

RESOLUTION NO. 24-9311

**A RESOLUTION OF THE CITY OF SANTA CLARA,
CALIFORNIA, TO APPROVE THE VESTING TENTATIVE
SUBDIVISION MAP FOR THE 1957 PRUNERIDGE AVENUE
RESIDENTIAL PROJECT LOCATED AT 1957 PRUNERIDGE
AVENUE, SANTA CLARA, TO SUBDIVIDE THE 2.47-ACRE
PROJECT SITE INTO 22 INDIVIDUAL LOTS AND FOUR
COMMON LOTS**

PLN2022-00505 (Rezone)
PLN23-00264 (Vesting Tentative Subdivision Map)
SCH# 202300200 (Environmental Impact Report)

WHEREAS, on September 6, 2022, SCS Development (“Owner”) filed a development application for the 2.47-acre site located at 1957 Pruneridge Avenue (APN: 303-03-025), which is developed as the St. Mark’s Church complex and consists of a one-story parish hall and administration building, two-story classroom, church building, surface parking lots and site landscaping (“Project Site”);

WHEREAS, the Owner has simultaneously applied to rezone the Project Site from Public, Quasi-Public, and Public Park or Recreation (B) to Planned Development (PD) and subdivide the land to allow construction of 22 for-sale detached two-story single-family residences, associated on- and off-site improvements and four common lots to be used as a utility corridor, vehicle access, landscape open space, and bioretention areas, to serve the development (“Project”), as shown on the attached Development Plans and proposed Vesting Tentative Subdivision Map, incorporated herein by this reference;

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WHEREAS, a Draft Environmental Impact Report (“DEIR”) was prepared in accordance with the California Environmental Quality Act (“CEQA”) and the City circulated copies of the DEIR and Notice of Availability for 45-day review to the public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons, organizations and agencies; and the City sought the comments of such persons, organizations and agencies. The City received no public or agency comments on the DEIR and subsequently prepared and distributed a Final EIR (“FEIR”) for 10-day review, in accordance with CEQA, that includes minor revisions to text and Figure 2.2-1 (Conceptual Site Plan) and Figure 2.2-2 (Landscape Plan) that do not change the conclusions of the DEIR;

WHEREAS, a Mitigation Monitoring and Reporting Program (“MMRP”) has been prepared for implementation with Project development to reduce potentially significant impacts identified in the DEIR, FEIR and Appendix to the FEIR, that combined constitute the EIR for the Project, to less than significant and a Statement of Overriding Considerations for the significant unavoidable impact associated with the proposed demolition of the church building with Project development, that cannot be mitigated to less than significant has been prepared in accordance with CEQA;

WHEREAS, pursuant to Section 17.05.210 of the Code of the City of Santa Clara (“SCCC”), a Tentative Subdivision Map shall be required for all divisions of land into five or more parcels;

WHEREAS, consistent with the proposed uses under the development plan, the proposal includes the division of the site into 22 individual lots and four common lots, as shown on the proposed Vesting Tentative Subdivision Map, attached hereto and incorporated herein by this reference;

WHEREAS, on June 13, 2023, the Subdivision Committee determined that the application was complete and that the Vesting Tentative Subdivision Map be reviewed by the Planning Commission and the City Council in conformance with Section 17.05.300 of the SCCC as a Vesting Tentative Subdivision Map along with the Project;

WHEREAS, SCCC Section 17.05.300(g) requires that the Planning Commission make recommendations of denial, approval or conditional approval to the City Council on the Vesting Tentative Subdivision Maps;

WHEREAS, on February 21, 2024, the Planning Commission held a duly noticed public hearing to consider the Project, EIR, MMRP, and all pertinent information in the record, at the conclusion of which, the Commission voted unanimously to recommend approval of the Vesting Tentative Subdivision Map;

WHEREAS, notice of the public hearing on the Vesting Tentative Subdivision Map was published in *The Weekly*, a newspaper of general circulation for the City, on February 7, 2024;

WHEREAS on February 8, 2024, notices of the public hearing on the Vesting Tentative Subdivision Map for the February 21, 2024 Planning Commission meeting and March 19, 2024 City Council meeting were mailed to all property owners within 1,000 feet of the Project Site boundaries; and

WHEREAS, on March 19, 2024, the City Council held a duly noticed public hearing to consider the Project, EIR, MMRP, and all pertinent information in the record, during which the City Council invited and considered any and all verbal and written testimony and evidence offered in favor of and in opposition to the Project.

NOW THEREFORE, BE IT RESOLVED BY THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the City Council hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. Vesting Tentative Subdivision Map Findings. Pursuant to California Government Code Sections 66426 and 66428 and SCCC Section 17.05.300(h), the City Council finds and determines that:

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A. The Vesting Tentative Subdivision Map is consistent with the objectives, policies, general land use and programs specified in the City's General Plan in that the proposed Vesting Tentative Subdivision Map is to allow the development of 22 detached single-family residences, four common lots to be used as a utility corridor, vehicle access, landscape open space and bioretention areas, and on- and off-site improvements compatible with neighboring residential development and existing and planned development in the surrounding area, subject to conditions set forth in the Vesting Tentative Subdivision Map Conditions of Approval, attached hereto and incorporated by this reference. The Project proposes a density of 8.9 dwelling units per acre, consistent with the Very Low Residential Density General Plan designation for the Project Site, which allows residential development of up to ten (10) dwelling units per acre. The project also furthers of the City's goal to reduce the use of methane gas citywide stated in Appendix 8.13 (Climate Action Plan), in that the Owner has committed to constructing All-Electric Buildings without the installation of any natural gas infrastructure.

B. The design and improvements of the proposed subdivision are consistent with the City's General Plan in that the Vesting Tentative Subdivision Map would redevelop an underutilized and vacant property (Policy 5.3.1-P8), provides adequate landscaping and replaces trees at a 2:1 ratio (Policy 5.3.1-P10), includes sidewalks and consolidates curb cuts to minimize pedestrian/vehicle conflicts (Policies 5.3.1-P12 and P16), and provides a design that is compatible with and sensitive to neighboring residential development (Policy 5.3.1-P29).

C. The site is physically suitable for the proposed type of development in that the Project is designed to provide high quality housing consistent with existing and planned development in the surrounding area.

D. This site is physically suitable for the proposed density of development in that the Project Site is located in an urbanized area and allows for redevelopment consistent with the height, uses and development that are existing and planned in the surrounding area.

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E. The design of the subdivision and type of improvements are not likely to cause serious health problems in that the proposed residential subdivision will implement Covenants Conditions and Restrictions for operation and maintenance of the buildings, common lots and site improvements, and does not propose the use of hazardous materials.

F. The design of the subdivision and type of improvements are not likely to cause substantial environmental damage and will not substantially or unavoidably injure fish or wildlife or their habitat in that the Project Site is located in an urbanized setting, on a previously developed site, and includes mitigation measures, as identified in the EIR and MMRP, that reduce impacts to wildlife habitat to less than significant levels.

G. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large or use of property within the proposed subdivision in that, the Project is designed to avoid encroachments and conflicts with public easements in the site design.

H. The Vesting Tentative Subdivision Map provides, to the extent feasible, for future passive or natural heating or cooling opportunities, in that it would allow flexibility in the development standards to maximize the benefits of green building standards for site and building design.

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4. Based on the findings set forth in this Resolution and the evidence in the Staff Report, EIR, MMRP, and such other evidence as received at the public hearings on this matter, the City Council hereby approves the Vesting Tentative Subdivision Map, substantially in the form on file as shown in the attached Vesting Tentative Subdivision Map and Conditions of Vesting Tentative Subdivision Map Approval, incorporated herein by this reference.

5. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE OF THE CITY COUNCIL, AT A REGULAR MEETING THEREOF HELD ON THE 19TH DAY OF MARCH, 2024, BY THE FOLLOWING VOTE:

AYES:	COUNCILORS:	Chahal, Hardy, Jain, Park, and Watanabe, and Mayor Gillmor
NOES:	COUNCILORS:	Becker
ABSENT:	COUNCILORS:	None
ABSTAINED:	COUNCILORS:	None

ATTEST: _____



NORA PIMENTEL, MMC
ASSISTANT CITY CLERK
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Development Plans
2. Vesting Tentative Subdivision Map
3. Vesting Tentative Subdivision Map Conditions of Approval



DEVELOPER

SCS DEVELOPMENT COMPANY
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA 95050
(408) 985-6020
CONTACT: CORY KUSICH

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94582
(925) 866-0322
CONTACT: LEE ROSENBLATT

LANDSCAPE ARCHITECT

RIPLEY DESIGN GROUP
1615 BONANZA STREET
WALNUT CREEK, CA 94596
(925) 938-7377
CONTACT: ANNIKA CARPENTER

ARCHITECT

DANIELIAN ASSOCIATES
60 CORPORATE PARK
IRVINE, CA 92606
(949) 474-6030
CONTACT: VICTOR ALVAREZ-DURAN

SHEET INDEX

NO.		NO.	LANDSCAPE PLANS	NO.	ARCHITECTURAL PLANS	NO.		NO.		NO.		NO.	
1	COVER SHEET	8	L1 LANDSCAPE SITE PLAN	16	A0.0 CONCEPTUAL STREET SCENE	24	A2.2 P2B BUILDING ELEVATIONS REAR NEIGHBOR SIDE	32	A3.4 PLAN BMR WITH PORCH	40	D1.0 ARCHITECTURAL DETAILS	48	AR8 CONCEPT RENDERING - AT REAR NEIGHBOR MINUS TREES AND FENCE
2	<u>CIVIL PLANS</u>	9	L2 LANDSCAPE DETAILS	17	A1.1 P1A BUILDING ELEVATIONS REAR NEIGHBOR SIDE	25	A2.3 PLAN 2A + ADU	33	A4.1 COLOR SCHEME 1	41	AR1 CONCEPT RENDERING - AT REAR NEIGHBOR	49	AR9 CONCEPT RENDERING - AT REAR NEIGHBOR MINUS TREES AND FENCE
3	C1.0 GRADING PLAN	10	L3 LANDSCAPE TYPICAL LOTS	18	A1.2 P1B BUILDING ELEVATIONS REAR NEIGHBOR SIDE	26	A2.4 PORCH CONDITION	34	A4.2 COLOR SCHEME 2	42	AR2 CONCEPT RENDERING - AT PRUNERIDGE ROAD	50	AR10 CONCEPT RENDERING - AT REAR NEIGHBOR MINUS TREES AND FENCE
4	C2.0 UTILITY PLAN	11	L4 LANDSCAPE HYDROZONE PLAN	19	A1.3 P1A BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE	27	A2.5 P2B BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE W/ ENHANCED SIDE ELEVATION	35	A4.3 COLOR SCHEME 3	43	AR3 CONCEPT RENDERING - ALONG BIORETENTION AREA	51	AR11 CONCEPT RENDERING - AT REAR NEIGHBOR MINUS TREES AND FENCE
5	C3.0 STORMWATER CONTROL PLAN	12	L5 TREE MITIGATION PLAN	20	A1.4 P1B BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE	28	A2.6 PLAN 2B & ADU	36	A5.1 SHADOW STUDIES - MARCH 21	44	AR4 CONCEPT RENDERING - INTERIOR COURTYARD DAY AT BMR		
6	C4.0 STORMWATER BMP PLAN	13	L6 TREE AND UTILITY PLAN	21	A1.5 P1B BUILDING ELEVATIONS PRUNERIDGE ROAD SIDE	29	A3.1 BMR BUILDING ELEVATIONS REAR NEIGHBOR SIDE	37	A5.2 SHADOW STUDIES - JUNE 21	45	AR5 CONCEPT RENDERING - INTERIOR COURTYARD NIGHT AT PLAN 1		
8	C5.0 FIRE ACCESS PLAN	14	L7 TREE PROTECTION PLAN	22	A1.6 P2A BUILDING ELEVATIONS REAR NEIGHBOR SIDE	30	A3.2 PLAN 1B + ADU	38	A5.3 SHADOW STUDIES - FEBRUARY 3	46	AR6 CONCEPT RENDERING - PRUNERIDGE PORCH SPACE		
	<u>JOINT TRENCH PLANS</u>	15	L8 LANDSCAPE PLANTING PALETTE	23	A2.1 P2A BUILDING ELEVATIONS REAR NEIGHBOR SIDE	31	A3.3 PLAN BMR WITH PORCH BUILDING ELEVATIONS	39	A5.4 SHADOW STUDIES - SEPTEMBER 21	47	AR7 CONCEPT RENDERING - AT REAR NEIGHBOR MINUS TREES AND FENCE		
7	INT1 JOINT TRENCH INTENT TITLE SHEET												
	INT2 JOINT TRENCH INTENT												

MAY 19, 2023



1957 PRUNERIDGE AVENUE

REZONING APPLICATION & PLANNED DEVELOPMENT
SANTA CLARA, CALIFORNIA



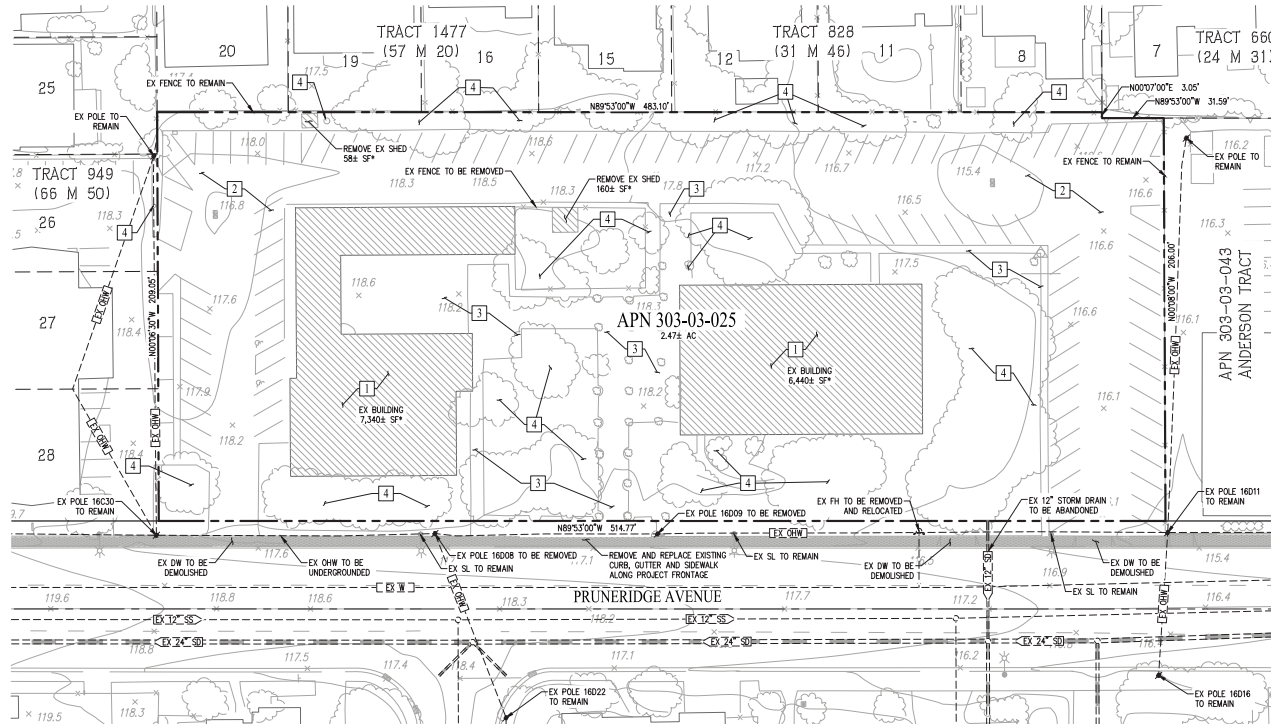
SCS Development Company

CONTACTS:

- OWNER/DEVELOPER: SCS DEVELOPMENT COMPANY
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA 95050
(408) 985-6020
CORY KUSCH
- ENGINEER: CARLSON, BARBER & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
(925) 866-0322
LEE ROSENBLATT, RCE 65469

GENERAL NOTES

- ASSESSORS PARCEL NO. 303-03-025
- SITE AREA: 2.47± ACRES
- LOTS: RESIDENTIAL: 22 (LOTS 1-22)
PRIVATE ROADWAY CIRCULATION: 1
WATER QUALITY: 1
- DWELLING UNITS: 22
- SITE DENSITY: 8.9 DU/AC
- EXISTING GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL
PROPOSED GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL
- EXISTING ZONING: PUBLIC, QUAS PUBLIC, AND PUBLIC PARK OR RECREATION (B)
PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
- BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS VALLEY WATER BENCHMARK BM869, BEING A BRASS DISK ON TOP OF CONCRETE TRAFFIC ISLAND AT THE NORTHEAST CORNER OF SAN TOMAS EXPRESSWAY AND PRUNERIDGE AVENUE, HAVING AN NAVD88 ELEVATION OF 112.31 FEET.
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE MONUMENT LINE OF PRUNERIDGE AVENUE, BEING N89°53'00" E 0.00' PER TRACT NO. 334, MAP OF PRUNERIDGE MANOR (12 M 17).
- EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN THE PROJECT BOUNDARY TO BE REMOVED.
- EXISTING UTILITIES: EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED AS NOTED.
- STREETS: ALL DRIVE AISLES WITHIN THE PROJECT WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED. (MINIMUM LONGITUDINAL SLOPE=1.25%)
- TREES: STREET TREES WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS.
- STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS (OR APPROVED EQUAL).
- FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
SOURCES: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06085C022H
DATE: MAY 18, 2009
- UTILITIES:
WATER(OFF-SITE): CITY OF SANTA CLARA
WATER(ON-SITE): PRIVATE
FIRE: PRIVATE
SEWER (OFF-SITE): CITY OF SAN JOSE
SEWER (ON-SITE): PRIVATE
STORM DRAIN (OFF-SITE): CITY OF SANTA CLARA
STORM DRAIN (ON-SITE): PRIVATE
ELECTRIC: SILICON VALLEY POWER
TELEPHONE: AT&T
CABLE TV: COMCAST
- DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP



LEGEND

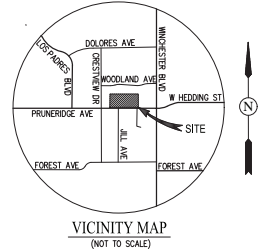


BOUNDARY
RIGHT-OF-WAY
EASEMENT
ADJACENT LOT LINE
CURBS, GUTTER & SIDEWALK
FENCE
SPOT ELEVATIONS
CATCH BASIN
FIRE HYDRANT
MANHOLE
STREET LIGHT
UTILITY POLE
STORM DRAIN
SANITARY SEWER
WATER LINE
GAS
OVERHEAD LINE
EXISTING BUILDING TO BE DEMOLISHED
TREE

DEMOLITION NOTES

- NOTE DESCRIPTION
- REMOVE EXISTING BUILDING STRUCTURE AND FOUNDATION
 - REMOVE EXISTING ASPHALT AND PARKING LOT CURB AND GUTTER
 - REMOVE EXISTING CONCRETE
 - REMOVE EXISTING TREE AND SHRUBS

*EXISTING STRUCTURE AREAS BASED ON FIELD SURVEY DATA.



SHEET INDEX

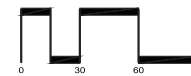
Sheet Number	Sheet Title
C1.0	EXISTING CONDITIONS
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	STORMWATER CONTROL PLAN
C5.1	STORMWATER BMP PLAN
C6.0	FIRE ACCESS PLAN

ABBREVIATIONS

DW	DRIVEWAY
EX	EXISTING
FC	FACE OF CURB
JT	JOINT TRENCH
OHW	OVERHEAD WIRE
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT-OF-WAY
SD	STORM DRAIN
SL	STREET LIGHT
SS	SANITARY SEWER
SW	SIDEWALK
TYP	TYPICAL
W	WATER

REZONING APPLICATION EXISTING CONDITIONS 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=30' DATE: MAY 2023



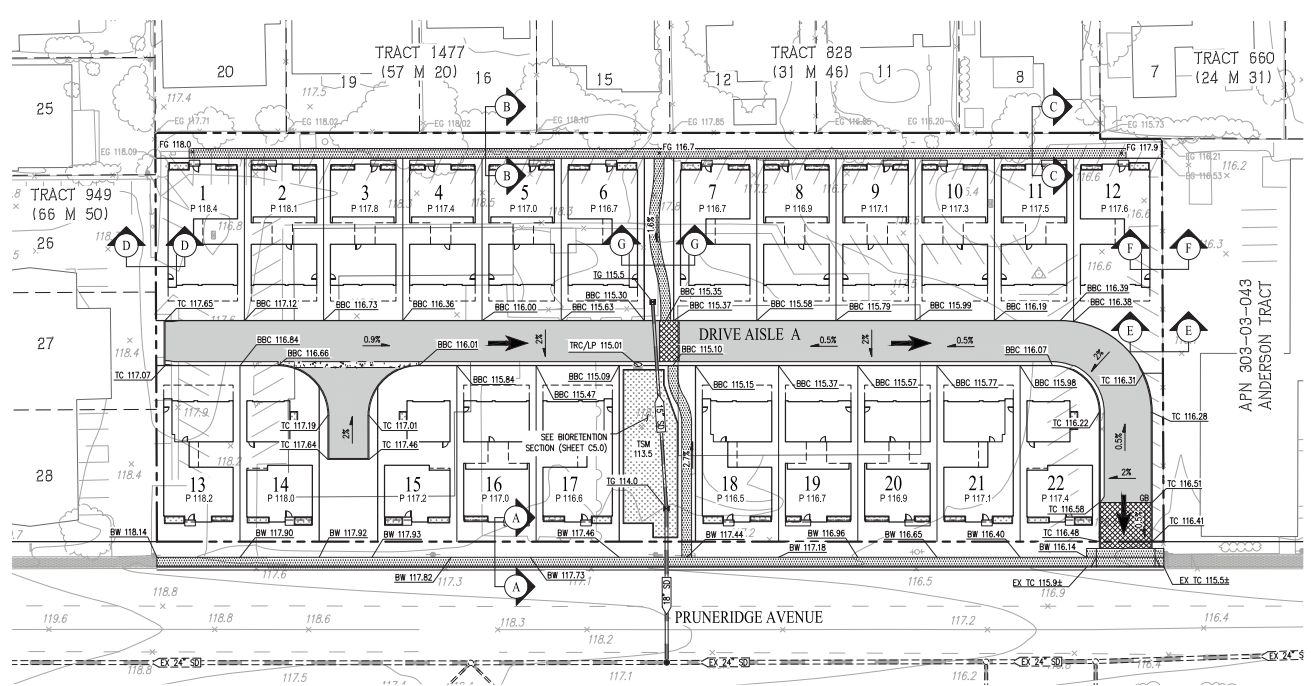
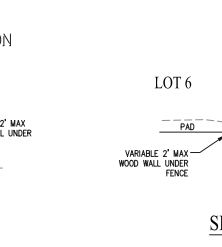
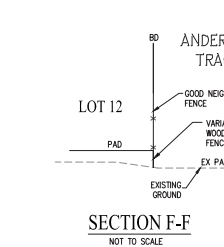
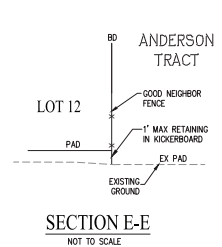
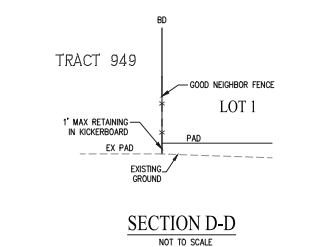
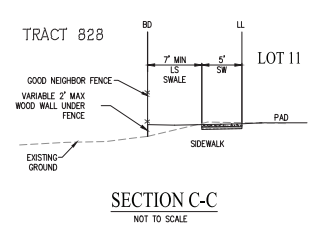
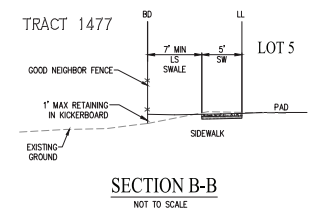
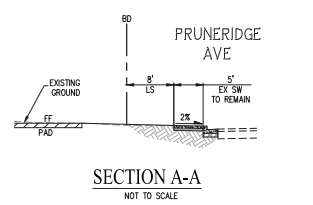
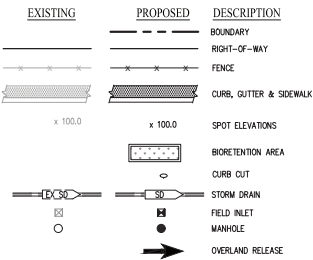
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CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
C1.0
OF 7 SHEETS

JOB NO: 3656

LEGEND



PAVEMENT DESIGN CHART

STREET	T1	R	HOT MIX ASPHALT (HSM)	CALTRANS CLASS 2 AGGREGATE BASE (AB)	TOTAL PAVEMENT THICKNESS
DRIVE AISLE A	5.5	6.0	3"	10"	13"

NOTE:
1. R-VALUE TO BE FINALIZED BY GEOTECHNICAL ENGINEER WITH FINAL DESIGN.

EARTHWORK SUMMARY

DESCRIPTION	CUT	FILL
ROUGH GRADING	4,400 C.Y.	750 C.Y.
TOTAL	3,650 C.Y.	

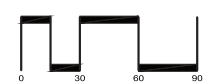
NOTES:
1. EARTHWORK QUANTITIES ARE APPROXIMATE AND REPRESENT RAW NUMBERS ONLY.
2. EARTHWORK QUANTITIES DO NOT INCLUDE REUSING ROCK GENERATED FROM EXISTING PARKING AREA OR BUILDING FOUNDATION. APPROXIMATELY 2,700 C.Y. OF ROCK WILL BE GENERATED IN THIS WAY DURING DEMOLITION.

ABBREVIATIONS

- BBC BACK OF BEVELED CURB
- BO BACK OF WALK
- BW CURB CUT
- CC CENTERLINE
- CL CENTERLINE
- EX EXISTING
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- LS LANDSCAPE
- P PAD
- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- SD STORM DRAIN
- SW SIDEWALK
- TG TOP OF GRATE
- TSM TOP OF SOIL MAX
- TYP TYPICAL

REZONING APPLICATION GRADING PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=30' DATE: MAY 2023



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SHEET NO.
C1.0
OF 5 SHEETS

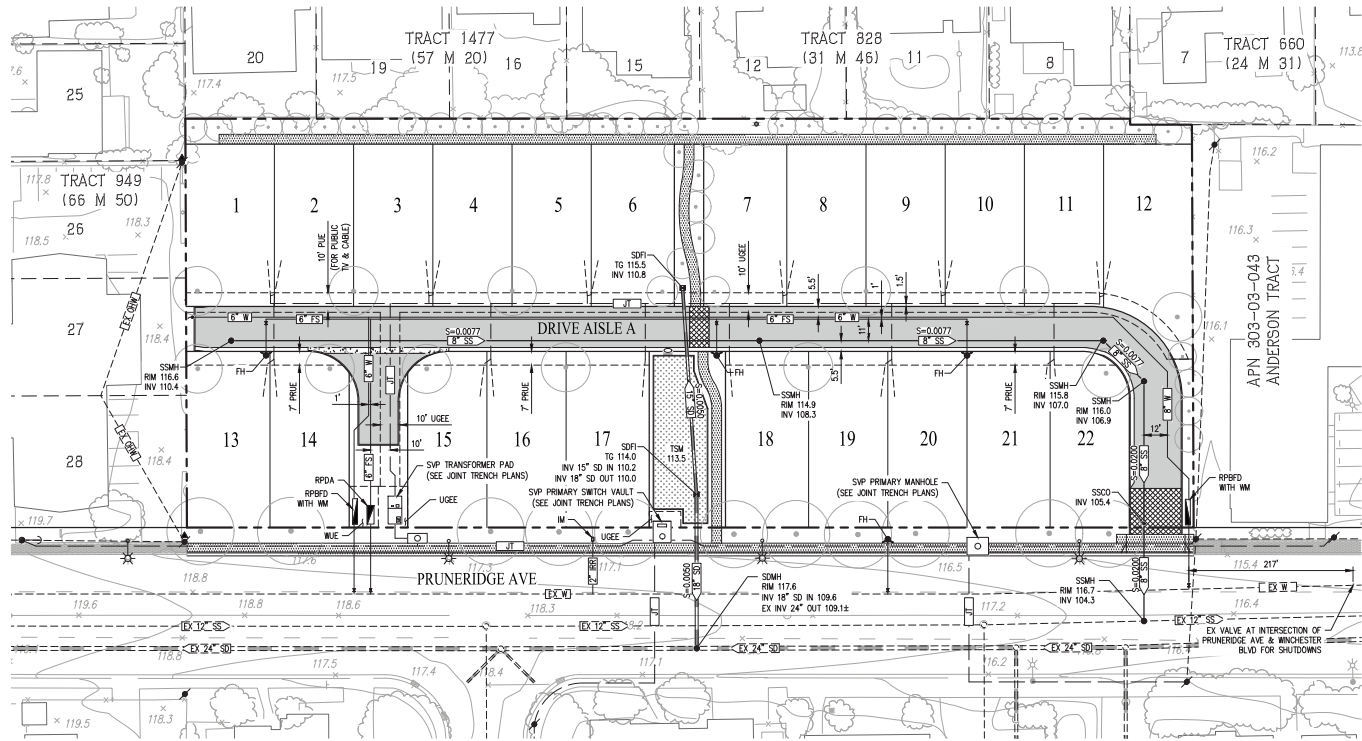
JOB NO: 3656

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		RIGHT-OF-WAY
		CURB, GUTTER & SIDEWALK
		STORM DRAIN
		SANITARY SEWER
		FIRE SERVICE
		IRRIGATION SERVICE
		WATER LINE
		WATER VALVE
		JOINT TRENCH
		FIRE HYDRANT
		FIELD INLET
		MANHOLE
		STREET LIGHT
		BIOTENTION AREA
		CURB CUT
		TREES

ABBREVIATIONS

BD	BOUNDARY
CC	CURB CUT
CL	CENTERLINE
DW	DRIVEWAY
FH	FIRE HYDRANT
FF	FINISH FLOOR
FI	FIELD INLET
IM	IRRIGATION METER
INV	INVERT
JT	JOINT TRENCH
LF	LANDSCAPE
LS	OVERHEAD WIRE
DHW	PAD
P	PROPERTY LINE
PL	PRIVATE UTILITY EASEMENT
PUE	PUBLIC UTILITY EASEMENT
RFBFD	REDUCED PRESSURE BACKFLOW PREVENTER
RFBFD	REDUCED PRESSURE DETECTOR ASSEMBLY
RW	RIGHT-OF-WAY
S	SLOPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SW	SIDEWALK
TSM	TOP OF SOIL MIX
TYP	TYPICAL
UGE	UNDERGROUND ELECTRICAL EASEMENT
W	WATER
WM	WATER METER
WUE	WATER UTILITY EASEMENT

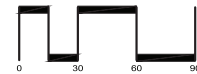


UTILITY NOTES:

- STORM DRAIN:
 - PROPOSED STORM DRAIN FACILITIES WILL BE PRIVATE.
 - MINIMUM SLOPE OF THE STORM DRAIN PIPE IS 0.005
 - MINIMUM COVER IS 2'
- SEWER:
 - PROPOSED SEWER FACILITIES WITHIN PRIVATE ROADWAYS WILL BE PRIVATE.
 - MINIMUM SLOPE OF THE SEWER PIPE IS 0.005
 - MINIMUM PIPE SIZE IS 8"
 - ALL SANITARY SEWER PIPE TO BE PVC SDR-26
 - MINIMUM COVER FOR SANITARY SEWER PIPES TO BE 2.5'
 - 10' HORIZONTAL CLEARANCE FROM EXISTING AND PROPOSED TREES UNLESS ROOT BARRIER IS INSTALLED, THEN 5' FROM ROOT BARRIER
- WATER/FIRE:
 - PROPOSED WATER & FIRE FACILITIES WILL BE PRIVATE.
 - ALL WATER & FIRE PIPE TO BE PVC SDR-26
 - THERE SHALL BE ONE WATER METER PER LOT
 - 12" VERTICAL CLEARANCE FROM ALL OTHER UTILITIES
 - 10' HORIZONTAL CLEARANCE FROM SANITARY SEWER AND RECYCLED WATER UTILITIES
 - 8' FROM STORM DRAIN UTILITIES
 - 5' FROM THE EDGE OF EXISTING OR PROPOSED DRIVEWAYS
- UTILITY LAYOUT SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN.

REZONING APPLICATION UTILITY PLAN 1957 PRUNERIDGE AVENUE

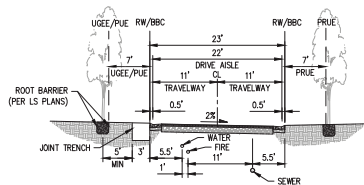
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=30' DATE: MAY 2023



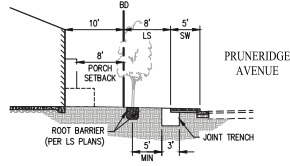
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SHEET NO.
C2.0
OF 3 SHEETS

JOB NO: 3656



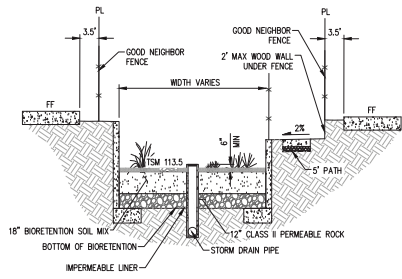
DRIVE AISLE A
(NOT TO SCALE)



PRUNERIDGE FRONTAGE
(NOT TO SCALE)

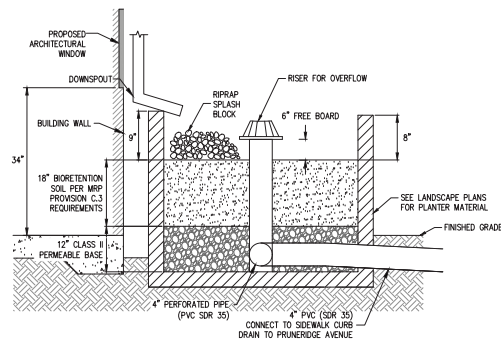
LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		RIGHT-OF-WAY
		CURB, GUTTER & SIDEWALK
		STORM DRAIN
		FIELD INLET
		MANHOLE
		STREET LIGHT
		BIOTENTION AREA
		DRIVE AISLE
		DRIVEWAY
		DECORATIVE PAVEMENT
		BARE EARTH
		CURB CUT
		DIRECTION OF FLOW
		DRAINAGE MANAGEMENT AREA BOUNDARY
		DRAINAGE MANAGEMENT AREA



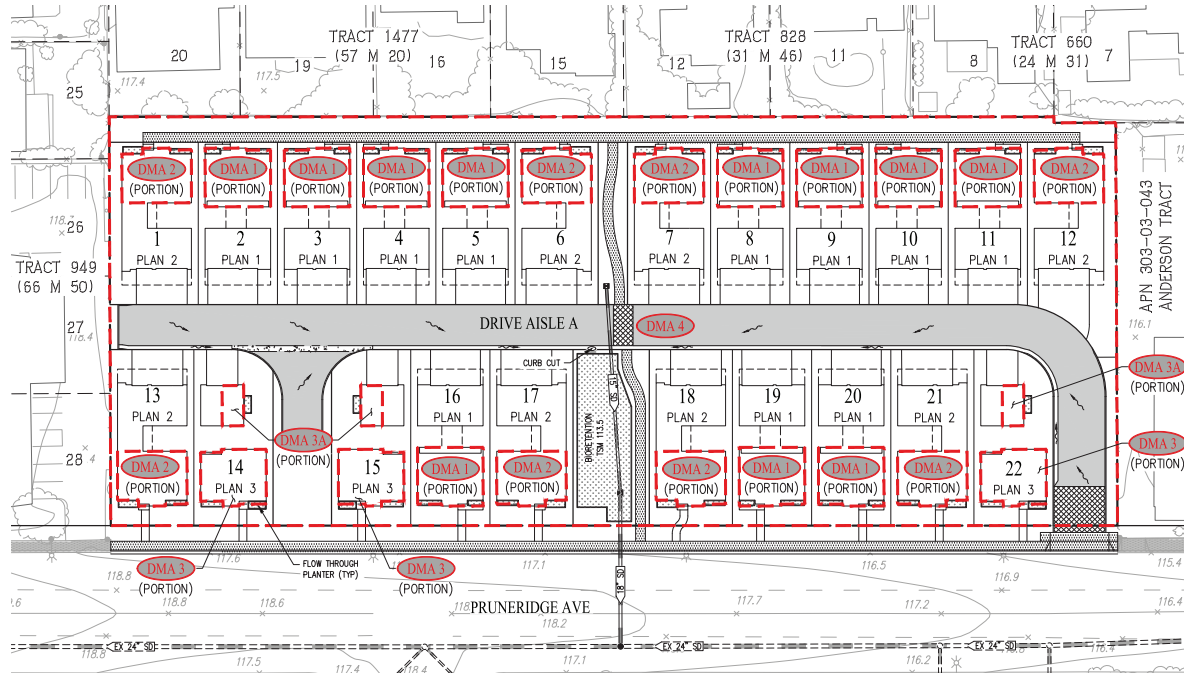
TYPICAL BIOTENTION DETAIL

NOT TO SCALE



TYPICAL FLOW THROUGH PLANTER DETAIL

NOT TO SCALE



PRELIMINARY STORM WATER TREATMENT

AREA ID	DESCRIPTION	TREATMENT TYPE	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)*	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (IN.)
DMA 1	THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 1 ROOF AREAS THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS	FLOW THROUGH PLANTER	0	10,920	10,920	437	616	6
DMA 2	THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 2 ROOF AREAS THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS	FLOW THROUGH PLANTER	0	7,605	7,605	305	400	6
DMA 3	THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 3 ROOF AREAS (EXCLUDING DETACHED GARAGES) THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS	FLOW THROUGH PLANTER	0	2,740	2,740	110	120	6
DMA 3A	THE SUM OF THE OUTLINED PORTIONS OF ALL PLAN 3 DETACHED GARAGE ROOF AREAS THAT DRAIN TO ADJACENT FLOW THROUGH PLANTERS	FLOW THROUGH PLANTER	0	685	685	30	60	6
DMA 4	REMAINDER OF PROJECT AREA NOT INCLUDED IN DMA 1, 2 & 3	BIOTENTION	37,743	47,817	51,592	2,065	2,105	6

* TREATMENT AREA REQUIRED IS CALCULATED USING THE 4% RULE.

NOTES:

- ALL PLANTS PROPOSED FOR THE BIOTENTION AREAS WILL BE CONSISTENT WITH THE RECOMMENDED PLANTS FROM TABLE D-1 IN APPENDIX D OF THE SCURPPP C.3 HANDBOOK.
- GRASSWILL WILL BE ROUTED TO BIOTENTION FACILITIES THROUGH A COMBINATION OF CURB CUTS & AREA DRAINS.
- 18" BIO-TREATMENT SOIL MIX PER C.3 SPECIFICATIONS. INFILTRATION RATE MIN 5"/HR-MAX 10"/HR.

ABBREVIATIONS

BD	BOUNDARY
CC	CURB CUT
CL	CENTERLINE
FI	FIELD INLET
IN	INVERT
LF	LINEAR FEET
LS	LANDSCAPE
PL	PROPERTY LINE
R/W	RIGHT-OF-WAY
S	SLOPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SW	SIDEWALK
TSM	TOP OF SOIL MIX
TP	TYPICAL

CITY OF SANTA CLARA C.3 CONSTRUCTION NOTES

- THIRD PARTY REVIEW AND CERTIFICATION OF INSTALLATION AND COMPLETED STORMWATER TREATMENT MEASURES IS REQUIRED. THIRD PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY REVIEWERS CAN BE LOCATED AT: WWW.SANTACLARACA.GOV/HOME/SHOWPUBLISHEDDOCUMENT/46993/63808350413382672.
- AT BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A THIRD-PARTY REVIEWER ACCEPTABLE TO THE CITY OF SANTA CLARA. THE THIRD-PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION.
- THE 3RD PARTY SHALL REVIEW ALL INSTALLED STORMWATER TREATMENT MEASURES AND CERTIFY THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS.
- SOILS IN THE BIOTENTION FACILITIES SHOULD MEET THE BIOTREATMENT SOIL MIX (BSM) SPECIFICATIONS PER SCURPPP C.3 STORMWATER HANDBOOK, APPENDIX C. A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM PERCOLATION RATE OF 10 INCHES/HOUR ARE REQUIRED (INITIAL INFILTRATION RATE MAY EXCEED THIS TO ALLOW FOR TENDENCY OF INFILTRATION RATE TO REDUCE OVER TIME). PLANTING SOIL LAYER SHOULD BE AT LEAST 18 INCHES DEEP. CONTRACTOR TO SUBMIT MATERIAL CERTIFICATES SIGNED BY THE MATERIAL PRODUCER, CERTIFYING THAT SOIL COMPLES WITH, OR EXCEEDS, SPECIFIED REQUIREMENTS.
- PERMEABLE DRAIN ROCK SHALL BE CLASS 2 PERM ROCK PER CALTRANS STANDARD SECTION 68-1.025. THE MATERIAL SHALL BE WASHED AND FREE FROM CLAY OR ORGANIC MATERIAL.
- PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATIONS FACED DOWN. LOCATION OF THE PIPE VARIES, SEE PLAN.
- INSTALLATION OF POROUS PAVEMENT AND/OR VAULTS SHALL BE DONE PER STANDARD DETAILS AND SPECIFICATIONS. THIRD PARTY REVIEWER OR VENDOR SHALL INSPECT THE POROUS PAVEMENT AND/OR VAULTS INSTALLATION (INCLUDING IF NECESSARY, PERFORMING PERCOLATION TEST) AND SUBMIT THEIR CONFORMANCE LETTER TO THE CITY OF SANTA CLARA, (NOT RELEVANT FOR THIS PROJECT).
- INSTALLATION OF INTERCEPTOR TREES AS A TREATMENT CONTROL MEASURE SHALL BE INSPECTED TO VERIFY THE ACCURACY OF LOCATION, SPECIES AND NUMBER OF THE INTERCEPTOR TREES.
- FOR ANY LINER PENETRATIONS, RADIAL CUT THE LINER FOR PIPE MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL.
- SEE LANDSCAPE PLANS AND SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIOTENTION FACILITIES.

REZONING APPLICATION STORMWATER CONTROL PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: 1"=30' DATE: MAY 2023



SAN RAMON • (950) 866-0322
ROSEVILLE • (916) 788-4456
WWW.CBANDS.COM

CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
C3.0
OF 3 SHEETS

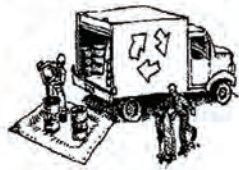
JOB NO: 3656

11/28/2023/05/20/2023

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by lining it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloth big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services: (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor;
 - Abandoned underground tanks;
 - Abandoned wells;
 - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bugged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

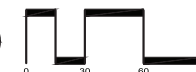


**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

REZONING APPLICATION STORMWATER BMP PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: 1"=30' DATE: MAY 2023



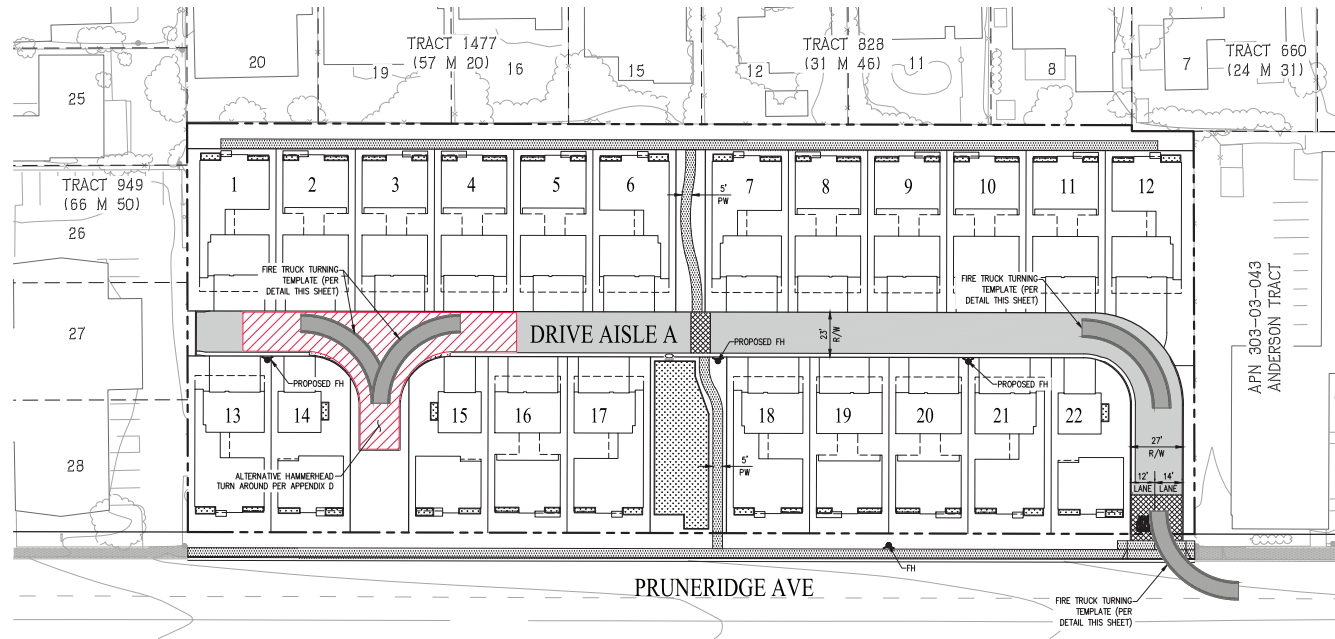
CIVIL ENGINEERS • SURVEYORS • PLANNERS

JOB NO: 3656

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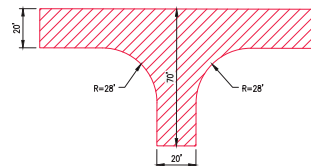
SHEET NO.
C4.0
OF 5 SHEETS

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		PROPERTY LINE
		RIGHT-OF-WAY
		CURB, GUTTER & SIDEWALK
		FIRE HYDRANT

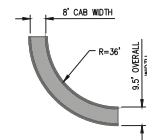


TYPICAL CURB STRIPING

NOTE: NO STREET PARKING ALLOWED ON SITE. CURB TO BE PAINTED RED THROUGHOUT.



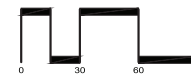
ALTERNATIVE 120'
HAMMERHEAD PER APPENDIX D
NOT TO SCALE



FIRE TRUCK
TURNING TEMPLATE
NOT TO SCALE

REZONING APPLICATION FIRE ACCESS PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=30' DATE: MAY 2023



CIVIL ENGINEERS • SURVEYORS • PLANNERS

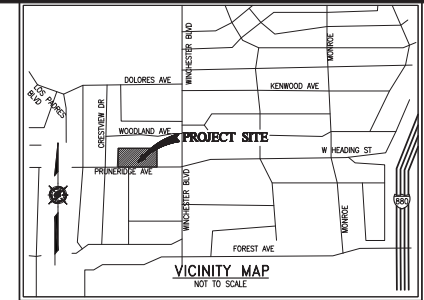
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SHEET NO.
C5.0
OF 5 SHEETS

JOB NO: 3656

HYDRAACADTWOELLING

**SCS DEVELOPMENT
1957 PRUNRIDGE AVE
SANTA CLARA, CALIFORNIA
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**

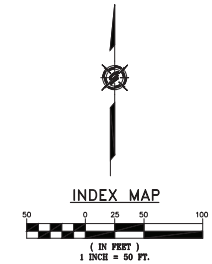
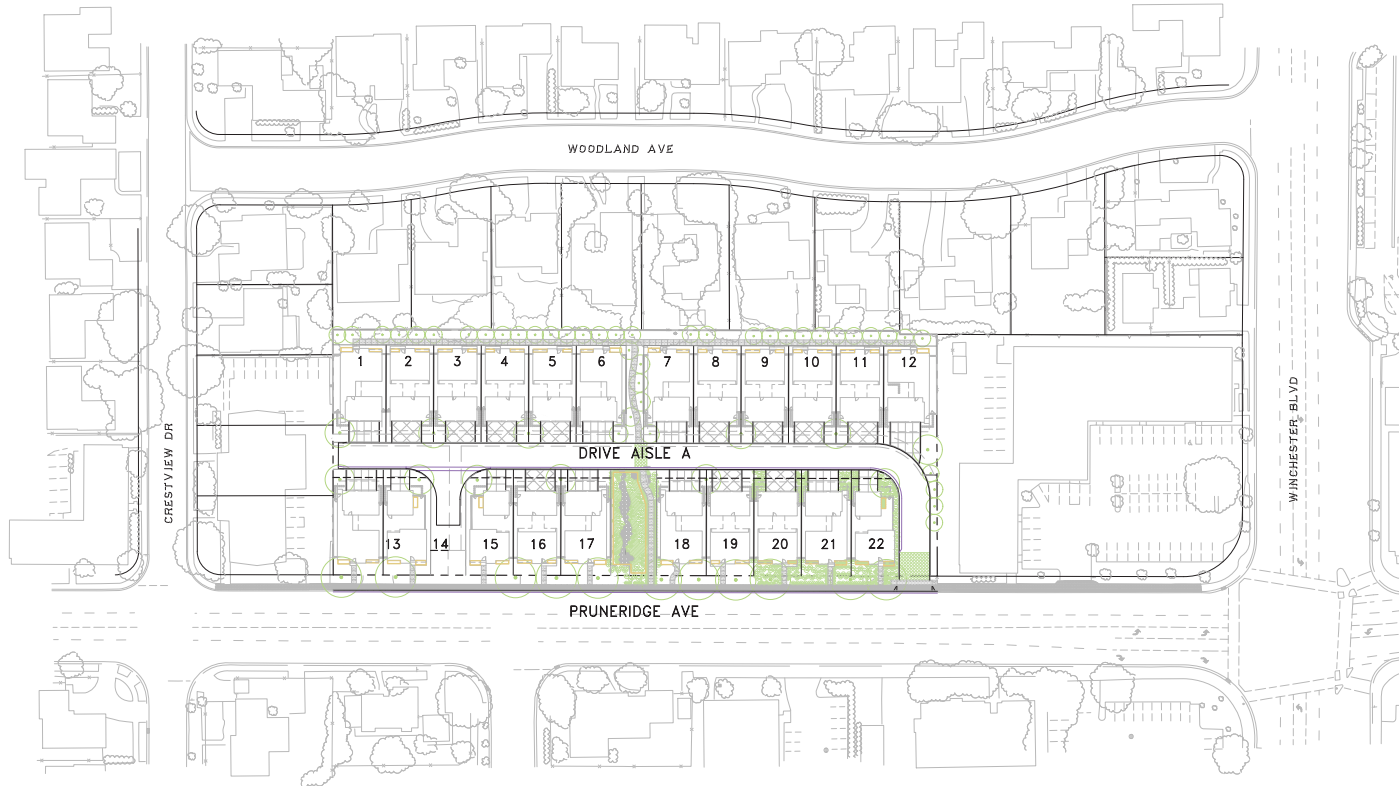


REVISIONS	DATE	DESCRIPTION	APPROVED

GIACALONE
DESIGN SERVICES, INC.
2000 STANFORD AVE, SUITE 100, SAN JOSE, CA 95131
(408) 261-1111

JOINT TRENCH INTENT TITLE SHEET
SCS DEVELOPMENT
1957 PRUNRIDGE AVE
SANTA CLARA
CALIFORNIA

PROJECT MANAGER:
B. FULLINGTON
DRAWN BY:
A. VERNER
CHECKED BY:
D. CROWFOOT (P.E.)
SCALE:
1"=50'
JOB NUMBER:
22-228
DATE LAST MODIFIED:
05-19-23
SHEET
INT1
OF 2 SHEETS

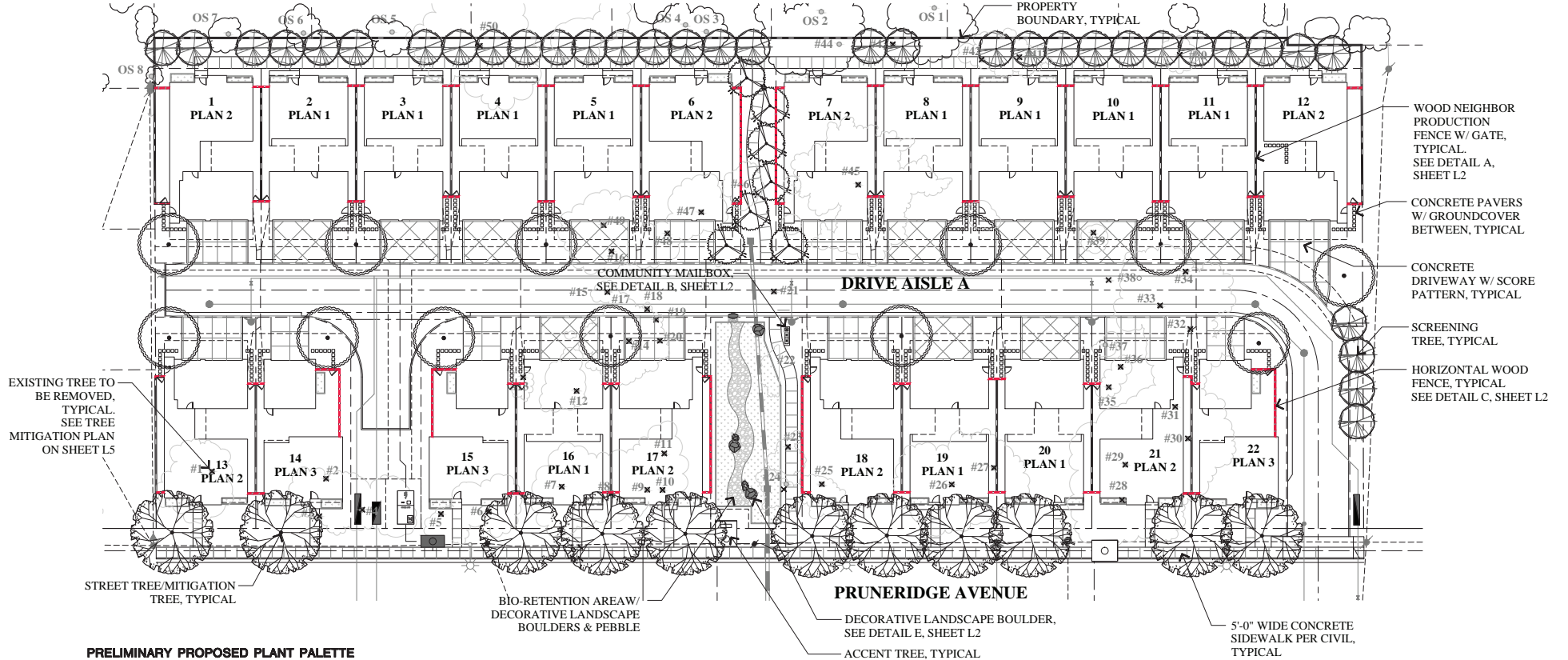


NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

PROJECT TEAM CONTACTS			LATEST FILES RECEIVED				PROJECT DESCRIPTION & SCOPE		SHEET INDEX	
COMPANY:	CONTACT:	PHONE:	ELECTRIC:	DESCRIPTION:	BY:	DATE:	STATUS:		SHEET	DESCRIPTION
SCS DEVELOPMENT	KEN PERRY	408-985-6045	RULE 15:	GAS DESIGN				• PROVIDE NEW ELECTRIC, GAS, TELE., & CATV SERVICE TO 22 SFD	INT1	JOINT TRENCH INTENT TITLE SHEET
CBG	LEE ROSENBLATT	925-866-0322	RULE 16:	ELECTRIC DESIGN				• ELECTRIC COORDINATION	INT2	JOINT TRENCH INTENT
PG&E	TBD		RULE 20:	TELEPHONE LAYOUT						
AT&T	JERRY SCHEMBRI	408-635-8900	RELOC:	CATV LAYOUT						
QUANTA - SANTA CLARA	BEN LOPEZ	408-691-8428	AFS:	STREET LIGHT PLANS - PUBLIC						
GIACALONE DESIGN SERVICES INC	BRETT FULLINGTON	925-467-1740	GAS:	STREET LIGHT PLANS - PRIVATE						
			RULE 15:	IMPROVEMENT PLANS (ELECTRONIC FILE)	CBG	04-19-23				
			RELOC:	A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal						



PRELIMINARY PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
EXISTING TREE TO BE REMOVED					SHRUBS - PRIORITY			
EXISTING TREE TO BE REMOVED					CAR DIV	CAREX DIVISA	1 GALLON	LOW
EXISTING TREE TO REMAIN					CIS SKA	CISTUS X SKANBERGII	1 GALLON	LOW
ACCENT TREES / MITIGATION TREES					CHO TEC	CHONROPELALUM TECTORUM	5 GALLON	LOW
SCREENING TREES					DIE RI	DIEYES RHODODES	1 GALLON	LOW
CERIS OCCIDENTALS	WESTERN REDBUD	24" BOX	LOW		ERI KAR	ERIGERON KARVINKIANUS	1 GALLON	LOW
LAGERSTROMIA L. 'CATAWBA'	CRAPE MYRTLE STND.	24" BOX	LOW		EUD ELS	EUNYMIUS APOCYNUS 'GREEN SPIRE'	5 GALLON	LOW
STREET TREES / MITIGATION TREES					GRE NOE	GREVILLEA 'NOELI'	1 GALLON	LOW
LAURUS NOBILIS SARATOGA	SARATOGA LAUREL	24" BOX	LOW		HEL SEM	HELICTOTRICHON SEMPERVIRENS	1 GALLON	LOW
OLEA EUROPAEA 'MAJESTIC BEAUTY' FRUITLESS OLIVE		24" BOX	LOW		LAN 'CAJ'	LANTANA 'CHAPEL HILL YELLOW'	1 GALLON	LOW
PLANT GALLERY SYMBOL KEY					LAV MAR	LAVATERA MARTINA	5 GALLO	LOW
PLANT CITY	PLANT SYMBOL	SIZE	UNITS		LOW 'BRE'	LOMANORA LONGIFOLIA 'BREEZE'	1 GALLON	LOW
					LOR ELS	LOROPETALUM 'EMERALD SNOW'	1 GALLON	LOW
					MYR 'COM'	MYRTUS C. 'COMPACTA'	5 GALLON	LOW
					NEP FAL	NEPETA FAESSENI	1 GALLON	LOW
					OLE 'LO'	OLEA EUROPAEA 'LITTLE OLIVE'	5 GALLON	LOW
					PHO 'DAR'	PHORUM 'DARK DELIGHT'	5 GALLON	LOW
					PHO 'VAR'	PHORUM 'VARIEGATUM'	5 GALLON	LOW
					ROS CAL	ROSA CALIFORNICA	1 GALLON	LOW
					SAL 'LM'	SALVIA MEXICANA 'LIMELIGHT'	5 GALLON	LOW
					SANTOLINA	SANTOLINA VIRENS	1 GALLON	LOW
					STA BYZ	STACHYS BYZANTINA 'BIG EARS'	1 GALLON	LOW
					TEU CHA	TEUCRIUM CHAMADRIS	5 GALLON	LOW
					WES 'BL'	WESTRINGIA FRUTICOSA 'BLUE GEM'	5 GALLON	LOW
					XYL 'COM'	XYLOSMA C. 'COMPACTA'	5 GALLON	LOW
						XYLOSMA	5 GALLON	LOW
					SHRUBS - BIO-SWALE			
					ACH MIL	ACHILLEA MILLEFOLIUM	1 GALLON	LOW
					BOU 'BLA'	BOUTELOUA G. 'BLONDE AMBITION'	1 GALLON	LOW
					CIS SKA	CISTUS X SKANBERGII	1 GALLON	LOW
					CHO TEC	CHONROPELALUM TECTORUM	1 GALLON	LOW
					ERI KAR	ERIGERON KARVINKIANUS	1 GALLON	LOW
					FES CAL	FESTUCA CALIFORNICA	1 GALLON	LOW
					MM AUR	MONARDELLA AURANTICUS	1 GALLON	LOW
					MONARD	MONARDILLA AURANTICUS	1 GALLON	LOW
					RIB SAN	RIBES SANGUINEUM	1 GALLON	LOW
					RHMUS	RHYMUS CALIFORNICA 'LITTLE SUR'	1 GALLON	LOW
					GROUNDCOVERS & TREES			
					NO MOW TURF - S0000	NATIVE FESCUES		LOW
					AVAILABLE FROM DELTA BLUE GRASS			
					ROSA BANKSIAE	LADY BANKS ROSE	5 GALLON	LOW

NOTES:

1. ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
2. TREES BE PLANTED WITHIN 3' OF HARDSCAPE ELEMENTS, SHALL HAVE A LINEAR ROOT BARRIER INSTALLED ADJACENT TO THE HARDSCAPE ELEMENT AT TIME OF TREE PLANTING.
3. LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDINANCE.
4. ALL PLANTING AREAS SHALL BE AUTOMATICALLY IRRIGATED PER CITY STANDARDS, USING LOW-FLOW SPRAY, BUBBLERS OR DRIP METHODS.
5. ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3".
6. ALL IRRIGATION SHALL BE DESIGNED FOR RECYCLED WATER USE.

VESTING TENTATIVE MAP

LANDSCAPE SITE PLAN

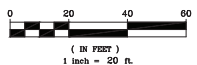
1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: AS SHOWN

DATE: August 22, 2023

GRAPHIC SCALE



JOB NO: 3656

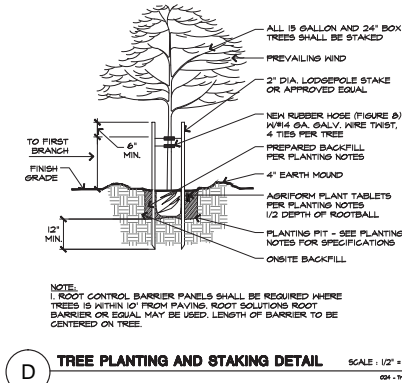
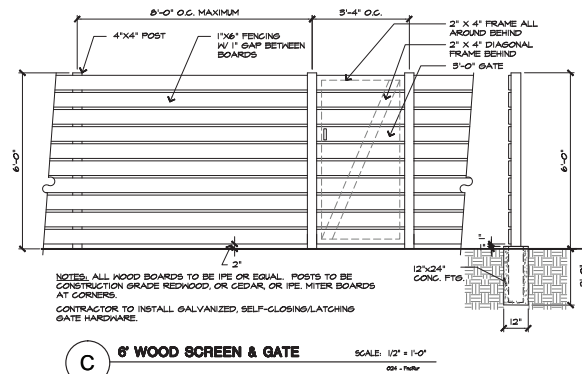
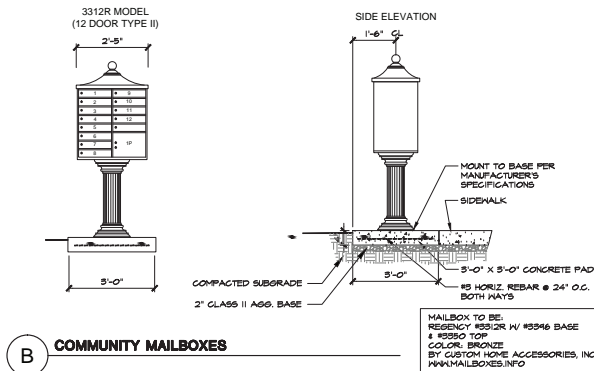
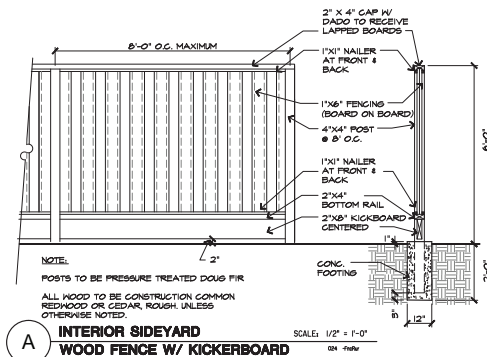


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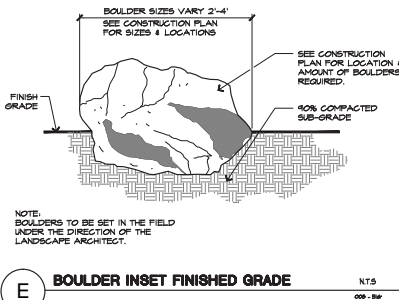
SURVEYORS PLANNERS

SHEET NO.
L1
OF 8 SHEETS



CITY OF SANTA CLARA TREE PRESERVATION NOTES:

- NO CUTTING OF ANY PART OF CITY TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT SECURING APPROVAL AND DIRECT SUPERVISION FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY (408-615-3080).
- NO CUTTING OF ANY PART OF PRIVATE TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT DIRECT SUPERVISION OF AN INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST.
- WHEN CONSTRUCTION OCCURS WITHIN THE DRIP LINE OF EXISTING TREES, CONTRACTOR SHALL PILE THE SOIL ON THE SIDE AWAY FROM THE TREE. WHEN THIS IS NOT POSSIBLE, PLACE SOIL ON PLYWOOD, TARP, OR 4"-6" THICK BED OF MULCH. THIS IS TO HELP PREVENT CUTTING INTO THE SOIL SURFACE WHEN THE BACKHOE OR TRACTOR BLADE REFILLS THE TRENCH.
- REFILL OPEN TRENCHES QUICKLY WITHIN HOURS OF EXCAVATION WHEN THEY OCCUR WITHIN THE DRIP LINE OF EXISTING TREES. IF THIS IS NOT POSSIBLE AND THE WEATHER IS HOT, DRY, OR WINDY, CONTRACTOR MUST KEEP ROOT ENDS MOSTLY COVERED WITH WET BURLAP. IF THE TEMPERATURE IS 80°F OR GREATER, THE BURLAP MUST BE INSPECTED EVERY HOUR AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL, MOIST CONDITION. IF THE TEMPERATURE IS BELOW 80, THE BURLAP MUST BE INSPECTED EVERY FOUR HOURS AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL, MOIST CONDITION. SMALL ROOTS CAN DRY OUT AND DIE IN 10-15 MINUTES. LARGER ROOTS CAN SUCCEED IN AN HOUR OR LESS UNDER UNFAVORABLE WEATHER CONDITIONS.
- WHEN ROOTS 2" OR LARGER ARE REQUIRED TO BE CUT, SHOVEL BY HAND NEAR THE ROOTS AND PRUNE THE ROOTS WITH AN INDUSTRY-APPROVED PRUNING TOOL. ROOTS THAT ARE ACCIDENTALLY BROKEN SHOULD BE PRUNED TWO INCHES FROM THE DAMAGED END, CRUSHED OR TORN ROOTS ARE MORE LIKELY TO ALLOW DECAY TO BEGIN. SHARPLY CUT ROOTS PRODUCE A FLUSH OF NEW ROOTS HELPING THE TREE TO RECOVER FROM ITS INJURY.
- CONTRACTOR SHALL NOTIFY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY 72 HOURS IN ADVANCE OF ANY WORK REQUIRING DIGGING AROUND OR WITHIN THE DRIP LINE OF EXISTING TREES.
- A CLEAR SYSTEM OF FLAGGING MUST BE PROVIDED AROUND TREES WITHIN 30' OF THE PROPOSED GRADING. CONTRACTOR SHALL SECURE APPROVAL OF SUCH SYSTEM FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY.
- MATERIALS, EQUIPMENT, TEMPORARY BUILDINGS, FUELS, PAINTS AND OTHER CONSTRUCTION ITEMS SHALL NOT BE PLACED WITHIN THE DRIP LINE OF EXISTING TREES.
- FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCING SHALL BE PLACED AT THE DRIP LINE OF EXISTING TREES OR, IF POSSIBLE, 1.5 TIMES THE RADII OF THE DRIP LINE OUT FROM THE TRUNK OF THE TREE. A WARNING SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH FENCE. THE SIGN SHALL BE A MINIMUM OF 8" x 11" AND CLEARLY STATE "WARNING- TREE PROTECTION ZONE THIS FENCE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE CITY ARBORIST/PROJECT ARBORIST". FENCES SHALL BE 6-FOOT TALL CHAIN LINK OR EQUIVALENT, AS APPROVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. FENCES SHALL REMAIN UNTIL ALL GRADING AND CONSTRUCTION WORK IS COMPLETED. IN ADDITION, WRAP ALL TREES WITH STRAW WADZLE UP TO THE FIRST MAIN BRANCH, AND THEN WRAP SNOW FENCING AROUND THE WADZLE ON ALL TREES IN THE CONSTRUCTION ZONE TO PROTECT THEM FROM BARK DAMAGE CAUSED BY THE WORK.
- NO TRENCHING SHALL BE DONE WITHIN THE DRIP LINE OF EXISTING TREES WITHOUT THE APPROVAL OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. TRENCHING IN THE ROOT ZONE OF A PUBLIC TREE IS PROHIBITED EXCEPT IN CASES WHERE THE TRENCHING FALLS OUTSIDE THE DRIP LINE OF THE TREE INVOLVED. EXCEPTIONS MAY BE ALLOWED IF, IN THE OPINION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY, THE IMPACT OF TRENCHING ON THE TREE WILL BE NEGLIGIBLE.
- ANY CUTTING OF EXISTING ROOTS OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ANY CUTTING OF EXISTING ROOTS OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN ISA CERTIFIED ARBORIST.
- GRADING SHOULD NOT CREATE DRAINAGE PROBLEMS FOR TREES BY CHANNELING WATER INTO THEM, OR CREATING SUNKEN AREAS.
- ALL GRADING WITHIN THE DRIP LINE OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ALL GRADING WITHIN THE DRIP LINE OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE ORIGINAL GRADE AT THE BASE OF EXISTING TREES SHALL NOT BE MODIFIED. IF A GRADE INCREASE IS NECESSARY, DRY WELLS SHOULD BE USED.
- WHEN TRENCHING IS ALLOWED, THE CONTRACTOR MUST FIRST CUT ROOTS WITH A VERMEER ROOT CUTTER PRIOR TO ANY TRENCHING TO AVOID TUGGING OR PULLING OF ROOTS.
- TREES THAT ARE DETERMINED TO BE REMOVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY DUE TO AN UNFORESEEN CIRCUMSTANCE DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY SHALL DETERMINE THE REPLACEMENT SPECIES, SIZE, QUANTITY, AND SPACING.
- REPLACE 4"-6" THICK MULCH AROUND ALL EXISTING TREES (OUT TO THEIR DRIP LINE) THAT ARE TO BE RETAINED PRIOR TO ANY CONSTRUCTION. THIS WILL HELP MAINTAIN MOISTURE UNDER THE TREE WITHIN THE FENCING AREA.
- BORER PITS ARE NOT ALLOWED WITHIN THE DRIP LINE OF ANY TREE.



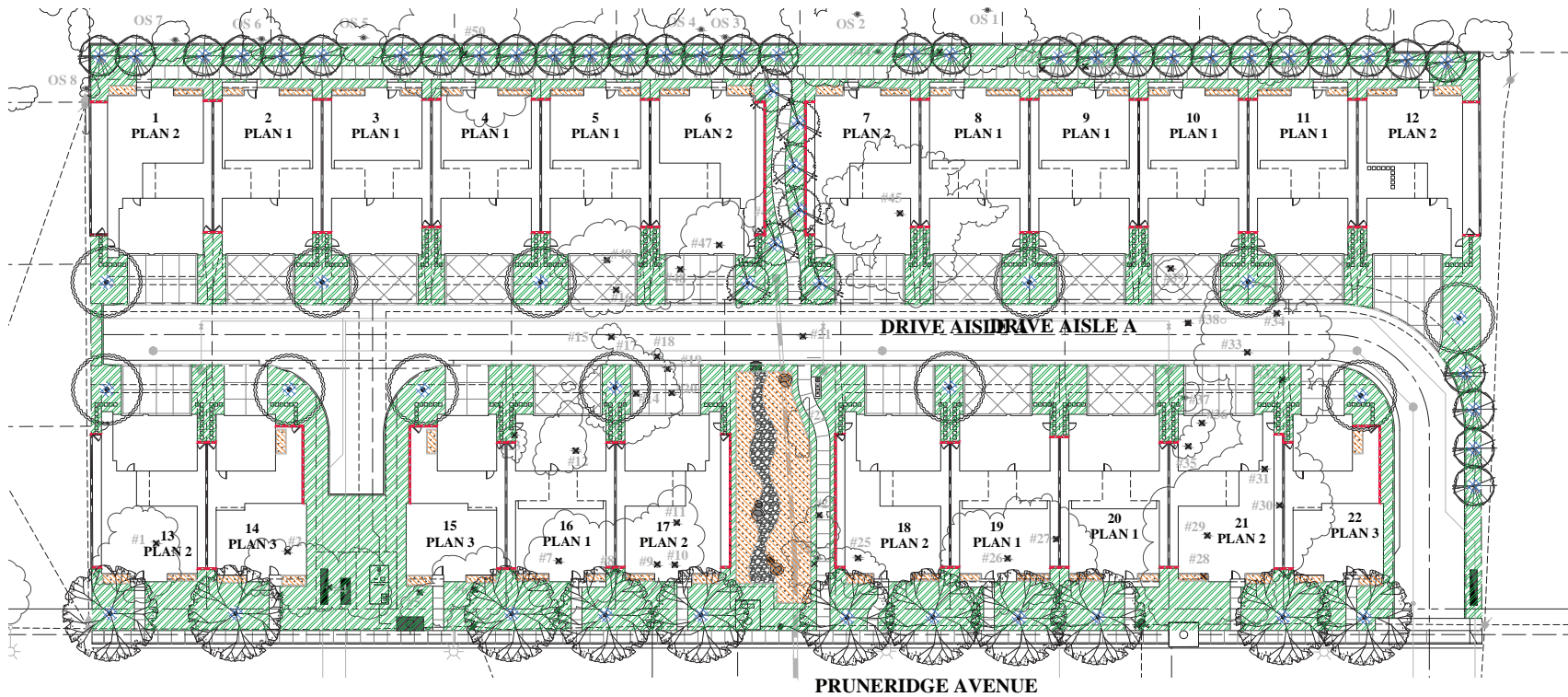
VESTING TENTATIVE MAP LANDSCAPE DETAILS

1957 PRUNERIDGE AVENUE
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: AS SHOWN DATE: August 22, 2023

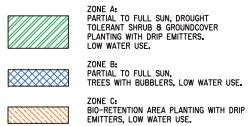
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SHEET NO.
L2
OF 8 SHEETS

JOB NO: 3656



LANDSCAPE HYDROZONE LEGEND



WATER USE CALCULATIONS:

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASED ON THE FOLLOWING FORMULA:

$$MAWA = (ET_{0.62} \times HA) \times LAI$$

THE ESTIMATED TOTAL WATER USE (ETWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:

$$ETWU = (ET_{0.62} \times (LAI \times HA)) \times SLA$$

ET₀ = REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)
 LA = LANDSCAPE AREA
 HA = HYDROZONE AREA (SQUARE FEET)
 PF = PLANT FACTOR FROM WUCOLS
 IE = IRRIGATION EFFICIENCY (0.8)
 0.25 = ET ADJUSTMENT FACTOR
 0.62 = CONVERSION FACTOR (TO GALLONS)

WATER BUDGET CALCULATIONS:

LOW WATER USE SHRUB PLANTING AREA = 26,783 SF
 LOW WATER USE BIO-RETENTION SHRUB PLANTING AREA = 1,009 SF
 LOW WATER USE TREE PLANTING AREA = 462 SF
 TOTAL PLANTING AREA = 28,354 SF

ESTIMATED TOTAL WATER USE:
 ETWU (LOW WATER USE) = $(44.2) \times (0.62) \times (0.2 \times 28,354) \times (0.8) = 19,855 \text{ GAL/YR}$

TOTAL ETWU = 19,855 GAL/YR

MAXIMUM APPLIED WATER ALLOWANCE:
 MAWA (TOTAL LANDSCAPED AREA) = $(44.2) \times (0.62) \times (10,45 \times 28,354) = 349,656 \text{ GAL/YR}$

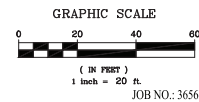
NOTE:
ALL IRRIGATION SHALL BE DESIGNED FOR RECYCLED WATER USE

VESTING TENTATIVE MAP

LANDSCAPE HYDROZONE PLAN

1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
 SCALE: AS SHOWN DATE: August 22, 2023

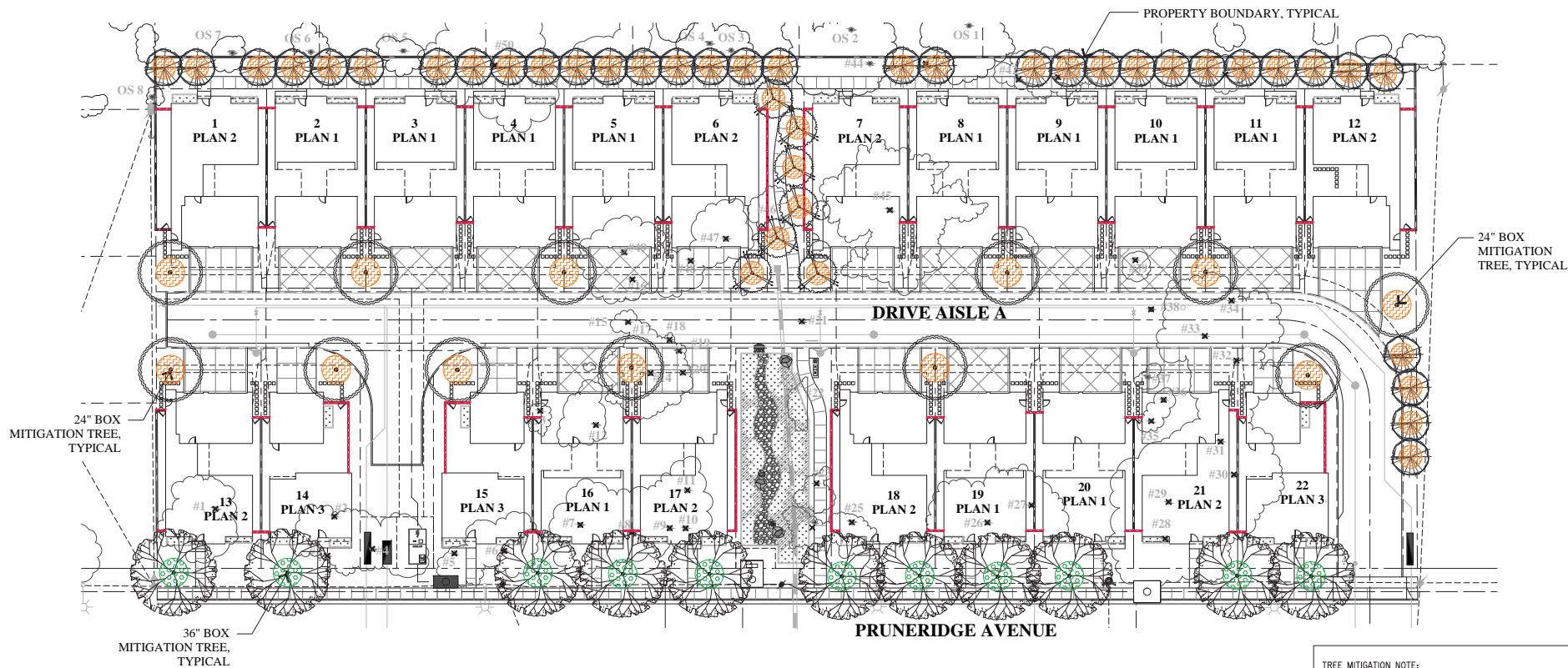


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JOB NO: 3656



TREE REPORT EVALUATION

(PER TREE REPORT PREPARED BY DAVID J. POWERS AND ASSOCIATES, INC. DATED OCTOBER 20, 2022)

Tree #	Species	DBH (in)	Height (ft)	Condition	Notes
1	Acacia	12	15	Good	
2	Acacia	12	15	Good	
3	Acacia	12	15	Good	
4	Acacia	12	15	Good	
5	Acacia	12	15	Good	
6	Acacia	12	15	Good	
7	Acacia	12	15	Good	
8	Acacia	12	15	Good	
9	Acacia	12	15	Good	
10	Acacia	12	15	Good	
11	Acacia	12	15	Good	
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59	Acacia	12	15	Good	
60	Acacia	12	15	Good	
61	Acacia	12	15	Good	
62	Acacia	12	15	Good	
63	Acacia	12	15	Good	
64	Acacia	12	15	Good	

X DESIGNATES TREES TO BE REMOVED.

LEGEND



TREE MITIGATION NOTE:

TOTAL OF (64) MITIGATION TREES ARE PROPOSED TO MITIGATE TOTAL OF (49) EXISTING TREES TO BE REMOVED, (0) OF THE MITIGATION TREES ARE UPSIZED TO BE 36\"/>

* REQUIRED TREE PLACEMENT RATIO 2:1 FOR GOOD OR MEDIUM CONDITION TREES, RATIO 1:1 FOR POOR CONDITION TREES. (34) EXISTING TREES ARE IN GOOD OR MEDIUM CONDITION, (15) TREES ARE IN POOR CONDITION. ANY DIFFERENCE SHALL BE SATISFIED BY IN-LIEU FEES.

REQUIRED TOTAL MITIGATION TREES: 34 X 2:1 = 83

VESTING TENTATIVE MAP

TREE MITIGATION PLAN

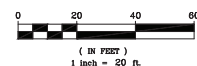
1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: AS SHOWN

DATE: August 22, 2023

GRAPHIC SCALE



CIVIL ENGINEERS SURVEYORS PLANNERS

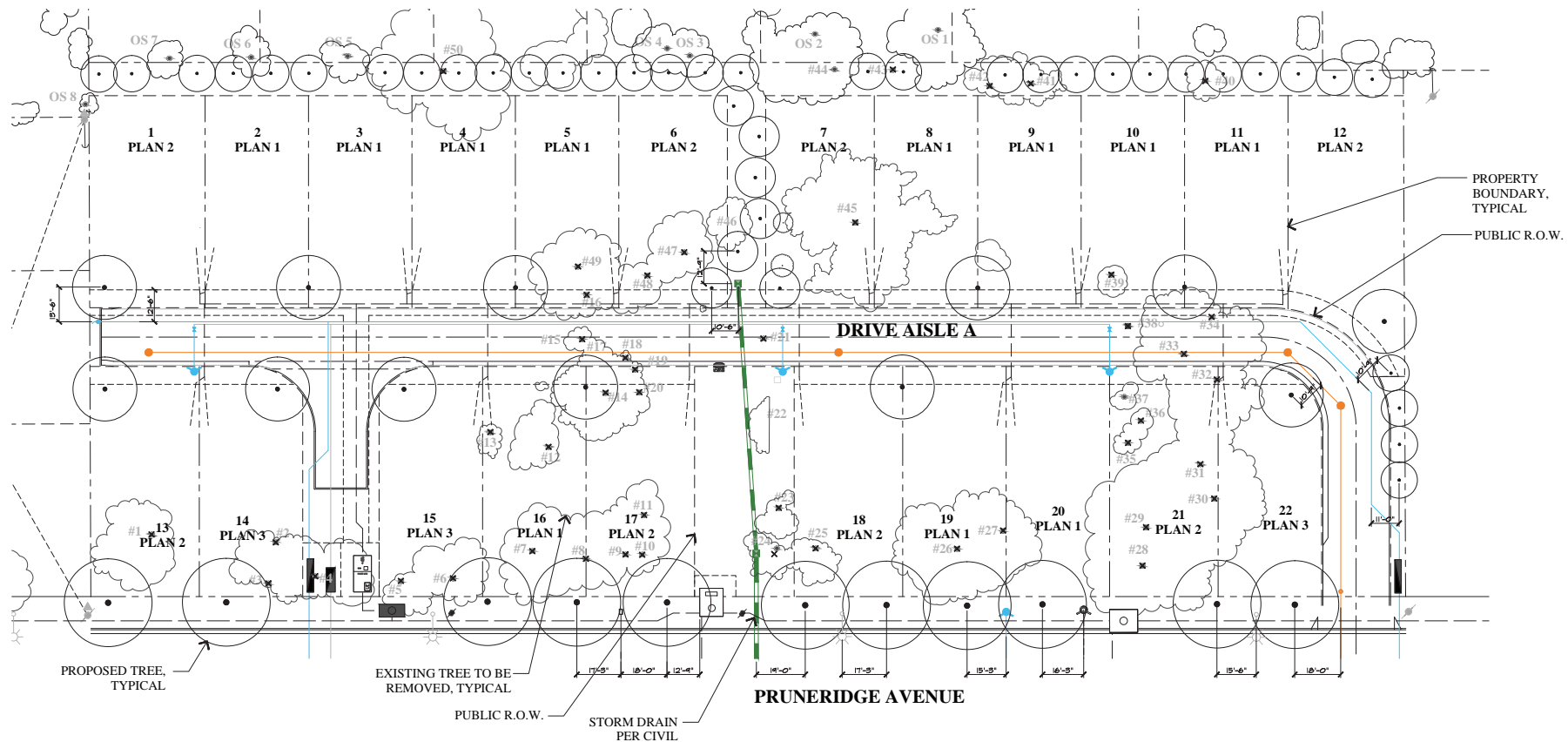
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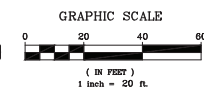


VESTING TENTATIVE MAP

TREE AND UTILITY PLAN

1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: AS SHOWN DATE: August 22, 2023

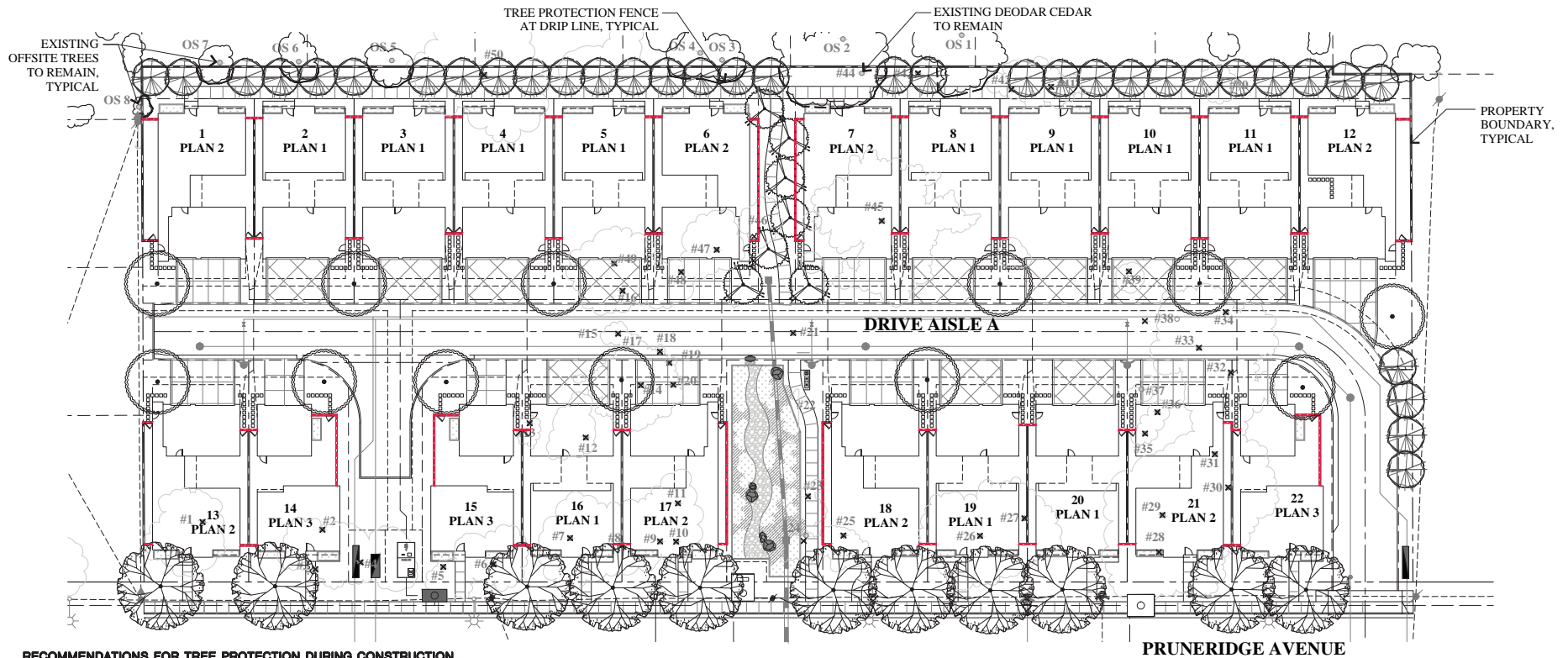


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RECOMMENDATIONS FOR TREE PROTECTION DURING CONSTRUCTION

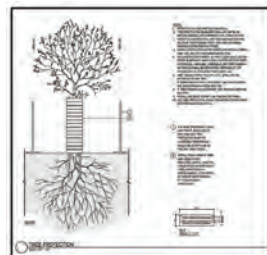
SITE PREPARATION: ALL EXISTING TREES SHALL BE FENCED WITHIN OR AT THE DRIP LINE (FOLIAR SPREAD) OF THE TREE, DEPENDING ON THE LOCATION OF THE TREE THE FENCING MAY NOT BE ABLE TO BE AT THE DRIP LINE. EXAMPLES OF THIS WOULD BE PUBLIC RIGHT OF WAY, NEAR PROPERTY LINES OR AROUND EXISTING STRUCTURES TO REMAIN. WHERE COMPLETE DRIP LINE FENCING IS NOT POSSIBLE, THE ADDITION OF STRAW WADDOLES AND ORANGE SNOW FENCING WRAPPING THE TRUNK SHALL BE INSTALLED PER THE TREE PROTECTION DETAIL. THE FENCE SHOULD BE A MINIMUM OF SIX FEET HIGH, MADE OF GALVANIZED 1/2-GAUGE WIRE MESH WITH GALVANIZED POSTS OR ANY MATERIAL SUPERIOR IN QUALITY. A TREE PROTECTION ZONE (TPZ) SIGN SHALL BE AFFIXED TO FENCING AT APPROPRIATE INTERVALS AS DETERMINED BY THE ARBORIST ON SITE. SEE TREE PROTECTION DETAIL FOR ADDITIONAL INFORMATION, INCLUDING TREE PROTECTION ZONE SIGN. IF THE FENCE IS WITHIN THE DRIP LINE OF THE TREES, THE FOLIAR FRINGE SHALL BE RAISED TO OFFSET THE CHANCE OF LIMB DAMAGE FROM ACTIVE CONSTRUCTION.

ACTIVE CONSTRUCTION: ALL CONTRACTORS, SUBCONTRACTORS AND OTHER PERSONNEL SHALL BE WARNED THAT ENCROACHMENT WITHIN THE FENCED AREA AND DRIP LINE IS PROHIBITED WITHOUT THE CONSENT OF THE CERTIFIED ARBORIST ON THE JOB. THIS INCLUDES, BUT IS NOT LIMITED TO, STORAGE OF LUMBER AND OTHER MATERIALS, DISPOSAL OF PAINTS, SOLVENTS OR OTHER NOXIOUS MATERIALS, PARKED CARS, GRADING EQUIPMENT OR OTHER HEAVY EQUIPMENT. IF CONSTRUCTION ACTIVITY NEEDS TO HAPPEN IN THE TPZ THE FENCE CAN BE MOVED TEMPORARILY FOR DELIVERY OF CONSTRUCTION MATERIALS. THE CONTRACTOR SHOULD MAKE ACCOMMODATIONS TO OFF LOAD ITEMS SUCH AS TRUSSES, TIMBER, PLASTERBOARD, WALLBOARD, CONCRETE, GYPSUM BOARD, FLOORING, ROOFING OR ANY OTHER HEAVY CONSTRUCTION MATERIAL OUTSIDE THE FOLIAR SPREAD OF THE TREE SO THERE IS NO HEAVY EQUIPMENT NEEDED THAT COULD CAUSE DAMAGE TO THE CANOPY OF THE TREE OR COMPACT THE ROOT ZONE. THE TREE PROTECTION FENCING SHOULD BE REESTABLISHED PER THE PLANS AND DETAILS IMMEDIATELY AFTER ANY ACTIVITY THROUGH THE TPZ. PENALTIES, BASED ON THE COST OF REMEDIAL REPAIRS AND THE EVALUATION GUIDE PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE ASSESSED FOR DAMAGES TO THE TREES.

GRADING/EXCAVATING: ALL GRADING PLANS THAT SPECIFY GRADING WITHIN THE DRIP LINE OF ANY TREE, OR WITHIN THE DISTANCE FROM THE TRUNK AS OUTLINED IN THE SITE PREPARATION SECTION ABOVE WHEN SAID DISTANCE IS OUTSIDE THE DRIP LINE, SHALL FIRST BE REVIEWED BY A CERTIFIED ARBORIST. PROVISIONS FOR AERATION, DRAINAGE, PRUNING, TUNNELING BENEATH ROOTS, ROOT PRUNING OR OTHER NECESSARY ACTIONS TO PROTECT THE TREES SHALL BE OUTLINED BY AN ARBORIST. IF TRENCHING IS NECESSARY WITHIN THE AREA AS DESCRIBED ABOVE, SAID TRENCHING SHALL BE UNDERTAKEN BY HAND LABOR AND DUG DIRECTLY BENEATH THE TRUNK OF THE TREE. ALL ROOTS 2 INCHES OR LARGER SHALL BE TUNNELED UNDER AND OTHER ROOTS SHALL BE CUT SMOOTHLY TO THE TRUNK SIDE OF THE TRENCH. THE TRUNK SIDE SHOULD BE DRAPED IMMEDIATELY WITH TWO LAYERS OF UNTREATED BURLAP TO A DEPTH OF 3 FEET FROM THE SURFACE. THE BURLAP SHALL BE SOAKED NIGHTLY AND LEFT IN PLACE UNTIL THE TRENCH IS BACK FILLED TO THE ORIGINAL LEVEL. AN ARBORIST SHALL EXAMINE THE TRENCH PRIOR TO BACK FILLING TO ASCERTAIN THE NUMBER AND SIZE OF ROOTS CUT, SO AS TO SUGGEST THE NECESSARY REMEDIAL REPAIRS.

REMEDIAL REPAIRS: AN ARBORIST SHALL HAVE THE RESPONSIBILITY OF OBSERVING ALL ONGOING ACTIVITIES THAT MAY AFFECT THE TREES AND PRESCRIBING NECESSARY REMEDIAL WORK TO ENSURE THE HEALTH AND STABILITY OF THE TREES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL ARBORIST ACTIVITIES BROUGHT OUT IN THE PREVIOUS SECTIONS. IN ADDITION, PRUNING, AS OUTLINED IN INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES; PRUNING AND ANSI A300 PART 1 STANDARD PRACTICES; PRUNING, SHALL BE PRESCRIBED AS NECESSARY. FERTILIZING, AERATION, IRRIGATION, PEST CONTROL AND OTHER ACTIVITIES SHALL BE PRESCRIBED ACCORDING TO THE TREE NEEDS, LOCAL SITE REQUIREMENTS, AND STATE AGRICULTURAL PEST CONTROL LAWS. ALL SPECIFICATIONS SHALL BE IN WRITING. FOR PEST CONTROL OPERATIONS, CONSULT THE LOCAL COUNTY AGRICULTURAL COMMISSIONER'S OFFICE FOR INDIVIDUALS LICENSED AS PEST CONTROL ADVISORS OR PEST CONTROL OPERATORS.

FINAL INSPECTION: UPON COMPLETION OF THE PROJECT, THE ARBORIST SHALL REVIEW ALL WORK UNDERTAKEN THAT MAY IMPACT THE EXISTING TREES. SPECIAL ATTENTION SHALL BE GIVEN TO CUTS AND FILLS, COMPACTING, DRAINAGE, PRUNING AND FUTURE REMEDIAL WORK. AN ARBORIST SHOULD SUBMIT A FINAL REPORT IN WRITING OUTLINING THE ONGOING REMEDIAL CARE FOLLOWING THE FINAL INSPECTION.



(PER TREE REPORT PREPARED BY DAVID J. POWERS AND ASSOCIATES, INC. DATED OCTOBER 20, 2022)

NOTES:

NO CUTTING OF ANY PART OF PRIVATE TREES OR PUBLIC TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT SECURING PRIOR APPROVAL OF THE CITY ARBORIST. TREE TRIMMING/REMOVAL SHALL BE DONE IN ACCORDANCE TO THE CITY OF SANTA CLARA TREE PRESERVATION/CITY ARBORIST SPECIFICATIONS AND WITH DIRECT SUPERVISION OF A CERTIFIED ARBORIST (CERTIFICATION OF INTERNATIONAL SOCIETY OF ARBORICULTURE).

LEGEND

- ✕ EXISTING ONSITE TREE
- EXISTING OFFSITE TREE
- ✕ DESIGNATES TREES TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE AT DRIP LINE PER ARBORIST REPORT

VESTING TENTATIVE MAP

TREE PROTECTION PLAN

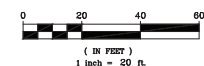
1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: AS SHOWN

DATE: August 22, 2023

GRAPHIC SCALE



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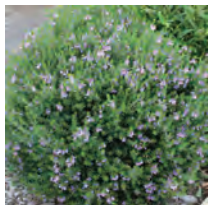
• SURVEYORS • PLANNERS

SHEET NO.

L7

OF 8 SHEETS

JOB NO: 3656



WESTRINGIA FRUTICOSA 'BLUE GEM'
BLUE GEM WESTRINGIA



OLEA EUROPAEA 'LITTLE OLLIE'
LITTLE OLLIE DWARF OLIVE



LAVATERA MARITIMA
TREE MALLOW



XYLOSMA CONGESTUM 'COMPACTA'
COMPACT XYLOSMA



MYRTUS C. 'COMPACTA'
DWARF MYRTLE



CAREX DIVULSA
EUROPEAN GREY SEDGE



STACHYS BYZANTINA 'BIG EARS'
BIG EARS LAMB'S EAR



CHONDROPETALUM TECTORUM
SMALL CAPE RUSH



BOUTELOUA G. 'BLONDE
AMBITION'
BLUE GRAMA GRASS



RHAMNUS C. 'LITTLE SUR'
COFFEEBERRY



EUONYMUS J. 'GREEN SPIRE'
GREEN SPIRE EUONYMUS



PHORMIUM T. 'VARIEGATUM'
NEW ZEALAND FLAX



SALVIA MEXICANA 'LIMELIGHT'
MEXICAN SAGE



GREVILLEA 'NOELLI'
WOOLY GREVILLEA



MUHLENBERGIA RIGENS
DEER GRASS



LOMANDRA LONGIFOLIA 'BREEZE'
DWARF MAT RUSH



SANTOLINA VIRENS
GREEN LAVENDER COTTON



LANTANA 'CHAPEL HILL YELLOW'
CHAPEL HILL LANTANA



CISTUS X SKANBERGII
ROCKROSE



ROSA CALIFORNICA
CALIFORNIA WILD ROSE



NEPETA FAASSENII
CATMINT



DIETES IRIDIOIDES
FORTNIGHT LILY



LOROPETALUM 'EMERALD SNOW'
CHINESE FRINGE
FLOWER



RIBES SANGUINEUM
RED FLOWERING CURRANT



PHORMIUM 'DARK DELIGHT'
NEW ZEALAND FLAX



ACHILLEA MILLEFOLIUM
COMMON YARROW



TUECRIUM CHAMAEDRYS
GERMANDER



FESTUCA CALIFORNICA
CALIFORNIA FESCUE



MIMULUS AURANTIACUS
STICKY MONKEY FLOWER



STACHYS BYZANTINA 'BIG EARS'
BIG EARS LAMB'S EAR



ERIGERON KARVINSKIANUS
SANTA BARBARA DAISY

VESTING TENTATIVE MAP

LANDSCAPE PLANTING PALETTE

1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: AS SHOWN DATE: August 22, 2023



CIVIL ENGINEERS SURVEYORS PLANNERS

SAN RAMON (925) 866-0322
ROSEVILLE (916) 788-4456
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SHEET NO.

L8

OF 8 SHEETS

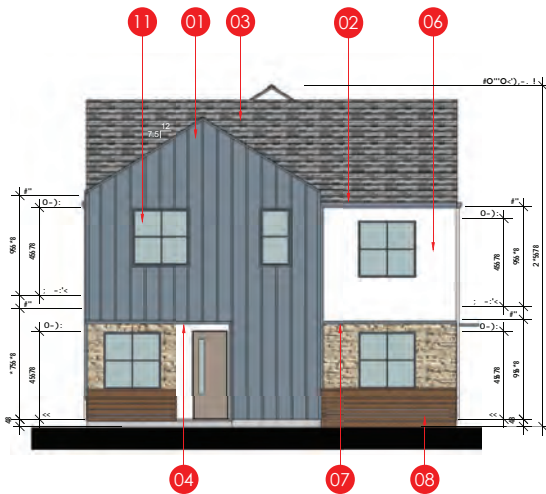
JOB NO.: 3656



1957 PRUNERIDGE AVENUE

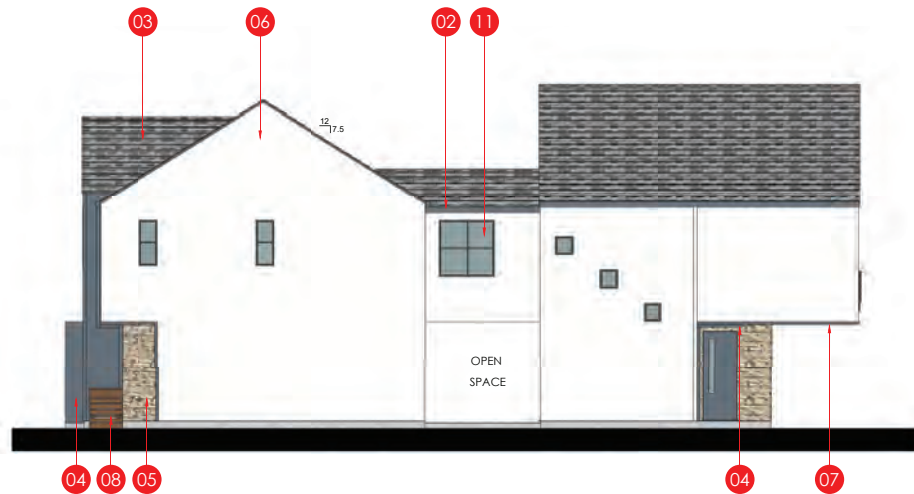
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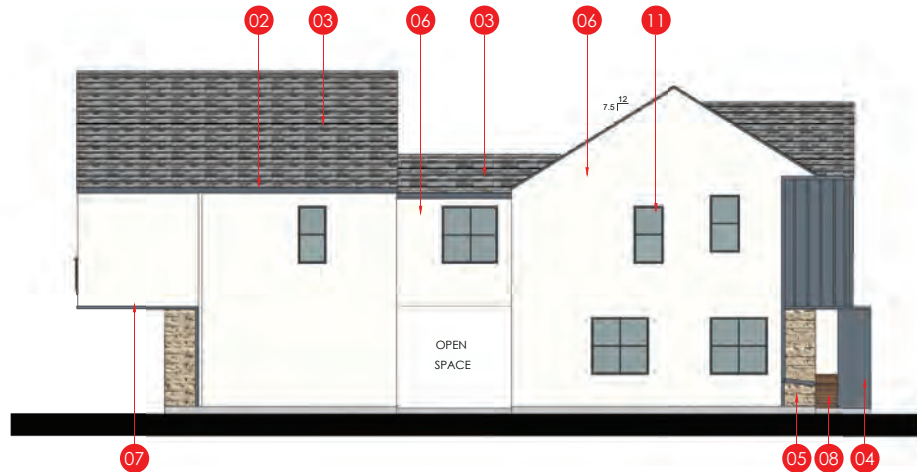
FRONT ELEVATION

SCALE: 3/16"=1'-0"



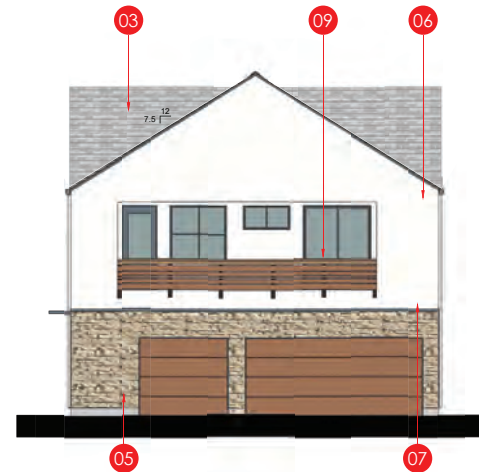
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LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

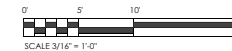
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01	BATTEN BOARD
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW / PANEL
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

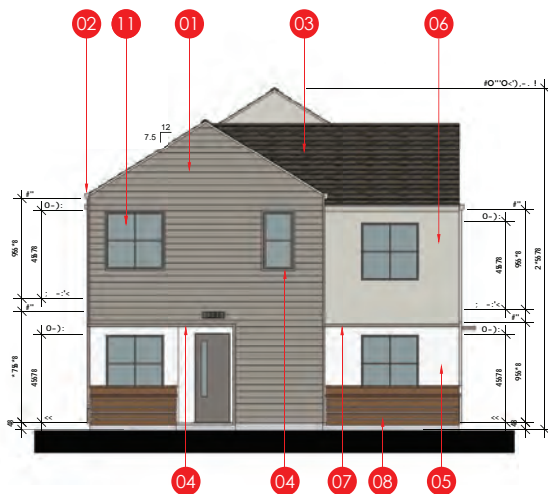
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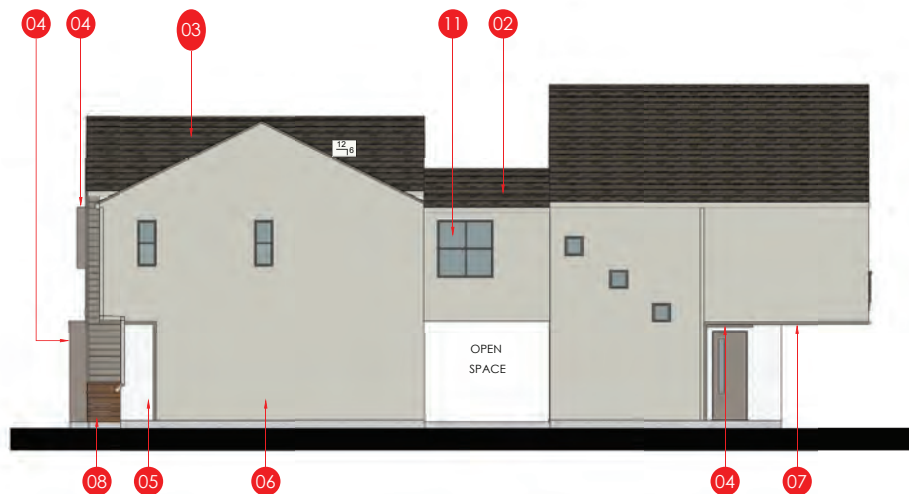
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A1.1
OF 14 SHEETS



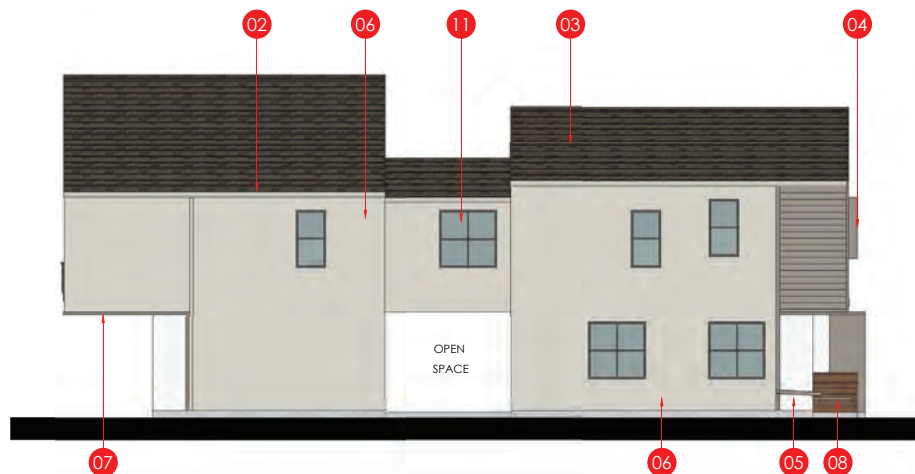
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SCALE: 3/16"=1'-0"



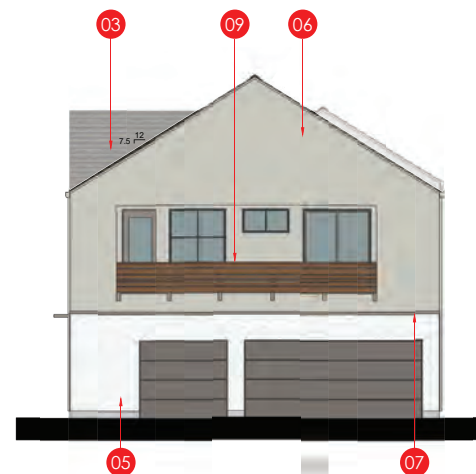
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

-1> 0#1 (
01	HORIZONTAL SIDING
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW / PANEL
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

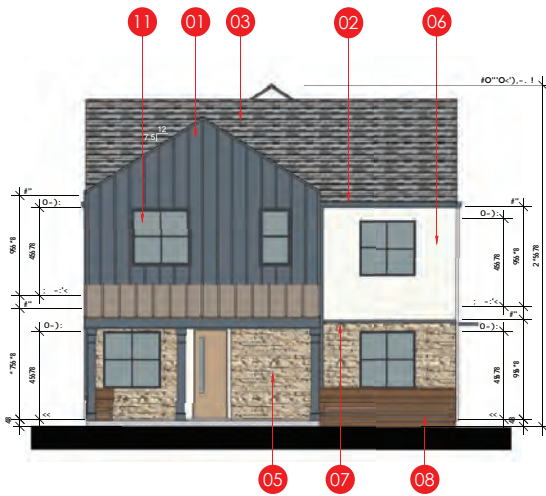
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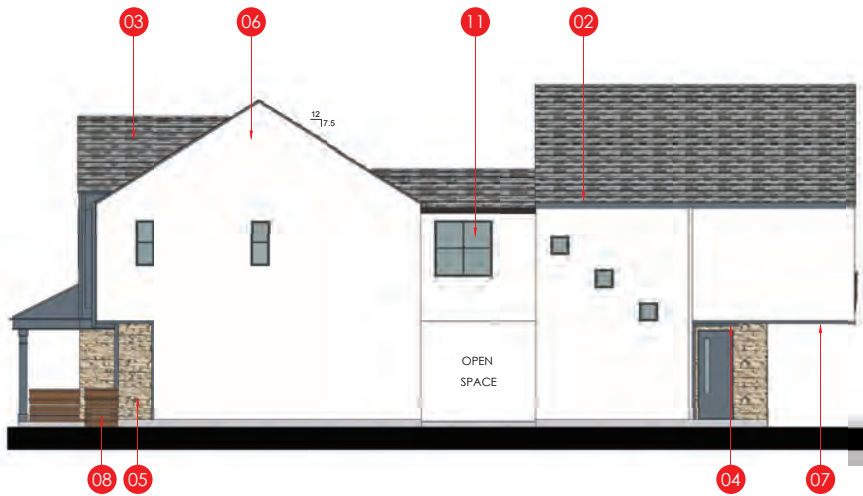
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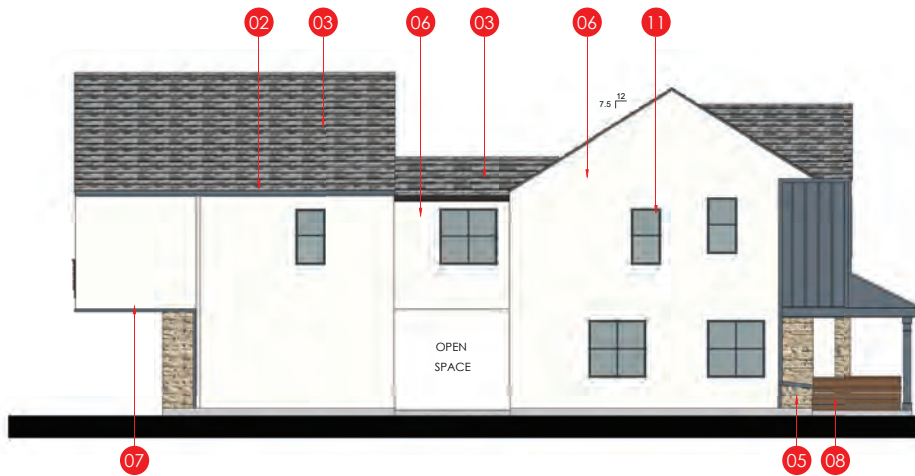
FRONT ELEVATION

SCALE: 3/16"=1'-0"



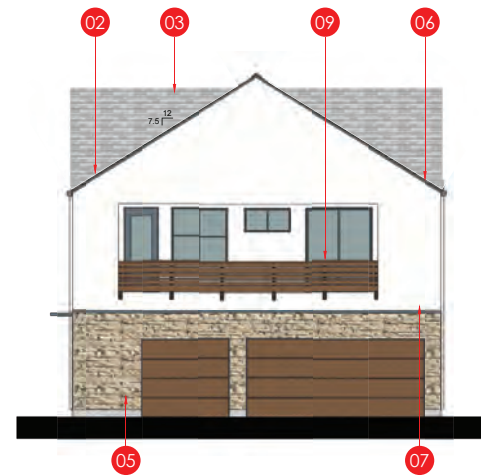
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

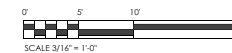
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-1> 0#1 (
01	BATTEN BOARD
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

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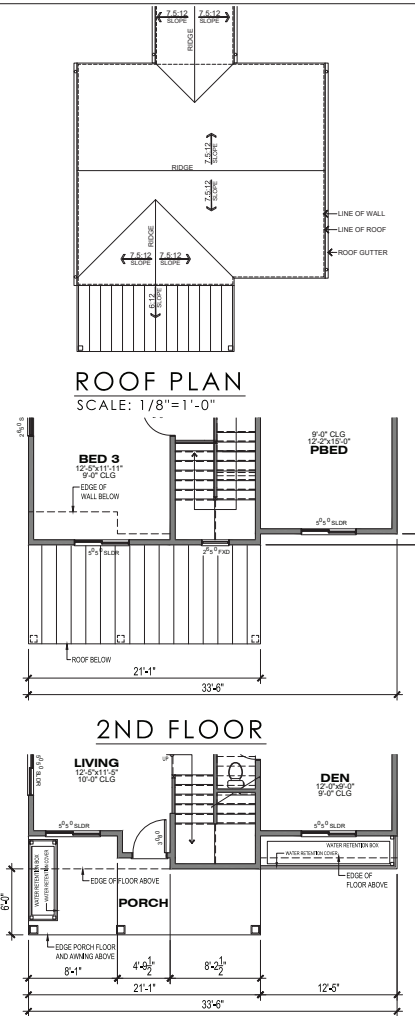
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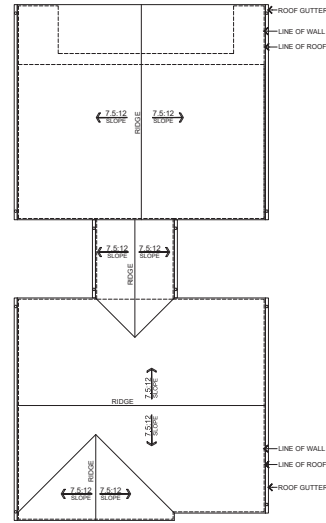
SCALE 3/16"=1'-0"

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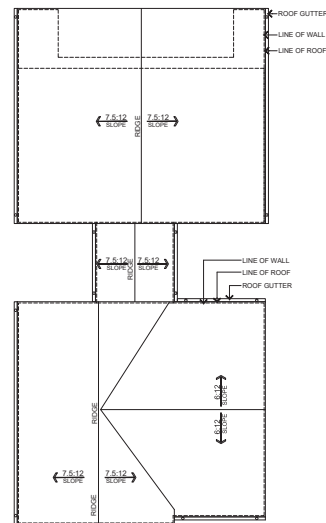
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 OF 14 SHEETS



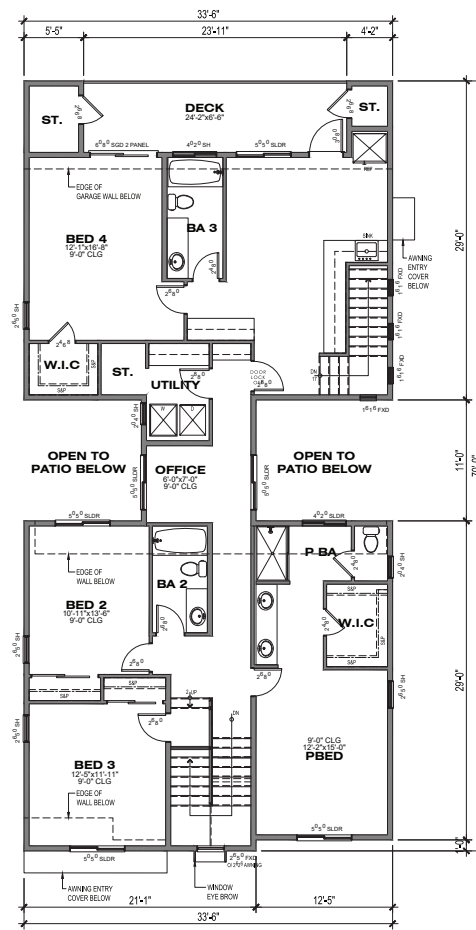
**1ST FLOOR
PLAN 1A
WITH OPT PORCH**
PRUNERIDGE ROAD SIDE
1957 PRUNERIDGE AVENUE
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 3/16" = 1'-0" DATE: 21 SEPTEMBER 2023



ROOF PLAN 1A
SCALE: 1/8" = 1'-0"



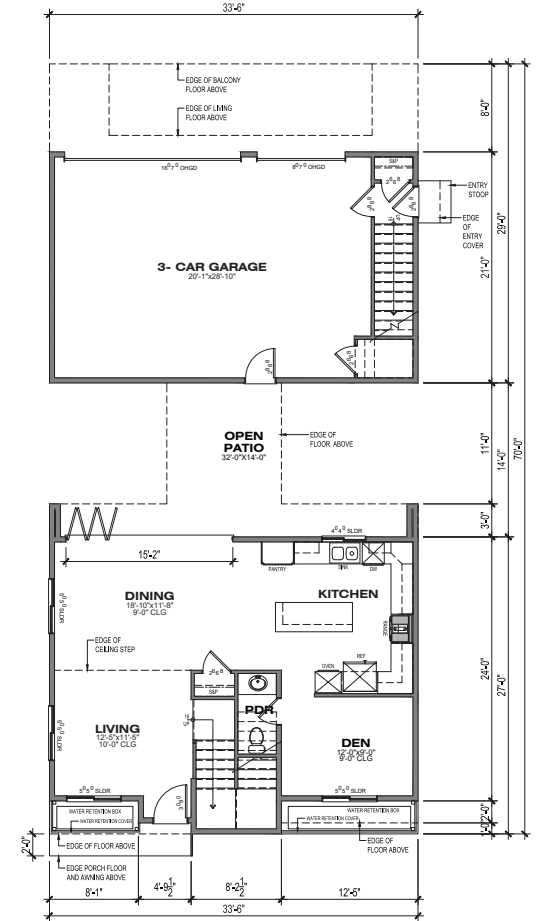
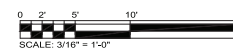
ROOF PLAN 1B
SCALE: 1/8" = 1'-0"



2ND FLOOR
1,777.52 SF

PLAN 1A
REAR NEIGHBORHOOD SIDE
4BED/3.5BA
AREA: 2,615.73 SF

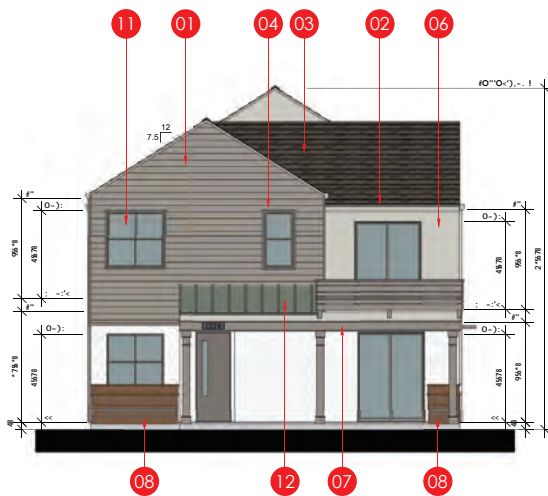
NOTE:
FLOOR PLANS REPRESENT PLAN 1A ELEVATIONS. PLAN 1B
FLOOR PLANS ARE SIMILAR WITH THE VARIATIONS OF
WINDOWS AND ROOF DESIGN



1ST FLOOR
838.21 SF

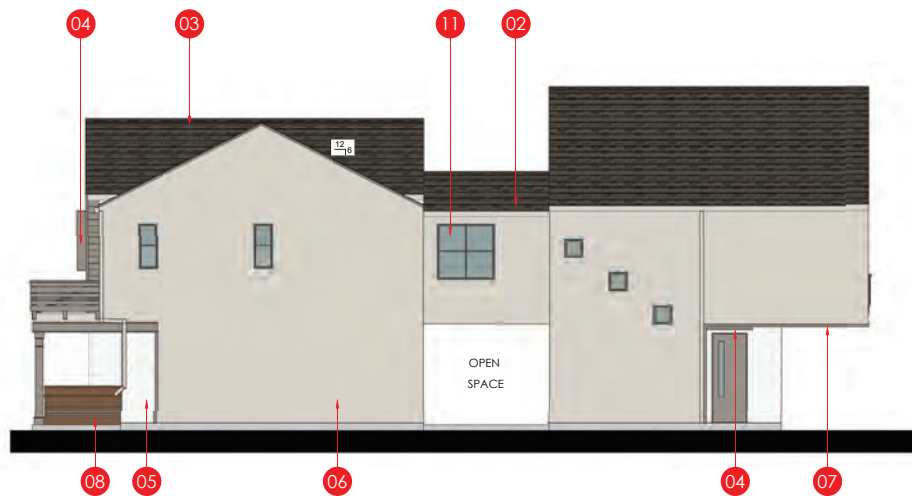
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OF SHEETS



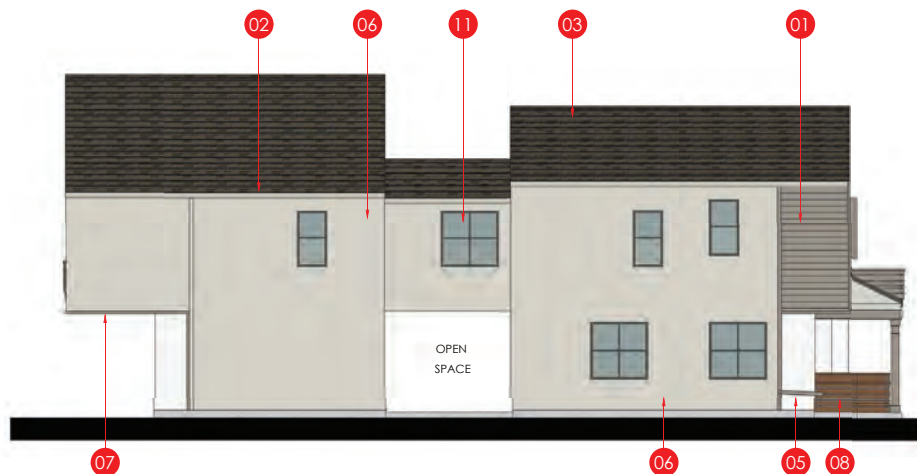
FRONT ELEVATION

SCALE: 3/16"=1'-0"



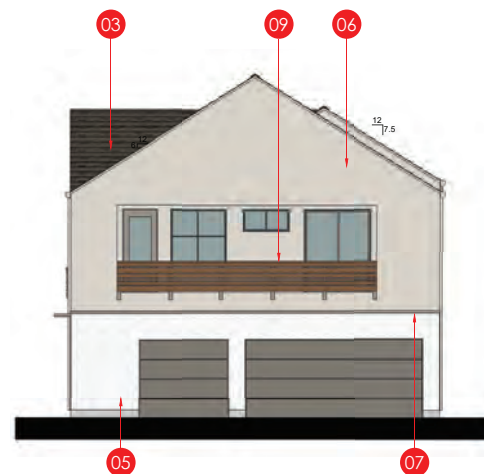
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

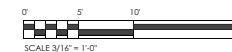
SCALE: 3/16"=1'-0"

-1> 0#1 (
01	HORIZONTAL SIDING
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

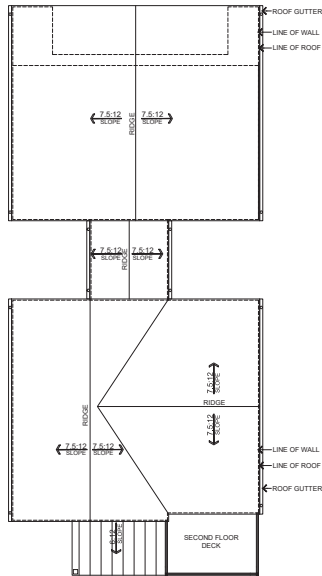
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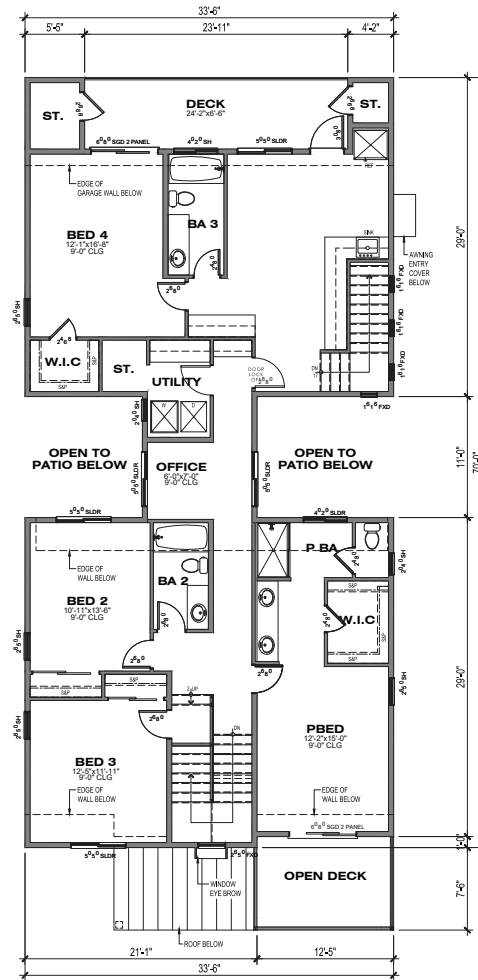


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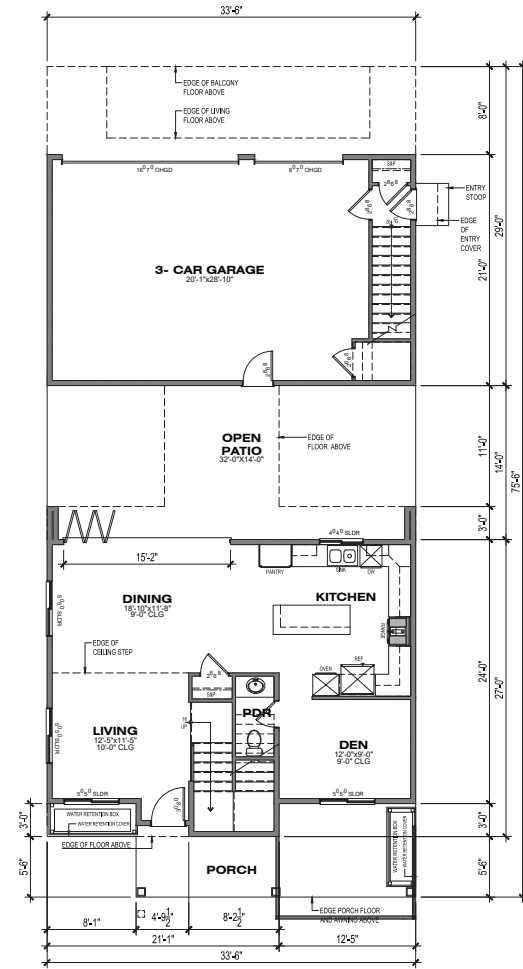
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A1.5
OF 14 SHEETS



ROOF PLAN 1B
SCALE: 1/8"=1'-0"



2ND FLOOR
1,777.52 SF

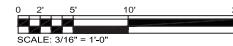


1ST FLOOR
838.21 SF

PLAN 1B

WITH PORCH DECK
PRUNERIDGE ROAD SIDE
4BED/3.5BA
AREA: 2,615.73 SF

NOTE:
FLOOR PLANS REPRESENT PLAN 1A ELEVATIONS. PLAN 1B FLOOR PLANS ARE SIMILAR WITH THE VARIATIONS OF WINDOWS AND ROOF DESIGN

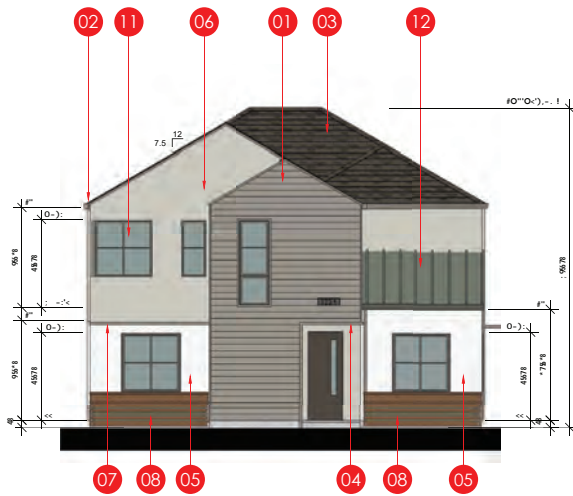


1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 3/16"=1'-0" DATE: 21 SEPTEMBER 2023

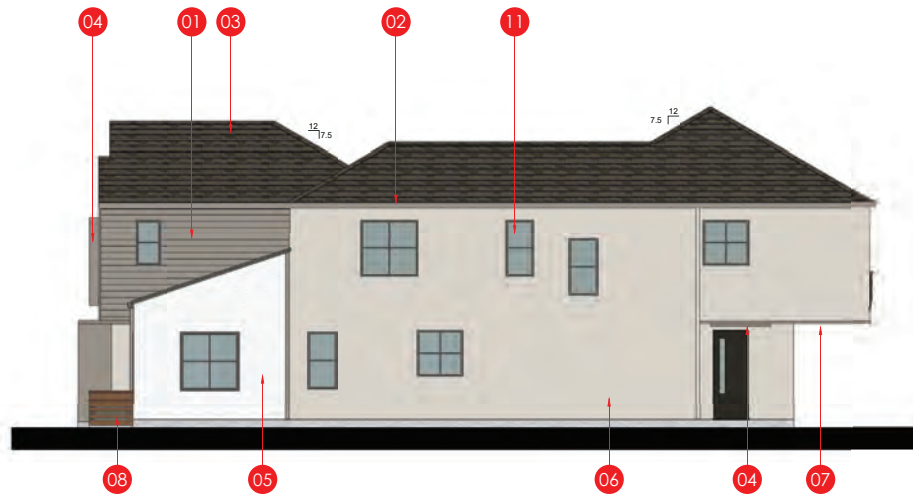
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OF SHEETS



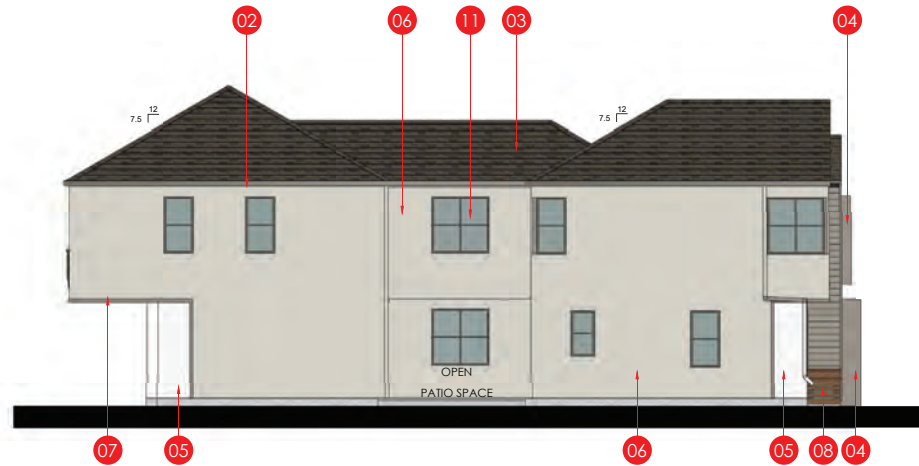
FRONT ELEVATION

SCALE: 3/16"=1'-0"



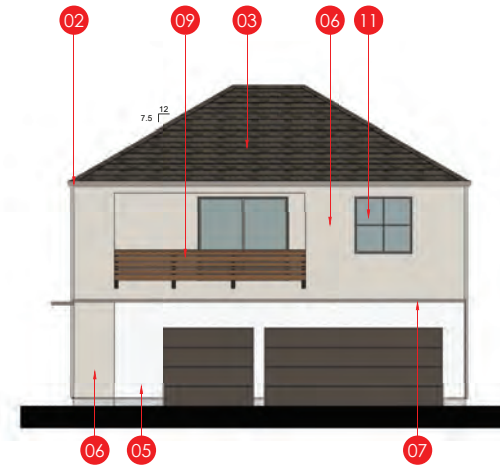
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

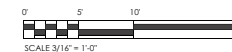
SCALE: 3/16"=1'-0"

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01	HORIZONTAL SIDING
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

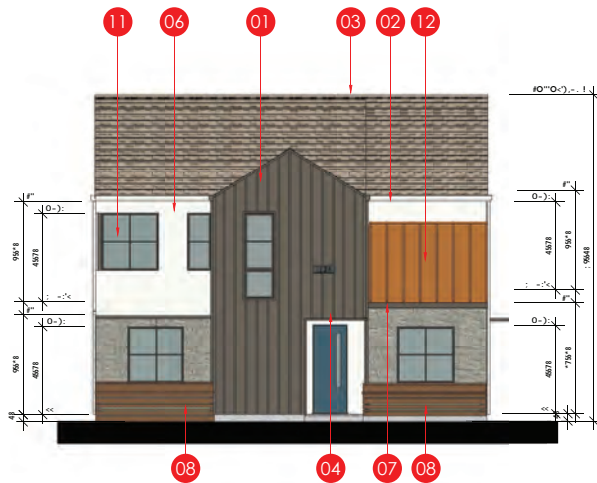
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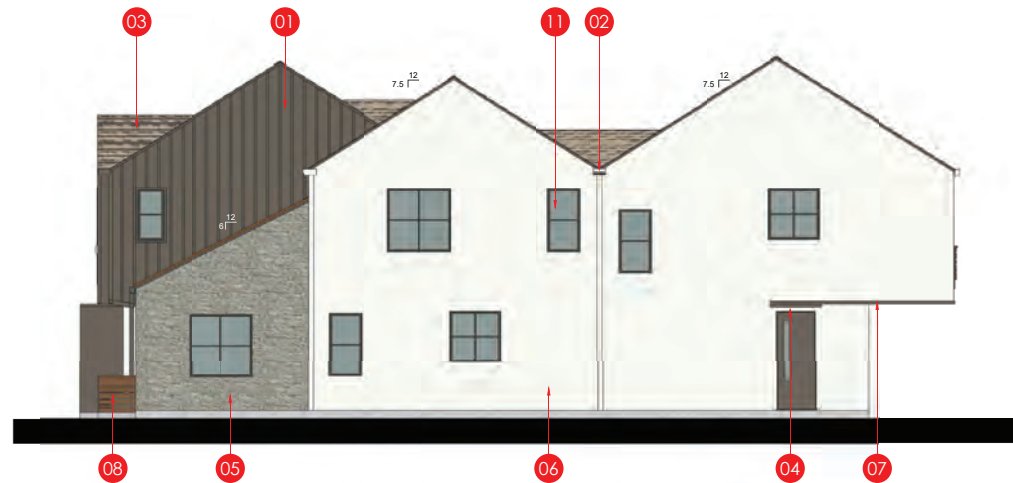
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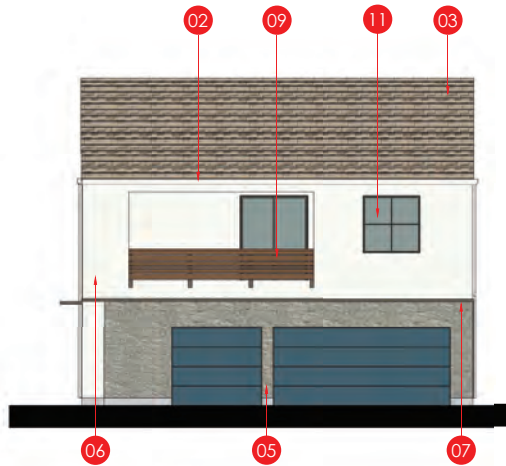
FRONT ELEVATION

SCALE: 3/16"=1'-0"



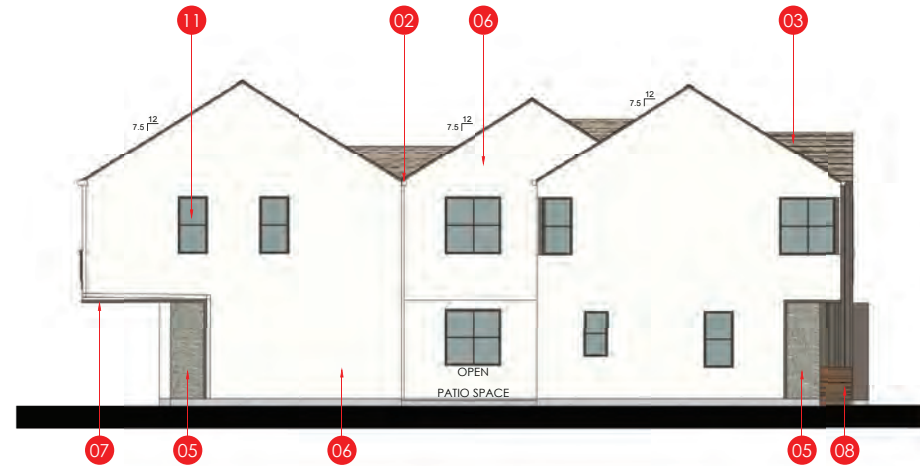
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"

-1> 0#1 (
01	BATTEN BOARD
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
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06	STUCCO
07	WOOD TRIM
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09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

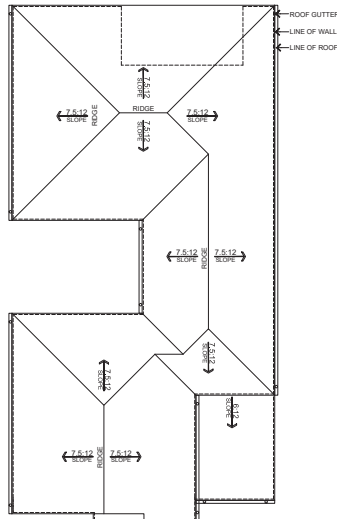
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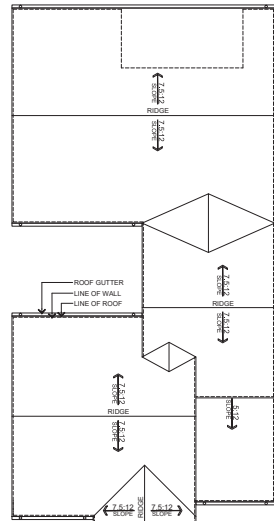


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 SHEET NO.:
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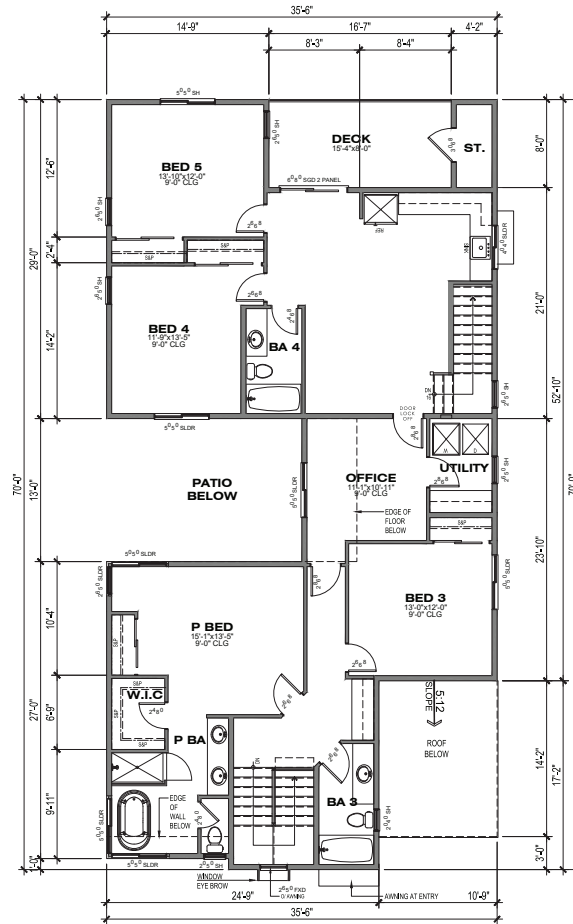
ROOF PLAN 2A
SCALE: 1/8"=1'-0"



ROOF PLAN 2B
SCALE: 1/8"=1'-0"

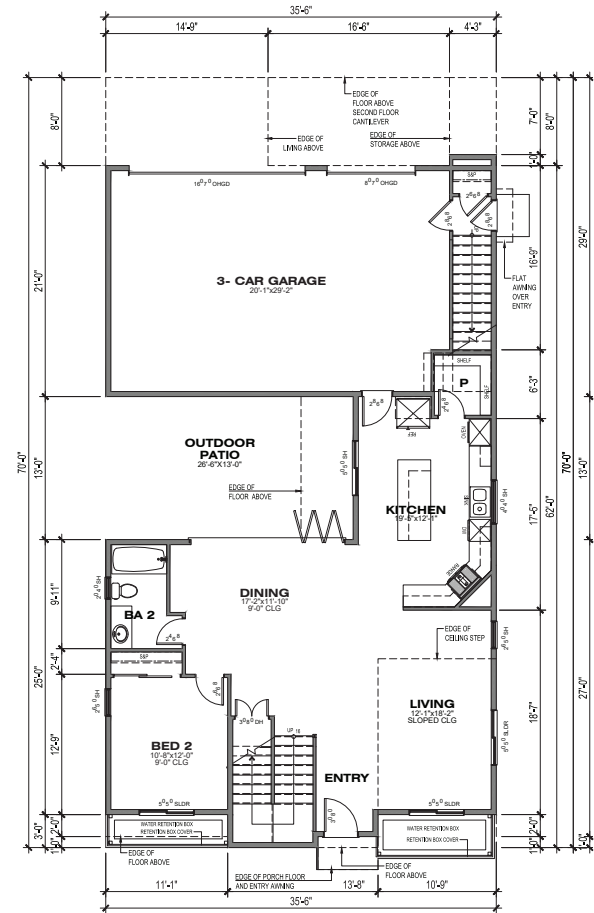
1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 3/16" = 1' 0" DATE: 21 SEPTEMBER 2023



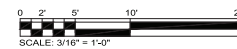
2ND FLOOR
1,804.82 SF

PLAN 2A REAR NEIGHBOR SIDE 5BED/4BA AREA: 2,925.25 SF



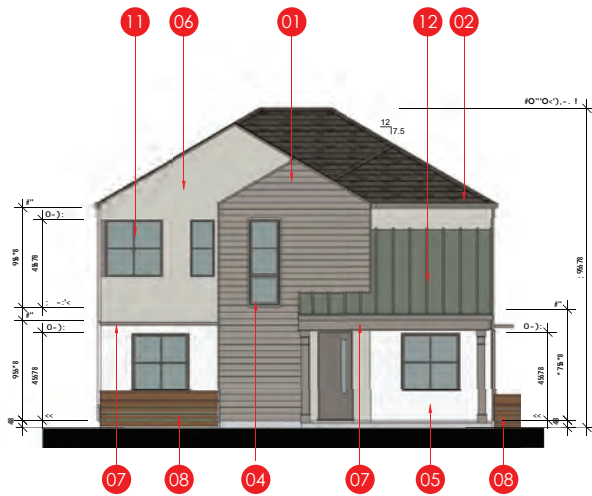
1ST FLOOR
1120.43 SF

NOTE:
FLOOR PLANS REPRESENT PLAN 2A ELEVATIONS. PLAN 2B
FLOOR PLANS ARE SIMILAR WITH THE VARIATIONS OF
WINDOWS AND ROOF DESIGN



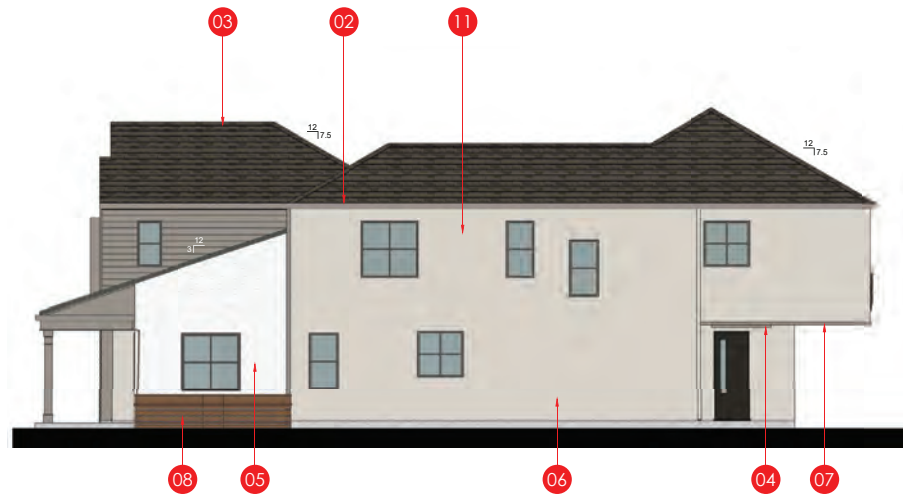
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OF SHEETS



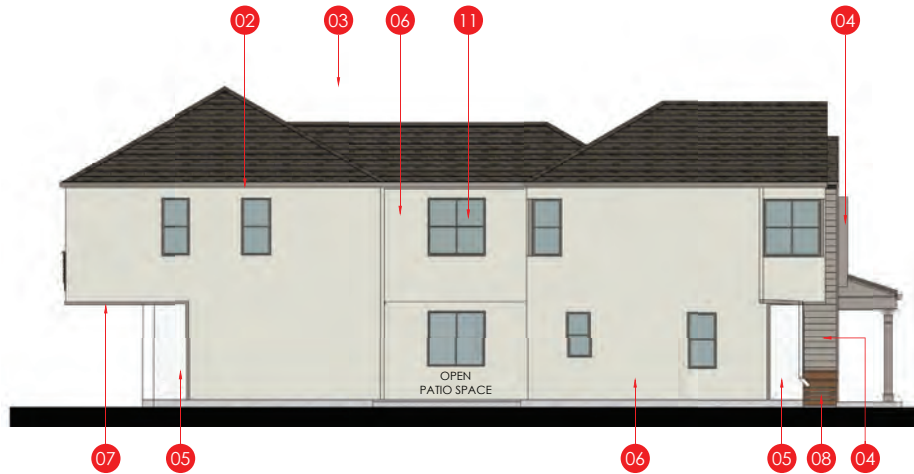
FRONT ELEVATION

SCALE: 3/16"=1'-0"



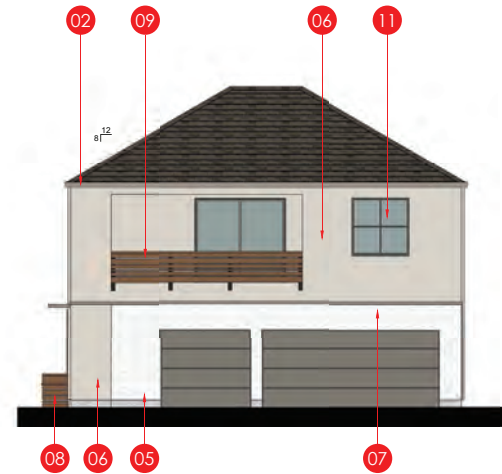
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

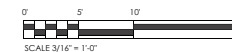
SCALE: 3/16"=1'-0"

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01	BATTEN BOARD
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

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SCALE 3/16"=1'-0"

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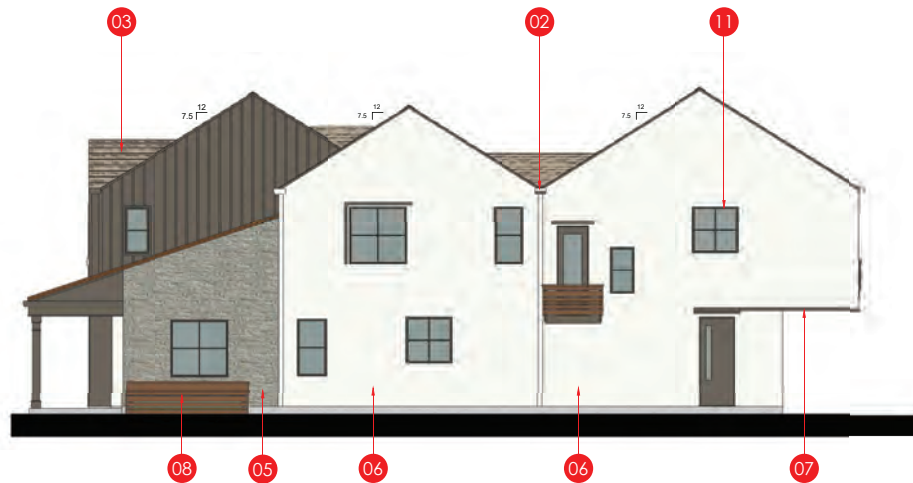
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OF 14 SHEETS



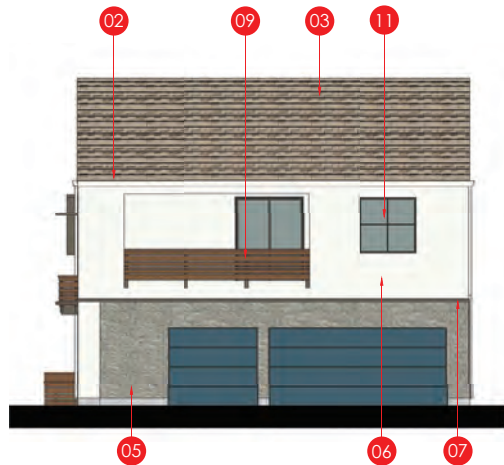
FRONT ELEVATION

SCALE: 3/16"=1'-0"



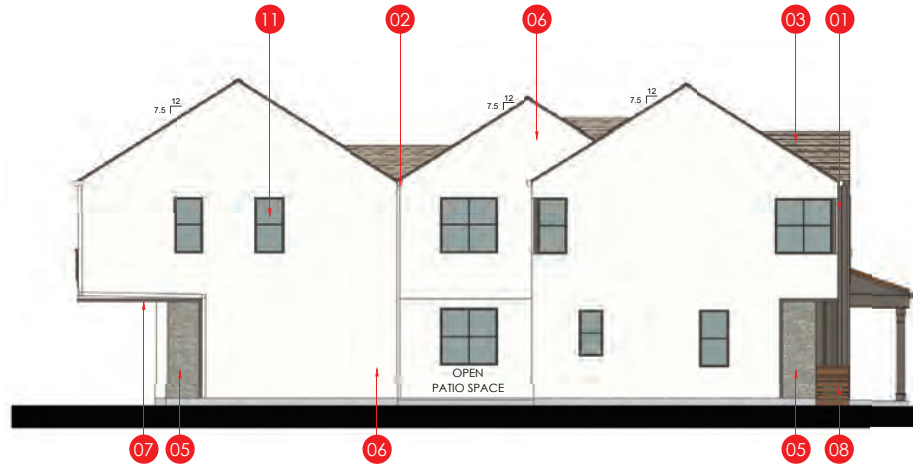
RIGHT ELEVATION (ENHANCED ELEVATION @ BIORETENSION)

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

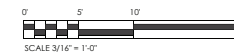
SCALE: 3/16"=1'-0"

-1> 0#1 (
01	BATTEN BOARD
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

CI !"#\$\$%&' &"C(&)& %&' &"C(&)&"C#*' ! C&(!\$#)' !&

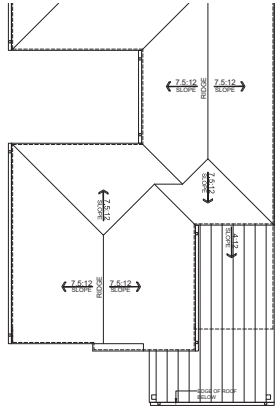
" ; + ' 3 , # 0 ' ' ' O) C 0 ' + \$, & - , . ' ! & ! / % # , O (' ' ') \$!) , - . ! ') O % - ' (, - ! ' C O & O) ' (C O ! 1 ! ' ; ' (O O 3 3 , # 0 ! 0 % C ! - ' (, - ! ! & ! / % # O



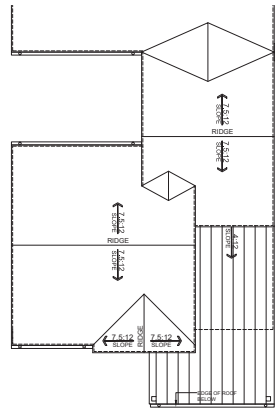
SCALE 3/16"=1'-0"

+ # , " # . : / 001-00
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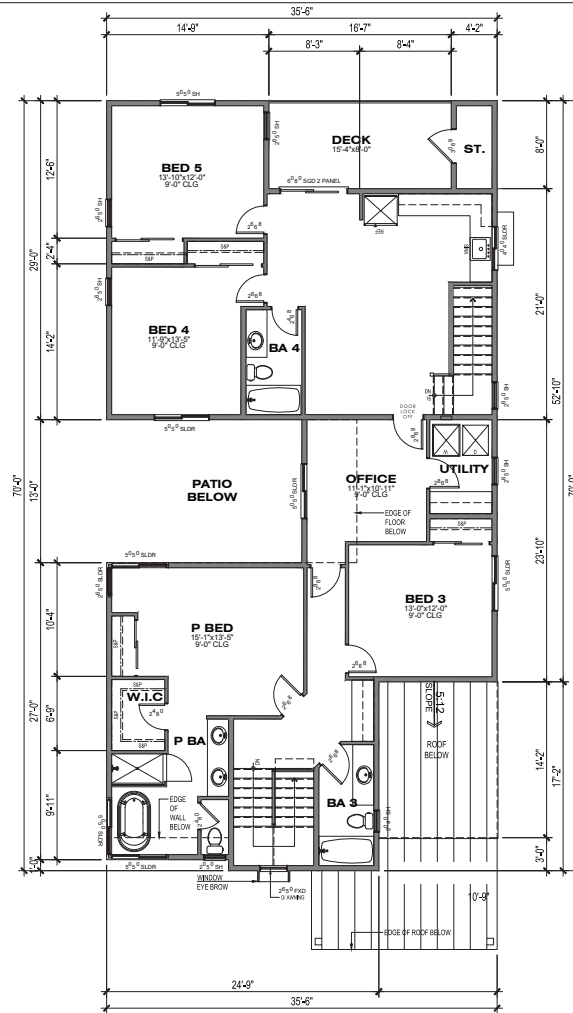
/0/23045/6
 SHEET NO.:
A2.5
 OF 14 SHEETS



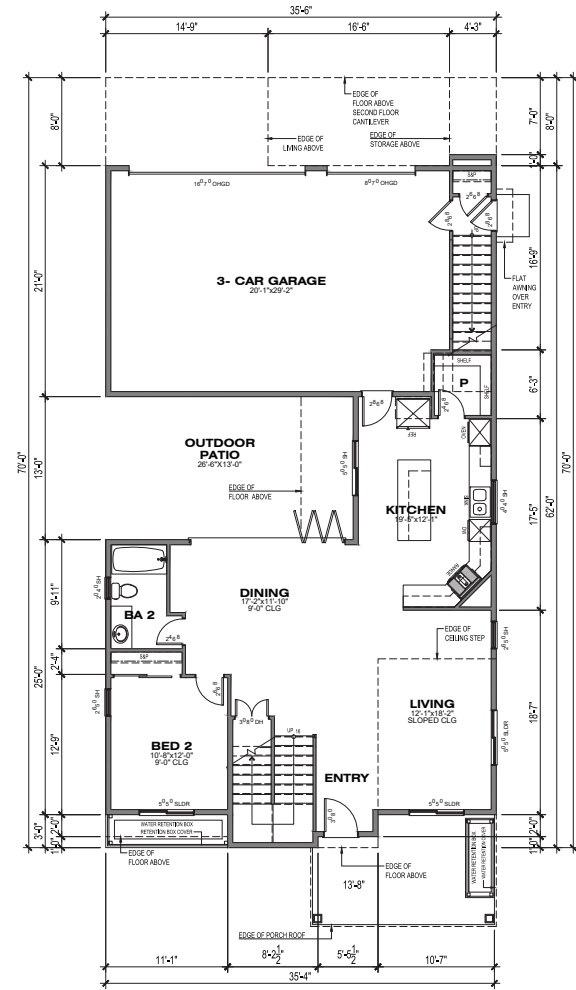
ROOF PLAN 2A WITH PORCH
SCALE: 1/8"=1'-0"



ROOF PLAN 2B WITH PORCH
SCALE: 1/8"=1'-0"



2ND FLOOR
1,804.82 SF

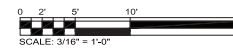


1ST FLOOR
1120.43 SF

PLAN 2B

WITH PORCH CONDITION
PRUNERIDGE ROAD SIDE
5BED/4BA
AREA: 2,925.25 SF

NOTE:
FLOOR PLANS REPRESENT PLAN 2A ELEVATIONS WITH
PORCH CONDITION FACING PRUNERIDGE ROAD.



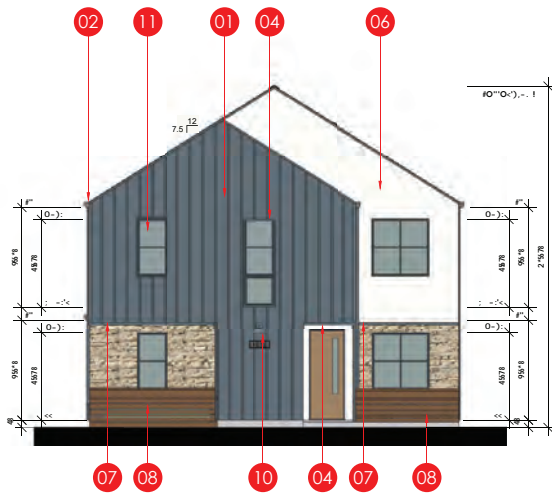
JOB NO.: 22007.00

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SHEET NO.
A2.6
OF SHEETS

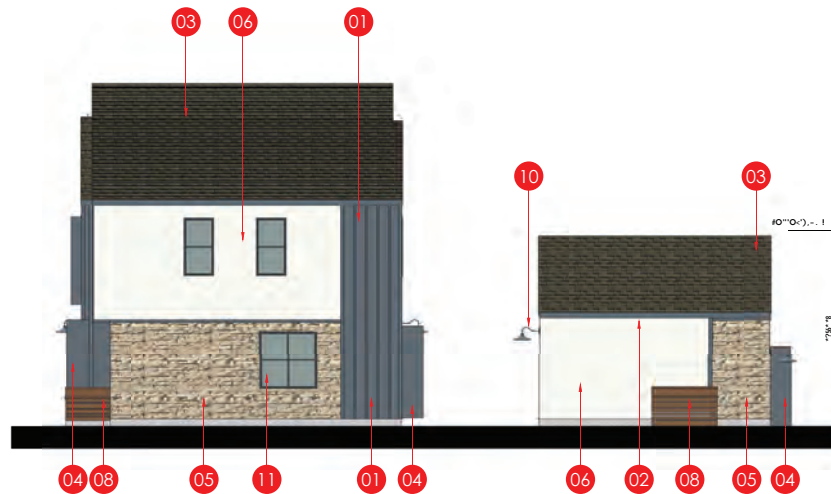
1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 3/16"=1'-0" DATE: 21 SEPTEMBER 2023



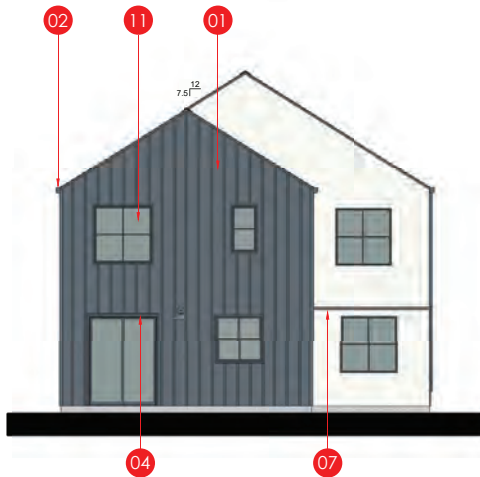
FRONT ELEVATION

SCALE: 3/16"=1'-0"



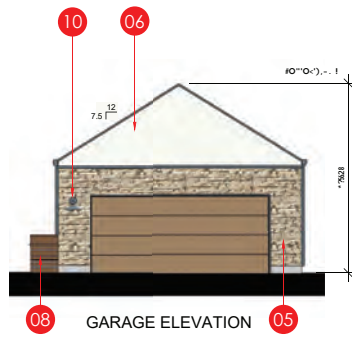
RIGHT ELEVATION

SCALE: 3/16"=1'-0"

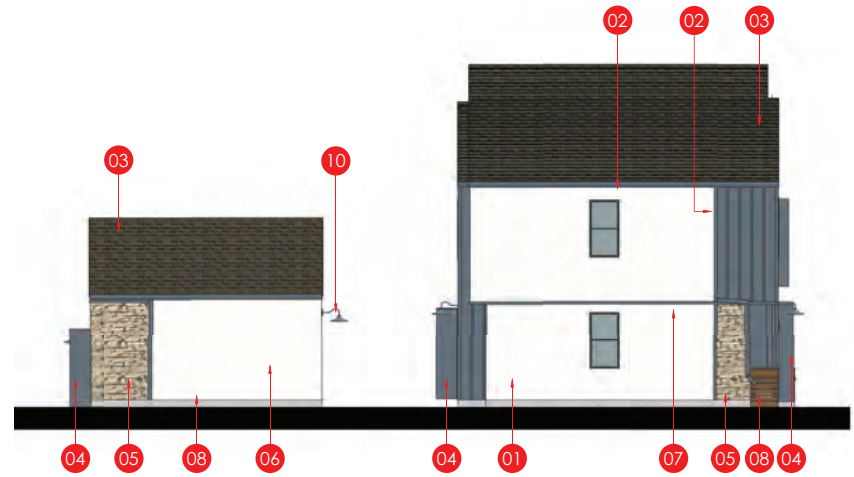


REAR ELEVATION

SCALE: 3/16"=1'-0"



GARAGE ELEVATION



LEFT ELEVATION

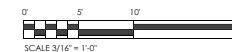
SCALE: 3/16"=1'-0"

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01	BATTEN BOARD
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

1957 PRUNERIDGE AVENUE

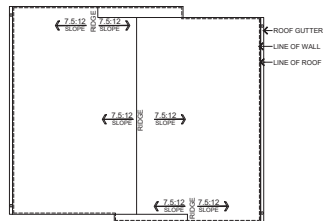
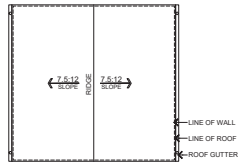
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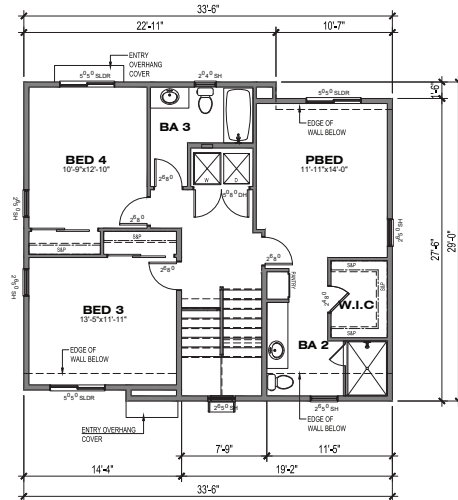
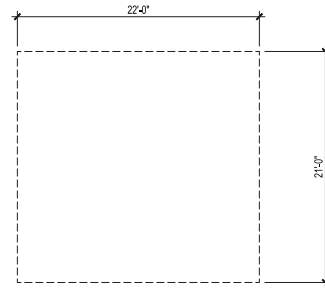


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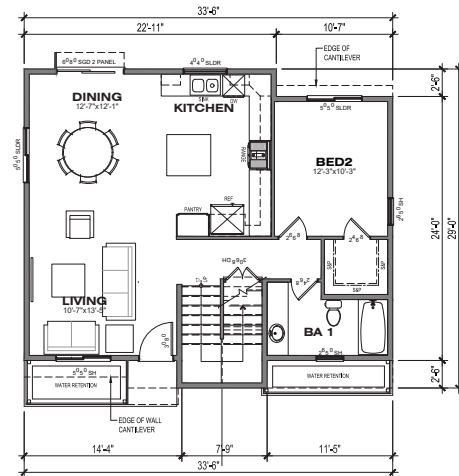
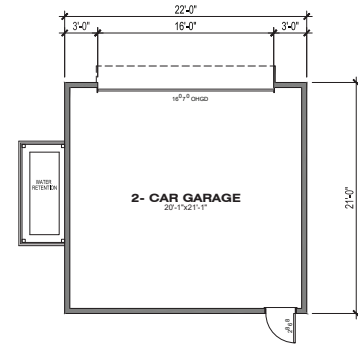
0/23045/6
 SHEET NO.:
A3.1
 OF 14 SHEETS



ROOF PLAN
SCALE: 1/8" = 1'-0"



2ND FLOOR
868.00 SF

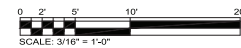


1ST FLOOR
881.81 SF

1957 PRUNERIDGE AVENUE

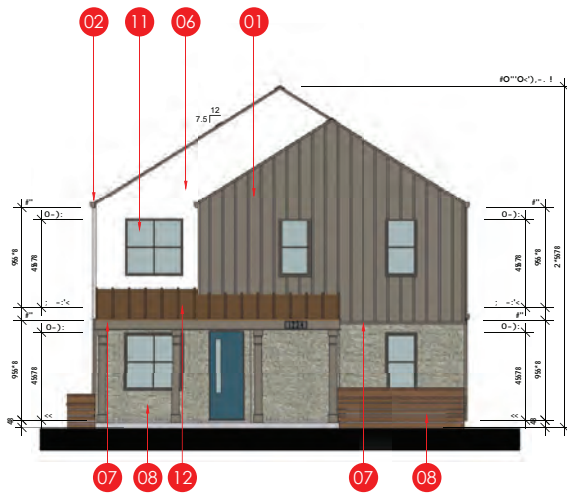
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 3/16" = 1'-0" DATE: 21 SEPTEMBER 2023

PLAN BMR
REAR NEIGHBOR SIDE
4BED/3BA
AREA: 1,749.81 SF



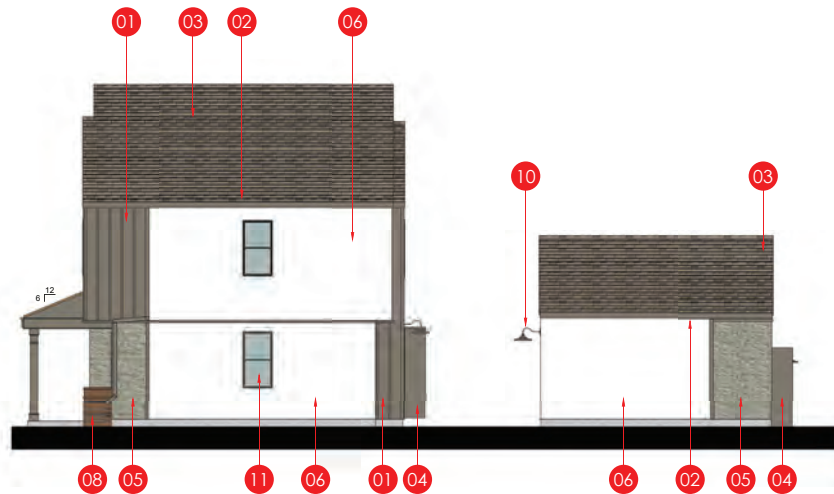
JOB NO.: 22007.00
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SHEET NO.
A3.2
OF SHEETS



FRONT ELEVATION

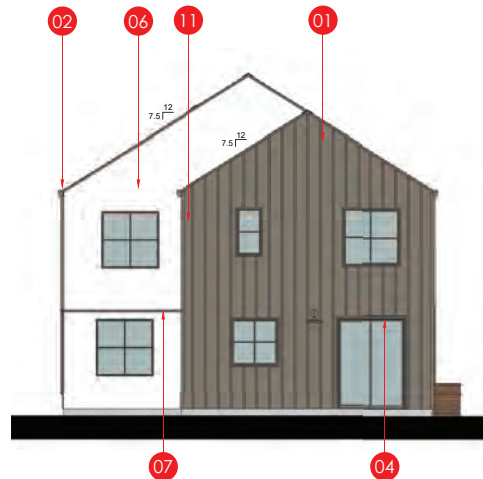
SCALE: 3/16"=1'-0"



RIGHT ELEVATION

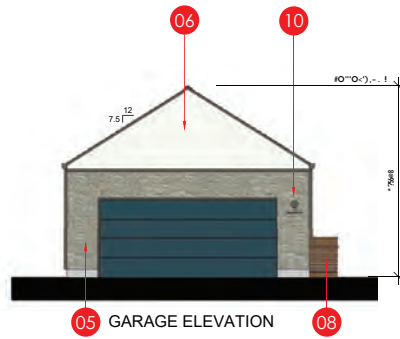
SCALE: 3/16"=1'-0"

-1> 0#1 (
01	BATTEN BOARD
02	GUTTER
03	ASPHALT SHINGLES
04	METAL EYE BROW
05	STONE VENEER
06	STUCCO
07	WOOD TRIM
08	WATER RETENTION PLANTER
09	DECORATIVE WOOD RAIL
10	DECORATIVE LIGHT
11	TYP. RECESSED WINDOW
12	STANDING SEAM ROOF

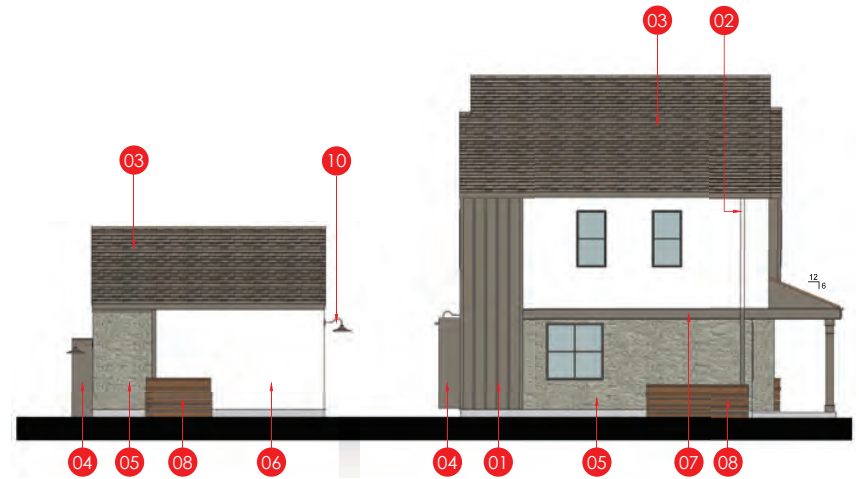


REAR ELEVATION

SCALE: 3/16"=1'-0"



GARAGE ELEVATION



LEFT ELEVATION

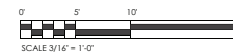
SCALE: 3/16"=1'-0"

1957 PRUNERIDGE AVENUE

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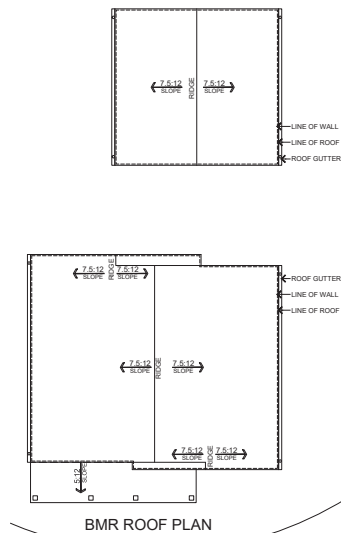
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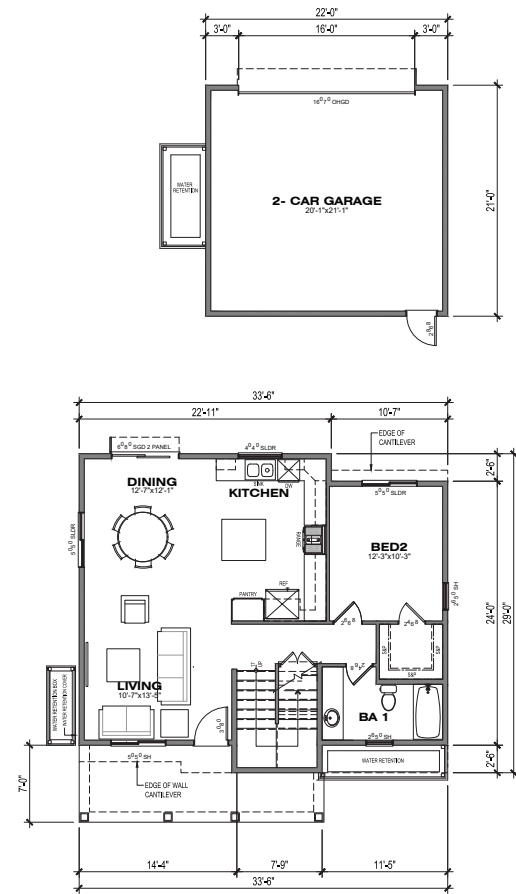
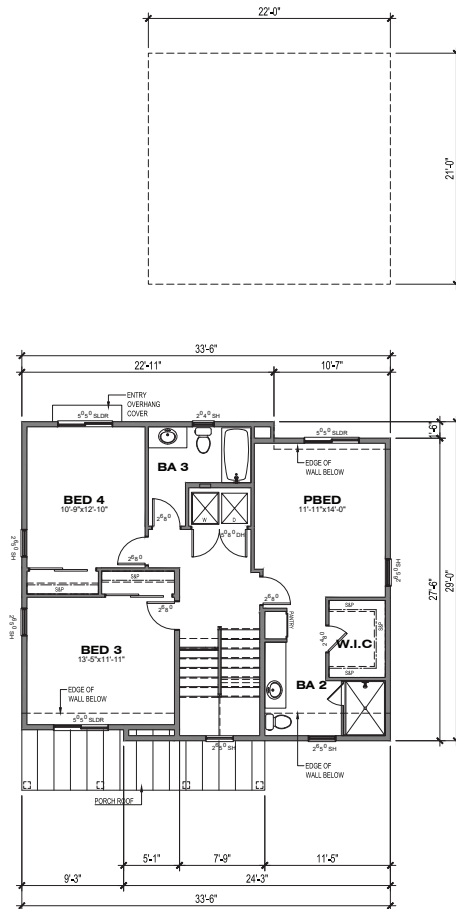


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SHEET NO.:
A3.3
OF 14 SHEETS

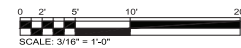


ROOF PLAN
SCALE: 1/8"=1'-0"



PLAN BMR WITH PORCH PRUNERIDGE ROAD SIDE 4BED/3BA AREA: 1,749.81 SF

1957 PRUNERIDGE AVENUE
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 3/16" = 1' 0" DATE: 21 SEPTEMBER 2023

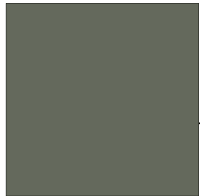


JOB NO.: 22007.00
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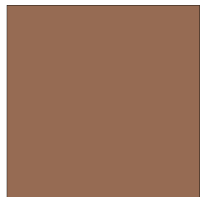
SHEET NO.
A3.4
OF SHEETS



BATTEN BOARD / SIDING /
METAL EYEBROW AWNING
SHERWIN-WILLIAMS
SW#7018
DOVE TAIL



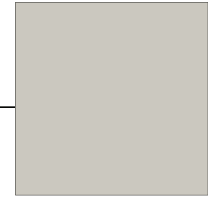
STANDING SEAM METAL ROOF
McElroy METAL
SHADES OF DESTINATION
COLOR: TERRATONE



DECORATIVE FENCING
WOOD
SHERWIN-WILLIAMS
SW#7705
WHEAT PENNY



ASPHALT SHINGLES
OWENS CORNING
COLOR/FINISH: SUMMERWOOD



STUCCO BODY
SHERWIN-WILLIAMS
SW#7015
REPOSE GRAY



BRICK VENEER
EL DORADO STONE
COLOR/FINISH: TUNDRA BRICK "CHALK DUST"



ENTRY DOOR/GARAGE DOOR
SHERWIN-WILLIAMS
SW#7019
GAUNTLET GRAY

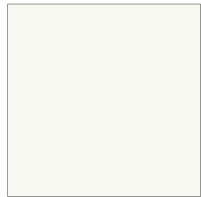


PLAN 1B WITH PORCH AS EXAMPLE

1957 PRUNERIDGE AVENUE

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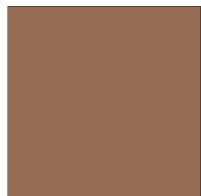
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STUCCO BODY
SW#7757
HIGH REFLECTIVE WHITE



ENTRY / GARAGE DOOR
SW#7620
SEAWORTHY



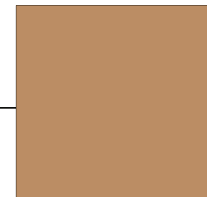
DECORATIVE FENCING
WOOD
SHERWIN-WILLIAMS
SW#7705
WHEAT PENNY



ASPHALT SHINGLES
OWENS CORNING
COLOR/FINISH: AMBER



BATTEN BOARD / SIDING /
METAL EYEBROW AWNING
SHERWIN-WILLIAMS
SW#7047
PORPOISE



STANDING SEAM METAL ROOF
McEroy METAL
ARCHITECTURAL COLORS
COLOR: COPPER PENNY METALIC



STONE VENEER
EL DORADO STONE
COLOR/FINISH: EUROPEAN LEFGE SIDEWALK



PLAN 2B WITH PORCH AS EXAMPLE

1957 PRUNERIDGE AVENUE

CL 1 "#\$%&' &'C(&)& %&' &'C(&)&'C#*' ! C&(!\$#)' !&

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BATTEN BOARD BODY / TRIM
SW#6250
GRANITE PEAK



STANDING SEAM METAL ROOF
MCELROY METAL
ASH GRAY



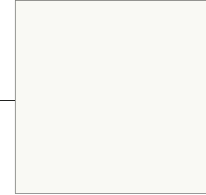
ENTRY DOOR/GARAGE DOOR
SHERWIN-WILLIAMS
SW#6108
LATTE



ASPHALT SHINGLES
OWENS CORNING
COLOR/FINISH: SIERRA GRAY



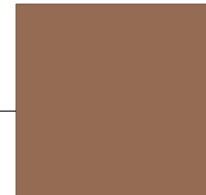
PLAN 1B WITH PORCH AS EXAMPLE



STUCCO BODY
SW#7757
HIGH REFLECTIVE WHITE



STONE VENEER
EL DORADO STONE
LEDGE CUT 33 OCEAN FLOOR



DECORATIVE FENCING
WOOD
SHERWIN-WILLIAMS
SW#7705
WHEAT PENNY

1957 PRUNERIDGE AVENUE

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9:00 AM



12:00 PM



3:00 PM

1957 PRUNERIDGE AVENUE

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9:00 AM



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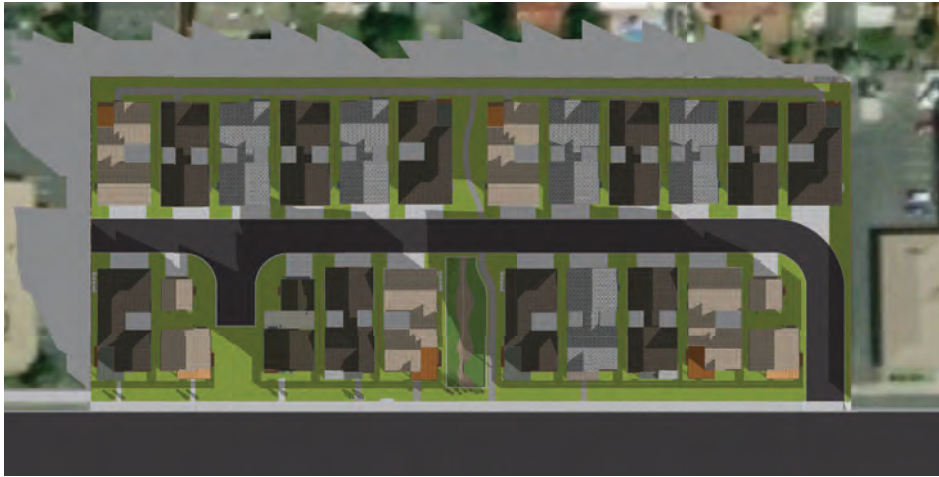


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1957 PRUNERIDGE AVENUE

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9:00 AM



12:00 PM



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1957 PRUNERIDGE AVENUE

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9:00 AM



12:00 PM

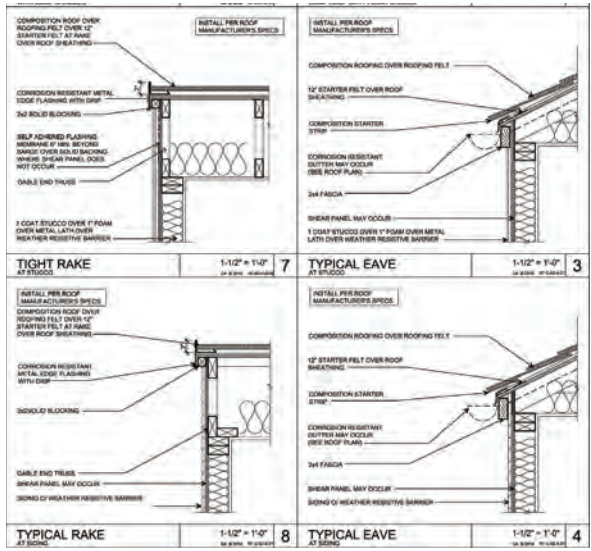
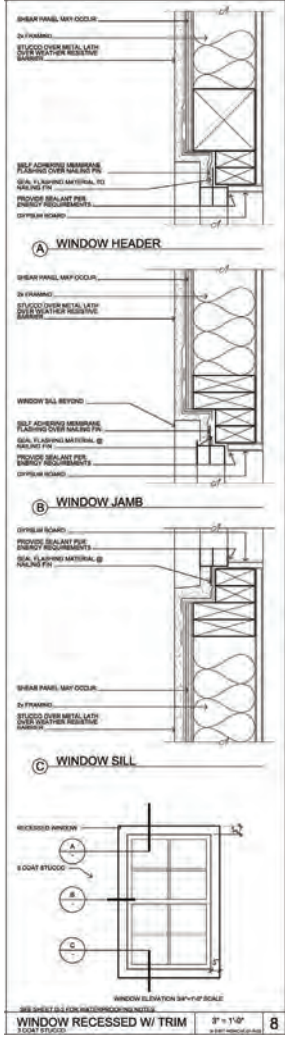


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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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1957 PRUNERIDGE AVENUE

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CO C!"#')! -!), .
AT REAR NIEGHBOR MINUS TREES AND FENCE



1957 PRUNERIDGE AVENUE

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CO C!"#')! -!), .
AT REAR NIEGHBOR MINUS TREES AND FENCE



1957 PRUNERIDGE AVENUE

City of San Jose, California

CONCEPTUAL SITE PLAN
AT REAR NEIGHBOR MINUS TREES AND FENCE



1957 PRUNERIDGE AVENUE

CL 1"#\$%&' &"C(&)& %&' &"C(&)&"C#*' ! C&(1\$#)' 1&

CO C!"#')! -!), .
AT REAR NIEGHBOR MINUS TREES AND FENCE



1957 PRUNERIDGE AVENUE

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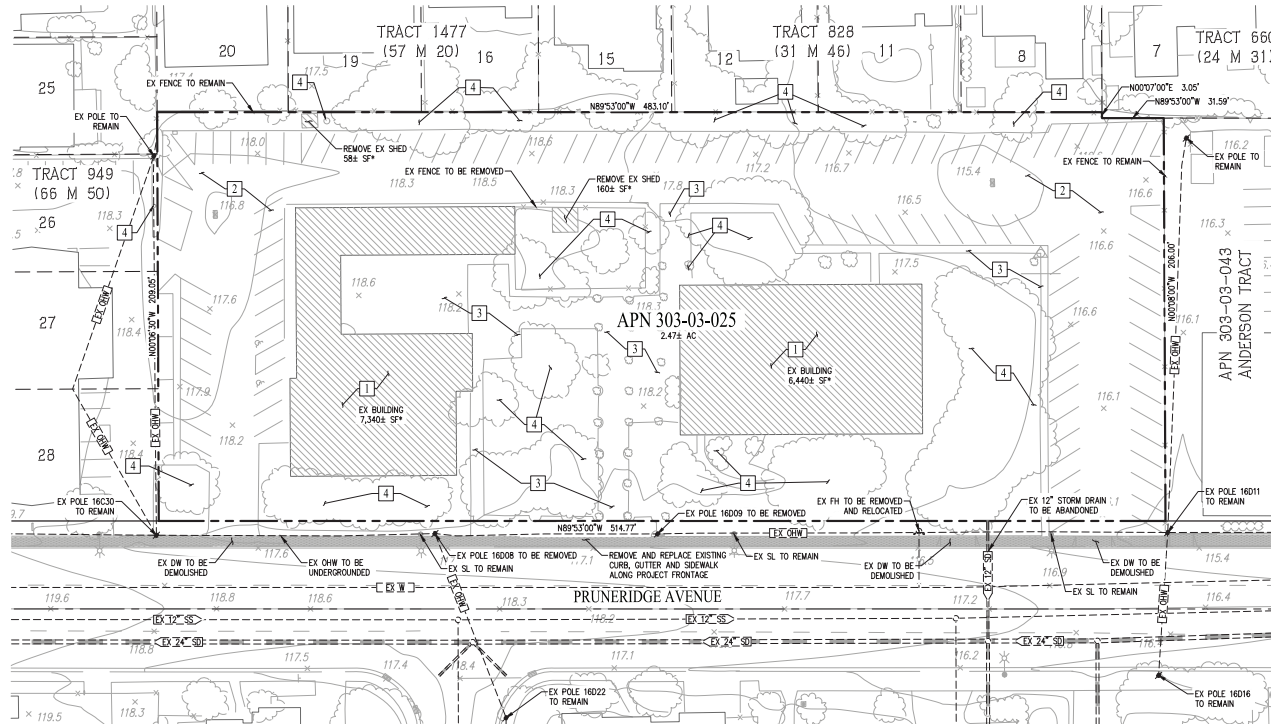
CO C!"#')! -!), .
AT REAR NIEGHBOR MINUS TREES AND FENCE

CONTACTS:

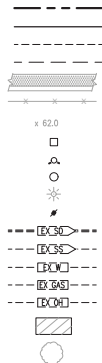
1. OWNER/DEVELOPER: SCS DEVELOPMENT COMPANY
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA 95050
(408) 985-6020
CORY KUSCH
2. ENGINEER: CARLSON, BARBER & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
(925) 866-0322
LEE ROSENBLATT, RCE 65469

GENERAL NOTES

1. ASSESSORS PARCEL NO. 303-03-025
2. SITE AREA: 2.472 ACRES
3. LOTS: RESIDENTIAL: 22 (LOTS 1-22)
PRIVATE ROADWAY CIRCULATION: 1
WATER QUALITY: 1
4. DWELLING UNITS: 22
5. SITE DENSITY: 8.9 DU/AC
6. EXISTING GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL
PROPOSED GENERAL PLAN: VERY LOW DENSITY RESIDENTIAL
7. EXISTING ZONING: PUBLIC, QUAS PUBLIC, AND PUBLIC PARK OR RECREATION (B)
PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
8. BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS VALLEY WATER BENCHMARK BM869, BEING A BRASS DISK ON TOP OF CONCRETE TRAFFIC ISLAND AT THE NORTHEAST CORNER OF SAN TOMAS EXPRESSWAY AND PRUNERIDGE AVENUE, HAVING AN NAVD88 ELEVATION OF 112.31 FEET.
9. BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE MONUMENT LINE OF PRUNERIDGE AVENUE, BEING N89°53'00"W PER TRACT NO. 334, MAP OF PRUNERIDGE MANOR (12 M 17).
10. EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN THE PROJECT BOUNDARY TO BE REMOVED.
11. EXISTING UTILITIES: EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED AS NOTED.
12. STREETS: ALL DRIVE AISLES WITHIN THE PROJECT WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED. (MINIMUM LONGITUDINAL SLOPE=0.2%)
13. TREES: STREET TREES WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS
14. STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS (OR APPROVED EQUAL).
15. FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06085C0229H
DATE: MAY 18, 2009
16. UTILITIES:
WATER(OFF-SITE): CITY OF SANTA CLARA
WATER(ON-SITE): PRIVATE
FIRE: PRIVATE
SEWER (OFF-SITE): CITY OF SAN JOSE
SEWER (ON-SITE): PRIVATE
STORM DRAIN (OFF-SITE): CITY OF SANTA CLARA
STORM DRAIN (ON-SITE): PRIVATE
ELECTRIC: SILICON VALLEY POWER
TELEPHONE: AT&T
CABLE TV: COMCAST
17. DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP



LEGEND

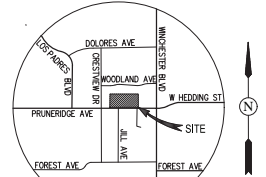


BOUNDARY
RIGHT-OF-WAY
EASEMENT
ADJACENT LOT LINE
CURBS, GUTTER & SIDEWALK
FENCE
SPOT ELEVATIONS
CATCH BASIN
FIRE HYDRANT
MANHOLE
STREET LIGHT
UTILITY POLE
STORM DRAIN
SANITARY SEWER
WATER LINE
GAS
OVERHEAD LINE
EXISTING BUILDING TO BE DEMOLISHED
TREE

DEMOLITION NOTES

- NOTE DESCRIPTION
- 1 REMOVE EXISTING BUILDING STRUCTURE AND FOUNDATION
- 2 REMOVE EXISTING ASPHALT AND PARKING LOT CURB AND GUTTER
- 3 REMOVE EXISTING CONCRETE
- 4 REMOVE EXISTING TREE AND SHRUBS

*EXISTING STRUCTURE AREAS BASED ON FIELD SURVEY DATA.



VICINITY MAP
(NOT TO SCALE)

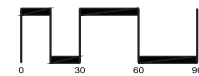
SHEET INDEX	
Sheet Number	Sheet Title
TM1	EXISTING CONDITIONS
TM2	SITE PLAN
TM3	DEVELOPMENT PLAN

ABBREVIATIONS

DW	DRIVEWAY
EX	EXISTING
FC	FACE OF CURB
JT	JOINT TRENCH
OHW	OVERHEAD WIRE
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT-OF-WAY
SD	STORM DRAIN
SL	STREET LIGHT
SS	SANITARY SEWER
SW	SIDEWALK
TYP	TYPICAL
W	WATER

VESTING TENTATIVE MAP EXISTING CONDITIONS 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=30' DATE: MAY 2023



SAN RAMON • (925) 866-0322
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SHEET NO.
TM1
OF 3 SHEETS

JOB NO: 3656

ABBREVIATIONS

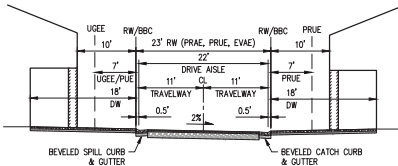
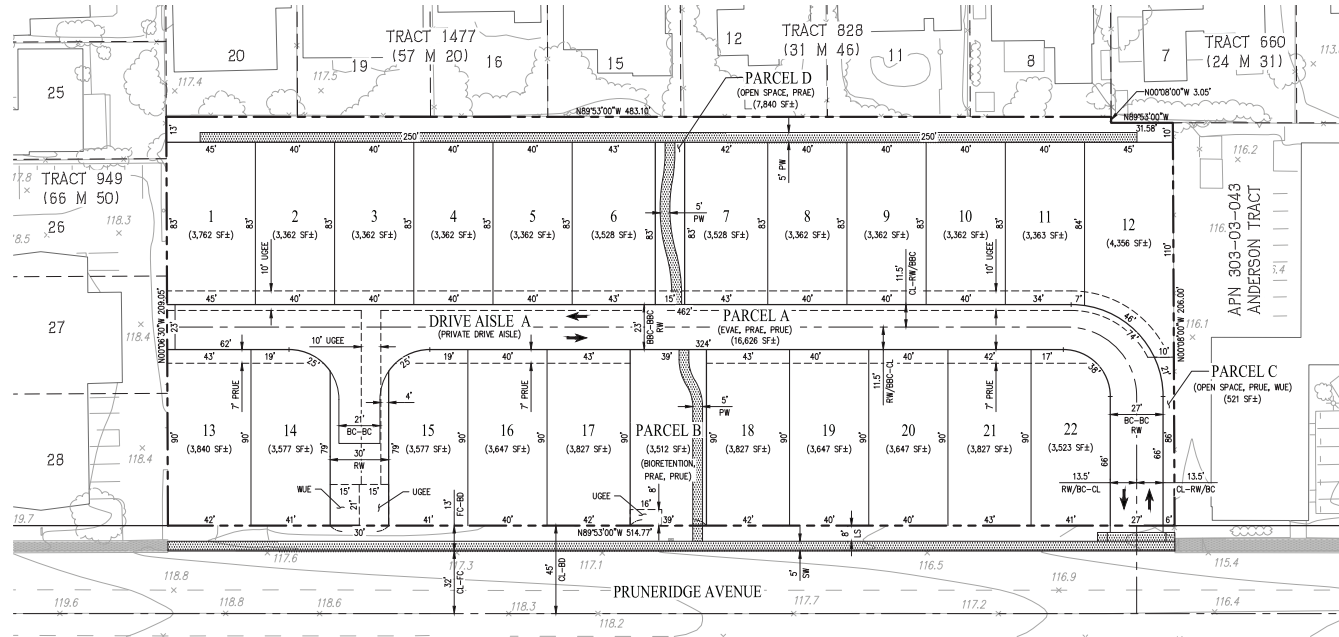
AC	ACRES
BBC	BACK OF BEVELED CURB
BC	BACK OF CURB
BD	BOUNDARY
BW	BACK OF WALK
CL	CENTERLINE
DW	DRIVEWAY
DU	DWELLING UNITS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FC	FACE OF CURB
LS	LANDSCAPE
PL	PROPERTY LINE
PRAE	PRIVATE ACCESS EASEMENT
PRUE	PRIVATE UTILITY EASEMENT
PW	PATHWAY
RW	RIGHT-OF-WAY
SW	SIDEWALK
TC	TOP OF CURB
TYP	TYPICAL
UGE	UNDERGROUND ELECTRICAL EASEMENT
WUE	WATER UTILITY EASEMENT

LEGEND

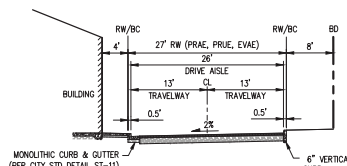
EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	CENTERLINE
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY
---	---	EASEMENT
---	---	CURB, GUTTER & SIDEWALK
→	→	DIRECTION OF TRAVEL

PARKING SUMMARY		
PARKING TYPE	RATIO	NUMBER OF SPACES
GARAGE	2.9 SPACES/DU	63 SPACES
DRIVEWAY (QUEST)	2.9 SPACES/DU	63 SPACES
TOTAL		126 SPACES

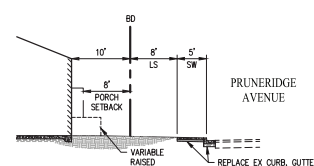
SITE DENSITY		
UNIT COUNT	SITE AREA	SITE DENSITY
RESIDENTIAL 22 UNITS	2.47 AC	8.9 DU/AC



DRIVE AISLE A
23' BBC-BBC
(NOT TO SCALE)
(PRIVATE STREET)



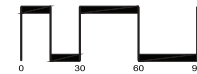
DRIVE AISLE A - ENTRY
27' BC-BC
(NOT TO SCALE)
(PRIVATE STREET)



PRUNERIDGE AVENUE
(NOT TO SCALE)

VESTING TENTATIVE MAP SITE PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=30' DATE: MAY 2023



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SHEET NO.
TM2
OF 3 SHEETS

JOB NO: 3656

11/08/2023/03/23 & 11/08/2023

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY
---	---	CURB, GUTTER & SIDEWALK
---	---	PAVEMENT
---	---	BIORETENTION
---	---	DIRECTION OF TRAVEL

UNIT MIX

PLAN	BUILDING FOOTPRINT (SF)	TOTAL	%
1	1,778	11	50%
2	1,805	8	36%
3 (BMR)	1,337	3	14%
TOTAL		22	100%

NOTE: ALL SQUARE FOOTAGES AND PRODUCT MIX IS APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL DESIGN.

SETBACK SUMMARY

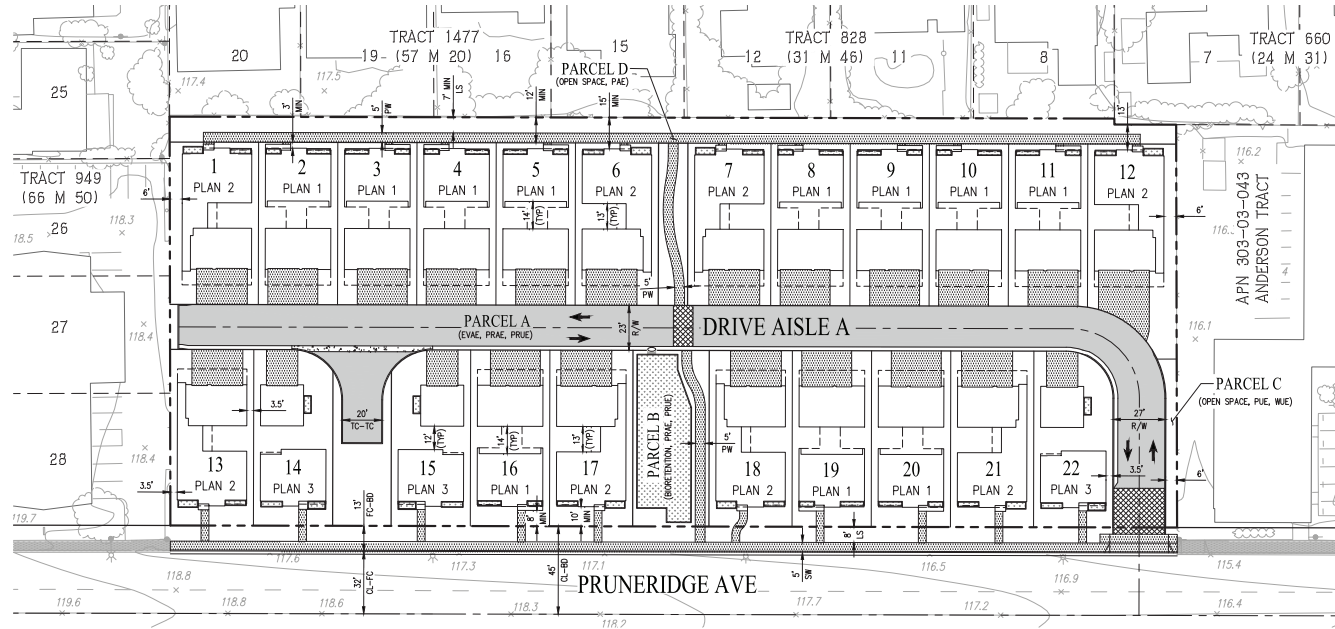
SETBACK	DIMENSION (MINIMUM)
GARAGE	18'
2ND STORY	10'
FRONT	3'
FRONT (PRUNERIDGE)	10'
PORCH	1'
PORCH (PRUNERIDGE)	8'
SIDE	3.5'

PARCEL AREA SUMMARY

PARCEL NAME	USE	PARCEL AREA (SF)
PARCEL A	ROW, EVAC, PRAE, PRUE	16,626
PARCEL B	BIORETENTION, PRAE, PRUE	3,512
PARCEL C	OPEN SPACE, PRUE, WUE	521
PARCEL D	OPEN SPACE, PRAE, PRUE	7,840

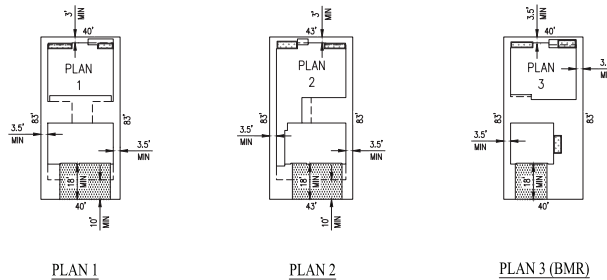
LOT COVERAGE SUMMARY

LOT NO.	PLAN	LOT SIZE (SQ FT)	GROSS BUILDING FLOOR AREA (SQ FT)	LOT COVERAGE (SQ FT)	LOT COVERAGE (%)
1	2	3,762	2,925	1,805	48%
2	1	3,362	2,616	1,778	53%
3	1	3,362	2,616	1,778	53%
4	1	3,362	2,616	1,778	53%
5	1	3,362	2,616	1,778	53%
6	2	3,528	2,925	1,805	51%
7	2	3,528	2,925	1,805	51%
8	1	3,362	2,616	1,778	53%
9	1	3,362	2,616	1,778	53%
10	1	3,362	2,616	1,778	53%
11	1	3,363	2,616	1,778	53%
12	2	4,356	2,925	1,805	41%
13	2	3,840	2,925	1,805	47%
14	3	3,577	1,750	1,337	37%
15	3	3,577	1,750	1,337	37%
16	1	3,647	2,616	1,778	49%
17	2	3,827	2,925	1,805	47%
18	2	3,827	2,925	1,805	47%
19	1	3,647	2,616	1,778	49%
20	1	3,647	2,616	1,778	49%
21	2	3,627	2,925	1,805	50%
22	3	3,523	1,750	1,337	38%



ABBREVIATIONS

BD	BOUNDARY
CL	CENTER LINE
OW	EXISTING DRIVEWAY
EX	EXISTING
FC	FACE OF CURB
LS	LANDSCAPE
MIN	MINIMUM
PL	PROPERTY LINE
PRAE	PRIVATE ACCESS EASEMENT
PRUE	PRIVATE UTILITY EASEMENT
PW	PATHWAY
RW	RIGHT-OF-WAY
SW	SIDEWALK
TYP	TYPICAL
WUE	WATER UTILITY EASEMENT



TYPICAL SETBACK DETAILS

SCALE: 1" = 20'

VESTING TENTATIVE MAP DEVELOPMENT PLAN 1957 PRUNERIDGE AVENUE

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

SCALE: 1"=30' DATE: MAY 2023



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SHEET NO.
TM3
OF 3 SHEETS

JOB NO: 3656

11/05/2023/TMP3.3 & TELLING

VESTING TENTATIVE SUBDIVISION MAP CONDITIONS OF APPROVAL

GENERAL

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- B1. Informational: Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- B2. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- B3. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page: <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.
- B4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division

shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.

- During construction retaining a single company to install all fire rated penetrations is highly recommended.
- The grade level lobbies shall be min. 1 hour rated all sides and above.
- All stair shafts shall be minimum 1 hour rated.
- All elevator shafts shall be minimum 1 hour rated.
- All trash chute shafts shall be minimum 1 hour rated.
- Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
- Any trash rooms shall be minimum 1 hour rated all sides and above.

B5. Informational: The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.

B6. Informational: Temporary Certificates of Occupancy (TCO) will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, Public Works./ Engineering, Fire Prevention, Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Department, with the Building Division being the final approval of all TCO.'s.

PLANNING DIVISION

P1. Developer shall submit to the City Covenants, Conditions and Restrictions (CC&R's) or equivalent instrument assigning and governing perpetual maintenance of the common lot/private street in good condition for the life of the Project, prior to issuance of building permits. Said document shall be recorded along with the Title for each property with the Santa Clara County Recorder's Office.

P2. The Covenant, Conditions and Restrictions for this project shall include language that precludes exclusive storage use of the garage and obstruction of parking spaces in the garage by storage, shall and requires property owners to maintain garages for parking purposes.

FIRE

F1. Prior to Building Permit Issuance, any EVAE's or fire protection equipment (including but not limited to fire service undergrounds, sprinkler piping, fire alarm equipment, fire pumps, ERRCS) that cross property lines or is not located on the parcel of the building it serves shall have a CC&R legally recorded detailing who is responsible for maintenance and repair of the EVAE or fire protection equipment.

PUBLIC WORKS ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E4. All work within City of San Jose right-of-way shall require a City of San Jose encroachment permit.
- E5. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E6. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.
- E7. Dedicate required on-site easements for any new public utilities, and/or emergency vehicle access by means of subdivision map or approved instrument at time of development.
- E8. Dedicate sidewalk easements along the project frontage where public sidewalks extend into private property. Sidewalk easements are to be 1' behind proposed back of walk where there is landscaping behind sidewalk. Sidewalk easement where hardscape is behind sidewalk is to be at back-of-walk. Cold joint is required between public sidewalk and private hardscape.
- E9. Onsite pathways shall be dedicated as private easements, as needed.
- E10. After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.

SILICON VALLEY POWER

- EL1. Remove overlapping PUE and UGEE on the north side of Drive Aisle A. It should only be a UGEE and you should install a joint trench to allow for SVP conduits and public tv/cable. In the joint trench configuration conduits need to go in at the same time, 1' apart. Reference UG1000 standard.

WATER & SEWER

- W1. Related Approvals: Applicant shall comply with all related City approvals, entitlements, permits, or requirements associated with the subject property, unless explicitly superseded or revised by the Director of Water and Sewer Utilities.
- W2. Separate Services: Applicant shall provide separate water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way services for each parcel to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Services cannot cross a different parcel than the one it serves. No parcel shall be created that requires an easement from an adjacent parcel in order to be served. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W3. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.