 SC: 1/4" = 1'-0"

ADDITIONAL REMODELING FOR:

## 2495 Painted Rock Dr RESIDENCE

2495 Painted Rock Dr  
 Santa Clara, CA 95051

REVISION TABLE:


**GMJ CONSTRUCTION**

RAMIN ZOHOR  
 GMJ CONSTRUCTION  
 2582 AMETHYST DR.  
 SANTA CLARA, CA 95051  
 TEL: 408-780-0479  
 EMAIL: ZOHOR.RAMIN@GMAIL.COM

SHEET TITLE:

### OPENING SCHEDULES

PROJECT ID: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DRAWN BY: RAMIN ZOHOR  
 GMJ CONSTRUCTION

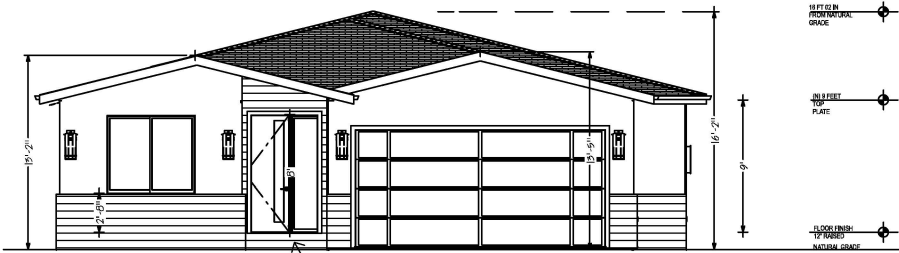
SHEET NUMBER:

# A-03

OWNER: *R. Johnson*

RAMIN ZOHOR  
 GMJ CONSTRUCTION  
 TEL: 408-497-5071  
 EMAIL: ZOHOR.RAMIN@GMAIL.COM

NEW ROOF COMP. SHINGLES MIN CLASS 'B'  
ALL FIRST AND SECOND PLR  
WITH TWO LAYERS OF NUMBER 15 UNDERLAYMENT



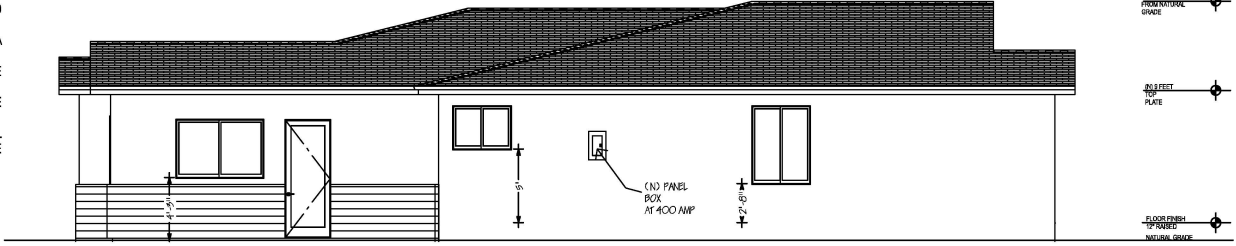
PROPOSED FRONT ELEVATION  
SC: 1/4" = 1'-0"



PROPOSED REAR ELEVATION  
SC: 1/4" = 1'-0"

**ELEVATIONS NOTES:**

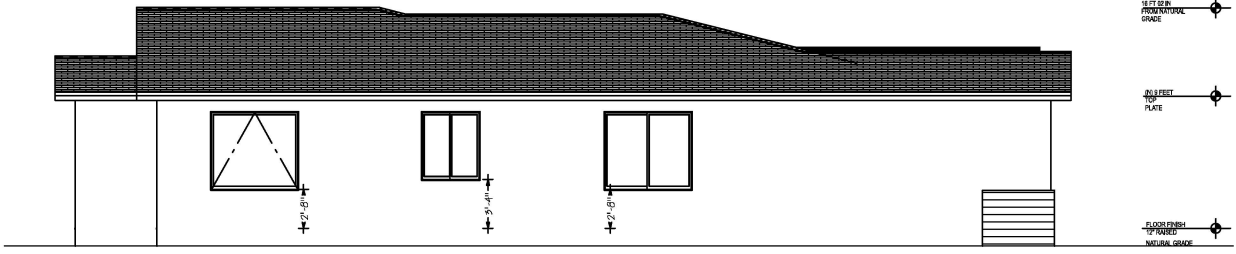
- STUCCO 7/8" THICK IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER CORROSION RESISTANT METAL LATH OR WIRE LATH PER CRC R703.7.1
- PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.7.2.1
- PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.7.3.
- NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
- PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
- PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.
- R703.7.3 Water-resistive barriers. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall comply with Section R703.7.3.1 or R703.7.3.2.



PROPOSED RIGHT ELEVATION  
SC: 1/4" = 1'-0"

**VERTICAL GLASS, WALL COVERINGS, ROOF COVERINGS, AND FENESTRATION NOTES:**

- Glass sloped 15 degrees (0.26 rad) or less from vertical in windows, curtain and window walls, doors and other exterior applications shall be designed to resist the wind loads due to ultimate design wind speed, Vult, in Section 1609 for components and cladding per CBC §2404.1.
- Wall coverings, backing materials and their attachments shall be capable of resisting wind loads in accordance with Tables R301.2.1(1) and R301.2.1(2) per Wind Resistance CRC §R703.1.2.
- Roof coverings installed on roofs in accordance with Section 1507 that are mechanically attached or adhered to the roof deck shall be designed to resist the design wind load pressures for components and cladding in accordance with Section 1609.5.2 per CBC §1504.4.
- Exterior windows and sliding doors shall be tested and labeled per CBC §1709.5.1 and CBC §1709.5.2.
- Fenestration Products and Exterior Doors shall meet CeN/C Section 110.6 Mandatory Requirements listed in the Residential Certificate of Compliance (CFC) form.
- Labeling per CeN/C §110.6(a)5A. Fenestration products and exterior doors shall: Have a temporary label for manufactured fenestration products and exterior doors. The temporary label shall not be removed before inspection by the enforcement agency.



PROPOSED LEFT ELEVATION  
SC: 1/4" = 1'-0"

**2495 Painted Rock Dr RESIDENCE**

2495 Painted Rock Dr  
Santa Clara, CA 95051

REVISION TABLE:




RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
2582 AMETHYST DR,  
SANTA CLARA, CA 95051  
TEL: 408-780-0479  
EMAIL:  
ZOHOOOR.RAMIN@GMAIL.COM

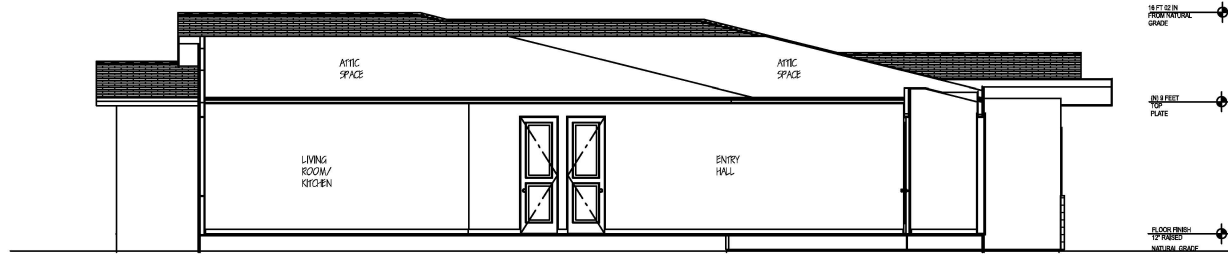
SHEET TITLE:

**PROPOSED ELEVATIONS**

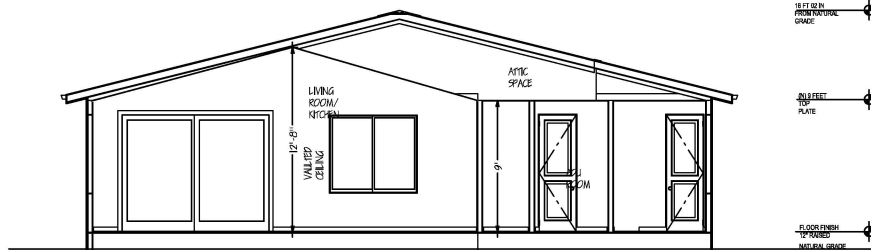
PROJECT ID: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: RAMIN ZOHOOOR  
GMJ CONSTRUCTION

SHEET NUMBER:  
**A-04**

OWNERSHIP: *Ramin Zohoor*  
RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
TEL: 408-497-9071  
EMAIL:  
ZOHOOOR.RAMIN@GMAIL.COM



PROPOSED CROSS SECTION A-A  
SC: 1/4" = 1'-0"



PROPOSED CROSS SECTION B-B  
SC: 1/4" = 1'-0"

ADDITION and REMODELING FOR:  
**2495 Painted Rock Dr  
RESIDENCE**  
2495 Painted Rock Dr  
Santa Clara, CA 95051

REVISION TABLE:



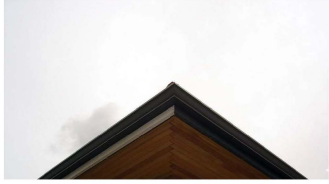

RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
2582 AMETHYST ST. DR.,  
SANTA CLARA, CA 95051  
TEL: 408-780-0479  
EMAIL:  
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:  
**PROPOSED  
SECTIONS**

PROJECT ID: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: RAMIN ZOHOOOR  
GMJ CONSTRUCTION

SHEET NUMBER:  
**A-05**  
OWNERSHIP: *[Signature]*  
RAMIN ZOHOOOR  
GMJ CONSTRUCTION  
TEL: 408-497-9071  
EMAIL:  
ZOHOOOR.RAMIN@GMAIL.COM





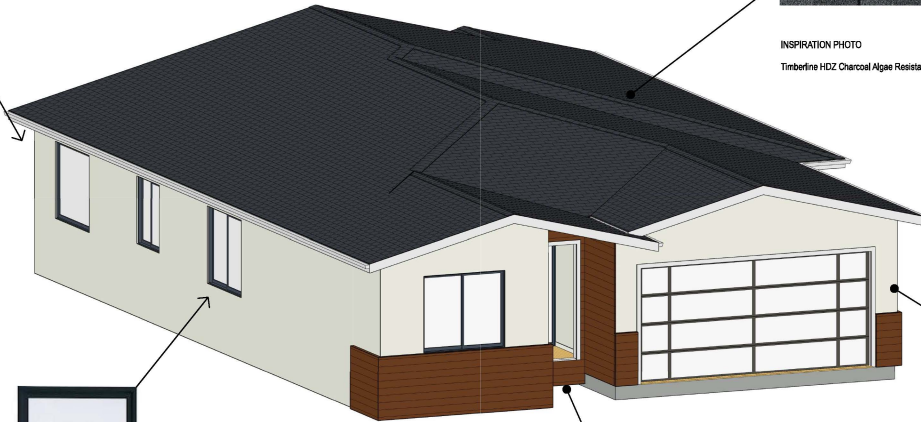
INSPIRATION PHOTO  
EAVES  
FASCIA BOARDS AND GUTTER BLACK COLOR



James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish  
2X10 FASCIA  
JAMES HARDY - WITH ROYAL MOLDING



INSPIRATION PHOTO  
Timberline HDZ Charcoal Algae Resistant Laminated High Definition Shingles



Milgard C660 Ultra™  
Series Burglar windows - "black been color"  
\*ALL EXTERIOR WINDOWS TO BE FIBER GLASS  
\*\*NO WINDOW TRIM PROPOSED  
\*ALL EXTERIOR DOORS TO BE FIBER GLASS



FRONT PORCH WOOD SIDING MATERIALS



EXTERIOR STUCCO  
BENJAMIN MOORE  
ICICLE  
2142-70  
SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES



ADDITION and REMODELING FOR:  
**2495 Painted Rock Dr  
RESIDENCE**  
2495 Painted Rock Dr  
Santa Clara, CA 95051

REVISION TABLE:




RAMIN ZOHOOR  
GMJ CONSTRUCTION  
2582 AMETHYST DR.  
SANTA CLARA, CA 95051  
TEL: 408-780-0479  
EMAIL:  
ZOOOR.RAMIN@GMAIL.COM

SHEET TITLE:  
**MATERIAL  
BOARDS**

PROJECT ID: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: RAMIN ZOHOOR  
GMJ CONSTRUCTION

SHEET NUMBER:  
**A-06**

OWNERSHIP:   
RAMIN ZOHOOR  
GMJ CONSTRUCTION  
TEL: 408-497-5071  
EMAIL:  
ZOOOR.RAMIN@GMAIL.COM



## Agenda Report

25-957

Agenda Date: 9/17/2025

### REPORT TO DEVELOPMENT REVIEW HEARING

#### SUBJECT

**PUBLIC HEARING:** Action of the Significant Property Alteration / Architectural Review (PLN25-00116) for a 465 Square Foot First Floor Addition Resulting in a 1,559 Square-Foot Single-Story Residence on the Historic Resource Inventory Located at 834 Main Street

**File No.:** PLN25-00116

**Location:** 834 Main Street, a 5,694 square-foot lot located on the west side of Main Street approximately 116 feet north of Lexington Street; APN: 269-28-062; zoned Single-Family Residential (R1-6L)

**Applicant:** German A. Villarraga

**Owner(s):** Rebecca and Andrew Fung

**Request:** **Significant Property Alteration** and **Architectural Review** for a 465 square-foot addition resulting in a 1,559 square-foot single-story residence on the City's Historic Resource Inventory (HRI).

#### PROJECT DATA

The Project Data and Compliance Table is included as Attachment 2.

#### POINTS FOR CONSIDERATION

- The proposed project is in a residential tract consisting of one-story residences, multi-family residence, public park, and 11 other Historic Resource Inventory (HRI) properties. See Vicinity Map in Attachment 1.
- 1 The property is listed on the City's HRI and was constructed in 1932. The site includes an existing single-family residence with a 231 square-foot ADU that was converted from a detached one-car garage. The residence is currently subject to a Mills Act Contract.
- 2 Per the Santa Clara City Code 18.120.020.D.6, the request requires Architectural Review approval through a Development Review Hearing.
- 3 The proposed project involves interior and exterior alterations and new construction to provide additional living area and functional use of the home. The proposed project is for the construction of a 465 square-foot extension, which will include a new bedroom, a full-sized bathroom, and a walk-in closet.
- 4 The project is consistent with the City's residential design guidelines in that:
  - The addition is to the rear right side of the property. The addition is designed to minimize its impact on the neighborhood and uses exterior finish materials to differentiate between the existing residence.
    - 1 The new roof tiles will naturally differ from the existing roof tiles at the front due the wear.
    - 2 The proposed stucco will feature a subtle color wash variation to distinguish it from the original structure.



- The project went before the Historic and Landmarks Commission (HLC) on September 4th, 2025, in accordance with Historic Preservation Ordinance (Santa Clara City Code 18.130.050), which requires any project determined to be considered a major alteration to an HRI property, shall first receive a recommendation from the HLC. The HLC voted 5-0-2 to recommend approval of the project in that the project met the Secretary of the Interior Standards for rehabilitation and alterations and recommended the applicant provide a material palette for the existing and proposed stucco materials to clearly show the distinction between the original residence and the addition. The staff report from the HLC meeting is available in Attachment 6.
- 1 An analysis of the proposed project's consistency with the Secretary of the Interior's Standards (SOIS) was prepared by Page & Turnbull (Attachment 5). The analysis finds that the project was designed to comply with the Secretary of Interior's Standards in that the old and new volumes are differentiated while preserving the character-defining features of the Spanish Eclectic/Revival architecture style.
  - 2 The proposed project meets the required findings set forth in Santa Clara City Code 18.120.
  - 3 There are no active City code enforcement cases for this property.
  - 4 A neighborhood notice was distributed within a 300-foot radius of the subject site for this project review.

#### **FINDINGS SUPPORTING STAFF'S RECOMMEDATION**

Granting the Significant Property Alteration approval requires the following findings consistent with City Code Section 18.130.050(D):

- 1) *The alterations shall be designed to the essential character, features, and defining elements that make the Historic Resource Inventory property significant, in that:*
  - The addition is proposed at a lower height than the existing ridge and the roof and exterior finish material are compatible, but distinct from the original structure.
  - The addition includes the low-pitched roof and stucco finish material which is compatible with the Spanish Eclectic/Revival architecture style.
- 2) *The project proposal shall not have a significant adverse effect on the integrity of the Historic Resource Inventory property, in that:*
  - The proposal includes removal of three original windows which will be salvaged to be reused in the original home in the future.
  - The addition does not impact the exterior chimney, a character-defining feature.
  - The massing and height are visually subordinate to the historic house.
- 3) *The alterations must be compatible with the existing structure or district, in that:*
  - The addition continues the low-pitched, cross-gable roof form and the stucco asymmetrical façade with little decorative detail to maintain the historic residence's Spanish Eclectic/Revival architecture.
- 4) *The alterations must be consistent with the Secretary of the Interior's Treatment Standards, in that:*
  - The project plans include an analysis of the proposed project against the Secretary of the Interior's Standards (Attachment 5).

Granting the Architectural Review approval requires the following findings consistent with City Code Section 18.120.020(F):

- 1) *That any off-street parking area, screening strips, and other facilities and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that:*
  - The existing one-car garage was converted to an ADU in 2021. Per City Code, replacement and additional parking is not required for ADU conversions. Additionally, residences with legal nonconforming parking are allowed 1,000 square foot expansion of floor area.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that:*
  - The proposed expansion of the main residence would not create substantive traffic congestion or hazards.
  - Public streets, including Main Street, are adequate in size and design to serve the proposed residences, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that:*
  - Architectural features of the proposed design area are true to the architectural form and appropriate for the neighborhood.
  - The proposed project is consistent with the scale and design found in the existing surrounding neighborhoods.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that:*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to project public health, safety, and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that:*
  - The proposed project is consistent with the City's Single-Family Design Guidelines (2014):
    - The project would create a house design that is compatible in scale with the housing types that are typical in the neighborhood.
  - The proposed expansion and addition comply with the R1-6L zoning district's development

standards.

### CONDITIONS OF APPROVAL

Conditions of approval are proposed for the project and are contained in Attachment 3.

### ENVIRONMENTAL REVIEW

The action being considered is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Exemption Sections 15332 - Infill and 15331 - Historical Resource Restoration/Rehabilitation, in that the project involves an addition and renovations of historic single-family residence.

### PUBLIC CONTACT

Public contact was made by posting the Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email [clerk@santaclaraca.gov](mailto:clerk@santaclaraca.gov) or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on August 21, 2025. As of the writing of this report, planning staff has not received public comments for this application.

### RECOMMENDATION

**Determine** the project to be categorically exempt from the California Environmental Quality Act (CEQA) formal pursuant to CEQA Guidelines Sections 15332 - Infill and 15331 - Historical Resource Restoration / Rehabilitation, and **Approve** the Significant Property Alteration / Architectural Review for a 456 square-foot addition resulting in a 1,559 square-foot single-story residence on the Historic Resource Inventory Located at 834 Main Street, subject to the findings and conditions of approval.

Prepared by: Meha Patel, Associate Planner, Community Development Department

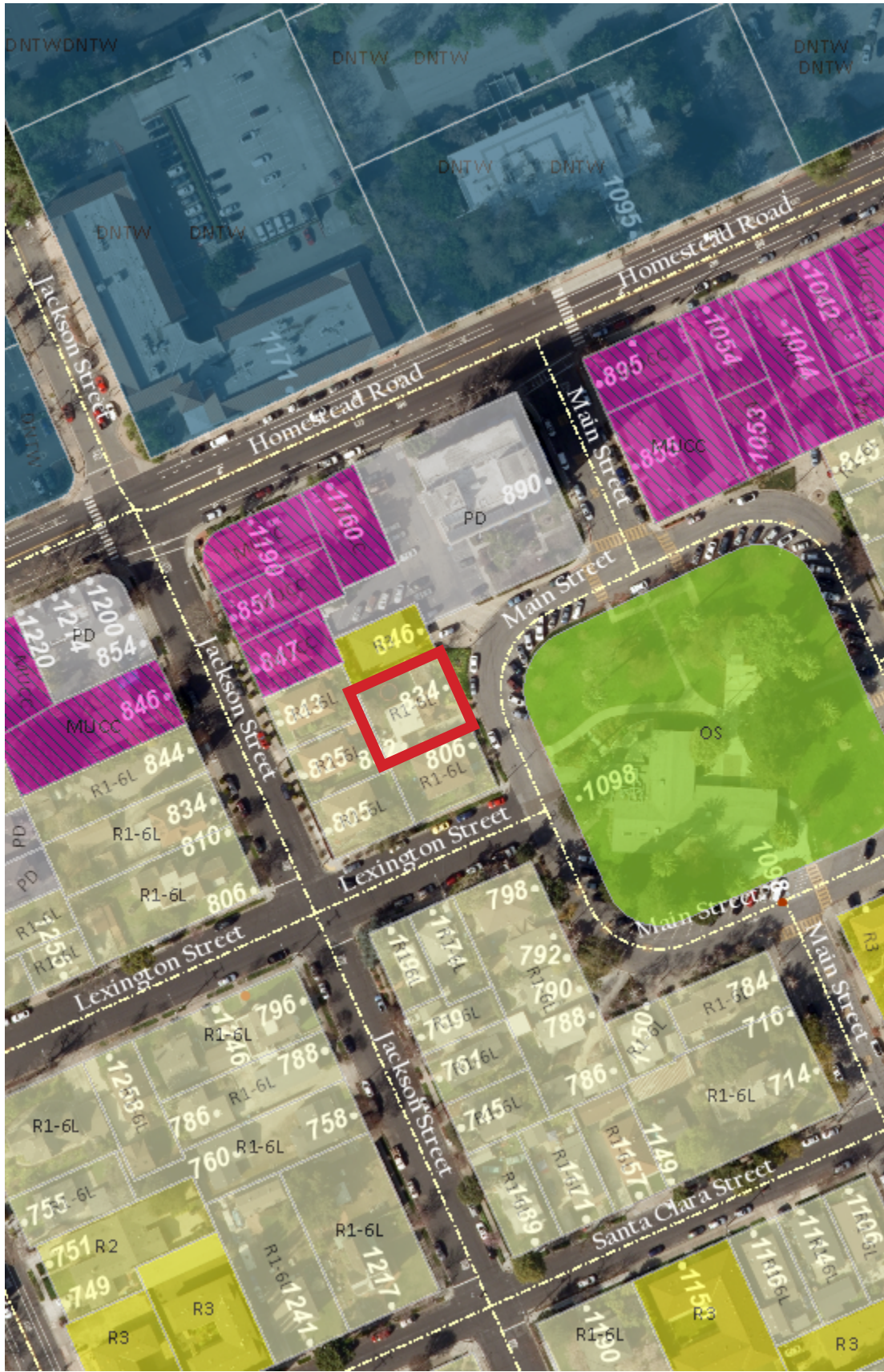
Approved by: Sheldon S. Ah Sing, Development Review Officer, Community Development Department

### ATTACHMENTS

1. Vicinity Map
2. Project Data and Compliance Table
3. Conditions of Approval
4. Development Plans
5. SOIS Analysis Memo
6. Web Link - 09.04.25 HLC Staff Report



# Vicinity Map (Zoning) - 834 Main Street



### Legend

**Residential**

- R1-6L - Single Family
- R1-8L - Single Family
- R2 - Low Density Residential
- R3 - Medium Density Residential
- R4 - High Density Residential
- R5 - Very High Density Residential
- TN - Transit Neighborhood
- UC - Urban Center
- UV - Urban Village
- VR - Village Residential
- PH-R5 - Patrick Henry - Very High Density Residential
- HDF - High Density Flex
- LSAP - Lawrence Station Area Plan

**Mixed Use**

- MUCC - Mixed Use Community Commercial
- MUNC - Mixed Use Neighborhood Commercial
- MURC - Mixed Use Regional Commercial
- SCS - Santa Clara Station Focus Area

**Public / Open Space**

- OS - Parks/Open Space
- PQP - Public / Quasi Public

**Commercial**

- CC - Community Commercial
- CN - Neighborhood Commercial
- CR - Commercial Regional

**Industrial**

- HI - Industrial Heavy
- LI - Industrial Light

**Office - R&D**

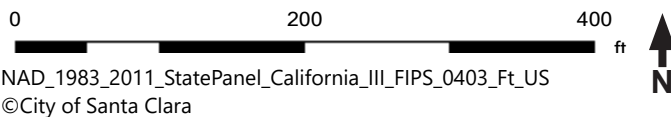
- HO-RD - Office/R&D-High Intensity
- LO-RD - Low-Intensity Office/R&D

**Form Based**

- DNTW - Downtown

**Planned Development**

- PD - Planned Development
- PD-MC - Planned Development Master Community



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**Attachment 2: Project Data/Compliance**

**Project Address: 834 Main Street  
Zoning: R1-6L**

**Project Number: PLN25-00116**

<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Requirement</b>	<b>Complies? (Y/N)</b>
<b>Lot Area (SF) (min):</b>	5,694	5,694	6,000	Y
<b>Building Square Footage (SF)</b>				
<b>1<sup>st</sup> Floor:</b>	1,028	1,493	--	--
<b>Existing ADU:</b>	231	231	--	--
<b>Porch/Patio:</b>	66	66	--	--
<b>Total without ADU:</b>	1,094	1,559	--	--
<b>Total:</b>	1,325	1,790	--	--
<b>Floor Area Ratio:</b>	0.23	0.31	--	--
<b>Building Coverage (%)</b>				
<b>Building Coverage (All):</b>	19%	27%	40% max	Y
<b>Main Building Setbacks (FT)</b>				
<b>Front (1<sup>st</sup> floor):</b>	19'	42'- 9"	20'	Y
<b>Left Side (1<sup>st</sup> floor):</b>	13'	13'	5'	Y
<b>Right Side (1<sup>st</sup> floor):</b>	31'	5'	5'	Y
<b>Rear (1<sup>st</sup> floor):</b>	17'	20'	20'	Y
<b>Height (FT)</b>				
<b>Main building:</b>	13'	13'	25'	Y
<b># of Bedrooms/Bathrooms:</b>	2/1	3/2	--	--
<b>Parking:</b>				
<b>Is the site Gov. Code 65863.2 (AB 2097) eligible?</b>				N
<b>Off-street</b>	0	0	--	Y <sup>1</sup>
<b>Common Living Area (SFR)</b>	--	72%	Min 25%	--

1. Detached garage previously converted to Accessory Dwelling Unit. No parking replacement required.

## Conditions of Significant Property Alteration Permit Approval

PLN25-00116 / 834 Main Street

### Significant Property Alteration and Architectural Review for a 465 square-foot addition resulting in a 1,559 square-foot single-story residence on the City's Historic Resource Inventory (HRI)

#### GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is September 17, 2027.
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

#### DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

#### DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.
- E1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

#### **OPERATIONAL CONDITIONS**

- P5. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.
- P6. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- E2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

#### **KEY:**

G = General

P = Planning Division

E = Public Works Engineering (Stormwater)



**ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL**

*Permittee/Property Owner*

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: \_\_\_\_\_

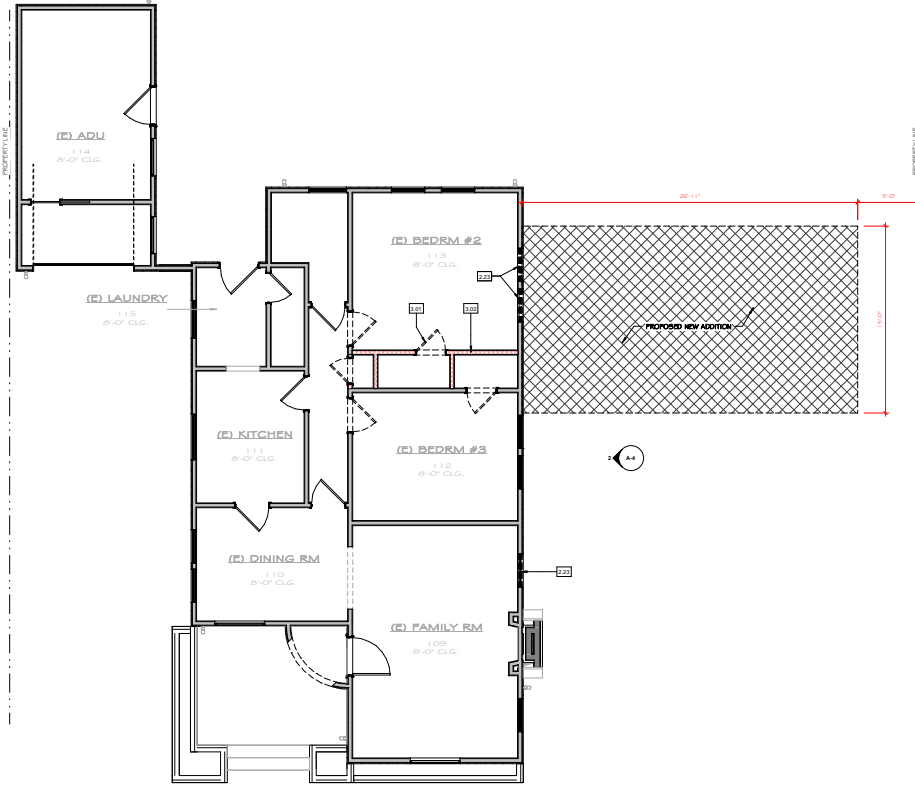
Printed Name: \_\_\_\_\_

Relationship to Property: \_\_\_\_\_

Date: \_\_\_\_\_

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.





EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

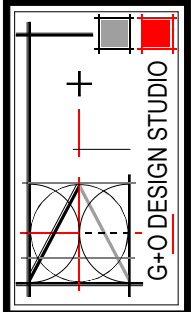
**WALL LEGEND**

- (E) 2x4 INTERIOR WALL TO BE DEMO
- (E) 2x INTERIOR WALL TO REMAIN
- (E) 2x EXTERIOR WALL TO REMAIN
- (N) 2x EXTERIOR WALL
- (N) 2x FURRED WALL

**KEYNOTES**

- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 3.01 EXISTING INTERIOR DOOR TO BE DEMO.
- 3.02 EXISTING INTERIOR WALL TO BE DEMO.

**EXISTING IMAGES**



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

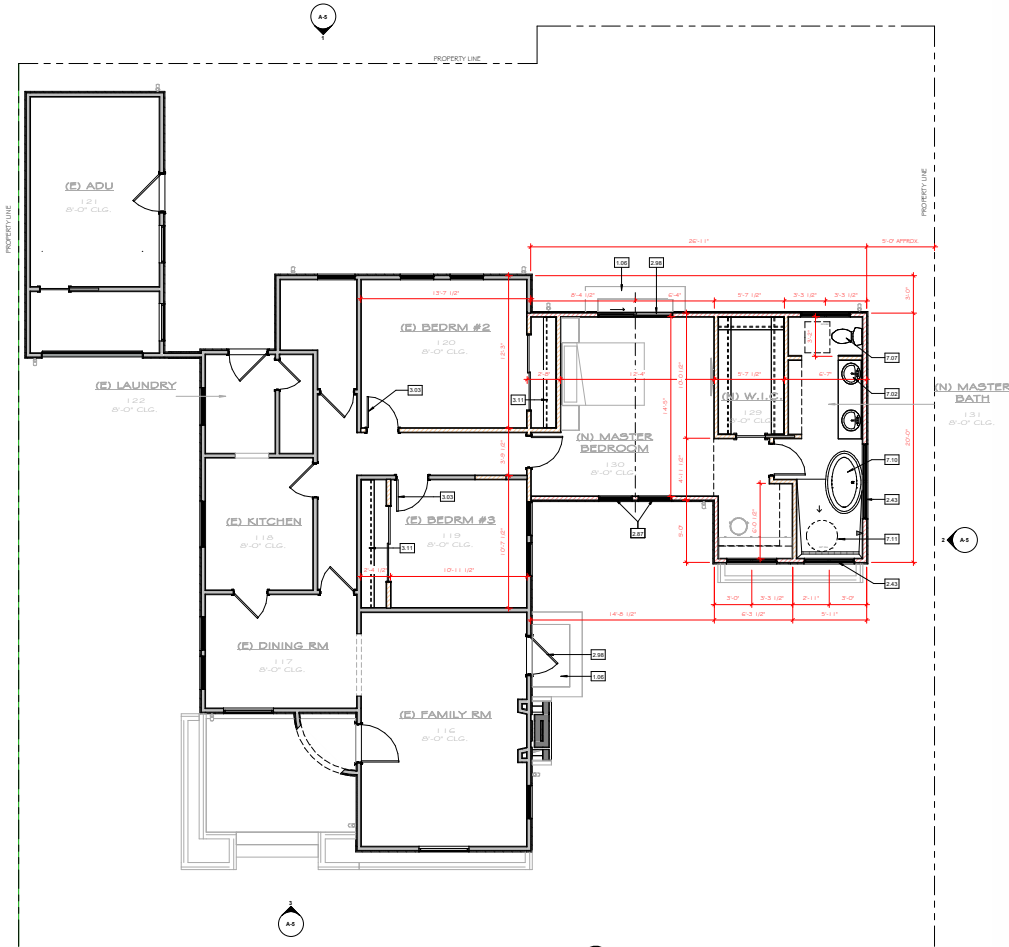
ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SATE CLARA  
CA. 95050

REVISION	
DATE	DATE

SHEET TITLE  
EXISTING FLOOR PLAN

SHEET NUMBER  
A-1

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

- 1.06 PROPOSED CONCRETE LANDING - SLOPE 1/4" = 1' 2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TERTIUMAZONAL BY BUILDER.
- 2.43 PROPOSED NEW ALUMINUM-CLAD WOOD WINDOWS, ALUMINUM COLOR. INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.67 PROPOSED NEW WOOD HUNG WINDOWS.
- 2.80 PROPOSED NEW ALUMINUM-CLAD WOOD DOOR WITH TEMPERED GLASS, ALUMINUM COLOR.
- 3.03 PROPOSED NEW WINDOW DOOR TO MATCH EXISTING SHELF AND FRANGING FOLE.
- 3.11 UNDERMOUNT LAVATORY SINK.
- 7.07 ELONGATED WATER CLOSET WITH 30" MIN. CLEAR WIDTH AND 24" MIN. CLEAR SPACE IN FRONT.
- 7.10 FRESHWATER TUB.
- 7.11 CUSTOM-BUILT SHOWER, HOT-MOPPED SHOWER PAN AND TILED TO 90" MIN. AFF. SHOWER HEAD AT +9'0" AFF.

**FLOOR PLAN LEGEND**

- DOOR TAG
- WINDOW TAG
- SOFFIT TAG
- WALL TAG
- KEYNOTE TAG
- EGRESS WINDOW
- TEMPERED GLASS
- ROOM name ROOM NAME
- 101 ROOM NUMBER
- 9'-0" CLG. FLAT Finish FLOOR FINISH
- DROPPED CEILING HATCH
- CS: CASEMENT WINDOW TYPE
- FX: FIXED WINDOW TYPE
- SLDR: SLIDER WINDOW TYPE
- AW: AWNING WINDOW TYPE

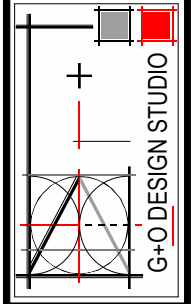
NOTE: DIMENSIONS ARE TO FACE OF FRAMING U.N.O.

**WALL LEGEND**

- (E) 2X4 INTERIOR WALL TO BE DEMO
- (E) 2X INTERIOR WALL TO REMAIN
- (E) 2X EXTERIOR WALL TO REMAIN
- (N) 2X EXTERIOR WALL
- (N) 2X FURRED WALL

**FLOOR PLAN NOTES**

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD. FACE MASONRY, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF G+O DESIGN STUDIO PRIOR TO ANY CONSTRUCTION.
3. SOFFITS, DROPPED CEILING & BROWNS ARE INDICATED WITH HATCHING ON THE PLANS.
4. ALL EXTERIOR FINISH AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
5. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
6. ALL ELECTRICAL FUTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY.
7. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR DESIGN AND DETAILS.
8. CONTRACTORS TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.
9. ALL EQUIPMENT, APPLIANCES, AND FUTURES TO BE INSTALLED PER MPFS RECOMMENDATIONS.
10. FLOOR COVERING MATERIALS SHALL COMPLY WITH ASTM'S C-648, AND SMOKE DENSITY RATING OF LESS THAN 450 PER C-648.
11. MINIMUM FOUR AND ONE-HALF INCH (4 1/2") JAMB OR HINGE SIDE, UNLESS NOTED OTHERWISE. PROVIDE THE FOLLOWING AT EXCESS WINDOWS: 5'7 1/2" FT. OF CLEAR OPENABLE AREA. NET OPENABLE HEIGHT SHALL BE 24" MIN. NET OPENABLE WIDTH SHALL BE 20" MIN. BOTTOM OF CLEAR OPENING SHALL BE A MAX HEIGHT OF 1'44" MAX.
12. WINDOW DOORS TO HAVE LABEL, INDICATING U-VALUE AND SHGC PER 1.2.4.
13. BATHROOM AND SHOWER FLOORS, AND WALLS ABOVE BATHROOMS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF AT LEAST 6 FEET ABOVE THE FLOOR. (IRC R307.2)
14. AT ROLL-IN SHOWERS PROVIDE FULL EXTENT WATER PROOFING IN THE ENTIRE BATHROOM.



34 VIA FLORENIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SATE CLARA  
CA. 95050

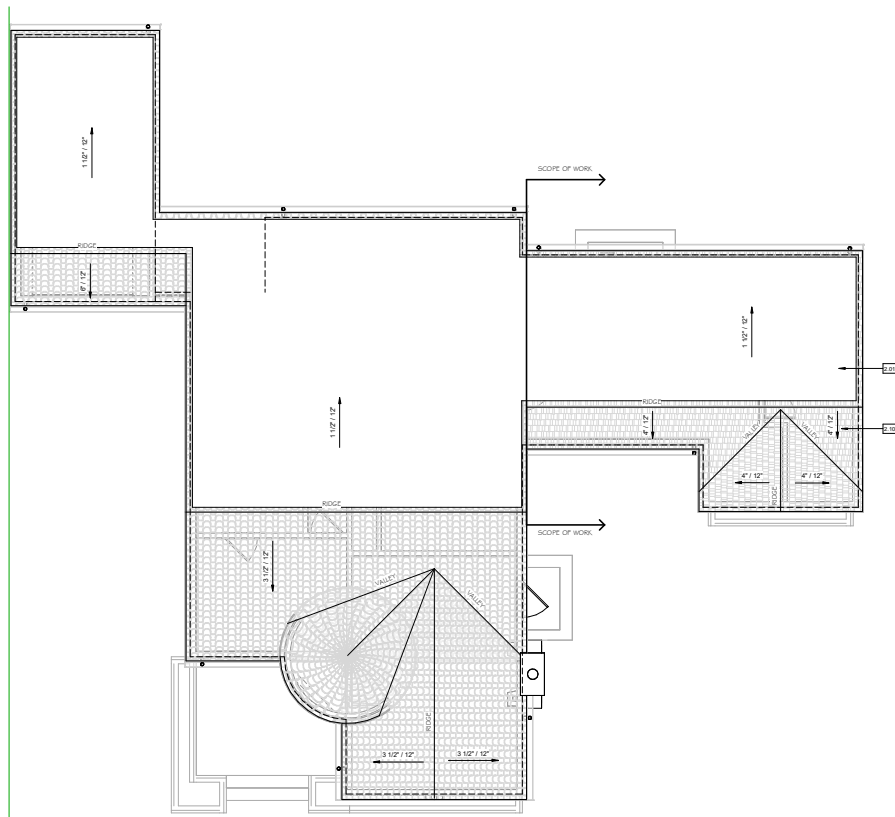
REVISION	
DATE	DATE

SHEET TITLE  
PROPOSED FLOOR PLAN

SHEET NUMBER  
A-2



G+O DESIGN STUDIO SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE, ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



PROPOSED ROOF PLAN



SCALE: 1/4" = 1'-0"

Area Schedule (Roof Area)

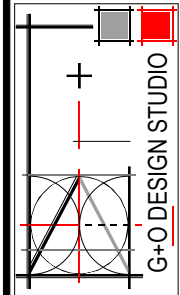
Name	Area	Calculation	R <sup>2</sup> of Ventilation Required	Roof Vent	SCJ Inches Per Vent	# of Vents	R <sup>2</sup> of Ventilation Provided

ROOF LEGEND

- ◆ WALL TAG
- Ⓚ KEYNOTE TAG
- ▨ CLOAKED ROOF VENT
- ROOF PITCH SYMBOL:
  - ▲ ARROW POINTS DOWNSLOPE
  - 8" / 12" - FIRST NUMBER IS VERTICAL RISE
  - SECOND NUMBER IS HORIZONTAL RUN
- LINE OF EXTERIOR FACE OF FRAMING / STRUCTURE BELOW
- /// METAL FLASHING
- ⌒ METAL SADDLE AND CRICKET FLASHING
- ⌒ TYPICAL DOWNSPOUT AND GUTTER, COORDINATE CONNECTION TO STORM DRAINAGE SYSTEM. REFER TO CIVIL DWGS.
- ⊙ SPOT ELEVATION

KEYNOTES

- 2.01 PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- 2.10 PROPOSED NEW ROOF 1/2" BROWN GRAY RANGE, GOLDEN EAGLE PROFILE, BY FAIRFAX ROOFING. INSTALLED PER MANUFACTURER SPECS.



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

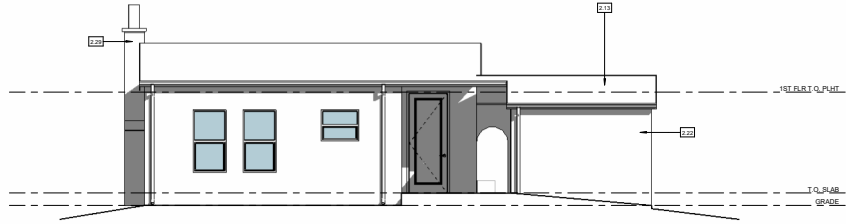
ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SATE CLARA  
CA. 95050

REVISION	
DATE	DATE

SHEET TITLE  
PROPOSED ROOF PLAN

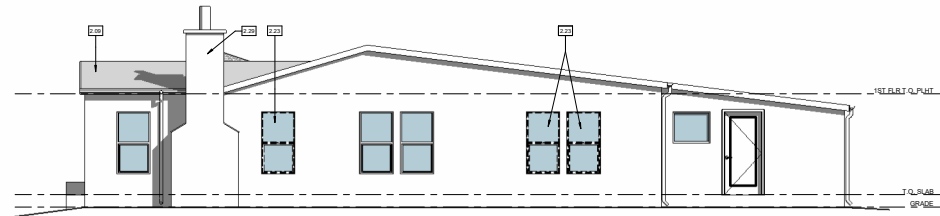
SHEET NUMBER  
A-3

ALL DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE, ANY WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE, ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



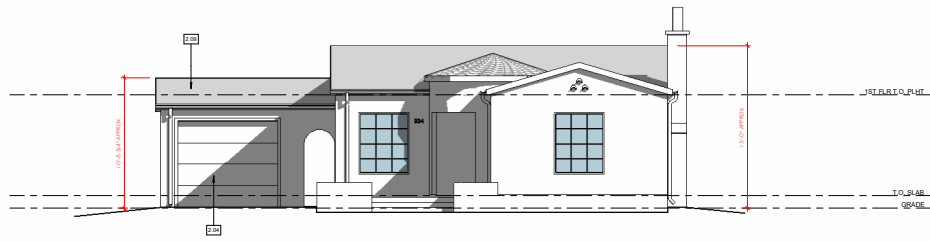
EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



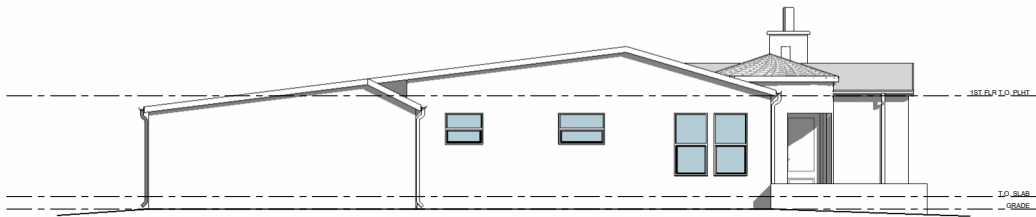
EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES**

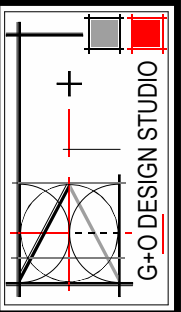
1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUDY. FACE OF MASONRY, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
5. ALL EXTERIOR FINISH AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FUTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
9. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

**KEYNOTES**

- 2.04 EXISTING GARAGE DOOR
- 2.09 EXISTING ROOF BY CLAY TILE TO REMAIN
- 2.13 EXISTING GUTTER ROOF SYSTEM TO REMAIN
- 2.22 EXISTING WALL WITH STUCCO TO REMAIN
- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 2.29 EXISTING FIREPLACE TO REMAIN

**ELEVATION LEGEND**

KEYNOTE TAG



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

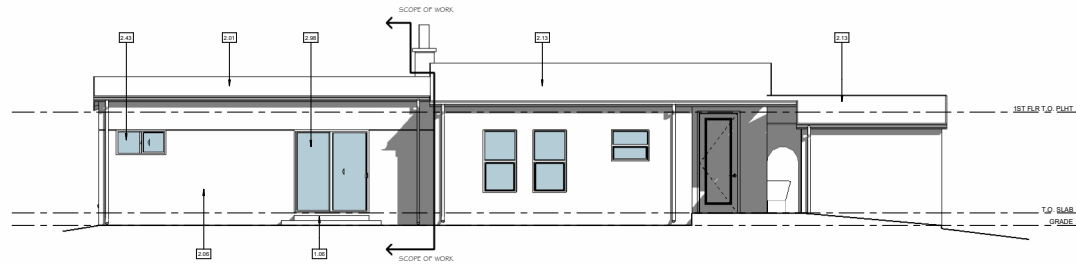
ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SATE CLARA  
CA. 95050

REVISION	
DATE	DATE

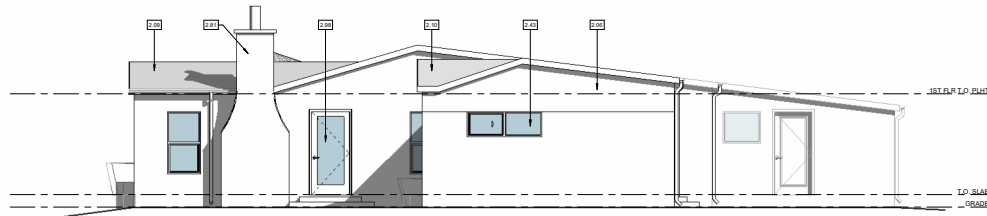
SHEET TITLE  
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER  
A-4

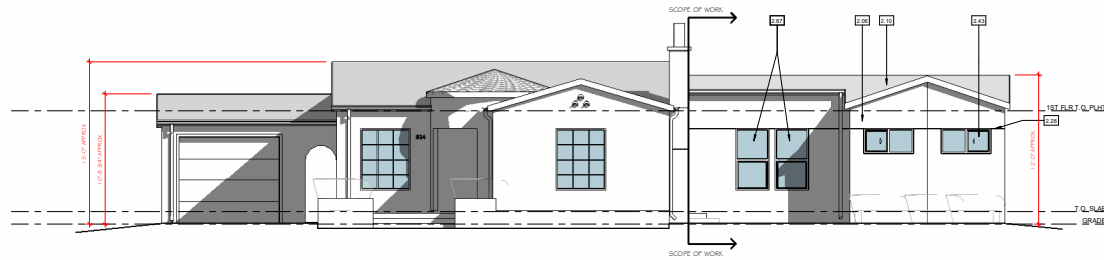
ALL DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE, ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



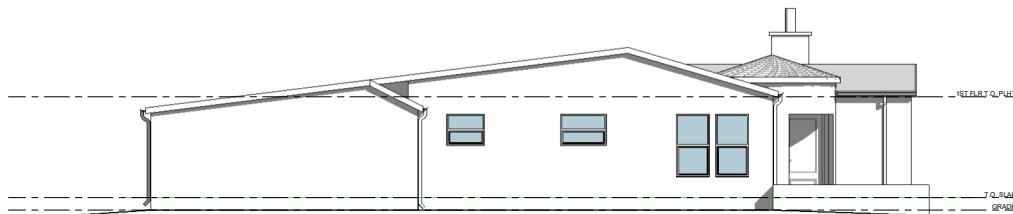
PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES**

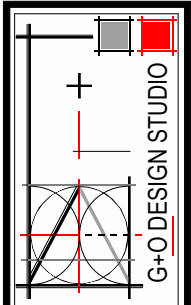
1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD, FACE OF MASONRY, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
5. ALL EXTERIOR FINISHES AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FUTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
9. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

**KEYNOTES**

- 1.00. PROPOSED CONCRETE LANDING - SLOPE 1/4"-1"2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TOTO/CONCRETE BY BULLER.
- 2.01. PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- 2.02. PROPOSED NEW EXTERIOR WALL WILL FEATURE A STUCCO FINISH WITH A COLOR AND FINISH MATCH DESIGNED TO MINIMIZE VARIATION AND DISTINGUISH IT FROM THE ORIGINAL STRUCTURE.
- 2.09. EXISTING ROOF W/ CLAY TILE TO REMAIN.
- 2.10. PROPOSED NEW ROOF - 1.65" BROWN GRAY RAHIZ, GOLDEN GABLE PROFILE BY SAGE ROOFING INSTALLED PER MANUFACTURER SPECS.
- 2.13. EXISTING BUILT-UP ROOF SYSTEM TO REMAIN.
- 2.28. STUCCO CONTROL JOINT.
- 2.43. PROPOSED NEW ALUMINUM CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.81. EXISTING BROCKY REFERENCE TO REMAIN.
- 2.87. PROPOSED NEW WOOD HUNG WINDOWS.
- 2.88. PROPOSED NEW ALUMINUM CLAD WOOD DOOR WITH THERMO GLASS, ALUMINUM COLOR.

**ELEVATION LEGEND**

1.01 KEYNOTE TAG



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SATE CLARA  
CA. 95050

REVISION	
DATE	DATE

SHEET TITLE  
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER  
A-5



## MEMORANDUM

DATE March 14, 2025 PROJECT 25057  
NUMBER  
TO Rebecca and Andrew Fung PROJECT 834 Main Street, Santa Clara  
OF 834 Main Street FROM Jen Hembree, Cultural Resources  
Santa Clara, CA 95050 Planner, Page & Turnbull  
[ptdrbecca@gmail.com](mailto:ptdrbecca@gmail.com)  
[andrew.h.fung@gmail.com](mailto:andrew.h.fung@gmail.com)  
CC C. Dikas, Principal VIA Email  
Page & Turnbull;  
S. Kozakavich, Cultural Resource  
Studio Director, Page & Turnbull

REGARDING 834 Main Street, Santa Clara – Secretary of the Interior’s Standards Analysis (SOIS Analysis) - DRAFT

---

## INTRODUCTION

Page & Turnbull prepared this memorandum at the request of Rebecca and Andrew Fung, regarding a proposed project at the property at 834 Main Street in Santa Clara (APN 269-28-062). The single-family property, built ca. 1932 in a Spanish Colonial Revival style, is included in the City of Santa Clara’s (City) Historic Resource Inventory as an Architecturally or Historically Significant Property. It was found eligible for listing in the California Register and the City’s Historic Resource Inventory in 2020 as a good example of its architectural style and is currently subject to a Mills Act Historic Property Preservation Agreement (Mills Act Contract) between the City and owners. The project proposes to construct an addition to the house and an analysis of the project’s compliance with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties* is required as part of the Mills Act Contract. Page & Turnbull reviewed the 2021 Historic Property Preservation Agreement and other project materials to provide our professional opinion on the proposed project’s compliance with the SOI Standards.

The residential property is located downtown Santa Clara, on the west side of Main Street between Lexington Street and Homestead Road and opposite City Park Plaza (**Figure 1 and Figure 2**). The roughly square-shaped parcel includes a one-story single-family residence, built ca. 1932 with a accessory dwelling unit (now a vehicular garage), as well as contemporary non-permanent shed and

chicken coop structures. The property was originally owned and occupied by the Harold Slavens family and is referred to in existing documentation as the 'Slavens House.'

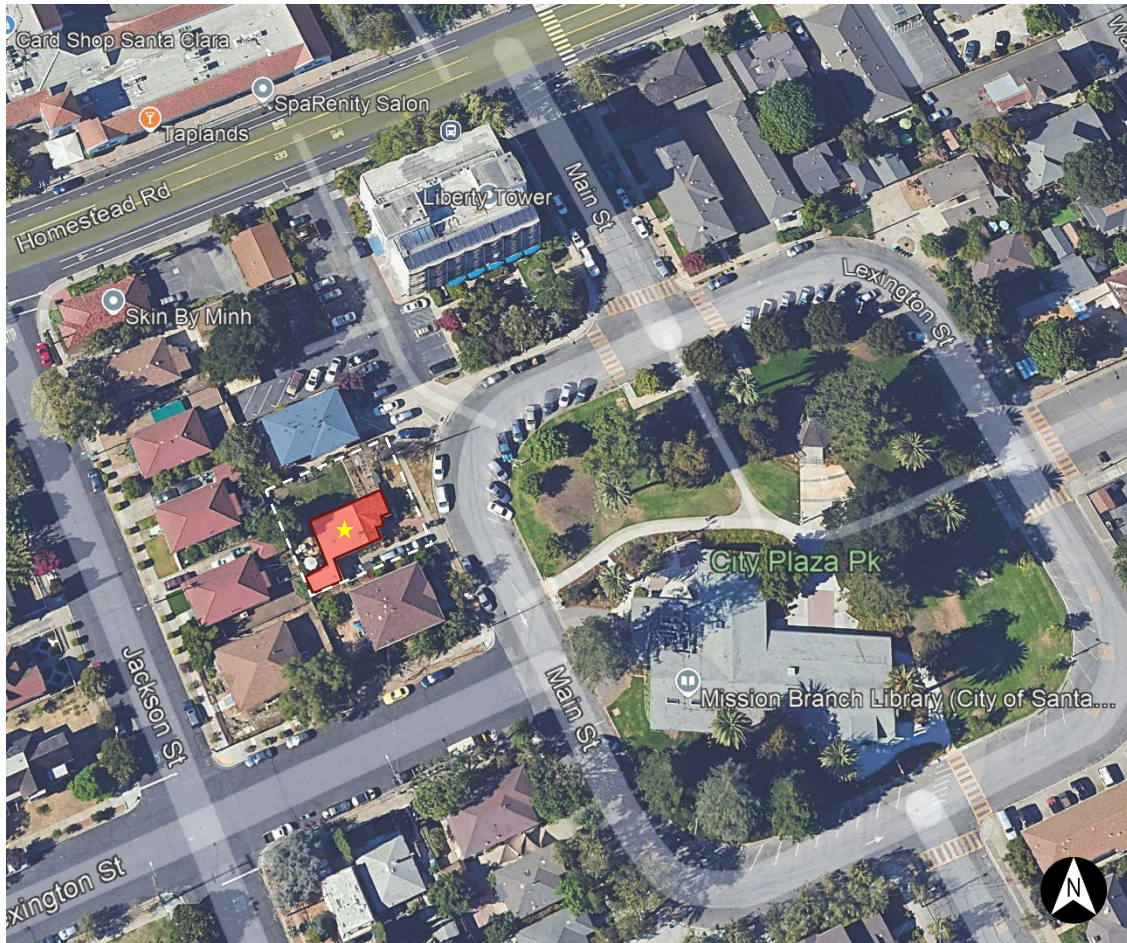


Figure 1. Aerial view of subject property dated 2023. Current footprint of house and garage at 834 Main Street shaded red, parcel boundary indicated by white dashed line. Source; Google Earth, edited by Page & Turnbull.

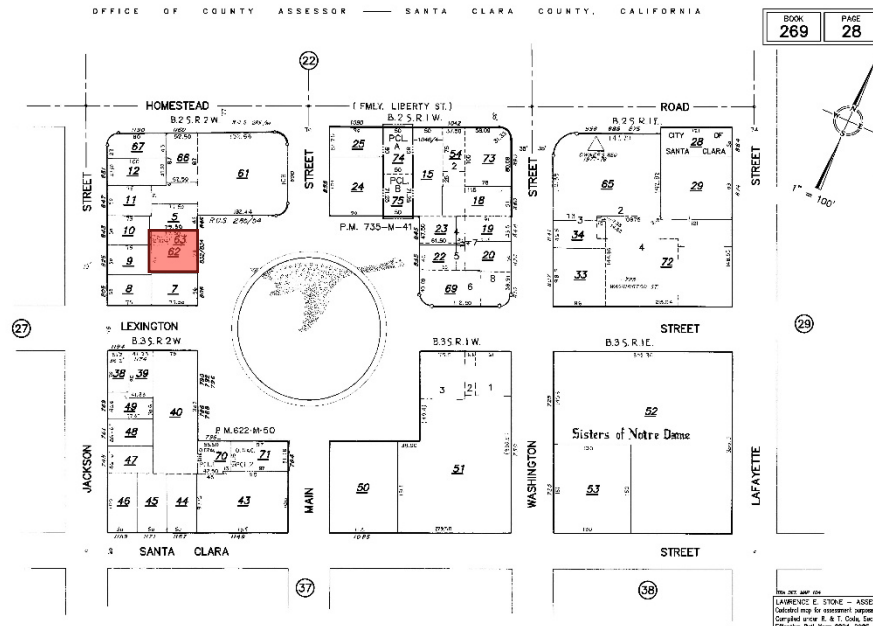


Figure 2. Site plan of 834 Main Street, current footprint of property shaded red. Source: Office of County Assessor – Santa Clara County, 2024-25, edited by Page & Turnbull.

The property is listed on the City of Santa Clara’s Historic Preservation and Resource Inventory and is associated with a Mills Act contract. It is not listed in the most recent version available of the State of California Office of Historic Preservation (OHP) Built Environment Resources Directory (BERD) for Santa Clara County, issued in September 2022. The property is not currently listed in the National Register of Historic Places (National Register), nor is it currently listed in the California Register of Historical Resources (California Register).

## Summary of Findings

Page & Turnbull finds that the project, as designed and with the inclusion of standard protocols for the treatment of archaeological resources, complies with Rehabilitation Standards 1, 3, 4, 5, 6, 7, 8, and 10. As designed, the project would not comply with Standards 2 and 9 due to incompatible design elements. Recommendations for project improvements include altering proposed fenestration and removing or revising elements of the new addition’s design to help make clear what is historic and what is new. If recommendations are adopted into a revised project, the design would meet all ten Standards.

## Methodology

This report includes a summary of the property's current historic status, a brief physical description, a list of previously determined character-defining features that enable the property to convey its historic significance, and an evaluation of the proposed project using the *Secretary of the Interior's Standards for Rehabilitation*.

Page & Turnbull consulted the following documents in preparation of this memorandum:

- *Historic Property Preservation Agreement (834 Main Street)*, September 1, 2021 (**Appendix A**)
- DPR 523 Forms for 834 Main Street, Lorie Garcia, October 2020 (**Appendix A**)
- Andrew and Becca Fung Residences, proposed project drawings prepared by G+O Design Studio, November 13, 2024 (**Appendix B**)

Page & Turnbull conducted a site visit of the subject property on February 20, 2025 to take photographs and observe existing conditions (**Table 1**). Site photographs in this report were taken by Page & Turnbull on February 20, 2025 unless otherwise noted.

## Historic Status

In 2020, historic preservation consultant Lorie Garcia evaluated the potential historic significance of 834 Main Street, and prepared State of California Department of Parks & Recreation (DPR) 523A (Primary Record) and 523 B (Building, Structure, and Object Record) forms for the property (hereafter referred to as the 2020 DPR 523 Forms). The 2020 DPR 523 Forms evaluated the property for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources and the City of Santa Clara Historic Resource Inventory. This evaluation found the following:

- The property may be potentially eligible for the National Register of Historic Places under Criterion C for architecture for embodying the distinctive characteristics of the Spanish Revival style.
- The property is eligible for listing in the California Register of Historical Resources under Criterion 3 as an example of the Spanish Revival style architecture.
- The property does meet City of Santa Clara Historically or Cultural Significance Criteria 1 and 5 for its association with family members who contributed to the heritage of the historical development of the City and because it reflects the development of Santa Clara from a mission site to a residential neighborhood in the first third of the 20th Century.
- The property does meet City of Santa Clara Architectural Significance Criteria 1 and 5 as a rare example of the Spanish Revival architectural style found in Santa Clara and because of its visual appeal for the community due to its unusual style and prominent location.

- The property meets the City of Santa Clara Geographic Significance Criterion 2 as representative of the development of the Old Quad during the first decade of the 20<sup>th</sup> century.

### Character-Defining Features

Character defining features are the essential physical features that enable an historic resource to convey its historic identity. The character-defining features of the Spanish Revival style are outlined in the 2020 DPR 523 forms as a property exhibiting the following:

- Low-pitched, red tiled roof gabled-roof, usually with little or no eave overhang;
- Asymmetrical façade with little decorative detail;
- Stucco wall surface;
- One or more prominent arches placed above a main door or main window.<sup>1</sup>

The character-defining features of the Slaven’s House that contribute to its historic identity as a Spanish Revival style residence are outlined in the following list. Photographs are provided in **Table 1**. This list includes the features explicitly called out in the 2020 DPR 523 Forms as well as those features which are identified in the DPR 523 Forms as representing the building’s original architectural style:

- Low pitched, cross-gable roof form with red tile covering and no eave overhang; and a
- Flat roof portion covered with tar and gravel;
- Asymmetrical façade;
- Stucco walls extending into the gable without a break;
- Tile weep holes;
- Tower;
- Arcaded wing wall;
- Prominent arch above front entry door;<sup>2</sup>
- Two chimneys with elaborated chimney tops [which are] “common to Spanish Revival architecture”<sup>3</sup>; and
- “...rectangular 1-over-1 double-hung windows on the north side-elevation and one medium-size square double-hung window on the south side-elevation, all of which are original wood framed windows”<sup>4</sup>

---

<sup>1</sup> 2020 DPR 523 Forms,7.

<sup>2</sup> 2020 DPR 523 Forms,7.

<sup>3</sup> 2020 DPR 523 Forms, 2.

<sup>4</sup> 2020 DPR 523 Forms, 3.



**Table 1. Existing Conditions Photos, Facades and Details**



**Figure 3. East (primary/front) façade, view west**



**Figure 4. East façade, view northwest**



**Figure 5. East façade, south end view west to garage and arcaded wing wall**



**Table 1. Existing Conditions Photos, Facades and Details**



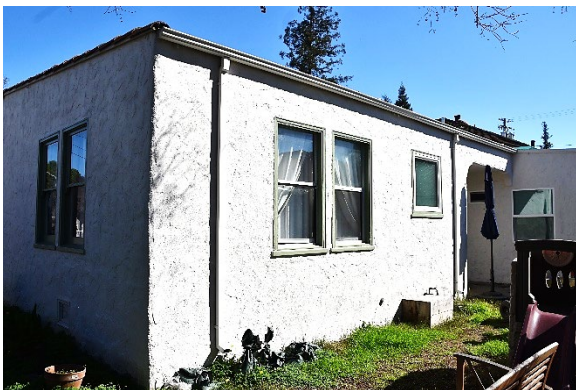
**Figure 6. South façade, view northeast**



**Figure 7. East façade, south end (garage) and arcaded wing wall detail**



**Figure 8. North façade, view southwest**



**Figure 9. Northwest corner, view southeast towards west façade.**



**Figure 10. West façade of house (left) and north façade of garage (right), view southeast.**



**Table 1. Existing Conditions Photos, Facades and Details**



**Figure 11. East façade, view towards tower and prominent arch at entry.**



**Figure 12. Detail of stucco wall, tile weep holes and red roof tiles.**



**Figure 13. Detail of red roof barrel tiles.**



**Figure 14. Detail of exterior brick chimney on north façade.**

## Project Description

Page & Turnbull reviewed project drawings prepared by G+O Design Studio and dated, November 13, 2024 (**Appendix B**). The project proposes to construct a one- story addition on the north (right) side towards the rear (south) of the historic residence to provide a master bedroom with ensuite bathroom and a walk-in closet.<sup>5</sup> The addition would be in a form akin to a hyphen; it would have a squat, L-shaped footprint pulled in from the rear of west side of the residence with its entirety set back substantially from the front or eastern edge of the residence and behind the north side chimney. To connect the addition to the original building, two original wood windows and surrounding stucco wall material would be removed from the north facade. (**See Table 2 and Table 3.**) The addition would have a combination low-pitched gable roof at the east inclusive of weep holes, and an uneven gabled roof at the north. The roof would be clad in a combination of new clay tiling matching existing clay tile on the original residence on the front or east facing slope, with the rear or west facing slope finished in built-up roofing matching that of the existing flat roof components of the residence. The addition's walls would be clad in stucco in a color and finish wash varied from that of the original structure. The maximum height of the addition is proposed to be slightly lower than the maximum height of the roof ridge of the north façade's cross gable and thus, also lower than the maximum height of either of the residence's two chimneys.

Fenestration on the new addition would be limited. At the addition's east façade (facing Main Street), a pair of one-over-one hung windows would be provided in its recessed portion; no openings are proposed in the east façade's projecting, gabled portion. At the north (right) façade of the new addition, a single horizontal slider window would be installed in the eastern portion to provide natural light and ventilation into the bathroom beyond. At the rear or west façade of the addition, a fully glazed vinyl sliding door would be installed in the southern portion with a new concrete landing (stoop) and step down to grade for ingress/egress. In the northern portion, a horizontal slider window would also be installed for additional natural lighting and ventilation into the bathroom beyond. All windows and door would be in a color that matches existing window and door colors.

Another alteration would be made to the north facade of the historic building as part of the proposed project. To serve as ingress/egress from the living or family room beyond, the window adjacent and to the west of the exterior chimney would be removed and the opening both lengthened to grade and widened to accommodate a fully glazed vinyl sliding door. (**See Table 3.**) A concrete landing and step would also be installed.

---

<sup>5</sup> The parcel is aligned slightly west of true north, but for simplicity the façade of building facing Main Street is described as facing north, the façade facing the rear of the parcel is described as facing south, and so on. Note also that as a result of the alignment, facades of the property in the provided architectural drawings are referred to as simply "front" (north), "rear," (south), "right" (west), and "left" (east).

No landscape drawings were provided and thus any proposed landscape or site work required as part of the project is neither described nor assessed in this report.

**Table 2. Existing Condition Photos showing features and materials to be altered (north façade)**



**Figure 15. Views showing approximate location of materials/features to be removed (shaded pink) to accommodate the new addition.**



**Table 2. Existing Condition Photos showing features and materials to be altered (north façade)**



**Figure 16. Views of original wood windows to be removed to accommodate new addition (above) and view of original wood window to be removed and opening enlarged to accommodate new sliding door (right).**



**Table 3. Views from public right-of-way with location of the proposed new addition indicated**



Figure 17. View southwest from Main Street.



Figure 18. View southwest from Main Street.



Figure 19. View west from Main Street.



Figure 20. View west from Main Street.



Figure 21. View south from adjacent property driveway.



Figure 22. View south from adjacent property driveway.



**Table 3. Views from public right-of-way with location of the proposed new addition indicated**



**Figure 23. View northwest from City Park Plaza.**



**Figure 24. View northwest from City Park Plaza.**

### The Secretary of the Interior’s Standards for Rehabilitation

This property is under a Mills Act Contract under which the City of Santa Clara and owners have made an “Agreement both to protect and preserve the characteristics of historical significance of the Historic Property and to qualify the Historic Property for an assessment of valuation pursuant to Section 439.2 of the California Revenue and Taxation Code.” The Agreement furthers that, “Owners shall preserve and maintain the characteristics of historical significance of the Historic Property. The Secretary of the Interior’s Standards for Rehabilitation...contains a list of those minimum standards and conditions for maintenance, use, and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement.”<sup>6</sup>

This section of the Memorandum addresses the requirements of the Agreement wherein the Secretary of the Interior’s Standards for Rehabilitation is applied to the proposed project, and a statement of how the proposed project meets those standards is outlined.

The following table summarizes Page & Turnbull’s analysis. Additional discussion is provided below for two of the ten standards.

Standard No.	Standard for Rehabilitation	Page & Turnbull Finding and Rationale
1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.</i>	Consistent with Standard 1.  Use of building would remain residential.
2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.</i>	Inconsistent with Standard 2.  See following discussion.
3	<i>Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i>	Consistent with Standard 3.  The project does not propose adding conjectural features or elements from other historic properties.
4	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	Consistent with Standard 4.  The residence was constructed in 1932. The original wood framed front

<sup>6</sup> *Historic Property Preservation Agreement, Section B(3)(a).*



		<p>casement windows were replaced by 1993. Rear and south side windows (except kitchen window) were replaced in post-1993. The accessory dwelling unit (ADU) was converted to a garage and its large front window replaced with a garage door, between 1979 and 1993. None of these alterations have acquired historical significance in their own right. The existing converted ADU and the existing replacement windows are to be retained in place as part of the project.</p>
<p>5</p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p>	<p>Consistent with Standard 5.</p> <p>As part of the project, some stucco wall material will be removed from a portion of the north façade to accommodate the physical connection of the new addition to the original house as well as to accommodate the proposed sliding door adjacent to the exterior chimney. However, these changes are proposed for a secondary façade that is less prominent than the front or the south façade. The stucco wall material will also otherwise be preserved at the remainder of the north façade, and the entirety of the primary east façade, the south façade and the west façade. The</p>

		residence’s tile weep holes, tower, arcaded wing wall, prominent arch above front entry door, existing chimneys are distinctive and will also be preserved. The proposed project will thus not result in the substantial diminution or loss of the resource’s materials, features or craftsmanship.
6	<i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i>	Consistent with Standard 6.  The project does not propose repairing or replacement of deteriorated historic features.
7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	Consistent with Standard 7  The project does not propose chemical treatments.
8	<i>Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>	Consistent with Standard 8.  In the event of the inadvertent discovery of archaeological materials during ground disturbing activity, provided that standard discovery procedures for the City of Santa Clara are followed, the proposed project would be consistent with Standard 8.
9	<i>New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</i>	Inconsistent with Standard 9.  See following discussion.

10	<i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i>	<p>Consistent with Standard 10.</p> <p>Because the proposed addition is not flush with the rear or west façade of the home, but is rather attached to the historic home with a smaller-scale recessed hyphen-like form, the old and new volumes are differentiated and the proposed addition could be removed in the future while retaining the essential form and integrity of the house.</p>
----	--	--

**Rehabilitation Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.***

*Discussion:* As designed, the proposed project would alter a total of three existing openings on the north facade. All three of these openings appear be original and hold “original wood windows” per the 2020 DPR 523 forms and the visual site inspection conducted by Page & Turnbull in February 2025. Although wood windows and these window openings are not specifically called out in the 2020 DPR 523 forms list of character-defining features, the wood windows are original and therefore are historic fabric and are representative of the building’s original architectural style. The proposed project would physically connect the historic building at its north façade to the new addition, which would require removal of some existing stucco wall cladding materials, a character-defining feature as determined per the 2020 DPR 523 forms. **(See Table 2.)** Implementation of the proposed project would therefore result in removal of features dating to the property’s original construction including two historic wood windows and associated window openings, as well as some stucco wall fabric to construct the new addition. Implementation of the proposed project would also result in the removal of a third historic window and associated window opening, as well as additional stucco wall fabric to provide a sliding door opening. This alteration would decrease the solid-to-void ratio of this portion of the facade and would be incompatible in size and scale with the fenestration of this façade.

All of the above changes would be confined to a secondary façade of the historic building, and the character-defining features such as the tower, arcaded wing wall and prominent arch above the front entry door would remain prominently visible at the primary (front) east façade. Original openings at the east end of the north façade and the east portion of the south facade, both of which are visible from both Main Street would remain. However, Page & Turnbull notes that the National Park Service, per written guidance outlined in the publication, *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings* does not recommend, "Installing secondary service entrances and porches that are incompatible in size and scale with the historic building."<sup>7</sup> The installation of a large, fully glazed sliding door opening in place of a single hung opening is incompatible in size and scale with existing fenestration.

As such, the proposed project is inconsistent with Standard 2.

Page & Turnbull recommends the following project improvements to bring the project into compliance with Standard 2:

1) The third window opening's width and head height would be retained to avoid disrupting the proportions of the façade and its fenestration. For example, the window would instead be lengthened to grade to accommodate a half-lite door or two-lite door to better reflect the original solid-to-void appearance at this location and to be more compatible in size and scale with the fenestration of this façade. Page & Turnbull further recommends that the new entrance door be of compatible material with the original wood window. The use of an in-kind wood, or aluminum-clad wood door would ensure that the replacement unit was compatible in both visual and physical characteristics, including finish as the building's original openings.

2) Page & Turnbull also notes that per preservation best practices, the three removed original one-over-one wood windows, which are historic material dating to the building's original construction period, would best be salvaged for potential reuse in the original house, such as at existing window locations of the historic home which received contemporary one-over-one aluminum hung windows. (Utilizing salvaged original wood windows in the new addition would not be appropriate as such would result in a false sense of historical development.)

If such design revisions are implemented for the proposed project, it would comply with *Standard 2*.

---

<sup>7</sup> <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 40.

**Rehabilitation Standard 9: *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.***

*Discussion:* The National Park Service recommends that “new additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged, or destroyed in the process of rehabilitation. New design should always be clearly differentiated so that the addition does not appear to be part of the historic resource.”<sup>8</sup> In addition, the National Park Service recommends, “Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.”

Construction of the proposed north addition would alter the spatial relationship between the existing house and existing rear outbuildings, such as the shed and chicken-coop; however, these buildings are contemporary non-permanent structures and are not character-defining features of the property. The proposed project would not otherwise impact spatial relationships at the site, particularly between the house and its converted ADU (now a garage). The dimensions of the lot would remain unaltered, and its relatively open character in the northeastern portion of the lot particularly retained.

Overall, Page & Turnbull finds that although the proposed north side addition is not located on the rear of the building, it is substantially set back from the primary, front façade and therefore is proposed for a less conspicuous location of the side (north) façade. ( **See Table 2, above.** ) It thus also avoids impacting the exterior chimney, a distinctive feature. Overall, the proposed form, massing and limited height would ensure it remains visually subordinate to the historic house. Simple in its recessed hyphen-like or L-shaped massing, its maximum height does not extend above that of the gabled peak of the north façade. Its roof slopes’ otherwise align with or are lower than that of the existing gable’s sloped sides. The addition’s combination roof form with exterior walls clad in compatible, yet not identical stucco, would provide some visual distinction from the historic residence.

However, Page & Turnbull notes that the use of “clay tile matching existing” is not an appropriate material for the addition’s new gabled roof portion. The use of clay tile matching that of the existing adjacent original clay tile roof will not differentiate the addition’s roof from that of the original

---

<sup>8</sup><https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 90.

character-defining red clay barrel tiles and may therefore appear to be part of the historic resource. The new addition's gabled end on its east façade also includes a grouping of three weep holes, which are another character-defining feature of the original residence. The National Park Service guidance *does not* recommend "Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building."<sup>9</sup>

The project also proposes the use of vinyl windows and vinyl sliding door in the new addition's openings. Painted wood was the typical original material of the residence's windows and doors. The National Park Service guidance recommends that new additions "be compatible in terms of mass, *materials* [emphasis added], relationship of solids to voids, and color..."<sup>10</sup> The use of the synthetic material of vinyl is generally not considered compatible in visual and physical characteristics including finish appearance with that of painted wood.

As such, the proposed project is inconsistent with Standard 9.

Therefore, Page & Turnbull recommends the following project improvements to bring the project into compliance with Standard 9:

- 1) that the weep holes be removed from the new addition's design, or that they be differentiated in appearance (such as in shape or reduced in quantity) from those of the historic resource; and
- 2) that in lieu of "clay tile matching existing," an alternate roofing material with a less conspicuous profile (IE flat) and a lighter color be used. Examples of alternate materials may be concrete tiling or asphalt tiling in a light color. These changes to the proposed design will "make clear what is historic and what is new;"<sup>11</sup> and
- 3) Use wood or aluminum-clad wood windows and glazed wood or aluminum- clad wood doors rather than proposed vinyl windows and doors at the proposed addition. This would increase compatibility with the character of the original windows and doors present at 834 Main Street.

If such design revisions are implemented for the proposed project, it would comply with *Standard 9*.

---

<sup>9</sup> <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 91.

<sup>10</sup> <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 41.

<sup>11</sup> <https://www.nps.gov/crps/tps/rehab-guidelines/rehabilitation-guidelines-1997.pdf>, 91.



### *Summary of Standards Analysis*

Following review of the proposed project and supporting documentation, Page & Turnbull finds that the project as designed would comply with *Secretary of the Interior's Standards for Rehabilitation Nos. 1, 3, 4, 5, 6, 7, and 10*. With implementation of standard protocols for discovery of archaeological materials, it would comply with Standard 8. As currently designed, the proposed project would not comply with Standards 2 or 9. The proposed changes to the historic building's north facade and incompatible aspects of the proposed addition would not be consistent with the minimum standards and conditions for maintenance, use, and preservation of a historic property which accompany the property's Mills Act contract.

Revisions to the proposed design could bring the project into fuller compliance with the *Standards for Rehabilitation*. Making the following potential changes to the proposed design would improve compatibility and reduce impacts to historic features and materials:

- Reduce the size of the proposed enlarged opening at the north façade. The use of a half-lite or two-lite door in lieu of the proposed sliding door, for example, would reduce the impact to historic stucco wall fabric and increase compatibility with the fenestration pattern of the historic building.
- Alter the new addition's east façade design features such that the weep holes are removed or are differentiated in appearance, such as in shape or reduced in quantity, from those of the historic resource. This will help make clear what is historic and what is new.
- In lieu of "clay tile matching existing," use an alternate roofing material with a less conspicuous profile (IE flat) and a lighter color for the addition's gabled roof portion. Examples of alternate materials may be concrete tiling or asphalt tiling in a light color. This will help make clear what is historic and what is new.
- Salvage the three original wood hung windows to be removed as part of the project for potential reuse, such as at existing window locations of the historic home that have previously received contemporary one-over-one aluminum hung windows.
- Use wood or aluminum-clad wood windows and glazed wood or aluminum-clad wood doors rather than proposed vinyl windows and doors at the proposed addition and new opening in the historic building. This would increase compatibility with the character of historic windows and doors present at 834 Main Street.

## CONCLUSION

At the request of Andrew and Rebecca Fung, Page & Turnbull has reviewed the proposed project plans for the residential property located at 834 Main Street in Santa Clara, CA (APN 269-28-062) dated September 1, 2021. We reviewed project drawings for a proposed addition to the historic house, which is designated as a historic resource in the City of Santa Clara and has been found eligible for listing in the California Register under Criterion 3. Page & Turnbull found that the proposed project complies with the Standards for Rehabilitation 1, 3, 4, 5, 6, 7, and 10. With implementation of standard protocols for discovery of archaeological materials, the project would comply with Standard 8. However, as designed, the proposed project would not comply with Standards 2 and 9. Recommended revisions to the project's design could increase compatibility of the proposed addition with the historic character of 834 Main Street and reduce impacts to historic features and materials. With appropriate revisions, the project could be fully compliant with the ten Rehabilitation Standards.

## APPENDIX A

*Historic Property Preservation Agreement (834 Main Street), September 1, 2021; and  
DPR 523 Forms for 834 Main Street, prepared by Lorie Garcia, October 2020*

**RECORD WITHOUT FEE  
PURSUANT TO GOV'T CODE SECTION 6103**

**Recording Requested by:**  
Office of the City Attorney  
City of Santa Clara, California

**When Recorded, Mail to:**  
Office of the City Clerk  
City of Santa Clara  
1500 Warburton Avenue  
Santa Clara, CA 95050

**25086169**

**Regina Alcomendras**  
Santa Clara County - Clerk-Recorder

**09/01/2021 11:25 AM**

**Titles: 1      Pages: 32**

**Fees: \$0.00  
Taxes: \$0  
Total: \$0.00**



Form per Gov't Code Section 27361.6

[SPACE ABOVE THIS LINE FOR RECORDER'S USE]

## **HISTORIC PROPERTY PRESERVATION AGREEMENT**

This Agreement, (herein, "Agreement"), is made and entered into this 1 day of July, 2021, ("Effective Date"), by and between Andrew Fung and Rebecca Fung, owners of certain real property located at 834 Main Street, Santa Clara, CA 95050 ("OWNERS") and the City of Santa Clara, California, a chartered California municipal corporation with its primary business address at 1500 Warburton Avenue, Santa Clara, California 95050 ("CITY"). CITY and OWNERS may be referred to herein individually as a "Party" or collectively as the "Parties" or the "Parties to this Agreement."

### **A. Recitals.**

(1) California Government Code Section 50280, et seq. authorizes the CITY to enter into a contract with the OWNERS of qualified Historical Property to provide for the use, maintenance, and restoration of such Historical Property so as to retain its characteristics as property of historical significance.

(2) OWNERS possesses fee title in and to that certain real property, together with associated structures and improvements thereon, shown on the 2020 Santa Clara County Property Tax Rolls as Assessors' Parcel Number 269-28-062, and generally located at the street address 834 Main Street, in the City of Santa Clara ("Historic Property"). A legal description of the Historic Property is attached hereto as "Legal Description," marked as "Exhibit A," and incorporated herein by reference.

(3) The Historic Property is on the City of Santa Clara Architecturally or Historically Significant Properties list. OWNERS submitted a Mills Act Proposal to City on January 22, 2021. The Proposal included a Primary Record from the State of California's Department of Parks and Recreation. A true and correct copy of the Proposal is attached to this Agreement as "Exhibit B".

(4) CITY and OWNERS, for their mutual benefit, now desire to enter into this Agreement both to protect and preserve the characteristics of historical significance of the Historic Property and to qualify the Historic Property for an assessment of valuation pursuant to Section 439.2 of the California Revenue and Taxation Code.

B. **Agreement.**

NOW, THEREFORE, CITY and OWNERS, in consideration of the mutual covenants and conditions set forth herein, do hereby agree as follows:

(1) **Effective Date and Term of Agreement.** The term of this Agreement shall commence on the effective date of this Agreement and shall remain in effect for a term of ten (10) years thereafter. Each year upon the anniversary of the effective date, such term will automatically be extended as provided in paragraph 2, below.

(2) **Renewal.**

(a) Each year on the anniversary of the effective date of this Agreement, ("renewal date"), one (1) year shall automatically be added to the term of this Agreement unless notice of nonrenewal is mailed as provided herein.

(b) If either the OWNERS or CITY desires in any year not to renew the Agreement, OWNERS or CITY shall serve written notice of nonrenewal of the Agreement. Unless such notice is served by OWNERS to CITY at least ninety (90) days prior to the annual renewal date, or served by CITY to OWNERS at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the balance of the remaining term of the Agreement as provided herein.

(c) OWNERS may make a written protest of a nonrenewal notice issued by CITY. CITY may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to OWNERS of nonrenewal. If either CITY or OWNERS serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, from either original execution date or the last renewal date of the Agreement, whichever is applicable.

(3) **Standards for Historical Property.** During the term of this Agreement, the Historic Property shall be subject to the following conditions, requirements, and restrictions:

(a) OWNERS shall preserve and maintain the characteristics of historical significance of the Historic Property. "The Secretary of the Interior's Standards for Rehabilitation," marked as "Exhibit C" to this agreement, and incorporated herein by this reference, contains a list of those minimum standards and conditions for maintenance, use, and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement.

(b) OWNERS shall, when necessary or as determined by the Director of Planning and Inspection, restore and rehabilitate the property to conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, the United States Secretary of the Interior Standards for Rehabilitation and the California Historical Building Code and in accordance with the attached schedule of potential home improvements, drafted by the OWNERS and approved by the City Council, attached hereto as "The Description of the Preservation and Restoration Efforts," marked as "Exhibit D" to this agreement, and incorporated herein by this reference.

(c) OWNERS shall allow, and CITY requires, that after five (5) years, and every five (5) years thereafter, an inspection of the property's interior and exterior shall be conducted by a

party appointed by CITY, to determine OWNERS' continued compliance with the terms of this Agreement. OWNERS acknowledge that the required inspections of the interior and exterior of the property were conducted prior to the effective date of this Agreement.

**(4) Provision for Information.**

(a) OWNERS hereby agree to furnish CITY with any and all information requested by the CITY to determine compliance with the terms and provisions of this Agreement.

(b) It shall be the duty of the OWNERS to keep and preserve, for the term of the Agreement, all records as may be necessary to determine the eligibility of the property involved, and the OWNERS compliance with the terms and provisions of this Agreement, including, but not limited to blueprints, permits, historical and/or architectural review approvals, and schedules of potential home improvements drafted by the OWNERS and approved by the City Council.

**(5) Cancellation.**

(a) CITY, following a duly noticed public hearing as set forth in California Government Code Section 50280, et seq., shall cancel this Agreement or bring an action in court to enforce this Agreement if it determines any one of the following:

(i) the OWNERS breached any of the terms or conditions of this Agreement; or

(ii) the OWNERS have allowed the property to deteriorate to the point that it no longer meets standards for a qualified historic property.

(b) CITY may also cancel this Agreement if it determines that:

(i) the OWNERS have allowed the property to deteriorate to the point that it no longer meets building standards of the City Code and the codes it incorporates by reference, including, but not limited to, the Uniform Housing Code, the California Historical Building Code, the California Fire Code, and the Uniform Code for the Abatement of Dangerous Buildings or;

(ii) the OWNERS have not complied with any other local, State, or federal laws and regulations.

(iii) the OWNERS have failed to restore or rehabilitate the property in the manner specified in subparagraph 3(b) of this Agreement.

(c) In the event of cancellation, OWNERS shall pay those cancellation fees set forth in California Government Code Section 50280, et seq. As an alternative to cancellation, OWNERS may bring an action in court to enforce the Agreement.

**(6) No Waiver of Breach.**

(a) No waiver by CITY of any breach under this Agreement shall be deemed to be a waiver of any other subsequent breach. CITY does not waive any claim of breach by OWNERS if CITY does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for under the terms of this Agreement or in the City's laws and regulations are available to the City.



**(7) Mediation.**

(a) Any controversies between OWNERS and CITY regarding the construction or application of this Agreement, and claim arising out of this contract or its breach, shall be submitted to mediation upon the written request of one party after the service of that request on the other party.

(b) If a dispute arises under this contract, either party may demand mediation by filing a written demand with the other party.

(c) The parties may agree on one mediator. If they cannot agree on one mediator, there shall be three: one named in writing by each of the parties within five days after demand for mediation is given, and a third chosen by the two appointed. Should either party refuse or neglect to join in the appointment of the mediator(s) or to furnish the mediator(s) with any papers or information demanded, the mediator(s) may proceed ex parte.

(d) A hearing on the matter to be arbitrated shall take place before the mediator(s) in the city of Santa Clara, County of Santa Clara, State of California, at the time and place selected by the mediator(s). The mediator(s) shall select the time and place promptly and shall give party written notice of the time and place at least fifteen (15) days before the date selected. At the hearing, any relevant evidence may be presented by either party, and the formal rules of evidence applicable to judicial proceedings shall not govern. Evidence may be admitted or excluded in the sole discretion of the mediator(s). The mediator(s) shall hear and determine the matter and shall execute and acknowledge the award in writing and cause a copy of the writing to be delivered to each of the parties.

(e) The submission of a dispute to the mediator(s) and the rendering of a decision by the mediator(s) shall be a condition precedent to any right of legal action on the dispute. A judgment confirming the award may be given by any Superior Court having jurisdiction, or that Court may vacate, modify, or correct the award in accordance with the prevailing provisions of the California Mediation Act.

(f) Each party shall bear their own cost(s) of mediation.

**(8) Binding Effect of Agreement.**

(a) The OWNERS hereby subjects the Historic Property described in Exhibit "A" hereto to the covenants, reservations, and restrictions as set forth in this Agreement. CITY and OWNERS hereby declare their specific intent that the covenants, reservations, and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon the OWNERS successors and assigns in title or interest to the Historic Property. Each and every contract, deed, or other instrument hereinafter executed, covering, encumbering, or conveying the Historic Property, or any portion thereof, shall conclusively be held to have been executed, delivered, and accepted subject to the covenants, reservations, and restrictions expressed in this Agreement, regardless of whether such covenants, reservations, and restrictions are set forth in such contract, deed, or other instrument.

(b) CITY and OWNERS hereby declare their understanding and intent that the burden of the covenants, reservations, and restrictions set forth herein touch and concern the land in that OWNERS' legal interest in the Historic Property.

(c) CITY and OWNERS hereby further declare their understanding and intent that the benefit of such covenants, reservations, and restrictions touch and concern the land by enhancing and maintaining the historic characteristics and significance of the Historic Property for the benefit of the CITY, public (which includes, but is not limited to the benefit to the public street generally located at 904 Madison Street), and OWNERS.

(9) **Notice.**

(a) Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below or at any other address as may be later specified by the parties hereto.

**CITY:** City of Santa Clara  
Attn: City Clerk  
1500 Warburton Avenue  
Santa Clara, CA 95050

<b>OWNERS:</b> Andrew Fung	Rebecca Fung
834 Main Street	834 Main Street
Santa Clara, CA 95050	Santa Clara, CA 95050

(b) Prior to entering a contract for sale of the Historic Property, OWNERS shall give thirty (30) days notice to the CITY and it shall be provided at the address of the respective parties as specified above or at any other address as may be later specified by the parties hereto.

(10) **No Partnership or Joint Enterprise Created.** None of the terms, provisions, or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors, or assigns; nor shall such terms, provisions, or conditions cause them to be considered joint ventures or members of any joint enterprise.

(11) **Hold Harmless and Indemnification.** To the extent permitted by law, OWNERS agree to protect, defend, hold harmless and indemnify CITY, its City Council, commissions, officers, agents, and employees from and against any claim, injury, liability, loss, cost, and/or expense or damage, however same may be caused, including all costs and reasonable attorney's fees in providing a defense to any claim arising there from for which OWNERS shall become legally liable arising from OWNERS' acts, errors, or omissions with respect to or in any way connected with this Agreement.

(12) **Attorneys' Fees.** In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations, or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to costs and other relief ordered by the court.

(13) **Restrictive Covenants Binding.** All of the agreements, rights, covenants, reservations, and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner pursuant to this Agreement.

(14) **Mills Act Historic Property Contract Application Requirements.** An application for a Mills Act Historic Property Contract shall be made through the Planning Division and shall include the following:

- a. a Historic Resources Inventory form;
- b. the description of the preservation or restoration efforts to be undertaken as referenced in paragraph 3 (b) as Exhibit "D";
- c. a statement of justification for the Mills Act Historic Property designation and reassessment; and,
- d. the Mills Act Historic Property Contract filing fee pursuant to paragraph 17.

(15) **Mills Act Historic Property Contract Approval.** Based upon the Historical and Landmarks Commission's ("Commission") review of the Mills Act Historic Property Contract criteria and recommendation to Council, and based upon the recommendation and approval by Council, a Mills Act Historic Property Contract may be entered into with OWNERS. The decision of the City Council shall be final and conclusive in the matter.

(16) **Recordation and Notice.** No later than twenty (20) days after the parties execute and enter into this Agreement, the CITY shall cause this Agreement to be recorded in the office of the County Recorder of the County of Santa Clara.

(17) **Fees.** The Planning Department may collect such Mills Act Historic Property Contract application fee of \$7,564.00 (seven thousand, five hundred, and sixty-four dollars), or other fees for the administration of this contract as are authorized from time to time by the City Council. Such fees do not exceed the reasonable cost of providing the service for which these fees are charged. OWNERS shall pay the County Recorder's Office recordation fees for recordation of this Mills Act Historic Property Contract and the recordation of the OWNERS updated Historic Resources Inventory form.

(18) **Ordinary Maintenance.** Nothing in this contract shall be construed to prevent the ordinary maintenance or repair of any exterior architectural feature in or on any Historic Property covered by this contract that does not involve a change in design, material, or external appearance thereof, nor does this contract prevent the construction, reconstruction, alteration, restoration, demolition, or removal of any such external architectural feature when the Director of Planning and Inspection determines that such action is required for the public safety due to an unsafe or dangerous condition which cannot be rectified through the use of the California Historical Building Code and when such architectural feature can be replaced according to the Secretary of Interior's Standards.

(19) **California Historical Building Code.** The California Historical Building Code ("CHBC") provides alternative building regulations for the rehabilitation, preservation, restoration, or relocation of structures designated as Historic Properties. The CITY's building permit procedure shall be utilized for any Historic Property which is subject to the provisions of this Agreement, except as otherwise provided in this Agreement or the CHBC. Nothing in this Agreement shall be deemed to prevent any fire, building, health, or safety official from enforcing laws, ordinances, rules, regulations, and standards to protect the health, safety, welfare, and property of the OWNERS or occupants of the Historic Property or the public.

**(20) Conservation Easements.**

(a) Conservation easements on the facades of the Historical Property may be acquired by the CITY, or on the CITY's behalf, by a nonprofit group designated by the CITY through purchase, donation, or condemnation pursuant to California Civil Code Section 815.

(b) The OWNERS, occupant, or other person in actual charge of the Historical Property shall keep in good repair all of the exterior portions of the Historic Property, and all interior portions thereof whose maintenance is necessary to prevent deterioration and decay of any exterior architectural feature.

(c) It shall be the duty of the Director of Planning and Building Inspection to enforce this section.

**(21) Severability.** If any section, sentence, clause, or phrase of this Agreement is, for any reason, held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, or by subsequent preemptive legislation, such decision shall not affect the validity and enforceability of the remaining provisions or portions of this Agreement. CITY and OWNERS hereby declare that they would have adopted this Agreement, and each section, sentence, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, or phrases may be declared invalid or unconstitutional.

**(22) Integrated Agreement - Totality of Agreement.** This Agreement embodies the agreement between CITY and OWNERS and its terms and conditions. No other understanding, agreements, or conversations, or otherwise, with any officer, agent, or employee of CITY prior to execution of this Agreement shall affect or modify any of the terms or obligations contained in any documents comprising this Agreement. Any such verbal agreement shall be considered as unofficial information and in no way binding upon CITY.

**(23) Captions.** The captions of the various sections, paragraphs and subparagraphs are for convenience only and shall not be considered or referred to in resolving questions of interpretation.


**(24) Statutes and Law Governing Contract.** This Agreement shall be governed and construed in accordance with the statutes and laws of the State of California.


**(25) Amendments.** This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

IN WITNESS WHEREOF, CITY and OWNERS have executed this Agreement on the day and year first written above.

**CITY OF SANTA CLARA, CALIFORNIA,  
a chartered California municipal corporation**


APPROVED AS TO FORM:

  
\_\_\_\_\_  
Brian Doyle  
City Attorney

  
\_\_\_\_\_  
Deanna J. Santana  
City Manager

*Ruth Mizobe Shikada*

ATTEST:

  
\_\_\_\_\_  
Nora Pimentel, MMC  
Assistant City Clerk

1500 Warburton Avenue  
Santa Clara, CA 95050  
Telephone: (408) 615-2210  
Fax Number: (408) 241-6771

“CITY”

**Andrew Fung and Rebecca Fung,  
Owners of 834 Main Street**

By:   
\_\_\_\_\_  
Andrew Fung  
834 Main Street  
Santa Clara, CA 95050

By:   
\_\_\_\_\_  
Rebecca Fung  
834 Main Street  
Santa Clara, CA 95050

“OWNERS”

Exhibits:

- A – Property Description
- B – Primary Record
- C – Standards for Rehabilitation
- D – Restoration Schedule

I:\PLANNING\2021\Project Files Active\PLN2021-14790 834 Main Street\HLC\Mills Act Contract.doc

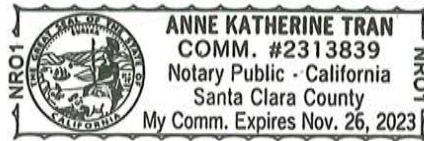
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Santa Clara

On July 30, 2021, before me, Anne Katherine Tran, Notary Public, personally appeared Ruth Mizobe Shikada, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.



Signature

*Anne Katherine Tran*

(Seal)



# California All-Purpose Certificate of Acknowledgment

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }  
 County of Santa Clara } s.s.

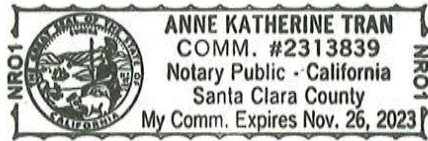
On July 1, 2021 before me, Anne Katherine Tran  
Name of Notary Public, Title

personally appeared Rebecca S. Fung and  
Name of Signer (1)

Andrew H. Fung  
Name of Signer (2)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.



WITNESS my hand and official seal.

[Signature]  
Signature of Notary Public

Seal

### OPTIONAL INFORMATION

*Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this acknowledgment to an unauthorized document and may prove useful to persons relying on the attached document.*

### Description of Attached Document

The preceding Certificate of Acknowledgment is attached to a document titled/for the purpose of \_\_\_\_\_

containing \_\_\_\_\_ pages, and dated \_\_\_\_\_

The signer(s) capacity or authority is/are as:

- Individual(s)
- Attorney-in-fact
- Corporate Officer(s) \_\_\_\_\_  
Title(s)

- Guardian/Conservator
- Partner - Limited/General
- Trustee(s)
- Other: \_\_\_\_\_

representing: \_\_\_\_\_  
Name(s) of Person(s) Entity(ies) Signer is Representing

Additional Information	
Method of Signer Identification	
Proved to me on the basis of satisfactory evidence:	
<input type="checkbox"/> form(s) of identification	<input type="checkbox"/> credible witness(es)
Notarial event is detailed in notary journal on:	
Page # _____	Entry # _____
Notary contact: _____	
Other	
<input type="checkbox"/> Additional Signer	<input type="checkbox"/> Signer(s) Thumbprints(s)
<input type="checkbox"/>	_____

**EXHIBIT A**

The land referred to is situated in the County of Santa Clara, City of Santa Clara, State of California, and is described as follows:

Beginning on the Southwesterly line of Main Street, distant thereon Northwesterly 56 feet from the intersection thereof with the Northwesterly line of Lexington Street; thence from said point of beginning Northwesterly along said line of Main Street, 73.50 feet; thence at right angles Southwesterly 77.50 feet to the Northeasterly line of the Parcel of Land conveyed to George J. Harkey, et ux, by Deed recorded February 27, 1923, Book 14 Official Records, Page 494; thence Southeasterly along said Northeasterly line of said Harkey Parcel of Land and the Southeasterly prolongation thereof, 73.50 feet; thence Northeasterly at right angles, 77.50 feet to the point of beginning and being a portion of Lot 2 in Block 2 South, Range 2 West in said City of Santa Clara.

APN: 269-28-062  
ARB: 269-28-006  
ARB1: 269-28-006-01

*I have read & understand this report.*

*Rebecca Fry*      1/19/2021  
*A. Fry*              1/19/2021

# Exhibit B

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION <b>PRIMARY RECORD</b>	Primary# _____ HRI# _____ Trinomial _____ NRHP Status Code _____ Other Listings _____ Review Code _____ Reviewer _____ Date _____
---	--

Page 1 of 18 \*Resource Name or #: (Assigned by recorder) *Harold Slavens House*

P1. Other Identifier: *Slavens House*

\*P2. Location:  Not for Publication  Unrestricted \*a. County *Santa Clara*

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad *San Jose West* Date *1980 photo revised* *T 7S; R 1W; unsectioned*; *Mt. Diablo* B.M.

c. Address *834 Main Street* City *Santa Clara* Zip *95050*

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

*Assessor's Parcel Number: 269-28-062*

*West side of Main Street between Homestead and Lexington Streets*

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

*834 Main Street is located in the urban setting of an L-shaped block, which partially surrounds a large open park area and that was developed over a span of a century. The northeastern half of the block was originally developed during the 1850s and redeveloped a century later; the western quarter of the block, the Jackson Street block face, remained undeveloped land until it was developed in the first decade of the twentieth century and has remained intact since then. The southeastern portion, the lower Main Street block face, was also developed in the 1850s and then redeveloped in the first third of the twentieth century while the northeastern portion of Main Street, which connects with Homestead Road, was redeveloped in the last half. Since the 1960s, the northern portion of the block has*  
 (Continued on page 2, form 523L)

\*P3b. Resource Attributes: (List attributes and codes) *HP2 Single – Family Property*

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

**P5a. Photograph or Drawing** (Photograph required for buildings, structures, and objects.)

\*P5b. Description of Photo: (view, date, accession #)

*Front façade (view from street facing west)  
 Photo No: 100\_2690\_09/2020*

\*P6. Date Constructed/Age and Source:

Historic  Prehistoric  Both

*Constructed 1932*

*Assessor's Records; Sanborn maps; Polk City & County Directories*

\*P7. Owner and Address:

*Andrew Hok-Cay Fung & Rebecca Sanders Fung  
 Vincent Lap Wing Fung & Julie Suk-Mei Fung  
 834 Main Street  
 Santa Clara, CA 95050*

\*P8. Recorded by: (Name, affiliation, and address)

*Lorie Garcia  
 Beyond Buildings  
 P.O. Box 121  
 Santa Clara, California 95052*

\*P9. Date Recorded: *October 1, 2020*



\*P10. Survey Type: (Describe) *Intensive*

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Historic Resources Inventory Form "Slavens House," Nov. 8, 1993.*

\*Attachments: NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



(Continued from page 1, Form 523A, P3a. Description)

*undergone multiple changes, including its widening and name change from Liberty Street to Homestead Boulevard. Currently the area is developed with a mix of mostly single-family construction with a multi-story senior housing building fronting on Main Street and commercial properties facing on Homestead Boulevard.*

*The specific property on which this residence is located is a center lot fronting on Main Street with single family construction to the side and rear. With the exception of the lot on which the subject property is located, which is 73' wide, the majority of the single-family lots have similar widths ranging from 45' to 55', and similar lengths at 75.' The homes also have similar setbacks from the street with urban sized front yards and, with the exception of the Homestead block face, the streetscape is a pleasant one which evokes the sense of an early neighborhood.*

*Constructed in 1932, the primary building on the site is a 1,028 sq. ft., one-story house, designed in the Spanish Revival architectural style. Set on a small 5,662 sq. ft. lot, the house fronts roughly east onto Main Street and is set back from the street allowing for an open landscaped area with a cultivated lawn and planting beds with ornamental shrubbery. A sinuous red brick walkway, leads from both the front sidewalk and driveway to the front entry landing. A branch off of this walkway continues past the front of the house to an entry gate that provides access the rear of the site. The house is offset on its 73' x 77.5,' lot allowing for a relatively large north side-yard. A narrow planting bed and a concrete driveway which opens onto Main Street, are located on the south side. The rear of the property is shallow but connects with the north side-yard to form a large L-shaped open area, which includes lawn area, planting beds and large trees.*

*The plan of this single-family residence is basically L-shaped. It has a low-pitched, cross-gabled roof with a prominent, front-facing gable (usually found in Spanish Revival L-shaped houses), punctuated by a small rounded arrow-shaped tower roof. A secondary flat roof covers the rear body of the house. A similar flat roof is found behind a parapeted wall on the garage and on the arcaded wing wall, which connects the house and the garage. The gabled roof and garage parapet are sheathed with regularly laid, individual, straight barrel red mission tiles placed in interlocking rows, alternately facing up and down and the flat roof is covered with gravel and tar. Both roof styles are characteristic of Spanish Revival architecture. The tiled roof has little eave-overhang. Weep holes, a typical Spanish*

*Revival detail, are set close to the eaves in the front and side facing gable faces. The façade is asymmetrical, due to a round tower that projects between the front-facing and side gables. Note: whether round, square or polygonal, a tower is a common elaboration found in Spanish Revival houses, as is the home's arcaded wing wall. The house has two chimneys with elaborated chimney tops (common to Spanish Revival architecture). One punctuates the roof in the center of the house and the other an external, red brick chimney, with the bricks laid in a decorative pattern, projects from the north side-elevation.*

*The house is set over a partial basement, which elevates the living area approximately 18" above the ground. The walls of the house are finished with stucco and, as there is no eave or trim beneath the gable in a Spanish Revival house, the wall surface extends into the gable without a break.*

(Continued on page 3, Form 523L)

**Supplemental Photograph or Drawing**



**Description of Photo:** (view, date, accession #)  
(Camera pointing NW) South side-elevation, tower, front facade, arcaded wing wall and garage. Photo No: 100\_2692; 9/2020.

(Continued from page 2, Form 523L)

*The garage is set towards the rear of the property on the south property line. Like the main body of the house and the attached arcaded wing wall, it is sheathed in stucco and has a small extension clad in wide horizontal siding at the rear. A wooden man door, located towards the front of its north side elevation, provides entry to the garage from the back yard. A new garage roll-up door in the front facade has replaced the original large 12-pane window, which, as seen in a 1979 photo, was in place when this part of the structure was used as an accessory dwelling unit.*

*The main entry to the house is through an arched entryway in the tower that projects between the front facade and south side-elevation. It is accessed from the street by two (2) wide, red brick steps leading to a large, square, open, red brick porch. A similar set of steps provides access from the driveway. A large, rectangular red brick planter with ornamental shrubbery is set between the inner edge of each set of steps and the house wall, with an L-shaped red brick planter set at the open porch corner. The front, or main door, is centered in the tower's small, round, sheltered entry space. This original, solid wood plank door is one of the typical Spanish Revival patterns for doors. It has simple wood molding door surrounds.*

*Located in the rear facade and sheltered by the arcaded wing wall, a secondary entrance provides access to the house from both the garage and the rear of the property. Access to this door is by a two-step wood landing. The door (not original) has 2 large, metal-framed panes of clear glass set in the top half of a solid door.*

*A wood-plank, arched Dutch-door, set into the wing wall's arched opening, secures access from the driveway to the rear house entry, the garage's man-door entry and the rear yard.*

*Fenestration of the front facing gable and the street-side elevation of the south facing gable, currently consists of a large, centered, vertically orientated, rectangular 12-paned aluminum window, which had by 1993 replaced the original wood-framed casement windows. Plain molding frames these windows. Fenestration of the remainder of the house consists of large, rectangular, vertically-orientated, 1-over-1 double hung windows, with two medium-size square windows at the rear of the south side-elevation and a similar window on the rear facade. With the exception of the rectangular 1-over-1 double-hung windows on the north side-elevation and one medium-size square double-hung window on the south side-elevation, all of which are original wood framed windows, the original windows have been replaced with new, aluminum framed, 1-over-1 double-hung windows. However, all of the house's windows are set into their original openings. All the double-hung windows have a projecting sill and are surrounded by narrow, wooden, molded frames.*

*The property is in very good condition and, with the exception of the new windows and garage door, appears to have had little external change since its construction.*

- B1. Historic Name: *Harold Slavens House*  
 B2. Common Name: *Slavens House*  
 B3. Original Use: *Single family residential* B4. Present Use: *Single family residential*  
 \*B5. Architectural Style: *Spanish Revival*

\*B6. Construction History: (Construction date, alterations, and date of alterations)  
*The residence was constructed in 1932. Original wood framed front casement windows replaced pre-1993. Rear and south side-elevation windows (except kitchen window) replaced post-1993. Accessory dwelling unit converted to garage and its large front window replaced with garage door, between 1979 and 1993.*

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:  
 \*B8. Related Features: *None.*

B9a. Architect: *Not known* b. Builder: *Not known*  
 \*B10. Significance: Theme *Architecture and Shelter* Area *Santa Clara Old Quad*  
 Period of Significance *1932-1978* Property Type *Residential* Applicable Criteria *none*  
 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope.)

*The parcel located at 834 Main Street is a portion of a larger parcel that had originally been identified as Lot 2 of Block 2 South, Range 2 West of the original survey of the City of Santa Clara. This survey was done July 1866 by J. J. Bowen and recorded on August 22 of that same year. (It is this survey that forms the basis for the part of Santa Clara known as the "Old Quad.")*

*Block 2S, R2W, framed by, Jackson. Liberty (Homestead Rd.), Main and Lexington Streets, had been subdivided into two lots by 1866. According to the list of property owners and their improvements, which accompanied the 1866 survey, Lot 1, a 23066 sq. ft. parcel, was owned by the Trustees of the M. E. (Methodist) Church, who had a brick church on their property. This "new" church had been constructed just a few years prior to the 1866 survey to replace the earlier adobe church, which had been built around 1851 about 50' to the west of the new structure. The Trustees of the Female Seminary owned Lot 2, a 46132 sq. ft. parcel. The Female Institute, a frame building, was located on southeast corner of their property (the northwest side of the Public Square). It had been established by the Methodists as a school of higher education for girls in 1853, two years after they had founded the California Wesleyan College (today called the University of the Pacific) on land between Santa Clara and Bellomy Streets (near what is today Winchester Boulevard).*

*As shown on the Plat map of Santa Clara, drawn between 1873 and 1875, the configuration of Block 2S, R2W was the same as delineated nine years earlier on the 1866 survey. By 1877, although the College had relocated to San Jose, the Methodist's Female Institute on Lot 2 remained in use.*

(Continued on page 5, Form 523L)

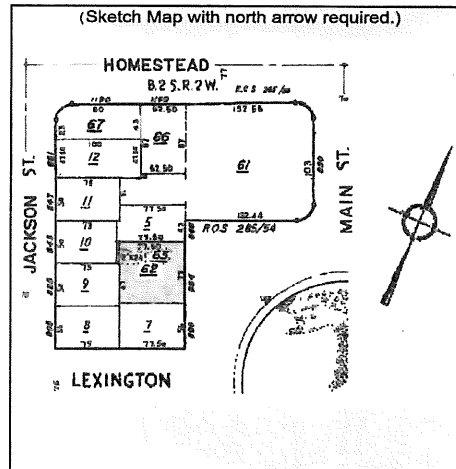
- B11. Additional Resource Attributes: (List attributes and codes) *HP2 – Single Family Property*  
 \*B12. References: *Garcia, Lorie, "Santa Clara: From Mission to Municipality," 1997; Johnson, Mary Ellen (Harold Slaven's daughter), assorted photos and family information, on file S.C. Planning Department, 1993; Map of the Town of Santa Clara, drawn by C. E. Moore, 1893; McAlester, Virginia Savage, "A Field Guide to American Houses," Revised ed., 2013; Polk and Husted City Directories, 1898-1970; Sanborn Fire Insurance Maps, 1891, 1901, 1915, 1950; Santa Clara Commercial League, "Progressive Santa Clara," 1904; Silva, Judith, Kenyon Family Genealogy, n.d.; United States Census, 1870, 1880, 1900, 1910, 1920, 1930, 1940.*

B13. Remarks:

\*B14. Evaluator: *Lorie Garcia*

\*Date of Evaluation: *October 1, 2020*

(This space reserved for official comments.)





State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI #  
Trinomial

Page 5 of 18

\*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

\*Date 10/01/2020

Continuation  Update

(Continued from page 4, Form 523B, B10. Significance)

*On the C. E. Moore Map of the Town of Santa Clara, drawn in December 1893, J. M. Kenyon is now indicated as the owner of Lot 2. Although the Female Institute was no longer used for education, the building was still in existence and the rest of the 152.5' x 302.5' lot was still undeveloped land. One of the early settlers in Santa Clara, James Monroe Kenyon had arrived from Ohio in 1849 and settled on 240 acres of land (near Lawrence Expressway and Homestead Rd.). A staunch Methodist, he was one of the early supporters of the M.E. Church in Santa Clara. In 1893, the Brick M.E. Church was still in existence on Lot 1 and would be until it was severely impacted by the 1906 earthquake, which caused walls to fall and the church steeple to collapse into Main Street. (Two years later a new Methodist church was constructed on the site.)*

*In August, 1907, when he was 90, James Monroe Kenyon passed away; four months after his wife, Martha. Lot 2, B2S, R2W, was part of his estate. James and Martha had raised five children, one of which was a daughter, Emma, who had married Henry H. (Harrison) Slavens, 25 years earlier. As the result of a bequest from Emma's father, Henry H. Slavens became the owner of Lot 2. At the time of her father's death, Emma and Henry had been married 25 years, and they had three children; a son, Harold now 22, a daughter Effie, age 18, and a daughter Ollie, age 12. Henry H. Slavens was an astute businessman and while at the turn of the Twentieth Century he had been a grocer, he now became a house contractor in order to meet the rising demand in the township for additional housing.*

*This demand was the result of the escalating rise in population, which was due to the work of entities like the Santa Clara Commercial League, which promoted the area's beautiful climate and the opportunities to be found. As more and more people were attracted to the region. In the Town of Santa Clara, agricultural production expanded and manufacturing enterprises began to grow. The township's 3,650 residents in 1900 were estimated at 4,000 by 1902 and had increased to around 5,000 by the end of the first decade. These new Santa Clara residents needed affordable homes in which to live and as a result many of the larger lots within the township were divided into smaller parcels.*

*H. H. Slavens went into business with S. H. Goodwin, forming the real estate firm of Slavens & Goodwin. Utilizing the Lot 2 portion of B2S, R2W, land he now owned, Henry H. Slavens proceeded to subdivide the western half of his parcel that fronted on Jackson Street between Liberty (today's Homestead) and Lexington Street, into 6 individual lots, upon which he constructed residential structures. The eastern portion of Lot 2 was not subdivided. However, a house was constructed facing Liberty Street, between the house on the newly parceled lot at SE corner of Jackson and Liberty, and the property line between Lot 2 and Lot 1. H. H. Slavens also constructed an additional residence, which fronted on Main Street, on a new lot on the south-eastern portion of Lot 2 at the NW corner of Lexington and Main Streets. This home was for his family.*

*Unlike others who had sold their land, or built houses on their land and then sold the houses, Henry H. Slavens developed his land as an investment. He maintained ownership of the newly constructed residential structures and rented them. The proximity of these new homes to Santa Clara's main business district, which was located on Main and Franklin Streets, seems to have resulted in the new residents of the homes being for the most part more "middle-class" than laborers or working class individuals; i.e., Lumber Mill Superintendent, Architect, Attorney, Teacher, Police Court Justice, etc.. By 1910 all the homes were occupied, and Henry H. Slavens had, with Emma and Ollie, moved into his new house at 806 Main Street.*

*Along with the new residential construction, the Female Institute building was reconfigured and given a new use. In order to construct the new residence at the NE corner of Jackson and Lexington Streets and the one at the NW corner of Main and Lexington Streets, the U-shaped portion of the Female Institute (near Lexington Street) had to be demolished. Now, the remainder of the building, the central section and northern dormitory wing facing Main Street, was painted and turned into apartments (826 and 834 Main Street). One of the occupants of the "new" apartments was Henry Slavens' son, Harold H. According to the 1910 Census, Harold H. Slavens rented an apartment in the 826 Main Street portion.*

*By 1917, Harold Slavens was married and with his wife, Marie, had moved to a home at 1491 Lexington, which the 1920 Census shows he owned, although with a mortgage. Here, in 1918, their daughter, Marie Ellen was born. Then, in 1923, Harold sold this home and moved with Marie and their daughter, Mary Ellen, back into a unit in the 834 Main Street portion of the apartments.*

*Henry H. Slavens passed away in 1929 and Harold Slavens inherited the 826 and 834 Main Street apartments (valued according to the 1930 Census at \$3,500). Here, Harold and his family continued to occupy their 834 Main Street apartment, while he rented out the*

(Continued on Page 6, Form 523L)

(Continued from page 5, Form 523L)

*remaining two apartments of that unit, along with those at the 826 Main Street address.*

*Until 1932 there was minimal change to the block. However, that year, the remainder of the Female Institute was demolished and Harold Slavens had a new house constructed facing Main Street, next to the home his father had occupied at 806 Main Street. He located his new house, (the subject property identified as 834 Main Street), on the portion of the property that had been occupied by what had at first been the Institute's central section and then the 826 Main Street apartment unit. Upon its completion, Harold moved into his new home with his wife, Marie, and their daughter, Mary Ellen. Three years later, his new home's location would prove to be very fortuitous when, in 1935, the United States Government constructed its first post office building in Santa Clara at the corner of Jackson and Franklin Streets, less than 2 blocks away.*

*Harold Slavens was well-known as a mail-carrier in Santa Clara in Santa Clara, having started delivering the mail in 1903 when he was 18 years old. At that time, he delivered mail on a rural route with a horse and buggy and on a bicycle for a salary of \$50 a month. By the time he retired in 1945 at age 60, he had been employed as a mailman for 42 years. Upon his retirement from the Post Office, Harold Slavens went to work as a watchman for the Santa Clara Walnut Growers, whose processing plant was on Lafayette Street near the railroad tracks.*

*Harold Slavens died in 1966 and the City Directories show that Marie, now listed as "widow Harold H.," continued to live in their home. In 1978, Marie Slavens passed away. While the subject residence retained the same configuration during the time the Slavens lived in the residence at 834 Main Street, there appears to have been a different use to one portion of it than what would occur later on. According to Harold and Marie's daughter, Mary Ellen (Slavens) Johnson, the building marked as A on the 1950 Sanborn map was used by the Slavens' as an accessory dwelling unit. Photos of the house taken in 1979 show a large 12-paned front window in this portion of the house, which was later removed and replaced by a garage door when the unit was converted into the garage that exists today.*

*During the last decade that Harold Slaven lived in the residence, Urban Renewal affected all of Lot 1 of Block 2 South, Range 2 West and impacted the City park area to the east of the home. During this time, the Methodist Church was demolished and Liberty Towers, an 11-story Methodist retirement home was constructed on the Lot 1 property. Across the Street to the east, in 1955 the Historic City Plaza Park with its bandstand and paths became the site for the erection of a new Santa Clara Public Library, relocated from its previous location on the second-floor of City Hall downtown. When the Central Library was opened in 1967, the library was renamed the Mission Branch Library.*

*In 1989 the home was purchased by Judi R. and Kipp Thomas and in 1994, they petitioned the City of Santa Clara to add the subject residence to the Architecturally and/or Historically Significant property list. The City Council adopted a Resolution doing so in January 1995. In March 2016, the then owner of 834 Main Street, Barton Scott, a professor at Santa Clara University, sold it to the current owners, Andrew Hok-Cay Fung and Rebecca Sanders Fung.*

#### Historic Evaluation

In order to be considered historically or culturally significant, a property must satisfy certain requirements. It must be 50 years old or older (except in cases of exceptional significance); it must retain historic integrity; it must meet one or more of the National Register of Historic Places criteria for significance, and/or the California Register of Historic Resources criteria for significance, and/or the criteria for listing in a local historic resource inventory.

#### Age Requirement.

*Constructed in 1932, the subject residence at 834 Main Street is over 50 years old and thus meets the age requirement.*

(Continued on Page 7, Form 523L)

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
CONTINUATION SHEET

Primary #  
HRI #  
Trinomial

Page 7 of 18

\*Resource Name or # (Assigned by recorder) Harold Slavens House

Recorded by: Lorie Garcia

\*Date 10/01/2020

Continuation  Update

(Continued from page 6, Form 523L)

Integrity Requirement.

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register of Historic Places criteria recognize seven aspects to integrity. These are location, design, setting, materials, workmanship, feeling and association. To retain historic integrity, a property will always possess several and usually most of these aspects. Both the California Register of Historic Resources and the City of Santa Clara Criteria for Local Significance follow the National Register integrity criteria.

*The property at 834 Main Street has been well maintained and the architectural integrity of the structure has only been slightly diminished by the replacement of some of the original wooden windows. There has been only minimal alteration to the home's exterior since it was constructed and the visual and character defining features of the historic building have been preserved and retained. The residence retains its original configuration and location. The historical use of the building has not changed and it remains a single-family home. The subject property is set within a historic residential setting in the area of Santa Clara known as the "Old Quad," and the immediate surroundings retain the majority of the qualities that reflect the period in which it was constructed.*

*The subject property retains enough of its historic character and appearance to be recognizable as a historic property and to convey the reason for its significance (integrity).*

National Register of Historic Places Criteria.

*There are not any events associated with the residence at 834 Main Street which have made a significant contribution to the broad patterns of history or cultural heritage. It would therefore appear that the building would not be eligible for the National Register of Historic Places based on Criterion A (associated with events that have made a significant contribution to the broad patterns of our history). The building has had 4 known sets of owners over the 88 years of its existence and none appear to reach the level of significant influence required under Criterion B to be considered eligible for the National Register. Neither do any of the other occupants appear to be significant to the history of the region, Nation or State of California. It would therefore appear that the building at 834 Main Street would not be eligible for the National Register based on Criterion B (associated with the lives of persons significant in our past). Although its original windows have been mostly replaced, the majority of the character-defining features of its 1932 construction as a Spanish Revival architectural style remain. These include its low-pitched cross-gabled roof with red tile roof covering and no eave overhang and its flat roof covered with tar and gravel, its asymmetrical façade, its stucco walls that extend into the gable without a break, its tile "weep-holes," its round tower, its arched wing wall, and its prominent arch placed above the main entry door and thus under National Register Criterion C the residence at 834 Main Street does "embody the distinctive characteristics of a type, period, or method of construction" and "represent[s] a significant and distinguishable entity whose components may lack individual distinction" and, due to its prominent location and proximity to other historically significant homes in the area, it does contribute to a potentially eligible Historic District. Therefore, it does appear that the building may be eligible for the National Register of Historic Places under Criterion C.*

California Register of Historic Resources Criteria

*The Criteria for listing in the California Register of Historical Places are consistent with those for listing in the National Register. However, they have been modified to better reflect the history of California at both a local and State level. Criterion 1 is the California Register equivalent of the National Register Criterion A (events) and California Register Criterion 2, the equivalent of National Register Criterion B (persons). The property at 834 Main Street does not appear to be eligible for the California Register based on Criterion 1, or Criterion 2. Criterion 3, the California Register equivalent of the National Register Criterion C, addresses the distinctive characteristics*

(Continued on Page 8, Form 523L)

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI #  
Trinomial

Page 8 of 18 \*Resource Name or # (Assigned by recorder) Harold Slavens House  
Recorded by: Lorie Garcia \*Date 10/01/2020  Continuation  Update

(Continued from page 7, Form 523L)

*of a type, period, region, or method of construction. With a normally asymmetrical façade, which generally had little decorative detail and instead emphasized its varied massing and that was characterized by the use of a stucco wall surface and a low-pitched, red tiled roof gabled-roof, usually with little or no eave overhang, and one or more prominent arches placed above a main door or main window, the Spanish Revival architectural style, (sometimes referred to as Mediterranean in the San Francisco Bay Area), (1915-1940) was introduced at the Panama-Pacific Exposition held in San Diego in 1915 and was based on prototypes found in Spain. Prior this, the majority of Spanish style houses were based on early Spanish mission architecture. Constructed in 1932, the subject building is an example of the Spanish Revival architectural style. The property remains as designed with only a minimal modification to its windows and the integrity of the residence is intact. Thus, it appears to reach the level of significance necessary to be eligible individually for the California Register of Historic Resources under Criterion 3.*

City of Santa Clara Criteria for Local Significance

In 2004, The City of Santa Clara adopted Criteria for Local Significance. Under these criteria, "any building, site, or property in the city that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archaeological significance is potentially eligible," to be a "Qualified Historic Resource." The evaluator finds that the property meets the following criteria:

**Criteria for Historically or Cultural Significance:**

*To be historically or culturally significant a property must meet at least one of the following criteria:*

1. The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state or nation.

*While it is not associated with a historical event, this property has character, interest and integrity and is located in a block that encapsulates the heritage of Santa Clara and the building's association with family members who contributed to this heritage reflects the historical development of the city.*

5. A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities.

*The building does have a direct association with the broad patterns of Santa Clara's history and its historical development. From the time when the site on which it is located was part of Mission Santa Clara (the mission corral) and then developed as the site for the church buildings related to the first American religious organization to be established in the town and then owned by one of the earliest American settlers in Santa Clara, to the home's construction by the member of that early family, this home reflects the development of Santa Clara from a mission site to a residential neighborhood in the first third of the 20<sup>th</sup> Century.*

The subject property does meet Criteria 1 and 5 for Historically or Cultural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria 2, 3, 4 or 6 for Historically or Cultural Significance.

**Criteria for Architectural Significance**

To be architecturally significant, a property must meet at least one of the following criteria:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.

*The several versions of Period Revival styles which evolved during the early part of the twentieth century, provided the ideal architectural response to the subdivision of residential land into small lots for affordable homes. The subject property was constructed in one of those styles, the Spanish Revival architectural style (1915-1935), which came into vogue following the San Diego Panama Pacific Exposition in 1915. Unlike the Mission Revival style that it resembles in its use of stucco walls and red tile roofs, which was based on the early Spanish missions, the Spanish Revival architectural style was mainly influenced by building styles found in Spain,*

(Continued on Page 9, Form 523L)

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI #  
Trinomial

Page 9 of 18

\*Resource Name or # (Assigned by recorder) *Harold Slavens House*

Recorded by: Lorie Garcia

\*Date 10/01/2020

Continuation  Update

(Continued from page 8, Form 523L)

*particularly in rural Andalusian houses. As the coastal climate of California is classified as Mediterranean and its natural setting is very much like that of the countries on the Mediterranean shore, this style, which combined architectural elements from the lands which border the Mediterranean Sea - Spain, Italy and the Islamic world of North Africa - fit perfectly in the State.*

*From its red roof tiles, placed in interlocking rows on the gable-roofed section of the house, to the entry tower with its rounded arched opening, to the weep holes, which protrude through the façade, and its arcaded wing wall, this home, constructed in 1932, is one of the rare examples of the Spanish Revival architectural style found in Santa Clara.*

5. The property has a visual symbolic meaning or appeal for the community.

*Due to its unusual architectural style and prominent location directly across from the public park and Mission Branch Library, this historic house has a visual appeal for the community.*

The subject property does meet Criteria for Architectural Significance 1 and 5 of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Architectural Significance 2, 3, 4, 6 or 7.

**Criterion C: Geographic significance**

To be geographically significant a property must meet at least one of the following criteria:

2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.

*While most of the homes on this portion of this block were constructed in the first decade of the 20th Century, accounting for the compatibility of the building styles in the neighborhood, the home at 834 Main Street, constructed in 1932, in an architectural style reflective of that period, is compatible to the earlier neighboring residential structures. It is representative of the development of the Old Quad during this period and important to the integrity of the historic area in which it is located.*

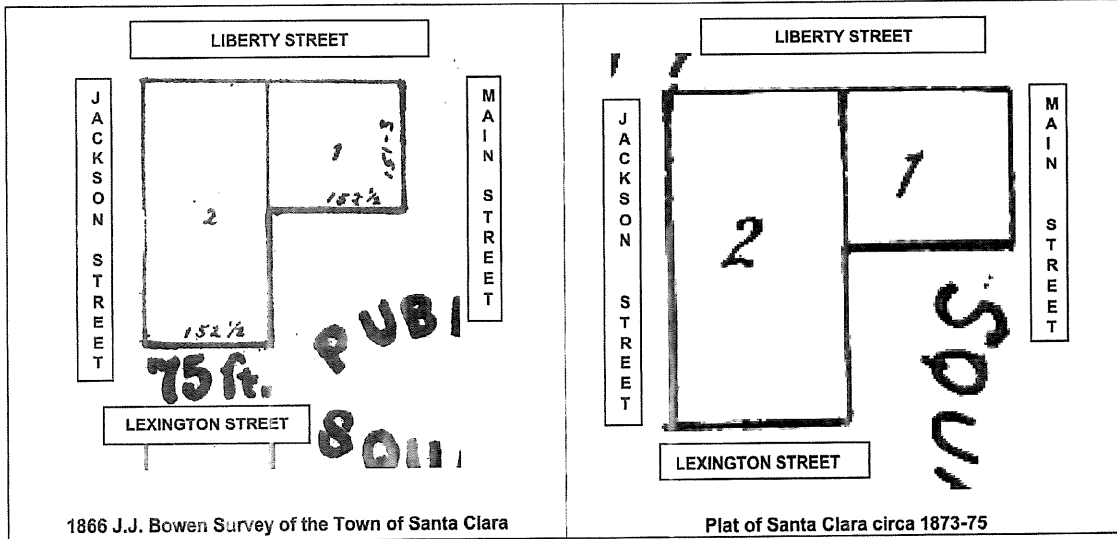
**Criteria for Archaeological Significance:**

As the property at 834 Main Street is not known to contain any known or unknown prehistoric or historic archaeological resources, it would not be Archaeologically Significant under any of the five of the City of Santa Clara's Criteria for Archaeological Resources. However, should any prehistoric or historic archaeological resources be uncovered in the future, this would be subject to change.

**Conclusions and Recommendations**

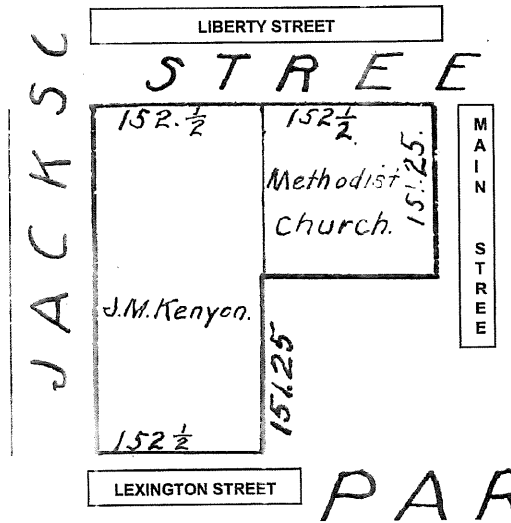
Currently, this property is on The City of Santa Clara Architecturally or Historically Significant Properties list. In this update of the November 8, 1993 Historic Resources Inventory for the City of Santa Clara, the evaluator finds 834 Main Street to be a nice example of the Spanish Revival architectural style and, as it has undergone no significant alteration since the time of its designation as a Historically Significant Property for the City of Santa Clara, to retain sufficient integrity to qualify as a historic property. It appears to continue to be, based on compliance with the National Register of Historic Places Criteria, the California Register of Historic Resources Criteria and the City of Santa Clara's Local Significance Criteria, eligible for listing on the City of Santa Clara Architecturally or Historically Significant Properties List.

HISTORIC MAPS



1866 J.J. Bowen Survey of the Town of Santa Clara

Plat of Santa Clara circa 1873-75

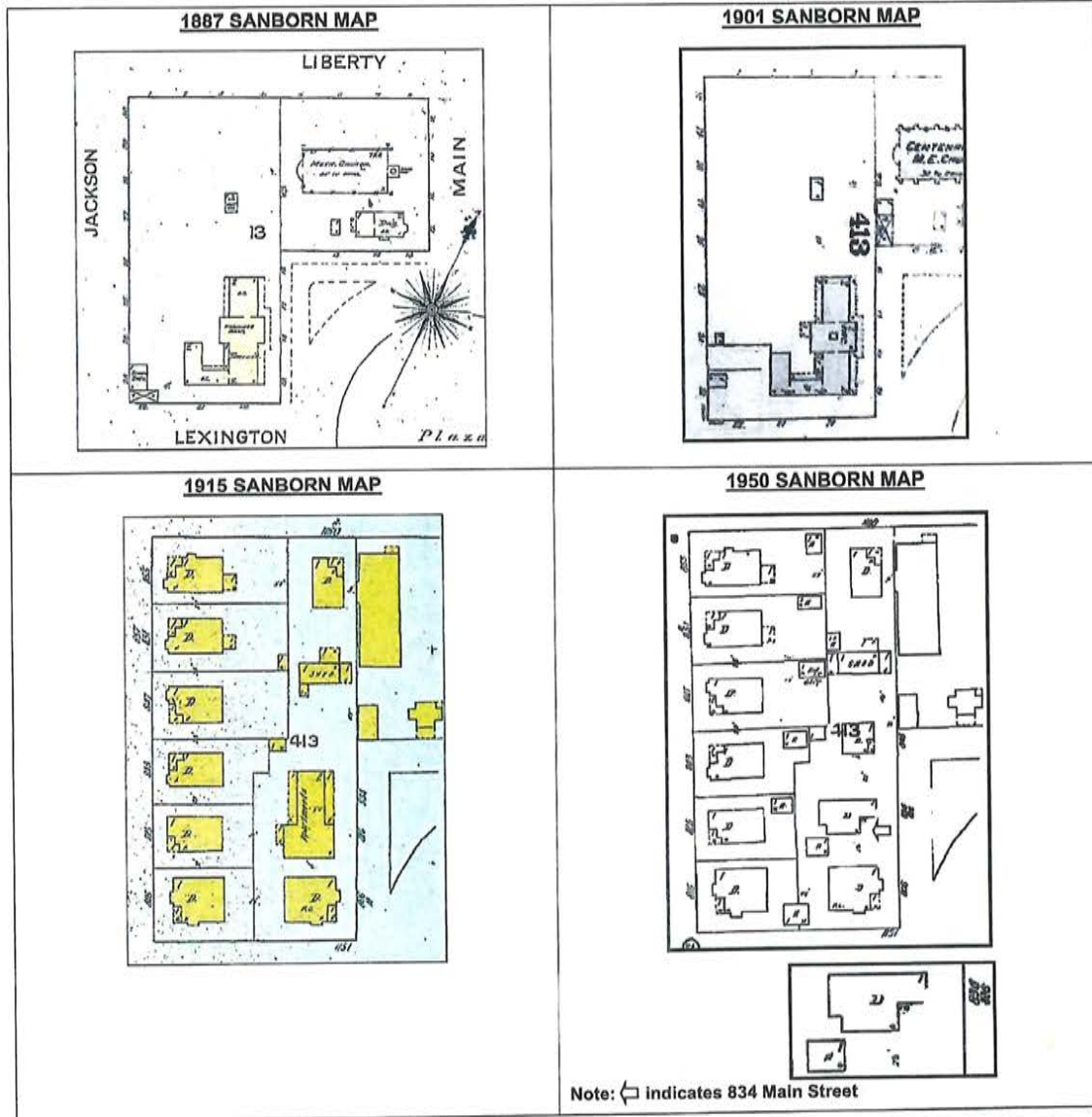


1893 C.E. Moore Map of the Town of Santa Clara

NOTE: LIBERTY STREET was later renamed HOMESTEAD ROAD



**SANBORN FIRE INSURANCE MAPS**

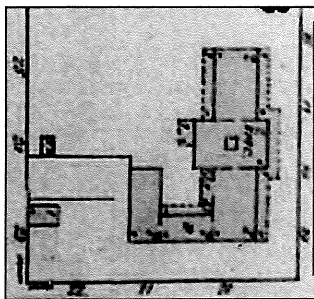


**HISTORIC PHOTOS**

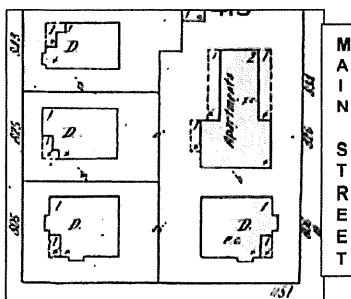
1907 Photo of The Female Institute



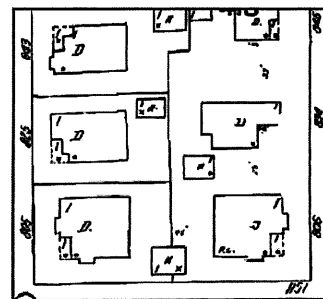
The above photo taken in 1907, shows the Female Institute, facing Main Street, as it appeared at that time. By 1915, the main center portion and the wing to the right had been converted into apartments with the rest of the building demolished. In 1932 the remainder was razed and the residence at 834 Main Street constructed in the right wing's location. (see 1901, 1915 and 1950 Sanborn Maps below).



1901 Sanborn Map

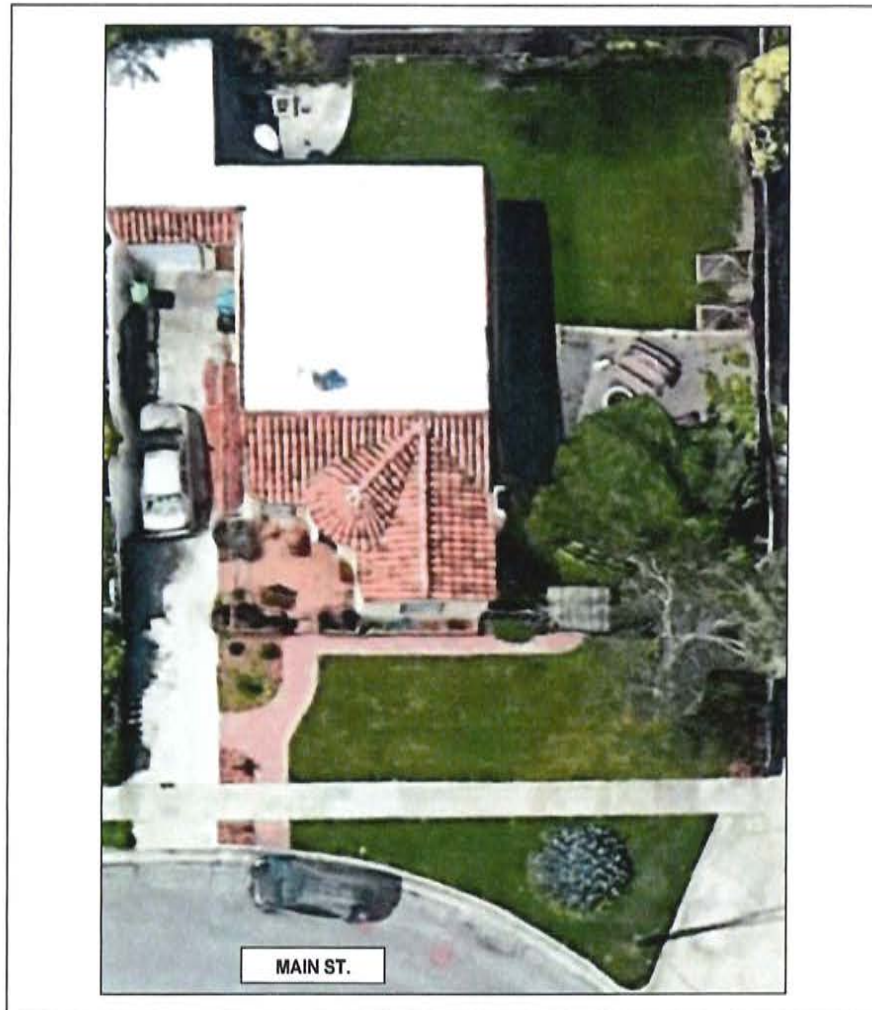


1915 Sanborn Map



1950 Sanborn Map

Google Aerial Photo 2020



The above aerial photo shows placement of house on the lot and the combination red straight barrel mission tile gabled roof and garage parapet along with and tar and gravel flat roof (white) on the rear of the house, arcaded wing wall and garage.

**Additional Photos – South and North side-elevations**



Photo No: 100\_2732; View: South side-elevation and Front façade from Main street.  
Photo Date: Sept., 2020; Camera Facing: West.



Top: Photo No: 100\_2731; View: North side-elevation and partial Front façade from Main Street.  
Photo Date: Sept., 2020; Camera Facing South.



Photo No: 100\_2719; View: S side-elevation from rear towards Main St.  
Photo Date: August, 2020; Camera Facing: NNE.



Photo No: 100\_2705; View: N side-elevation.  
Photo Date: Sept., 2020; Camera Facing: SE.



Additional Photos – Arcaded Wing Wall



Photo No: 100\_2869  
View: Garage and Arcaded Wing Wall exterior view from driveway.  
Photo Date: Sept., 2020; Camera Facing: SW.

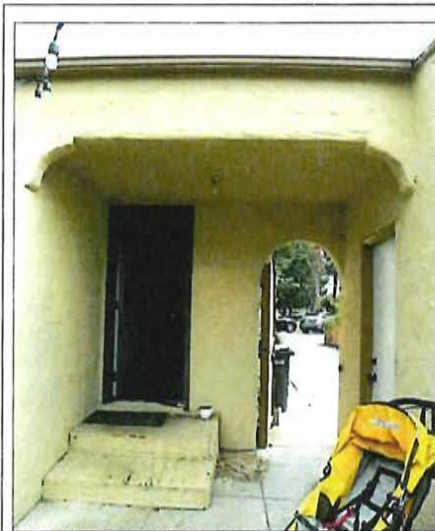


Photo No: 100\_2717; View: Arcaded Wing Wall interior view looking out onto driveway.  
Photo Date: Sept., 2020; Camera Facing: NE.



Photo No: 100\_2712; View: Arcaded Wing Wall interior view & N side elevation of garage.  
Photo Date: Sept., 2020; Camera Facing: SSE.

**Additional Photos – House Rear Façade and Rear Yard**



Photo No: 100\_2701; View: Rear Façade.  
Photo Date: Sept., 2020; Camera Facing: E.



Photo No: 100\_2700  
View: Rear yard toward north property line. Photo Date: Sept., 2020;  
Camera Facing: NNW.



Photo No: 100\_2703  
View: Rear yard toward east property line (Main Street). Photo  
Date: Sept., 2020; Camera Facing: ENE.



Additional Photos – Entry doors



Photo No: 100\_2723; View: Main Entry door (rectangular solid wood plank with decorative detailing);  
Photo Date: Sept., 2020;  
Camera Facing: NW.



Top: Photo No: 100\_2699; View: Arcaded Wing Wall door (arched solid wood plank with iron strap hinges);  
Photo Date: Sept., 2020;  
Camera Facing: WSW.

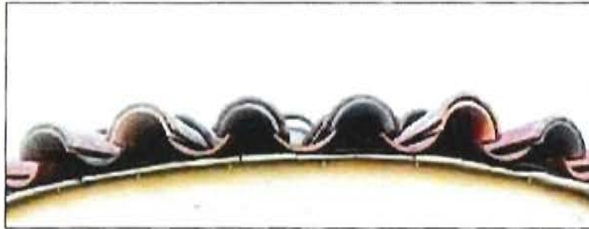


Photo Nos: L -100\_2715; View: Rear Entry. R. 100\_2714; View: Rear Entry door (new);  
Photo Date: Sept, 2020; Camera Facing: NE.



Photo No: 100\_2716; View: Garage Man-door;  
Photo Date: Sept., 2020;  
Camera Facing: SE.

**Additional Photos – Spanish Revival Typical Patterns and Elaborations on House**



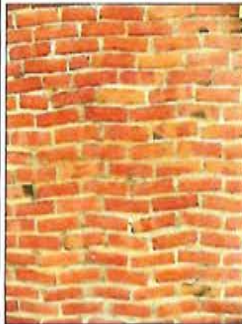
**Straight Barrel Mission Tile (Regularly laid)**

Photos Date: Sept., 2020; Camera Facing: SW (Top photo) & NW (Bottom).

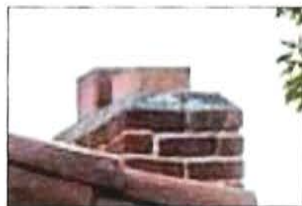


**Weep Holes**

Photo No: 100\_2720; Photo Date: Sept., 2020; Camera Facing: SW.



**Decorative Chimney Brick Pattern**



**Elaborated Chimney Top**

Photos Date: Sept., 2020; Camera Facing: SE (Left photo) & W (Right photo).



**Roughly-laid Stucco Wall Finish**



**Decorative Iron Sconce**

Photos Date: Sept., 2020; Camera Facing: NE (Top) and SW (Left photo)

## Statement of Justification for the Mills Act Historic Property Designation & Reassessment

Our application for the Mills Act is long overdue. Already, our unique Spanish Revival home at 834 Main Street has been listed on the Historic Resources Inventory and we respectfully submit this application to complete this process. We have enjoyed learning from our neighbor (who knew the Slavens when he was young) and our historian about the people who made memories here before us.

While dating in 2016, Becca rented a small 1 bedroom apartment on Bellomy Street where she fell in love with the charm of the Old Quad Neighborhood. She had previously owned a 1930s home in a historic Atlanta neighborhood. There she came to appreciate the character & history that comes with owning an older home. We knew the Santa Clara Old Quad was where we wanted to build our home together. While in escrow, Andrew proposed to Becca in the gazebo next to the Mission Branch Library, in view of our new home.

When we first moved in, we knew the location was desirable, but over the past four years, we regularly marvel at the opportunities our locale affords. We enjoy regular walks to Santa Clara University, where our 18 month old daughter has learned to run up and down hills, waive at strangers, and smell the flowers. The farmer's market is a weekly stop for fresh produce and fish. Taplands has been a frequent stop to meet with friends, watch a Quakes game, and grab a drink. And of course, we are so excited at the prospect of a revitalized historic downtown area.

In the quickly changing landscape of the Bay Area, we believe that civic pride and investment in the community is a rare commodity. We believe we have found this still alive in the Old Quad Neighborhood and hope to continue to be a part of it for years to come.

We intend to continue to carefully maintain and preserve our home, while highlighting its historic appeal. Making upgrades that honor the home's historicity but allow for modern efficiencies will be a priority. These include replacing damaged aluminum framed windows, upgrading HVAC systems, and replacing old electrical wiring. Regular maintenance such as repairing dry rot, rain gutters, repainting the exterior and chimney repair are also part of our preservation plan.

It is with the aforementioned priorities that we respectfully submit our request for the Mills Act Contract which would enable us to preserve and restore our beloved home.

ANDREW AND REBECCA FUNG

834 MAIN STREET

## Exhibit C

### Secretary of Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## Exhibit D

### 10 Year Preservation & Restoration Proposed Plan

2022

- Replace and repair aged and dysfunctional rain gutters in the back of the house
- Replace and repair dry rot in garage eaves
- Install new irrigation system for the backyard and upgrade the frontyard's irrigation system to reduce water waste

2023

- Restore aluminum framed windows & repair dry rot when present
- Replace large front facing windows leaks have had to be repaired and moisture intruded between the double panes

2024

- Restore and repair weight and pulley systems in 1-over-1 wood double hung windows & repair dry rot on window panes when present

2025

- Replace rotting and termite damaged fence and gate.
- Repaint interior doors

2026

- Repaint house exterior and trim

2027

- Install/upgrade HVAC system to include air conditioning, furnace and new duct work

2028

- Upgrade electrical box and replace remaining knob and tube wiring

2029

- Mortar joints on the chimney fireplace are damaged and worn. The chimney exterior needs to be repaired.

2030-31

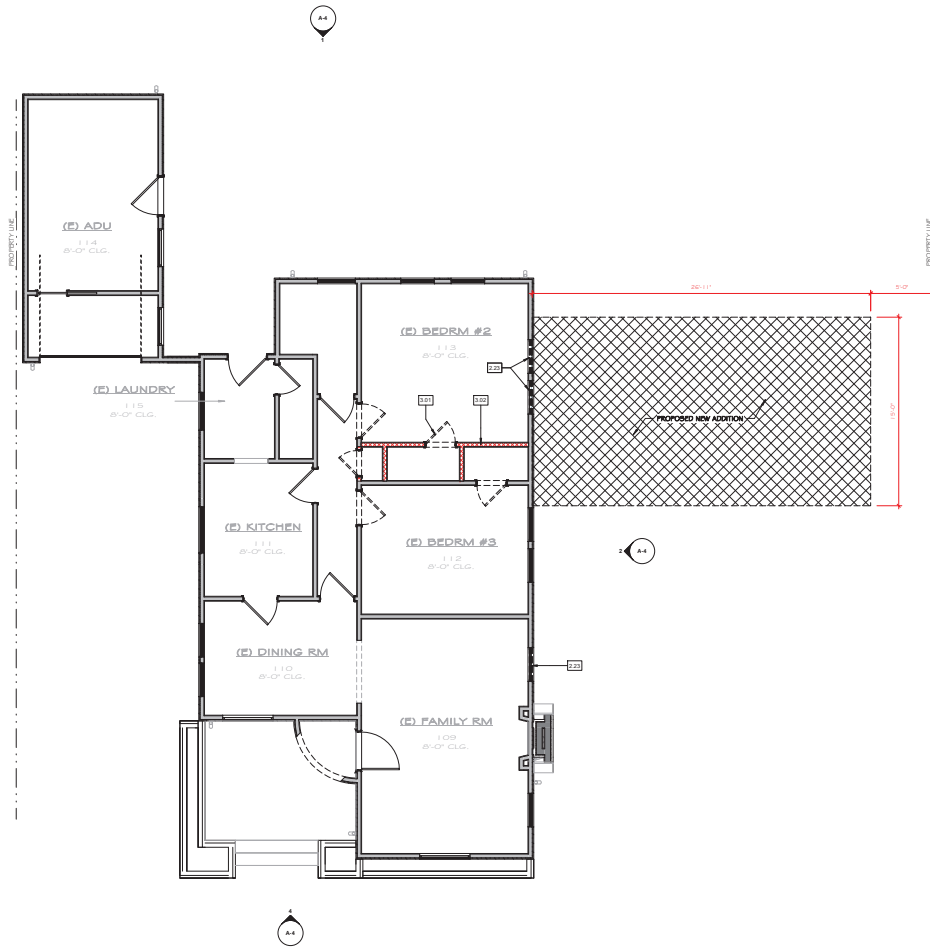
- Remodel kitchen & mud/laundry area
- Repair/restore back door stairs
- Repaint interior walls/moldings

## APPENDIX B

*Andrew and Becca Fung Residences*, prepared by G+O Design Studio, November 13, 2024 (drawings)







EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

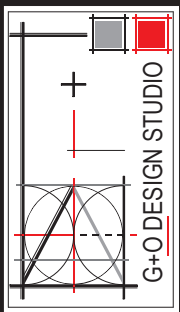
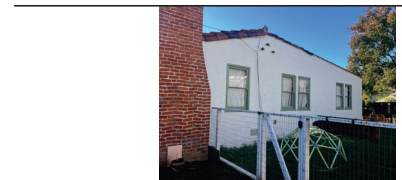
**WALL LEGEND**

- (E) 2X4 INTERIOR WALL TO BE DEMO
- (E) 2X INTERIOR WALL TO REMAIN
- (E) 2X EXTERIOR WALL TO REMAIN
- (N) 2X EXTERIOR WALL
- (N) 2X FURRED WALL

**KEYNOTES**

- 2.23 THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- 3.01 EXISTING INTERIOR DOOR TO BE DEMO
- 3.02 EXISTING INTERIOR WALL TO BE DEMO

**EXISTING IMAGES**



G+O DESIGN STUDIO

34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

ANDREW & BECCA FUNG RESIDENCE

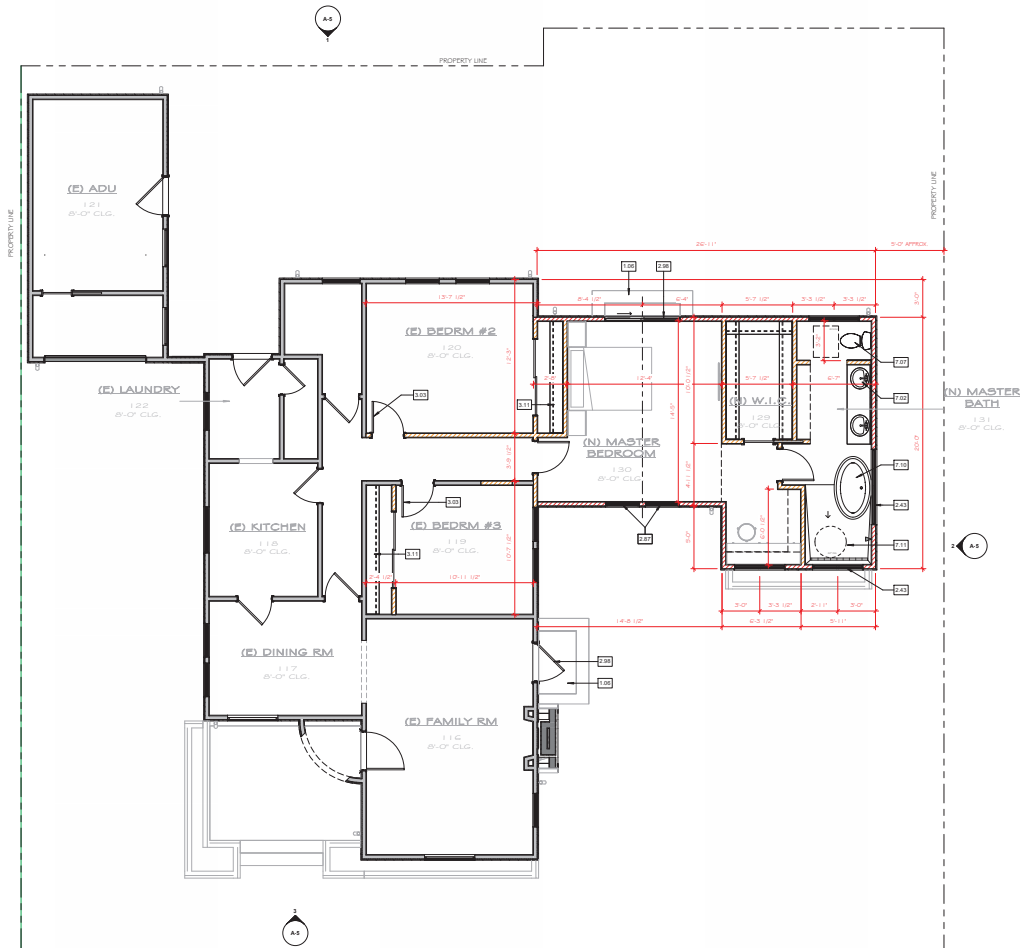
834 MAIN STREET, SARA CLARA  
CA. 95050

REVISION	
DATE	DATE

SHEET TITLE  
EXISTING FLOOR PLAN

SHEET NUMBER  
A-1

THIS DRAWING & SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**KEYNOTES**

- 1.06 PROPOSED CONCRETE LANDING - SLOPE 1/4" / 1' AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TEXTURE/MATERIAL BY BUILDER.
- 2.43 PROPOSED NEW ALUMINUM-CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- 2.47 PROPOSED NEW WOOD FINING WINDOWS
- 2.98 PROPOSED NEW ALUMINUM-CLAD WOOD DOOR WITH TINTED GLASS, ALUMINUM COLOR
- 3.03 PROPOSED NEW INTERIOR DOOR TO MATCH EXISTING
- 3.11 SHELF AND / HANGING POLE
- 7.02 UNDERCOUNTER LAVATORY SINK
- 7.07 ELONGATED WATER CLOSET WITH 30" MIN. CLEAR WIDTH AND 24" MIN. CLEAR SPACE IN FRONT.
- 7.10 FREESTANDING TUB
- 7.11 CUSTOM-BUILT SHOWER, HOT/MORPED SHOWER PAN AND TILED TO 90" MIN. AFF. SHOWER HEAD AT +90" AFF.

**FLOOR PLAN LEGEND**

- DOOR TAG
  - WINDOW TAG
  - SOFFIT TAG
  - WALL TAG
  - KEYNOTE TAG
  - EGRESS WINDOW
  - TEMPERED GLASS
- Room name**
- |                        |                             |
|------------------------|-----------------------------|
| 101                    | ROOM NUMBER                 |
| 9'-0" CLG. FLAT Finish | CEILING HEIGHT FLOOR FINISH |
- DROPPED CEILING HATCH
- CS:** CASEMENT WINDOW TYPE  
**FK:** FIXED WINDOW TYPE  
**BLDR:** SLIDER WINDOW TYPE  
**AW:** AWNING WINDOW TYPE
- NOTE:** DIMENSIONS ARE TO FACE OF FRAMING U.N.O.

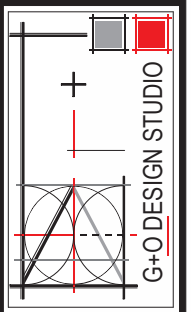
**WALL LEGEND**

- (E) 2X4 INTERIOR WALL TO BE DEM'D
- (E) 2X4 INTERIOR WALL TO REMAIN
- (E) 2X4 EXTERIOR WALL TO REMAIN
- (N) 2X4 EXTERIOR WALL
- (E) 2X4 FURRED WALL

**FLOOR PLAN NOTES**

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD. FACE MASONRY, UNLESS NOTED OTHERWISE.
  2. ANY DISCREPANCY FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF G+O DESIGN STUDIO PRIOR TO ANY CONSTRUCTION.
  3. SOFFITS, DROPPED CEILING & ARCHES ARE INDICATED WITH HATCHING ON THE PLANS.
  4. ALL EXTERIOR FINISH AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN DETAILS AND DIMENSIONS.
  5. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN DETAILS AND DIMENSIONS BY OTHERS.
  6. ALL ELECTRICAL FUTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY.
  7. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN AND DETAILS.
  8. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.
  9. ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MPFS RECOMMENDATIONS.
  10. FLOOR COVERING MATERIALS SHALL COMPLY WITH ASTM E 648, AND SMOKE DENSITY RATING OF LESS THAN 450 EDCG.
  11. MINIMUM FOUR AND ONE-HALF (4 1/2") JAMB ON HINGE SIDE, UNLESS NOTED OTHERWISE.
  12. PROVIDE THE FOLLOWING AT EGRESS WINDOWS: 3'-0" MIN. CLEAR OPERABLE AREA NET OPERABLE HEIGHT SHALL BE 24" MIN. NET OPERABLE WIDTH SHALL BE 20" MIN. BOTTOM OF CLEAR OPENING SHALL BE A MAX HEIGHT OF 1'-4" MAX.
  13. WINDOWS/DOORS TO HAVE LABEL INDICATING U-VALUE AND SPIC PER 24
  14. BATH/TUB AND SHOWER FLOORS, AND WALLS ABOVE BATH/TUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF AT LEAST 6 FEET ABOVE THE FLOOR. (IRC R307.2)
- AT ROLLIN SHOWERS PROVIDE FULL EXTENT WATER PROOFING IN THE ENTIRE BATHROOM.

THIS DRAWING & SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE REPRODUCED OR USED IN ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

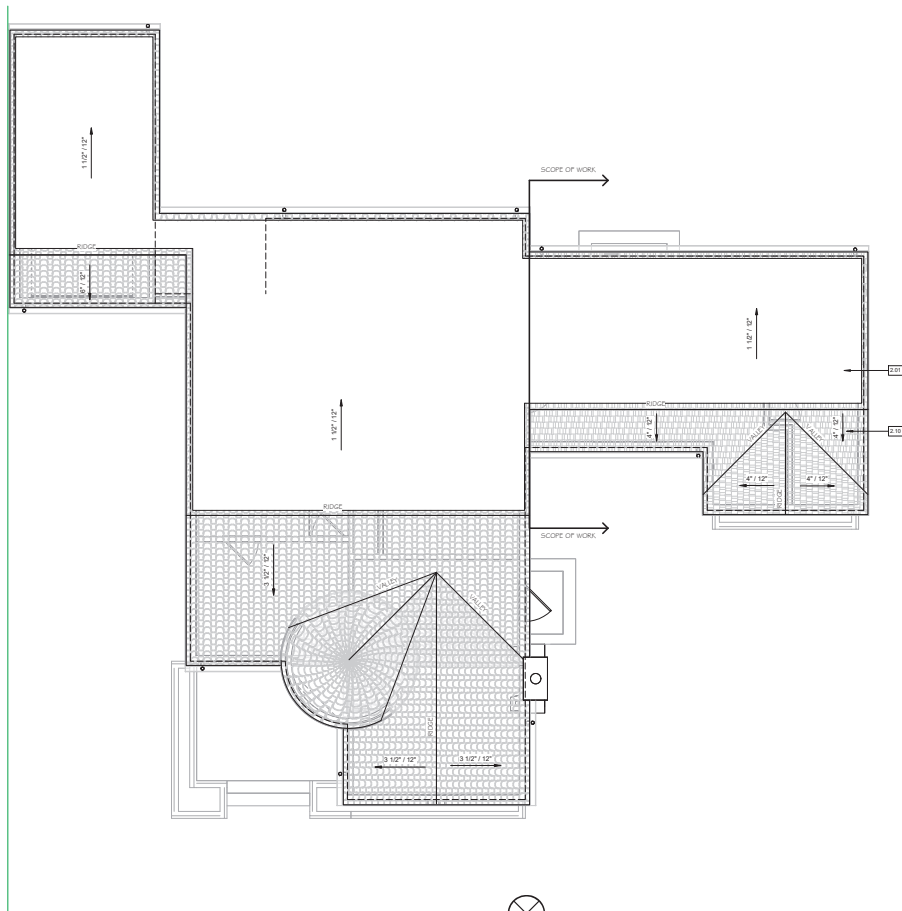
SEAL-SIGNATURE

**ANDREW & BECCA FUNG RESIDENCE**  
**834 MAIN STREET, SATE CLARA**  
CA. 95050

REVISION	
DATE	DATE

**SHEET TITLE**  
PROPOSED FLOOR PLAN

**SHEET NUMBER**  
**A-2**



PROPOSED ROOF PLAN



SCALE: 1/4" = 1'-0"



**KEYNOTES**

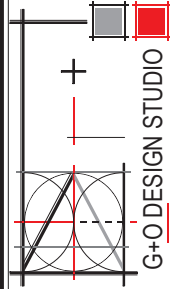
- 2.01 PROPOSED BUILT UP ROOF TO MATCH EXISTING CONDITION AND SLOPE
- 2.10 PROPOSED NEW ROOF 1.67 BROWN GRAY RANGE, GOLDEN SAGE PROFILE BY GAGE ROOFING. INSTALLED PER MANUFACTURER SPECS

**Area Schedule (Roof Area)**

Name	Area	Calculator	Roof Pitch	Roof Vent	SG Inches Per Vent	R/R # of Vents	R/R Ventilation Provided

**ROOF LEGEND**

- ◆ WALL TAG
- 1.0 KEYNOTE TAG
- ⋯ CLOAKED ROOF VENT
- ROOF PITCH SYMBOL:  
• ARROW POINTS  
• DOWNSLOPE  
• FIRST NUMBER IS VERTICAL  
• RISE  
• SECOND NUMBER IS  
• HORIZONTAL RUN
- LINE OF EXTERIOR FACE OF  
FRAMING / STRUCTURE  
BELOW
- ≡ METAL FLASHING
- ⌋ METAL SADDLE AND CRICKET  
FLASHING
- ⌋ TYPICAL DOWNSPOUT AND  
GUTTER. COORDINATE  
CONNECTION TO STORM  
DRAINAGE SYSTEM. REFER TO  
CIVIL DWGS.
- SPOT ELEVATION



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

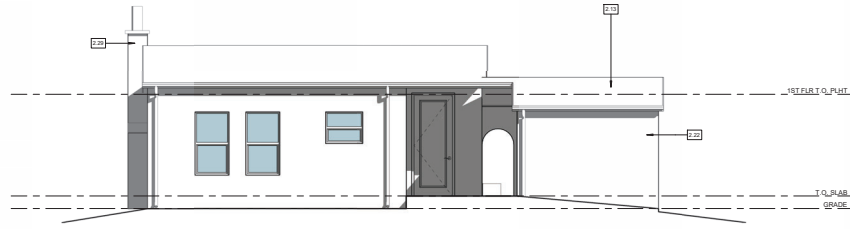
**ANDREW & BECCA FUNG RESIDENCE**  
**834 MAIN STREET, SARA CLARA**  
CA. 95050

REVISION	DATE	DATE

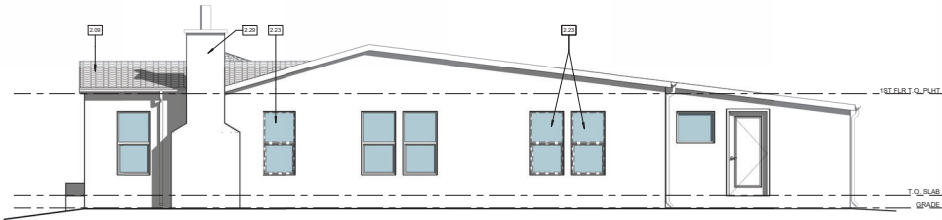
**SHEET TITLE**  
PROPOSED ROOF PLAN

**SHEET NUMBER**  
**A-3**

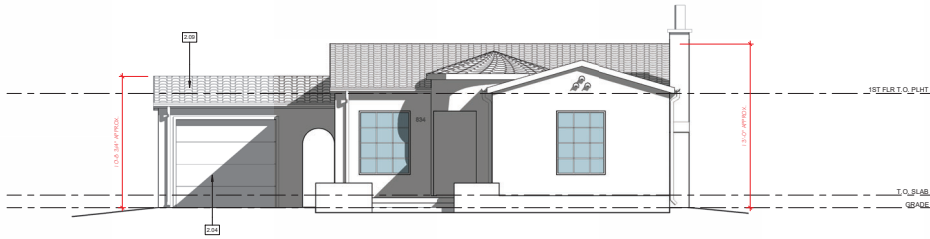
THIS DRAWING & SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



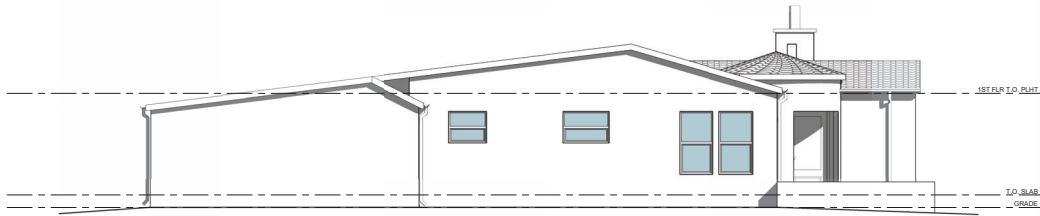
EXISTING REAR ELEVATION | 1  
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION | 2  
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION | 4  
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION | 3  
SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES**

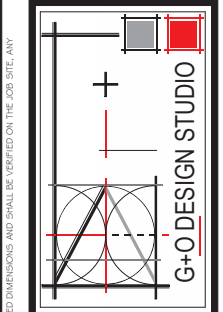
- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUDY FACE OF MASONRY UNLESS NOTED OTHERWISE.
- ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
- FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
- SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
- ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
- ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
- ALL ELECTRICAL FUTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
- ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEER DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

**KEYNOTES**

- EXISTING GARAGE DOOR
- EXISTING ROOF W/ CLAY TILE TO REMAIN
- EXISTING BALUAP ROOF SYSTEM TO REMAIN
- EXISTING WALL WITH STUCCO TO REMAIN
- THE THREE ORIGINAL WINDOWS WILL BE SALVAGED FOR POTENTIAL REUSE IN THE EXISTING HOME AND WILL NOT BE INCORPORATED INTO THE NEW ADDITION.
- EXISTING FIREPLACE TO REMAIN

**ELEVATION LEGEND**

1.01 KEYNOTE TAG



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

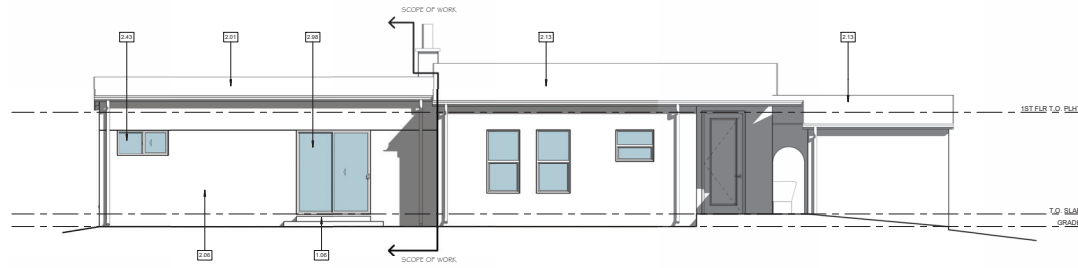
ANDREW & BECCA FUNG RESIDENCE  
834 MAIN STREET, SARA CLARA  
CA. 95050

REVISION	
DATE	DATE

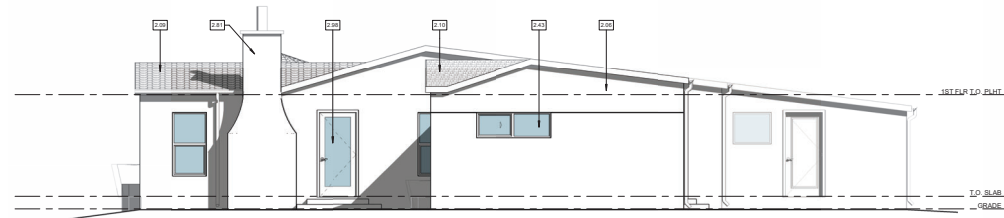
SHEET TITLE  
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER  
A-4

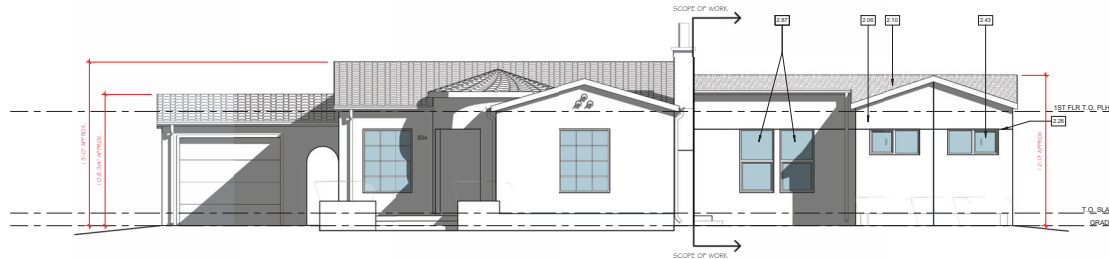
THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE REPRODUCED OR USED IN ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



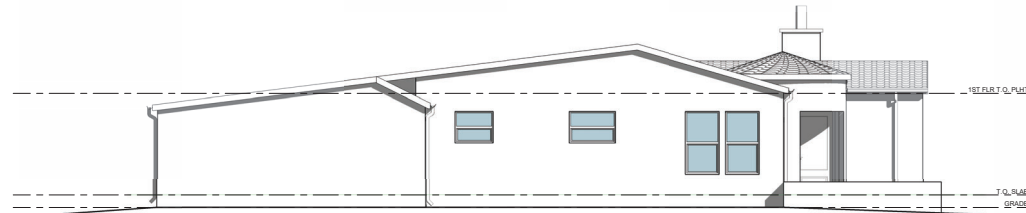
PROPOSED REAR ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

**EXTERIOR ELEVATION NOTES**

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUDY FACE OF MASONRY UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
5. ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FUTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS NOT SHOWN HERE.
9. CONTRACTOR TO COORDINATE STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.

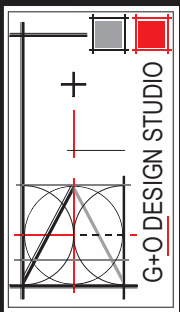
**KEYNOTES**

- 1.00 PROPOSED CONCRETE LANDING - SLOPE 1/4" = 1'-2" AWAY FROM BUILDING. PROVIDE STEPS TO GRADE AS REQUIRED. FINISH TEXTURE/MATERIAL BY BUILDER.
- 2.01 PROPOSED BUILT-UP ROOF TO MATCH EXISTING CONDITION AND SLOPE.
- 2.02 PROPOSED NEW EXTERIOR WALL WILL FEATURE A STUCCO FINISH WITH A COLOR AND FINISH WASH DESIGNED TO ENHANCE VARIATION AND DISTINGUISH IT FROM THE ORIGINAL STRUCTURE.
- 2.09 EXISTING ROOF W/ CLAY TILE TO REMAIN.
- 2.10 PROPOSED NEW ROOF - G87 BROWN GRAY RANGE, SOUTH EXPOSED PROFILE. BY RACE ROOFING INSTALLED PER MANUFACTURER SPECS.
- 2.13 EXISTING BUILT-UP ROOF SYSTEM TO REMAIN.
- 2.26 STUCCO CONTROL JOINT.
- 2.43 PROPOSED NEW ALUMINUM CLAD WOOD WINDOWS, ALUMINUM COLOR, INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 2.81 EXISTING BRICK FIREPLACE TO REMAIN.
- 2.87 PROPOSED NEW WOOD HUNG WINDOWS.
- 2.98 PROPOSED NEW ALUMINUM CLAD WOOD DOOR WITH TINTED GLASS, ALUMINUM COLOR.

**ELEVATION LEGEND**

1.01 KEYNOTE TAG

THIS DRAWING & SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF G+O DESIGN STUDIO AND SHALL NOT BE REPRODUCED OR ANY OTHER WORK EXCEPT BY AGREEMENT WITH G+O DESIGN STUDIO. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF G+O DESIGN STUDIO PRIOR TO THE COMMENCEMENT OF ANY WORK.



34 VIA FLORENCIA  
MISSION VIEJO, CA 92692

SEAL-SIGNATURE

**ANDREW & BECCA FUNG RESIDENCE**  
**834 MAIN STREET, SARA CLARA**  
CA. 95050

REVISION	
DATE	DATE

SHEET TITLE  
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER  
**A-5**



## **Web Link – 09.04.25 HLC Staff Report**

---

**Name of Document: 09.04.05 HLC Staff Report**

**HLC Meeting (09.04.25):**

Here you will find documents related to the Historical and Landmarks Commission meeting such as the staff report and attachments.

<https://santaclara.legistar.com/MeetingDetail.aspx?ID=1231238&GUID=B3A87A77-1FA8-4B53-A8AE-327B53E6F929&Options=info|&Search=>

**These documents are available for viewing at the link above and in the Community Development Department**