GREEN BUILDING NOTES WATER EFFICIENCY AND CONSERVATION PLUMBING FIXTURES (WATER CLOSETS AND URINALS) SHALL COMPLY WITH THE FOLLOWING: THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GAL/FLUSH (CGC 403.1.1) 2. THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GAL/FLUSH (CGC 403.1.2) FITTINGS (FAUCETS AND SHOWERHEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4 AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CGC 4.304

ENHANCED DURABILITY AND REDUCED MAINTENANCE
5. ANNUAR SPACES ARQUIND PIESE, ECETTRIC CABLES, CONDUITS OR OTHER OPENINGS IN
SOLE/BOTTON PLATES AT EXTEROR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH
OPENINGS WITH CLOSENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO
THE ENFORCING AGENCY PER COG 4-406.1

BUILDING MAINTENANCE AND OPERATION

5. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1

ENVIRONMENTAL QUALITY 7. ANY GAS FIREPLACES SHALL BE A DIRECT-VENT SEALED-COMBUSTIBLE TYPE.

8. ANY WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS PER CGC 4.503.1

BELLIZATE CONTROL 8. AT THE TIME OF PROJECT INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNITE, FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AND DISTRIBUTION COMPONENTS OFFENIORS SHALL BE COVERED WITH TAPE, PLASTIC, SEET HEAT, OR OTHER METHODS ACCEPTABLE TO THE DIFFORMS ABOUNT OF ASSALT, THE AMOUNT OF WARTER, DUST ON CERRING WHICH MAY DEVIT THE STITCHE PER COC 4.504.1 THE AMOUNT OF WARTER, DUST ON CERRING WHICH MAY DEVIT THE STITCHE PER COC 4.504.1 THE AMOUNT OF WARTER OFFEN OFFEN

- 10. ADHESIVE, SEALANTS AND CAULKS SHALL MEET THE VOC OR OTHER TOXIC COMPOUND LIMITS
- 11. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.
- AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT—WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.
- DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.
- CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENT PER CGC 4-504-3.
- WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE REQUIREMENTS PER CGC 4.504.4.
- 16. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS PER CGC 4-504-5.

NITERIOR MOSITURE CONTROL 17. A CAPILLARY BREAK SYLL BE INSTALLED IF A SLAB ON GRADE FOLHOLATION STOTTED IS 18. CAPILLARY BREAK SYLL BE INSTALLED IF A SLAB ON GRADE FOLHOLATION STOTTED IS 18. CAPILLARY BREAK SYLL BOOK LOCKED FOR CO. 18. CAPILLARY B

INSTALLER AND SPECIAL INSPECTOR CHALFFICATION. 19. HVAC SYSTEM HISTALLERS SHALL BE TRANED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZE TRANING OR CERTIFICATION PROGRAM PER CGG 7021.

VERIFICATION
20. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCT
DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION
REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL
SUBSTANTIAL CONFORMANCE

SCOPE OF WORK

1. ON THE FIRST FLOOR

- 1) ADD ONE NEW BEDROOM AND ONE NEW BATHROOM IN THE FRONT YARD
- 2) ADD NEW OFFICE IN THE REAR YARD.
- 3) RELOCATE KITCHEN.
- 4) REMOVE GARAGE PARTITION WALL.
- 2 ON THE SECOND FLOOR-
- 1) RECONFIGURE LAYOUT.
- 2) ADD NEW BATHROOM.
- 3. GENERAL:
- 1) RELOCATE FURNACE.
- 2) LIPGRADE EXISTING ELECTRICAL METER FROM 100AMP TO 200AMP.
- 4. FINALIZING 4/25/19 INSPECTION CORRECTION NOTICE.

SYMBOLS

DOOR SCHEDULE

INTERIOR ELEVATIONS



BLDG DATA

LOT SIZE:	7,351 S.F.	
CURRENT ZONING:	R1-6L	
CURRENT USE:	SEH. A	
(PROPOSED USE:	1955	
EXISTING PROPERTY BUILT:	SFH	
(E) BUILDING FLOOR AREA:		
(E) 1st FLOOR:	1,363 S.F.	
(E) 2ND FLOOR:	718 S.F.	
(E) GARAGE	500 S.F.	
(E) PORCH:	76 S.F.	
(E) TOTAL HABITABLE AREA:	2,081 S.F.	
(E) TOTAL BUILDING AREA:	2,581 S.F.	
PROPOSED BUILDING FLOOR AREA:		
(E) 1st FLOOR:	1,363 S.F.	
(N) 1ST NEW ADDITION:	621 S.F.	
(E) 2ND FLOOR:	718 S.F.	
(N) 2ND NEW ADDITION:	~~~39Z-S.E.∆	
(N) PORCH:	64 S.F.)	
(E) GARAGE:	500 S.F.	
(N) TOTAL HABITABLE AREA:	3,099 S.F.	
(N) TOTAL BUILDING AREA:		
(N) LOT COVERAGE =2,560/ 7,351	= 0.3483 -> 34.83%	> 40
(N) 2ND/1ST =1.115/ 1.984 = 0.56	19 -> 56.19%	
((N) OPEN LANDSCAP AREA:	3,100 S.F.	
OCCUPANCY:	~ _{R3/0} ~~	

CONSTRUCTION TYPE-

OF SANTA CLARA MUNICIPAL CODE CALIFORNIA RUILDING CODE CALIFORNIA RESIDENTIAL CODE CALIFORNIA RESIDENTIAL CODE CALIFORNIA PULMBING CODE CALIFORNIA PULMBING CODE CALIFORNIA PULMBING CODE CALIFORNIA PREC DOBE CALIFORNIA GREEN BUILDING STANDARDS CODE CALIFORNIA GREEN SUILDING STANDARDS CODE CALIFORNIA GREEN BUILDING STANDARDS CODE CALIFORNIA GREEN SUILDING STANDARD

N COMPLY WITH : CITY OF SANTA CLARA MUNICIPAL CODE



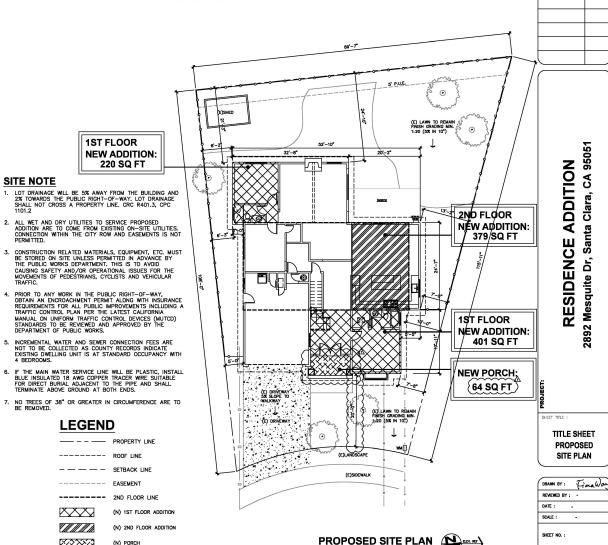
SHEET INDEX A1.1 TITLE SHEET & PROPOSED SITE PLAN

TION	A1.2	EXISTING SITE PLAN & AREA CALC.
SHOW	A2.0	DEMOLISH NOTE EXISTING 1ST FLOOR PLAN
	A2.1	NOTE EXISTING 2ND FLOOR PLAN
	A2.2	PROPOSED 1ST FLOOR PLAN
	A2.3	PROPOSED 2ND FLOOR PLAN
	A2.4	EXISTING & PROPOSED ROOF PLAN
	A3.1	EXISTING ELEVATIONS
	A3.2	PROPOSED ELEVATIONS
	A3.3	PROPOSED ELEVATIONS
	A3.4	PROPOSED SECTION
	CBCL	GREEN BUILDING CHECK LIST

XXXXX



APN: 296-31-032



DATE

RE-SUBMITTAL 🛕

06/30/25

09/26/25

Clara,

Santa

A1.1



RENDERING 1



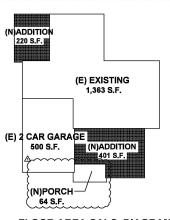
FLOOR AREA CALCULATION DIAGRAM:

LOT SIZE : 7,351 S.F.

(E) 2 CAR GARAGE

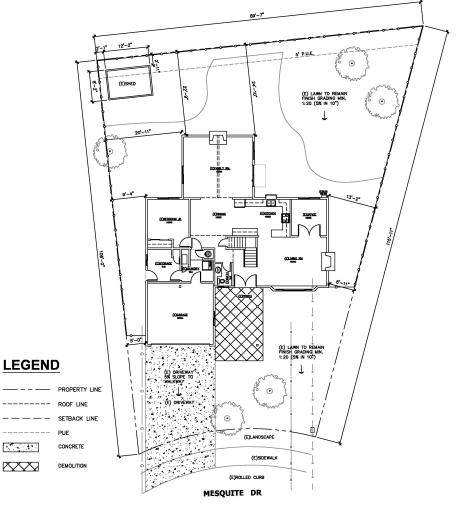
(E) 1ST EXISTING FLOOR	1,363 S.F.
(E) 2ND EXISTING FLOOR	718 S.F.
(N) 1ST ADDITION FLOOR	621 S.F.
(N) 2ND ADDITION FLOOR	397 S.F.
(N) FAR	3,099 S.F.

(E) 2 CAR GARAGE (N) FRONT PORCH	500 S.F. 64 S.F.
N) LOT COVERAGE.	2.548 S.F.



XXX

FLOOR AREA CALC. DIAGRAM SCALE: 3/32" = 1'-0"



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

DATE 06/30/25 RE-SUBMITTAL 🛕 09/28/25

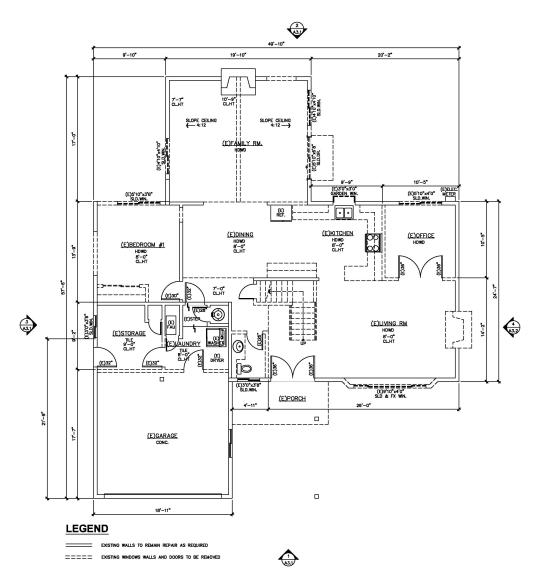
> 2892 Mesquite Dr, Santa Clara, CA 95051 RESIDENCE ADDITION

EXISTING SITE PLAN & AREA CALC

DRAWN BY: Fina Ward REMEMED BY: -DATE: -SCALE : -SHEET NO. : A1.2

DEMOLITION NOTES

- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED ON TSCG DRAWNOS OR AS OTHERWISE DIRECTED BY THE OWNER.
- 2. THE CONTRACTOR IS TO MEW AND VERIFY ACTUAL CONDITIONS AT ALL LOCATIONS WHERE ALTERATIONS TO THE EXISTING BULLIONS COCUR. WHEN WALLE, PARTITIONS, AND OTHER WORK DESTING BURDER NOW WORK IS NOIGATED, ALL SUCH EXISTING WORK SHALL BE REMOVED. VERIFY ALL SUCH COMMITTIONS AT THE STEE.
- THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
- THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
- 5. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING LANDLORD INCLUDING, BUT NOT LIMITED TO FLOOR COVERING, CELING GRID AND TILE, LIGHT FIXTURES, DOORS, WINDOWS, FRAMES, HARDWARE, CARINETRY, PLUMBING FIXTURES, ELECTRICAL AND AIR CONDITIONNE COUPLEMENT, LERGIPHERIAL ENCOLOGIES, ETC.
- THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DRO CLOTH BRRIERS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DENOLITION AND CONSTRUCTION ARE IN PROPERTY.
- 7. THE GENERAL CONTRACTION SHALL SURVEY ALL ENSING INSHED SHALL SH
- THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN THE EXISTING SURFACE SHALL BE CUT AND PATCHED.
- 9. ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWNIGS SHALL BE PATCHED AS REQUIRED TO MATCH MUREDIATE EXISTING ADJACENT AREAS IN MATERIAL, FIRE—RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.
- ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED.
- IN ALL AREAS WHERE DEMOLITION (REMOVAL OF TILE, PARTITIONS, ETC. CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO DEPCINE HOW ENVIOLED CORDINAL
- ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES, CONDUIT, AND METAL.
 MOLDING NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OF DISPOSED OF BY THE GENERAL CONTRACTOR AS INSTRUCTED BY THE
- 13. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY
- 14. THE GENERAL CONTRACTOR SHALL CAP OFF BEHIND FINISHED SURFACES ALL PROJECT PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS THAT ARE BEING ABANDONED.
- 15. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING OR EQUIPMENT. VERIFY WITH TENANT RELISE OF EXISTING CABLING PRIOR TO REMOVAL.
- 16. ALL "EXISTING TO REMAIN", "EXISTING", "RELOCATED", OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION, SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF TSGSI PRIOR TO BEING TURKED OWER TO THE OWNER.
- REFER TO ENGINEERING DRAWINGS FOR REMOVAL AND/OR RELOCATION IF REQUIRED OF HAVOC DUCTS, DIFFUSERS, SPRINKLER HEADS, EXIT LIGHTS, ETC.
- 18. SOME DOORS AND FRAMES TO BE REMOVED SHALL BE RETURNED TO OWNER. HANDLE CAREFULLY AND STORE ON SITE





> RESIDENCE ADDITION 2892 Mesquite Dr, Santa Clara, CA 95051

PROJECT.

DEMOLISH NOTES

DRAWN BY: Frame War

A2.0

SHEETS

NOTES TO WINDOW AND DOOR

- EMERGENCY EGRESS WINDOWS
 2022 CRC SECTION R310-EMERGENCY ESCAPE AND RESCUE OPENINGS
 A. PROVIDE AT LEAST ONE WINDOW IN EACH SLEEPING ROOM, BASEMENT, AND
- HABITABLE ATTIC. B. R310.2.1 MINMUM OPENING AREA. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. (EXCEPTION: GRADE-FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR
- CONTINUE OF SOUTH OF STRINGS SHALL HAVE A SIMILARIAN RESIDENCE OF SOUTH OF
- NOISES.

 D. RINGLI OPPRATIONAL CONSTRAINTS, BLERGRING' ESCAPE, AND RESCUE
 FOR ALLOWED BY THE SECTION AND SHAN LISE OPPRATIONAL FROM THE SINGLE
 OFFICE ALLOWED BY THIS SECTION AND SHAN LISE OPPRATIONAL FIRST IN THE SINGLE
 OFFICE OFFI THE SECTION AND SHAN LISE OPPRATIONAL FIRST IN THE SINGLE
 OF THE GOOD WINDOW THE LISE OF THES, TOLDS OR SECOLA KNOWEDOES
 E. RISTOLZ 22 WINDOW SILL REGIFT: WERER A WINDOW IS PROVIDED AS THE
 E. RISTOLZ WINDOW SILL REGIFT: WERER A WINDOW SILL REGIFT IN THE FLOOR
 WERER THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDE WITH A WINDOW
 WELL NA CORPORATION WITH SEC RISTOLD THE
- 2. FALL PROTECTION (CBC 1015.1 AND CRC R312.2)
 WERE THE WINDOW OFDINING (MEASURED AT THE WINDOW SILL) IS LOCATED
 WERE STREET OF THE STREET OF
- 2022 CRC SECTION R308 SAFETY OR TEMPERED GLASS WILL BE REQUIRED FOR THE FOLLOWING LOCATIONS AND OTHER HAZARDOUS LOCATIONS REQUIRED BY CRC SECTION 308: A CAZROW WITHIN 24" OF A DOOR AND WHERE BOTTON EDGE IS LESS THAN 80" FROM 1,000 OR WHERE THE GAZINO ON A WALLING SHIFFACE OR WHERE THE GAZINO ON A WALLING SHIFFACE DOOR IN A CUSSED DOTSTOM AND WITHIN 24 MONES OF THE FINE STATE.

 B. WHERE THE GAZINO IS LESS THAN 30" ABOVE THE FINANC OF THE ADACENT WALLING SHIFFACE ON WHITHIN 30" ABOVE THE FINANC OF THE ADACENT SHIFFACE OF THE ADACENT WALLING SHIFFACE ON WHITHIN 30" ABOVE THE FINANCE OF THE ADACENT SHIFFACE OF THE ADACENT WALLING SHIFFACE THE WALLING SHIFFACE OF THE ADACENT WALLING SHIFFACE THE WALLING SHIFFACE OF THE ADACENT WALLING SHIFFACE OF THE WALLING SHIFFACE OF
- 4. TEMPERED GLZING LASEL (2022 GGS SEC. 2408)
 WERE REQUIRED, TUMPERED GLZING (CROSPIT TUMPERED SPANDEL GLASS)
 SPERMANDITY APPHED NO. LANNOT BE REMOVED WITHOUT EINEN DESTROYED
 (E.G. SAND BLASTED, ACID ETCHED, CERAMIC FREE, LASER ETCHED, OR
 EMBOSSED). STOCKERS ATTACHED TO THE WINDOW ARE NOT SUFFICIENT.
- 2022 CRC SECTION R303 ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH SOCIAIN AREA OF NOT LESS THAN THE FOLICATION OF THE TOWN AREA OF NOT LESS THAN THE STATE OF THE TOWN HOW NATURAL LIGHT SHALL GOT THE EXCEPTIONS OF (2022 CRC, SEC. R303.1) OR SHOW THAT HAR TOTALEN MEETS ONE OF THE EXCEPTIONS OF (2022 CRC, SEC. R303.1) OR SHOW THAT HAT NATURAL LIGHT SHALL BE PROVIDED FROM AN ADDINING ROOM IN ACCORDANCE. (2022 CRC, SEC.
- PLEASE SEE TITLE 24 ENERGY REPORT CF-1R FORMS FOR REAL U VALUES OF WINDOWS OR DOORS.

NOTES TO BUILDING

- BRACED WALL PANELS SHALL BEGIN NO MORE THAN 8 FEET (2440 MM) FROM EACH END OF A BRACED WALL LINE AND SHALL BE SPACED A MAXIMUM OF 25 FEET (7820 MM) ON CENTER. (2022 ORC R602.12.5)
- IN III-3 AND U OCCUPANCIES, NO OPENINGS APE ALLOWED IN WALLS 3 FEET ON LOSERT IN PROPERTY LINE, OPENINGS IN MALLS RETIRED 3 FEET AND UP TO 5 FEET FROM PROPERTY LINE CAME BE UP TO 25 % OF WALL AREA, ALL WALLS LESS HAM 5 FEET FROM THE PROPERTY LINE MUST BE FREE RESISTING CONSTRUCTION, THAN 5 FEET FROM THE PROPERTY LINE, AND THE ATEN AND THE AT
- PROVIDE 2X6 @ ALL PLUMBING WALL LOAD BEARING WALL AS INDICATED ON STRUCTURE DWG.
- PLATE WASHERS, A MINIMUM OF 0.229 INCH BY 3 INCHES BY 3 INCHES (5.6 MM BY 76 MM BY 76 MM) IN SIZE, SHALL BE PROVIDED BETWEEN THE FOUNDATION SILL PLATE AND THE NUT EXCEPT WHERE APPROVED ANCHOR STRAPS ARE USED. (2022 CRC R602.11.1)
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEMER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT GREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WHATER AWAY FROM TOUNOATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES (152 MM) WITHIN THE FIRST TO FEET GOMEMA). (2022 CICK PADI-3.)
- 6. DUCT PENETRATION, DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CELINGS SEPARATING THE OWELLING FROM GARAGE SHALL BE CONSTRUCTED OF A MIN. NO. 28 GAGE SHEET STEEL OR OTHER PROVED MATERIALS AND SHALL NOT HAVE OPENINGS INTO THE GARAGE. (2022 CRC SEC. R302.5.2)
- MIN. ROOM AREA: HABITABLE ROOMS, EXCEPT KITCHENS, SHALL HAVE A MIN. OF 70 SQUARE FEET OF FLOOR AREA. MIN. DIMENSION: HABITABLE ROOMS SHALL BE NOT LESS THAN 7 FT IN ANY DIMENSION (2022 CRC SEC. R304)
- PROVIDE CORRECT TYPE GLAZING FOR ALL GLAZING LOCATED IN HAZARDOUS LOCATIONS AS SPECIFIED IN. (2022 CRC SEC. R308.4.)
- BATHTUBS AND SHOWERS IN ALL OCCUPANCIES SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF 6-FEET ABOVE THE FLOOR. (2022 CRC SEC. R307.)
- PROVIDE AN APPROVED ATTIC ACCESS 22"X30" WITH 30 INCHES MINIMUM VERTICAL HEADROOM. (2022 CRC SEC. R807.1)
- ENCLOSED ACCESSIBLE SPACE NUDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACES, AND ANY SOFFITS PROTECTED ON THE ENCLOSE SIDE WITH 1/2 INCH GYPSUM BOARD. (2022 CRC SEC. R302.7)
- PROVIDE ATTIC VENTILATION AS PER (2022 CRC SEC. R806 AND THE CALIFORNIA ENERGY STANDARDS COMMISSION.)
- FACTORY BUILT FIREPLACES AND FACTORY BUILT CHIMNEYS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE ITEMS OF THEIR LISTING AND THE MANUFACTURER'S INSTRUCTIONS AS PER (2022 ORC SEC. RIO4 AND RIO05.)
- PROVIDE UNDER FLOOR CLEARANCES AS PER 2013 CRC SECTION R317. A MINIMUM OF 12" CLEARANCE TO UNDER FLOOR GROBERS AND 18" CLEARANCE TO FLOOR ROSTS IS REQUIRED UNIVESS PRESERVATIVE—THEATED WOOD OR WOOD NATURALLY DUKABLE TO DECAY IS UTILIZED. A MINIMUM 18—INCH BY 24—INCH ACCESS OPENING SHALL BE PROVIDED TO THE CRAME, SPACE, (2022 CRC SEC: R408.4.)
- FIRE BLOCKING AND DRAFT STOPPING SHALL BE INSTALLED ACCORDING. (2022 CRC SEC. R302.11.)
- ALL GYPSUM BOARD, STUCCO, PLASTER, AND LATH SHALL BE INSTALLED. (2022 CRC CHAPTER 7.)
- 17. EXTERIOR WALL COVERINGS SHALL BE APPLIED. (2022 CRC SEC. R703.)
- ALL CHINNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER. (2022 CRC R1003,9.2)
- FIXTURES SHALL BE SPACED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE. (2022 CRC R307.1)

20. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEMER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARO. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AMAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3046 MM). (2022 CRC RAVIL.5)

NOTES TO BATHROOM

TIAB/PROMER EGUIRGHENTS
FOLLOWING IS A LISTING OF THE CENERAL REQUIREMENTS BASED ON THE 2022
CALFORNIA BULDING CODE, 2022 CALFORNIA RESDENTIAL CODE, 2016 CALFORNIA
ELECTRICAL CODE, 2022 CALFORNIA GEEN BULDING STANDAROS
SI STANDAROS
SI STANDAROS
SI PROMER CONTROL STANDAROS
SI NITRIDES TO PROMDE CENERAL INFORMATION, CONTROL THE BULDING SAFETY
DISSON FOR ANY QUESTIONS OR ADDITIONAL REPORTATION.

- THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120'F, THE WATER-FILLER VALVE IN BATHTUBS/MHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120°F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. (2022 OPC 408.3, 409.4)
- NEW OR RECONFIGURED SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (2022 CPC 408.5, 408.6)
- SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE THE FLOOR. (2022 CBC 1210 AND CRC R307.2)
- HYDRO-MASSAGE TUBS (I.E. JACUZZI TUBS) SHALL HAVE ACCESS TO THE MOTOR, BE SUPPLIED BY A GFG PROTECTED DEDICATED CRECUIT, AND BE LISTED BY A FIRECOCONIZED TERMS ACREY (I.E. U.), ALL META, CAGES, FITMES, PHINE, OR CHITER META, SUPPLACES, WITHIN 5 FEOTO PER FITMES, PHINE, OR CHITER META, SUPPLACES, WITHIN 5 FEOTO PER FORCE OF THE PROPERTY BOYCED, PHYDRO-MASSAGE TUBS SHALL BE BONDED WITH A MINIMAL JE ANGE BASE COPPER WARE AND THE BONDING SHALL BE ACCESSIBLE. (2022 CEC 880.70)
- LOPPER WHE AND ITS EMMINION SHALL BE ACCESSIBLE, (2022 EC 980.07). WILL THE OR SOULD SURFACE MATERIAL IN THE AND SHOWER BACKDOINES SHALL BE ETHER SHALL BE AND SHOWER BACKDOINES SHALL BE ETHER SHALL BE AND SHOWER BACKDOINES SHALL BE ETHER SHALL BE AND S BUILDING PAPER AND WISE LAH. IILE SHALL BE ATTACHED TO THE WIRE LATH. (2022 GOR 2509 AND ORE RYDOZE) SHOWER FLOORS SHALL BE LINED WITH AN APPROVED LINNO (I.E. HOT MOP), ON-SITE BUILT WATERFICHT PAPER AND THE SHALL SHAWER LINNO SHALL BE SKIND A MINIMUM OF 3 NICHES VERTICALLY UP THE WALL AND SHALL BE SKIPED X*PER FOOT TO WEEP HOLES (2022 CYC 408.7)
- SCHED N'ER FOOT TO MEET HOLES (2022 CPG 408.7)

 WHEN A CURB IS PROMED AT A SHOREN IT SHALL BE A MINIAL OF 1 INCH
 HOLE A CURB IS PROMED AT A SHOREN IT SHALL BE A MINIAL OF 1 INCH
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 HOLE A CURB IS NOT THE SHALL BE UNFORMEY SHALL BE UNFORMEY SHALL BE UNFORMED TO SHALL BE UN SHOWER FLOORS (PREVIOUS BULLET) AND ALL LIGHTING FIXTURES SHALL BE APPROVED FOR WET LOCATIONS.
- WATER CLOSET REQUIREMENTS

 1. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES NO CENTER) AND 24 INCHES IN FRONT, (2022 CPC 402.5)

 2. WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLORE, THE JOHN TALL BE CALLINED AND SEALED TO
- BE WATERTIGHT. (2022 CPC 402.2)
- TEMPERED GLAZING (2022 CBC 2408.4, 2403.1 AND ORC 308.1, R308.4)
 TEMPERED GLAZING SHALL BE INSTALLED IN THE LOCATIONS LISTED BELOW. TEMPERED
 GLAZING SHALL BE PERMANENTLY DENTIFIED BY A MANUFACTURER MARGING THA'
 IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYEE
 (CG. SANG BASTED, AGD ETOPED, CETAMIC FIRED, LASRE ETOPLED, OR
- WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.
- WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- 3. GLAZING ON THE HINGE-SIDE OF AN IN-SWINGING DOOR THAT IS INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF

GREEN BUILDING

WATER EFFICIENCY AND CONSERVATION.
PLUMBING FIXTURES (WATER CLOSETS AND URINALS) SHALL COMPLY WITH THE
FOLLOWING.

- THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GAL/FLUSH (CGC 403.1.1)
- THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GAL/FLUSH (CGC 403.1.2)
- 3. FITTINGS (FAUCETS AND SHOWERHEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC
- AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CGC 4.304
- BRANCES DUBABILITY AND REDUCED MANITEMENCS.
 5. ANNULAS PACES RACINO PRES. ELECTRIC CABLES, CONDUITS OR OTHER PROPERS BY CLOSING SUCH OPENS. SET EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENIORS WITH CEMENT MORTAC, CONCRETE MASONRY, OR SMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER COC 4-406.
- BUILDING MAINTENANCE AND OPERATION

 6. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1
- $\begin{array}{ll} \underline{\text{ENVIRONMENTAL QUALITY}} \\ \textbf{7. } \underline{\text{ANY}} \underline{\text{GAS FIREPLACES SHALL BE A DIRECT-VENT SEALED-COMBUSTIBLE}} \end{array}$
- 8. ANY WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS PER CGC 4.503.1
- POLITARI CONTROL

 9. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE
 CONTROL OF ROUGH INSTALLATION, DURING STORAGE ON THE
 CONTROL OF ROUGH INSTALLATION, STORAGE OF THE EASTED AR
 DISTRIBUTION COMPONITS OPENINGS SHALL BE COVERED WITH TAPE,
 PLASTIC, SHET IMETALS, OR DIERRE METHODS ACCOPTABLE TO THE
 ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS,
 WHICH MAY TEXT THE STISTED HET COC 4.50-ALT.
- ADHESIVE, SEALANTS AND CAULKS SHALL MEET THE VOC OR OTHER TOXIC COMPOUND LIMITS PER CGC 4.504.2.1.

LANDINGS

4'-11"

(E)M. BEDROOM #4

HDWD 8'-0" CL.HT

12'-5"

(E) ROOF

(E)32"

- BOLLITAL CONTROL

 5. AT RET BILE OF ROUGH INSTALLATION, DURING STORAGE ON THE
 CONSTRUCTION STE AND UNTIL ENAL STARTUP OF THE HEATING, COOLING
 AND VENITLAND EQUIPMENT, ALL DUST AND OTHER RELATED ARE
 DISTRIBUTION COMPONENTS OFENINGS SHALL BE COVERED WITH TAPE,
 PLASTIC, SELET HETALS, OR OTHER MEMODS ASCEPTABLE TO THE
 ENFORMO ASENCY TO ROUGE THE AMOUNT OF WATER, DUST OF DEBRIS,
 WHICH HAST FUTER THE STISTED HER COC 4.50-AL.
- ADHESIVE, SEALANTS AND CAULKS SHALL MEET THE VOC OR OTHER TOXIC COMPOUND LIMITS PER CGC 4.504.2.1.
- 11. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2. 2. 12. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.
- DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC DIVISION, T 4.504.2.4.
- CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENT PER CGC 4.504.3.
- 15. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE REQUIREMENTS PER CGC 4.504.4.
- HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS FER CGC 4504.5.

NDOOR AIR QUALITY AND EXHAUST
18. DEFAULTS FANS, SHICH AIR DEERCY STAR COMPILANT AND SE DUCTED TO
18. DEFAULTS FANS, SHICH AIR DEERCY STAR COMPILANT AND SE DUCTED TO
18. DEC. ACC. ACC. DEERCO SERVICE AND AIR CONTROL AND AIR CONTROL
STSTEM SHALL SE SIZED, DESIGNED AND HAIR THERE ROUPENIT SELECTED
USING THE FOLLOWING BETHOOS. HEAT LOSS,FART AON VALUES IN
ACCORDANCE WITH MIS/ACCA 2 MANUAL 3—2004 OR EQUIVALENT; DUCT
STSTEMS AIR SZEZD ACCORDING TO ANS/ACCA 1, MANUAL 3—2009 OR
EQUIVALENT, SELECT HEATING AIR CONCERNMENT IN ACCORDANCE
WITH ANS/ACCA 3, MANUAL 3—2004 OR EQUIVALENT, DUCT
WITH ANS/ACCA 3, MANUAL 3—2004 OR EQUIVALENT.

NOTES TO THRESHOLDS &

- THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF FACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES. MEASURED IN THE DIRECTION OF TRAVEL (2022 CRC R311.3)
- LANDING OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1-2 INCH LOWER THAN TOP OF THE THRESHOLD. (2016 CRC R311.3.1) DOORS OTHER THAN REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDING OR FLOORS NOT MORE THAN 7 4 INCHES BELOW THE TOP OF THE THRESHOLD, (2022 CRC R311.3.2)
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75 INCHES IN HEIGHT THEESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75 INCHES IN HEIGHT THE FINSHED FLORO OR LANDING FOR SLUDNIN DOORS SERVING DWELLING UNITS OF THE PROPERTY OF THE P
- LANDINGS AT DOORS. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STARRWAY, OR THE DOOR, MUCHEVER IS GREATER, DOORS IN CONTROL OF THE STARRWAY, OR THE DOOR, MUCHEVER IS GREATER, DOORS IN CONTROL OF THAN THE ORDER OF THAN THE LANDING OF THAN THE LANDING THAN THE LANDING THE LANDING THE LANDING THE LANDING THE CONTROL THE DIRECTION OF TRAVEL OF NOT LESS THAN AN HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN AN HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN AN

30'-5"

AND THE A

30'-6"

(E)BEDROOM #3 HDWD B'-0" CL.HT

5'-4"

 \circ

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Ω.

13'-4"

(E)BEDROOM #2

(E)ATTIC ACCESS, 2ND FLR. ATTIC

3'-9"

п

LEGEND





SHEET TITLE

ф

NOTES **EXISTING 2N** FLOOR PLAN

DRAWN BY: Time War

REMEWED BY: -DATE : SCALE : A2.1

OF SHEETS

EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FXISTING WALLS TO REMAIN REPAIR AS REQUIRED

===== EXISTING WINDOWS WALLS AND DOORS TO BE REMO

- (E)ATTIC ACCESS, TO 1ST FLR. ATTIC (E) ROOF

(E)ARTTIC

WALL LEGEND EXISTING CONSTRUCTION TO REMAIN (N) FURRED WALL / COLUMN.

NEW WOOD FRAMING WALL OUT OF 2X4 WOOD STUDS @ 16" O.C. AND IN THE EXTERIOR STUCCO 7/8" MIN. STUCCO 0/ METAL LATH 0/ TWO LAYERS OF GRADE 'D' BLDG. PAPER 0/ PLYWOOD.

NEW 2X4 WOOD STUDS @ 18" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES

NEW 2X4 WOOD STUDS © 16" O.C. W/ 1/2" THK, GYP. BD. ON THE BOTH SIDES USE WONDER BD. OR DUROCK AS BACKING MATERIAL AND WATER PROOFED MATERIAL.

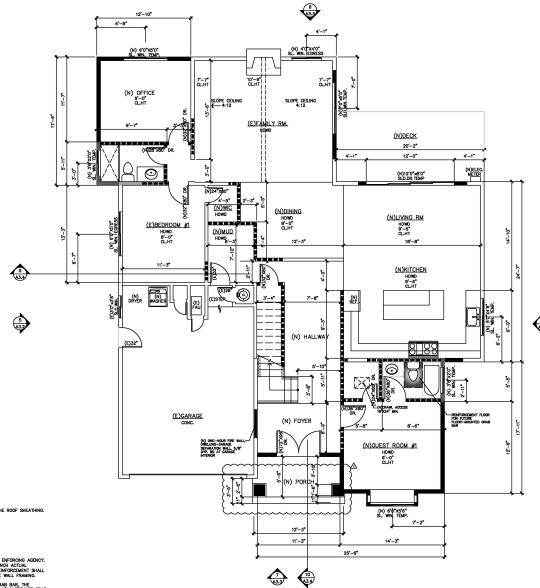
SAFETY GLAZING WINDOW/TEMPERED GLASS $[\times]$ CRAWL ACCESS 18"X24" MIN. (2022 CRC SEC. R408.4)

ATTIC ACCESS 22"X30" MIN. (2022 CRC SEC. R807.1) ATTIC ACCESS 38"X38" MIN. WHEN FURNACE AT ATTIC. A HEAD ROOM CLEAR HEIGHT IN A ATTIC AT LEAST 30" AT THE ATTIC ACCESS"

EXTERIOR STAIR STEPS, MAX 7-3/4" RISE

SKYLIGHT 2'-0" X 4'-0"

S.G.



ONE-HOUR RATED WALL NOTE:

ONE-HOUR RATED WALL ASSEMBLY SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING.

AGING-IN-PLACE REINFORCEMENT BATHROOM FLOOR AND WALLS INSTALLATION:

- 1. REMFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

 2. REMFORCEMENT SHALL BE STATE 2 BY 8 NOH NOMINAL LUMBER, [11/2] MICH BY 71/4 INCH ACTUAL BY 71/4 INCH A



	_
REVISIONS	DATE
SUBMITTAL	06/30/25
RE-SUBMITTAL A	09/26/25

Clara, CA 95051 **ADDITION** 2892 Mesquite Dr, Santa RESIDENCE

SHEET TITLE :

PROPOSED 1ST FLOOR PLAN

DRAWN BY: Time War REVIEWED BY: -DATE : SCALE :

A2.2

SHEETS

WALL LEGEND

EXISTING CONSTRUCTION TO REMAIN (N) FURRED WALL / COLUMN.

NEW WOOD FRAMING WALL OUT OF 2X4 WOOD STUDS @ 16" O.C. AND IN THE EXTERIOR STUCCO 7/8" MIN. STUCCO 0/ METAL LATH 0/ TWO LAYERS OF GRADE 'D' BLUG. PAPER 0/ PLYWOOD.

NEW 2X4 WOOD STUDS ● 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES

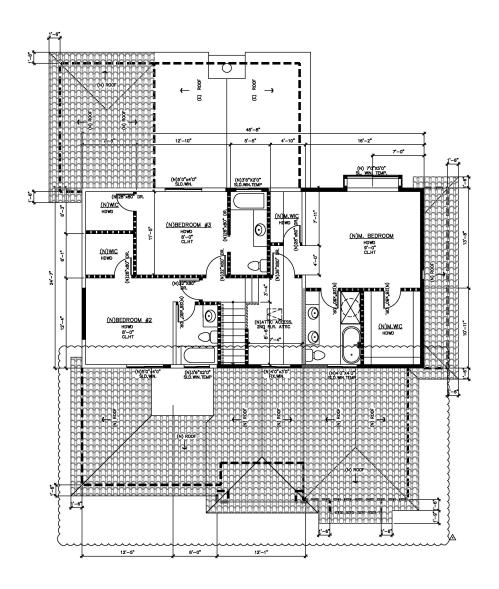
S.G. SAFETY GLAZING WINDOW/TEMPERED GLASS

CRAWL ACCESS 18"X24" MIN. (2022 CRC SEC. R408.4)

ATTIC ACCESS 22"X30" MIN. (2022 CRC SEC. R807.1) ATTIC ACCESS 36"X36" MIN. WHEN FURNACE AT ATTIC. A HEAD ROOM CLEAR HEIGHT IN A ATTIC AT LEAST 30" AT THE ATTIC ACCESS"

EXTERIOR STAIR STEPS, MAX 7-3/4" RISE

SKYLIGHT 2'-0" X 4'-0"





REVISIONS	DATE
SUBNITTAL	06/30/25
RE-SUBMITTAL 🛕	09/26/25

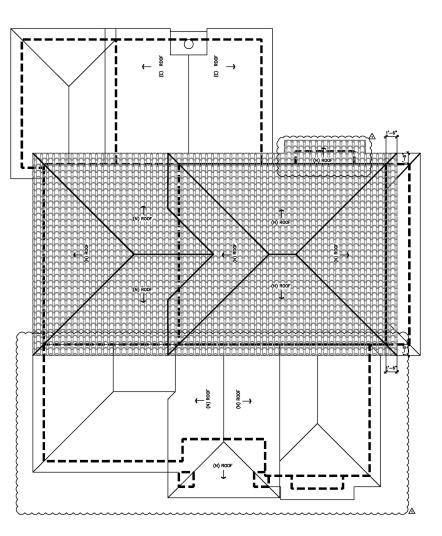
2892 Mesquite Dr, Santa Clara, CA 95051 RESIDENCE ADDITION

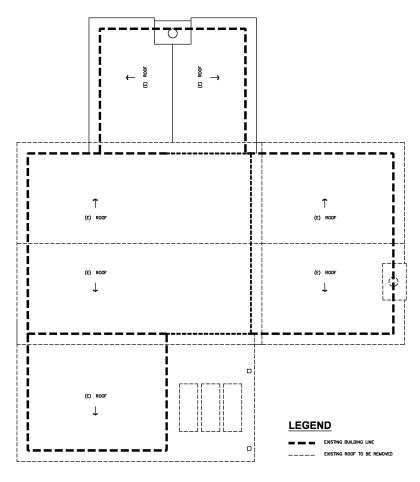
SHEET TITLE :

PROPOSED 2ND FLOOR PLAN

DRAWN BY: Fima War REVIEWED BY: -DATE : SCALE :

A2.3









REVISIONS	DATE
SUBMITTAL	06/30/25
RE-SUBMITTAL 🛕	09/28/25

RESIDENCE ADDITION 2892 Mesquite Dr, Santa Clara, CA 95051

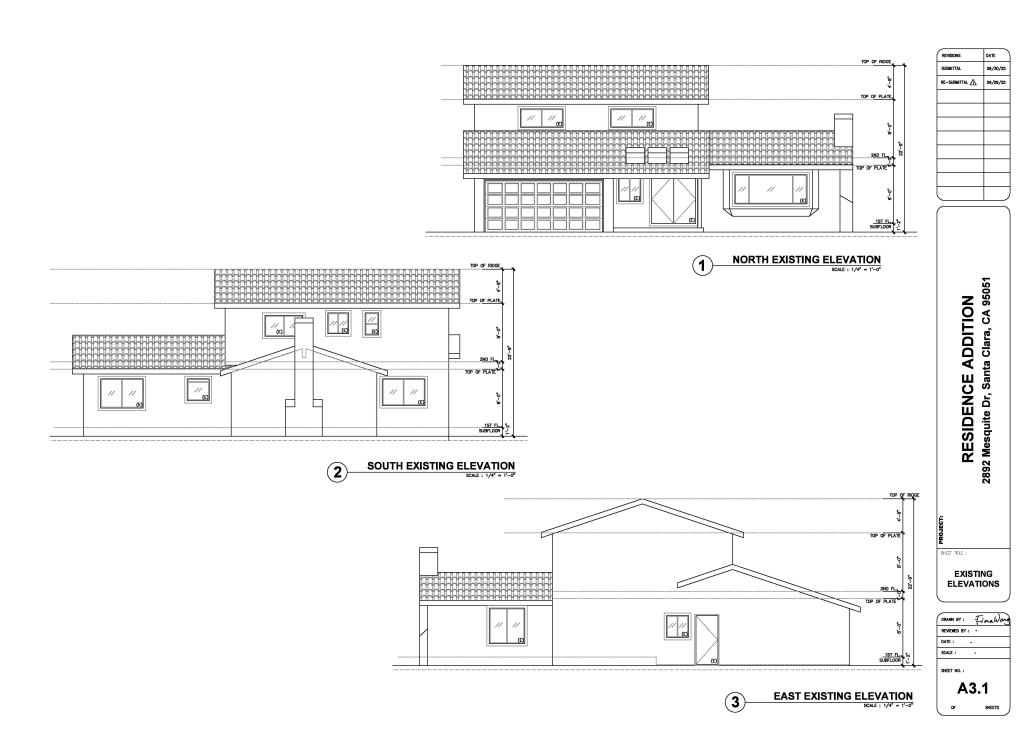
PROJECT.

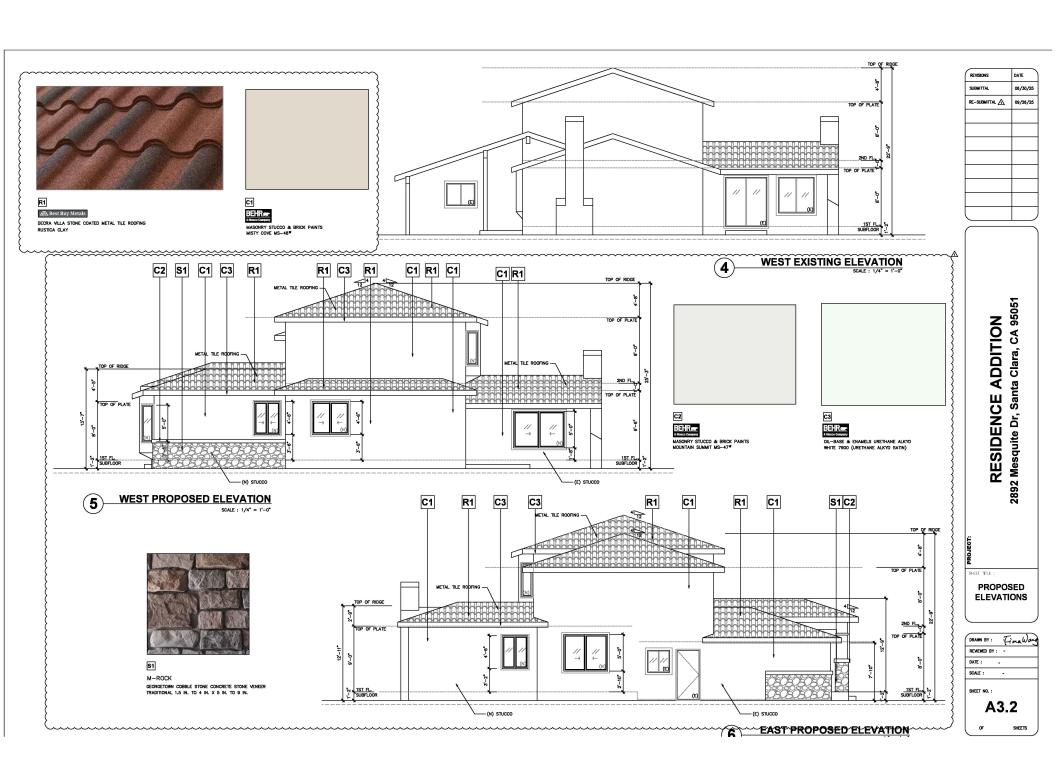
EXISTING & PROPOSED ROOF

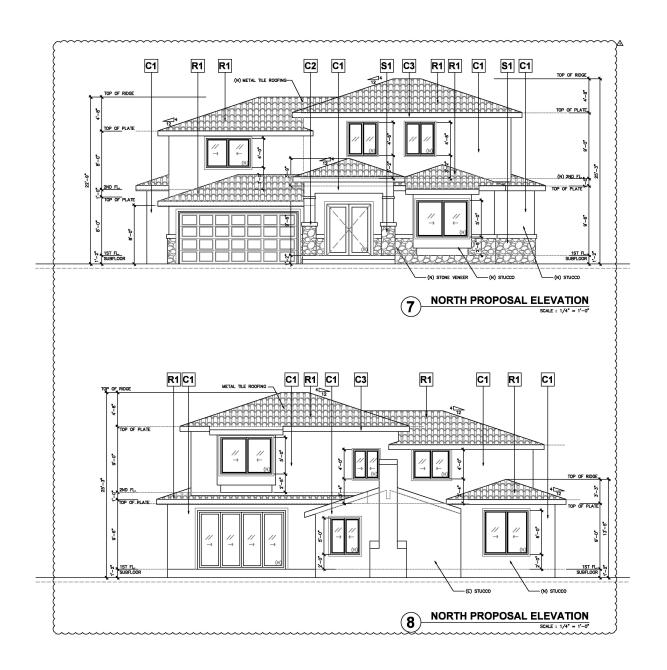
DRAWN BY: To MAN WAS REVIEWED BY: DATE: SCALE: SHEET NO.:

A2.4

OF SHEET







REVISIONS	DATE
SUBMITTAL	06/30/25
RE-SUBMITTAL A	09/26/25

RESIDENCE ADDITION 2892 Mesquite Dr, Santa Clara, CA 95051

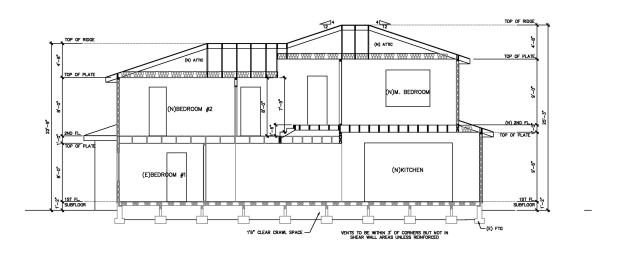
PROJECT.

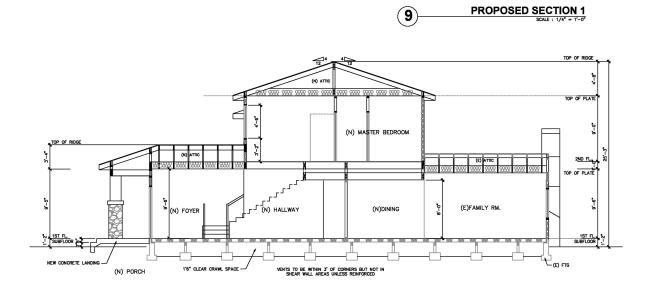
PROPOSED ELEVATIONS

DRAWN BY: Fipma Work
REVENED BY: DATE: SCALE: SHEET NO.:

A3.3

SHEETS





PROPOSED SECTION 2

SCALE: 1/4" = 1'-0"

REVISIONS	DATE
SUBMITTAL	06/30/25
RE-SUBMITTAL A	09/28/25

RESIDENCE ADDITION 2892 Mesquite Dr, Santa Clara, CA 95051

TimaWi
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3.4

PROPOSED SECTIONS

SHEET TITLE :



Building Division: 408-615-2440 Email: Building@santaclaraca.gov Permit Center: 408-615-2420
Email: PermitCenter@sentaclaracs.gov
Automated Inspection Scheduling Syster

tem: 408-615-2400 2022 CALIFORNIA GREEN BUILDING CODE (CGC) RESIDENTIAL CHECKLIST - Effectively July 1st, 2024

dential buildings shall be designed to include the green building mandatory measures specified in this checklist cklist shall also be applied to additions or alterations of existing residential buildings where the addition o is increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific

BUILDING PERMIT NO.: BLD2
APDRESS: 2892 Mesquite Dr, Santa Clara, CA 95051

Feature or Measure	Yes
SITE DEVELOPMENT (CGC 4.106)	
Storm water drainage and retention during construction. A plan shall be developed and shall be implemented to manage storm water drainage curing construction per CSC 4.106.2.	4
Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings per CGC 4.106.3.	1/
Blectic vehicle (EV) charging for new one- and two-furnity sheelings and fover-hourse with statched private grapes and into practing spaces on assigned to a dwelling unit, and ADUBADU without additional parking but with electrical panel upgrades or new panels. Plavice capability for electric exhibit hadging with minimar measured Level 1° EV Ready, Level 2° EV Ready, Level 2° EV Ready 5° specified in GCG 4.106.41 as americad by Clyr of Sartas Clara Readh Code) action 1530 8.00. **Memittandion.** The readway terministro location shall be permanently and visibly marked as "Level 2 EV-ReAD" pcc GCG 4.04.41 as amended by CSC 2020 Readh Code section 153.00.00.	a/
Electric vehicle (EV) charging for new multifamily dwellings, affordable housing, hotels, motels, and new residential parking facilities. Provide electric vehicle infrastructure and capability for electric vehicle charging with minimum required Level 2 EV Ortager, Level 1 EV Ready, Level 2 EV Ready, Lev Power, Level 2 EV Ready, Lev Power, Level 2 EV Ready, Lev Power Stringer, Level 3 EV Ready, Level 3 EV	
110v Electrical Outlet at Bicycle Parking: All multifamily residential developments shall include secured bicycle parking with 110v electrical outlets per CSC 2023 Reach Code section 15,38,040.	
Location: EVCS shall be located adjacent to an accessible parking space, and/or on an accessible route, per CGC 4.106.4.2.2.1.1.	
Dimension: Each EV ready space or EVCS shall be minimum 18 ft long and 9 ft wide. One in every 25 charging spaces, but not less than one, shall have an 8 ft wide access aiste. A 5 ft wide minimum aiste shall be permitted	

provided the minimum width of the EV space is 12 feet. Surface slope for this EV space and the alisle shall not exceed 2.083% slope in any direction, per CGC 4.108.4.2.2.1.1. Accessibility. EV Ready and EVCS spaces shall comply with the accessibility provision for EV Chargi stations in California Building Code Chapter 11A (section 1109A) and Chapter 11B, per CSC 4.106.4.2.2.1.2

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RG01 2022 Green Building Residential-Revised 07-2024.docx

Page 1 of 4

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BLD Permit No.:	
Electic vehicle (EV) charging for additions or alterations of parting facilities swithe addition multitumity buildings, when new protein particles are added or extended spleams or injerting desting periors facilities are added or altered and the work requires a building perior, immirment (EV) of total additional parting spaces self-the electrical evhelic energing spaces applied of suppring facilities and extended the energy of parting explained size used 2 electric vehicle supply equipment (EVEE) per COQ 4.106.4.3. The service partie of subground circuit directory shall identify the overcurrent proteined covice space(i) perserved for future EV charging purposes as EV CAPABLE; EV	0
ENERGY EFFICIENCY (CGC 4.201)	
California Energy Code. The building's construction shall meet or exceed the requirements of the 2022 California Building Energy Efficiency Standards per CGC 4.201.1.	4
WATER EFFICIENCY AND CONSERVATION	
INDOOR WATER USE (CGC 4.303)	
Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (saucets, showerheads, pre-rinse spray valves) shall comply with the prescriptive requirements of Section 4.303.1.1 through 4.303.1.4.5.	4
Water closets: The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (CGC 4.303.1.1).	4
Urinals: The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush, and all other urinals shall not exceed 0.5 gallons per flush (CGC 4.303.1.2).	
Showerheads. The flow rate for single showerhead and multiple showerheads serving one shower shall not exceed 1.8 gallons per minute at 80 pel and shall be certified to the performance criteria of the U.S. EPA WaterSerse Specification (CGC 4.303.1.3).	w/
Residential lavatory faucets. The flow rate shall not be more than 1.2 gallons per minute at 60 psi, and not less than 0.8 gallons per minute at 20 psi (CGC 4.303.1.4.1).	d
Lavatory faucets in common and public use areas. The flow rate shall not exceed 0.5 gallons per minute at 60 psi (CGC 4.303.1.4.2).	
Metering Faucets. The flow rate shall not deliver more than 0.2 gallons per cycle (CGC 4.303.1.4.3).	
Kitchen Faucets. The flow rate shall not exceed 1.8 gallons per minute at 60 psi (CGC 4.303.1.4.4).	8
Pre-rinse Spray Valves. When installed, shall meet the requirements of Title 20 of the California Code of Regulations, and shall be equipped with an integral automatic shutoff (CGC 4.303.1.4.5).	_
Submeters for multifamily buildings and dwelling units in mixed-use residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Phunbing Code per CBC 4 908.2.	0
Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code per CGC 4.303.3.	4
OUTDOOR WATER USE (CGC 4.304)	
Outdoor potable water use in landscape areas. Residential developments shall comply with the City's Water Service and Use Rules and Regulations, liten No. 24, sa adopted by Sarric Clarac City Code Section 13.1 Sto, or the California Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, per COC 4,304.1.	_
ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)	
Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement morter, concrete masonry, or similar method acceptable to the CIP or CGO 4.400.	0
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (CGC 4.403)	
Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of nonhazardous construction and demonition waste in accordance with Section 4.408.2, 4.408.3, or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance (CGC 4.408.1).	4

BLD Permit No. Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily access bits areas that serve all buildings on the site and are identified for depositing, storage and collection of nonhazardous materials for recycling per CSC 4-410.2. п ENVIRONMENTAL QUALITY (CGC 4 503) Gas fireplace, Any installed gas fireplaces shall be a directivent sealed-combustion type per CGC 4.503.1

Woodstoves. Any installed woodstove or peliet stove shall comply with U.S. EPA New Source Performst standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limits per CSC 4,503.1. Woodstoves and pellet stoves shall also comply with Santa Clara City Code Chapter 15.65. POLLUTANT CONTROL (CGC 4.564)

Covering of duct openings and protection of mechanical equipment during construction. All the time or congruent instance, during songs on the construction size and util final startup of the heating, cooling and the construction of the coult final startup of the heating, cooling and protection of the construction of the countries of the construction of the construction of the construction of the countries of the co Adhesives, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4:504.2.1. Paints, stains and other coatings shall comply with VOC limits per CGC 4.504.2.2. Aerosol paints and coatings shall meet the product-weighted MIR limits for ROC and other requirer CGC 4.504.2.3. d Carpet systems. All carpet installed in the building interior shall meet the testing: CGC 4.504.3 Resilient flooring systems. Where resilient flooring is installed, at least 80% of the floor area flooring shall comply with the requirements of CGC 4.904.4. Composite wood products. Herdwood plywood, particletoard and medium density fibertoas products used on the interior or exterior of the building shall comply with low formaldehyde emiss requirements per CGC 4 504.5. Composite wood products. Hardwood pla requirements per CGC 4504.5.

INTERIOR MOISTURE CONTROL (GGC 4.565)

Concrete slab foundations. Vapor retarder and capillary break shall be insballed if a slab-on-grade foundation system as seed. The use of a 4" thick base of 3" or larger clean apergale under a 1" on In vapor retarder with jornal ragged rate lase shall are 5" slab be provided per CGC 4.050.2, GRC R606.2" and GGC Section GGC 5" and GGC 5" Moisture content of building material. Building materials with visible signs of water damage shall not be installed. Wall and foor farming shall not be enclosed when the farming members exceed 19% mosture content Moisture content shall be checked prior to finish material being applied per CGG 4.956.3. Modeluce content shall be disclosed prior to final material being a pipiled per CASC 4.500.3

INDOOR AR QUALITY MODERNAUST (CASC 4.506)

Bathroom exhaust fairs. Each bathroom shall be mechanically verifilated using ENERG fairs ducted to the exterior and equipped with humility controls system pc CCC 4.506.1

ENVIRONMENTAL COMPORT (CGC 4.507)

Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods per CGC 4.507.2:

flowing methods per CGC 4.507.2: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016, ASHRAE handbook or

equivalent.
2. depuivalent and sized according to ANSI/ACCA 1 Manual D-2016, ASHRAE handbook or equivalent a Select heating and cooling equipment in accordance with ANSI/ACCA 3 Manual S-2014 or equivalent.

Installer training. HVAC system installers shall be trained and certified in the proper installation or including ducts and equipment by a recognized training or certification program per CGC 702.

INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (CGC 702)

Special inspection. Special inspectors employed by the Oily must be qualified and able to demonstrate competence in the discipline they are inspecting per CGC 702.2. RG01 2022 Green Building Residential-Revised 07-2024.docx

COMMERCIAL / INDUSTRIAL REQUIREMENTS Terminating condensate discharge from commercial and industrial air-conditioning units must follow these

2. Terminate the condensate using one of the following methods: a. To a landscaped area properly designed to accommodate the volume of condensate.

b. To a property designed storm-water treatment system, e.g., a bio-retention unit.

Indirectly to the sanitary sewer, subject to all wastewater permitting requirements and fees.
 Contact the Environmental Services Department at 408-793-5300.

d. If none of the above methods is feasible, the City Building Division may allow an indirect discharge of condensate to the storm drain system. Indirect connections must be outside the building. The condensate drain line must be hard piece to the storm drain.

Terminating the condensate to a parking lot or roof surface is not allowed.

BLD Permit No.:

VERIFICATION (CGC 763)

Documentation. Upon request, verification of compliance with this code may include construction documents plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance per CGC 703.1.

Responsible Designer's Declaration Statement	Contractor Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2022 California Green Building Standards Code.	
Name: Fiona Wang	Name:
Signature: Fiona Wang	Signature:
Date: 06/30/2025	Date:
Company: Fiona Wang Design	License:
Address: 255 N 11th Street	Address:
City: San Jose State: CA Zip 95112	City: State: Zip:

City of Santa Clara

Building Division: 408-615-2440 Email: Building@santaclaraca.go Email: Building@santaclaraca.gov
Permit Center: 408-815-2420
Email: PermitCenter@santaclaraca.gov
Automated Inspection Scheduling System: 408-615-2400

RESIDENTIAL CONDENSATE DISPOSAL REQUIREMENTS

BUILDING MAINTENANCE AND OPERATION (CGC 4.410)

Air conditioner cooling coils require a condensate drain with a trap in accordance with the manufacturer's instructions (CMC301.1). The drain must discharge by gravity to a dywell or an indirect weaks, or to a condensate pump that connects to an indirect weaks, or higher draws connection can be marked to a particle with or laundy standaging, an example of the control of the condensate forms and the condensate form as legit efficiency (Category IV) Junases can be combined with the AC condensate. Condensate cannot be combined with the discharge of a temperature and pressure relief valve (CPC 608.5).

Condensate waste pipes must be at least % in, diameter and slope at least 1/s inch per foot. Condensate pumps are allowed if interfocked to prevent AC operation during pump failure. Condensate pump discharge tubing must rise vertically to a point where it is possible to connect to a gravity condensate drain [CMC 310.1.1]

Ar conditions reading calls in an affect over any other new when belongs could cause damage results protection prevent damages in the world is ablocated and. A rembol are excepted (1) a data partial excepts (8) between the areas of the cooling unit and equipped with a separated crimin line. (2) a separate drain line at a higher location in the Act units dain sup (3) adm pan without a destinguing line but capitaged with a wareer inchededing control in the Act units dain sup (3) adm pan without a destinguing line but peoples with a wareer indedication device the damage of the control of the discharge pipe must go to a bootton that is readily observed – hybrially over a window. [DMI 3012] These requirements but sopy the high-directing (clasgory V) thurstonic (cl



Primary drain Minimum slope = % inch per foot

- Residential condensate is typically terminated in drywells. Drywell specifications are as follows:

 1. The minimum stac of a residential drywell is 2 floot argume by 2 floot of the condensate of the condensate



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SIRMITTAL 06/30/25 RE-SUBMITTAL 🛕 09/26/25

DATE

REVISIONS

CA 95051 ADDITION Clara, Santa **ESIDENCE** ă Mesquite ~ 2892

GREEN BUILDING **CHECK LIST**

DATE: -SCALE : . SHEET NO. : **GBCL**

DRAWN BY: Fima Ware REVIEWED BY - -