



City of Santa Clara

Meeting Agenda

Planning Commission

Wednesday, January 14, 2026

6:00 PM

**Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050**

The City of Santa Clara is conducting the Planning Commission Hearing meeting in a hybrid manner (in-person and method for the public to participate remotely)

Via Zoom:

- <https://santaclaraca.zoom.us/j/91729202898>

- Webinar ID: 917 2920 2898 or

Phone: 1(669) 900-6833

How to Submit Written Public Comment Before Planning Commission Meeting:

1. By email to planningpubliccomment@santaclaraca.gov by 12 p.m. the day of the meeting.

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6:00 PM REGULAR MEETING

Call to Order

Pledge of Allegiance and Statement of Values**Roll Call****DECLARATION OF COMMISSION PROCEDURES****CONTINUANCES/EXCEPTIONS****CONSENT CALENDAR**

Consent Calendar items may be enacted, approved or adopted, based upon the findings prepared and provided in the written staff report, by one motion unless requested to be removed by anyone for discussion or explanation. If any member of the Planning Commission, staff, the applicant or a member of the public wishes to comment on a Consent Calendar item, or would like the item to be heard on the regular agenda, please notify Planning staff, or request this action at the Planning Commission meeting when the Chair calls for these requests during the Consent Calendar review. Items listed on the Consent Calendar with associated file numbers constitute Public Hearing items.

1. **25-1755** [Planning Commission Meeting Minutes of November 12, 2025](#)

Recommendation: Approve the Planning Commission Meeting Minutes of the November 12, 2025 Meeting.

PUBLIC PRESENTATIONS

Members of the public may briefly address the Commission on any item not on the agenda.

PUBLIC HEARING

Items listed above under Items for Council Action will be scheduled for Council review following the conclusion of hearings and recommendations by the Planning Commission. Due to timing of notices for Council hearings and the preparation of Council agenda reports, these items will not necessarily be heard on the date the minutes from this meeting are forwarded to the Council. Please contact the Planning Division office for information on the schedule of hearings for these items.

2. **25-1601** [Public Hearing: Recommendation on a General Plan Amendment to Update the Historic Resource Inventory in Appendix 8.9 of the General Plan.](#)

Recommendation: Staff recommends the Planning Commission provide a recommendation of approval to the City Council to:

- 1) Determine that the project falls within the scope of the 2010-2035 General Plan Environmental Impact Report pursuant to CEQA Guidelines Section 15168(c)(2).
- 2) Adopt a resolution recommending the City Council amend the General Plan to update the Historic Resource Inventory list in Appendix 8.9 of the General Plan.

3. **25-1602** [Public Hearing: Recommendation on The Adoption of The Citywide Objective Design Standards for Multi-Family and Residential Mixed-Use Projects into The Santa Clara Zoning Code. CEQA: Addendum to the 2010-2035 General Plan EIR](#)

Recommendation:

1. Recommend that the City Council determine the project to be consistent with the January 31, 2023 Addendum for the 2023 Housing Element pursuant to CEQA; and
2. Recommend that the City Council adopt the Citywide Objective Design Standards ordinance.

4. **26-27** [Study Session: 2025 State Housing Legislation Update](#)

REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:

1. Announcements/Other Items
2. Commissioner Travel and Training Reports, Requests to attend Trainings

Update on Silicon Valley Joint Venture State of the Valley Conference - February 27, 2026

DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:

1. Planning Commission Budget Update
2. Upcoming Agenda Items
3. City Council Actions

ADJOURNMENT:

The next regular scheduled meeting is on February 11, 2026 at 6:00 PM in the City Hall Council Chambers and via Zoom.

MEETING DISCLOSURES

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City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

25-1755

Agenda Date: 1/14/2026

REPORT TO PLANNING COMMISSION

SUBJECT

Planning Commission Meeting Minutes of November 12, 2025

RECOMMENDATION

Approve the Planning Commission Meeting Minutes of the November 12, 2025 Meeting.



City of Santa Clara

Meeting Minutes

Planning Commission

11/12/2025

6:00 PM

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6:00 PM REGULAR MEETING

Call to Order

Chair Crutchlow called the meeting to order at 6:03 p.m.

Pledge of Allegiance and Statement of Values

Vice Chair Bouza read the Statement of Values.

Roll Call

- Present** 5 - Commissioner Nancy A. Biagini, Commissioner Qian Huang, Vice Chair Mario Bouza, Commissioner Lance Saleme, and Chair Eric Crutchlow
- Absent** 2 - Commissioner Yashraj Bhatnagar, and Commissioner Priya Cherukuru

A motion was made by Commissioner Biagini, seconded by Commission Crutchlow to excuse Commissioners Bhatnagar and Cherukuru from the meeting.

Aye: 5 - Commissioner Biagini, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

Absent: 2 - Commissioner Bhatnagar, and Commissioner Cherukuru

DECLARATION OF COMMISSION PROCEDURES

Vice Chair Bouza read the Declaration of Procedures.

CONTINUANCES/EXCEPTIONS

None.

CONSENT CALENDAR

1. [25-1629](#) Planning Commission Meeting Minutes of October 8, 2025

Recommendation: Approve the Planning Commission Meeting Minutes of the October 8, 2025 Meeting.

A motion was made by Commissioner Biagini, seconded by Commissioner Crutchlow to approve the consent calendar.

Aye: 5 - Commissioner Biagini, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

Excused: 2 - Commissioner Bhatnagar, and Commissioner Cherukuru

PUBLIC PRESENTATIONS

None.

PUBLIC HEARING

2. [25-1109](#) Public Hearing: Recommendation on a General Plan Amendment to the City's Open Space Element to Add Policies to Address Climate Resilience and Other Co-benefits of Open Space; to Help to Increase Access to Open Space for Everyone; and to Preserve, Enhance, and Expand a Network of Open Spaces.

Recommendation: Staff recommends based on Senate Bill 1425, that the Planning Commission recommend the City Council:

1. Find that the Addendum to the 2010-2035 General Plan Environmental Impact Report (EIR) prepared for the project complies with CEQA, and that the adoption of the Open Space Element Update would not result in environmental impacts beyond those described in the General Plan EIR and no further analysis is required.
2. Adopt the General Plan Text Amendment and find that it satisfies the SB 1425 requirements to update open space programs to include policies addressing climate resilience and other co-benefits of Open Space; and that the necessary text edits are consistent with the Parks, Open Space, and Recreation Goals and Policies in the General Plan.

Principal Planner John Davidson provided the staff presentation.

A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to close public hearing.

Aye: 5 - Commissioner Biagini, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

Excused: 2 - Commissioner Bhatnagar, and Commissioner Cherukuru

A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to adopt a resolution approving staff recommendation 1.

Aye: 5 - Commissioner Biagini, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

Excused: 2 - Commissioner Bhatnagar, and Commissioner Cherukuru

A motion was made by Commissioner Biagini, seconded by Commissioner Bouza to adopt a resolution approving staff recommendation 2.

Aye: 5 - Commissioner Biagini, Commissioner Huang, Vice Chair Bouza, Commissioner Saleme, and Chair Crutchlow

Excused: 2 - Commissioner Bhatnagar, and Commissioner Cherukuru

3. [25-996](#) Study Session on Draft Citywide Objective Design Standards

Assistant Planner Alex Tellez provided the staff presentation.

Commissioners provided input and comments including concerns regarding tall buildings next to one-story buildings and mentioned they would like guidelines on how privacy will be maintained in this type of scenario; and how quality architectural designs would be determined.

REPORTS OF COMMISSION/BOARD LIAISON AND COMMITTEE:

1. Announcements/Other Items

2. Board and Commission Dinner Recognition Event Discussion - requested by Commissioner Saleme

Planning Manager Lesley Xavier provided on the new format for Board/Commission recognition events/dinner.

3. Commissioner Travel and Training Reports, Requests to attend Trainings

Staff Aide II Elizabeth Elliott provided Commissioners with a spreadsheet of upcoming conferences for FY 2025/26.

DIRECTOR OF COMMUNITY DEVELOPMENT REPORTS:

1. Planning Commission Budget Update

Staff Aide II Elizabeth Elliott provided budget updates.

2. Upcoming Agenda Items

Planning Manager Lesley Xavier provided updates.

3. City Council Actions

Planning Manager Lesley Xavier provided updates.

ADJOURNMENT:

The meeting adjourned at 7:31 p.m. The next regular scheduled meeting is on December 17, 2025 at 6 p.m. in the Council Chambers and via Zoom.

MEETING DISCLOSURES

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Agenda Report

25-1601

Agenda Date: 1/14/2026

REPORT TO PLANNING COMMISSION

SUBJECT

Public Hearing: Recommendation on a General Plan Amendment to Update the Historic Resource Inventory in Appendix 8.9 of the General Plan.

BACKGROUND

The Historic Resource Inventory (HRI) is a list of architecturally or historically significant resources maintained as Table 8.9-1 in Appendix 8.9 of the City's General Plan. The inventory does not include all the City's historical and architectural resources, as many structures have never been surveyed. However, as buildings and other resources are evaluated, additional properties can be added to the inventory. Additionally, changes over time to the property's address, assessor's parcel number, and being subject to a historic contract warrant updates to the HRI. Updating the HRI is considered an amendment to the General Plan. Amendments to the City's General Plan require consideration during a public hearing at the Planning Commission for a recommendation to the City Council for final consideration.

DISCUSSION

Since adoption of the City's General Plan in 2010, 27 properties have been added to the Historic Resource Inventory. To be on the list, a property owner must meet the HRI designation criteria as outlined in the City's Zoning Code Section 18.130.040. The Historical & Landmarks Commission evaluates all nominations and forwards a recommendation to the City Council for final consideration. Staff has compiled all the properties approved by the City Council to be added to the Historic Resource Inventory and reviewed existing properties for accuracy.

The proposed General Plan Amendment to update the HRI is consistent with the following General Plan policies:

- *5.6.1-P2: Protect the historic integrity of designated historic properties and encourage adaptive reuse when necessary to promote preservation.*
- *5.6.1-P10: Update and maintain the City's list of Architecturally or Historically Significant Properties, and associated State Department of Parks and Recreation forms, as an Appendix to the General Plan.*

The proposed General Plan Amendment will list new properties that have been added to the HRI by the City Council and update existing properties with more recent information (i.e. noting where new Mills Act Contracts apply to existing HRI properties, update Assessor's Parcel Numbers, and update correct addresses). Attachments 2 and 3 show the clean version of the text changes and the redline version of the text changes, respectively.

ENVIRONMENTAL REVIEW

The City prepared the 2010-2035 General Plan Environmental Impact Report (EIR) which was certified on November 10, 2010 (Resolution No. 10-7797). Both the 2010-2035 General Plan and the EIR indicated that additional properties would be added to the Historic Resource Inventory, and both reference General Plan Policy 5.6.1-P10 to accomplish this goal. Pursuant to Section 15168(c)(2) of the California Environmental Quality Act (CEQA) Guidelines, the proposed General Plan Amendment is in furtherance of and within the scope of the 2010-2035 General Plan EIR adopted by City Council Resolution 10-7797. The proposed General Plan Amendment does not involve new significant effects beyond those analyzed in the 2010-2035 General Plan EIR.

Pursuant to Government Code Section 65352.3(a)(1), also known as Senate Bill (SB) 18 (2004), prior to any amendment of a city's General Plan, the City shall contact California Native American tribes. The City utilizes a contact list maintained by the Native American Heritage Commission for this purpose. SB 18 is meant to preserve or mitigate impacts to Native American places, features, and objects described in Sections 5097.9 and 5097.993 of the Public Resources Code that are located within the City's jurisdiction. The proposed project would necessitate amendments to the City's General Plan and is therefore subject to the requirements of SB 18. On September 16, 2025, the City mailed referral letters to Native American tribes advising them of the City's intent to act on a General Plan Amendment. No comments were received from the tribes.

FISCAL IMPACT

There is no fiscal impact to the City for processing the request other than administrative time and expense for staff to draft this report and coordinate the environmental assessment.

COORDINATION

This report was coordinated with the City Attorney's Office.

PUBLIC CONTACT

Public contact was made by posting the Planning Commission agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

On September 16, 2025, pursuant to Government Code Section 65352(a), the City mailed referral letters to Native American tribes advising them of the City's intent to act on a General Plan Amendment to update the Historic Resource Inventory list in Appendix 8.9 of the General Plan.

On December 24, 2025, pursuant to Government Code Section 65353 and 65355, a notice of public hearing was published in The Weekly, a newspaper of general circulation for the City, for the Planning Commission Hearing to be conducted on January 14, 2026, and for the City Council Hearing to be conducted on February 24, 2026.

RECOMMENDATION

Staff recommends the Planning Commission provide a recommendation of approval to the City Council to:

- 1) Determine that the project falls within the scope of the 2010-2035 General Plan Environmental Impact Report pursuant to CEQA Guidelines Section 15168(c)(2).
- 2) Adopt a resolution recommending the City Council amend the General Plan to update the Historic Resource Inventory list in Appendix 8.9 of the General Plan.

Prepared by: Meha Patel, Associate Planner

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

1. Resolution Recommending Approval
2. General Plan Revised Appendix 8.9_Clean
3. General Plan Revised Appendix 8.9_Markup

RESOLUTION NO. _____

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING
THAT THE CITY COUNCIL APPROVE AN AMENDMENT TO
THE GENERAL PLAN TO UPDATE THE HISTORIC
RESOURCE INVENTORY LIST IN APPENDIX 8.9 OF THE
GENERAL PLAN.**

WHEREAS, a General Plan Amendment is required to update the Historic Resource Inventory List in Appendix 8.9 of the General Plan;

WHEREAS, the amendment will list new properties that have been added to the Historic Resource Inventory by the City Council and update existing properties with more recent information;

WHEREAS, on November 10, 2010, the City Council adopted Resolution No. 10-7797 certifying the Environmental Impact Report (EIR) for the 2010-2035 General Plan, which discusses General Plan Policy 5.6.1-P10 to “[u]pdate and maintain the City’s list of Architecturally or Historically Significant Properties”;

WHEREAS, Santa Clara City Charter Section 1007 requires that the Planning Commission provide input to the City Council on any proposed General Plan Amendment;

WHEREAS, Government Code Section 65353 requires the Planning Commission to hold a public hearing prior to making a recommendation on the General Plan Amendment;

WHEREAS, on December 24, 2025, a notice of the public hearing on the proposed General Plan Amendment was published in the Santa Clara Weekly, a newspaper of general circulation for the City, for the Planning Commission Hearing to be conducted on January 14, 2026, and for the City Council Hearing to be conducted on February 24, 2026;

WHEREAS, the Planning Commission has reviewed the General Plan Amendment; and

WHEREAS, on January 14, 2026, the Planning Commission held a duly noticed public hearing to consider the proposed General Plan amendment during which the Planning Commission

invited and considered any and all verbal and written testimony and evidence offered in favor and in opposition to the General Plan Amendment.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. That the Planning Commission finds and determines that the General Plan Amendment is in the interest of the public good for the following reasons:

A. The proposed Amendment is deemed to be in the public interest, in that the update is consistent with the General Plan policy 5.6.1-P2 to protect the historic integrity of designated historic properties and General Plan policy 5.6.1-P10 to update and maintain the City's list of Architecturally or Historically Significant Properties; and

B. The proposed General Plan Amendment is consistent and compatible with the rest of the General Plan and any implementation programs that may be affected, in that the Historic Resources Inventory is already an appendix to the General Plan, and General Plan Policy 5.6.1-P10 expressly directs City staff to periodically update the Historic Resources Inventory

C. The proposed amendment has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA), in that General Plan Policy 5.6.1-P10 to update and maintain the Historic Resource Inventory was discussed in the 2010-2035 General Plan EIR and pursuant to Section 15168(c)(2) of the CEQA Guidelines, the update to the Historic Resource Inventory falls within the scope of the 2010-2035 General Plan EIR; and

D. The potential impacts of the proposed General Plan Amendment have been assessed and have been determined not to be detrimental to the public health, safety, or welfare, in that the proposed Amendment would merely continue the existing land uses on the affected properties. The impacts of updating the Historic Resource Inventory have been disclosed

through the CEQA process, and the Planning Commission has determined that any impacts from the proposed revisions remain within the scope of the General Plan EIR.

3. The Planning Commission hereby recommends that the City Council amend Appendix 8.9 ("Historic Preservation and Resource Inventory") of the General Plan by replacing it in its entirety with Revised Appendix 8.9, attached hereto and incorporated herein by this reference. The Revised Appendix adds properties approved by City Council to be added to the Historic Resource Inventory and updates existing properties with more recent information.

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 14 DAY OF JANUARY, 2026, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____
AFSHAN HAMID
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. General Plan Revised Appendix 8.9_Clean
2. General Plan Revised Appendix 8.9_Markup

I:\PLANNING\2025\Project Files Active\PLN25-00357 General Plan Amendment (HRI Update)

8.9 HISTORIC PRESERVATION AND RESOURCE INVENTORY



SANTA CLARA GENERAL PLAN

8.9 HISTORIC PRESERVATION AND RESOURCE INVENTORY

Table 8.9-1 and Figure 8.9-1 identify the names and locations of the historic properties in the City of Santa Clara. In addition, this Appendix includes a depiction of the Areas of Historic Sensitivity, defined as 100 feet from the property line of an identified historically significant property. Figure 8.9-2 shows this 100-foot area around historic properties in the Old Quad and Agnew neighborhoods where a number of the City's resources are located.

Following the list and description of historic properties are the adopted Criteria for Local Significance for the City of Santa Clara. These criteria establish evaluation measures that help to determine significance for properties not yet included on the list. As buildings and other resources age, additional properties will be added to the inventory. In order to accomplish this, a property owner can apply to have their property listed as a historic resource, or the City can nominate properties. The Historical and Landmarks Commission evaluates these applications and forwards a recommendation to the City Council. Updates to the Historic Preservation and Resource Inventory is considered an amendment to the General Plan.

8.9.1 Historic Properties

The following table includes local, State and nationally designated properties in the City of Santa Clara. The table is organized alphabetically by street name.

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
2086 Agnew Road	10412028	Agnew School	School	1890	
3260 The Alameda	23008016	Santa Clara Woman's Club (Old Adobe Woman's Club)	Adobe	1790	BP/H (SHLP No. 249)
536 Alviso St	26938063	Cronin House	Pioneer Vernacular	1880	
1072 Alviso St (formerly 3100 The Alameda)	26923074		Craftsman Bungalow	1930	
1081 Alviso St	26923047	Larder House The German House	Italianate Falsefront	1860	
1260 Alviso St	26916018		Italianate Cottage	1880	
1309 Alviso St	26906062	Martin House	Queen Anne Cottage	1890	MA
4100 Bassett St	10412196		Colonial Revival Cottage	1906	



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
4120 Bassett St	10412127		Colonial Revival Cottage	1906	
4150 Bassett St	10412125			c.1910	
4160 Bassett St	10412124			c.1920	
4170 Bassett St	10412123		Italianate Cottage		
4185 Bassett St	10412162	Agnew Railroad Station	Vernacular	1896	BP
4190 Bassett St	10412194			c.1900	
4350 Bassett St	10411004	Floyd Jamison House	Spanish Eclectic	1918	
947 Bellomy St	26938048		Queen Anne Cottage	1895	
950 Bellomy St	26943033	Roll House	Queen Anne Cottage	1888	
961 Bellomy St (formerly 741 Franklin St)	26938114		Eastlake Victorian	c.1887	
966 Bellomy St	26943032		Stick/Eastlake	1895	
1341 Bellomy St	26936032		Gothic Revival	1902	
1456 Bellomy St	26941018		Craftsman Bungalow	1916	
1476 Bellomy St	26935066	Rabello-Carreiro Residence	Vernacular Colonial Revival	1901	MA
1045 Benton St	26915046	Dr. Saxe's Office	Pioneer	1860	HT/BP
1075 Benton St	26915047	Dr. Saxe's House	Greek Revival	1870	
1161 Benton St	26915038		Italianate	1880	
1191 Benton St	26915039	Robert Menzel House	Queen Anne	1895	BP
1215 Benton St	26915086		California Bungalow with Prairie Accents	1926	MA
1291 Benton St	26915092		Greek Revival Stripped	1870	MA
1415 Benton St	26913036		Vernacular Cottage	1895	MA
1450 Benton St	26920104		Craftsman		HT
1470 Benton St	26920105		Craftsman Bungalow		HT
1681 Benton St	26912049	Toro House	Vernacular Craftsman Bungalow	1918	MA/SP
1737 Benton St	26912053		Vernacular Craftsman Bungalow	1910	MA
1751 Benton St	26912061	Donovan House (Cowboy Jim Donovan)	Craftsman Bungalow	1910	MA/BP
1646 Catherine St	26902068	Trogden House	Vernacular Cottage	1925-1927	
1669 Catherine St	26902071		Pioneer Vernacular	1870	SP
1786 Catherine St	26902063	Juan Fatjo House	Greek Revival with later Victorian alteration	1860	BP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1895 Catherine St	26901088		Pioneer with Italianate Details	1885	MA/SP/BP
1130 Chapel Dr	26911127	John P. Sumaquero House	Minimal Traditional	1948	SP/MA
1140 Chapel Dr.	26911126	Beaurev House	Minimal Traditional	1948	MA
1150 Chapel Dr.	26911125		Minimal Traditional	1948	SP/MA
4334 Cheeney St	10411041		Colonial Revival Cottage	c.1905	
4433 Cheeney St	10410025		Colonial Revival	1905	
1243 Civic Center Dr	22426026		Craftsman	1949	
4262 Davis St	10412019		Modified Greek Revival		
4321 Davis St	10411084				
2501 De La Cruz	23003103	Old Sites of Mission Santa Clara de Asis and Old Spanish Bridge			SHLP No. 250
500 El Camino Real	26923073	Santa Clara University (formerly Santa Clara College) (formerly University of Santa Clara) Adobe Wall and Adobe Lodge-Mission Period	Spanish Colonial	1822-25	
		Nobili Hall	Spanish Colonial	1930	
		Kenna Hall	Mission Revival/Spanish Colonial Revival Style	1924-29	
		Varsi Hall	Spanish Colonial Revival	1931	
		Administrative Hall/St Joseph's Hall	Mission Revival	1911	
		O'Conner Hall	Mission Revival	1912	
		Donohoe Alumni House	Mission Revival	1925	
		Ricard Memorial Observatory	Spanish Colonial Revival	1928	
		Santa Clara Mission Church	Spanish Colonial Revival	c.1928	BP SHLP NO. 338



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address		APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
			Mission Santa Clara Seifert & Loyola Gates - Franklin St & Alviso St	Mission Revival	1922	
			El Camino Real & Accolti Way Gates (formerly Bellomy St)	Mission Revival	1922	
			Michael C. Dunne Memorial Gates	Mission Revival	1922	
980	El Camino Real (formerly 1475 Washington St.)	26905093		Pioneer Vernacular with Italianate Details	c. 1885	HT/MA
1515	El Camino Real	22448015	St. Clare	Statue	1965	
1525	El Camino Real	22448015	Santa Clara Campaign Treasury Site			SHLP No. 260
4406	Fillmore Street	10410068	J.M. Williamson House	Colonial Revival Cottage	1925	
801	Franklin St - Santa Clara University (formerly 644 Franklin St)	26923067	Jesuit Residence	Mission Revival	c.1935	
1391	Franklin St (Plaque relocated from 1313 Franklin St)	2692007		Veterans Memorial Plaque		BP
1464	Franklin St	26920053	Oscar Eberhard House	Period Revival Craftsman	1912	MA
1488	Franklin St	26920065		Period Revival with Craftsman detailing	1916	HT
1515	Franklin St	26920072	Henry Pfister House	Colonial Revival	1912	MA
1525	Franklin St	26920072	Henry Roth House	Craftsman Bungalow	1915	MA
1526	Franklin St	26920026		Craftsman Bungalow	1915	
1543	Franklin St	26920004		Craftsman Bungalow	c.1912	MA/SP
1565	Franklin St	26920005		Modified Colonial Revival	c.1901	
908	Fremont St	26916032	Nuttman Residence	1930's Colonial Revival	1939	

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
936 Fremont St	26916031	Gould/South House	Spanish Eclectic Cottage	1937	MA/SP
981 Fremont St	26916011	Morse Mansion Charles Copeland Morse House	Queen Anne	1892	HT/NR/ BP (NRIS No. 7700347 SHLP No. 904)
1061 Fremont St	26915023	Pinkham House	Craftsman Bungalow	c.1918	MA
1091 Fremont St	26915024	Peebles/ Hichborn House	Pioneer/Italianate House	1868	BP
1159 Fremont St	26915009		Eastlake	1885	
1191 Fremont St	26915011	H.L. Warburton House	Stripped Queen Anne	1889	SP
1194 Fremont St	26915057		Pioneer	1878	
1251 Fremont St	26915072	A.H Santos House	Colonial Revival	c.1904	SP/MA
1460 Fremont St	26913030	William Hayward House	Greek Revival	1880	SP
1700 Fremont St	26912036		Craftsman Bungalow	1910	SP
1756 Fremont St	26912033	Vasquez House	Pioneer	1870	SP/MA
755 Harrison St	26906061	Pereira/Swain House	Four Square	1900	MA
891 Harrison St	26906040	Frank Nevis House	Spanish Colonial Revival	1915	
895 Harrison St	26906041		Queen Anne Cottage	1895	
925 Harrison St	26905074	J.M. Billings House	Italianate	1880	MA
946 Harrison St	26916004		Bungalow	1920	MA
985 Harrison St	26905076		Normandy	1925	MA/SP
1009 Harrison St	26905043		Queen Anne	c.1890s	MA/SP
1025 Harrison St	26905044	Anton Doll House	Stick/Eastlake	c.1890s	SP
1037 Harrison St	26905045		Shingle	c.1890s	
1050 Harrison St	26915016	Madan House	Queen Anne Cottage	1866	MA/SP
1051 Harrison St	26905046	Zibeeon O. Field House	Stick/Eastlake	1891	BP
1060 Harrison St	26915015		Queen Anne Cottage	c.1895	
1065 Harrison St	26905047	Coffin/Gil House	Stick/Eastlake	c.1891	MA/SP
1077 Harrison St	26905048		Stick/Eastlake	c.1890s	MA/SP
1091 Harrison St	26905049		Stick/Eastlake	c.1890s	
1111 Harrison St	26905031		Stick/Eastlake	1892	SP/MA
1217 Harrison St	26903096	Charles Parker House	Greek Revival	1880	MA



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address		APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1395	Harrison St	26903112	LaFon Residence	Pioneer	1860	
1511	Harrison St	26903017		Italianate	1880	
530	Hilmar St	23017043		Tudor Revival	1935	
540	Hilmar St	23017042		Tudor Revival	1935	
550	Hilmar St	23017041		Tudor Revival	1935	
560	Hilmar St	23017040		Tudor Revival	1935	
715	Hilmar St	26950031	Pasetta House	French Eclectic	1940	MA
1044	Homestead Rd	26928015	Luis G. "George" Fatjo House	Prairie School Eclectic	1913	MA
1258	Homestead Rd	26926081		Shingle/Colonial	1901	
1298	Homestead Rd	26926079	Elim German Community Church	Gothic Revival	1900	
1310	Homestead Rd	26926067	Kenneth Morrison House	Colonial Revival	1910	
1440	Homestead Rd	26926017		Pioneer/Gothic	Post 1890	SP
1445	Homestead Rd	26920044			Post 1890	
1474	Homestead Rd	26926014		Queen Anne Cottage	Post 1890	
1494	Homestead Rd	26926119		Queen Anne Cottage	Post 1890	MA
1516	Homestead Rd	26926005	Hamon House	Colonial Revival/Shingle	c.1919	MA
1540	Homestead Rd	26926003	Albert McIntyre House	Colonial Revival	1905	SP/MA
1560	Homestead Rd	26926002		Pioneer Vernacular	1880	
1588	Homestead Rd	26926118	Hyland/Kiely House	Queen Anne	1889	HT/MA/ SP/BP
1591	Homestead Rd	26920093	William Parmer House	Simplified Colonial Revival	1895	HT/MA
1770	Homestead Rd	26919056	Jesse and Nellie Mae Brown House	Craftsman Bungalow	c.1920	MA
1780	Homestead Rd	26919061		Craftsman Bungalow	c.1920	
2566	Homestead Rd	29455001	Caldwell House	Period Revival Farmhouse	1915	MA
3023	Homestead Rd	29025073	Azzarello Residence	Craftsman	1920	
610	Jackson St	26936018	Wm. A. Wilson House	Spanish Colonial Revival	1935	SP/MA
690	Jackson St	26936056	Budde House	Spanish Eclectic	1926	SP
758	Jackson St	26926097	Marsh/Rimple House	National	c.1875	MA
796	Jackson St	26926095	Ferrera Moore House	Pioneer Vernacular	1906	MA
805	Jackson St	26928008		Colonial Revival	c.1908	SP/MA

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
806 Jackson St	26926087		Queen Anne Cottage	1880	MA/SP
834 Jackson St	26926086		Queen Anne Cottage	c.1890	SP
1124 Jackson St	26915085	Rogers House	Colonial Revival	1910	MA
1160 Jackson St	26915083	Aaron C. Warren House	Queen Anne	1890	MA/SP/BP
1176 Jackson St	26915082		Queen Anne Cottage	1898	
1196 Jackson St	26915081	Munch House	Neoclassical	c.1906	SP/MA
1210 Jackson St	26915071		Queen Anne Cottage	1895	MA/SP
1226 Jackson St	26915070	Ernest Gardner Wright House	Vernacular Transitional with Craftsman Detailing	c.1904	MA
1236 Jackson St	26915069	Gardner/Appleby House	Pioneer	c.1855	SP/MA
1246 Jackson St	26915068		Queen Anne Cottage	1910	SP
1277 Jackson St	26915013		Queen Anne Cottage	1889	SP
1295 Jackson St	26915001		Stripped Queen Anne Cottage	1889	
1662 Jackson St	26926034	Andrade House	Queen Anne Cottage	1900	
373 Jefferson St	26941009	Berryessa Adobe	Adobe	1840	BP/H
564 Jefferson St	26935034	Turner-Smith House	National	1890	MA
653 Jefferson St	26935028		Stripped Queen Anne	c.1895	SP/MA
658 Jefferson St	26935004	Helena and A. Chris Andersen House	Colonial Revival	1915-1920	MA
660 Jefferson St	26935003		Craftsman Cottage	1925	MA
712 Jefferson St	26926035	H.H. Jahnsen House	Colonial Revival with Elements of Craftsman	1915	
742 Jefferson St	26926034		Queen Anne/Modified	1895	MA/SP
756 Jefferson St	26926033	T.L. Hite House	Stripped Period Revival	1900	
816 Jefferson St	26926009		Pioneer	1880	
825 Jefferson St	26926027		Bungalow	1920	SP
835 Jefferson St	26926028		Bungalow	1920	
836 Jefferson St	26926008		Bungalow	1920	
840 Jefferson St	26926007		Bungalow	1920	
860 Jefferson St	26926006		Bungalow	1920	
1045 Jefferson St	26920022		Craftsman Bungalow	1915	SP
1091 Jefferson St	26920024		Neoclassical Cottage	1903	MA
1210 Jefferson St	26913007	Higgins House	Colonial Revival	1880	
1244 Jefferson St	26913006		Queen Anne Cottage	1890	
1455 Jefferson St	26903026	Coelho/Silva House	California Bungalow	1927	SP/MA



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/ Contract</i>
540 Lafayette St	26938045		Greek Revival	1885	
590 Lafayette St	26938043		Modified Greek Revival	1870	SP
612 Lafayette St	26938098		Colonial Revival	1907	
874 Lafayette St	26928029		Colonial Revival	c.1910	HT
884 Lafayette St	26928028	Bill Wilson Center	Colonial Revival	1910	
1115 Lafayette St	26916053	Robert B. Jones House	Prairie	1913	MA/SP
1193 Lafayette St	26916057	Glendenning House	Pioneer Vernacular	1885	
1231 Lafayette St	26916085		Modified Queen Anne	1890	
1245 Lafayette St	26916028		Craftsman Bungalow	1915	SP
1267 Lafayette St	26916062		Craftsman Bungalow	1912	SP
1338 Lafayette St	26905073		Craftsman Bungalow	1910	
1375 Lafayette St	26906051	S.E.S. Hall	Colonial Revival	1895	
1777 Lafayette St	22474001 through 22474043	Santa Clara Walnut Growers' Association – Main Plant	Craftsman Industrial	1927	MA/BP
410 Lafayette Way	26943045	Queen Anne Cottage		c.1885	
744 Lewis St	26906056		Queen Anne Cottage	1895	SP
860 Lewis St (Also listed as 1375 Lafayette St)	269-06051	S.E.S. Hall	Colonial Revival	1895	
957 Lewis St	26905065		Vernacular	1895	SP
975 Lewis St (formerly 743 Franklin St)	26905066	Franklin Street House	Queen Anne Victorian	c. 1980	
985 Lewis St	26905066	Lucius Starr House	Pioneer Vernacular	1880	
1011 Lewis St	26905054	Fir Tree Hall	Stripped Colonial Revival	1903	
1013 Lewis St	26905054	Fir Tree Hall	Stripped Colonial Revival	1903	
1042 Lewis St	26905040		Pioneer Vernacular	1890	HT/SP
1311 Lewis St	26903124		Queen Anne Cottage	1880	HT/MA
1385 Lewis St	26903145		Pioneer with Italianate	1875	MA
955 Lexington St	26928072	St. Clare's Church	Spanish Colonial Revival	1923	BP
1053 Lexington St	26928075		Minimal Traditional	1935	MA
1098 Lexington St	26928000	Former Mission Corral Site			BP
1246 Lexington St	26926095		Period Revival Cottage	1930	MA/SP
1258 Lexington St	26926094		Greek Revival Cottage	1880	MA
1409 Lexington St	26926022	Newton Jackson House	Stripped Queen Anne Cottage	1894	SP/MA

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address		APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1410	Lexington St	26926048	Varags House	Bungalow Cottage	c.1937	SP/MA
1420	Lexington St	26926047		Vernacular Spanish Eclectic Cottage	c.1938	SP/MA
1435	Lexington St	26926023		Queen Anne Cottage	1885	MA
1451	Lexington St	26926122	Oswald House	Craftsman Bungalow	c.1915	MA
1458	Lexington St	26926045		Pioneer	1895	MA
1464	Lexington St	26926044	Wise House	Vernacular Queen Cottage	1900	MA
1467	Lexington St	26926025	Fred M Merrill House	Queen Anne Cottage	1900	MA/SP
1491	Lexington St	26926026	D.J. West House	Vernacular Gothic Revival with Italianate de	1880	MA/SP
1567	Lexington St	26926011	Samuel Saunders House	Modified Queen Anne Cottage	1890	
1584	Lexington St	26926042	H.M. Sheldon House	Stick/Eastlake	1892	
1805	Lexington St	26919049		California Bungalow	c.1927	SP/MA
490	Lincoln St	26946056	Catholic Cemetery Chapel	Neo-Classical	1885	BP
530	Lincoln St	26934039		Queen Anne Cottage	Pre-1901	
580	Lincoln St	26934037		Greek Revival	Post 1910	
614	Lincoln St	26934017		Craftsman Bungalow	1915	
626	Lincoln St	26934016		Victorian Cottage	c.1890s	MA
741	Lincoln St	26926040	Boscow House	Craftsman Bungalow	c.1910	MA
1000	Lincoln St	26919072	Carmelite Monastery	Spanish Revival	1917	BP
1176	Lincoln St	26912041		California Bungalow	c. 1923	SP/MA
1194	Lincoln St	26912040	Farfan House	Craftsman Bungalow	1910	MA/SP
1310	Lincoln St	26902053	Martin House	Spanish Colonial Revival	1926	
1380	Lincoln St	26902050	Morgan House	Queen Anne	1895	BP/SP
1404	Lincoln St	26902049		Greek Revival	c.1880s	SP
1499	Lincoln St	26903004	Lincoln Laherran Gas Station	Spanish Revival	1920	
1600	Lincoln St	22448015	St. Clare	Statue	1965	
1700	Lincoln St	22449005	United Methodist Church	Modern	1965	
308	Madison St	26941031		Gothic Revival	1885	SP
324	Madison St	26941030	Manuel and Clementia Ferreira Residence	Mediterranean Revival	c. 1936	MA



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
395 Madison St	26941039		Pioneer Style	1885	
466 Madison St	26941023		Gothic Revival	1885	MA/SP
507 Madison St	26936053		Pioneer/Gothic Cottage	1885	
590 Madison St	26935046		Pioneer Style	1885	
710 Madison St	26926052	Avina House	Craftsman with Colonial Revival Details	c.1911	SP/MA
725 Madison St	26926113	George Sullivan House	Craftsman Bungalow	1906	SP
726 Madison St	26926051		Craftsman Bungalow	1905	MA
746 Madison St	26926050	Old Spear Dwelling	Colonial Revival	1901	SP/MA
759 Madison St	26926115	Myers House	Classic Box	1910	MA/SP
766 Madison St	26926049	Zanger House	Italianate	1890	MA/BP
775 Madison St	26926116	Margaret (Rettie) Miller House	Queen Anne	1894	MA/SP
795 Madison St	26926104	Pereira House	Bungalow	c.1913	SP/MA
864 Madison St	26926019		Shingle	1910	SP/MA
904 Madison St	26920042		Vernacular	1880	SP
926 Madison St	26920041		Vernacular	1880	
945 Madison St	26920091	Fernish House	Craftsman Bungalow	1918	SP
1059 Madison St	26920080		Queen Anne Cottage	1895	SP/MA
1075 Madison St	26920081		Queen Anne Cottage	1892	BP/MA
1080 Madison St	26920102		Queen Anne Cottage	1900	HT/SP
1086 Madison St	26920103		Queen Anne	Pre-1901	HT
1159 Madison St	26913067		Craftsman Bungalow	1915	MA
1360 Madison St	26903040		Greek Revival Cottage	c.1880s	SP
1390 Madison St	26903063		Queen Anne Cottage	c.1880	HT/SP/MA
714 Main St	26928043	Dr. Henry Warburton House	Queen Anne (Stripped)	1886	MA/BP
834 Main St	26928062	Slavens House	Spanish Eclectic	1933	MA/SP
1141 Main St	26915048	Kersell/Lorente House	Queen Anne	c.1893	BP/SP/MA
1142 Main St	26915035	Shoemaker House	Queen Anne Cottage	c.1855-89	SP
1158 Main St	26915034		Pioneer Style	c.1855-89	
1159 Main St	26915051	Johnson House	Greek Revival	c.1855-89	MA/BP/SP
1176 Main St	26915033	Brundage House	Vernacular Cottage	c.1855-89	
1195 Main St	26915063	Palmer House	Stick-Eastlake	1885	HT
1196 Main St	26915032	Bliss Morrison House	Pioneer	c.1855-89	
1206 Main St	26915008	J.J. Miller House	Greek Revival	1865	MA/SP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
1220 Main St	26915007	Javaros Zonia	Spanish Colonial Revival	1931	MA
1259 Main St	26915025	David James House	Colonial Revival	1889	
1285 Main St	26915026		California Bungalow	1926	MA
1286 Main St	26915055	Old Episcopal Rectory	Colonial Revival	1888	
1295 Main St	26915014	Maloney House	Queen Anne Cottage	1885	MA/BP
1346 Main St	26905030		Victorian Vernacular Cottage	c.1890	
1356 Main St	26905029	Nathan H. Downing House	Queen Anne Cottage	c.1887	MA
1357 Main St	26905050			c.1880-1930	MA/SP
1365 Main St	26905082			c.1880-1930	
1386 Main St	26905057	Dr. T.E. Gallup House	Vernacular/ Greek Revival	c.1885	
1407 Main St	26905021		Vernacular/ Greek Revival	c.1880	SP
1436 Main St	26905005		Spanish Colonial Cottage	c.1925	
1460 Main St	26905003		Queen Anne Cottage	c.1890	
1597 Main St	22428056		Vernacular National Style	c. 1866	
1711 Main St	22427001		Pioneer/Gothic Revival	c.1901-19	MA
1795 Main St	22427006		Pioneer	c.1920-1925	
554 Mansion Park Dr (formerly 305 Montague Expressway)	09708100	James Lick Mill Mansion	Italianate	1855	HT/NR/BP NRIS No. 85000359
		Granary Recreation Building/ Office Vault/Mill Pond Significant Landscaping Caretaker Cottage		1857	
832 Market St	26938059		Stucco Bungalow/Prairie influence	1926	HT
852 Market St	26938058		Stucco Bungalow/Prairie influence	1926	HT
862 Market St	26938056		Stucco Bungalow/Prairie influence	1930	HT
962 Market St	26938042		Pioneer Vernacular with/ Stick/Eastlake detail	1895	
1272 Market St	26936038	Judge Thompson's House	Craftsman/Prairie Bungalow	1912	MA/SP
1509 Market St	26935006	James Ellis House	Craftsman	1912	



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
1675 Market St	26934019		Queen Anne Cottage	1895	MA/SP
1680 Market St	26934034		Queen Anne Cottage	1895	
1695 Market St	26934020		Stripped Queen Anne Cottage	1895	MA
1701 Market St	26934022		Queen Anne Cottage	1890	
1765 Market St	26934025	Freitas House	Queen Anne Cottage	1905	SP
1889 Market St	26925096	Harris-Lass House	Italianate	1865	HT/BP/H
450 Monroe St	26941092		Pioneer Cottage	1895	SP
590 Monroe St	26936027	Fassett House	Period Revival	1912	MA
610 Monroe St	26936007		Queen Anne with Colonial Revival detailing	1895	SP/MA
670 Monroe St	26936005	Houser House	Queen Anne with Vernacular modifications	1895	
688 Monroe St	26936004		Remodeled Queen Anne Cottage	1895	MA
710 Monroe St	26926111		Vernacular Colonial Revival	1912	SP
726 Monroe St	26926110	Angus Morrison House	Queen Anne with Colonial Revival detailing	1894	MA/SP
734 Monroe St	26926110		Barn	1866	SP
742 Monroe St	26926109		Colonial Revival	1900	MA/SP
760 Monroe St	26926108		Colonial Revival	1893	SP
776 Monroe St	26926107		Colonial Revival Cottage	c.1912	MA/SP
791 Monroe St	26926093	James K. Davis House	Stick/Eastlake	1891	MA
794 Monroe St	26926106	Lewis Kimberlin House	Queen Anne Cottage	1895	
811 Monroe St	26926089		Shingle	1900	SP/MA
823 Monroe St	26926090		Shingle	1900	MA/SP
836 Monroe St	26926071		Queen Anne Cottage	1885	SP
876 Monroe St	26926069		Vernacular Greek Revival	1895	SP
906 Monroe St	26920095		Stick/Eastlake	1890	HT/MA/SP
930 Monroe St	26920087	Clarence Bjorlie House	Colonial Revival	1910	
1190 Monroe St	26913053		Period Revival	c.1910	SP
1191 Monroe St	26915078		Italianate	1880	
4220 Network Circle (formerly 4000 Lafayette St)	09708058	Agnews State Hospital Agnews Insane Asylum	Mediterranean Revival	1911	NR/BP NRIS No. 97000829

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
420 N. Winchester Street	30302014	Eberhard Plaque (Tombstone)			BP
2390 Park Ave	23017034		Tudor Revival	1935	SP
550 Park Ct	26952104		Bungalow Cottage	c.1925-35	
560 Park Ct	26952072		Bungalow Cottage	c.1925-35	
574 Park Ct	26952039		Period Revival Cottage	1927	SP
584 Park Ct	26952038		Period Revival Cottage	c. 1920	MA
631 Park Ct	26952043		Bungalow Cottage	c.1925-35	
633 Park Ct	26952009		Vernacular Craftsman Bungalow	1925	MA
651 Park Ct	26952045		Craftsman Bungalow	1925	MA
691 Park Ct	26952048		Bungalow Cottage	c.1927	MA
753 Park Ct	26952019	Draper House	Bungalow Cottage	c.1927	MA
761 Park Ct	26952051		Bungalow Cottage	c.1925-35	
794 Park Ct	26952054		Vernacular Craftsman	1925	MA
782 Park Ct	26952027		Bungalow Cottage	c.1924	MA
792 Park Ct	26952055		Bungalow Cottage	c.1925-35	
1212 Pierce Street	26911035	Solano House	Vernacular Craftsman	1914	MA
1005 Railroad Avenue	23006050	Santa Clara Railroad Depot	Vernacular	1863	NR/BP/H NRIS No. 85000359
1085 Santa Clara St	26928050	Luis Arguello Home	Georgian Colonial	1868	BP
1149 Santa Clara St	26928043	Dr. Henry Warburton Cottage		1890	MA
1189 Santa Clara St	26928046		Queen Anne/Colonial	c.1901	
1217 Santa Clara St	26926098	Andrew Landrum House	Gothic Revival	1875	NR/BP NRIS No. 82002271
1241 Santa Clara St	26926099	Hamilton House	Colonial Revival	c.1910	
1346 Santa Clara St	26936003	C.C. Woodward House	Queen Anne Cottage	1895	
1358 Santa Clara St	26936003		Queen Anne Cottage	1901	MA
1393 Santa Clara St	26926112		Dutch Colonial Revival with Craftsman detail	1906	SP/MA
1410 Santa Clara St	26935019	Murschel/Fraga House	Colonial Revival	1905	MA
1460 Santa Clara St	26935018	Julius Emig House	Queen Anne Colonial	1905	MA/BP
1480 Santa Clara St	26935016	Ruf House		c1901-15	MA
1490 Santa Clara St	26935015		Gothic Revival	c.1880s	MA



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address		APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1640	Santa Clara St	26934007		Modified Queen Anne	1910	
1655	Santa Clara St	26925058	Felix/George H. Roll House	Colonial Revival	1906	MA
1754	Santa Clara St	26934003	Randall House	Colonial Revival	c.1901-1905	SP
1232	Warburton Ave	22424063		Craftsman Bungalow	1924	MA
1500	Warburton Ave	22425074	Universal Child	Statue	1965	
1505	Warburton Ave	22450001	Austin Warburton Plaque			BP
1505	Warburton Ave	22450001	Jamison-Brown House	Colonial Revival (remodel)	1866	BP/H
1505	Warburton Ave	22450001	Triton Museum	Modern	1986	
1509	Warburton Ave	22450001	Headen-Inman House	Craftsman Bungalow	1920	BP/H
270	Washington St	26947149	Washington Ball Park	Ball Park		
531	Washington St	26938051		Vernacular	1905	
551	Washington St	26938052		Queen Anne	1885	
561	Washington St	26938053		Queen Anne Cottage	c.1890	
616	Washington St	26936076	Robert Fatjo House	Colonial Revival	1911	HT
725	Washington St	26928053	St. Clare Parish Plaque			BP
807	Washington St	26928033	St. Clare's Rectory	Mission Revival	1918	
810	Washington St	26928069		Pioneer	1885	HT
826	Washington St	26928020		Queen Anne	1885	HT
844	Washington St	26928019		Queen Anne Cottage	1895	SP
860	Washington St	26928018		Colonial Revival	1910	
890	Washington St	26928073		Bungalow	1920	HT
1116	Washington St	26915046	Dr. Paul House	Eastlake	1892	
1155	Washington St	26916059	Senator Frank House Site	Site with landscaping	1856	BP
1179	Washington St	26916036	Franck House	Colonial Revival	1905	MA/BP
1184	Washington St	26915043	Russell/Robinson House	Carpenter Gothic	1861	BP
1270	Washington St	26915018	Mulhall House	Simplified Queen Anne Cottage with Stick detail	1861	SP
1290	Washington St	26915017		Spanish Colonial Revival	c.1928	
1367	Washington St	26905078	Mendonca House	Colonial Revival Cottage	c,1910	

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
1391 Washington St	26926112	Cunningham House	Italianate	1890	
1687 Washington St	22428031		Colonial Revival Cottage	1910	
1866 Washington St	22427013		Craftsman/Bungalow	c.1910	MA/SP

NR = National Register

SR = State Register with State Historic Landmark Plaque (SHLP) Number

BP = Bronze Plaque

SP = Small Plaque

MA = Mills Act

HT = Historic Combining District



Figure 8.9-1
Architecturally Significant &
Historic Places

- Architecturally Significant & Historic Sites
- Insets: See Figure 9.8-2
- Rail & Light Rail
- Stations
- City Limits
- Creek
- Existing Creek Trail

Source: City of Santa Clara, 2009,
Dyett & Bhatia 2009.

Refer to Table 8.9-1 for a complete
list of Architecturally Significant &
Historic Places

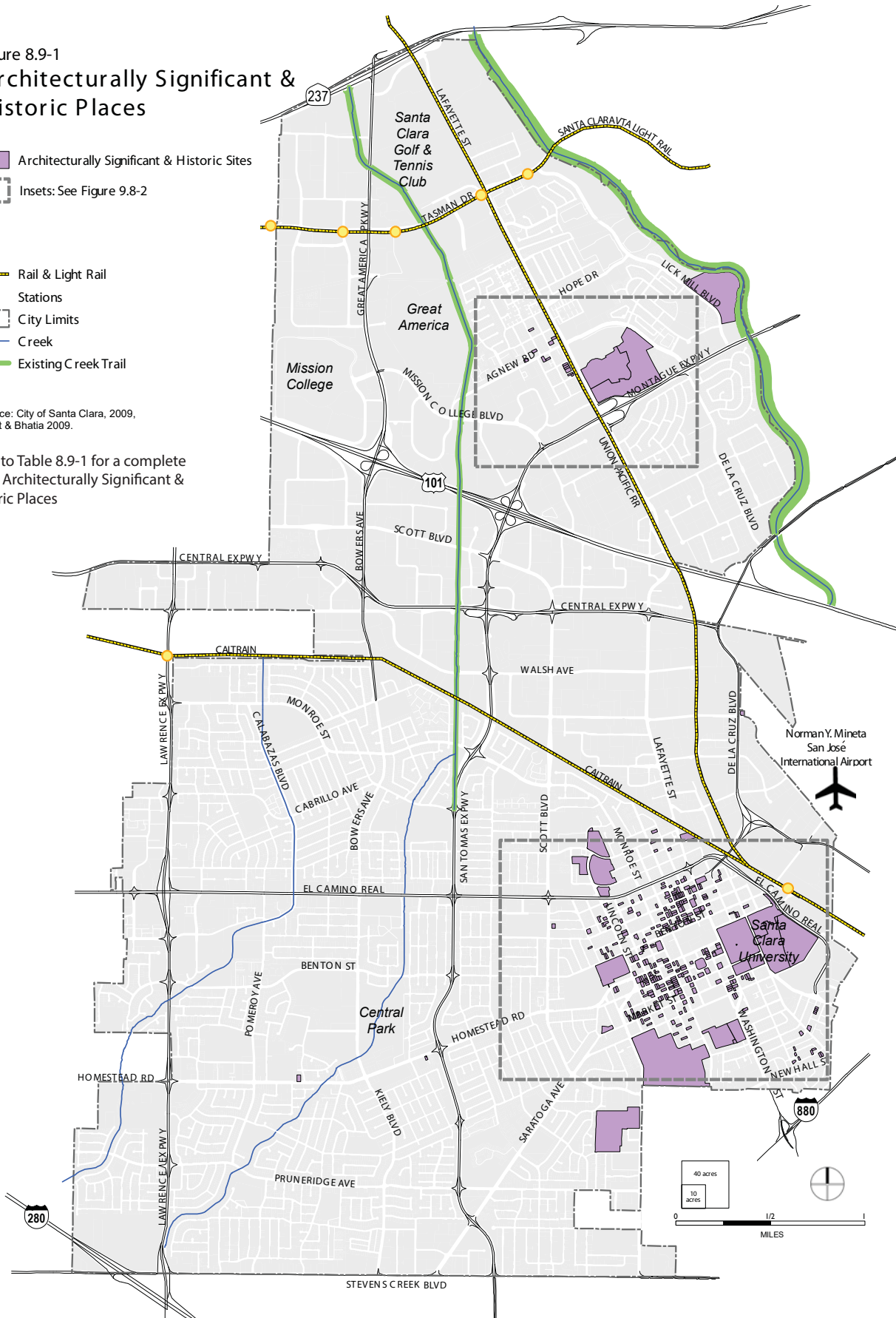


Figure 8.9-2

Architecturally Significant & Historic Places

Agnew Village

- Architecturally Significant & Historic Sites
- 100ft buffer around Historic Sites

- Rail & Light Rail

- Stations

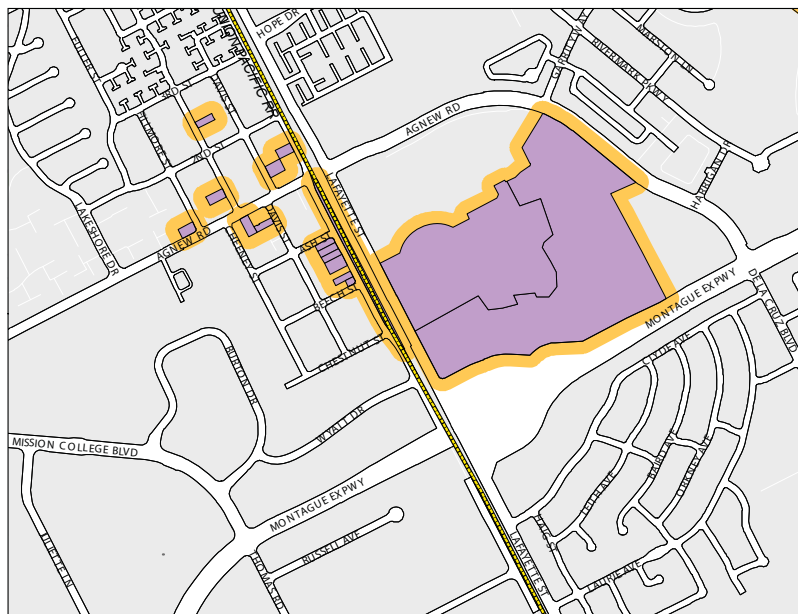
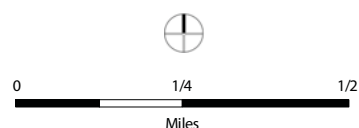
- City Limits

- Creek

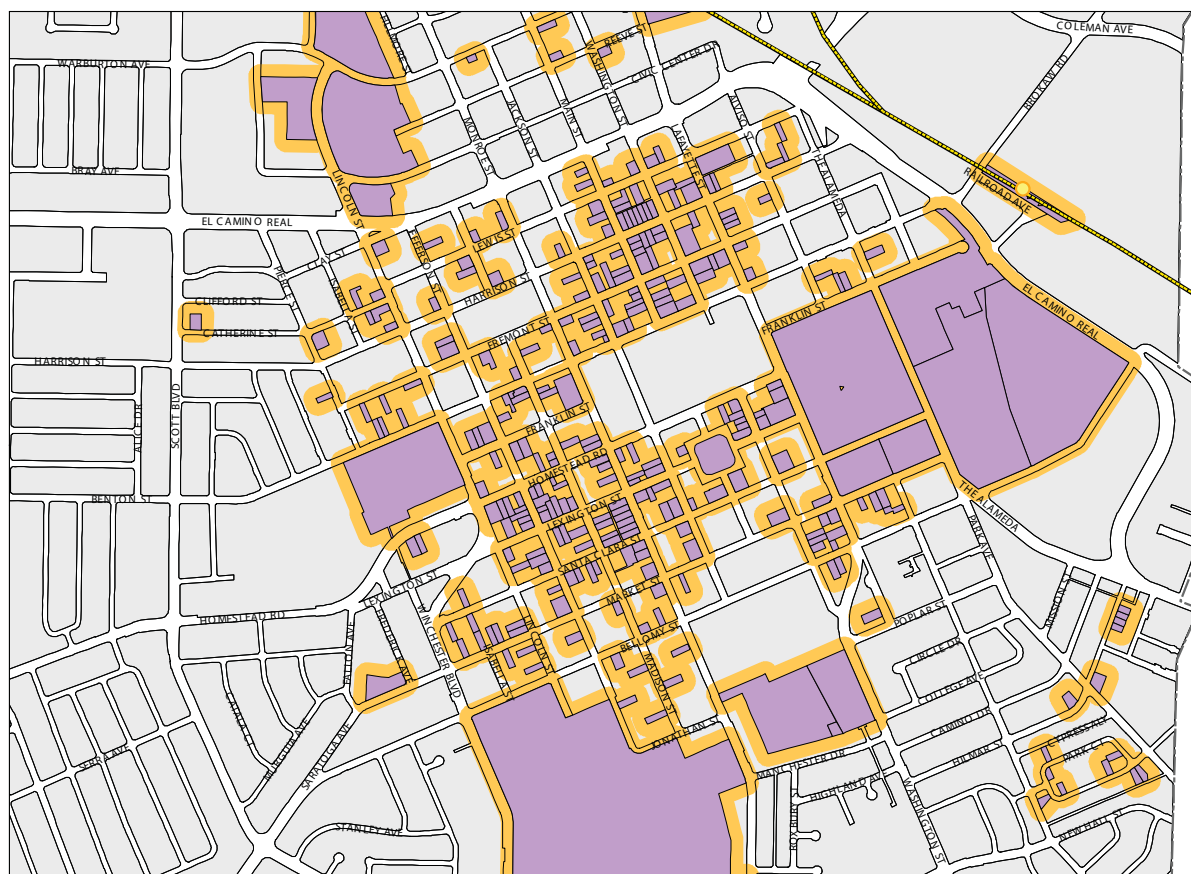
- Existing Creek Trail

Source: City of Santa Clara, 2009,
Dyett & Bhatia 2009.

Refer to Table 8.9-1 for a complete
list of Architecturally Significant &
Historic Places



Old Quad Area





8.9.2 Criteria for Local Significance

The Criteria for Local Significance were adopted on April 20, 2004, by the City of Santa Clara City Council.

Qualified Historic Resource

Any building, site, or property in the City that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archeological significance is potentially eligible.

Criterion for Historical or Cultural Significance

To be historically or culturally significant, a property must meet at least one of the following criterion:

- The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state, or nation.
- The property is associated with a historical event.
- The property is associated with an important individual or group who contributed in a significant way to the political, social and/or cultural life of the community.
- The property is associated with a significant industrial, institutional, commercial, agricultural, or transportation activity.
- A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure.
- A notable historical relationship between a site, building, or property's site and its immediate environment, including original native trees, topographical features, outbuildings or agricultural setting.

Criterion for Architectural Significance

To be architecturally significant, a property must meet at least one of the following criterion:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.
2. The property is identified with a particular architect, master builder or craftsman.
3. The property is architecturally unique or innovative.
4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance.

5. The property has a visual symbolic meaning or appeal for the community.
6. A building's unique or uncommon building materials, or its historically early or innovative method of construction or assembly.
7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

Criterion for Geographic Significance

To be geographically significant, a property must meet at least one of the following criterion:

1. A neighborhood, group or unique area directly associated with broad patterns of local area history.
2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.
3. An intact, historical landscape or landscape features associated with an existing building.
4. A notable use of landscaping design in conjunction with an existing building.

Criterion for Archaeological Significance

For the purposes of CEQA, an "important archaeological resource" is one which:

1. Is associated with an event or person of
 - A. Recognized significance in California or American history, or
 - B. Recognized scientific importance in prehistory.
2. Can provide information, which is both of demonstrable public interest, and useful in addressing scientifically consequential and reasonable or archaeological research questions;
3. Has a special or particular quality such as oldest, best example, largest, or last surviving example of its kind;
4. Is at least 100 years old and possesses substantial stratigraphic integrity; or
5. Involves important research questions that historical research has shown can be answered only with archaeological methods.



Definition of Integrity

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register criteria recognize seven aspects to integrity. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association. To retain historic integrity, a property will always possess several, and usually most, of these aspects.

Properties must have sufficient integrity in addition to meeting the criterion for significance in order to be considered a qualified historic resource.

Note that application of the adopted criteria is required for all CEQA documents evaluating potential or listed historic resources and required for preparation of historic resource inventory forms (surveys).

8.9 HISTORIC PRESERVATION AND RESOURCE INVENTORY



**SANTA CLARA
GENERAL PLAN**

8.9 HISTORIC PRESERVATION AND RESOURCE INVENTORY

Table 8.9-1 and Figure 8.9-1 identify the names and locations of the historic properties in the City of Santa Clara. In addition, this Appendix includes a depiction of the Areas of Historic Sensitivity, defined as 100 feet from the property line of an identified historically significant property. Figure 8.9-2 shows this 100-foot area around historic properties in the Old Quad and Agnew neighborhoods where a number of the City's resources are located.

Following the list and description of historic properties are the adopted Criteria for Local Significance for the City of Santa Clara. These criteria establish evaluation measures that help to determine significance for properties not yet included on the list. As buildings and other resources age, additional properties will be added to the inventory. In order to accomplish this, a property owner can apply to have their property listed as a historic resource, or the City can nominate properties. The Historical and Landmarks Commission evaluates these applications and forwards a recommendation to the City Council. Updates to the Historic Preservation and Resource Inventory is considered an amendment to the General Plan.

8.9.1 Historic Properties

The following table includes local, State and nationally designated properties in the City of Santa Clara. The table is organized alphabetically by street name.

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
2086 Agnew Road	10412028	Agnew School	School	1890	
3260 The Alameda	23008016	Santa Clara Woman's Club (Old Adobe Woman's Club)	Adobe	1790	BP/H (SHLP No. 249)
536 Alviso St	26938063	Cronin House	Pioneer Vernacular	1880	
1065 Alviso St	26923044 26923074	Larder House The German House	Italianate Falsefront	1860	
1072 Alviso St (formerly 3100 The Alameda)	26923074		Craftsman Bungalow	1930	
1081 Alviso St	26923047	Larder House The German House	Italianate Falsefront	1860	
1260 Alviso St	26916018		Italianate Cottage	1880	



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1309 Alviso St	26906062	Martin House	Queen Anne Cottage	1890	MA
4100 Bassett St	10412196		Colonial Revival Cottage	1906	
4120 Bassett St	10412127		Colonial Revival Cottage	1906	
4150 Bassett St	10412125			c.1910	
4160 Bassett St	10412124			c.1920	
4170 Bassett St	10412123		Italianate Cottage		
4185 Bassett St	10412162	Agnew Railroad Station	Vernacular	1896	BP
4190 Bassett St	10412194			c.1900	
4350 Bassett St	10411004	Floyd Jamison House	Spanish Eclectic	1918	
947 Bellomy St	26938048		Queen Anne Cottage	1895	
950 Bellomy St	26943033	Roll House	Queen Anne Cottage	1888	
<u>961 Bellomy St</u> <u>(formerly 741 Franklin St)</u>	<u>26938114</u>		<u>Eastlake Victorian</u>	<u>c.1887</u>	
966 Bellomy St	26943032		Stick/Eastlake	1895	
1341 Bellomy St	26936032		Gothic Revival	1902	
1456 Bellomy St	26941018		Craftsman Bungalow	1916	
<u>1476 Bellomy St</u>	<u>26935066</u>	<u>Rabello-Carreiro Residence</u>	<u>Vernacular Colonial Revival</u>	<u>1901</u>	<u>MA</u>
1045 Benton St	26915046	Dr. Saxe's Office	Pioneer	1860	HT/BP
1075 Benton St	26915047	Dr. Saxe's House	Greek Revival	1870	
1161 Benton St	26915038		Italianate	1880	
1191 Benton St	26915039	Robert Menzel House	Queen Anne	1895	BP
1215 Benton St	26915086		California Bungalow with Prairie Accents	1926	MA
1291 Benton St	26915092		Greek Revival Stripped	1870	MA
1415 Benton St	26913036		Vernacular Cottage	1895	MA
1450 Benton St	26920104		Craftsman		HT
1470 Benton St	26920105		Craftsman Bungalow		HT
1681 Benton St	26912049	Toro House	Vernacular Craftsman Bungalow	1918	MA/SP
1737 Benton St	26912053		Vernacular Craftsman Bungalow	1910	MA
1751 Benton St	26912061	Donovan House (Cowboy Jim Donovan)	Craftsman Bungalow	1910	MA/BP
1646 Catherine St	26902068	Trogden House	Vernacular Cottage	1925-1927	
1669 Catherine St	26902071		Pioneer Vernacular	1870	SP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1786 Catherine St	26902063	Juan Fatjo House	Greek Revival with later Victorian alteration	1860	BP
1895 Catherine St	26901088		Pioneer with Italianate Details	1885	MA/SP/BP
<u>1130 Chapel Dr</u>	<u>26911127</u>	<u>John P. Sumaquero House</u>	<u>Minimal Traditional</u>	<u>1948</u>	<u>SP/MA</u>
1140 Chapel Dr.	26911126	Beaurev House	Minimal Traditional	1948	MA
<u>1150 Chapel Dr.</u>	<u>26911125</u>		<u>Minimal Traditional</u>	<u>1948</u>	<u>SP/MA</u>
4334 Cheeney St	10411041		Colonial Revival Cottage	c.1905	
4433 Cheeney St	10410025		Colonial Revival	1905	
<u>1243 Civic Center Dr</u>	<u>22426026</u>		<u>Craftsman</u>	<u>1949</u>	
4262 Davis St	10412019		Modified Greek Revival		
4321 Davis St	10411084				
2501 De La Cruz	23003103	Old Sites of Mission Santa Clara de Asis and Old Spanish Bridge			SHLP No. 250
500 El Camino Real	26923073	Santa Clara University (formerly Santa Clara College) (formerly University of Santa Clara) Adobe Wall and Adobe Lodge-Mission Period	Spanish Colonial	1822-25	
		Nobili Hall	Spanish Colonial	1930	
		Kenna Hall	Mission Revival/Spanish Colonial Revival Style	1924-29	
		Varsi Hall	Spanish Colonial Revival	1931	
		Administrative Hall/St Joseph's Hall	Mission Revival	1911	
		O'Conner Hall	Mission Revival	1912	
		Donohoe Alumni House	Mission Revival	1925	
		Ricard Memorial Observatory	Spanish Colonial Revival	1928	



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address		APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
			Santa Clara Mission Church	Spanish Colonial Revival	c.1928	BP SHLP NO. 338
			Mission Santa Clara			
			Seifert & Loyola Gates - Franklin St & Alviso St	Mission Revival	1922	
			El Camino Real & Accolti Way Gates (formerly Bellomy St)	Mission Revival	1922	
			Michael C. Dunne Memorial Gates	Mission Revival	1922	
980	El Camino Real (formerly 1475 Washington St.)	26905093		Pioneer Vernacular with Italianate Details	c. 1885	HT/MA
1515	El Camino Real	22448015	St. Clare	Statue	1965	
1525	El Camino Real	22448015	Santa Clara Campaign Treasury Site			SHLP No. 260
4406	Fillmore Street	10410068	J.M. Williamson House	Colonial Revival Cottage	1925	
741	Franklin St	26923039		Queen Anne Cottage	1890	HT
743	Franklin St	26923040		Queen Anne Cottage	1890	HT
801	Franklin St - Santa Clara University (formerly 644 Franklin St)	26923067	Jesuit Residence	Mission Revival	c.1935	
1313	Franklin	269200789		Veterans Memorial Plaque		BP
1391	St (Plaque relocated from 1313 Franklin St)					
1464	Franklin St	26920053	Oscar Eberhard House	Period Revival Craftsman	1912	MA
1488	Franklin St	26920065		Period Revival with Craftsman detailing	1916	HT
1515	Franklin St	26920072	Henry Pfister House	Colonial Revival	1912	MA
1525	Franklin St	26920072	Henry Roth House	Craftsman Bungalow	1915	MA
1526	Franklin St	26920026		Craftsman Bungalow	1915	
1543	Franklin St	26920004		Craftsman Bungalow	c.1912	MA/SP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1565 Franklin St	26920005		Modified Colonial Revival	c.1901	
908 Fremont St	26916032	Nuttman Residence	1930's Colonial Revival	1939	
936 Fremont St	26916031	Gould/South House	Spanish Eclectic Cottage	1937	MA/SP
981 Fremont St	26916011	Morse Mansion Charles Copeland Morse House	Queen Anne	1892	HT/NR/ BP (NRIS No. 7700347 SHLP No. 904)
1061 Fremont St	26915023	Pinkham House	Craftsman Bungalow	c.1918	MA
1091 Fremont St	26915024	Peebles/ Hichborn House	Pioneer/Italianate House	1868	BP
1159 Fremont St	26915009		Eastlake	1885	
1191 Fremont St	26915011	H.L. Warburton House	Stripped Queen Anne	1889	SP
1194 Fremont St	26915057		Pioneer	1878	
<u>1251 Fremont St</u>	<u>26915072</u>	<u>A.H Santos House</u>	<u>Colonial Revival</u>	<u>c.1904</u>	<u>SP/MA</u>
1460 Fremont St	26913030	William Hayward House	Greek Revival	1880	SP
1700 Fremont St	26912036		Craftsman Bungalow	1910	SP
1756 Fremont St	26912033	Vasquez House	Pioneer	1870	SP/MA
755 Harrison St	26906061	Pereira/Swain House	Four Square	1900	MA
891 Harrison St	26906040	Frank Nevis House	Spanish Colonial Revival	1915	
895 Harrison St	26906041		Queen Anne Cottage	1895	
925 Harrison St	26905074	J.M. Billings House	Italianate	1880	MA
946 Harrison St	26916004		Bungalow	1920	MA
985 Harrison St	26905076		Normandy	1925	MA/SP
1009 Harrison St	26905043		Queen Anne	c.1890s	MA/SP
1025 Harrison St	26905044	Anton Doll House	Stick/Eastlake	c.1890s	SP
1037 Harrison St	26905045		Shingle	c.1890s	
1050 Harrison St	26915016	Madan House	Queen Anne Cottage	1866	MA/SP
1051 Harrison St	26905046	Zibeeon O. Field House	Stick/Eastlake	1891	BP
1060 Harrison St	26915015		Queen Anne Cottage	c.1895	
1065 Harrison St	26905047	Coffin/Gil House	Stick/Eastlake	c.1891	MA/SP
1077 Harrison St	26905048		Stick/Eastlake	c.1890s	MA/SP



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1091 Harrison St	26905049		Stick/Eastlake	c.1890s	
1111 Harrison St	26905031		Stick/Eastlake	1892	SP/ MA
1217 Harrison St	26903096	Charles Parker House	Greek Revival	1880	MA
1395 Harrison St	26903112	LaFon Residence	Pioneer	1860	
1511 Harrison St	26903017		Italianate	1880	
530 Hilmar St	23017043		Tudor Revival	1935	
540 Hilmar St	23017042		Tudor Revival	1935	
550 Hilmar St	23017041		Tudor Revival	1935	
560 Hilmar St	23017040		Tudor Revival	1935	
715 Hilmar St	26950031	Pasetta House	French Eclectic	1940	MA
1044 Homestead Rd	26928015	Luis G. "George" Fatjo House	Prairie School Eclectic	1913	MA
1258 Homestead Rd	26926081		Shingle/Colonial	1901	
1298 Homestead Rd	26926079	Elim German Community Church	Gothic Revival	1900	
1310 Homestead Rd	26926067	Kenneth Morrison House	Colonial Revival	1910	
1440 Homestead Rd	26926017		Pioneer/Gothic	Post 1890	SP
1445 Homestead Rd	26920044			Post 1890	
1474 Homestead Rd	26926014		Queen Anne Cottage	Post 1890	
1494 Homestead Rd	26926119		Queen Anne Cottage	Post 1890	MA
1516 Homestead Rd	26926005	Hamon House	Colonial Revival/Shingle	c.1919	MA
1540 Homestead Rd	26926003	Albert McIntyre House	Colonial Revival	1905	SP/ MA
1560 Homestead Rd	26926002		Pioneer Vernacular	1880	
1588 Homestead Rd	26926118	Hyland/Kiely House	Queen Anne	1889	HT/MA/ SP/BP
1591 Homestead Rd	26920093	William Parmer House	Simplified Colonial Revival	1895	HT/ MA
1770 Homestead Rd	26919056	Jesse and Nellie Mae Brown House	Craftsman Bungalow	c.1920	MA
1780 Homestead Rd	26919061		Craftsman Bungalow	c.1920	
2566 Homestead Rd	29455001	Caldwell House	Period Revival Farmhouse	1915	MA
3023 Homestead Rd	29025073	Azzarello Residence	Craftsman	1920	
610 Jackson St	26936018	Wm. A. Wilson House	Spanish Colonial Revival	1935	SP/ MA
690 Jackson St	26936056	Budde House	Spanish Eclectic	1926	SP
758 Jackson St	26926097	Marsh/Rimple House	National	c.1875	MA

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
796 Jackson St	26926095	Ferrera Moore House	Pioneer Vernacular	1906	MA
<u>805 Jackson St</u>	<u>26928008</u>		<u>Colonial Revival</u>	<u>c.1908</u>	<u>SP/MA</u>
806 Jackson St	26926087		Queen Anne Cottage	1880	MA/SP
834 Jackson St	26926086		Queen Anne Cottage	c.1890	SP
1124 Jackson St	26915085	Rogers House	Colonial Revival	1910	MA
1160 Jackson St	26915083	<u>Aaron C. Warren House</u>	Queen Anne	1890	MA/SP/ <u>BP</u>
1176 Jackson St	26915082		Queen Anne Cottage	1898	
<u>1196 Jackson St</u>	<u>26915081</u>	<u>Munch House</u>	<u>Neoclassical</u>	<u>c.1906</u>	<u>SP/MA</u>
1210 Jackson St	26915071		Queen Anne Cottage	1895	MA/SP
<u>1226 Jackson St</u>	<u>26915070</u>	<u>Ernest Gardner Wright House</u>	<u>Vernacular Transitional with Craftsman Detailing</u>	<u>c.1904</u>	<u>MA</u>
<u>1236 Jackson St</u>	<u>26915069</u>	<u>Gardner/Appleyby House</u>	<u>Pioneer</u>	<u>c.1855</u>	<u>SP/MA</u>
1246 Jackson St	26915068		Queen Anne Cottage	1910	SP
1277 Jackson St	26915013		Queen Anne Cottage	1889	SP
1295 Jackson St	26915001		Stripped Queen Anne Cottage	1889	
1662 Jackson St	26926034	Andrade House	Queen Anne Cottage	1900	
373 Jefferson St	26941009	Berryessa Adobe	Adobe	1840	BP/H
564 Jefferson St	26935034	Turner-Smith House	National	1890	MA
<u>653 Jefferson St</u>	<u>26935028</u>		<u>Stripped Queen Anne</u>	<u>c.1895</u>	<u>SP/MA</u>
658 Jefferson St	26935004	Helena and A. Chris Andersen House	Colonial Revival	1915-1920	MA
<u>660 Jefferson St</u>	<u>26935003</u>		<u>Craftsman Cottage</u>	<u>1925</u>	<u>MA</u>
712 Jefferson St	26926035	H.H. Jahnsen House	Colonial Revival with Elements of Craftsman	1915	
742 Jefferson St	26926034		Queen Anne/Modified	1895	MA/SP
756 Jefferson St	26926033	T.L. Hite House	Stripped Period Revival	1900	
816 Jefferson St	26926009		Pioneer	1880	
825 Jefferson St	26926027		Bungalow	1920	SP
835 Jefferson St	26926028		Bungalow	1920	
836 Jefferson St	26926008		Bungalow	1920	
840 Jefferson St	26926007		Bungalow	1920	
860 Jefferson St	26926006		Bungalow	1920	
1045 Jefferson St	26920022		Craftsman Bungalow	1915	SP
<u>1091 Jefferson St</u>	<u>26920024</u>		<u>Neoclassical Cottage</u>	<u>1903</u>	<u>MA</u>



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1210 Jefferson St	26913007	Higgins House	Colonial Revival	1880	
1244 Jefferson St	26913006		Queen Anne Cottage	1890	
1455 Jefferson St	26903026	Coelho/Silva House	California Bungalow	1927	SP/MA
540 Lafayette St	26938045		Greek Revival	1885	
590 Lafayette St	26938043		Modified Greek Revival	1870	SP
612 Lafayette St	26938098		Colonial Revival	1907	
874 Lafayette St	26928029		Colonial Revival	c.1910	HT
884 Lafayette St	26928028	Bill Wilson Center	Colonial Revival	1910	
1115 Lafayette St	26916053	Robert B. Jones House	Prairie	1913	MA/SP
1193 Lafayette St	26916057	Glendenning House	Pioneer Vernacular	1885	
1231 Lafayette St	26916085		Modified Queen Anne	1890	
1245 Lafayette St	26916028		Craftsman Bungalow	1915	SP
1267 Lafayette St	26916062		Craftsman Bungalow	1912	SP
1338 Lafayette St	26905073		Craftsman Bungalow	1910	
1375 Lafayette St	26906051	S.E.S. Hall	Colonial Revival	1895	
1777 Lafayette St	22474001 through 22474043	Santa Clara Walnut Growers' Association – Main Plant	Craftsman Industrial	1927	MA/BP
410 Lafayette Way	26943045	Queen Anne Cottage		c.1885	
744 Lewis St	26906056		Queen Anne Cottage	1895	SP
860 Lewis St (Also listed as 1375 Lafayette St)	269-06051	S.E.S. Hall	Colonial Revival	1895	
957 Lewis St	26905065		Vernacular	1895	SP
975 Lewis St (formerly 743 Franklin St)	26905066	Franklin Street House	Queen Anne Victorian	c. 1980	
985 Lewis St	26905066	Lucius Starr House	Pioneer Vernacular	1880	
1011 Lewis St	26905054	Fir Tree Hall	Stripped Colonial Revival	1903	
1013 Lewis St	26905054	Fir Tree Hall	Stripped Colonial Revival	1903	
1042 Lewis St	26905040		Pioneer Vernacular	1890	HT/SP
1311 Lewis St	26903124		Queen Anne Cottage	1880	HT/ MA
1385 Lewis St	26903145		Pioneer with Italianate	1875	MA
955 Lexington St	26928072	St. Clare's Church	Spanish Colonial Revival	1923	BP
1053 Lexington St	26928075		Minimal Traditional	1935	MA
1098 Lexington St	26928000	Former Mission Corral Site			BP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1246 Lexington St	26926095		Period Revival Cottage	1930	MA/SP
1258 Lexington St	26926094		Greek Revival Cottage	1880	MA
1409 Lexington St	26926022	Newton Jackson House	Stripped Queen Anne Cottage	1894	SP/MA
<u>1410 Lexington St</u>	<u>26926048</u>	<u>Varags House</u>	<u>Bungalow Cottage</u>	<u>c.1937</u>	<u>SP/MA</u>
<u>1420 Lexington St</u>	<u>26926047</u>		<u>Vernacular Spanish Eclectic Cottage</u>	<u>c.1938</u>	<u>SP/MA</u>
1435 Lexington St	26926023		Queen Anne Cottage	1885	MA
1451 Lexington St	26926122	Oswald House	Craftsman Bungalow	c.1915	MA
1458 Lexington St	26926045		Pioneer	1895	MA
1464 Lexington St	26926044	Wise House	Vernacular Queen Cottage	1900	MA
1467 Lexington St	26926025	Fred M Merrill House	Queen Anne Cottage	1900	MA/SP
1491 Lexington St	26926026	D.J. West House	Vernacular Gothic Revival with Italianate de	1880	MA/SP
1567 Lexington St	26926011	Samuel Saunders House	Modified Queen Anne Cottage	1890	
1584 Lexington St	26926042	H.M. Sheldon House	Stick/Eastlake	1892	
<u>1805 Lexington St</u>	<u>26919049</u>		<u>California Bungalow</u>	<u>c.1927</u>	<u>SP/MA</u>
<u>450</u> 490 Lincoln St	26946056	Catholic Cemetery Chapel	Neo-Classical	1885	BP
530 Lincoln St	26934039		Queen Anne Cottage	Pre-1901	
580 Lincoln St	26934037		Greek Revival	Post 1910	
614 Lincoln St	26934017		Craftsman Bungalow	1915	
626 Lincoln St	26934016		Victorian Cottage	c.1890s	MA
741 Lincoln St	26926040	<u>Boscow House</u>	Craftsman Bungalow	c.1910	MA
1000 Lincoln St	26919072	Carmelite Monastery	Spanish Revival	1917	BP
<u>1176 Lincoln St</u>	<u>26912041</u>		<u>California Bungalow</u>	<u>c. 1923</u>	<u>SP/MA</u>
1194 Lincoln St	26912040	Farfan House	Craftsman Bungalow	1910	MA/SP
1310 Lincoln St	26902053	Martin House	Spanish Colonial Revival	1926	
1380 Lincoln St	26902050	Morgan House	Queen Anne	1895	BP/SP
1404 Lincoln St	26902049		Greek Revival	c.1880s	SP
1499 Lincoln St	26903004	Lincoln Laherran Gas Station	Spanish Revival	1920	
1600 Lincoln St	22448015	St. Clare	Statue	1965	



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address		APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1700	Lincoln St	22449005	United Methodist Church	Modern	1965	
308	Madison St	26941031		Gothic Revival	1885	SP
324	Madison St	26941030	Manuel and Clementia Ferreira Residence	Mediterranean Revival	c. 1936	MA
395	Madison St	26941039		Pioneer Style	1885	
466	Madison St	26941023		Gothic Revival	1885	MA/SP
507	Madison St	26936053		Pioneer/Gothic Cottage	1885	
590	Madison St	26935046		Pioneer Style	1885	
710	Madison St	26926052	Avina House	Craftsman with Colonial Revival Details	c.1911	SP/MA
725	Madison St	26926113	George Sullivan House	Craftsman Bungalow	1906	SP
726	Madison St	26926051		Craftsman Bungalow	1905	MA
746	Madison St	26926050	Old Spear Dwelling	Colonial Revival	1901	SP/MA
759	Madison St	26926115	Myers House	Classic Box	1910	MA/SP
766	Madison St	26926049	Zanger House	Italianate	1890	MA/ BP
775	Madison St	26926116	Margaret (Rettie) Miller House	Queen Anne	1894	MA/SP
795	Madison St	26926104	Pereira House	Bungalow	c.1913	SP/MA
864	Madison St	26926019		Shingle	1910	SP/ MA
904	Madison St	26920042		Vernacular	1880	SP
926	Madison St	26920041		Vernacular	1880	
945	Madison St	26920091	Fernish House	Craftsman Bungalow	1918	SP
1059	Madison St	26920080		Queen Anne Cottage	1895	SP/ MA
1075	Madison St	26920081		Queen Anne Cottage	1892	BP/MA
1080	Madison St	26920102		Queen Anne Cottage	1900	HT/SP
1086	Madison St	26920103		Queen Anne	Pre-1901	HT
1159	Madison St	26913067		Craftsman Bungalow	1915	MA
1360	Madison St	26903040		Greek Revival Cottage	c.1880s	SP
1390	Madison St	26903063		Queen Anne Cottage	c.1880	HT/SP/ MA
714	Main St	26928043	Dr. Henry Warburton House	Queen Anne (Stripped)	1886	MA/BP
834	Main St	26928062	Slavens House	Spanish Eclectic	1933	MA/SP
1141	Main St	26915048	Kersell/Lorente House	Queen Anne	c.1893	BP/SP/ MA
1142	Main St	26915035	Shoemaker House	Queen Anne Cottage	c.1855-89	SP
1158	Main St	26915034		Pioneer Style	c.1855-89	
1159	Main St	26915051	Johnson House	Greek Revival	c.1855-89	MA/BP/SP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1176 Main St	26915033	Brundage House	Vernacular Cottage	c.1855-89	
1195 Main St	26915063	Palmer House	Stick-Eastlake	1885	HT
1196 Main St	26915032	Bliss Morrison House	Pioneer	c.1855-89	
1206 Main St	26915008	J.J. Miller House	Greek Revival	1865	MA/SP
1220 Main St	26915007	Javaros Zonia	Spanish Colonial Revival	1931	MA
1259 Main St	26915025	David James House	Colonial Revival	1889	
1285 Main St	26915026		California Bungalow	1926	MA
1286 Main St	26915055	Old Episcopal Rectory	Colonial Revival	1888	
1295 Main St	26915014	Maloney House	Queen Anne Cottage	1885	MA/BP
1346 Main St	26905030		Victorian Vernacular Cottage	c.1890	
1356 Main St	26905029	Nathan H. Downing House	Queen Anne Cottage	c.1887	MA
1357 Main St	26905050			c.1880-1930	MA/SP
1365 Main St	26905082			c.1880-1930	
1386 Main St	26905057	Dr. T.E. Gallup House	Vernacular/ Greek Revival	c.1885	
1407 Main St	26905021		Vernacular/ Greek Revival	c.1880	SP
1436 Main St	26905005		Spanish Colonial Cottage	c.1925	
1460 Main St	26905003		Queen Anne Cottage	c.1890	
<u>1597 Main St</u>	<u>22428056</u>		<u>Vernacular National Style</u>	<u>c. 1866</u>	
1711 Main St	22427001		Pioneer/Gothic Revival	c.1901-19	MA
1795 Main St	22427006		Pioneer	c.1920-1925	
554 Mansion Park Dr (formerly 305 Montague Expressway)	09708100	James Lick Mill Mansion	Italianate	1855	HT/NR/BP NRIS No. 85000359
		Granary Recreation Building/ Office Vault/Mill Pond Significant Landscaping Caretaker Cottage		1857	
832 Market St	26938059		Stucco Bungalow/Prairie influence	1926	HT
852 Market St	26938058		Stucco Bungalow/Prairie influence	1926	HT
862 Market St	26938056		Stucco Bungalow/Prairie influence	1930	HT



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
962 Market St	26938042		Pioneer Vernacular with/ Stick/Eastlake detail	1895	
1272 Market St	26936038	Judge Thompson's House	Craftsman/Prairie Bungalow	1912	MA/SP
1509 Market St	26935006	James Ellis House	Craftsman	1912	
1675 Market St	26934019		Queen Anne Cottage	1895	MA/SP
1680 Market St	26934034		Queen Anne Cottage	1895	
1695 Market St	26934020		Stripped Queen Anne Cottage	1895	MA
1701 Market St	26934022		Queen Anne Cottage	1890	
1765 Market St	26934025	Freitas House	Queen Anne Cottage	1905	SP
1889 Market St	2692509	Harris-Lass House	Italianate	1865	HT/BP/H
450 Monroe St	2694108392		Pioneer Cottage	1895	SP
590 Monroe St	26936027	Fassett House	Period Revival	1912	MA
610 Monroe St	26936007		Queen Anne with Colonial Revival detailing	1895	SP/MA
670 Monroe St	26936005	Houser House	Queen Anne with Vernacular modifications	1895	
688 Monroe St	26936004		Remodeled Queen Anne Cottage	1895	MA
710 Monroe St	26926111		Vernacular Colonial Revival	1912	SP
726 Monroe St	26926110	Angus Morrison House	Queen Anne with Colonial Revival detailing	1894	MA/SP
734 Monroe St	26926110		Barn	1866	SP
742 Monroe St	26926109		Colonial Revival	1900	MA/SP
760 Monroe St	26926108		Colonial Revival	1893	SP
776 Monroe St	26926107		Colonial Revival Cottage	c.1912	MA/SP
791 Monroe St	26926093	James K. Davis House	Stick/Eastlake	1891	MA
794 Monroe St	26926106	Lewis Kimberlin House	Queen Anne Cottage	1895	
811 Monroe St	26926089		Shingle	1900	SP/MA
823 Monroe St	26926090		Shingle	1900	MA/SP
836 Monroe St	26926071		Queen Anne Cottage	1885	SP
876 Monroe St	26926069		Vernacular Greek Revival	1895	SP
906 Monroe St	26920095		Stick/Eastlake	1890	HT/MA/SP
930 Monroe St	26920087	Clarence Bjorlie House	Colonial Revival	1910	
1190 Monroe St	26913053		Period Revival	c.1910	SP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address	APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1191 Monroe St	26915078		Italianate	1880	
44220 Network Circle (formerly 4000 Lafayette St)	09708058	Agnews State Hospital Agnews Insane Asylum	Mediterranean Revival	1911	NR/BP NRIS No. 97000829
420 N. Winchester Street	30302014	Eberhard Plaque (Tombstone)			BP
2390 Park Ave	23017034		Tudor Revival	1935	SP
550 Park Ct	26952104		Bungalow Cottage	c.1925-35	
560 Park Ct	26952072		Bungalow Cottage	c.1925-35	
574 Park Ct	26952039		Period Revival Cottage	1927	SP
584 Park Ct	26952038		Period Revival Cottage	c. 1920	MA
631 Park Ct	26952043		Bungalow Cottage	c.1925-35	
633 Park Ct	26952009		Vernacular Craftsman Bungalow	1925	MA
651 Park Ct	26952045		Craftsman Bungalow	1925	MA
691 Park Ct	26952048		Bungalow Cottage	c.1927	MA
753 Park Ct	26952019	Draper House	Bungalow Cottage	c.1927	MA
761 Park Ct	26952051		Bungalow Cottage	c.1925-35	
794 Park Ct	26952054		Vernacular Craftsman	1925	MA
782 Park Ct	26952027		Bungalow Cottage	c.1924	MA
792 Park Ct	26952055		Bungalow Cottage	c.1925-35	
1212 Pierce Street	26911035	Solano House	Vernacular Craftsman	1914	MA
1005 Railroad Avenue	23006050	Santa Clara Railroad Depot	Vernacular	1863	NR/BP/H NRIS No. 85000359
1085 Santa Clara St	26928050	Luis Arguello Home	Georgian Colonial	1868	BP
1149 Santa Clara St	26928043	Dr. Henry Warburton Cottage		1890	MA
1189 Santa Clara St	26928046		Queen Anne/Colonial	c.1901	
1217 Santa Clara St	26926098	Andrew Landrum House	Gothic Revival	1875	NR/BP NRIS No. 82002271
1241 Santa Clara St	26926099	Hamilton House	Colonial Revival	c.1910	
1346 Santa Clara St	26936003	C.C. Woodward House	Queen Anne Cottage	1895	
1358 Santa Clara St	26936003		Queen Anne Cottage	1901	MA



TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

Address		APN	Name	Architectural Style	Estimated Date of Construction	Zoning/Contract
1393	Santa Clara St	26926112		Dutch Colonial Revival with Craftsman detail	1906	SP/ <u>MA</u>
1410	Santa Clara St	26935019	Murschel/Fraga House	Colonial Revival	1905	MA
1460	Santa Clara St	26935018	Julius Emig House	Queen Anne Colonial	1905	MA/BP
1480	Santa Clara St	26935016	Ruf House		c1901-15	MA
1490	Santa Clara St	26935015		Gothic Revival	c.1880s	MA
1640	Santa Clara St	26934007		Modified Queen Anne	1910	
1655	Santa Clara St	26925058	Felix/George H. Roll House	Colonial Revival	1906	MA
1754	Santa Clara St	26934003	Randall House	Colonial Revival	c.1901-1905	SP
1232	Warburton Ave	22424063		Craftsman Bungalow	1924	MA
1500	Warburton Ave	22425074	Universal Child	Statue	1965	
1505	Warburton Ave	22450001	Austin Warburton Plaque			BP
1505	Warburton Ave	22450001	Jamison-Brown House	Colonial Revival (remodel)	1866	BP/H
1505	Warburton Ave	22450001	Triton Museum	Modern	1986	
1509	Warburton Ave	22450001	Headen-Inman House	Craftsman Bungalow	1920	BP/H
270	Washington St	26947149	Washington Ball Park	Ball Park		
531	Washington St	26938051		Vernacular	1905	
551	Washington St	26938052		Queen Anne	1885	
561	Washington St	26938053		Queen Anne Cottage	c.1890	
616	Washington St	26936076	Robert Fatjo House	Colonial Revival	1911	HT
725	Washington St	26928053	St. Clare Parish Plaque			BP
807	Washington St	26928033	St. Clare's Rectory	Mission Revival	1918	
810	Washington St	26928069		Pioneer	1885	HT
826	Washington St	26928020		Queen Anne	1885	HT
844	Washington St	26928019		Queen Anne Cottage	1895	SP
860	Washington St	26928018		Colonial Revival	1910	
890	Washington St	26928073		Bungalow	1920	HT
1116	Washington St	26915046	Dr. Paul House	Eastlake	1892	
1155	Washington St	26916059	Senator Frank House Site	Site with landscaping	1856	BP
1179	Washington St	26916036	Franck House	Colonial Revival	1905	MA/BP

TABLE 8.9-1: ARCHITECTURALLY OR HISTORICALLY SIGNIFICANT PROPERTIES

<i>Address</i>	<i>APN</i>	<i>Name</i>	<i>Architectural Style</i>	<i>Estimated Date of Construction</i>	<i>Zoning/Contract</i>
1184 Washington St	26915043	Russell/Robinson House	Carpenter Gothic	1861	BP
1270 Washington St	26915018	Mulhall House	Simplified Queen Anne Cottage with Stick detail	1861	SP
1290 Washington St	26915017		Spanish Colonial Revival	c.1928	
1367 Washington St	26905078	Mendonca House	Colonial Revival Cottage	c.1910	
1391 Washington St	26926112	Cunningham House	Italianate	1890	
1687 Washington St	22428031		Colonial Revival Cottage	1910	
1866 Washington St	22427013		Craftsman/Bungalow	c.1910	MA/SP

NR = National Register

SR = State Register with State Historic Landmark Plaque (SHLP) Number

BP = Bronze Plaque

SP = Small Plaque

MA = Mills Act

HT = Historic Combining District



Figure 8.9-1

Architecturally Significant & Historic Places

- Architecturally Significant & Historic Sites
- Insets: See Figure 9.8-2
- Rail & Light Rail
- Stations
- City Limits
- Creek
- Existing Creek Trail

Source: City of Santa Clara, 2009,
Dyett & Bhatia 2009.

[Refer to Table 8.9-1 for a complete
list of Architecturally Significant &
Historic Places](#)

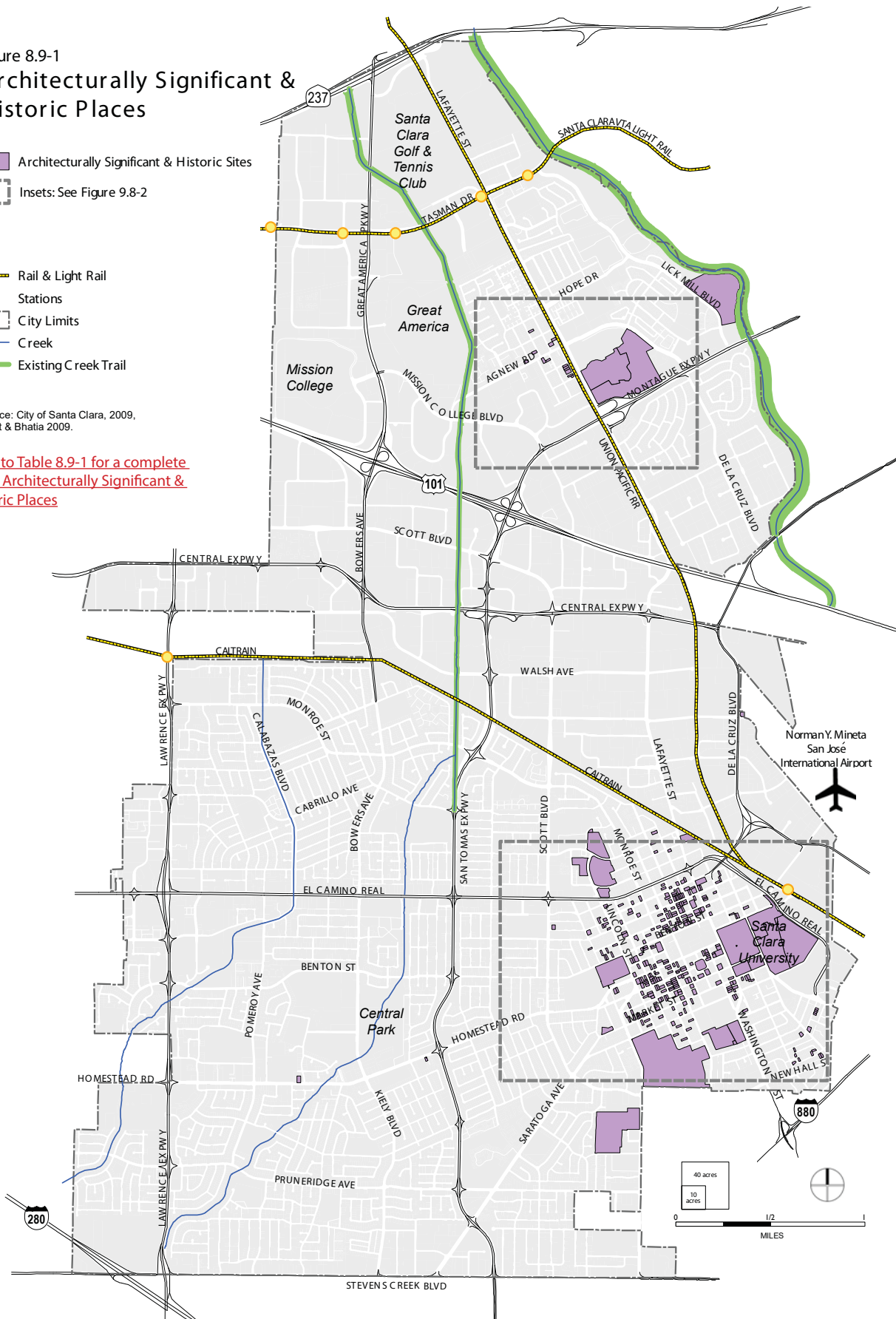


Figure 8.9-2

Architecturally Significant & Historic Places

Agnew Village

- Architecturally Significant & Historic Sites
- 100ft buffer around Historic Sites

- Rail & Light Rail

- Stations

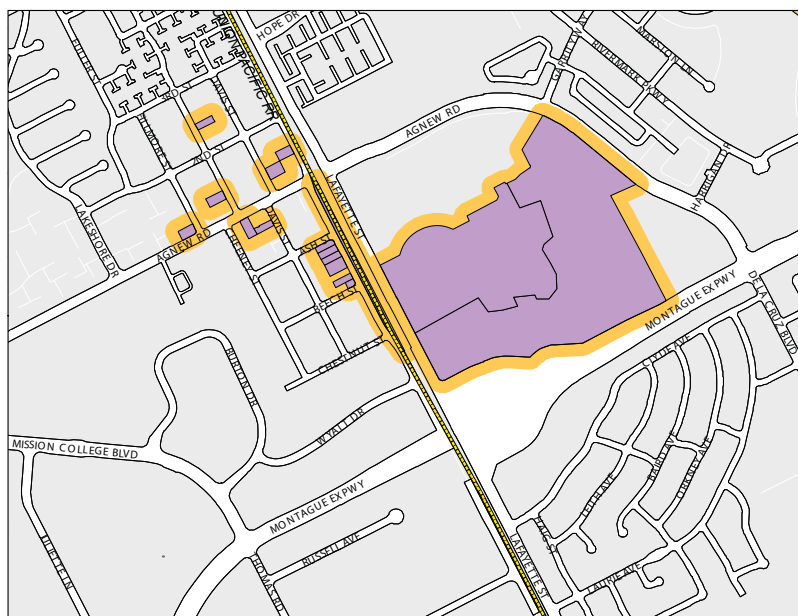
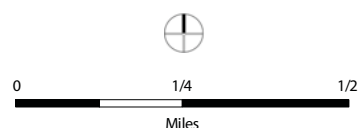
- City Limits

- Creek

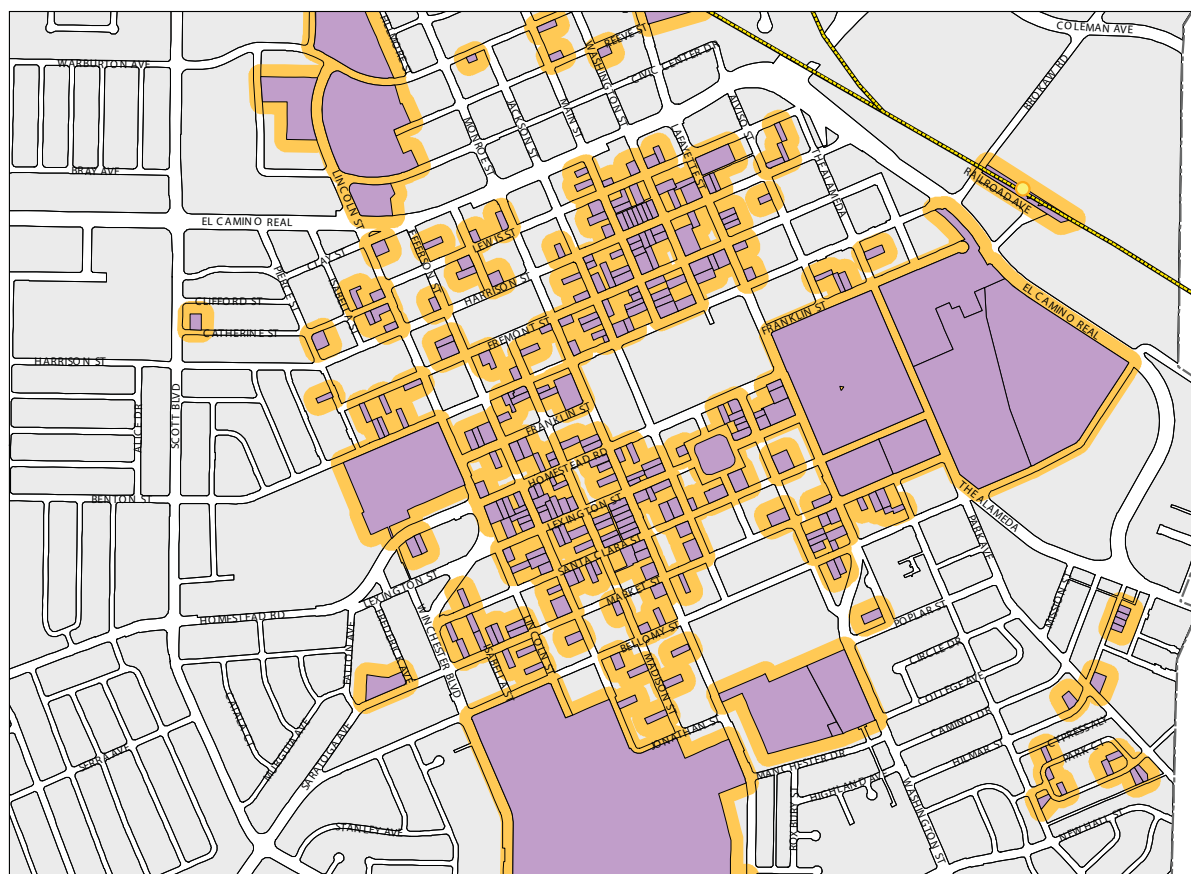
- Existing Creek Trail

Source: City of Santa Clara, 2009,
Dyett & Bhatia 2009.

[Refer to Table 8.9-1 for a complete
list of Architecturally Significant &
Historic Places](#)



Old Quad Area





8.9.2 Criteria for Local Significance

The Criteria for Local Significance were adopted on April 20, 2004, by the City of Santa Clara City Council.

Qualified Historic Resource

Any building, site, or property in the City that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archeological significance is potentially eligible.

Criterion for Historical or Cultural Significance

To be historically or culturally significant, a property must meet at least one of the following criterion:

- The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state, or nation.
- The property is associated with a historical event.
- The property is associated with an important individual or group who contributed in a significant way to the political, social and/or cultural life of the community.
- The property is associated with a significant industrial, institutional, commercial, agricultural, or transportation activity.
- A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure.
- A notable historical relationship between a site, building, or property's site and its immediate environment, including original native trees, topographical features, outbuildings or agricultural setting.

Criterion for Architectural Significance

To be architecturally significant, a property must meet at least one of the following criterion:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.
2. The property is identified with a particular architect, master builder or craftsman.
3. The property is architecturally unique or innovative.
4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance.

5. The property has a visual symbolic meaning or appeal for the community.
6. A building's unique or uncommon building materials, or its historically early or innovative method of construction or assembly.
7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

Criterion for Geographic Significance

To be geographically significant, a property must meet at least one of the following criterion:

1. A neighborhood, group or unique area directly associated with broad patterns of local area history.
2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.
3. An intact, historical landscape or landscape features associated with an existing building.
4. A notable use of landscaping design in conjunction with an existing building.

Criterion for Archaeological Significance

For the purposes of CEQA, an "important archaeological resource" is one which:

1. Is associated with an event or person of
 - A. Recognized significance in California or American history, or
 - B. Recognized scientific importance in prehistory.
2. Can provide information, which is both of demonstrable public interest, and useful in addressing scientifically consequential and reasonable or archaeological research questions;
3. Has a special or particular quality such as oldest, best example, largest, or last surviving example of its kind;
4. Is at least 100 years old and possesses substantial stratigraphic integrity; or
5. Involves important research questions that historical research has shown can be answered only with archaeological methods.



Definition of Integrity

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register criteria recognize seven aspects to integrity. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association. To retain historic integrity, a property will always possess several, and usually most, of these aspects.

Properties must have sufficient integrity in addition to meeting the criterion for significance in order to be considered a qualified historic resource.

Note that application of the adopted criteria is required for all CEQA documents evaluating potential or listed historic resources and required for preparation of historic resource inventory forms (surveys).



Agenda Report

25-1602

Agenda Date: 1/14/2026

REPORT TO PLANNING COMMISSION

SUBJECT

Public Hearing: Recommendation on The Adoption of The Citywide Objective Design Standards for Multi-Family and Residential Mixed-Use Projects into The Santa Clara Zoning Code. CEQA: Addendum to the 2010-2035 General Plan EIR

BACKGROUND

In recent years, the State Legislature has adopted a series of bills to address the state's housing shortage and high housing costs. For a variety of multifamily and mixed-use residential projects, cities are now required to provide a streamlined ministerial approval process to facilitate and expedite the construction of housing. Laws like the Housing Accountability Act, the Housing Crisis Act (also known as SB 330 (2019)), and SB 35 (2017) expedite the review process for qualifying projects and limit local governments' authority to impose zoning and design standards that are not "objective" criteria. Both the state statutes and the Guidelines of the California Department of Housing & Community Development (HCD) define "Objective Standards" as "involving no personal or subjective judgment by a public official and . . . uniformly verifiable by reference to an external and uniform benchmark or criterion". Importantly, the standards once established are applied ministerially.

Policy A-3 of the City's certified sixth cycle Housing Element is to "Utilize objective design standards to streamline the housing development process." Currently, architectural review is still required for most residential projects, including multi-family developments, as well as single-family attached developments and developments taller than one story. The development of Objective Design Standards (ODS) will help to clarify the applicable standards and potentially reduce review times.

Since the certification of the Housing Element, Planning staff have undertaken the task of developing ODS for Multi-family Residential and Residential Mixed-Use Projects.

On November 12, 2025, the Planning Commission conducted a Study Session on Objective Design Standards for multi-family and residential mixed-use projects to discuss California Government Code Sections 65913.4 and 65589.5, which mandate that cities utilize only "objective planning standards" related to the project site, land use regulations and project form when reviewing residential development applications eligible for streamlined approval. The session discussed how the term "objective planning standards" was added to the California State Land Use Law ("State Law") beginning with the passage of Senate Bill 35, as later amended by SB 423. The Staff Report for this Study Session is found in Attachment 4.

According to California Government Code Section 65913.4(a)(5), residential development applications eligible for streamlined approval shall be "consistent with objective zoning standards, objective subdivision standards, and objective design review standards in effect at the time that the development is submitted". These objective standards must compose of quantitative requirements, numeric thresholds, discrete options, and point-based standards as the criteria must "involve no

personal or subjective judgment by a public official”.

Currently, only limited geographic areas of the City (Freedom Circle, Patrick Henry, Lawrence Station, Tasman East, & Downtown) are covered by comprehensive objective standards due to their adopted Specific / Precise Plans, which leaves the rest of the City covered by the limited objective standards found under the various zoning districts of the Zoning Code.

Staff’s approach to develop comprehensive citywide ODS will be implemented in two phases. Phase I takes existing ODS from the Specific and Precise Plans that were already vetted by the community and decision makers and codifies them into the Santa Clara City Code as a separate chapter in the Zoning Code. This will allow the City to maintain a maximum degree of local design control in the short run, and abide by the City’s Housing Element Policy A-3.

Staff received feedback from the Planning Commission on the gaps in the standards. Their feedback is the following:

- More Prescriptive Architectural Standards by Building Type (Multiplex, Courtyard, Mid-Rise, & etc.)
- Enhance Open Space Standards
 - Standards shall give flexibility in how open space is provided
- More Transitional Zone Standards between Building Type

This feedback will be incorporated into Phase II of the workplan.

Phase II will include the use of consultants to assist with developing new ODS and conduct community outreach.

DISCUSSION

As part of the Phase I, the ODS are to be incorporated into the Santa Clara City Code as a separate chapter in the Zoning Code. The standards will be accompanied by graphic illustrations to help interpret the standards. The ODS will address “site”, “building” and “pedestrian-level” design standards of architectural review proposals. These standards would be applicable to new multi-family and residential mixed-use projects and additions to existing multi-family and residential mixed-use projects. The building types affected are townhouses and podium/wrap style buildings.

The following summarizes the subsections of the draft ODS and provides some examples.

Site Design Standards

These standards will create more pedestrian-friendly functional communities through expanded pedestrian access, human-scaled block sizes, and convenient multi-modal connections by regulating:

- Site Access and Layout
 - Example: “Locate loading zones and rideshare pick-up / drop-off areas at least 45 feet away from bus stops.”
- Site Organization, Planning, and Design
 - Example: “Ensure that corner buildings actively address both streets by having pedestrian entrances on each frontage.”

Building Design Standards

These standards will create human-scaled buildings that blend with their surroundings by regulating:

- Massing
- Example: “Massing Increments as Distinct Buildings. A Podium-Style Building shall appear as distinct buildings when it occupies more than 200 linear feet of street frontage. At minimum, it shall appear as three (3) distinct buildings using massing increments design:
 - There shall be differences in facade materials and color between Distinct Buildings
 - There shall be differences in the type and composition of facade openings and architectural elements between distinct buildings.
 - The building base heights of adjacent Distinct Buildings shall differ by an entire floor.”
- Façade Design
- Example: “The Building’s Base floor shall be differentiated from the rest of the façade whether through a change in material, change in type of opening, belt course, or a combination of these elements.”
- Access & Entrance Design
 - Example: “Primary entrances shall feature at least two of the following:
 - Architectural features such as a prominent tower feature or a peaked roof form and/or a variation in building color/materials.
 - Recess or projection.
 - Pedestrian weather protection (i.e. canopy, overhang, or arcade).
 - Streetscape including outdoor patio, integral planters or wing walls that incorporate landscaped areas and/ or places for sitting.”
- Materials
 - Example: “Untreated plastics, unfinished metal, corrugated fiberglass and non-architectural grade plywood shall not be used as primary materials”

Pedestrian Level Design Standards

These standards will create an enhance street frontage that promotes pedestrian activity by regulating:

- Ground Floor Retail & Active Uses
 - Example: “Ground Floor Retail. Ground floor retail uses shall be at the same grade as the adjacent sidewalk”
- Ground Floor Residential
 - Example: “Stoops shall have a minimum five (5)-foot landing depth with room for a table and chairs to provide an opportunity for residents to engage in the social life of the street.”
- Ground Floor Live/ Work
 - Example: “Because live/work units are meant to be public facing, they shall be entered at-grade and are not required to be elevated above sidewalk level.”
- Open Space Design
 - Example: “Podium - Style buildings shall have privately owned public open space of at least 15 feet wide and 500 square feet in size.”

Proposed Planning Commission Actions

The project is presented to the Planning Commission for consideration and action. The following specific actions are required:

1. CEQA: Recommend that the Council determine that the project is consistent with the 2010-

2035 General Plan EIR Addendum adopted on January 31, 2023. This is a quasi-judicial decision, requiring the Commission to determine that the 2023 Addendum addressed the proposed ODS.

2. Zoning Code Amendment: Recommend that the City Council approve the zoning code amendment to incorporate the Citywide Objective Design Standards. This is a legislative action.

The proposed ordinance adopting the ODS is found in Attachment 1 while the body of the Zoning Code Amendment is found in Attachment 2. The Zoning Code Amendment is a new chapter inserted into Title 18 of the Santa Clara City Code.

COMMUNITY OUTREACH

The proposed ODS come from existing standards found in the City of Santa Clara's Specific / Precise Plans (Freedom Circle, Patrick Henry, Lawrence Station, Tasman East, & Downtown) which have been previously vetted by the community and decision makers and will serve as a baseline. These ODS will create consistency across the City for developers of Multi-Family and Residential Mixed-Use Projects. Staff will contact developers, community organizations, and interest groups as part of the community outreach for Phase II.

ENVIRONMENTAL REVIEW

The adoption of the Citywide Objective Design Standards is an implementation action of the 2023 Housing Element for which the City prepared an Addendum to the 2010-2035 General Plan Environmental Impact Report (EIR). The Addendum indicated that the adoption of the Housing Element, and its implementing actions, would not result in environmental impacts beyond those described in the General Plan Update EIR. At the conclusion of the public hearing on January 26, 2023, the Planning Commission voted to recommend that the City Council approve the Addendum, and on January 31, 2023, the City Council adopted the Addendum. The recommended actions all fall within the scope of the adopted Addendum.

FISCAL IMPACT

Adoption of the Citywide Objective Design Standards would not involve additional resources beyond those indicated at the time of the Zoning Code adoption.

COORDINATION

This item was coordinated with the City Attorney's Office.

PUBLIC CONTACT

A newspaper notice was published in the December 23, 2025, issue of the Santa Clara Weekly describing the proposed adoption of the Citywide Objective Design Standards.

Public contact was made by posting the Planning Commission agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

RECOMMENDATION

1. Recommend that the City Council determine the project to be consistent with the January 31, 2023 Addendum for the 2023 Housing Element pursuant to CEQA; and
2. Recommend that the City Council adopt the Citywide Objective Design Standards ordinance.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Afshan Hamid, Director of Community Development

ATTACHMENTS

1. Citywide Objective Design Standards Ordinance
2. Proposed Zoning Code Amendment
3. ODS Previous Draft Document
4. Study Session Staff Report

ORDINANCE NO. _____

**AN ORDINANCE OF THE CITY OF SANTA CLARA,
CALIFORNIA TO ESTABLISH CITYWIDE OBJECTIVE
STANDARDS FOR MULTI-FAMILY AND MIXED-USE
RESIDENTIAL PROJECTS BY ADDING A NEW CHAPTER
18.27 TO TITLE 18 (“ZONING”) OF “THE CODE OF THE
CITY OF SANTA CLARA, CALIFORNIA”**

WHEREAS, Senate Bill 35 (2017) allows eligible multifamily and residential mixed-use development proposals meeting certain affordability requirements to utilize a streamlined ministerial approval process, provided that the projects comply with “objective zoning standards, objective subdivision standards, and objective design review standards” as provided in California Government Code Sections 65913.4;

WHEREAS, the Housing Accountability Act, Government Code Section 65589.5, limits a public agency’s authority to disapprove certain housing development project that comply with applicable, objective general plan and zoning standards and criteria in effect as of the application completeness date;

WHEREAS, Senate Bill 330 (2019), also known as the “Housing Crisis Act,” limits cities’ authority to enact subjective design standards, and provides that eligible residential projects are only subject to applicable, objective general plan and zoning standards in effect at the time an application is deemed complete;

WHEREAS, “objective zoning standards, objective subdivision standards, and objective design review standards” is defined as: “standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official before submittal” under Government Code Section 65913.14(a)(5);

WHEREAS, the City now intends to adopt objective standards that would apply to multifamily and residential mixed-use projects subject to SB 35, SB 330, the Housing Accountability Act, or any other applicable state law;

WHEREAS, as an implementing action of the 2010 – 2035 General Plan, the proposed city-wide objective standards for multi-family and mixed-use residential projects ordinance falls within the scope of the January 31, 2023 Addendum to the 2010 – 2035 General Plan EIR.

NOW THEREFORE, BE IT ORDAINED BY THE CITY OF SANTA CLARA AS FOLLOWS:

SECTION 1: That the Table of Contents of Article 2, “Zones, Allowable Uses, and Development Standards”, of Title 18, “Zoning”, of “The Code of the City of Santa Clara, California” (“SCCC”) is hereby amended to read as follows:

Article 2 – Zones, Allowable Uses, and Development Standards

July 2025

Title 18 – Zoning Code

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Chapter 18.10 – Residential Zones (R1, R2, R3, R4, R5, R6, UC, UV, HD Flex)2-Error! Bookmark not defined.

18.10.010 – Purposes of Residential Zones ----- 2-Error! Bookmark not defined.
18.10.020 – Land Uses and Permit Requirements ----- 2-Error! Bookmark not defined.
18.10.030 – Residential Development Standards ----- 2-Error! Bookmark not defined.
18.10.040 – Other Applicable Regulations ----- 2-Error! Bookmark not defined.

Chapter 18.12 – Commercial Zones (C-C, C-N, C-R) ----- 2-Error! Bookmark not defined.

18.12.010 – Purpose of Commercial Zones ----- 2-Error! Bookmark not defined.
18.12.020 – Commercial Land Uses and Permit Requirements ----- 2-Error! Bookmark not defined.
18.12.030 – Commercial Development Standards ----- 2-Error! Bookmark not defined.
18.12.040 – Other Applicable Regulations ----- 2-Error! Bookmark not defined.

Chapter 18.14 – Mixed Use Zones (MU-NC, MU-CC, MU-RC, MU-MD, MU-VHD)2-Error! Bookmark not defined.

18.14.010 – Purpose of Mixed Use Zones -----	2-Error! Bookmark not defined.
18.14.020 – Mixed Use Land Uses and Permit Requirements -----	2-Error! Bookmark not defined.
18.14.030 – Mixed Use Development Standards -----	2-Error! Bookmark not defined.
18.14.040 – Other Applicable Regulations -----	2-Error! Bookmark not defined.

Chapter 18.16 – Office and Industrial Zones (LO-RD, HO-RD, LI, HI)2-Error! Bookmark not defined.

18.16.010 – Purpose of Office and Industrial Zones -----	2-Error! Bookmark not defined.
18.16.020 – Office and Industrial Land Uses and Permit Requirements--	2-Error! Bookmark not defined.
18.16.030 – Office and Industrial Development Standards-----	2-Error! Bookmark not defined.
18.16.040 – Other Applicable Regulations -----	2-Error! Bookmark not defined.

Chapter 18.18 – Special Purpose Zones (OS, PQP) -----2-Error! Bookmark not defined.

18.18.010 – Purpose of Special Purpose Zones -----	2-Error! Bookmark not defined.
18.18.020 – Special Purpose Land Uses and Permit Requirements-----	2-Error! Bookmark not defined.
18.18.030 – Special Purpose Development Standards-----	2-Error! Bookmark not defined.
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Chapter 18.20 – Planned Development Zone (PD) -----2-Error! Bookmark not defined.

18.20.010 – Purpose of Planned Development Zones -----	2-Error! Bookmark not defined.
18.20.020 – Planned Development Zone Land Uses and Permit Requirements	2-Error! Bookmark not defined.
18.20.030 – Planned Development Zone Standards-----	2-Error! Bookmark not defined.

Chapter 18.22 – Lawrence Station Area Plan Zoning District (LSAP)2-Error! Bookmark not defined.

18.22.010 – Application -----	2-Error! Bookmark not defined.
18.22.020 – Intent -----	2-Error! Bookmark not defined.
18.22.030 – Allowable Uses -----	2-Error! Bookmark not defined.
18.22.040 – Development Standards-----	2-Error! Bookmark not defined.
18.22.050 – Parking Requirements -----	2-Error! Bookmark not defined.
18.22.060 – Additional Development Standards -----	2-Error! Bookmark not defined.

Chapter 18.24 – Two-Unit Dwelling Residential Development and Urban Lot Splits
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18.24.010 – Purpose-----	2-Error! Bookmark not defined.
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18.24.030 – Construction of multiple units in single-family zones-----	2-Error! Bookmark not defined.
18.24.040 – Development Standards applicable to all lots with two units-	2-Error! Bookmark not defined.
18.24.050 – Development Standards within R-1 building envelope -----	2-Error! Bookmark not defined.

Chapter 18.26 – Downtown Form-Based Code-----2-Error! Bookmark not defined.

"Chapter 18.27 – Objective Design Standards for City-wide Multi-Family and Residential Mixed-Use Projects

-----	2-Error! Bookmark not defined.1
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SECTION 2: That a new Chapter 18.27, "Objective Design Standards for City-wide Multi-Family and Residential Mixed-Use Projects", is added to Article 2, "Zones, Allowable Uses, and Development Standards", of Title 18, "Zoning", of the SCCC and will read as shown on Attachment 1 ("Proposed Zoning Code Amendment").

SECTION 3: Savings clause. The changes provided for in this ordinance shall not affect any offense or act committed or done or any penalty or forfeiture incurred, or any right established or accruing before the effective date of this ordinance; nor shall it affect any prosecution, suit or proceeding pending or any judgment rendered prior to the effective date of this ordinance. All fee schedules shall remain in force until superseded by the fee schedules adopted by the City Council.

Section 4: Effective date: This ordinance shall take effect thirty (30) days after its final adoption; however, prior to its final adoption it shall be published in accordance with the requirements of Section 808 and 812 of "The Charter of the City of Santa Clara, California." PASSED FOR THE PURPOSE OF PUBLICATION this XX day of February, 2026, by the following vote:

AYES:	COUNCILORS:
NOES:	COUNCILORS:
ABSENT:	COUNCILORS:
ABSTAINED:	COUNCILORS:

ATTEST:

NORA PIMENTEL, MMC
ASSISTANT CITY CLERK
CITY OF SANTA CLARA

Attachments incorporated by reference:
1. Proposed Zoning Code Amendment

Chapter 18.27 – Objective Design Standards for City-wide Multi-Family and Residential Mixed-Use Projects

Sections:

- 18.27.010 – Introduction
- 18.27.020 – Site Design
- 18.27.030 – Building Design
- 18.27.040 – Pedestrian Level Design

18.27.010 – Introduction

A. Intent.

1. The Objective Design Standards identify specific design elements that are required for all multi-family residential and residential mixed-use projects. The intent of the Objective Design Standards is to allow flexibility and creativity in design while providing a clear set of standards and expectations for applicable projects. The Objective Design Standards in this document are a compilation of adopted Objective Design Standards from the City's Specific Plans and Focus Areas.
2. Residential multi-family and mixed-use development in the City of Santa Clara is regulated by the General Plan, Zoning Ordinance, Specific Plans, and other applicable regulatory documents. Compliance with these regulations is supported by a design review process established in Santa Clara City Code (SCCC) Chapter 18.120.
3. The City's Objective Design Standards are intended to be consistent with Government Code Section 65913.4 and 66300(a)(7) as they do not "involve personal or subjective judgment by a public official" and they "are uniformly verifiable by reference to an external and uniform benchmark or criterion".
4. The Objective Design Standards will do the following:
 - a. Provide clear, objective, and measurable standards for multi-family and residential mixed-use projects throughout the city;
 - b. Streamline project review of housing, in accordance with State law;
 - c. Ensure buildings are appropriate to their surroundings and environment;
 - d. Promote thoughtful, context-sensitive site design;
 - e. Maintain and enhance Santa Clara's built environment through quality architectural design; and
 - f. Promote a pedestrian scale urban environment that enriches the quality of life of its citizens.

B. Applicability.

1. The Objective Design Standards are applicable to new multi-family development and residential mixed-use development, and additions to existing multi-family or residential mixed-use development.

2. For modifications to existing residential mixed-use developments where no additional square footage is proposed, these standards and guidelines shall only apply to the use being modified (e.g., a ground floor retail storefront remodel will not trigger any architectural changes to residential units).
3. These standards are additive to the zoning development standards specified in SCCC Chapter 18.10 (Residential Zones) and SCCC Chapter 18.14 (Mixed-Use Zones). Development pursuant to any California state law that references objective design standards, including but not limited to Government Code Section 65589.5 (Housing Accountability Act) and Section 65913.4 must abide by these standards.
4. These objective design standards are intended to supplement, and not repeal, any existing objective standards applicable to a precise plan or specific plan area. In the event of any conflict between standards, the precise/specific plan standards shall control.
5. The specific applicability of these objective design standards will be determined by the multi-family or residential mixed-use product type (such as townhouses, podium/wrap-style buildings) that is proposed. The following table breaks down the applicability of the standards.

Table 2-19
Objective Design Standards Applicability

Design Standard	Product Type	
	Townhouse	Podium/Wrap-Style
Site Design		
Site Access (Parking)	--	•
Site Access (Loading Zone)	--	•
Site Access (Driveways)	--	•
Site Organization (Public Realm Extension)	•	•
Site Access (Corner Building Orientation)	--	•
Building Design		
Massing (Building Length)	--	•
Massing (Massing Increment Dimensional Standards)	•	•
Massing (Massing Increment Design)	•	•
Massing (Massing Increments as Distinct Buildings)	--	•
Massing (Distinct Buildings)	--	•
Façade Design (Facade Composition)	--	•
Façade Design (Base, Middle and Top)	•	•
Façade Design (Façade Fenestration)	•	•
Façade Design (Parking Structure Façade Standards)	--	•
Access & Entrance Design (Building Orientation)	•	•
Access & Entrance Design (Primary Entrances)	•	•
Access & Entrance Design (Frequency of Entries)	--	•
Access & Entrance Design (Vehicular Access)	--	•
Materials (Primary Materials)	•	•

Pedestrian Level Design		
Ground Floor Treatment - Retail (Facade Transparency and Ground Floor Retail)	--	•
Ground Floor Treatment - Residential (Ground Floor Access)	--	•
Ground Floor Treatment - Residential (Stoops)	--	•
Ground Floor Treatment – Live/Work (Entrances)	--	•
Open Space Design (Podium Style Buildings)	--	•
Open Space Design (Pathways)	--	•
Open Space Design (Special Paving)	•	•
Open Space Design (Public Art)	--	•
Open Space Design (Refuse & Recycling Receptacles)	•	•
Alley & Service Access (Lighting)	--	•
Alley & Service Access (Alleys)	•	•

C. Glossary. The definitions below are only applicable within these Objective Design Standards, and do not apply elsewhere in the Santa Clara City Code.

- 1. Podium-Style Building.** A development project that involves a horizontal separation between an upper building and a lower, or podium, building. The lower building typically is constructed out of concrete; the upper building (some three to five stories tall) is made of wood.
- 2. Primary Materials.** Any wall finish material or color that occupies more than 50 percent of the façade.
- 3. Product Type.** The proposed multi-family or residential mixed-use building type, including townhouses, podium style buildings, and wrap-style buildings.
- 4. Special Paving.** A distinct impermeable material such as natural stone paver, unit concrete pavers, brick, textured and colored concrete.
- 5. Townhouses.** Attached side-by-side or stacked units that generally have front doors on one side and garages on the back side. Most townhouses have two-car garages, either two spaces wide or two tandem spaces (end to end). The front doors look onto a public street, private drive, or common open space, while the garages are usually lined up along an alley with garage doors on both sides. This development type typically includes tuck-under garage parking and additional surface parking spaces for visitors.
- 6. Wrap-Style Building.** A development project that typically consists of a central above-grade concrete parking structure surrounded or “wrapped” by 4 – 7 stories of wood or steel construction.

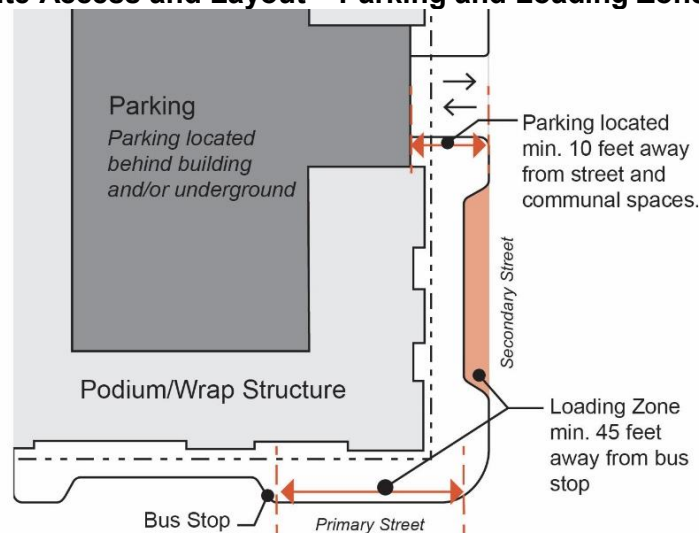
D. Organization of Objective Design Standards. The Objective Design Standards are organized into three design components: site design, building design, and pedestrian level design.

- 1. Site Design.** These standards apply to the site layout to foster multimodal connectivity and create cohesive neighborhoods.
- 2. Building Design.** These standards apply to the architectural features such as massing, fenestration, and articulation.
- 3. Pedestrian Level Design.** These standards apply to the ground floor frontage to promote pedestrian activity and human-scale development.

18.27.020 – Site Design

- A. Purpose and Goals.** This section provides site design standards to create more pedestrian-friendly functional communities through expanded pedestrian access, convenient multi-modal connections, and human-scaled block sizes.
- B. Site Access and Layout.**
- 1. Parking.** Parking shall be located at least 10 feet away from streets and other public and communal spaces so that it is not visible. Parking shall be located behind buildings, underground, or at the interior of the block except where there is ground floor retail.
 - 2. Loading Zones.** Locate loading zones and rideshare pick-up / drop-off areas at least 45 feet away from bus stops.

Figure 2-5
Site Access and Layout – Parking and Loading Zones



- 3. Driveways and Access.** Driveway access shall be designed to clearly prioritize pedestrians, according to the following requirements:
 - a. Driveway crossings shall maintain the elevation of the sidewalk.

Figure 2-6
Site Access and Layout – Driveway Crossing

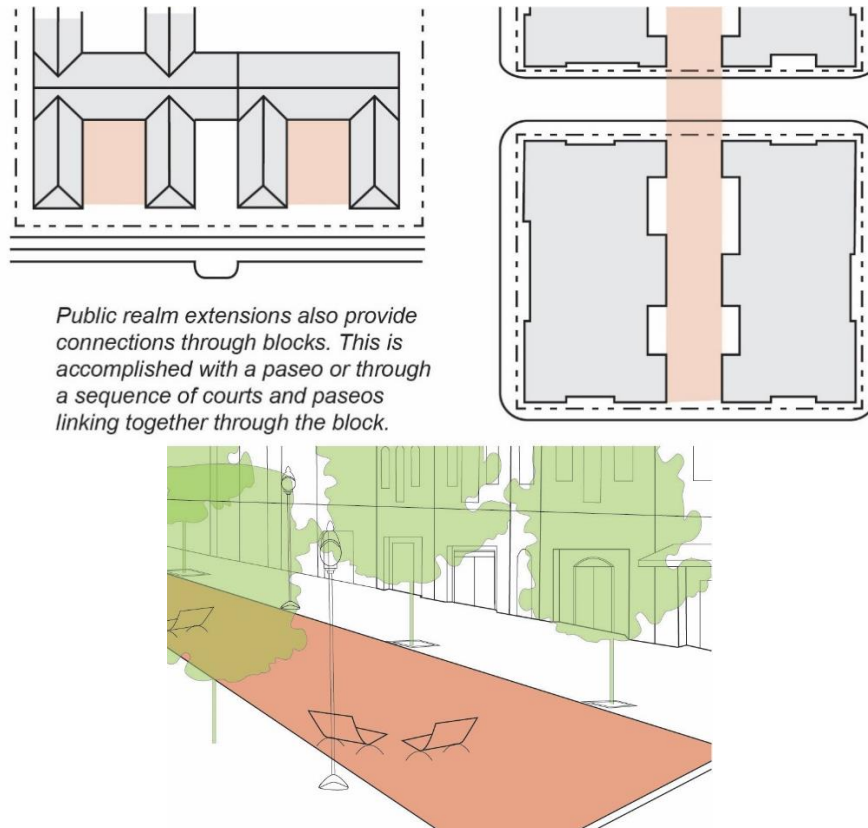


- b. Driveway aprons shall not extend into the pedestrian clear walkway where cross slopes are limited to a maximum of two percent steeper driveway slopes are permitted in the furnishing and edge zones of the streets.
- c. The dimensions and design of parking entry and exit points shall be coordinated with the requirements for stormwater treatment areas and street trees.
- d. Greenways or open spaces shall have a maximum of one curb cut per frontage.

C. Site Organization, Planning, and Design.

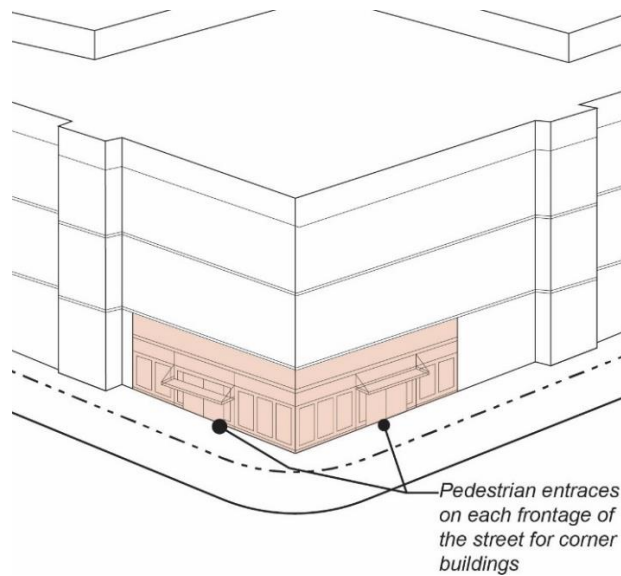
1. **Public Realm Extensions.** While most buildings and ground-floor units will front onto and take their primary access from the adjacent Public Realm right-of-way, some buildings and ground-floor units may take this primary access from shared private spaces and connections that function as extensions of the public realm into a site. Such spaces comprise a “Semi-Public Realm” and serve as transitions between fully public and fully private spaces. Public Realm Extensions are subject to the following standards:
 - a. **Connectivity.** Public realm extensions also provide connections through blocks. This is accomplished with a paseo or through a sequence of courts and paseos linking together through the block. Where non-vehicular paths are used, full and unrestricted public access shall be provided throughout the route.
 - b. **Design.** No wall or fence enclosing a public realm extension may exceed three (3) feet in height.

**Figure 2-7
Public Realm Extensions**



2. **Corner Building Orientation.** Ensure that corner buildings actively address both streets by having pedestrian entrances on each frontage.

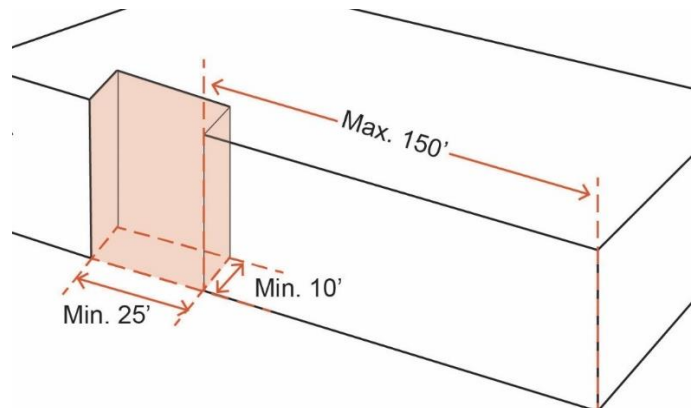
Figure 2-8
Corner Building Orientation



18.27.030 – Building Design

- A. **Purpose and Goals.** This section provides architectural design standards to create functional and welcoming human-scaled buildings that blend well with their surroundings and support active streets and public spaces.
- B. **Massing.**
 1. **Building Length.** To create a more interesting and walkable public realm, individual buildings shall be no longer than 150 feet in length, except as follows. For those buildings that are longer than 150 feet in length, a building notch shall be provided on the podium starting at the street level and extending to the roof, for the entire height of the façade, to break up the massing. The building notch shall have a minimum dimension of 25 feet in width and 10 feet in depth.

Figure 2-9
Massing – Building Length



2. Massing Increment Dimensional Standards.

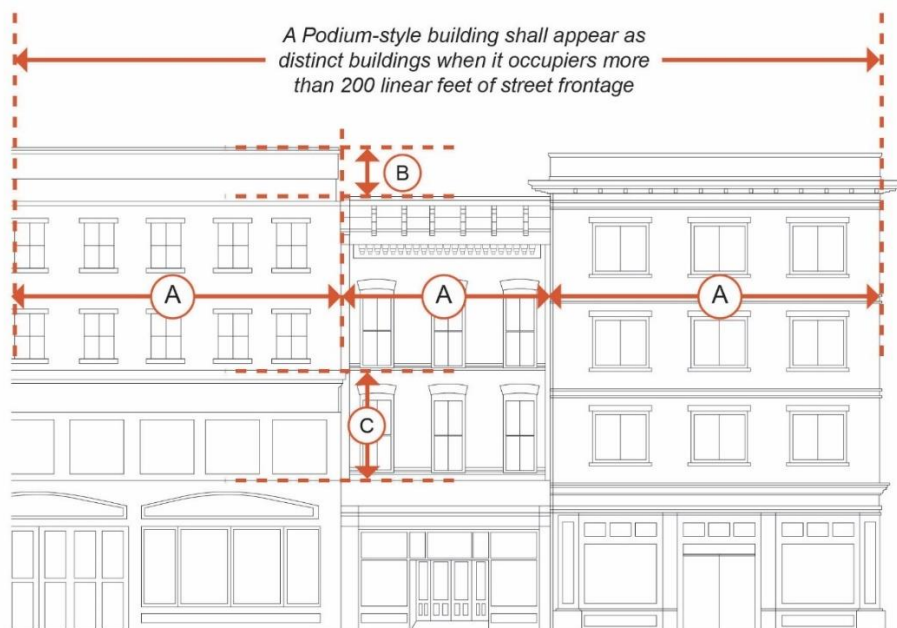
Table 2-20
Massing Increment Dimensional Standards

Objective Design Standard		Dimensions
A	Massing Increment (max.)	150 feet
B	Façade Height Difference between Massing Increments (min.)	10% of Lesser Façade Height
C	Building Base Height Difference between Massing Increments	3 feet

3. Distinct Buildings Using Massing Increment Design. A Podium- Style Building shall appear as distinct buildings when it occupies more than 200 linear feet of street frontage. At a minimum, it shall appear as three (3) distinct buildings using massing increment design:

- There shall be differences in facade materials and color between Distinct Buildings.
- There shall be differences in the type and composition of facade openings and architectural elements between distinct buildings.
- The building base heights of adjacent Distinct Buildings shall differ by an entire floor.
- A Massing Increment Design shall only be repeated up to a maximum of three (3) times on the same project elevation.
 - Repeated Massing Increments shall not be immediately adjacent to each other.
 - Forecourts may provide separation between repeated Massing Increment Designs.

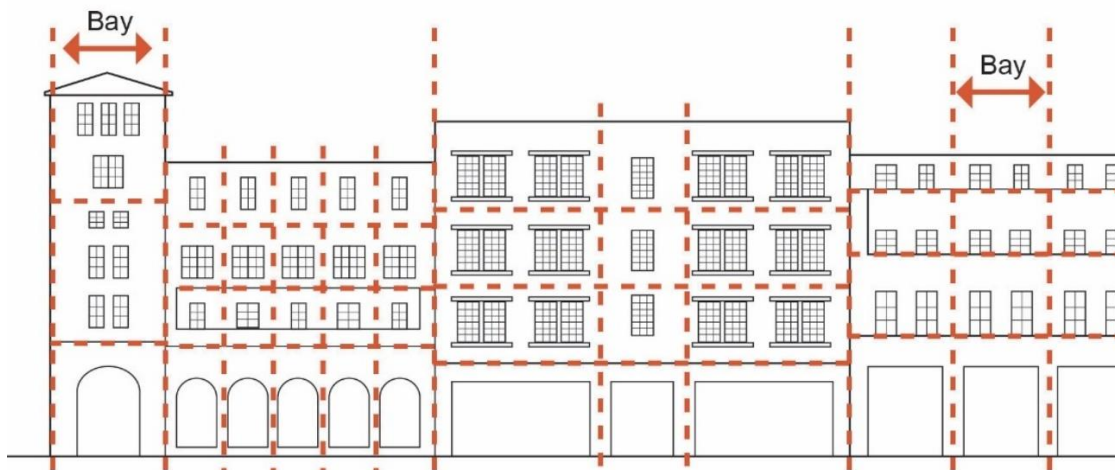
Figure 2-10
Massing Increment Design and Dimensional Standards



C. Façade Design.

1. **Façade Composition.** Façade elements shall be organized by a grid. Patterns of openings within each individual façade or Building Increment shall be organized into a grid per the standards below.
 - a. **Horizontal Alignment of Elements.** Rooflines, openings, and materials within each façade or façade module must align horizontally and be consistent in style across the entire width.
 - b. **Vertical Alignment of Openings into Bays.** The entirety of a building's façade or massing increments shall be clearly divided into vertical bays, subject to the following:
 - (1) Façade bays shall extend from the ground to the top of the façade and are defined by vertical structure (solid portions of wall, piers, etc.) which extends from the ground to the top of the façade.
 - (2) Each bay must be stacked within bays as illustrated in the figure below. Openings shall be arranged symmetrically within bays.
 - (3) Each bay shall be at minimum 15 feet wide.

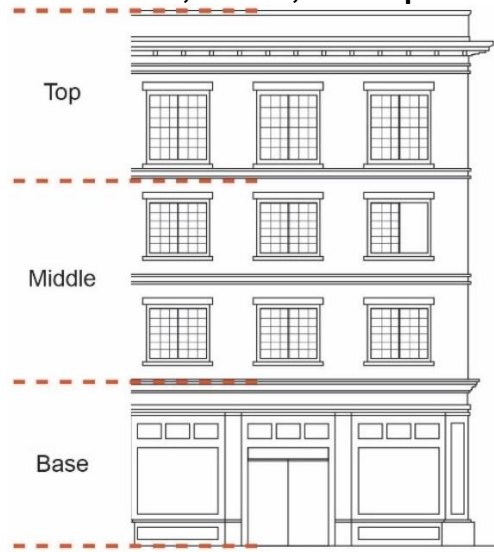
**Figure 2-11
Façade Composition**



Façade elements shall be organized by a grid. Rooflines, openings, and other materials must align horizontally. Façade elements or massing increments shall be divided into vertical bays.

2. **Base, Middle and Top.** Buildings shall have a Base, Middle, and Top.
 - a. The Building's Base floor shall be differentiated from the rest of the façade whether through a change in material, change in type of opening, belt course, or a combination of these elements.
 - b. The Building's Middle floor(s) features shall be repetitive, with only up to three variations in façade elements between each floor
 - c. The Building's Top floor shall feature some form of capping element, such as a cornice, enhanced ornamentation, or a decorative parapet. In larger buildings, the upper most floor shall be visually incorporated into the building's top design.

Figure 2-12
Base, Middle, and Top



3. Facade Fenestration.

- a. **Fenestration Area.** Façade shall be designed with fenestration – openings on the façade, including windows and doors – in the amounts listed in subparagraph b below.
- b. Fenestration amount is calculated as a percentage of openings – including all windows and doors on the façade – to an area of façade. Each portion of the façade grid must have a fenestration percentage which falls within the range identified by Table 2-21.

Table 2-21
Fenestration Areas

Fenestration Areas	Dimensions
Base of Building	40% - 95%
Middle & Top of Building	25% - 70%

Figure 2-13
Fenestration Area



- c. **General to Base, Middle, and Top.** Window jams shall be set in a minimum of four (4) inches from the main façade plane. Trim/ moldings on the façade do not count toward this recess depth.
- d. **Specific to the Top.** Upper-floor wall openings shall be square or taller than they are wide. Individual vertically proportioned windows can be grouped side by side to form a horizontal ensemble of windows.

4. Parking Structure Façade Standards.

- a. **Façade Design.** Parking Structure Facades shall be designed to fit into the urban context in one of the two following ways:
 - (1) The Façades meet the Massing Standard of this document.
 - (2) Facades designed as art walls, murals, or screens that incorporate decorative, graphic, or sculptural elements. Such facades are subject to recommendations from the Cultural Arts Commission and the Historical & Landmarks Commission, followed by Community Development Director or their designee approval, based on the following Required Finding:
 - a. Façade design is using durable, element-resistant, materials and techniques.
- b. **Future-Proof Parking.** Parking Garages shall be designed to accommodate conversions to other uses and shall have at least one of the following features:
 - (1) Level floor, apart from necessary ramps.
 - (2) Floors with 10 feet minimum clear height from floor to ceiling.
 - (3) Cut-outs for planned shafts in decks and other structural members to accommodate future utilities (heating, cooling, venting, etc.).

D. Access and Entrance Design.

- 1. **Building Orientation.** Buildings shall be oriented to ensure the primary facades and entrance areas of all buildings face the street, open spaces, or other pedestrian-oriented circulation areas.

Figure 2-14
Building Orientation for Podium/Wrap-Style Buildings – Entrance Areas

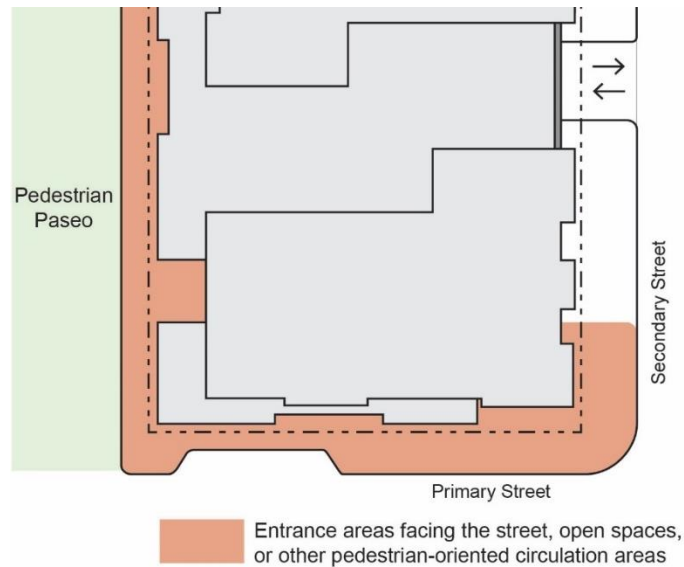
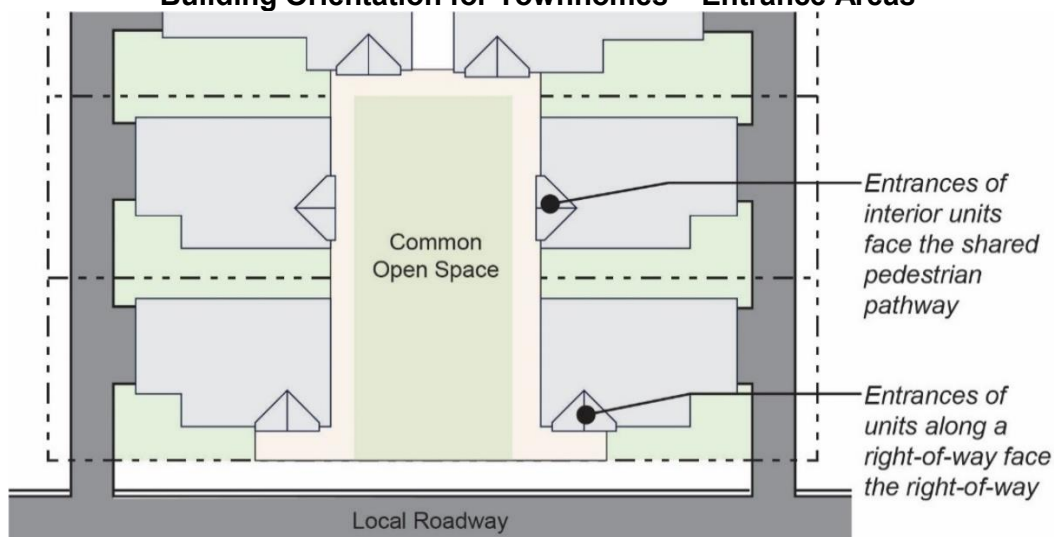


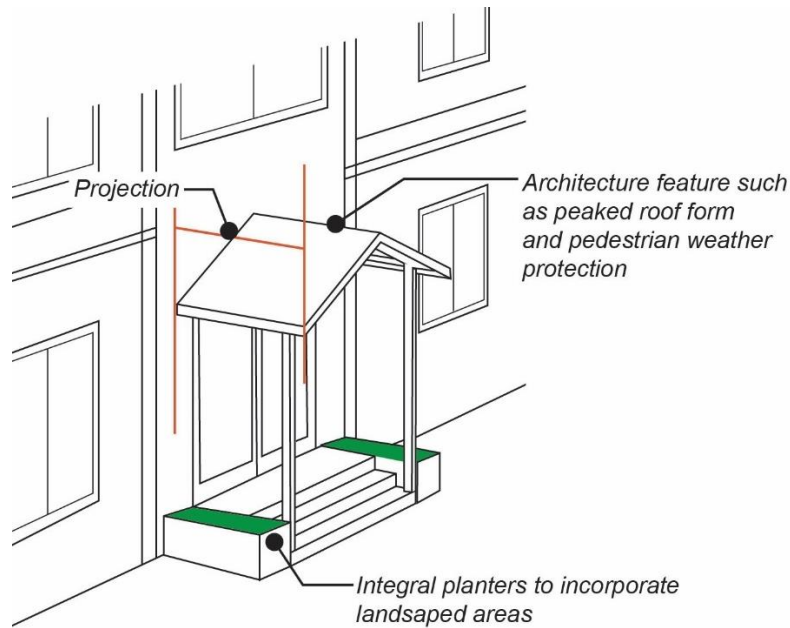
Figure 2-15
Building Orientation for Townhomes – Entrance Areas



2. Primary Entrances. Primary entrances shall feature at least two of the following:

- a. Architectural features, such as a prominent tower feature or a peaked roof form, and/or a variation in building color/materials.
- b. Recess or projection.
- c. Pedestrian weather protection (i.e. canopy, overhand, or arcade).
- d. Streetscape including outdoor patio, integral planters, or wing walls that incorporate landscaped areas and/or places for sitting.

Figure 2-16
Primary Entrances



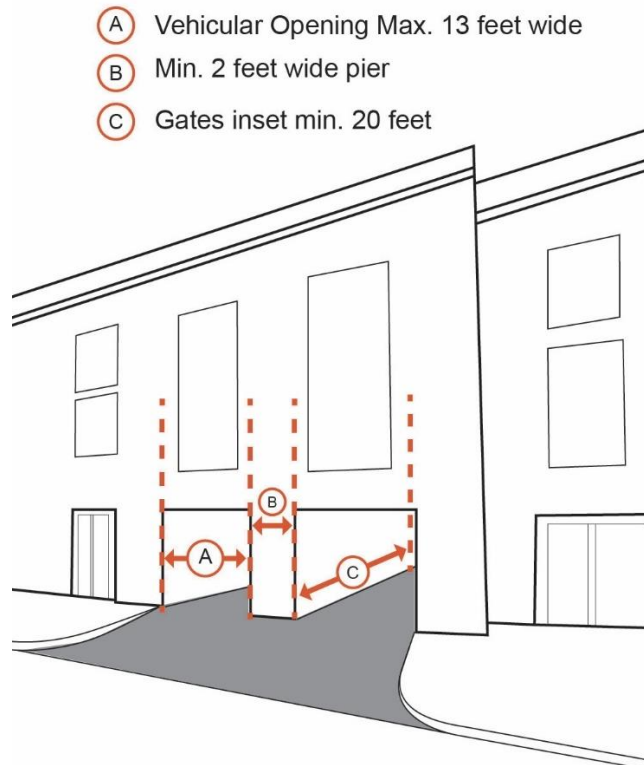
3. **Frequency of Entries (Podium/Wrap-Style).** The quantity of building entrances on a street has a drastic effect on the perceived liveliness of a street. The frequency of entrances is regulated by Table 2-22.

Table 2-22
Frequency of Entries (Podium/Wrap-Style)

Façade Area	Residential	Mixed-Use
Frequency of Building Entries (max. distance between entries)	100 feet	75 feet

4. **Vehicular Access.**
- Vehicular access openings shall be no more than 13 feet wide. Where adjacent openings are necessary to provide entries or exits, they shall be separated by a pier (a portion of wall) of at least two (2) feet in width.
 - Gates which open to allow cars to enter (excluding security doors that are shut when the garage is not accessible) shall be inset from the façade by a minimum of 20 feet, to allow cars to await entry without blocking the sidewalk.

Figure 2-17
Vehicular Access Design



5. **Materials.**

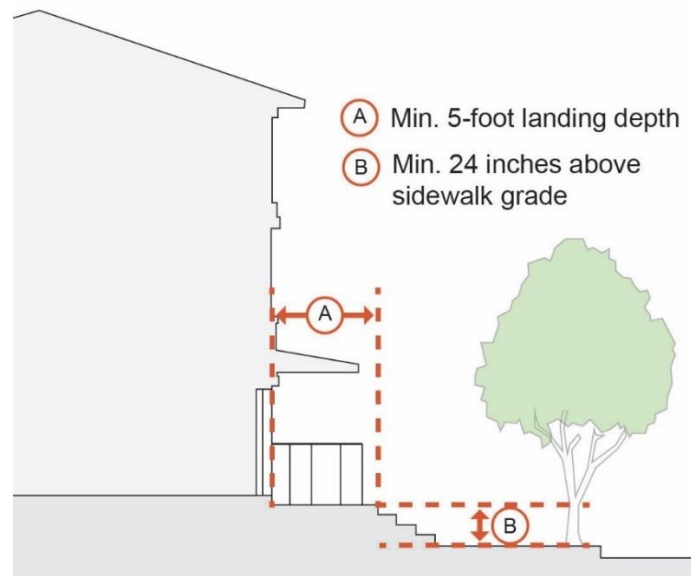
- a. **Primary Materials.** Untreated plastics, unfinished metal, corrugated fiberglass and non-architectural grade plywood shall not be used as primary materials.

18.27.040 – Pedestrian Level Design

- A. **Purpose.** This section provides standards to enhance the character of new development's street frontage to promote pedestrian activity.
- B. **Ground Floor Retail and Active Uses.**
1. **Ground Floor Retail.** Ground floor retail uses shall be at the same grade as the adjacent sidewalk.
 2. **Façade Transparency.** Facades of all commercial structures shall incorporate transparent features (clear glass on windows and doors) over a minimum percentage of the surface area at ground-level.
 - a. Retail uses: a minimum of 75% shall be transparent.
 - b. Other uses: a minimum of 35% shall be transparent.
 3. **Ground Floor Residential.**
 - a. **Ground Floor Access.** Where residential units are located at the ground floor, at least 50% of units on each frontage must be individually accessed from the sidewalk via stoops, side yards or other means.
 - b. **Stoops.** Stoops shall have a minimum five (5)-foot landing depth with room for a table and chairs to provide an opportunity for residents to engage in the social life of the street.

- c. Stoops that face public rights of way shall be set at least 24 inches above sidewalk grade.

Figure 2-18
Ground Floor Residential – Stoop Design



C. Ground Floor Live/Work.

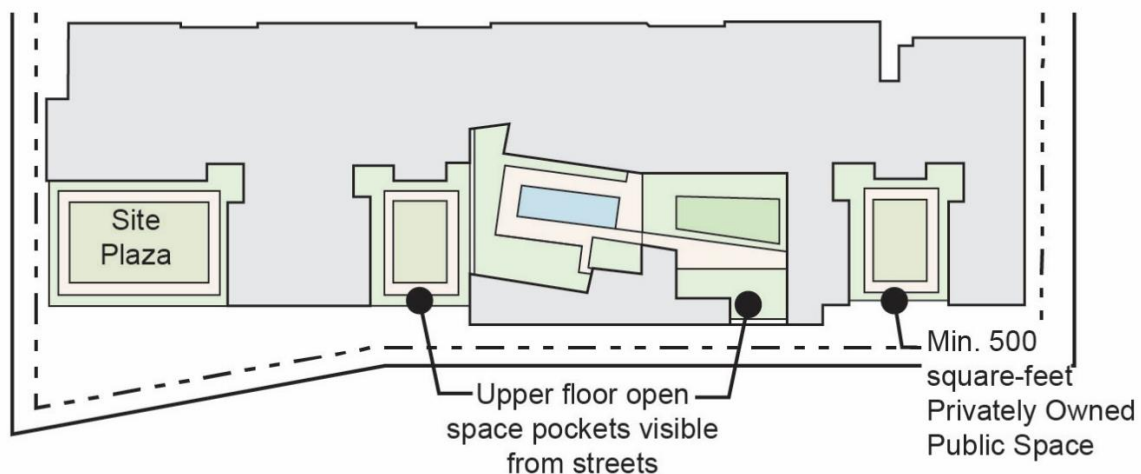
1. **Entrances.** Because live/work units are meant to be public facing, they shall be entered at-grade and are not required to be elevated above sidewalk level.

D. Open Space Design.

1. Podium – Style Building.

- a. Podium – Style buildings shall have outdoor spaces, such as on-site plazas, interior courtyards, patios, terraces and gardens.
- b. Podium – Style buildings shall have privately owned public open space of at least 15 feet wide and 500 square feet in size.

Figure 2-19
Open Space Design – Podium – Style Buildings



2. **Pathways.** Pedestrian paths through the site shall be at least five (5) feet wide.

3. **Special Paving.** Special Paving shall be used for the following areas:
 - a. Pedestrian crossing (mid-block, raised pedestrian crossings/speed tables, etc.).
 4. **Public Art.** Outdoor plazas and semi-public courtyards shall have public art elements such as sculptures, fountains, and art pieces.
 5. **Refuse & Recycling Receptacles.** Provide a maximum of one receptacle every 200 feet along streets if proposing more than 10 units. Additional receptacles should be provided only if a private sponsor provides continued maintenance.
 - a. Provide one receptacle at each corner of intersections.
- E. **Alleys and Service Access.**
1. **Lighting.** Provide lighting in alleyways for safety.



CITY OF SANTA CLARA

Draft Objective Design Standards for City-wide Multi-Family and Residential Mixed-Use Projects

NOVEMBER 2025

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Introduction

I. Intent

The Objective Design Standards identify specific design elements that are required for all multi-family residential and residential mixed-use projects. The intent of the Objective Design Standards is to allow flexibility and creativity in design while providing a clear set of standards and expectations for applicable projects. The Objective Design Standards in this document are a compilation of adopted Objective Design Standards from the City's Specific Plans and Focus Areas.

Residential multi-family and mixed-use development in the City of Santa Clara is regulated by the General Plan, Zoning Ordinance, Specific Plans, and other applicable regulatory documents. Compliance with these regulations is supported by a discretionary design review process established in Santa Clara City Code (SCCC) Chapter 18.120.

The City's Objective Design Standards are intended to be consistent with Government Code Section 65913.4 and 66300(a)(7) as they do not "involve personal or subjective judgment by a public official" and they "are uniformly verifiable by reference to an external and uniform benchmark or criterion".

The Objective Design Standards will do the following:

- Provide clear, objective, and measurable standards for multi-family and residential mixed-use projects throughout the city;
- Streamline project review of housing, in accordance with State law;
- Ensure buildings are appropriate to their surroundings and environment;
- Promote thoughtful, context-sensitive site design;
- Maintain and enhance Santa Clara's built environment through quality architectural design; and
- Promote a pedestrian scale urban environment that enriches the quality of life of its citizens.

II. Applicability

- A. The Objective Design Standards are applicable to new multi-family development and residential mixed-use development, and additions to existing multi-family or residential mixed-use development.
- B. For modifications to existing residential mixed-use developments where no additional square footage is proposed, these standards and guidelines shall only apply to the use being modified (e.g., a ground floor retail storefront remodel will not trigger any architectural changes to residential units).
- C. These standards are additive to the zoning development standards specified in SCCC Chapter 18.10 (Residential Zones) and SCCC Chapter 18.14 (Mixed-Use Zones). Development pursuant to any California state law that references objective design standards, including but not limited to Government Code Section 65589.5 (Housing Accountability Act) and Section 65913.4 must abide by these standards.
- D. The objective design standards shall not conflict with the standards applicable to a specific plan area but if there is conflict, the specific plan standards shall apply
- E. The specific applicability of these objective design standards will be determined by the multi-family or residential mixed-use product type (such as townhouses, podium/wrap-style buildings) that is proposed. The following table breaks down the applicability of the standards

Table 1: Objective Design Standard Applicability

Design Standard	Product Type	
	Townhouse	Podium/Wrap-Style
Site Design		
Site Access (Parking)	--	•
Site Access (Loading Zone)	--	•
Site Access (Driveways)	--	•
Site Organization (Public Realm Extension)	•	•
Site Access (Corner Building Orientation)	--	•
Building Design		
Massing (Building Length)	--	•
Massing (Massing Increment Dimensional Standards).	•	•
Massing (Massing Increment Design)	•	•
Massing (Massing Increments as Distinct Buildings)	--	•
Massing (Distinct Buildings)	--	•
Façade Design (Facade Composition)	--	•
Façade Design (Base, Middle and Top)	•	•
Façade Design (Façade Fenestration)	•	•
Façade Design (Parking Structure Façade Standards)	--	•

Access & Entrance Design (Building Orientation)	•	•
Access & Entrance Design (Primary Entrances)	•	•
Access & Entrance Design (Frequency of Entries)	--	•
Access & Entrance Design (Vehicular Access)	--	•
Materials (Primary Materials)	•	•
Pedestrian Level Design		
Ground Floor Treatment - Retail (Facade Transparency and Ground Floor Retail)	--	•
Ground Floor Treatment - Residential (Ground Floor Access)	--	•
Ground Floor Treatment - Residential (Stoops)	--	•
Ground Floor Treatment – Live/Work (Entrances)	--	•
Open Space Design (Podium Style Buildings)	--	•
Open Space Design (Pathways)	--	•
Open Space Design (Special Paving)	•	•
Open Space Design (Public Art)	--	•
Open Space Design (Refuse & Recycling Receptacles)	•	•
Alley & Service Access (Lighting)	--	•
Alley & Service Access (Alleys)	•	•

Introduction

Glossary

Note: The definitions below are only applicable to the Objective Design Standards on this section of the Santa Clara City Code.

Podium-Style Building: A development project that involves a horizontal separation between an upper building and a lower, or podium, building. The lower building typically is constructed out of concrete; the upper building (some three to five stories tall) is made of wood.

Primary Materials: Any wall finish material or color that occupies more than 50 percent of the façade.

Product Type: The proposed residential building type like detached single family residences, townhomes, podium style buildings, & etc.

Special Paving: A distinct impermeable material such as natural stone paver, unit concrete pavers, brick, textured and colored concrete.

Townhouses: Attached side-by-side or stacked units that generally have front doors on one side and garages on the back side. Most townhouses have two-car garages, either two spaces wide or two tandem spaces (end to end). The front doors look onto a public street, private drive, or common open space, while the garages are usually lined up along an alley with garage doors on both sides. This development type typically includes tuck-under garage parking and additional surface parking spaces for visitors.

Wrap-Style Building: A development project that typically consists of a central above-grade concrete parking structure surrounded or “wrapped” by 4 – 7 stories of wood or steel construction.

Organization of Objective Design Standards

The Objective Design Standards are organized into three design components: site design, building design, and pedestrian level design.

Site Design: These standards apply to the site layout to foster multimodal connectivity and create cohesive neighborhoods.

Building Design: These standards apply to the architectural features such as massing, fenestration, and articulation.

Pedestrian Level Design: These standards apply to the ground floor frontage to promote pedestrian activity and human-scale development.

Note: Graphic reference for this page to visually show each chapter of these standards.

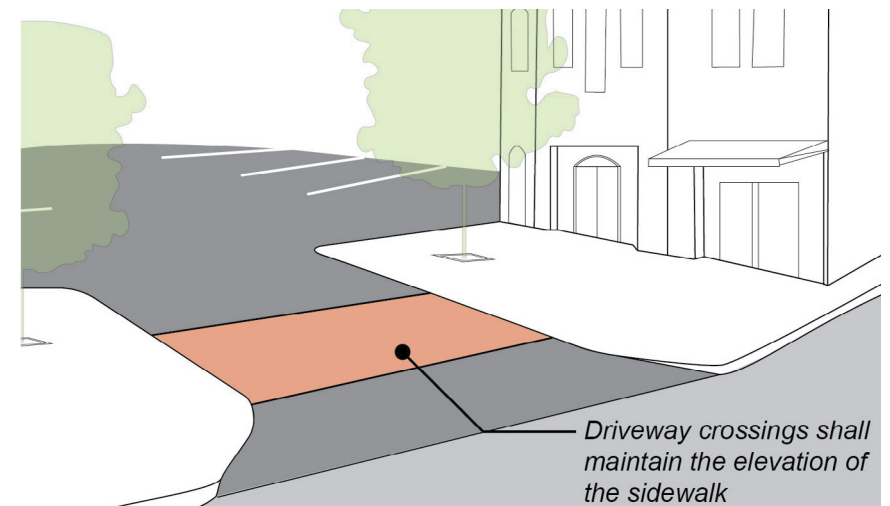
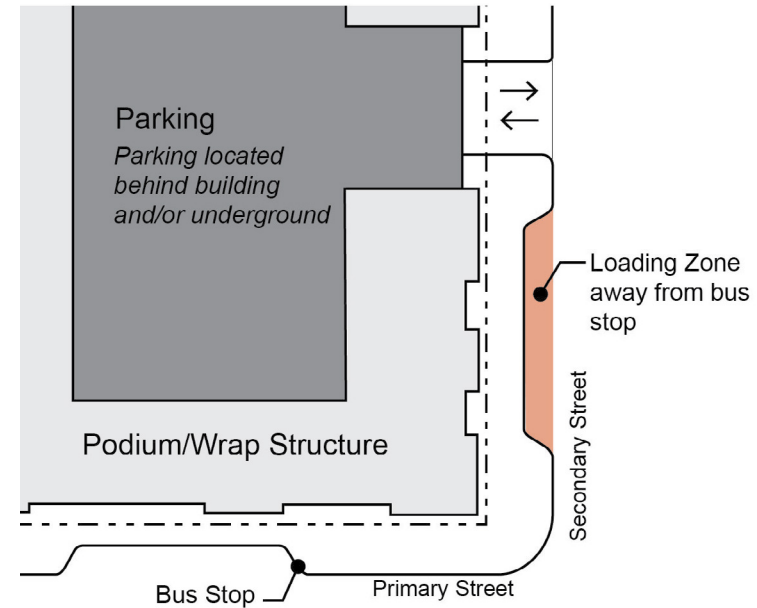
2 Site Design

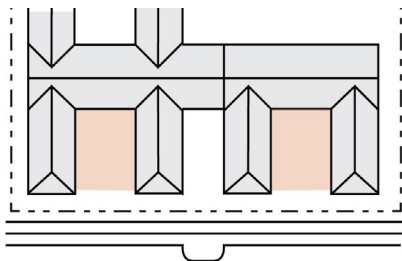
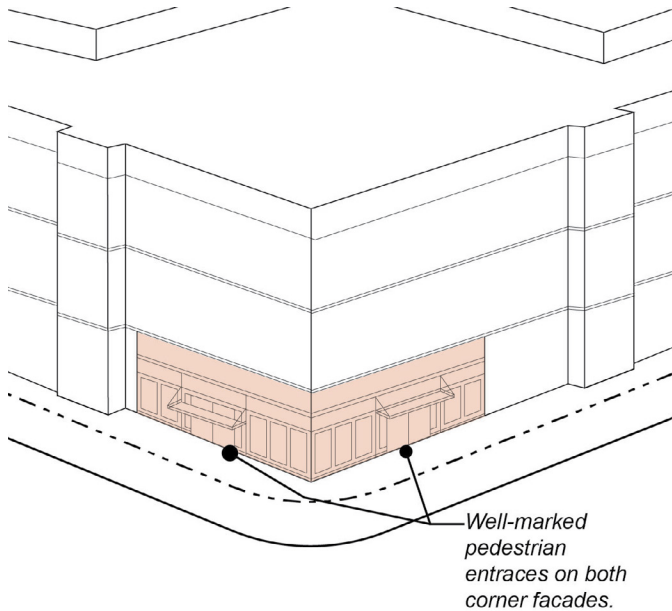
I. Purpose and Goals

This section provides site design standards to create more pedestrian-friendly functional communities through expanded pedestrian access, convenient multi-modal connections, and human-scaled block sizes.

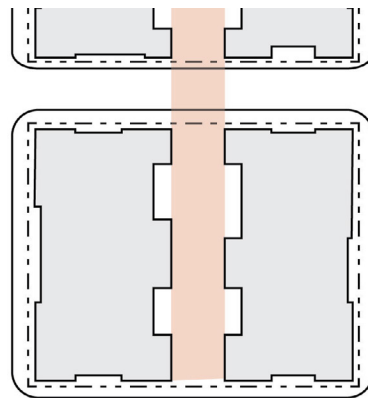
II. Site Access and Layout

1. **Parking.** Parking shall be located away from streets and other public and communal spaces. Parking shall be located behind buildings, underground, or at the interior of the block except where there is ground floor retail (Lawrence Station)
2. **Loading Zones.** Locate loading zones and rideshare pick-up / drop-off areas away from bus stops. (FC Focus Area).
3. **Driveways and Access.** Driveway access shall be designed to clearly prioritize pedestrians, according to the following requirements:
 - a. Driveway crossings shall maintain the elevation of the sidewalk;
 - b. Driveway aprons shall not extend into the pedestrian clear walkway where cross slopes are limited to a maximum of two percent; steeper driveway slopes are permitted in the furnishing and edge zones of the streets;
 - c. The dimensions and design of parking entry and exit points shall be coordinated with the requirements for stormwater treatment areas and street trees;
 - d. Curb cuts shall be minimized on greenways or open spaces, with at most only one maximum allowable curb cut (Tasman East)



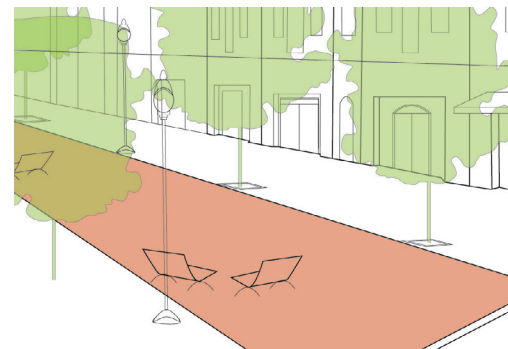


Public realm extensions also provide connections through blocks. This is accomplished with a paseo or through a sequence of courts and paseos linking together through the block.



III. Site Organization, Planning, and Design

1. Public Realm Extensions. While most buildings and ground-floor units will front onto and take their primary access from the adjacent Public Realm right-of-way, some buildings and ground-floor units may take this primary access from shared private spaces and connections that function as extensions of the public realm into a site. Such spaces comprise a “Semi-Public Realm” and serve as transitions between fully public and fully private spaces. Public Realm Extensions are subject to the following standards: (Downtown Form Based-Code)
 - a. Connectivity. Public realm extensions also provide connections through blocks. This is accomplished with a paseo or through a sequence of courts and paseos linking together through the block. Where non-vehicular paths are used, full and unrestricted public access shall be provided throughout the route.
 - b. Design. No wall or fence enclosing a public realm extension may exceed three (3) feet in height.
2. Corner Building Orientation: Ensure that corner buildings actively address both streets with well-marked and attractively designed pedestrian entrances (Patrick Henry Drive)



3

Building Design

I. Purpose and Goals

This section provides architectural design standards to create functional and welcoming human-scaled buildings that blend well with their surroundings and support active streets and public spaces.

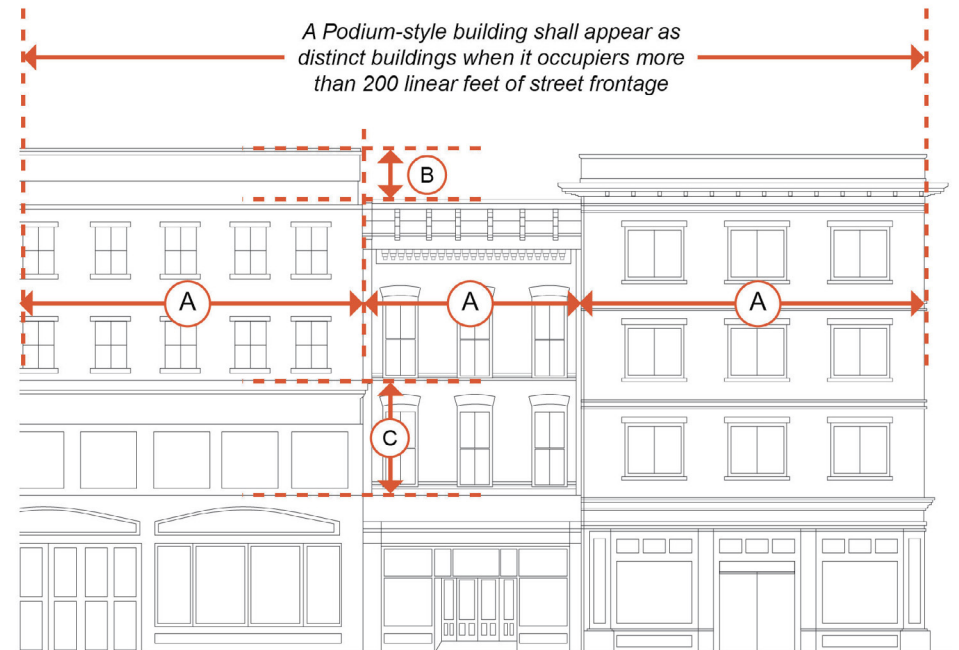
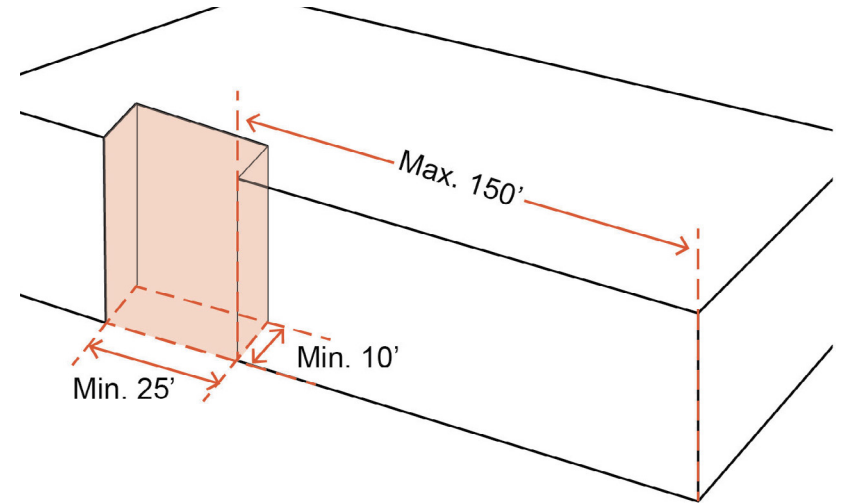
II. Massing

1. Building Length. To create a more interesting and walkable public realm, individual buildings shall be no longer than 150 feet in length. For those buildings that are longer than 150 feet in length, a building notch shall be provided on the podium starting at the street level, for the entire height of the façade, to break up the massing. The building notch shall have a minimum dimension of 25 feet in width and 10 feet in depth (Tasman East)

2. Massing Increment Dimensional Standards

Table 2: Massing Increment Dimensional Standards

Objective Design Standard		Dimensions
A	Massing increment (max.)	150 feet
B	Facade Height Difference between Massing Increments (min.)	10% of Lesser Facade Height
C	Building Base Height Difference between Massing Increments	3 feet



3. Distinct Buildings Using Massing Increment Design. A Podium-Style Building shall appear as distinct buildings when it occupies more than 200 linear feet of street frontage. At a minimum, it shall appear as three (3) distinct building using massing increments design: (Downtown Form-Based Code)
 - a. There shall be a clearly noticeable difference in facade materials and color between Distinct Buildings
 - b. There shall be a clearly noticeable difference in the type and composition of facade openings and architectural elements between distinct buildings.
 - c. The building base heights of adjacent Distinct Buildings shall differ by an entire floor.
 - d. A Massing Increment Design shall only be repeated up to a maximum of three (3) times on the same project elevation.
 - i. Repeated Massing Increments shall not be immediately adjacent to each other.
 - ii. Forecourts may provide separation between repeated Massing Increment Designs

III. Facade Design

1. Facade Composition. Facade elements shall be organized by a grid. Patterns of openings within each individual facade or Building Increment shall be organized into a grid per the standards below. (Downtown Form Based Code)
 - a. Horizontal alignment of elements. Rooflines, openings, and materials within each facade or facade module must align horizontally and be consistent in style across the entire width.
 - b. Vertical alignment of openings into bays. The entirety of a building's façade or massing increments shall be clearly divided into vertical bays, subject to the following:
 - i. Façade bays shall extend from the ground to the top of the façade and are defined by vertical structure (solid portions of wall, piers, etc.) which extends from the ground to the top of the façade.
 - ii. Each bay must be stacked within bays as illustrated in the figure below. Openings shall be arranged symmetrically within bays.
 - iii. Each bay shall be at minimum 15 feet wide.



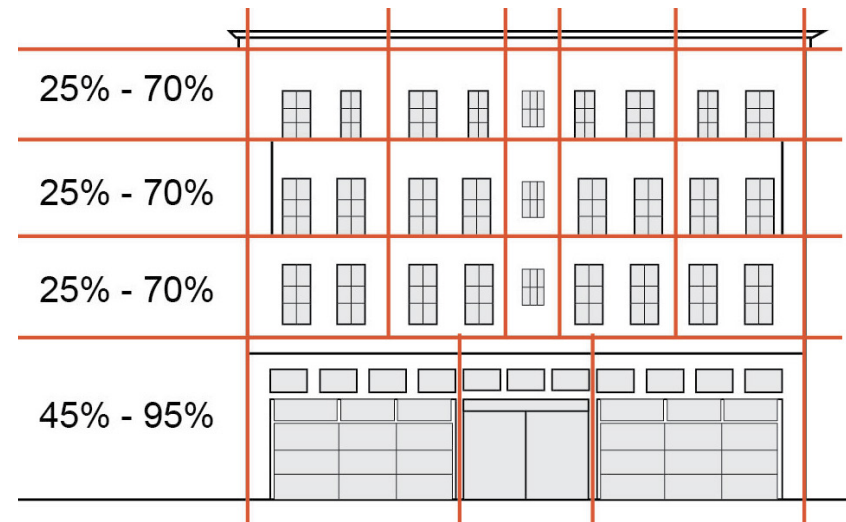
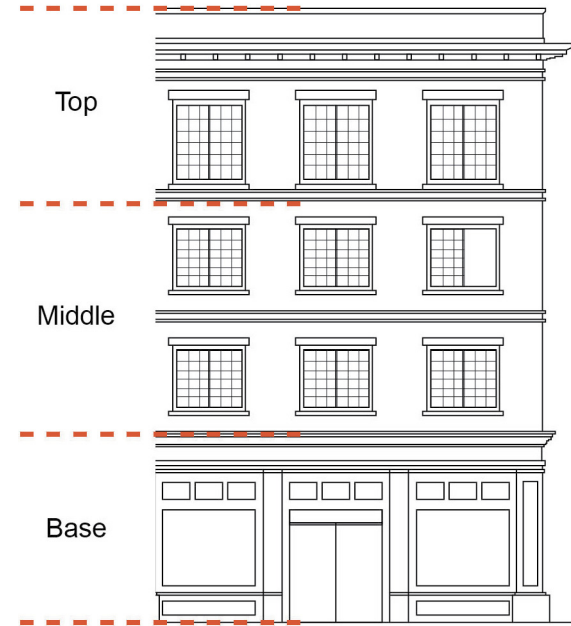
Facade elements shall be organized by a grid. Rooflines, openings, and other materials must align horizontally. Facade elements or massing increments shall be divided into vertical bays.

2. Base, Middle and Top. Buildings shall have a Base, Middle, and Top. (Downtown Form Based Code)
 - a. The Building's Base shall be differentiated from the rest of the façade whether through a change in material, change in type of opening, belt course, or a combination of these elements.
 - b. The Building's Middle features floors shall be generally repetitive, with only minor variations between each floor.
 - c. The Building's Top shall feature some form of capping element, such as a cornice, enhanced ornamentation, or a decorative parapet. In larger buildings, the upper most floor shall be visually incorporated into the building's top design.
3. Façade Fenestration.
 - a. Fenestration Area. Façade shall be designed with fenestration – openings on the façade, including windows and doors – the amount identified by:

Table 3: Fenestration Areas

Facade Area	Dimensions
Base of Building	40% - 95%
Middle & Top of Building	25% - 70%

- b. Fenestration amount is calculated as a percentage of openings – including all windows and doors on the façade – to an area of façade. Each portion of the façade grid must have a fenestration percentage which falls within the range identified by Table 3.

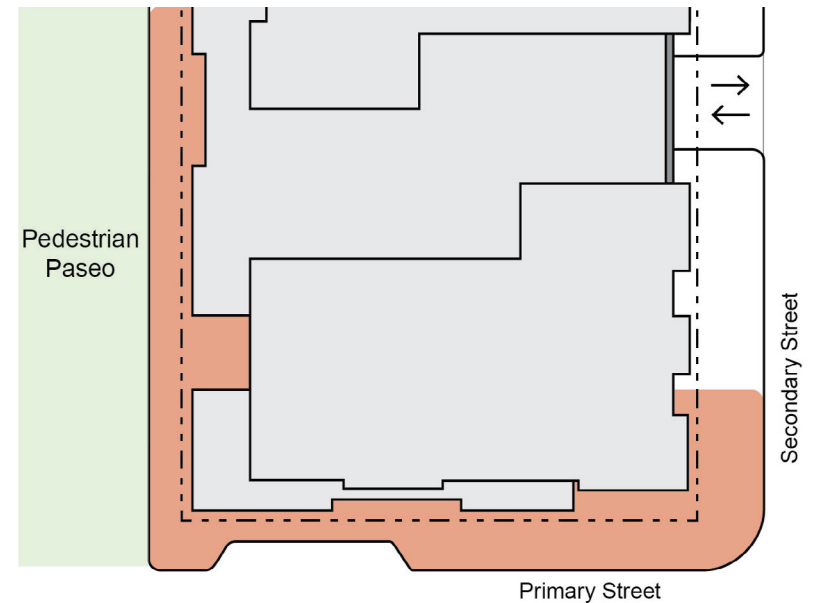
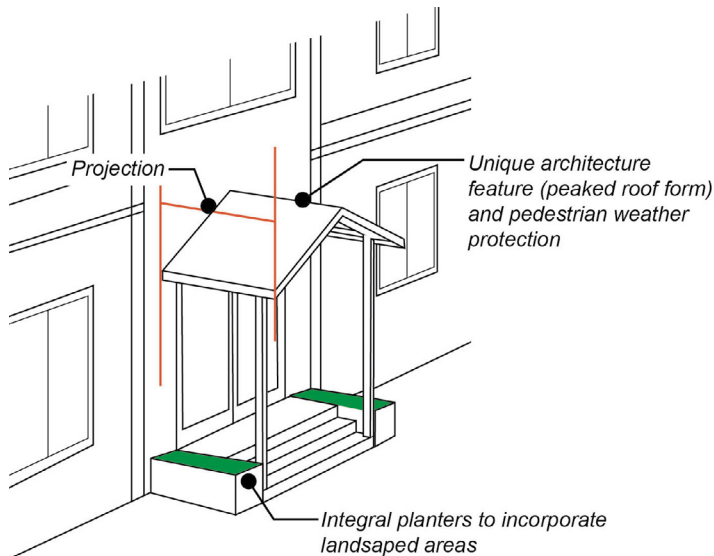


Building Design

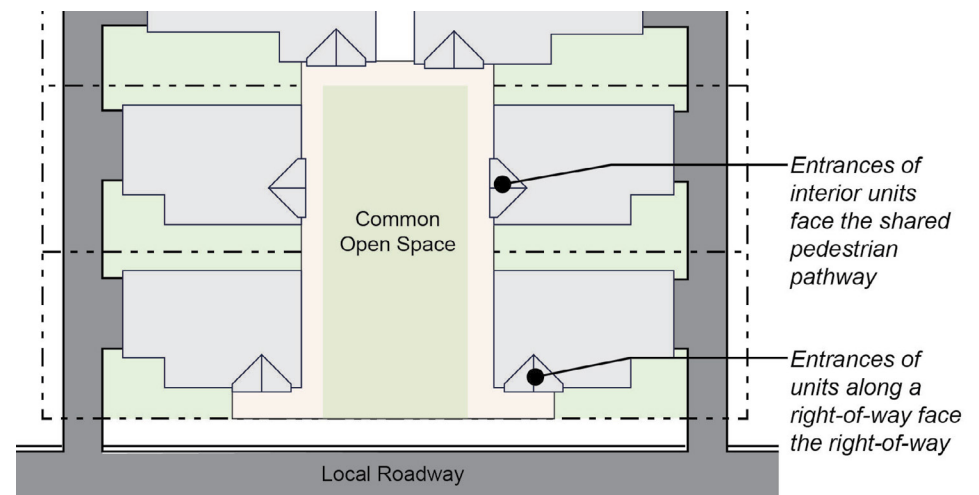
- c. General to Base, Middle, and Top. Window jams shall be set in a minimum of four (4) inches from the main façade plane. Trim/ moldings on the façade do not count toward this recess depth.
 - d. Specific to the Top. Upper-floor wall openings shall be square or taller than they are wide. Individual vertically proportioned windows can be grouped side by side to form a horizontal ensemble of windows
4. Parking Structure Façade Standards. (Downtown Form Base Code)
- a. Façade Design. Parking Structure Facades shall be designed to fit into the urban context in one of the two following ways:
 - i. The Façades meet the Massing Standard of this document.
 - ii. Facades designed as art walls, murals, or screens that incorporate decorative, graphic, or sculptural elements. Such facades are subject to recommendations from the Cultural Arts Commission and the Historical & Landmarks Commission, followed by Community Development Director or their designee approval, based on the following Required Finding:
 - Façade design is unique and iconic, using durable, element-resistant, materials and techniques
 - b. Future-Proof Parking. Parking Garages shall be designed to accommodate conversions to other uses and shall have at least one of the following features:
 - i. Level floor, apart from necessary ramps
 - ii. Floors with 10 feet minimum clear height from floor to ceiling
 - iii. Cut-outs for planned shafts in decks and other structural members to accommodate future utilities (heating, cooling, venting, etc.)

IV. Access and Entrance Design

1. Building Orientation. Buildings shall be oriented to ensure the primary facades and entrance areas of all buildings face the street, open spaces, or other pedestrian-oriented circulation areas. (Lawrence Station).
2. Primary Entrances. Primary entrances shall feature at least two of the following: (Tasman East)
 - a. Unique architectural feature (i.e. prominent tower feature or peaked roof form and/or variation in building color/material);
 - b. Recess or projection;
 - c. Pedestrian weather protection (i.e. canopy, overhang, or arcade).
 - d. Streetscape including outdoor patio, integral planters or wing walls that incorporate landscaped areas and/ or places for sitting.



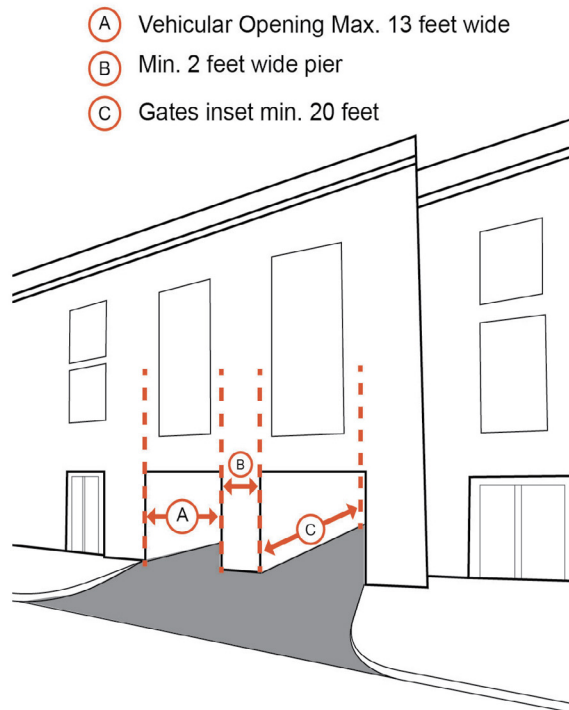
Entrance areas facing the street, open spaces, or other pedestrian-oriented circulation areas



3. Frequency of Entries (Podium/Wrap-Style). The quantity of building entrances on a street has a drastic effect on the perceived liveliness of a street. The frequency of entrances is regulated by Table 4 (Downtown Form Based Code)

Table 4: Frequency of Entries (Podium/Wrap-Style)

Facade Area	Residential	Mixed-Use
Frequency of Building Entries (max. distance between entries)	100 feet	75 feet



4. Vehicular Access. (Downtown Form Based Code)
 - a. Vehicular Access openings shall be no more than 13 feet wide. Where adjacent openings are necessary to provide entry and exist, they shall be separated by a pier (a portion of wall) of at least two (2) feet in width
 - b. Gates which open to allow cars to enter (excluding security doors that are shut when the garage is not accessible) shall be inset from the façade by a minimum of 20 feet, to allow cars to await entry without blocking the sidewalk.

V. Materials

1. Primary Materials. Untreated plastics, unfinished metal, corrugated fiberglass and non-architectural grade plywood shall not be used as primary materials (Tasman East).

4 Pedestrian Level Design

I. Purpose

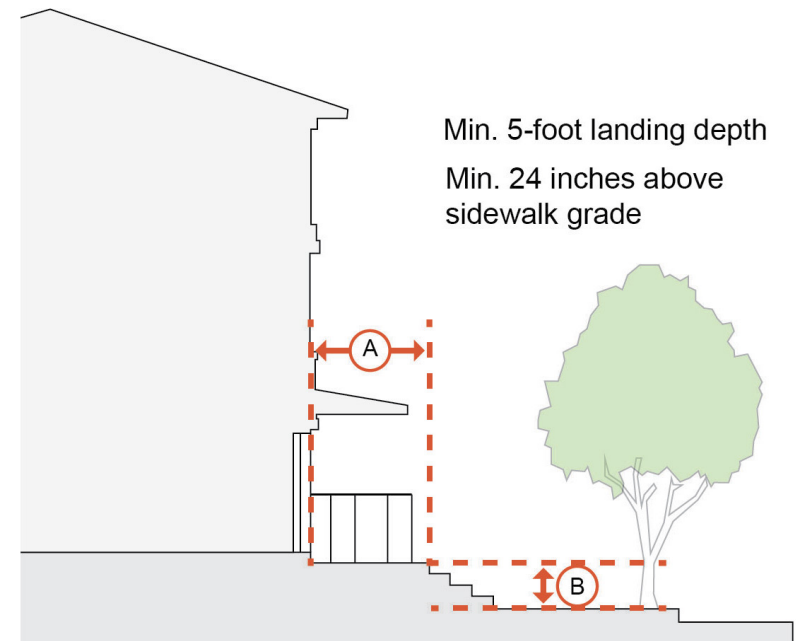
This section provides standards to enhance the character of new development's street frontage to promote pedestrian activity.

II. Ground Floor Retail and Active Uses

1. Ground Floor Retail. Ground floor retail uses shall be at the same grade as the adjacent sidewalk (Lawrence Station)
2. Façade Transparency. Facades of all commercial structures shall incorporate transparent features (clear glass on windows and doors) over a minimum percentage of the surface area at ground-level (Lawrence Station)
 - a. Retail uses: a minimum of 75% shall be transparent
 - b. Other uses: a minimum of 35% shall be transparent

III. Ground Floor Residential

1. Ground Floor Access. Where residential units are located at the ground floor, at least 50% of units on each frontage must be individually accessed from the sidewalk via stoops, side yards or other means. (Tasman East)
2. Stoops. Stoops shall have a minimum five (5)-foot landing depth with room for a table and chairs to provide an opportunity for residents to engage in the social life of the street. (Tasman East)
3. Stoops that face public rights of way shall be set at least 24 inches above sidewalk grade (Tasman East)

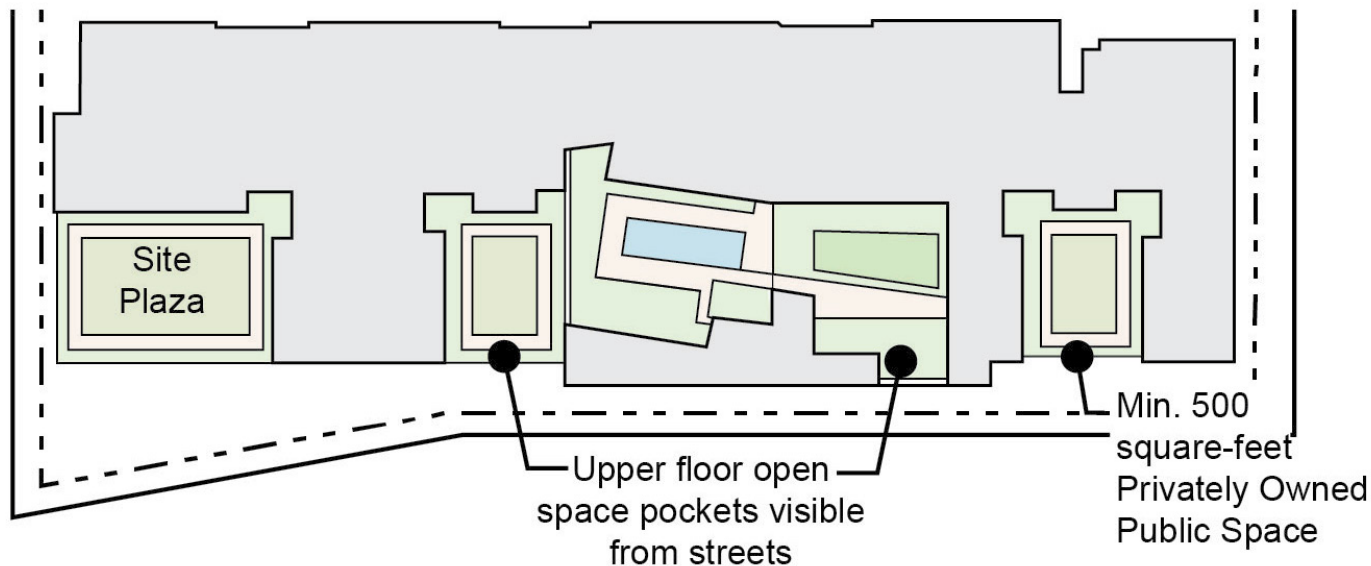


IV. Ground Floor Live / Work

1. Entrances. Because live/work units are meant to be public facing, they shall be entered at-grade and are not required to be elevated above sidewalk level. (Lawrence Station)

V. Open Space Design

1. Podium Style Buildings.
 - a. Podium – Style buildings shall have well-defined outdoor space, such as on site plazas, interior courtyards, patios, terraces and gardens
 - b. Podium – Style buildings shall have privately owned public open space of at least 15 feet wide and 500 square feet in size. (Patrick Henry Drive)
2. Pathways. Pedestrian paths through the site shall be at least five (5) feet wide (Patrick Henry Drive)



3. Special Paving. Special Paving shall be used for the following areas:
 - a. Pedestrian crossing (mid-block, raised pedestrian crossings/speed tables, and etc.)
4. Public Art. Outdoor plazas and semi-public courtyards shall have public art elements such as sculptures, fountains, and art pieces.
5. Refuse & Recycling Receptacles. Provide a maximum of one receptacle every 200 feet along streets if proposing more than 10 units. Additional receptacles should be provided only if a private sponsor provides continued maintenance
 - a. Provide one receptacle at each corner of intersections (Patrick Henry Drive)

VI. Alleys and Service Access

1. Lighting. Provide lighting in alleyways for safety.
2. Alleys. Alleys intended for emergency vehicles access shall have a minimum width of 25 feet to allow for access and landscaping (Patrick Henry Drive)



Agenda Report

25-996

Agenda Date: 11/12/2025

REPORT TO PLANNING COMMISSION

SUBJECT

Study Session on Draft Citywide Objective Design Standards

BACKGROUND

California has been facing a housing affordability crisis since the 1980's due to various reasons. One reason has been the unpredictable development environment that developers have faced as they juggle between multiple cities' varied zoning development standards and processes.

Beginning with the passage of Senate Bill 35 (SB 35, now SB 423) in 2017, State law allows for the streamlined, ministerial approval of eligible housing development projects with two or more dwelling units. A series of housing laws passed since 2017 resulted in additional streamlining provisions for various multifamily housing types.

Currently, California Government Code Sections 65913.4 and 65589.5 mandate that cities utilize only "objective planning standards" related to the project site, land use regulations and project form when reviewing residential development applications. Subjective criteria, frequently contained in local design guidelines and land use priorities, may not be used as a basis for approving or disapproving a housing project that is eligible for streamlined approval.

According to California Government Code Section 65913.4(a)(5), residential projects eligible for streamlining shall be "consistent with objective zoning standards, objective subdivision standards, and objective design review standards in effect at the time that the development is submitted." State law defines "objective standards" as:

"Criteria that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official before submittal."

Based on this definition, objective design standards must be composed of quantitative requirements, numeric thresholds, discrete options, point-based standards, and/or other approaches that facilitate ministerial, or "checklist-style" review.

Like most jurisdictions in California, Santa Clara had not adopted a comprehensive set of objective design standards prior to SB 35. Currently, the City of Santa Clara has objective design standards codified through its five Specific and Precise Plans- Freedom Circle, Patrick Henry, Lawrence Station, Tasman East, & Downtown-but those standards are only applicable within each plan area. These are small geographic areas within the City, leaving the rest of the City covered by the limited number of objective standards found under the various zoning districts and the existing design guidelines (Single Family & Duplex Residential Design Guidelines & Community Design Guidelines).

As such, except for the limited geographic areas, the City has no means of ensuring that housing projects streamlined under State law are consistent with local design priorities. Through the review of development projects utilizing SB 35 and related laws, the Planning Division recognized this deficiency and started working on City-wide objective design standards so that the City can maintain the maximum degree of local design control as required by Housing Element Policy A-3

Proposed Workplan

Staff has started to address this issue through a workplan that completes this effort in two phases. Phase I is to identify and gather existing objective design standards that have already been vetted by the community and decision-makers that are included in the various regulatory City documents, most specifically from the five Specific/Precise Plans. These standards will form the baseline for the City's comprehensive objective design standards that will be applicable Citywide. During this initial phase, gaps will be identified where additional objective design standards are necessary to address design situations not covered with existing standards. Phase II will commence when the City hires a consultant team to assist with the development of new standards that will include a process that will seek community feedback through outreach and engagement.

This study session is intended to provide the Planning Commission with an overview of the Phase I efforts, gather input on the draft document and identify any gaps in the standards. The standards are a baseline and will be expanded with feedback from the Commission, community input, developer input and internal staff. Staff expects Phase I to be implemented into the zoning code by March 2026 and Phase II by 2028 at the latest.

DISCUSSION

The study session will be guided by the following agenda:

- Background
 - Objective Design Standards (“ODS”) Definition
 - Reasons to have ODS
- ODS Applicability
- ODS Crafting & Implementation Plan
 - Phase I
 - Using existing ODS that have been vetted by the community & decision makers from Planning Documents to apply Citywide
 - Create an ODS Checklist for Developers to use & Staff to confirm compliance
 - Phase II
 - Hire a consultant to help with engaging the community to fill ODS gaps (e.g. more townhouse standards) (Start Date:2026)
- ODS Document Draft
- Feedback Discussion
- Conclusion
 - Next Steps

ENVIRONMENTAL REVIEW

This study session does not constitute a “project” under the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15378(b)(5), as it’s a governmental administrative

activity that won't result in a direct or indirect change to the environment. Prior to adopting any zoning code update, the City will undertake appropriate environmental review.

FISCAL IMPACT

There is no fiscal impact to the City other than administrative staff time.

COORDINATION

This report has been coordinated with the City Attorney's Office.

PUBLIC CONTACT

Public contact was made by posting the Council agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office at least 72 hours prior to a Regular Meeting and 24 hours prior to a Special Meeting. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov <<mailto:clerk@santaclaraca.gov>> or at the public information desk at any City of Santa Clara public library.

Prepared by: Alex Tellez, Assistant Planner, Community Development Department

Reviewed by: Alexander Abbe, Assistant City Attorney

Approved by: Afshan Hamid, Director, Community Development Department

ATTACHMENTS

1. ODS Draft Document
2. Web Links - ODS Resources & Laws



CITY OF SANTA CLARA

Draft Objective Design Standards for City-wide Multi-Family and Residential Mixed-Use Projects

NOVEMBER 2025

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Introduction

I. Intent

The Objective Design Standards identify specific design elements that are required for all multi-family residential and residential mixed-use projects. The intent of the Objective Design Standards is to allow flexibility and creativity in design while providing a clear set of standards and expectations for applicable projects. The Objective Design Standards in this document are a compilation of adopted Objective Design Standards from the City's Specific Plans and Focus Areas.

Residential multi-family and mixed-use development in the City of Santa Clara is regulated by the General Plan, Zoning Ordinance, Specific Plans, and other applicable regulatory documents. Compliance with these regulations is supported by a discretionary design review process established in Santa Clara City Code (SCCC) Chapter 18.120.

The City's Objective Design Standards are intended to be consistent with Government Code Section 65913.4 and 66300(a)(7) as they do not "involve personal or subjective judgment by a public official" and they "are uniformly verifiable by reference to an external and uniform benchmark or criterion".

The Objective Design Standards will do the following:

- Provide clear, objective, and measurable standards for multi-family and residential mixed-use projects throughout the city;
- Streamline project review of housing, in accordance with State law;
- Ensure buildings are appropriate to their surroundings and environment;
- Promote thoughtful, context-sensitive site design;
- Maintain and enhance Santa Clara's built environment through quality architectural design; and
- Promote a pedestrian scale urban environment that enriches the quality of life of its citizens.

II. Applicability

- A. The Objective Design Standards are applicable to new multi-family development and residential mixed-use development, and additions to existing multi-family or residential mixed-use development.
- B. For modifications to existing residential mixed-use developments where no additional square footage is proposed, these standards and guidelines shall only apply to the use being modified (e.g., a ground floor retail storefront remodel will not trigger any architectural changes to residential units).
- C. These standards are additive to the zoning development standards specified in SCCC Chapter 18.10 (Residential Zones) and SCCC Chapter 18.14 (Mixed-Use Zones). Development pursuant to any California state law that references objective design standards, including but not limited to Government Code Section 65589.5 (Housing Accountability Act) and Section 65913.4 must abide by these standards.
- D. The objective design standards shall not conflict with the standards applicable to a specific plan area but if there is conflict, the specific plan standards shall apply
- E. The specific applicability of these objective design standards will be determined by the multi-family or residential mixed-use product type (such as townhouses, podium/wrap-style buildings) that is proposed. The following table breaks down the applicability of the standards

Table 1: Objective Design Standard Applicability

Design Standard	Product Type	
	Townhouse	Podium/Wrap-Style
Site Design		
Site Access (Parking)	--	•
Site Access (Loading Zone)	--	•
Site Access (Driveways)	--	•
Site Organization (Public Realm Extension)	•	•
Site Access (Corner Building Orientation)	--	•
Building Design		
Massing (Building Length)	--	•
Massing (Massing Increment Dimensional Standards).	•	•
Massing (Massing Increment Design)	•	•
Massing (Massing Increments as Distinct Buildings)	--	•
Massing (Distinct Buildings)	--	•
Façade Design (Facade Composition)	--	•
Façade Design (Base, Middle and Top)	•	•
Façade Design (Façade Fenestration)	•	•
Façade Design (Parking Structure Façade Standards)	--	•

Access & Entrance Design (Building Orientation)	•	•
Access & Entrance Design (Primary Entrances)	•	•
Access & Entrance Design (Frequency of Entries)	--	•
Access & Entrance Design (Vehicular Access)	--	•
Materials (Primary Materials)	•	•
Pedestrian Level Design		
Ground Floor Treatment - Retail (Facade Transparency and Ground Floor Retail)	--	•
Ground Floor Treatment - Residential (Ground Floor Access)	--	•
Ground Floor Treatment - Residential (Stoops)	--	•
Ground Floor Treatment – Live/Work (Entrances)	--	•
Open Space Design (Podium Style Buildings)	--	•
Open Space Design (Pathways)	--	•
Open Space Design (Special Paving)	•	•
Open Space Design (Public Art)	--	•
Open Space Design (Refuse & Recycling Receptacles)	•	•
Alley & Service Access (Lighting)	--	•
Alley & Service Access (Alleys)	•	•

Introduction

Glossary

Note: The definitions below are only applicable to the Objective Design Standards on this section of the Santa Clara City Code.

Podium-Style Building: A development project that involves a horizontal separation between an upper building and a lower, or podium, building. The lower building typically is constructed out of concrete; the upper building (some three to five stories tall) is made of wood.

Primary Materials: Any wall finish material or color that occupies more than 50 percent of the façade.

Product Type: The proposed residential building type like detached single family residences, townhomes, podium style buildings, & etc.

Special Paving: A distinct impermeable material such as natural stone paver, unit concrete pavers, brick, textured and colored concrete.

Townhouses: Attached side-by-side or stacked units that generally have front doors on one side and garages on the back side. Most townhouses have two-car garages, either two spaces wide or two tandem spaces (end to end). The front doors look onto a public street, private drive, or common open space, while the garages are usually lined up along an alley with garage doors on both sides. This development type typically includes tuck-under garage parking and additional surface parking spaces for visitors.

Wrap-Style Building: A development project that typically consists of a central above-grade concrete parking structure surrounded or “wrapped” by 4 – 7 stories of wood or steel construction.

Organization of Objective Design Standards

The Objective Design Standards are organized into three design components: site design, building design, and pedestrian level design.

Site Design: These standards apply to the site layout to foster multimodal connectivity and create cohesive neighborhoods.

Building Design: These standards apply to the architectural features such as massing, fenestration, and articulation.

Pedestrian Level Design: These standards apply to the ground floor frontage to promote pedestrian activity and human-scale development.

Note: Graphic reference for this page to visually show each chapter of these standards.

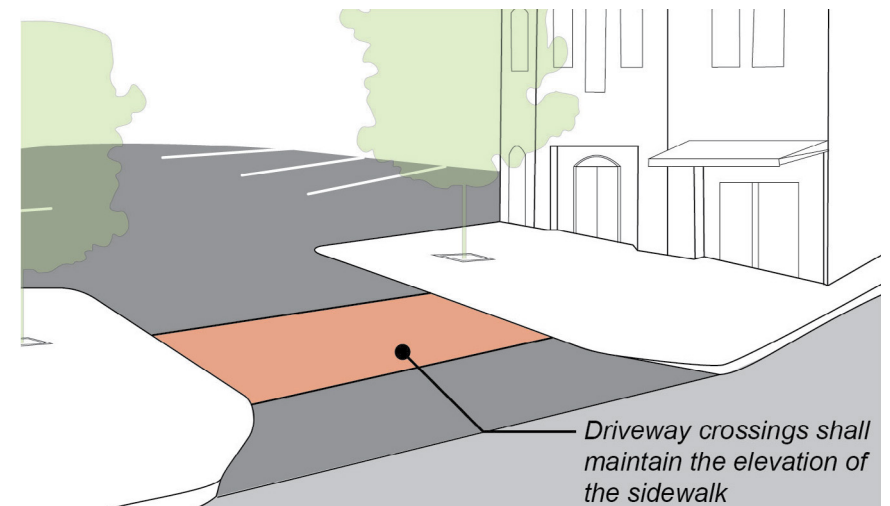
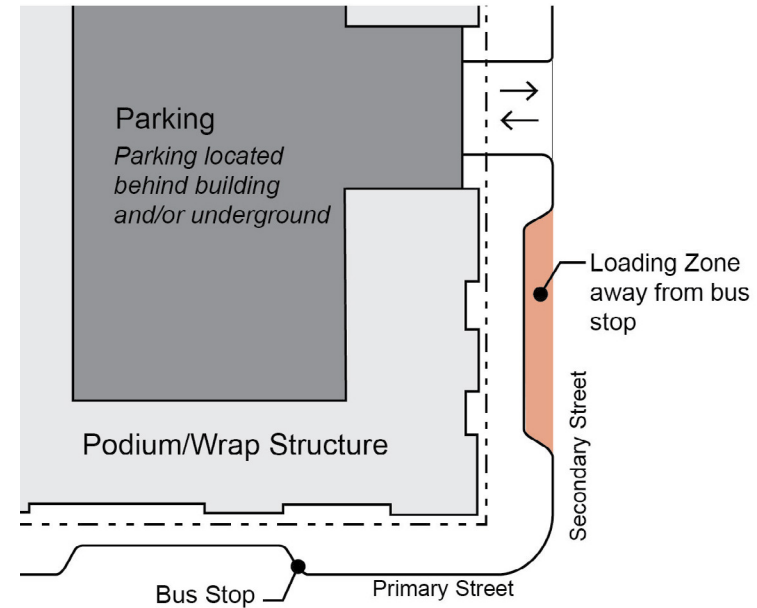
2 Site Design

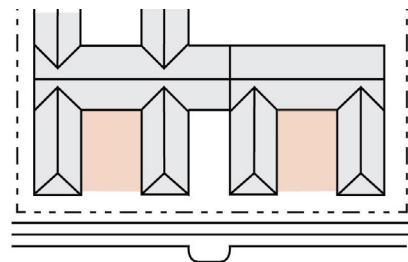
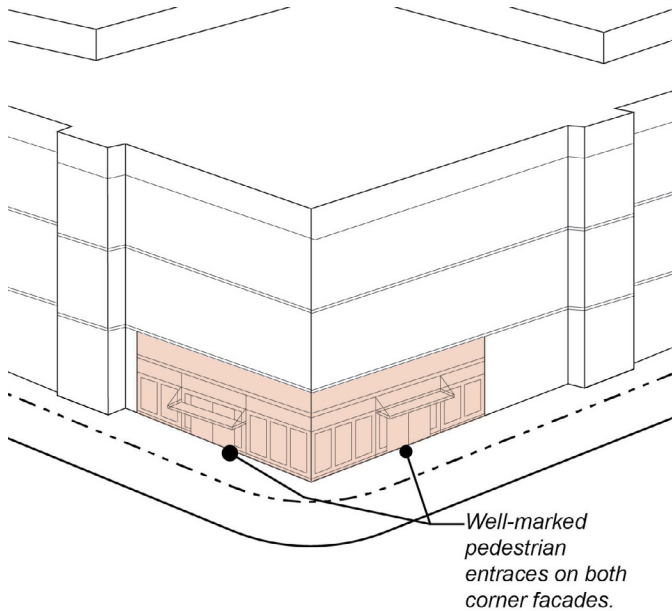
I. Purpose and Goals

This section provides site design standards to create more pedestrian-friendly functional communities through expanded pedestrian access, convenient multi-modal connections, and human-scaled block sizes.

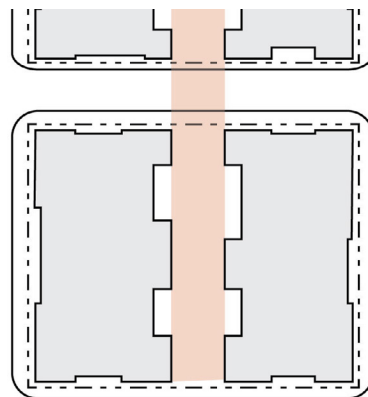
II. Site Access and Layout

1. **Parking.** Parking shall be located away from streets and other public and communal spaces. Parking shall be located behind buildings, underground, or at the interior of the block except where there is ground floor retail (Lawrence Station)
2. **Loading Zones.** Locate loading zones and rideshare pick-up / drop-off areas away from bus stops. (FC Focus Area).
3. **Driveways and Access.** Driveway access shall be designed to clearly prioritize pedestrians, according to the following requirements:
 - a. Driveway crossings shall maintain the elevation of the sidewalk;
 - b. Driveway aprons shall not extend into the pedestrian clear walkway where cross slopes are limited to a maximum of two percent; steeper driveway slopes are permitted in the furnishing and edge zones of the streets;
 - c. The dimensions and design of parking entry and exit points shall be coordinated with the requirements for stormwater treatment areas and street trees;
 - d. Curb cuts shall be minimized on greenways or open spaces, with at most only one maximum allowable curb cut (Tasman East)



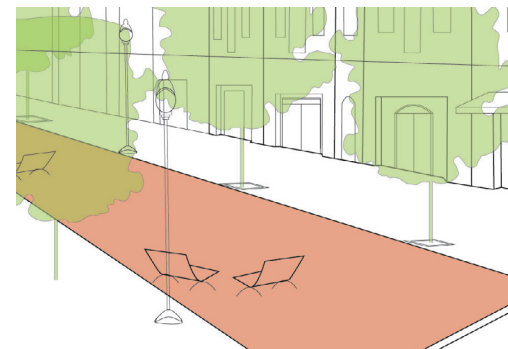


Public realm extensions also provide connections through blocks. This is accomplished with a paseo or through a sequence of courts and paseos linking together through the block.



III. Site Organization, Planning, and Design

1. Public Realm Extensions. While most buildings and ground-floor units will front onto and take their primary access from the adjacent Public Realm right-of-way, some buildings and ground-floor units may take this primary access from shared private spaces and connections that function as extensions of the public realm into a site. Such spaces comprise a “Semi-Public Realm” and serve as transitions between fully public and fully private spaces. Public Realm Extensions are subject to the following standards: (Downtown Form Based-Code)
 - a. Connectivity. Public realm extensions also provide connections through blocks. This is accomplished with a paseo or through a sequence of courts and paseos linking together through the block. Where non-vehicular paths are used, full and unrestricted public access shall be provided throughout the route.
 - b. Design. No wall or fence enclosing a public realm extension may exceed three (3) feet in height.
2. Corner Building Orientation: Ensure that corner buildings actively address both streets with well-marked and attractively designed pedestrian entrances (Patrick Henry Drive)



3 Building Design

I. Purpose and Goals

This section provides architectural design standards to create functional and welcoming human-scaled buildings that blend well with their surroundings and support active streets and public spaces.

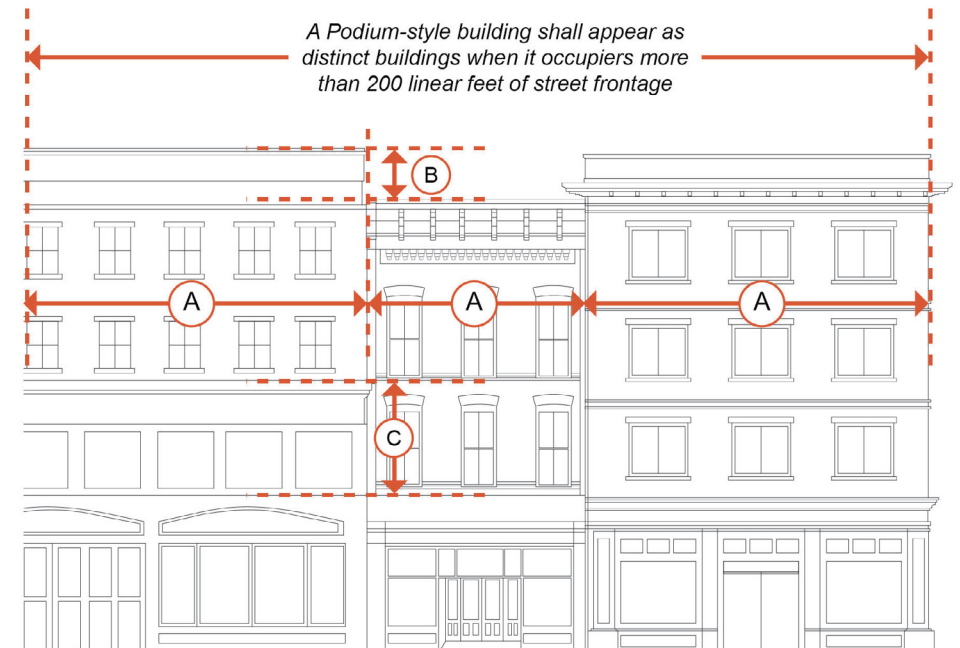
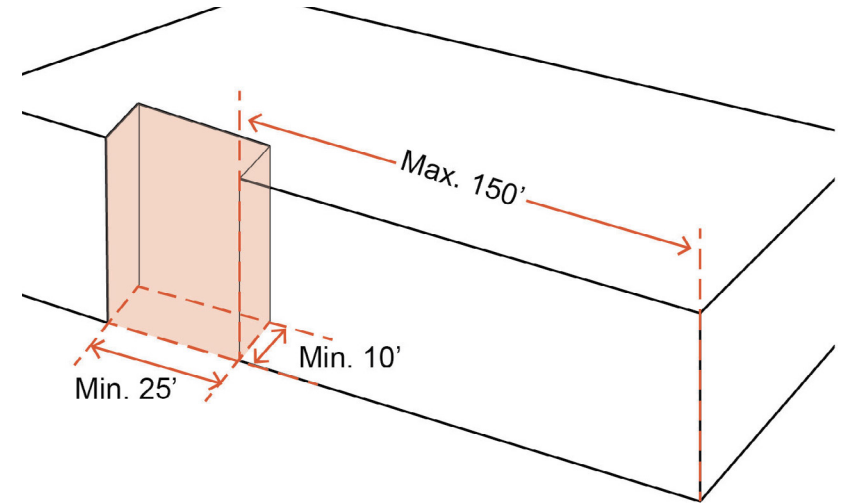
II. Massing

1. Building Length. To create a more interesting and walkable public realm, individual buildings shall be no longer than 150 feet in length. For those buildings that are longer than 150 feet in length, a building notch shall be provided on the podium starting at the street level, for the entire height of the façade, to break up the massing. The building notch shall have a minimum dimension of 25 feet in width and 10 feet in depth (Tasman East)

2. Massing Increment Dimensional Standards

Table 2: Massing Increment Dimensional Standards

Objective Design Standard	Dimensions
A Massing increment (max.)	150 feet
B Facade Height Difference between Massing Increments (min.)	10% of Lesser Facade Height
C Building Base Height Difference between Massing Increments	3 feet



3. Distinct Buildings Using Massing Increment Design. A Podium-Style Building shall appear as distinct buildings when it occupies more than 200 linear feet of street frontage. At a minimum, it shall appear as three (3) distinct building using massing increments design: (Downtown Form-Based Code)
 - a. There shall be a clearly noticeable difference in facade materials and color between Distinct Buildings
 - b. There shall be a clearly noticeable difference in the type and composition of facade openings and architectural elements between distinct buildings.
 - c. The building base heights of adjacent Distinct Buildings shall differ by an entire floor.
 - d. A Massing Increment Design shall only be repeated up to a maximum of three (3) times on the same project elevation.
 - i. Repeated Massing Increments shall not be immediately adjacent to each other.
 - ii. Forecourts may provide separation between repeated Massing Increment Designs

III. Facade Design

1. Facade Composition. Facade elements shall be organized by a grid. Patterns of openings within each individual facade or Building Increment shall be organized into a grid per the standards below. (Downtown Form Based Code)
 - a. Horizontal alignment of elements. Rooflines, openings, and materials within each facade or facade module must align horizontally and be consistent in style across the entire width.
 - b. Vertical alignment of openings into bays. The entirety of a building's façade or massing increments shall be clearly divided into vertical bays, subject to the following:
 - i. Façade bays shall extend from the ground to the top of the façade and are defined by vertical structure (solid portions of wall, piers, etc.) which extends from the ground to the top of the façade.
 - ii. Each bay must be stacked within bays as illustrated in the figure below. Openings shall be arranged symmetrically within bays.
 - iii. Each bay shall be at minimum 15 feet wide.



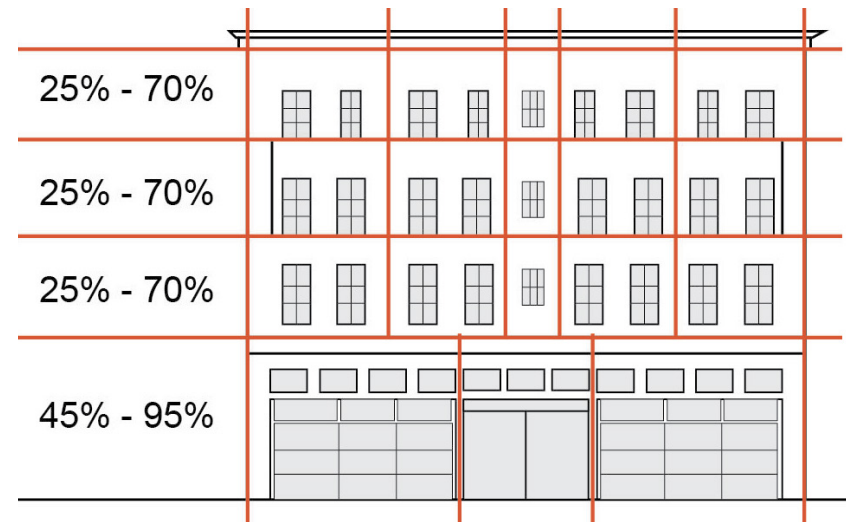
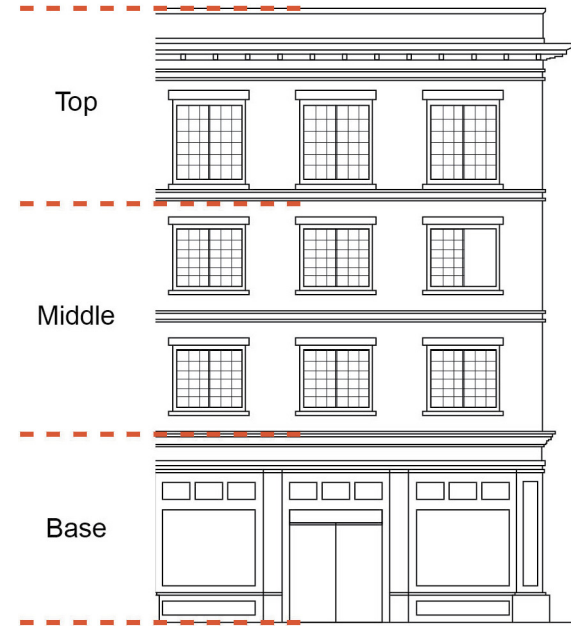
Facade elements shall be organized by a grid. Rooflines, openings, and other materials must align horizontally. Facade elements or massing increments shall be divided into vertical bays.

2. Base, Middle and Top. Buildings shall have a Base, Middle, and Top. (Downtown Form Based Code)
 - a. The Building's Base shall be differentiated from the rest of the façade whether through a change in material, change in type of opening, belt course, or a combination of these elements.
 - b. The Building's Middle features floors shall be generally repetitive, with only minor variations between each floor.
 - c. The Building's Top shall feature some form of capping element, such as a cornice, enhanced ornamentation, or a decorative parapet. In larger buildings, the upper most floor shall be visually incorporated into the building's top design.
3. Façade Fenestration.
 - a. Fenestration Area. Façade shall be designed with fenestration – openings on the façade, including windows and doors – the amount identified by:

Table 3: Fenestration Areas

Facade Area	Dimensions
Base of Building	40% - 95%
Middle & Top of Building	25% - 70%

- b. Fenestration amount is calculated as a percentage of openings – including all windows and doors on the façade – to an area of façade. Each portion of the façade grid must have a fenestration percentage which falls within the range identified by Table 3.

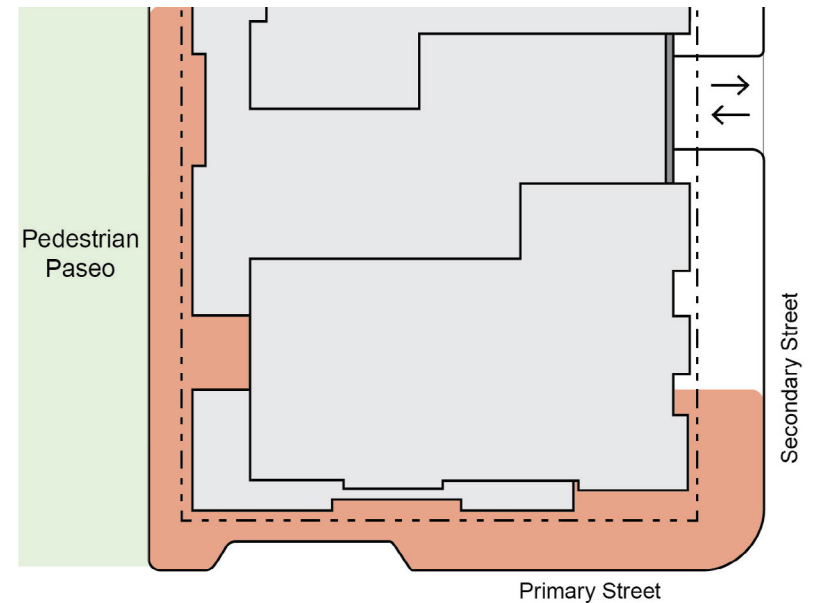
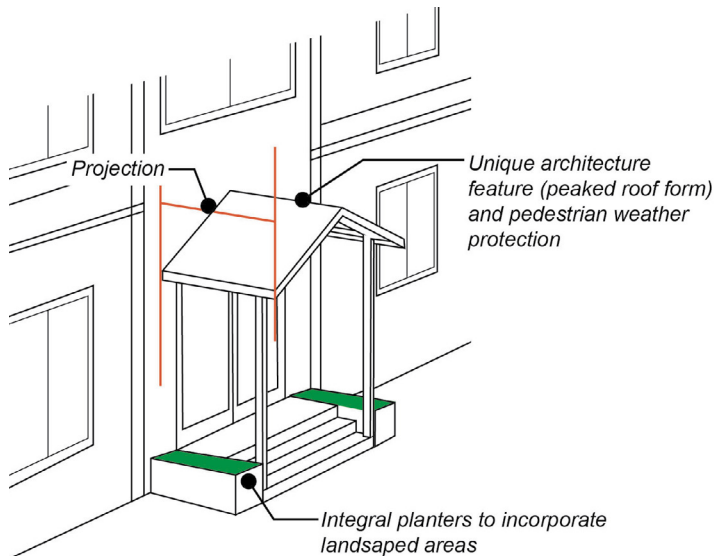


Building Design

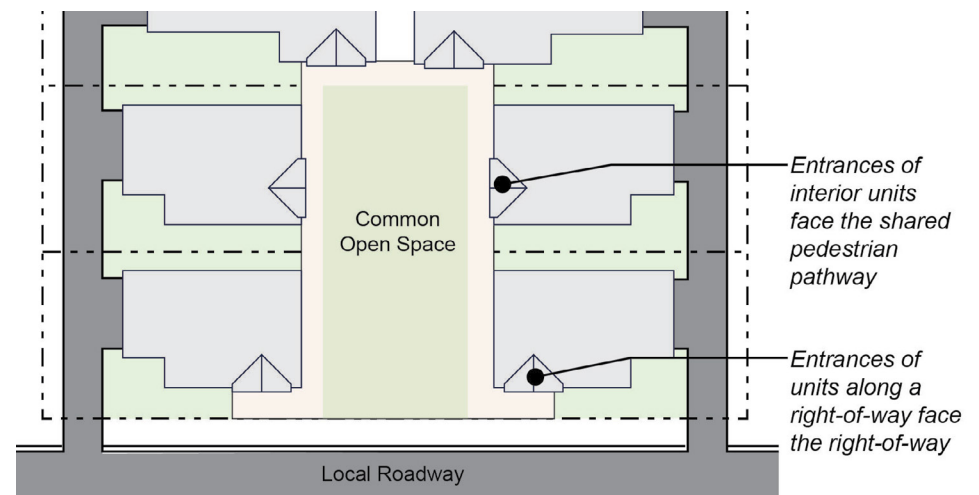
- c. General to Base, Middle, and Top. Window jams shall be set in a minimum of four (4) inches from the main façade plane. Trim/ moldings on the façade do not count toward this recess depth.
 - d. Specific to the Top. Upper-floor wall openings shall be square or taller than they are wide. Individual vertically proportioned windows can be grouped side by side to form a horizontal ensemble of windows
4. Parking Structure Façade Standards. (Downtown Form Base Code)
- a. Façade Design. Parking Structure Facades shall be designed to fit into the urban context in one of the two following ways:
 - i. The Façades meet the Massing Standard of this document.
 - ii. Facades designed as art walls, murals, or screens that incorporate decorative, graphic, or sculptural elements. Such facades are subject to recommendations from the Cultural Arts Commission and the Historical & Landmarks Commission, followed by Community Development Director or their designee approval, based on the following Required Finding:
 - Façade design is unique and iconic, using durable, element-resistant, materials and techniques
 - b. Future-Proof Parking. Parking Garages shall be designed to accommodate conversions to other uses and shall have at least one of the following features:
 - i. Level floor, apart from necessary ramps
 - ii. Floors with 10 feet minimum clear height from floor to ceiling
 - iii. Cut-outs for planned shafts in decks and other structural members to accommodate future utilities (heating, cooling, venting, etc.)

IV. Access and Entrance Design

1. Building Orientation. Buildings shall be oriented to ensure the primary facades and entrance areas of all buildings face the street, open spaces, or other pedestrian-oriented circulation areas. (Lawrence Station).
2. Primary Entrances. Primary entrances shall feature at least two of the following: (Tasman East)
 - a. Unique architectural feature (i.e. prominent tower feature or peaked roof form and/or variation in building color/material);
 - b. Recess or projection;
 - c. Pedestrian weather protection (i.e. canopy, overhang, or arcade).
 - d. Streetscape including outdoor patio, integral planters or wing walls that incorporate landscaped areas and/ or places for sitting.



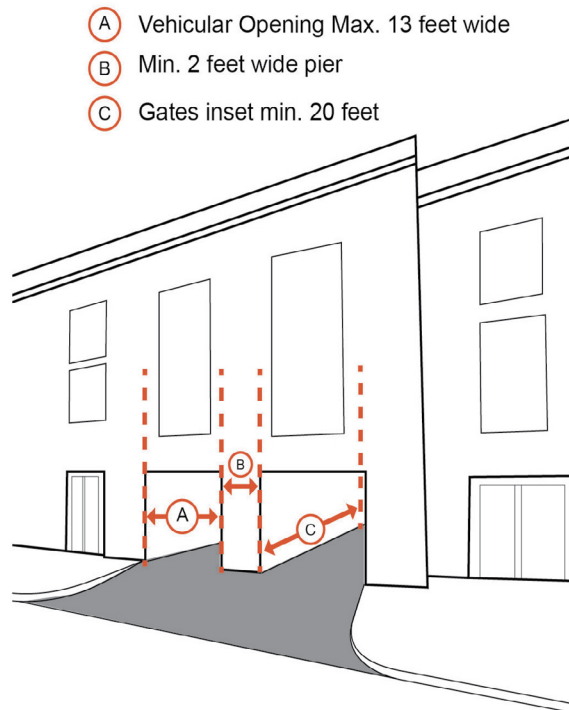
Entrance areas facing the street, open spaces, or other pedestrian-oriented circulation areas



3. Frequency of Entries (Podium/Wrap-Style). The quantity of building entrances on a street has a drastic effect on the perceived liveliness of a street. The frequency of entrances is regulated by Table 4 (Downtown Form Based Code)

Table 4: Frequency of Entries (Podium/Wrap-Style)

Facade Area	Residential	Mixed-Use
Frequency of Building Entries (max. distance between entries)	100 feet	75 feet



4. Vehicular Access. (Downtown Form Based Code)
 - a. Vehicular Access openings shall be no more than 13 feet wide. Where adjacent openings are necessary to provide entry and exist, they shall be separated by a pier (a portion of wall) of at least two (2) feet in width
 - b. Gates which open to allow cars to enter (excluding security doors that are shut when the garage is not accessible) shall be inset from the façade by a minimum of 20 feet, to allow cars to await entry without blocking the sidewalk.

V. Materials

1. Primary Materials. Untreated plastics, unfinished metal, corrugated fiberglass and non-architectural grade plywood shall not be used as primary materials (Tasman East).

4 Pedestrian Level Design

I. Purpose

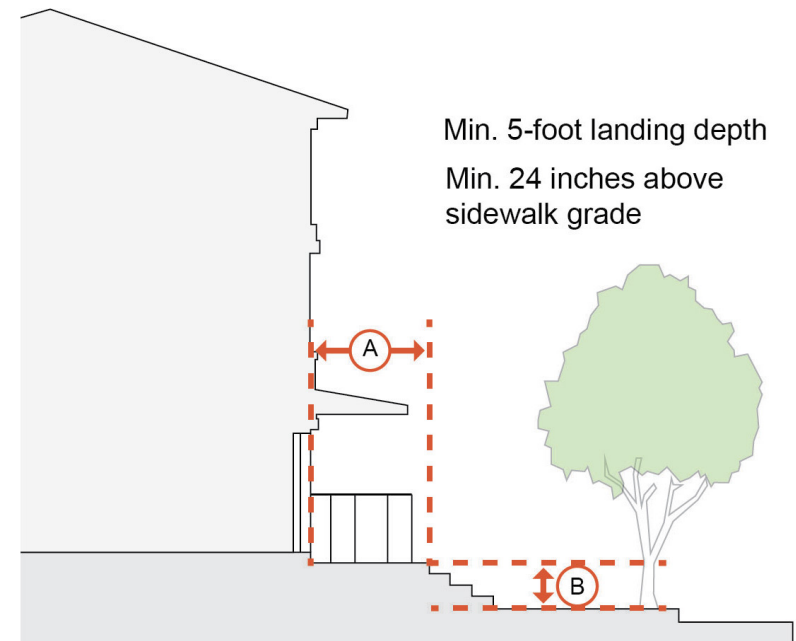
This section provides standards to enhance the character of new development's street frontage to promote pedestrian activity.

II. Ground Floor Retail and Active Uses

1. Ground Floor Retail. Ground floor retail uses shall be at the same grade as the adjacent sidewalk (Lawrence Station)
2. Façade Transparency. Facades of all commercial structures shall incorporate transparent features (clear glass on windows and doors) over a minimum percentage of the surface area at ground-level (Lawrence Station)
 - a. Retail uses: a minimum of 75% shall be transparent
 - b. Other uses: a minimum of 35% shall be transparent

III. Ground Floor Residential

1. Ground Floor Access. Where residential units are located at the ground floor, at least 50% of units on each frontage must be individually accessed from the sidewalk via stoops, side yards or other means. (Tasman East)
2. Stoops. Stoops shall have a minimum five (5)-foot landing depth with room for a table and chairs to provide an opportunity for residents to engage in the social life of the street. (Tasman East)
3. Stoops that face public rights of way shall be set at least 24 inches above sidewalk grade (Tasman East)

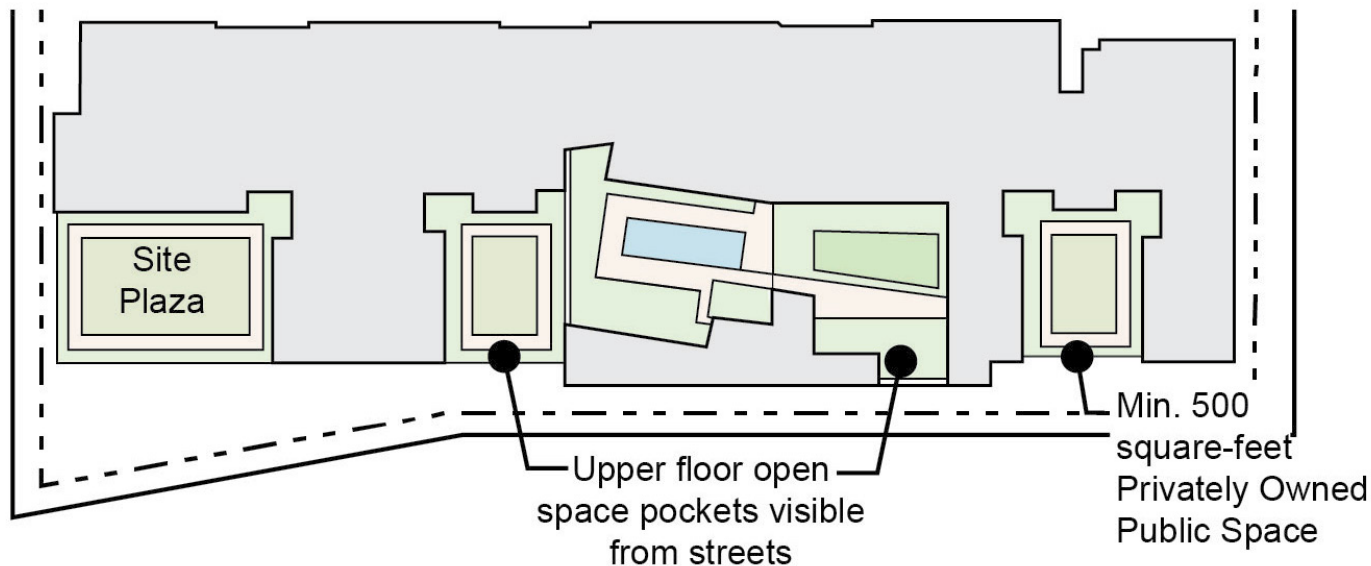


IV. Ground Floor Live / Work

1. Entrances. Because live/work units are meant to be public facing, they shall be entered at-grade and are not required to be elevated above sidewalk level. (Lawrence Station)

V. Open Space Design

1. Podium Style Buildings.
 - a. Podium – Style buildings shall have well-defined outdoor space, such as on site plazas, interior courtyards, patios, terraces and gardens
 - b. Podium – Style buildings shall have privately owned public open space of at least 15 feet wide and 500 square feet in size. (Patrick Henry Drive)
2. Pathways. Pedestrian paths through the site shall be at least five (5) feet wide (Patrick Henry Drive)



3. Special Paving. Special Paving shall be used for the following areas:
 - a. Pedestrian crossing (mid-block, raised pedestrian crossings/speed tables, and etc.)
4. Public Art. Outdoor plazas and semi-public courtyards shall have public art elements such as sculptures, fountains, and art pieces.
5. Refuse & Recycling Receptacles. Provide a maximum of one receptacle every 200 feet along streets if proposing more than 10 units. Additional receptacles should be provided only if a private sponsor provides continued maintenance
 - a. Provide one receptacle at each corner of intersections (Patrick Henry Drive)

VI. Alleys and Service Access

1. Lighting. Provide lighting in alleyways for safety.
2. Alleys. Alleys intended for emergency vehicles access shall have a minimum width of 25 feet to allow for access and landscaping (Patrick Henry Drive)

Web Links

Objective Design Standards Handbook

<https://abag.ca.gov/tools-resources/digital-library/objective-design-standards-handbookapril-2024pdf>

Objective Design Standards Handbook Webinar

<https://mtcdrive.box.com/s/9kcobvgt8cyyp8sk1b4e3ercdgilzwgc>

SB 423 (2023) (Extends SB 35 of 2017)

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=202320240SB423

SB 330 (2019)

https://leginfo.legislature.ca.gov/faces/billTextClient.xhtml?bill_id=201920200SB330

These documents are available for viewing in the Community Development Department



City of Santa Clara

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[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

26-27

Agenda Date: 1/14/2026

REPORT TO PLANNING COMMISSION

SUBJECT

Study Session: 2025 State Housing Legislation Update

DISCUSSION

Assistant City Attorney Alexander Abbe will provide a presentation on housing legislation enacted by the state legislature in 2025.