



Agenda Report

23-354

Agenda Date: 7/13/2023

REPORT TO PLANNING COMMISSION

SUBJECT

Consideration of an Environmental Impact Report, General Plan Amendment, Rezone, and Vesting Tentative Subdivision Map for the Property Located at 906-950 Monroe Street and 1341 Homestead Road (CEQA: An Environmental Impact Report (EIR) was Prepared for the Project)

REPORT IN BRIEF

Applicant: Salvatore Caruso Design Corporation

Owner: Lamb Partners, LLC

General Plan: Community Mixed-Use (20-36 DU/AC) (Commercial FAR 0.1)

Zoning: General Office (OG), Historical Combining (HT), and Community Commercial

Site Area: 0.87 acres (38,180 square feet)

Existing Site Conditions:

The project site is made up of multiple parcels currently developed with three single-family residences at 906 Monroe Street, 930 Monroe Street, and 1341 Homestead Road and a larger commercial building located at 950 Monroe Street. All three residential structures would be preserved in the new development, while the residential accessory structures and commercial building would be removed. Both the residences located at 906 and 930 Monroe Streets are designated resources on the City's Historical and Resource Inventory (HRI). 906 Monroe Street and 1341 Homestead Road are currently situated on the same lot. 950 Monroe is a separate, larger commercial lot. The project area is a mix of modern and classical architectural styles and while located in the Old Quad neighborhood, there is no single defining neighborhood architectural style.

Surrounding Land Uses:

- North: Franklin Street, four-story mixed-use residential with ground floor commercial
- South: Homestead Road, two-story multi-family residential
- East: Monroe Street and Franklin Square Mall
- West: Single-family residences and one-story commercial

Issues:

Consistency with the City's General Plan and Zoning Ordinance

Staff Recommendation:

That Planning Commission adopt resolutions recommending City Council certify the Environmental Impact Report (EIR), make CEQA Findings, and adopt the Mitigation Monitoring and Reporting Program (MMRP); approve the General Plan Amendment; approve the Rezone with conditions; and approve the Vesting Tentative Subdivision Map for the property located at 906-950 Monroe Street and 1341 Homestead Road.

BACKGROUND

On June 16, 2020, Lamb Partners LLC (“Owner”) filed an application to redevelop the property located at 906-950 Monroe and 1341 Homestead Road from commercial and single-family residences to a mixed-use residential project with on- and off-site improvements. The proposal includes a General Plan Amendment and Rezone of the property to change the land use designation and zoning, and environmental analysis of potential impacts associated with project development as required by the California Environmental Quality Act (CEQA). The requisite applications have been submitted and are the subject of this staff report.

Specifically, the proposed project includes for Planning Commission consideration an EIR and MMRP; a General Plan Amendment, Rezoning from General Office (OG), Historic Combining (HT), and Community Commercial (CC) to Planned Development (PD), and a Vesting Tentative Subdivision Map (File No. PLN2020-14457), that would collectively allow the development of a six-story mixed-use project comprised of 50 multi-family residential units, four townhomes, and three single-family residences (average density is 65.5 DU/AC). The project would also include on-site parking and amenities, landscaping, off-site improvements, and an 871 square foot community meeting room available for use by the general community.

Project Description

The three existing single-family residences on the project site will remain in the same location with upgraded landscape in front of 1341 Homestead Road. The existing accessory buildings on these lots will be replaced with a one-car garage for 906 Monroe Street and a two-car garage for 930 Monroe Street. A non-original addition in the rear of 930 Monroe would be demolished to restore the original form of the historic residence.

The portion of the mixed-use building immediately adjacent to the residences at 906 and 930 Monroe Street would be 41 feet in height (three stories) and is designed to have brick cladding. The architectural façade treatment changes multiple times as the building steps up from this height to a height of 84 feet (six stories) at the northeast corner of the project site. The design of the proposed mixed-use building is in this way a mix of architectural styles intended to convey a smaller, more traditional urban scale and thus provide a downtown look and feel. The site would be wrapped with a separated sidewalk and landscape strip to provide a typical urban interface to the public street. The development makes use of below grade parking with a garage entrance on the ground floor, accessible from Franklin Street.

The four townhouses are proposed to be two stories in height (three-bedroom units) designed with contemporary architecture. Amenity space for the townhouses is limited to rear second-story balconies and minimal front and rear yards. Access to the townhomes would be limited to pedestrian pathways on Homestead Road, Franklin Street, and basement parking. Delivery access would be limited to the pedestrian path and waste management is provided in the parking garage of the mixed-use building.

For the two historic single-family residences, a driveway on Homestead Road would provide access to a new one-car garage for 906 Monroe Street, and a driveway from Monroe Street provides access to a new two-car garage for 930 Monroe Street.

The project proposes a total of 81 parking spaces on site to accommodate the residence at 1341

Homestead, the four townhomes, and the 50 condominium units (a parking ratio of one space for every one-bedroom unit and 1.5 spaces for every two-bedroom unit) and 9 parking spaces to support the commercial use. Of the total parking spaces provided, 29 are identified as level 2 EV ready and 27 will be low power level 2 EV ready. There will also be 54 Class I in the bike room of the basement and ten Class II bicycle parking spaces on the ground floor. Outlets are provided in the bike room for electric bikes.

Changes from Prior Project Design

In an initial submittal, the applicant proposed to develop a five-story structure with podium at-grade and four stories above with 61 residential units at a density of 70 dwelling units per acre (DU/AC). In that proposal, all existing structures, including the three single-family residences, two of which are listed on the Historical and Resource Inventory list, were to be demolished. Following community outreach by the owner, and in response to comments and concerns expressed by neighboring residents regarding building height immediate to residential properties, historic preservation, and architectural style, the project was revised. The current proposal is a six-story structure tapering down to three-stories adjacent to the listed HRI properties, with four townhouses immediately adjacent to single-family neighbors to the west. The proposal also retains the three existing residences with demolition of their accessory structures to allow for the construction of three new covered parking spaces.

Relationship to Downtown

The proposed project is within the boundaries of the Downtown Focus Area but not within the Downtown Core as designated in the General Plan. In 2018, the City Council initiated a planning process to develop a Downtown Precise Plan to provide a more detailed level of land use policy and design standards to support the successful revitalization of the City's historic downtown area into a vibrant neighborhood that would act as a destination within the community. A Downtown Community Task Force (DCTF) was appointed to guide the Precise Plan planning process. The DCTF has held 39 meetings and the Community Development Department hosted several community outreach events to develop the draft two land use policy documents to guide future development within the downtown area: a Precise Plan and a Form-based Code. Drafts of both documents have been circulated for public comment and are currently being refined to address comments received during the public circulation. The five-year planning process is nearing the end with anticipated City Council consideration of the Precise Plan and Form-based Code at the end of 2023 and/or in early 2024. A draft of the Downtown Form Based Zoning Code was completed and made publicly available in June of 2022.

The planning process for the Downtown Focus Area was initiated prior to the formal submittal of this application, but has not been completed and therefore is not yet established as City land use policy. If the Precise Plan and Form Based Zoning Code are adopted by the City Council, future development will be evaluated for consistency with those documents, and specific modifications to the Precise Plan and Form Base Zoning Code would be necessary prior to adoption as a result of some deviations, as discussed below.

DISCUSSION

The following analysis considers how the proposed project would or would not be consistent with applicable City policies including the City's General Plan, Zoning Code and Subdivision Ordinance.

General Plan Conformance

The following analysis address how the project would be consistent with specific components of the General Plan.

General Plan Land Use Diagram

The site is currently designated Community Mixed Use on the City's General Plan Land Use Diagram. This designation is intended to support medium-density development with a mix of residential and commercial uses along a major street. Development within this designation requires a minimum FAR of 0.10 of retail, commercial, and neighborhood office uses, in combination with residential development between 20 and 36 units per acre. The project as proposed would not be in conformance with this land use designation. Therefore, the applicant is requesting a General Plan Amendment to revise the specifications of the Community Mixed Use land use designation within the Downtown Focus Area.

The proposed General Plan Amendment would keep the existing land use designation for the Project Site of Community Mixed Use, but would amend the text of the Community Mixed Use designation to allow for very high-density housing (to a maximum of 70 dwelling units per acre) on mixed-use sites within the Downtown Focus Area that meet the following criteria:

1. The property is located within 0.25 miles of a fixed route bus service with service intervals no longer than 15 minutes during peak commute hours;
2. The property is designated Community Mixed Use;
3. The development provides ground floor retail uses at a minimum FAR of 0.10;
4. If the project site is listed on the City's Historic Preservation and Resource Inventory or the California Register of Historical Resources, any development affecting the historically significant structure shall be performed in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and
5. The project provides for affordable housing through the payment of in-lieu fees and/or includes affordable units.

The proposed project meets the above criteria as it is located within 0.25 miles of a high-frequency bus route (VTA Route 60), is designated as Community Mixed Use within the Downtown Focus Area, is occupied by two HRI sites and will satisfy the City's affordable housing requirement by providing eight affordable housing units with one townhouse and seven condominium units. General retail commercial, including office use will provide a minimum commercial FAR of 0.10 in the proposed 3,874 square foot ground floor space.

General Plan Goals and Policies

The project is consistent with the following existing General Plan Policies as discussed below:

Downtown Focus Area

- 5.4.2 G1 A Downtown that serves as a primary, pedestrian oriented commercial and cultural destination.
- 5.4.2-G2 New Downtown development that is integrated with older existing development with respect to intensity, scale and character.
- 5.4.2-P11 For new mixed use development, locate medium and high density residential uses on upper floors with active retail uses at ground level and oriented to street frontages.

The subject site is located within the boundary of the Downtown Focus Area as designated in the

General Plan. The Focus Area is intended to offer opportunities for place making and for a unique destination in the City to serve both local and regional interests. New development to revitalize the Downtown supports the General Plan Major Strategies for City identity and community vitality. The addition of a residential mixed-use building with ground floor commercial would provide the opportunity for new residents and new commercial uses in the downtown consistent with the intent of the Focus Area.

Residential Land Use Policies

- 5.3.2-P1: Encourage the annual construction of the housing units necessary to meet the City's regional housing needs assessment (RHNA) by reducing constraints to housing finance and development.
- 5.3.2-P2: Encourage higher-density residential development in transit and mixed-use areas and in other locations throughout the City where appropriate.
- 5.3.2-P3: Encourage indoor and outdoor private and common spaces as part of all new residential developments, including clustering of units to maximize open space opportunities where appropriate.

The proposed project would provide ground floor commercial uses in a mixed-use configuration and with 50 higher-density multi-family residential units above and four new townhouse units adjacent to the main building, adding 54 units to the City's housing stock while also preserving three existing single-family residences. The project thus directly implements Policy 5.3.2.-P1. In addition to the services located in the mixed-use portion of the building, the new housing would be in proximity to public transportation and the downtown area with ease of connection to local and regional transit facilities and access to neighborhood and community commercial uses, support services, and outdoor open space and recreation areas as promoted by Policy 5.3.2-P2. The proposed building footprint and height allow the project to maximize open space and private use for the residents, while providing housing at a higher density, and includes a ground floor community space that is available to the community as encouraged by Policy 5.3.2-P3.

General Land Use Goals and Policies

- 5.3.1-P10: Provide opportunities for increased landscaping and trees in the community, including requirements for new development to provide street trees at a minimum 2:1 ratio on- or off-site replacement for trees removed as part of the project to help increase the urban forest and minimize the heat island effect.
- 5.3.1-P12: Encourage convenient pedestrian connections within new and existing developments.

The proposed development plan includes landscaping of the site and project frontages with a variety of plant and tree species including 15 trees on site with 11 within the landscape strip along the project frontages.

The project includes the replacement of the existing sidewalks along the street frontages of the site with a landscape park strip and sidewalk consistent with the Complete Streets design standards. The tree-lined separated sidewalk is designed to facilitate pedestrian access and link neighboring land uses, consistent with Policy 5.3.1-P12.

The project is not wholly consistent with the following General Plan Policies as discussed below:

Downtown Focus Area Policy

- 5.4.2 P7: Apply the General Plan Transition and Historic Preservation policies for new development at the edges of Downtown in order to respect the scale and character of the adjacent historic Old Quad neighborhood.

Transition Policies

- 5.5.2-P5: Require that new development provide an appropriate transition to surrounding neighborhoods.
- 5.5.2-P7: For buildings of three stories or greater, increase the setback of upper stories where they abut lower intensity residential uses.

While the project includes a new Planned Development Zoning that can establish standards unique to the property, the City typically compares proposed Planned Development Zoning standards to standards already established within the City's Zoning Code for the same or similar type of development. For the purposes of evaluating the transition between new and existing uses, the City's existing development standards can thus provide an objective criteria for evaluation of the proposed setbacks, height limitations and other factors necessary to promote land use compatibility and the transition between new and existing development. The project site is adjacent to low-intensity commercial uses along its northwest boundary and one-story single-family residences along its southwestern boundary and so can be compared to standards for the interface of townhouse and multifamily districts with those districts to evaluate whether the project provides an appropriate transition.

At its interface with adjacent uses the proposed project includes the preservation of an existing single-family residence (separate from the two historic residences being preserved in the project) and four new, two-story townhouses, the latter with a maximum height of 28 feet. The maximum height generally allowed in the Zoning Code for single-family residences is 25 feet, so the townhouses would be 3 feet taller than what could potentially be developed on the adjacent lot. All four townhouses include a rear balcony that faces the single-family residential properties to the west. Although a rear balcony is generally allowed in the rear yard of the City's single-family residential zoning districts, none is typically allowed with less than a 20-foot rear yard setback. In contrast, the proposed second-story balconies and egress windows would have a 10-foot setback from the abutting residential properties to the west. Based on the standards set forth in the City's Zoning Code, the proposed project would not provide a sufficient setback to fully "provide an appropriate transition" to the adjacent residences as called for in Policy 5.5.2-P5.

For upper floor setbacks (or "step backs") the City has an established practice of using a 45-degree step back requirement to determine an appropriate transition between new higher-intensity and existing lower-intensity land uses. The proposed development would include a step back in that the mixed-use building located adjacent to the historic houses to the north has a height of approximately 41 feet and increases in height to 84 feet as it moves away from the historic houses to the corner of Monroe and Franklin Streets (see Attachment 10). While the historic houses at 906 and 930 Monroe Street are being integrated into the project, they are also an existing use that would be subjected to a new interface condition. Both houses are one and a half stories or approximately 25 feet in height. The height of the new mixed-use building that would be adjacent to the historic houses is three-stories (38 feet in height). The proposed mixed-use building has a five-foot setback from the property line adjacent to the historic house. This combination of height and setback/step back are not

sufficient to provide a 45-degree step back between the new and existing land uses and thus the project is not consistent with the historical application of Policy 5.5.2-P7.

Additionally, the portion of the building that is six stories in height is inconsistent with the text in the General Plan Downtown Focus Area intent statement, which states that the allowed building intensity and heights for development outside of the Downtown Core (as identified in the Focus Area Map (Figure 5.4-3) in the General Plan (Attachment 11)) is a maximum height between three to four stories, which is applicable to this site as it is not in the Downtown Core.

Prior to 2019, the City could rezone properties to Planned Development (PD) even where that zoning would result in an inconsistency with the General Plan, due to Santa Clara's status as a charter city. However, in 2018, the Legislature enacted Senate Bill 1333, which required that zoning amendments must be consistent with General Plans, even for charter cities. In addition, the proposal includes a subdivision map, and state law requires the Council to make a finding of General Plan consistency in order to approve any subdivision map. As such, the General Plan Amendment includes a proposal to modify Policies 5.5.2-P5, 5.5.2-P7, and the maximum height in the Downtown Focus Area, in order to allow for the project to proceed and eliminate the inconsistencies identified above.

Historic Preservation Policies

- 5.6.1 P2 Protect the historic integrity of designated historic properties and encourage adaptive reuse when necessary to promote preservation.

The proposed development preserves the two historically designated structures (single-family residences) on the project site. The project would result in the removal of accessory structures (e.g., detached garages) on two of the historic properties, but these accessory structures are not considered historic and their removal would not infringe upon the historic integrity of the two residences. An analysis of the project for consistency with the Secretary of the Interior's Standards for historic preservation concluded that the project would not have a significant impact upon the historic resources, although it did suggest that an increased setback and/or increased transition from those structure would improve the transition between the historic structures and new construction within the project. The project would in this way encourage adaptive reuse that preserves the historic structures.

Climate Action Plan

A Transportation Demand Management (TDM) program has been prepared for the proposed project to meet the criteria outlined in the City of Santa Clara Climate Action Plan (CAP), 2022. The 2022 CAP requires 20 percent VMT reduction for new multifamily residential developments, with 10 percent of the reduction resulting from active TDM measures. Some of the project measures noted include information and marketing of transportation options, a designated transportation coordinator and a subsidy, such as a transit pass, for residents. The program is attached to this report for review.

Zoning Code Conformance

A Planned Development Rezoning is required to allow development of the project as it includes a mix of development types and design standards that do not conform to any of the City's standard zoning districts. In the following analysis, the proposed Planned Development zoning standards are evaluated based on current General Plan policies and the current Zoning Code.

While the Planned Development zoning process allows an applicant to propose any design standards, it is appropriate for the City to evaluate the proposed standards in relationship to the City's adopted standards for similar types of development. The City's Transit-Oriented Mixed Use (TMU) Combining Zoning District is the zoning district which most closely allows land uses near transit similar to the proposed project with an interface to an existing lower density neighborhood. The project is not proposing to rezone to the TMU District, however, because it is proposing a higher density at 65 DU/AC than allowable through the TMU District, which is intended for density between 26-45 DU/AC.

Per the Zoning Code, the stated intent of the TMU District is as follows:

The transit-oriented mixed use combining zoning district is intended to encourage quality high density residential development in close proximity to multiple transit lines and in conjunction with commercial development or redevelopment. This district also encourages the construction and use of housing without related commercial development. Mixed use districts encourage development that is consistent with the existing community because the districts are located in areas that have traditionally been zoned for commercial and office uses, but are adjacent to residentially zoned property. Combining housing with office and/or retail uses can increase the number and diversity of housing options available in the City, and is consistent with the City's general plan policies for increasing housing. A variety of housing types and sizes may be provided in this zoning district. A percentage of the residential units should be affordable to low and/or moderate income households. A balance of ownership housing and rental housing is encouraged. The permitted density is from twenty-six (26) up to forty-five (45) dwelling units per acre, based on the total acreage of the site and in addition to any commercial use of the same property.

The following discussion also addresses when applicable consistency with the standards laid out in the draft Downtown Form Based Zoning Code that have been vetted through a community process. The project site would be subject to these documents once they are adopted, but as noted above, the City has not yet adopted the draft Downtown Precise Plan and Form Based Code, so they are considered here only as a point of reference. Based upon these draft documents, the uses and densities within the proposed project are potentially allowed, but the project design does not entirely conform to the proposed Form Based Zoning Code standards, and the project does not propose sufficient community benefits in order to achieve the proposed building heights allowed by the Precise Plan proposal.

Site Design

The proposed design for the townhouses has some shortcomings in that the townhouses will not have a strong connection to a public street, or the standard amount of open space expected for similar units in the Zoning Code. Access to the units will be provided either through a stairwell connection to the underground parking below, which exits onto a pedestrian walkway leading to the units, or from the street by the same walkway. The walkway has a 'dogleg' configuration so that unit entries are not visible from the street, a condition generally considered undesirable in regard to community building or public safety considerations and not supported within the City's standard zoning districts.

The proposed design is a result of the applicant's objective to fully utilize the parcels available, retaining the three single-family residences and maintaining a height of two stories at the rear of the development. The applicant has indicated that this area is being limited to two stories in height to

accommodate the request of the adjacent property owner. The applicant considered townhouses the appropriate response for a two-story height. A greater building height could have facilitated this area to be integrated into the podium building at the front with a more conventional front door situation. Alternatively, it could have been possible to integrate a two-story podium structure at this location as well, but the townhouses better utilize the property from a development standpoint. If the area proposed for townhouses were instead connected to the main podium structure, it could better conform to the City's zoning code standards for setbacks and building access.

Commercial Frontage Setback

The mixed-use building is proposed with a front setback that varies from 4' to 8' from the property lines on Monroe and Franklin Streets. This setback, combined with the 10-foot sidewalk (public right-of-way), provides 14'-8" of area adjacent to the ground floor commercial space for spillover of potential associated outdoor commercial uses such as outdoor seating for restaurants. The townhomes do not have street frontage and are tucked behind the single-family house and mixed-use building. The City's Zoning Code includes a standard for such outdoor commercial use areas along a project frontage within the TMU district. The TMU district requires a 10-foot building setback with a city standard sidewalk of 10 feet so that there is a total of at least 20 feet of setback for potential associated outdoor commercial uses. It is thus generally considered necessary to provide a larger setback to insure adequate space for both pedestrians and commercial use of the zone between a commercial building frontage and the public street.

The draft Downtown Precise Plan/Form Based Zoning Code would require an 8'-12' building setback on Monroe with an 11 foot sidewalk and a 0'-5' building setback on Franklin with a 20 foot sidewalk, thereby providing 19 feet on Monroe and 20 feet on Franklin for potential associated outdoor commercial uses, similar to what is required in the TMU district. The proposed project would therefore not provide a sufficient setback under the proposed Precise Plan.

Townhouse Setbacks

The four townhomes are proposed to have a setback from the rear property line of 10 feet adjacent to the adjacent single-family residences. The mixed-use building also has a 10-foot rear setback and is located adjacent to commercial uses. The TMU Zoning District requires a rear setback of 20 feet for this type of interface.

For Reference, the draft Downtown Precise Plan/Form Based Zoning Code would, however, require only a 10-foot rear setback, as proposed in the project.

Building Height

The proposed development would include a six-story structure (73 feet at the roof, 84 feet to top of stair well and parapet) tapering down to three-stories (38 feet) adjacent to the listed HRI properties, and four two-story (24 feet) townhouses immediately adjacent to single-family neighbors to the west. The TMU Zoning District has a maximum building height of 50 feet.

For reference, the draft Downtown Precise Plan/Form Based Zoning Code allows 2-4 stories (28-59 feet) and with community benefits a "bonus" height of 3-5 stories (40-72 feet). Development is only permitted at the bonus height level when the project includes community benefits identified in the draft Precise Plan. In the draft Precise Plan, conservation of resources listed on the Historic Resources Inventory and buildings in the Historic Combining Zoning District are a community benefit and qualify for the bonus height. However, at 73 feet, the proposed height of the project would

exceed the maximum height in the proposed Precise Plan even with the bonus for community benefits.

Ground Floor Design

Downtown Focus Area Policy 5.4.2-P1 states, “*Establish Downtown as a destination, with a mix of entertainment and cultural activities, eating and drinking establishments, local serving office and commercial uses, residential development, and public spaces.*” In keeping with the mixed-use character for the proposed development, the project would provide 3,874 square feet of ground floor commercial space that wraps the corner of Monroe and Franklin Streets. Demand for retail space in general, and in particular for mixed-use buildings, is a sensitive issue that needs to be carefully considered and good design is generally vital to the future success of such spaces to provide the best possible opportunity for future tenants to thrive and contribute to the urban vitality of the Downtown.

The placement of interior stairs interrupting the ground floor commercial space potentially limits its usability. Further, the location of back of house areas (e.g., kitchen facilities, restrooms) will further diminish the amount and flexibility of usable commercial space. The applicant has indicated that they have an identified tenant for one portion of the commercial space fronting Franklin Street and that given the visibility and outdoor amenity area for the portions fronting Monroe Street, do not anticipate any difficulty with filling this space.

Parking

The proposed amount of residential parking (81 parking spaces for 54 residential units) results in a parking ratio of one space for every one-bedroom unit and 1.5 spaces for every two-bedroom unit, consistent with the standard for mixed-use development in the Zoning Code. The proposed commercial parking (13 commercial spaces) is consistent with the 3 spaces per 1,000 square feet of area standard for mixed-use development in the Zoning Code.

Historic Resources

The project proposal includes a rezoning of two HRI listed properties and staff therefore recommends that historic preservation standards be included within the Planned Development Zoning to regulate future use of these structures consistent with their current treatment in the Historic Combining (HT) district. The applicant has indicated a willingness to defer to the direction of the Planning Commission. Staff thus recommends adding the following provisions of the HT District to the PD Zoning that would be applicable to both HRI properties, to address use and maintenance of those structures.

- 18.58.050 Conversion of residential structures to commercial use.
- 18.58.060 Architectural control.
- 18.58.070 Demolition restriction.

In addition, as discussed above, the Project Site includes property that currently has a Historic Combining (HT) zoning designation. SCCC Section 18.58.030 provides for the review and input of the Historical and Landmarks Commission (HLC) prior to rezoning an HT property, and on June 29, 2023, the HLC conducted a duly noticed public meeting to consider the proposal. The HLC’s recommendation on the proposal is included this staff report for Planning Commission consideration. At the June 29 meeting, the HLC voted 4-0 to forward the EIR to the Planning Commission with no recommendation, voted 4-0 to recommend denial of the rezoning and Vesting

Tentative Subdivision Map, voted 4-0 to recommend denial of the Architectural Review of the project design, and 4-0 to recommend approval of the Minor Significant Property Alteration, subject to conditions. The factors cited by the HLC included the impact of the six-story component on the ebb and flow of Monroe Street and proximity of the two-story townhomes to adjacent single-family properties.

Subdivision Ordinance

The project includes a Tentative Map to subdivide the property to implement the proposed land uses. The proposed Map would subdivide three existing parcels into two single-family parcels and one mixed-use parcel with 50 condominium units, four townhouses, one detached single-family dwelling unit, one condominium unit for all common floor common area, two condominium units of basement parking, and three retail condominium units (See Attachment 10). The lot lines of the two historical lots at 906 and 930 Monroe would be moved so as to reduce them in size, but will remain as two separate single-family parcels. The residential structure at 1341 Homestead Road would be combined with the new mixed-use parcel to create access for the new townhouses.

The reduction in parcel sizes for 906 and 930 Monroe Street would require a rezoning to Planned Development (PD), which is proposed to create substandard single-family lot sizes as defined in the Zoning Code. The current standards and proposed rezoning standards are summarized below.

906 Monroe Street

- Currently zoned HT - Historical Combining Zoning District
- Rezone to PD for reduced lot size for single-family lot
- 1341 Homestead Road residential structure will be excluded from the proposed parcel

930 Monroe Street

- Currently zoned OG - General Office Zoning District
- Rezone to PD for reduced lot size for single-family lot

940-950 Monroe Street

- Currently zoned Community Commercial
- Rezone to PD for development standards as proposed in the development plan
- 1341 Homestead Road will be combined with the new mixed-use parcel and be rezoned to PD

Subdivision Map applications are reviewed for General Plan and Zoning Code consistency, and conformance with the Subdivision Map Act. The proposed Tentative Map application was reviewed by the City's Subdivision Clearance Committee and determined to be complete. With approval of the General Plan Amendment and Planned Development Rezoning the proposed subdivision will not result in any inconsistencies with the General Plan or zoning designation for the property. Conditions of Approval have been prepared and are provided as Attachment 8.

Conclusion

The proposed project would provide a residential mixed-use project in the Downtown Focus Area with 50 new condominium units, ground floor commercial, and four new townhouses while preserving three single-family homes, including two historic structures. The proposed project is consistent with several General Plan policies. While not consistent with the height and scale prescribed in the

Downtown Focus Area policies, and not fully consistent with the General Plan Transition policies, the project has gone through revisions to lower height in proximity to existing lower intensity uses, and has been designed to better address the issues of land use transition and interface while still achieving increased residential density on the site. With the proposed Amendment, these General Plan policies would be modified so that the project can be found to be consistent. Additionally, to address use and maintenance of the HRI structures, staff recommends adding a condition to include provisions of the HT Zoning District (Sections 18.58.050, 18.58.060, and 18.58.070) that would be applicable to both HRI properties, as a part of the PD zone.

Based upon the analysis, staff recommends that the Planning Commission recommend approval of the requested actions with added historic conditions to the Planned Development Zoning.

ENVIRONMENTAL REVIEW

An Environmental Impact Report (EIR) was prepared for the project by the environmental consultant firm David J. Powers & Associates, Inc., in accordance with the California Environmental Quality Act (CEQA). The EIR and Notice of Availability were posted on the City's website at <https://www.santaclaraca.gov/our-city/departments-a-f/community-development/planning-division/environmental-review-ceqa> and circulated for 45-day review on October 14, 2022 to November 30, 2022, in accordance with CEQA requirements. During the review period, the Community Development Department received agency comments on the EIR from Valley Water, Santa Clara Valley Transportation Authority, and the Department of Toxic Substances Control, which are provided in this report, along with responses to comments for review.

The EIR identified potential environmental impacts associated with project development and identified air quality, biological, cultural resources, geology and soils, hazards and hazardous materials, and noise impacts that with incorporation of mitigation measures into the project would reduce all potential impacts to less than significant. A detailed discussion of the potential impacts and mitigation measures to be applied to the project are specified in the EIR and would be implemented through project conditions of approval and the Mitigation Monitoring and Reporting Program (MMRP) for the proposed project.

FISCAL IMPACT

There is no fiscal impact to the City for processing the requested application other than administrative time and expense typically covered by processing fees paid by the applicant.

COORDINATION

This report has been coordinated with the City Attorney's Office.

PUBLIC CONTACT

On May 11, 2023, a notice of public hearing of this item was posted in three conspicuous locations within 300 feet of the project site. A notice of public hearing was also published in the Weekly, a newspaper of general circulation in the City, on May 10, 2023, for the May 24, 2023 Planning Commission meeting (which was subsequently continued to June 14 and then July 13, 2023). The Planning Department has received comments on the project and are attached to this report for review.

Community Meetings

A virtual public outreach meeting was conducted by Salvatore Caruso (applicant) on December 1,

2020 to engage the neighborhood community in the planning process. Notices of the meeting were mailed by the applicant to property owners within 1,000 feet of the project boundaries and interested parties and was also posted on the City's website. The applicant also presented the project at a meeting of the Downtown Precise Plan Task Force on January 21, 2021. These meetings provided the community the opportunity to convey their concerns to the applicant regarding the type and density of housing proposed for the site, building height, landscaping, traffic safety, commercial vacancy, and preservation of historic resources.

At their January 21, 2021 meeting, the Downtown Community Task Force voted 9 - 0 to write a letter to the Historical and Landmarks Commission, Planning Commission, and the City Council to transmit their comments on the project (Attachment 9). The specific concern raised by the Task Force is that the development does not consider the Downtown Precise Plan, Form Based Code, or even the current General Plan. The applicant had made significant changes prior to the Task Force meeting based upon community feedback at the December 1, 2020 meeting, which included keeping the single-family residence at 1341 Homestead Road and changing a four-story portion of the residential building to two-story townhomes on the west side.

ALTERNATIVES

1. Adopt a resolution to recommend the City Council adopt the Environmental Impact Report and the Mitigation Monitoring and Reporting Program for the 950 Monroe Street Project.
2. Adopt a resolution to recommend the City Council approve a General Plan Amendment to modify the text for the Community Mixed Use land use designation and related policies
3. Adopt a resolution to recommend the City Council approve a Rezone from General Office (OG), Historic Combining (HT), and Community Commercial (CC) to Planned Development (PD) to allow a six-story mixed-use development with 50 units, four townhomes, and three single-family residences with on-site parking and amenities, landscaping, and off-site improvements with provisions of the HT Zoning District (Sections 18.58.050, 18.58.060, and 18.58.070) that would be applicable to both HRI properties.
4. Recommend the City Council approve a Vesting Tentative Subdivision Map.
5. Recommend the City Council deny a General Plan Amendment to modify the text for the Community Mixed Use land use designation and related policies.
6. Recommend the City Council deny a rezone from General Office (OG), Historic Combining (HT), and Community Commercial (CC) to Planned Development (PD) to allow a six-story mixed-use development with 50 units, four townhomes, and three single-family residences with on-site parking and amenities, landscaping, and off-site improvements.
7. Recommend the City Council deny a Vesting Tentative Subdivision Map.

RECOMMENDATION

1. Adopt a resolution to recommend the City Council adopt the Environmental Impact Report and the Mitigation Monitoring and Reporting Program for the 950 Monroe Street Project.
2. Recommend the City Council approve a General Plan Amendment to modify the text for the Community Mixed Use land use designation and related policies.
3. Recommend the City Council approve a rezone from General Office (OG), Historic Combining (HT), and Community Commercial (CC) to Planned Development (PD) to allow a six-story mixed-use development with 50 units, four townhomes, and three single-family residences with on-site parking and amenities, landscaping, and off-site improvements, with added standards for the two HIR properties with provisions of the HT Zoning District (Sections

- 18.58.050, 18.58.060, and 18.58.070) that would be applicable to both HRI properties.
4. Recommend City Council approval of a Vesting Tentative Subdivision Map.

Prepared by: Steve Le, Senior Planner
Reviewed by: Alexander Abbe, Assistant City Attorney
Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

1. Mitigation Monitoring and Reporting Program
2. Final Environmental Impact Report
3. Resolution Recommending Council Certify the Environmental Impact Report, Make CEQA Findings, and Adopt the Mitigation Monitoring and Reporting Program
4. CEQA Findings
5. Resolution Recommending Council Approve the General Plan Amendment
6. Resolution Recommending the Council Approve the Rezone
7. Resolution Recommending the Council Approve the Vesting Tentative Subdivision Map
8. Conditions of Approval for Rezoning
9. Conditions of Approval for Vesting Tentative Subdivision Map
10. Public Correspondence
11. Development Plans
12. General Plan Downtown Focus Area Map (Figure 5.4-3)

DRAFT
MITIGATION MONITORING AND REPORTING PROGRAM

950 Monroe Street Mixed Use Project

CITY OF SANTA CLARA

February 14, 2023

P R E F A C E

Section 21081 of the California Environmental Quality Act (CEQA) requires a Lead Agency to adopt a Mitigation Monitoring or Reporting Program whenever it approves a project for which measures have been required to mitigate or avoid significant effects on the environment. The purpose of the monitoring or reporting program is to ensure compliance with the mitigation measures during project implementation.

On _____, the City Council approved the Environmental Impact Report (EIR) for the 950 Monroe Avenue Mixed Use Project. The EIR concluded that the implementation of the project could result in significant effects on the environment and mitigation measures were incorporated into the proposed project or are required as a condition of project approval. This Mitigation Monitoring or Reporting Program addresses those measures in terms of how and when they will be implemented.

This document does *not* discuss those subjects for which the EIR concluded that mitigation measures would not be required to reduce significant impacts.

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
Air Quality				
<p>Impact AIR-3.1: Construction of the proposed development project would generate fugitive dust in the form of PM_{2.5} and PM₁₀ resulting from disturbed soils at the construction site.</p>	<p>MM-AIR-3.1: The proposed development project will implement the following BAAQMD Recommended Measures to Control Particulate Matter Emissions during all phases of construction.</p> <ol style="list-style-type: none"> 1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered at a frequency adequate to maintain minimum soil moisture of 12 percent (i.e., three times a day). Moisture content can be verified by lab samples or moisture probe. 2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered. 3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. 4. All vehicle speeds on unpaved roads shall be limited to 15 mph. 5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. 6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations 	<p>During all phases of Construction</p>	<p>Project applicant</p>	<p>Director of Community Development or the Director's designee</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>[CCR]). Clear signage shall be provided for construction workers at all access points.</p> <p>7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.</p> <p>8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District’s phone number shall also be visible to ensure compliance with applicable regulations.</p> <p>9. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph and visible dust extends beyond site boundaries.</p> <p>10. Wind breaks (e.g., trees, fences) shall be installed on the windward side(s) of actively disturbed areas of construction adjacent to sensitive receptors. Wind breaks should have at maximum 50 percent air porosity.</p> <p>11. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.</p> <p>12. The simultaneous occurrence of excavation, grading, and ground disturbing construction activities on the same area at any one time shall be limited. Activities</p>			

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>shall be phased to reduce the amount of disturbed surfaces at any one time.</p> <p>13. Avoid tracking of visible soil material on to public roadways by employing the following measures if necessary:</p> <ul style="list-style-type: none"> a. Site accesses to a distance of 100 feet from public paved roads shall be treated with a six to 12-inch compacted layer of wood chips, mulch, or gravel and b. washing truck tires and construction equipment of prior to leaving the site. Sandbags or other erosion control measures shall be installed to prevent silt runoff to public roadways from sites with a slope greater than one percent. 			
<p>Impact AIR-3.2: Construction of the proposed development project would result in nearby sensitive receptors being exposed to toxic air contaminant emissions in excess of BAAQMD threshold for cancer risk and annual PM_{2.5}.</p>	<p>MM-AIR-3.2: Prior to the issuance of any demolition, grading, or building permits (whichever occurs earliest), the project applicant shall submit a construction operations plan to the Director of Community Development or the Director’s designee that includes specifications of the equipment to be used during construction. The plan shall be accompanied by a letter signed by an air quality specialist, verifying that the equipment included in the plan meets the standards set forth below. All diesel-powered off-road equipment (larger than 25 horsepower) operating on-site for more than two days continuously (or 20 hours total) shall, at a minimum, meet U.S. Environmental Protection Agency (EPA) Tier 4 emission standards for particulate matter.</p>	<p>Prior to the issuance of any demolition, grading, or building permits (whichever occurs earliest)</p>	<p>Project applicant</p>	<p>Director of Community Development or the Director’s designee</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<ul style="list-style-type: none"> • If Tier 4 equipment is not available, all construction equipment larger than 25 horsepower used at the site for more than two continuous days or 20 hours total shall meet U.S. EPA emission standards for Tier 3 engines and include particulate matter emissions control equivalent to CARB Level 3 verifiable diesel emission control devices that altogether achieves a 60 percent reduction in particulate matter exhaust. • Provide line power to the site to minimize the use of diesel-powered stationary equipment, such as generators. 			
Biology				
<p>Impact BIO-1.1: Project construction could impact nesting birds on or adjacent to the site, if present.</p>	<p>MM BIO-1.1: Construction shall be scheduled to avoid the nesting season to the extent feasible. The nesting season for most birds, including most raptors, in the San Francisco Bay area extends from February 1 through August 31.</p> <p>If it is not possible to schedule construction and tree removal between September and January, then pre-construction surveys for nesting birds shall be completed by a qualified ornithologist to ensure that no nests shall be disturbed during project implementation. This survey shall be completed no more than 14 days prior to the initiation of grading, tree removal, or other demolition or construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August).</p>	<p>No more than 14 days prior to the initiation of grading, tree removal, or other demolition or construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to</p>	<p>Project applicant and Qualified ornithologist</p>	<p>Director of Community Development or the Director's designee</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>During this survey, the ornithologist shall inspect all trees and other possible nesting habitats within and immediately adjacent to the construction area of nests. If an active nest is found sufficiently close to work areas to be disturbed by construction, the ornithologist, in consultation with California Department of Fish and Wildlife (CDFW), shall determine the extent of a construction free buffer zone to be established around the nest to ensure that nests of bird species protected by the Migratory Bird Treaty Agreement (MBTA) or Fish and Game Code shall not be disturbed during project construction.</p>	<p>the initiation of these activities during the late part of the breeding season (May through August)</p>		
<p>Impact BIO-5.1: The proposed development project would not comply with the City’s tree protection policy</p>	<p>MM-BIO-5.1: The project applicant will coordinate with the supervising planner to identify locations off-site for replacement trees in addition to the trees proposed as part of the landscaping on-site in accordance with General Plan Policy 5.3.1-P10. This will require the planting of 13, 24-inch box trees off-site to fully offset the removal of trees on-site.</p> <p>The project applicant will provide the supervising planner with appropriate documentation to confirm that all on- and off-site replacement trees have been planted prior to issuance of occupancy permits.</p>	<p>Prior to issuance of occupancy permits.</p>	<p>Project applicant</p>	<p>Supervising Planner</p>
Cultural Resources				
<p>Impact CUL-2.1 Construction of the proposed development project could require</p>	<p>MM CUL-2.1: Prior to the commencement of any ground-disturbing activity on the project site, the project applicant shall retain a registered professional archaeologist, to be present</p>	<p>Prior to the commencement of any ground-disturbing</p>	<p>Project applicant, and Registered</p>	<p>Director of Community Development or</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
<p>excavation in an area which has moderate to high sensitivity for archeological resources and could disturb unrecorded archaeological resources.</p>	<p>during all ground-disturbing activity associated with the project.</p> <ul style="list-style-type: none"> a. A registered professional archaeologist shall be given five days' written notice prior to the start of any ground-disturbing activity as defined in subsection c. below. The project applicant shall document receipt of notification in writing. b. The registered professional archaeologist shall be present during construction phases that involve ground-disturbing activities. For the purposes of these conditions, ground-disturbing activities shall be defined as any ground disturbance, including but not limited to, excavation, grading, grubbing, scarring, drilling, scraping, blading, trenching, vegetation removal, or demolition of existing structures or site improvements within the development area shown on the project plans. c. Upon discovery of any archaeological resources and tribal cultural resources (TCRs), all ground-disturbing and construction activities within 50 feet of discovery shall cease on the project site until the find can be assessed to the satisfaction of the registered professional archaeologist. All archaeological resources and TCRs unearthed by project activities shall be evaluated by a registered professional archaeologist and tribal monitor or other tribal representatives. 	<p>activity on the project site</p>	<p>professional archaeologist</p>	<p>the Director's designee</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>MM CUL-2.2: The project applicant shall retain a qualified archaeologist, as needed, to be present during all ground-disturbing activity associated with the project.</p> <p>MM CUL-2.3: In the event that archaeological resources or TCRs are discovered on the project site and cannot be avoided, a detailed archaeological treatment plan shall be implemented.</p> <ul style="list-style-type: none"> a. The treatment plan shall be developed by the on-call professional archaeologist to determine the most appropriate treatment measures to avoid, minimize, or mitigate any potential impacts. This shall include documentation of the resources and may include data recovery or other measures. b. Any treatment other than preservation in place must be approved by the City of Santa Clara. Treatment for most resources would consist of (but would not be limited to) sample excavation, artifact collection, site documentation, and historical research, with the aim to target the recovery of important scientific data contained in resource. c. The culturally affiliated tribe(s) who consulted on the project, or if no consultation occurred the tribe identified by the Native American Heritage Commission (NAHC), shall determine the disposition of any TCR artifacts discovered during on-site excavation or construction activities or TCR artifacts 	<p>During all ground disturbing activity</p> <p>In the event that archaeological resources or TCRs are discovered on the project site and cannot be avoided</p>	<p>Project applicant And Registered professional archaeologist</p>	<p>Director of Community Development or the Director's designee</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>resulting from execution of a treatment plan. The disposition of TCR artifacts shall include, but not be limited to, reburial in close proximity of the finds without scientific study, allowing scientific study before reburial of the materials either near the origin of the find or in another protected place, or temporary curation at a facility at an institution that meets the U.S. Secretary of the Interior’s criteria for curation (36 CFR 79) prior to reburial. Disposition of any TCR artifacts shall be subject to approval by the culturally affiliated tribe. All curation fees and related expenses shall be paid by the project applicant.</p> <p>d. To ensure adequate space and protection are provided for reburial of any TCRs discovered on the project site, the Permittee shall designate a cultural easement area. The easement area shall be in a location that will not be subject to future disturbance and that will not require the relocation of buildings or other physical improvements on the site.</p> <p>e. The registered professional archaeologist shall file State of California Department of Parks and Recreation (DPR) Series 523 forms for the cultural easement/TCR reburial location (if used) with the California Historical Resources Information System (CHRIS) Center in accordance with the guidelines established by the California Office of Historic Preservation. The DPR Series 523 forms shall establish a permanent record of</p>			

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	the cultural easement location and any TCRs discovered on the project site for future site identification and protection. The registered professional archeologist shall also file a Sacred Lands File record with the NAHC on behalf of the culturally affiliated tribe			
Impact CUL-3.1 The proposed development project could result in the discovery disturbance of human remains during excavation of the project site.	MM CUL-3.1: In the event that human remains are discovered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are of Native American origin or whether an investigation into the cause of death is required. If the remains are determined to be Native American, the Coroner shall notify the Native American Heritage Commission (NAHC) immediately. Once NAHC identifies the most likely descendants, the descendants will make recommendations regarding proper burial, which will be implemented in accordance with Section 15064.5(e) of the CEQA Guidelines.	In the event that human remains are discovered during excavation and/or grading of the site	Project Applicant	Santa Clara County Coroner, Native American Heritage Commission (NAHC)
Geology and Soils				
Impact GEO-1.1: The project site is located within a mapped liquefaction hazard zone. Buildings constructed on-site	MM GEO-1.1: To avoid or minimize potential damage from seismic shaking, the project would be built using standard engineering and seismic safety design techniques. Building redevelopment design and construction at the site shall be completed in conformance with the recommendations of a design-level geotechnical investigation, which will be included	As part of the building permit review and issuance process	Project applicant and contractors	City of Santa Clara's Building Division

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
could experience settlement in the event of strong ground shaking as a result of an earthquake.	in a report to the City. The report shall be reviewed and approved by the City of Santa Clara’s Building Division as part of the building permit review and issuance process. The building shall meet the requirements of applicable Building and Fire Codes, including the 2019 California Building Code, as adopted or updated by the City. The project shall be designed to withstand potential geologic hazards identified on the site and the project shall be designed to reduce the risk to life or property to the extent feasible and in compliance with the Building Code.			
Impact GEO-2.1: Construction activities at the project site would disturb soils on-site and could result in sedimentation and runoff on the project site.	<p>MM GEO-2.1: All excavation and grading work would be scheduled in dry weather months or construction sites would be weatherized to withstand or avoid erosion.</p> <p>MM GEO-2.2: Stockpiles and excavated soils would be covered during construction with secured tarps or plastic sheeting.</p> <p>MM GEO-2.3: Vegetation in disturbed areas would be replanted as quickly as possible after construction.</p>	During excavation and Grading	Project applicant and Contractor	Director of Community Development or the Director’s designee
Hazards and Hazardous Materials				
Impact HAZ-1.1: The surface and sub-surface soils on-site could be contaminated due to	MM HAZ-1.1: Prior to demolition and excavation of the project site, a limited Phase II Environmental Site Assessment (Phase II ESA) will be completed to determine if agricultural chemicals are present in the soil at the site. The site will be	Prior to demolition and excavation	Project Applicant	Santa Clara Fire Department

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
<p>past agricultural operations. Implementation of the project could expose construction workers and adjacent land uses to residual agricultural soil contamination.</p>	<p>sampled for CAM 17 Metals, pesticides, TPH-G, BTEX, and 5-Oxygenates. Phase II ESA sampling activities shall be coordinated with the Santa Clara Fire Department.</p> <p>MM HAZ-1.2: Following demolition and removal of pavement, soil samples will be gathered from the site and sent for laboratory analyses to evaluate appropriate disposal alternatives. The analyses would include but not be limited to organochlorine pesticides, lead, petroleum hydrocarbons, and other metals. Sampling will occur prior to the issuance of grading permits.</p>	<p>Following demolition and removal of pavement</p>	<p>Project Applicant</p>	<p>Director of Community Development or the Director's designee</p>
	<p>MM HAZ-1.3: In the event that impacted soil is found on-site, the Director of Community Development shall be notified and the lateral and vertical extent of soil containing contaminant concentrations greater than the San Francisco Bay Regional Water Quality Control Board's (RWQCB's) environmental screening levels (ESLs) will be identified. Sample results shall be submitted to the Santa Clara Fire Department for review. Contaminated soil shall be handled separately from "clean" soil. Common and potentially applicable remedial measures for the impacted soil may include: 1) excavation and off-site disposal at a permitted facility; 2) the use of engineering and administrative controls, such as consolidation and capping of the soil on-site and land use covenants restricting certain activities/uses; and 3) a combination of the above. Remedial activities at the site, if warranted, will be overseen by an</p>	<p>In the event that impacted soil is found on-site</p>	<p>Project Applicant</p>	<p>Director of Community Development or the Director's designee</p> <p>Santa Clara County Department of Environmental Health</p>

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	appropriate regulatory agency, such as the Department of Toxic Substances Control (DTSC) or the Santa Clara County Department of Environmental Health (SCCDEH).			
Noise and Vibration				
<p>IMPACT-NOI-1.1: Operation of the proposed development project could result in noise levels in excess of City Code noise level performance standards.</p>	<p>MM-NOI-1.1 To reduce noise resulting from HVAC equipment operations, one of the following measures shall be implemented:</p> <ul style="list-style-type: none"> • Equipment which would generate substantial noise shall be located at a minimum distance of 90 feet from the nearest residential property lines and a minimum distance of 25 feet from adjacent commercial property lines. • The selection of equipment shall be conducted and approved by a qualified acoustical professional such that equipment does not generate noise which would exceed City Code standards at adjacent property lines. • If distance and/or equipment selection is not sufficient to reduce equipment noise consistent with the City Code, equipment shall be shielded by walls, such as by a parapet wall constructed along the proposed building's roof line, such that the adjacent uses are not directly exposed to mechanical equipment noise. To provide adequate noise reduction, walls will constructed to fully block the line of sight between the equipment and the adjacent property line and shall have a minimum surface weight of three pounds per square foot (such as one-inch-thick wood, one-half-inch 	Prior to occupancy	Project Applicant	City Code Enforcement

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	laminated glass, masonry block, concrete, or one-inch metal).			
<p>IMPACT-NOI-2.1 Construction of the proposed development project would result in vibratory levels in excess of established guidelines and could damage nearby structures.</p>	<p>MM-NOI-2.1 The following measures are incorporated into the project to reduce vibration impacts from construction activities to a less than significant level:</p> <ul style="list-style-type: none"> • Prohibit impact or vibratory pile driving as a method of construction. As an alternative, construction of a mat slab, shall be used. • Limit the use of vibratory rollers, hoe rams, large bulldozers, and caisson drilling, and avoid clam shovel drops within 20 feet of the property lines shared with residences and commercial structures adjacent to the site. • Place operating equipment on the construction site as far as possible from vibration-sensitive receptors. • Use smaller equipment to minimize vibration levels below the limits. • Select demolition methods not involving impact tools. • Avoid dropping heavy objects or materials near vibration sensitive locations. • A list of all heavy construction equipment to be used for this project known to produce high vibration levels (tracked vehicles, vibratory compaction, jackhammers, hoe rams, etc.) shall be submitted to the City by the contractor. This list shall be used to identify equipment and activities that would potentially generate substantial 	During construction	Project applicant and contractor	Director of Community Development or the Director's designee

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>vibration and to define the level of effort required for continuous vibration monitoring.</p> <ul style="list-style-type: none"> • A construction vibration-monitoring plan shall be implemented to document conditions at the residences and commercial structures adjacent to the site prior to, during, and after vibration generating construction activities. All plan tasks shall be undertaken under the direction of a licensed Professional Structural Engineer in the State of California and be in accordance with industry accepted standard methods. The construction vibration monitoring plan should be implemented to include the following tasks: <ul style="list-style-type: none"> ○ Identification of sensitivity to ground-borne vibration of the residences and commercial structures adjacent to the site. A vibration survey (generally described below) would need to be performed. ○ Performance of a photo survey, elevation survey, and crack monitoring survey for the residences and commercial structures nearest to the site. Surveys shall be performed prior to and after completion of vibration generating construction activities located within 20 feet of the structure. This distance shall be extended to 80 feet for vibratory pile driving and 120 feet for impact pile driving. The surveys shall include internal and external crack monitoring in the structure, settlement, and distress, and shall document the condition of the foundation, 			

**MITIGATION MONITORING OR REPORTING PROGRAM
950 MONROE STREET MIXED USE PROJECT**

Impacts	Mitigation	Timeframe for Implementation	Responsibility for Implementation	Oversight of Implementation
	<p>walls and other structural elements in the interior and exterior of the structure.</p> <ul style="list-style-type: none"> ○ Conduct a post-survey on the structure where either monitoring has indicated high levels or complaints of damage. Make appropriate repairs where damage has occurred as a result of construction activities. ○ The results of any vibration monitoring shall be summarized and submitted in a report shortly after substantial completion of each phase identified in the project schedule. The report will include a description of measurement methods, equipment used, calibration certificates, and graphics as required to clearly identify vibration-monitoring locations. An explanation of all events that exceeded vibration limits will be included together with proper documentation supporting any such claims. ○ Designate a person responsible for registering and investigating claims of excessive vibration. The contact information of such person shall be clearly posted on the construction site. 			

In addition to mitigation measures listed above, there are also other conditions of approval the project shall implement, including the following:

CONDITIONS OF APPROVAL
950 MONROE STREET MIXED USE PROJECT
Asbestos and Lead Management Conditions
<ul style="list-style-type: none"> • In conformance with state and local laws, a visual inspection/pre-demolition survey, and possible sampling, shall be conducted prior to the demolition of on-site buildings to determine the presence of asbestos-containing materials and/or lead-based paint. • Prior to demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, California Code of Regulations 1532.1, including employee training, employee air monitoring, and dust control. Any debris or soil containing lead-based paint or coatings would be disposed of at landfills that meet acceptance criteria for the waste being disposed. • All potentially friable ACMs shall be removed in accordance with National Emissions Standards for Hazardous Air Pollutants (NESHAP) guidelines prior to any building demolition or renovation that may disturb the materials. All demolition activities will be undertaken in accordance with Cal/OSHA standards contained in Title 8 of CCR, Section 1529, to protect workers from exposure to asbestos. • A registered asbestos abatement contractor shall be retained to remove and dispose of ACMs identified in the asbestos survey performed for the site in accordance with the standards stated above. • Materials containing more than one percent asbestos are also subject to BAAQMD regulations. Removal of materials containing more than one percent asbestos shall be completed in accordance with BAAQMD requirements.
Best Management Practices: Construction Water Quality Impacts
<ul style="list-style-type: none"> • Burlap bags filled with drain rock shall be installed around storm drains to route sediment and other debris away from the drains; • Earthmoving or other dust-producing activities would be suspended during period of high winds; • All exposed or disturbed soil surfaces would be watered at least twice daily to control dust as necessary; • Stockpiles of soil or other materials that can be blown by the wind would be watered or covered; • All trucks hauling soil, sand, and other loose materials shall be covered; • All paved access roads, parking areas, staging areas and residential streets adjacent to the construction sites would be swept daily (with water sweepers); and • Vegetation in disturbed areas would be replanted as quickly as possible.

CONDITIONS OF APPROVAL
950 MONROE STREET MIXED USE PROJECT
Construction Best Management Practices - Noise

- Construction activities shall be limited to hours between 7:00 a.m. and 6:00 p.m. on weekdays and 9:00 a.m. and 6:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays.
- Construct temporary noise barriers, where feasible, to screen stationary noise-generating equipment. Temporary noise barrier fences would provide a 5 dBA noise reduction if the noise barrier interrupts the line-of-sight between the noise source and receiver and if the barrier is constructed in a manner that eliminates any cracks or gaps.
- Equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment.
- If geotechnical conditions allow, mat slab should be used in place of impact or vibratory pile driving. Mat slab would generate substantially less noise than impact -drive pile driving.
- Unnecessary idling of internal combustion engines should be strictly prohibited.
- Locate stationary noise-generating equipment, such as air compressors or portable power generators, as far as possible from sensitive receptors as feasible. If they must be located near receptors, adequate muffling (with enclosures where feasible and appropriate) shall be used reduce noise levels at the adjacent sensitive receptors. Any enclosure openings or venting shall face away from sensitive receptors.
- Utilize "quiet" air compressors and other stationary noise sources where technology exists.
- Construction staging areas shall be established at locations that will create the greatest distance between the construction-related noise sources and noise sensitive receptors nearest the project site during all project construction.
- Control noise from construction workers' radios to a point where they are not audible at existing residential uses to the north of the project site.
- The contractor shall prepare a detailed construction plan identifying the schedule for major noise-generating construction activities. The construction plan shall identify a procedure for coordination with adjacent residential land uses so that construction activities can be scheduled to minimize noise disturbance.
- Designate a "disturbance coordinator" who would be responsible for responding to any complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint (e.g., bad muffler, etc.) and will require that reasonable measures be implemented to correct the problem. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include in it the notice sent to neighbors regarding the construction schedule.

CONDITIONS OF APPROVAL
950 MONROE STREET MIXED USE PROJECT
Transportation Demand Management Plan

- Designated Transportation Coordinator
- Provide transportation information packets for new residents
- “Online Kiosk”: online transportation information center
- Bicycle parking and charging
- Biking Resources (maps and information)
- Pedestrian network Improvement
- On-Site Amenities
- On-site ride-matching assistance
- Rideshare resources
- Resident Surveys
- Driveway Counts
- Annual Reports
- Proximity to Transit

Sources: City of Santa Clara. *Draft EIR for the 950 Monroe Street Mixed Use Project*. September 2022.

950 Monroe Street Mixed-Use Project
Environmental Impact Report
and
Mitigation Monitoring and Reporting Program

[950 Monroe Street Mixed-Use Project | Environmental Review/CEQA | City of Santa Clara \(santaclaraca.gov\)](http://santaclaraca.gov)

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS FOR THE 950 MONROE STREET MIXED USE PROJECT

I. INTRODUCTION

The City of Santa Clara (City), as the Lead Agency under California Environmental Quality Act (CEQA), Public Resources Code Section 21000 *et seq.*, has prepared the Final Environmental Impact Report for the 950 Monroe Street Mixed Use Project (State Clearinghouse No. 2021100581) (Final EIR or EIR¹). The Final EIR is a project EIR pursuant to Section 15161 of the State Guidelines for implementation of the CEQA (CEQA Guidelines).¹ The Final EIR consists of the September 2022 Draft Environmental Impact Report (Draft EIR), February 2023 Final Environmental Impact Report, and Late Comment Memos (May 16, 2023 and June 29, 2023). The EIR addresses the environmental effects associated with implementation of the project. The EIR is intended to serve as an informational document for public agency decision-makers and the general public regarding the objectives and components of the project. The EIR addresses the potential significant adverse environmental impacts associated with the project and identified feasible mitigation measures and alternatives that may be adopted to reduce or eliminate those impacts.

In determining to approve the 950 Monroe Street Mixed Use Project, which is described in more detail in Section II, the City Council certifies that the EIR reflects the City's own independent judgment and analysis under Public Resources Code Section 21082.1(a)-(c) and CEQA Guidelines Section 15090(a)(3). The City Council further makes and adopts the following findings of fact and adopts and incorporates into the project the mitigation measures identified in the EIR, all based on substantial evidence in the whole record of this proceeding (“administrative record”). Pursuant to CEQA Guidelines Section 15090(a), the EIR was presented to the City Council of the City of Santa Clara, and the City Council reviewed and considered the information contained in the EIR prior to making the findings provided in Sections IV to VIII, below. The conclusions presented in these findings are based upon the EIR and other evidence in the administrative record. The documents that constitute the administrative record on which the City Council's findings are based are located at the Planning Division office at City Hall, 1500 Warburton Avenue, Santa Clara, California. This information is presented in compliance with CEQA Guidelines Section 15091(e).

II. PROJECT DESCRIPTION

Project Location

The 0.87-acre project site is located at 906-950 Monroe Street and 1341 Homestead Road in the City of Santa Clara and consists of three parcels (Assessor's Parcel Numbers [APNs] 269-20-095, -087, and -086). The site currently contains three single-family residences, and their associated outbuildings, and a 6,537 square foot commercial building. The parcels are zoned Historic Combining, General Office, and Community Commercial; and the site is designated as Community Mixed Use in the General Plan. Access to the site is provided by private driveways for the single-family residences on Homestead Road and Monroe Street, and parking lot access points for the commercial property along Monroe Street and Franklin Street.

¹ The State CEQA Guidelines are found in California Code of Regulations, Title 14, Section 15000 *et seq.*

Project Overview

As proposed, the project would demolish the commercial building and residential outbuildings and construct a six-story, 72,000 square foot mixed-use building with 50 multi-family residential units and approximately 2,000 square feet of ground floor retail/restaurant space. Four detached two-story townhouses would also be constructed on-site. The existing residences fronting Monroe Street and Homestead Road would be retained in their current location. The project also proposes approximately 3,000 square feet of community amenities including an outdoor community area and gym for on-site residents. The mixed-use building, which would be located along Monroe Street, would be approximately 90 feet tall and would have one basement level for parking which would be accessed from Franklin Street. The townhouses, which would be located behind the mixed-use building and existing houses, would be approximately 26 feet tall. The mixed-use building would also feature two outdoor patios on the fourth and fifth floors on the south side of the building. The project proposes to rezone the site to PD – Planned Development.

Site Access and Parking

Parking for the proposed development project would be provided within the building on the ground floor and basement level of the mixed-use building. Access to the parking garage would be provided by a driveway and ramp on Franklin Street. The residential parking (including the townhouses) would include 100 parking spaces in automated stackers of which seven would be electric vehicle (EV) spaces. Parking for the retail and restaurant uses would include 10 parking spaces with one clean air/EV space.

Trip Demand Management Plan

The proposed project would be required to implement a Trip Demand Management Plan (TDM Plan) to comply with the Greenhouse Gas Climate Action Plan (CAP) for the City of Santa Clara. This TDM Plan can include any of the following items:

- Transit Incentivization Programs
- Commute Alternatives
- Carpools and Vanpools
- Bicycle Parking Options
- Bikeshare
- Shuttle Bus Service
- Improvement of Walking Conditions
- Parkin Reductions

General Plan Amendment

The proposed development project includes a General Plan Amendment to revise the specifications of the General Plan designation of Community Mixed Use. This change would allow for very high density housing (to a maximum of 70 units per acre) on mixed-use sites within the Downtown Precise Plan Area that meet the following criteria:

- 1) the property is located within 0.25 miles of a fixed route bus service with service intervals no longer than 15 minutes during peak commute hours;
- 2) the property is designated Community Mixed Use;
- 3) the development provides ground floor retail uses at the required FAR of 0.10;
- 4) if the project site is listed on the City's Historic Preservation and Resource Inventory or the California Register of Historical Resources, any development affecting the historically significant structure shall be performed in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and
- 5) the project provides for affordable housing through the payment of in-lieu fees and/or includes affordable units.

The previous land use designation provided up to 36 units per acre with a FAR of 0.10. The new General Plan designation would allow for an increase of approximately 34 units per acre. The 0.87 - acre site previously would have allowed up to 31 units, whereas up to 60 units would be permitted under the proposed General Plan Amendment. This would result in an increase in population and resource consumption higher than the levels analyzed in the General Plan Integrated FEIR.

The General Plan Amendment associated with the proposed development project would result in the revision of specific land uses in the Downtown Focus Precise Plan Area, totaling approximately 90 parcels and 12 acres of land within the downtown area. This would result in a potential increase of up to 408 dwelling units within the City of Santa Clara and approximately 1,064 residents compared to what was planned for in the General Plan. This would represent an approximately 14 percent increase in prospective residential development focused in the downtown area of Santa Clara.

Project Objectives

Pursuant to CEQA Guidelines Section 15124, the EIR must identify the objectives sought by the proposed development project. The applicant's objectives for the project are as follows:

1. Develop the site into an economically viable, mixed-use project with up to 50 residential units along with up to four townhomes to provide a distinct mix and variety of unit types to serve a broad population that will help address the City's housing needs.
2. Establish intergenerational physical and social connections through the provision of a varied mix of housing types and amenities that support community vitality in accordance with the City's General Plan.
3. Preserve two historic single-family residences and one non-historic single-family residence on-site to strengthen the cultural and historical connection of the project to the neighborhood.
4. Create and maintain a residential built environment that promotes the safety and well-being of its residents and the surrounding community.
5. Create a residential transit-oriented project balanced with community-serving amenities that connects to and enhances the City's bike and pedestrian network, while reducing vehicle trips.
6. Promote sustainability by developing a residential project on an infill and easily accessible project site through the incorporation of environmentally responsible construction techniques and conservation of energy in accordance with the major strategies of the City's General Plan.

III. ENVIRONMENTAL REVIEW PROCESS

In accordance with Section 15082 of the CEQA Guidelines, the City prepared a Notice of Preparation (“NOP”) of an EIR for the 950 Monroe Street Mixed Use Project. The NOP was sent to state and local responsible and trustee agencies and federal agencies on October 26, 2021. The 30-day comment period concluded on November 25, 2021. The NOP provided a description of the project and identified probable environmental effects that could result from implementation of the project. The City also held a public scoping meeting on November 8, 2021, during the NOP comment period to discuss the project and solicit public input as to the scope and content of the EIR. The meeting was held over Zoom due to the COVID-19 Pandemic.

The City prepared the Draft EIR for the 950 Monroe Mixed Use project in compliance with the CEQA and the CEQA Guidelines. The Draft EIR was circulated for public review and comment for 45 days from October 26, 2022 through December 5, 2022. During this period, the Draft EIR was available to the public and local, state, and federal agencies for review and comment. Notice of the Availability and completion of the Draft EIR was sent directly to every agency, person, and organization that commented on the NOP, as well as to the Office of Planning and Research. Written comments from public agencies, organizations, and individuals concerning the environmental review contained in the Draft EIR were sent to the City during the 45-day public review period on the Draft EIR.

Following the conclusion of the 45-day public review period on the Draft EIR, the City prepared a Final EIR in conformance with CEQA Guidelines Section 15132. The Final EIR includes responses to comments received by the City on the Draft EIR and any necessary text revisions to the Draft EIR. These revisions do not require recirculation of the EIR because none of the revisions constitute “significant new information” pursuant to CEQA Guidelines Section 15088.5 in as much as these changes would not result in a new environmental impact and would not cause a substantial increase in the severity of an environmental impact; and the project sponsor would adopt the mitigation measures. Responses to public agency comments on the EIR were sent to the commenting agencies on October 14, 2022.

On DATE, at a duly noticed public hearing, the Planning Commission recommended that the City Council certify the Final EIR.

IV. FINDINGS

These findings summarize the environmental determinations of the EIR about project impacts before and after mitigation, and do not attempt to repeat the full analysis of each environmental impact contained in the EIR. Instead, these findings provide a summary description of and basis for each impact in the EIR, describe the applicable mitigation measures identified in the EIR, and state the City’s findings and rationale therefore on the significance of each impact with the adopted mitigation measures. A full explanation of these environmental findings and conclusions can be found in the EIR, and these findings hereby incorporate by reference the discussion and analysis in the EIR supporting the EIR’s determinations regarding mitigation measures and the project’s impacts.

In adopting the mitigation measures outlined below, the City intends to adopt each of the mitigation measures identified in the Final EIR. Accordingly, in the event a mitigation measure identified in the Final EIR has been inadvertently omitted from these findings, such mitigation measure is hereby referred to, adopted, and incorporated in the findings below by reference. In addition, in the event the language of a mitigation measure set forth below fails to accurately reflect the mitigation measure in the Final EIR due to a clerical error, the language of the mitigation measure as set forth in the Final EIR shall control unless the language of the mitigation measure has been specifically and expressly modified by these findings.

Sections V through VII, below, provide brief descriptions of the impacts the Final EIR identified as less than significant with adopted mitigation. No impacts in the Final EIR were found to be Significant and Unavoidable. These descriptions also reproduce the full text of the mitigation measures identified in the Final EIR for each significant impact.

V. SIGNIFICANT ADVERSE IMPACTS IDENTIFIED IN THE FINAL EIR THAT ARE REDUCED TO A LESS THAN SIGNIFICANT LEVEL BY MITIGATION MEASURES ADOPTED AND INCORPORATED INTO THE PROJECT

The City Council, having reviewed and considered the information contained in the EIR, hereby finds, pursuant to Public Resources Code Section 21081(a)(1) and CEQA Guidelines Section 15091(a)(1), that the following potentially significant impacts will be reduced below a level of significance with implementation of the identified mitigation measures. These findings are based on Section 3.0 of the Draft EIR, the discussion and analysis of which are hereby incorporated in full by this reference.

Air Quality

Impact AIR-3.1: Construction of the proposed development project would generate fugitive dust in the form of PM_{2.5} and PM₁₀ resulting from disturbed soils at the construction site.

Findings AIR-3.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant air quality impact. Specifically, implementation of MM AIR-3.1, set forth below, which is hereby adopted and incorporated into the project, would reduce construction emissions to a less than significant level by controlling dust and exhaust, limiting exposed soil surfaces, and reducing respirable particulate matter (PM_{2.5} and PM₁₀) exhaust emissions from construction equipment.

MM AIR-3.1: During any construction period ground disturbance, the applicant shall ensure that the project contractor implements the following BAAQMD BMPs: The proposed development project will implement the following BAAQMD-Recommended Measures to Control Particulate Matter Emissions during all phases of construction.

- 1) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered at a frequency adequate to maintain minimum soil moisture of 12 percent (i.e., three times a day). Moisture content can be verified by lab samples or moisture probe.

- 2) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- 3) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- 4) All vehicle speeds on unpaved roads shall be limited to 15 mph.
- 5) All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- 6) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- 7) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- 8) Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- 9) All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph and visible dust extends beyond site boundaries.
- 10) Wind breaks (e.g., trees, fences) shall be installed on the windward side(s) of actively disturbed areas of construction adjacent to sensitive receptors. Wind breaks should have at maximum 50 percent air porosity.
- 11) Vegetative ground cover (e.g., fast germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
- 12) The simultaneous occurrence of excavation, grading, and ground disturbing construction activities on the same area at any one time shall be limited. Activities shall be phased to reduce the amount of disturbed surfaces at any one time.
- 13) Avoid tracking of visible soil material on to public roadways by employing the following measures if necessary:
 - a) Site accesses to a distance of 100 feet from public paved roads shall be treated with a six to 12-inch compacted layer of wood chips, mulch, or gravel and
 - b) washing truck tires and construction equipment of prior to leaving the site. Sandbags or other erosion control measures shall be installed to prevent silt runoff to public roadways from sites with a slope greater than one percent.

Impact AIR-3.2: Construction of the proposed development project would result in nearby sensitive receptors being exposed to toxic air contaminant emissions in excess of BAAQMD threshold for cancer risk and annual PM2.5.

Findings AIR-3.2: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant air quality impact. Specifically, implementation of MM AIR-3.2, set forth below, which is hereby adopted and incorporated into the project, would reduce toxic air contaminant (TAC) emissions to a less than significant level by reducing cancer risk and annual PM2.5 emissions below the annual thresholds for construction emissions.

MM AIR-3.2: Prior to the issuance of any demolition, grading, or building permits (whichever occurs earliest), the project applicant shall submit a construction-operations plan to the Director of Community Development or the Director's designee that includes specifications of the equipment to be used during construction. The plan shall be accompanied by a letter signed by an air quality specialist, verifying that the equipment included in the plan meets the standards set forth below. All diesel-powered off-road equipment (larger than 25 horsepower) operating on-site for more than two days continuously (or 20 hours total) shall, at a minimum, meet U.S. Environmental Protection Agency (EPA) Tier 4 emission standards for particulate matter.

- If Tier 4 equipment is not available, all construction equipment larger than 25 horsepower used at the site for more than two continuous days or 20 hours total shall meet U.S. EPA emission standards for Tier 3 engines and include particulate matter emissions control equivalent to CARB Level 3 verifiable diesel emission control devices that altogether achieves a 60 percent reduction in particulate matter exhaust.
- Provide line power to the site to minimize the use of diesel-powered stationary equipment, such as generators.

Biological Resources

Impact BIO-5.1: The proposed development project would not comply with the City's tree protection policy.

Findings BIO-5.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant biological resource impact. Specifically, implementation of MM BIO-5.1, set forth below, which is hereby adopted and incorporated into the project, would reduce biological resource impacts to a less than significant level by ensuring trees removed from the project site are replaced in accordance with City General Plan Policy 5.3.1-P10.

MM BIO-5.1: The project applicant will coordinate with the supervising planner to identify locations off-site for replacement trees in addition to the trees proposed as part of the landscaping on-site in accordance with General Plan Policy 5.3.1-P10. This will require the planting of 13, 24-inch box trees off-site to fully offset the removal of trees on-site.

The project applicant will provide the supervising planner with appropriate documentation to confirm that all on- and off-site replacement trees have been planted prior to issuance of occupancy permits.

Cultural Resources

Impact CUL-2.1: Construction of the proposed development project could require excavation in an area which has moderate to high sensitivity for archeological resources and could disturb unrecorded archaeological resources.

Findings CUL-2.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant cultural resource impact. Specifically, implementation of MM CUL-2.1 through -2.3, set forth below, which are hereby adopted and incorporated into the project, would avoid and/or reduce significant impacts to unknown buried archaeological resources to a less than significant level by completing a presence/absence exploration and/or monitoring excavation activities and identifying the procedures necessary to protect resources if found.

MM CUL-2.1: Prior to the commencement of any ground-disturbing activity on the project site, the project applicant shall retain a registered professional archaeologist, to be present during all ground-disturbing activity associated with the project.

- a. A registered professional archaeologist shall be given five days' written notice prior to the start of any ground disturbing activity as defined in subsection c. below. The project applicant shall document receipt of notification in writing.
- b. The registered professional archaeologist shall be present during construction phases that involve ground disturbing activities. For the purposes of these conditions, ground-disturbing activities shall be defined as any ground disturbance, including but not limited to, excavation, grading, grubbing, scarring, drilling, scraping, blading, trenching, vegetation removal, or demolition of existing structures or site improvements within the development area shown on the project plans.
- c. Upon discovery of any archaeological resources and tribal cultural resources (TCRs), all ground-disturbing and construction activities within 50 feet of discovery shall cease on the project site until the find can be assessed to the satisfaction of the registered professional archaeologist. All archaeological resources and TCRs unearthed by project activities shall be evaluated by a registered professional archaeologist and tribal monitor or other tribal representatives.

MM CUL-2.2: The project applicant shall retain a qualified archaeologist, as needed, to be present during all ground-disturbing activity associated with the project.

MM CUL-2.3: In the event that archaeological resources or TCRs are discovered on the project site and cannot be avoided, a detailed archaeological treatment plan shall be implemented.

- a. The treatment plan shall be developed by the on-call professional archaeologist to determine the most appropriate treatment measures to avoid, minimize, or mitigate any potential impacts. This shall include documentation of the resources and may include data recovery or other measures.
- b. Any treatment other than preservation in place must be approved by the City of Santa Clara. Treatment for most resources would consist of (but would not be limited to) sample excavation, artifact collection, site documentation, and historical research, with the aim to target the recovery of important scientific data contained in resource.
- c. The culturally affiliated tribe(s) who consulted on the project, or if no consultation occurred the tribe identified by the Native American Heritage Commission (NAHC), shall determine the disposition of any TCR artifacts discovered during on-site excavation or construction activities or TCR artifacts resulting from execution of a treatment plan. The disposition of TCR artifacts shall include, but not be limited to, reburying in close proximity of the finds without scientific study, allowing scientific study before reburying the materials either near the origin of the find or in another protected place, or temporary curation at a facility at an institution that meets the U.S. Secretary of the Interior's criteria for curation (36 CFR 79) prior to reburial. Disposition of any TCR artifacts shall be subject to approval by the culturally affiliated tribe. All curation fees and related expenses shall be paid by the project applicant.
- d. To ensure adequate space and protection are provided for reburial of any TCRs discovered on the project site, the Permittee shall designate a cultural easement area. The easement area shall be in a location that will not be subject to future disturbance and that will not require the relocation of buildings or other physical improvements on the site.
- e. The registered professional archaeologist shall file State of California Department of Parks and Recreation (DPR) Series 523 forms for the cultural easement/TCR reburial location (if used) with the California Historical Resources Information System (CHRIS) Center in accordance with the guidelines established by the California Office of Historic Preservation. The DPR Series 523 forms shall establish a permanent record of the cultural easement location and any TCRs discovered on the project site for future site identification and protection. The registered professional archeologist shall also file a Sacred Lands File record with the NAHC on behalf of the culturally-affiliated tribe.

Impact CUL-3.1: The proposed development project could result in the discovery disturbance of human remains during excavation of the project site.

Findings CUL-3.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant cultural resource impact. Specifically, implementation of MM CUL-3.1, set forth below, which is hereby adopted and incorporated into the project, would avoid and/or reduce significant impacts to unknown buried human remains to a less than significant level by following procedures necessary to identify and protect resources if found.

MM CUL-3.1: In the event that human remains are discovered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are of Native American origin or whether an investigation into the cause of death is required. If the remains are determined to be Native American, the Coroner shall notify the Native American Heritage Commission (NAHC) immediately. Once NAHC identifies the most likely descendants, the descendants will make recommendations regarding proper burial, which will be implemented in accordance with Section 15064.5(e) of the CEQA Guidelines.

Geology and Soils

Impact GEO-1.1: The project site is located within a mapped liquefaction hazard zone. Buildings constructed on-site could experience settlement in the event of strong ground shaking as a result of an earthquake.

Findings GEO-1.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant geological hazards impact. Specifically, implementation of MM GEO-1.1, set forth below, which is hereby adopted and incorporated into the project, would reduce geologic hazards impacts to a less than significant level by ensuring that the proposed project complies with the Santa Clara Building Division review process and California Building Code.

MM GEO-1.1: To avoid or minimize potential damage from seismic shaking, the project would be built using standard engineering and seismic safety design techniques. Building redevelopment design and construction at the site shall be completed in conformance with the recommendations of a design-level geotechnical investigation, which will be included in a report to the City. The report shall be reviewed and approved by the City of Santa Clara's Building Division as part of the building permit review and issuance process. The building shall meet the requirements of applicable Building and Fire Codes, including the 2016 California Building Code, as adopted or updated by the City. The project shall be designed to withstand potential geologic hazards identified on the site and the project shall be designed to reduce the risk to life or property to the extent feasible and in compliance with the Building Code.

Impact GEO-2.1: Construction activities at the project site would disturb soils on-site and could result in sedimentation and runoff on the project site.

Findings GEO-2.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant soil erosion impacts. Specifically, implementation of MM GEO-2.1 through -2.3, set forth below, which are hereby adopted and incorporated into the project, would reduce soil erosion and sedimentation impacts to a less than significant level by ensuring that soils are stabilized on-site and by avoiding activities that disturb dry soils.

MM GEO-2.1: All excavation and grading work would be scheduled in dry weather months or construction sites would be weatherized to withstand or avoid erosion.

MM GEO-2.2: Stockpiles and excavated soils would be covered during construction with secured tarps or plastic sheeting.

MM GEO-2.3: Vegetation in disturbed areas would be replanted as quickly as possible after construction.

Hazards and Hazardous Materials

Impact HAZ-1.1: The surface and sub-surface soils on-site could be contaminated due to past agricultural operations. Implementation of the project could expose construction workers and adjacent land uses to residual agricultural soil contamination.

Findings HAZ-1.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant hazards and hazardous material impact. Specifically, implementation of MM HAZ-1.1 through -1.3, set forth below, which are hereby adopted and incorporated into the project, would reduce construction worker, future occupant, and surrounding environment exposure to on-site contaminated soil impacts to a less than significant level by additional testing, analysis, and implementation of measures to cap or dispose of contaminated soils consistent with regulatory requirements and under regulatory oversight.

MM HAZ-1.1: Prior to demolition and excavation of the project site, a limited Phase II Environmental Site Assessment (Phase II ESA) will be completed to determine if agricultural chemicals are present in the soil at the site. The site will be sampled for CAM 17 Metals, pesticides, TPH-G, BTEX, and 5-Oxygenates. Phase II ESA sampling activities shall be coordinated with the Santa Clara Fire Department.

MM HAZ-1.2: Following demolition and removal of pavement, soil samples will be gathered from the site and sent for laboratory analyses to evaluate appropriate disposal alternatives. The analyses would include but not be limited to organochlorine pesticides, lead, petroleum hydrocarbons, and other metals. Sampling will occur prior to the issuance of grading permits.

MM HAZ-1.3: In the event that impacted soil is found on-site, the Director of Community Development shall be notified and the lateral and vertical extent of soil containing contaminant concentrations greater than the San Francisco Bay Regional Water Quality Control Board's (RWQCB's) environmental screening levels (ESLs) will be identified. Sample results shall be submitted to the Santa Clara Fire Department for review.

Contaminated soil shall be handled separately from “clean” soil. Common and potentially applicable remedial measures for the impacted soil may include: 1) excavation and off-site disposal at a permitted facility; 2) the use of engineering and administrative controls, such as consolidation and capping of the soil on-site and land use covenants restricting certain activities/uses; and 3) a combination of the above. Remedial activities at the site, if warranted, will be overseen by an appropriate regulatory agency, such as the Department of Toxic Substances Control (DTSC) or the Santa Clara County Department of Environmental Health (SCCDEH).

Noise

Impact NOI-1.1: Operation of the proposed development project could result in noise levels in excess of City’s Municipal Code noise level performance standards.

Findings NOI-1.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant noise impact. Specifically, implementation of MM NOI-1.1, set forth below, which is hereby adopted and incorporated into the project, would reduce operational noise levels from mechanical equipment on the site in order to minimize disruption and annoyance at nearby receptors. With the implementation of this mitigation measure, as well as the City Code limits on allowable mechanical noise, the impact would be reduced to a less than significant level.

- MM NOI-1.1:** To reduce noise resulting from HVAC equipment operations, one of the following measures shall be implemented:
- Equipment which would generate substantial noise shall be located at a minimum distance of 90 feet from the nearest residential property lines and a minimum distance of 25 feet from adjacent commercial property lines.
 - The selection of equipment shall be conducted and approved by a qualified acoustical professional such that equipment does not generate noise which would exceed Municipal Code standards at adjacent property lines.
 - If distance and/or equipment selection is not sufficient to reduce equipment noise consistent with the Municipal Code, equipment shall be shielded by walls, such as by a parapet wall constructed along the proposed building’s roof line, such that the adjacent uses are not directly exposed to mechanical equipment noise. To provide adequate noise reduction, walls will be constructed to fully block the line of sight between the equipment and the adjacent property line and shall have a minimum surface weight of three pounds per square foot (such as one-inch-thick wood, one-half inch laminated glass, masonry block, concrete, or one-inch metal).

Impact NOI-2.1: Construction of the proposed development project would result in vibratory levels in excess of established guidelines and could damage nearby structures.

Findings NOI-2.1: Changes or alterations, which have been incorporated into the project, will reduce the severity of the significant vibratory impacts resulting from project construction. Specifically, implementation of MM NOI-2.1, set forth below, which is hereby adopted and incorporated into the project, would place restrictions on equipment use and implement a vibration-monitoring plan to reduce the construction vibratory impacts from on-site construction activities on sensitive structures to a less than significant level.

MM NOI-2.1: The following measures are incorporated into the project to reduce vibration impacts from construction activities to a less than significant level:

- Prohibit impact or vibratory pile driving as a method of construction. As an alternative, construction of a mat slab, shall be used.
- Limit the use of vibratory rollers, hoe rams, large bulldozers, and caisson drilling, and avoid clam shovel drops within 20 feet of the property lines shared with residences and commercial structures adjacent to the site.
- Place operating equipment on the construction site as far as possible from vibration-sensitive receptors.
- Use smaller equipment to minimize vibration levels below the limits.
- Select demolition methods not involving impact tools.
- Avoid dropping heavy objects or materials near vibration sensitive locations.
- A list of all heavy construction equipment to be used for this project known to produce high vibration levels (tracked vehicles, vibratory compaction, jackhammers, hoe rams, etc.) shall be submitted to the City by the contractor. This list shall be used to identify equipment and activities that would potentially generate substantial vibration and to define the level of effort required for continuous vibration monitoring.
- A construction vibration-monitoring plan shall be implemented to document conditions at the residences and commercial structures adjacent to the site prior to, during, and after vibration generating construction activities. All plan tasks shall be undertaken under the direction of a licensed Professional Structural Engineer in the State of California and be in accordance with industry accepted standard methods. The construction vibration monitoring plan should be implemented to include the following tasks:
 - Identification of sensitivity to ground-borne vibration of the residences and commercial structures adjacent to the site. A

vibration survey (generally described below) would need to be performed.

- Performance of a photo survey, elevation survey, and crack monitoring survey for the residences and commercial structures nearest to the site. Surveys shall be performed prior to and after completion of vibration generating construction activities located within 20 feet of the structure. This distance shall be extended to 80 feet for vibratory pile driving and 120 feet for impact pile driving. The surveys shall include internal and external crack monitoring in the structure, settlement, and distress, and shall document the condition of the foundation, walls and other structural elements in the interior and exterior of the structure.
- Conduct a post-survey on the structure where either monitoring has indicated high levels or complaints of damage. Make appropriate repairs where damage has occurred as a result of construction activities.
- The results of any vibration monitoring shall be summarized and submitted in a report shortly after substantial completion of each phase identified in the project schedule. The report will include a description of measurement methods, equipment used, calibration certificates, and graphics as required to clearly identify vibration-monitoring locations. An explanation of all events that exceeded vibration limits will be included together with proper documentation supporting any such claims.
- Designate a person responsible for registering and investigating claims of excessive vibration. The contact information of such person shall be clearly posted on the construction site.

VI. GROWTH INDUCING IMPACTS

An EIR is required to discuss growth inducing impacts, which consist of the ways in which the project could foster economic or population growth, or the construction of additional housing, either directly or indirectly, in the surrounding environment. (CEQA Guidelines Section 15126.2(d); Pub. Resources Code Section 21100(b)(5).)

Direct growth inducement would result, for example, if a project involves the construction of substantial new housing that would support an increased population in a community or establishes substantial new permanent employment opportunities. This additional population could, in turn, increase demands for public utilities, public services, roads, and other infrastructure. Indirect growth inducement would result if a project stimulates economic activity that results in physical

development or removes an obstacle to growth and development (e.g., increasing infrastructure capacity that would enable new or additional development). CEQA Guidelines Section 15126.2(d) cautions that it must not be assumed that growth in any area is necessarily beneficial, detrimental, or of little significance to the environment.

These findings are based on the discussion of growth inducing impacts in Section 4.0 of the Draft EIR, the discussion and analysis of which is hereby incorporated in full by this reference.

The project proposes to demolish the existing commercial building on-site and develop 60 residential units. The project would also result in a General Plan Amendment which would increase allowable residential development within the Downtown Precise Plan Area of the City. As discussed in Section 3.19 Utilities and Service Systems of the Draft EIR, expansion of the existing utility infrastructure is not proposed or required because the existing utilities would have capacity for the growth which could occur under the General Plan Amendment. In addition, the site is an infill location within Santa Clara and would not require new roads to be constructed to access the site. For these reasons, the project would not foster or stimulate substantial economic growth or population growth, or the construction of additional housing in the surrounding environment which is not already planned.

VII. SIGNIFICANT AND IRREVERSIBLE ENVIRONMENTAL CHANGES

CEQA Guidelines Section 15126(c) requires that an EIR also address significant and irreversible environmental changes that may occur as a result of project implementation. Significant irreversible changes include the use of nonrenewable resources, the commitment of future generations to similar use, irreversible damage resulting from environmental accidents associated with the project and the irretrievable commitment of resources.

These findings are based on the discussion of significant and irreversible environmental changes in Section 5.0 of the Draft EIR, the discussion and analysis of which is hereby incorporated in full by this reference.

Use of Nonrenewable Resources; Commitment of Future Generations to Similar Use

The City of Santa Clara encourages the use of building materials that include recycled materials and makes information available on those building materials to developers. The new buildings would be built to current codes, which require insulation and design to minimize wasteful energy consumption. The proposed development project would be constructed in compliance with CALGreen requirements and the City's policies and ordinances controlling wasteful energy use. Moreover, as explained in Section 3.6 of the EIR, the project is consistent with the City's General Plan policies regarding energy use, which foster development that reduces the use, irretrievable commitment and consumption of nonrenewable resources in transportation, buildings and urban services (utilities).

Irreversible Damage Resulting from Environmental Accidents Associated with the Project

The project would be constructed consistent with the RWQCB Municipal Regional Stormwater NPDES Permit to avoid impacts to waterways. The project site is centrally located which would provide future residents with access to existing transportation networks and other services. Therefore,

the project would not likely result in irreversible damage that may result from environmental accidents.

VIII. ALTERNATIVES

CEQA requires that an EIR identify alternatives to a project as it is proposed. Section 15126.6 of the CEQA Guidelines specifies that the EIR should identify alternatives which “would feasibly attain most of the basic objectives of the project but would avoid or substantially lessen any of the significant effects of the project.” The EIR considered alternatives of design, scope, or location, which would substantially lessen the project's significant impacts, even if those alternatives “impede to some degree the attainment of the project objectives” or are more expensive. While CEQA does not require that alternatives must be capable of meeting all of the project objectives, an alternative's ability to meet most of the objectives is considered relevant to its consideration.

The Project Objectives

The applicant’s objectives for the project are as follows:

1. Develop the site into an economically viable, mixed-use project with up to 50 residential units along with up to four townhomes to provide a distinct mix and variety of unit types to serve a broad population that will help address the City’s housing needs.
2. Establish intergenerational physical and social connections through the provision of a varied mix of housing types and amenities that support community vitality in accordance with the City’s General Plan.
3. Preserve two historic single-family residences and one non-historic single-family residence on-site to strengthen the cultural and historical connection of the project to the neighborhood.
4. Create and maintain a residential built environment that promotes the safety and well-being of its residents and the surrounding community.
5. Create a residential transit-oriented project balanced with community-serving amenities that connects to and enhances the City’s bike and pedestrian network, while reducing vehicle trips.
6. Promote sustainability by developing a residential project on an infill and easily accessible project site through the incorporation of environmentally responsible construction techniques and conservation of energy in accordance with the major strategies of the City’s General Plan.

CEQA, the CEQA Guidelines and applicable case law have determined that feasibility can be based on a wide range of factors and influences. Section 15126.6(f)(1) of the CEQA Guidelines advises that such factors can include, but are not limited to, the suitability of an alternate site, economic viability, availability of infrastructure, consistency with planning documents or regulatory limitations, jurisdictional boundaries or whether the project proposed can "reasonably acquire, control or otherwise have access to the alternative site."

The City Council, having reviewed and considered the information contained in the EIR, hereby finds that the alternatives described below are not feasible. The City finds that there are specific economic, legal, social, technological or other considerations, including consideration for the

provision of employment opportunities for highly trained workers, and important matters of public policy that render these alternatives infeasible.

As explained above, "feasible" is defined in CEQA Guidelines Section 15364 to mean "capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, legal, social, and technological factors." According to CEQA Guidelines Section 15091(a)(3), the City may reject an alternative to the project if the City finds that it would be infeasible to implement that alternative because of "[s]pecific economic, legal, social, technological, or other considerations, including the provision of employment opportunities for highly trained workers." An agency also may reject an alternative that does not meet the public policy goals of the agency. In *Rialto Citizens for Responsible Growth v. City of Rialto* (2012) 208 Cal.App.4th 899, 947, the City of Rialto approved a project while rejecting as infeasible a reduced-density alternative that stripped out the portions of the project that would have created a synergistic mix of retail and restaurant tenants. Additionally, in *Environmental Council of Sacramento v. City of Sacramento* (2006) 142 Cal.App.4th 1018, 1039, the appellate court upheld the City of Sacramento's findings that additional preservation of open space would be infeasible because it would "at the very least [slow] 'the progress of necessary development such that the public's health and welfare is harmed through the lack of economic growth and productivity and a shortage of housing supply.'"²

These findings are based on the discussion of alternatives in Section 7.0 of the Draft EIR and Section 5.0 of the Final EIR, the discussion and analysis of which are hereby incorporated in full by this reference.

Alternatives Considered but Rejected

The alternative location needed to be of similar size to the project site, within the Downtown Precise Plan area of the City, and near existing transit. A site of similar size that could be redeveloped is present in the downtown area, however, the project applicant does not have control of alternative sites of similar size in the City. Additionally, the sites in the downtown area would result in similar impacts for biological, air quality, noise, and hazards impacts. For these reasons, an alternative location to the project was considered but rejected as infeasible.

No Project Alternative - No Development Alternative

The CEQA Guidelines specifically require consideration of a "No Project" Alternative. The purpose of including a No Project Alternative is to allow decision makers to compare the impacts of approving the project with the impacts of not approving the project. CEQA Guidelines Section 15126.6 specifically advises that the No Project Alternative is "what would be reasonably expected to occur in the foreseeable future if the project were not approved, based on current plans and consistent with available infrastructure and community services," and emphasizes that an EIR should take a practical approach, and not "...create and analyze a set of artificial assumptions that would be required to preserve the existing physical environment."

² Similarly, courts have upheld an agency's infeasibility finding on a policy-based rationale in the following cases: *Gilroy Citizens for Responsible Planning v. City of Gilroy* (2006) 140 Cal.App.4th 911, 936, and *Defend the Bay v. City of Irvine* (2004) 119 Cal.App.4th 1261, 1270.

The No Project – No Development Alternative would retain the existing commercial building and single-family residences as is. If the project site were to remain as is, there would be no significant impacts. This alternative would not meet any of the project objectives. In addition, the City would lose the opportunity to redevelop an underutilized site in a central location near services and transit to meet the strategies and goals of the City of Santa Clara General Plan.

The project site has a zoning designation of Historic Combining, General Office, and Community Commercial and which is intended to serve the needs of the general population. It is possible that in the future an alternative development proposal, such as another mixed-use building, may be presented for the project site. These projects would be required to comply with zoning regulations and would have similar impacts related to construction and geologic impact areas. Any future development proposals for the site would require review and approval by the City of Santa Clara.

This alternative would not result in a residential development fitting the project objectives because the zoning for the project site would not allow for a residential development.

Reduced Development Alternative

Impacts associated with the proposed development project would primarily result from construction of the project. While all impacts have been mitigated to less than significant, a reduced density alternative would lessen and/or avoid one of more of the construction related impacts.

A building of reduced size would require the use of heavy construction equipment for a shorter period of time and could allow for greater setbacks between the new construction and existing historic buildings. This would reduce the construction impacts on historic structures resulting from construction vibration. Additionally, air quality and noise impacts during construction would be incrementally reduced. Although a reduced size alternative would lessen the impacts of noise and air quality, mitigation could still be required to reduce particulate matter and noise impacts from heavy machinery. Impacts to subsurface archaeological resources and nesting birds, and impacts from soil conditions and contamination would still occur and be comparable to the proposed development project. Therefore, the reduced development alternative would result in similar impacts to the proposed development project.

The reduced development alternative would develop the site with residential units, which may include townhouses and would provide amenities and a housing mix which would meet project objectives 1 and 2. A reduced size of project would retain the historic structures on-site, as stated in project objective 3, and would strengthen the cultural and historical connection of the project to the neighborhood. Any development on-site would be required to comply with the local zoning regulations which promote safety and wellbeing of the surrounding environment, so the alternative would satisfy project objective 4. The alternative would create a transit-oriented development with local serving amenities and would be constructed with environmentally responsible construction techniques in accordance with the City's General Plan goals and policies. Therefore, the alternative would satisfy project objectives 5 and 6.

Environmentally Superior Alternative

The CEQA Guidelines state that an EIR shall identify an environmentally superior alternative. Based on the above discussion, the environmentally superior alternative to the proposed project is the No Project - No Development Alternative because all of the project's significant environmental impacts would be avoided. However, Section 15126.6(e)(2) states that "if the environmentally superior alternative is the No Project Alternative, the EIR shall also identify an environmentally superior alternative among the other alternatives." In addition to the No Project -No Development Alternative (as well as the No Project – No Development Alternative), the Reduced Development Alternative would avoid or result in lesser impacts than the proposed project.

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING THAT THE CITY COUNCIL CERTIFY THE ENVIRONMENTAL IMPACT REPORT, MAKE FINDINGS WITH RESPECT THERETO, AND ADOPT THE MITIGATION AND REPORTING PROGRAM FOR THE 950 MONROE STREET MIXED-USE PROJECT LOCATED AT 906-950 MONROE STREET AND 1341 HOMESTEAD ROAD, SANTA CLARA

PLN2020-14457 (General Plan Amendment and Rezone)
SCH# 2021100581

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on June, 16 2020, Lamb Partners, LLC (“Owner”) made an application for a General Plan Amendment in connection with development of a 0.87-acre site located at 906-950 Monroe Street and 1341 Homestead Road (APNs: 269-20-086, 269-20-087, and 269-20-095), which is currently developed with a 6,537 square foot commercial building and three existing single-family residences (“Project Site”);

WHEREAS, the Project approvals will include a General Plan Amendment to modify the text of the Community Mixed-use land use designation and related policies; a Rezone of the Project Site from General Office (OG), Historic Combining (HT), and Community Commercial to Planned Development (PD); and a Vesting Tentative Subdivision Map to allow a residential mixed-use development consisting of 50 condominium units in a six-story structure, four townhomes, and three existing single-family residences with onsite and offsite improvements (“Project”), as shown on the Development Plans, attached hereto and incorporated herein by this reference;

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), and the regulations implementing the Act, specifically 14 Cal. Code of Regs § 15081, this Project was determined after an Initial Study to identify potentially significant effects on the environment, resulting in the

drafting of an Environmental Impact Report (“EIR”) and Mitigation Monitoring and Reporting Program (“MMRP”);

WHEREAS, on October 25, 2021, the City distributed a Notice of Preparation of a Draft Environmental Impact Report (“DEIR”) for the Project; and

WHEREAS, on October 25, 2021, the City posted the Notice of Preparation at the Santa Clara County Clerk’s office, soliciting guidance on the scope and content of the environmental information to be included in the DEIR; and

WHEREAS, in conformance with CEQA, the EIR was noticed and circulated for a 45-day public review period to the State Office of Planning and Research, Santa Clara County Clerk’s Office, interested parties, and property owners within 1,000 feet of the Project Site from October 14, 2022 to November 30, 2022 (“Comment Period”), where during that period comment letters were received from the Department of Toxic Substances Control, Santa Clara Valley Transportation Authority, and Valley Water.

WHEREAS, the City prepared written Responses to Comments Received during the Comment Period and included those responses in a Final Environmental Impact Report (“FEIR”). The FEIR consists of a list of agencies and organizations to whom the DEIR was sent, a list of the comment letters received on the DEIR, revisions to the text of the DEIR, responses to comments received on the DEIR, and copies of comment letters;

WHEREAS, the DEIR and FEIR constitute the EIR for the Project;

WHEREAS, the EIR identified certain significant and potentially significant adverse effects on the environment that would be caused by the Project as proposed;

WHEREAS, the EIR outlined various mitigation measures that would avoid the Project’s significant effects on the environment, as well as alternatives to the Project as proposed that would provide some environmental advantages;

WHEREAS, CEQA Guidelines Section 15091 requires a lead agency, before approving a project for which an EIR has been prepared and certified, to adopt findings specifying whether

mitigation measures and, in some instances, alternatives discussed in the EIR, have been adopted or rejected as infeasible;

WHEREAS, the "CEQA Findings" attached to this Resolution is a set of Findings of Fact prepared in order to satisfy the requirements of Guidelines Section 15091;**WHEREAS**, on May 11, 2023, notices of the May 24, 2023 public hearing to consider the EIR were posted within 300 feet of the Project Site and mailed to all property owners within 1,000 feet of the property, according to the most recent Assessor's roll;

WHEREAS, on May 24, 2023, the Planning Commission opened the public hearing and then voted to continue the hearing to June 14, 2023;

WHEREAS, on June 14, 2023, the Planning Commission reconvened the public hearing and the voted to again continue the hearing to July 13, 2023;

WHEREAS, on July 13, 2023 the Planning Commission again reconvened the public hearing, at which time all interested persons were given an opportunity to provide testimony and the Commission considered the information presented in the Staff Report, and all verbal and written evidence.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the Planning Commission hereby finds that all potentially significant environmental impacts that may directly or indirectly result from the Project would be reduced to a less-than-significant level by the mitigation measures specified in the EIR and MMRP.
3. That the Planning Commission hereby finds the EIR has been presented to the Commission, which reviewed and considered the information and analysis contained therein before making its determination, and that the EIR reflects the Commission's independent judgment and analysis.

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST:

ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Mitigation Monitoring and Reporting Program (MMRP)
2. CEQA Findings
3. Development Plans

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE A GENERAL PLAN AMENDMENT TO MODIFY THE TEXT OF THE COMMUNITY MIXED-USE LAND USE DESIGNATION FOR PROPERTIES IN THE DOWNTOWN FOCUS AREA AND MAKE RELATED CHANGES TO GENERAL PLAN POLICIES

PLN2020-14457 (General Plan Amendment and Rezoning)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on June, 16 2020, Lamb Partners, LLC (“Owner”) made an application for a General Plan Amendment in connection with development of a 0.87-acre site located at 906-950 Monroe Street and 1341 Homestead Road (APNs: 269-20-086, 269-20-087, and 269-20-095), which is currently developed with a 6,537 square foot commercial building and three existing single-family residences (“Project Site”);

WHEREAS, the Owner applied for a General Plan Amendment to modify the Community Mixed Use (CMU) land use designation and related policies so that the CMU designation would allow for a density of up to 70 dwelling units per acre on mixed-use sites within the Downtown Focus Area that meet the following criteria: 1) The property is located within 0.25 miles of a fixed route bus service with service intervals no longer than 15 minutes during peak commute hours; 2) The development provides ground floor retail uses at a minimum FAR of 0.10; 3) If the project site is listed on the City’s Historic Preservation and Resource Inventory or the California Register of Historical Resources, any development affecting the historically significant structure shall be performed in accordance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties; and 4) The project provides for affordable housing through the payment of in-lieu fees and/or includes affordable units;

WHEREAS, the Owner has simultaneously applied for a Rezone of the Project Site from General Office (OG), Historic Combining (HT), and Community Commercial to Planned Development (PD) and a Vesting Tentative Subdivision Map to allow an a residential mixed-use development consisting of 50 condominium units in a six-story structure, four townhomes, and three existing single-family residences with onsite and offsite improvements (“Project”), as shown on the Development Plans, attached hereto and incorporated herein by this reference;

WHEREAS, Santa Clara City Charter Section 1007 requires that the Planning Commission provide input to the City Council on any proposed General Plan Amendment;

WHEREAS, Government Code Section 65353 requires the Planning Commission to hold a public hearing prior to making a recommendation on the General Plan Amendment;

WHEREAS, in conformance with CEQA, the Environmental Impact Report (EIR) prepared for the Project and was noticed and circulated for a 45-day public review period from October 14, 2022 to November 30, 2022;

WHEREAS, while considering the General Plan Amendment for the Project Site, the Planning Commission reviewed and considered the information contained in the Environmental Impact Report (EIR) for the Project;

WHEREAS, notice of the May 24, 2023 public hearing on the proposed General Plan Amendment was published in the *Weekly*, a newspaper of general circulation for the City, on May 10, 2023;

WHEREAS, on May 11, 2023, notices of the May 24, 2023 public hearing on the General Plan Amendment were posted within 300 feet of the Project Site and mailed to all property owners within 1,000 feet of the property, according to the most recent Assessor’s roll;

WHEREAS, on May 24, 2023, the Planning Commission opened the public hearing and then voted to continue the hearing to June 14, 2023;

WHEREAS, on June 14, 2023, the Planning Commission reconvened the public hearing and the voted to again continue the hearing to July 13, 2023;

WHEREAS, on July 13, 2023, the Planning Commission again reconvened the public hearing, at which time all interested persons were given an opportunity to provide testimony and the Commission considered the information presented in the Staff Report, and all verbal and written evidence.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. General Plan Amendment Findings: that the Planning Commission finds and determines that the General Plan Amendment is in the interest of the public good for the following reasons:

A. The proposed amendment is deemed to be in the public interest, in that:

The Project is located in an urbanized area served by existing infrastructure and municipal services. The Project would contribute 53 multi-family dwelling units to the City's housing stock in proximity to a mixed use and transportation corridor with access to neighborhood and community commercial uses, support services, local and regional transit facilities, outdoor open space and recreation areas. The Project provides a residential mixed-use development consisting of 50 condominium units in a six-story structure, four townhomes, and three existing single-family residences with onsite and offsite improvements. The Project would contribute to the City's housing stock and lessen the jobs/housing imbalance in support of the City's General Plan Land Use and Housing goals and policies. The Project observes several of the Transition Policies of the General Plan in site and building design to integrate into the community, and the proposal would modify policies that are inconsistent with the proposal. The Project would implement project conditions of approval to avoid and reduce impacts of development.

B. The proposed General Plan Amendment is consistent and compatible with the rest of the General Plan and any implementation programs that may be affected, in that:

The Project would combine and redevelop underutilized commercial and residential parcels to provide housing and commercial opportunities for the Downtown Focus Area, which support the City's Housing Goals and assist the City in achieving RHNA targets for production of affordable housing units as mandated by the State, and in accordance with Affordable Housing ordinance.

C. The proposed amendment has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA), in that:

The City notified An Environmental Impact Report (EIR) was prepared for the Project and was noticed and circulated for a 45-day public review period from October 14, 2022 to November 30, 2022 to the public agencies which have jurisdiction by law with respect to the Project, as well as to other interested persons, organizations and agencies, and the City sought the comments of such persons, organizations and agencies. The City prepared and circulated written responses to the comments received during the Comment Period and included those responses in a Final Environmental Impact Report ("FEIR"), in accordance with CEQA.

D. The potential impacts of the proposed General Plan Amendment have been assessed and have been determined not to be detrimental to the public health, safety, or welfare, in that:

A Mitigation Monitoring and Reporting Program has been prepared for implementation with Project development to reduce potentially significant impacts identified in the EIR to less than significant.

3. That pursuant to Government Code § 65354, the Planning Commission hereby recommends that the City Council, amend the General Plan by revising the definition of "Community Mixed Use" contained in Subsection 5.2.2 ("Land Use Classifications and Diagram") of Section 5.2 ("Land Use Diagram") of Chapter 5 ("Goals and Policies") to read as follows:

"Community Mixed Use

This classification is a combination of the Community Commercial and Medium Density Residential designations and is intended to encourage a mix of residential and commercial uses along major streets. Auto-oriented uses are not appropriate in this designation, except under certain circumstances within the El Camino Real Focus Area. Parking should be behind buildings, below-grade or in structures, to ensure that active uses face public streets. Retail, commercial and neighborhood office uses, at a minimum FAR of 0.10, are required in conjunction with residential development.

Except as otherwise provided below, the density shall be between 20 and 36 units per acre.

Notwithstanding the foregoing, a density range of 20 to 70 units per acre shall apply if all of the following are true:

- 1. The property is located within 0.25 miles of a fixed route bus service with service intervals no longer than 15 minutes during peak commute hours;***
- 2. The development provides ground floor retail uses at a minimum FAR of 0.10;***
- 3. If the project site is listed on the City's Historic Preservation and Resource Inventory or the California Register of Historical Resources, any development affecting the historically significant structure shall be performed in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties;*
and**
- 4. The project provides for affordable housing through the payment of in-lieu fees and/or includes affordable units, in compliance with the City's Affordable Housing Ordinance."***

4. That the Planning Commission recommends that the City Council amend Policy 5.5.2-P5 of Subsection 5.5.2 ("Transition Goals and Policies") of Section 5.5 ("Neighborhood Compatibility") of Chapter 5 ("Goals and Policies") of the General Plan to read as follows:

“5.5.2-P5 **Except for properties located in the Downtown Focus Area**, require that new development provide an appropriate transition to surrounding neighborhoods.”

5. That the Planning Commission recommends that the City Council amend Policy 5.5.2-P7 of Subsection 5.5.2 (“Transition Goals and Policies”) of Section 5.5 (“Neighborhood Compatibility”) of Chapter 5 (“Goals and Policies”) of the General Plan to read as follows:

“5.5.2-P7 **Except for properties located in the Downtown Focus Area**, for buildings of three stories or greater, increase the setback of upper stories where they abut lower-intensity residential uses.”

6. That the Planning Commission recommends that the City Council amends the second paragraph of Subsection 5.4.2 (“Downtown Focus Area Goals and Policies”) of Section 5.4 (“Focus Areas”) of Chapter 5 (“Goals and Policies”) of the General Plan to read as follows:

“The Downtown Focus Area offers opportunities for place-making and for a unique destination in the City to serve both local and regional interests. Revitalization will support the Major Strategies for City identity and community vitality. Connecting streets and increasing access to transit will attract residents and visitors. This vision for Santa Clara’s Downtown also includes approximately 130,000 square feet of retail and commercial uses along with almost 400 new residences on the approximately seven-acre site designated as Downtown Core on Figure 5.4-3. Development under this designation could be at intensities of almost 2.0 FAR, ~~with building heights between five and eight stories.~~ Allowed **The maximum** building intensity and heights **throughout** in ~~the remainder of the Downtown Focus Area are typically lower, with maximum heights between three and four~~ **is eight** stories. Policies related to Areas of Historic Sensitivity, in Section 5.6: Historic Preservation, and to transitions, in Section 5.5: Neighborhood Compatibility, also apply in respect to maintaining the existing character and development patterns of the surrounding area, excluding the properties designated as Downtown Core.”

7. That, based on the findings set forth in this Resolution and the evidence in the City Staff Report and such other evidence as received at the public hearing on this matter the Planning Commission hereby recommends City Council approval of the General Plan Amendment.

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8. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A SPECIAL MEETING THEREOF HELD ON THE 13th DAY OF JULY 2023, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING THAT THE CITY COUNCIL APPROVE A REZONING FROM GENERAL OFFICE (OG), HISTORIC COMBINING (HT), AND COMMUNITY COMMERCIAL (CC) TO PLANNED DEVELOPMENT (PD) TO ALLOW A RESIDENTIAL MIXED-USE DEVELOPMENT LOCATED AT 906-950 MONROE STREET AND 1341 HOMESTEAD ROAD, SANTA CLARA

PLN2020-14457 (General Plan Amendment and Rezone)

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on June 16, 2020, Lamb Partners LLC (“Owner”) filed a development application for the .87 acre parcel located at 906-950 Monroe Street and 1341 Homestead Road (APNs: 269-20-086, 269-20-087, and 269-20-095), which is currently developed with a 6,537 square foot commercial building and three existing single-family residences (“Project Site”);

WHEREAS, the Owner applied for a General Plan Amendment to modify the Community Mixed-Use designation and related policies; a Rezone of the Project Site from General Office (OG), Historic Combining (HT), and Community Commercial to Planned Development (PD); and Vesting Tentative Subdivision Map to allow a residential mixed-use development consisting of 50 condominium units in a six-story structure, four townhomes, and three existing single-family residences with onsite and offsite improvements (“Project”), as shown on the Development Plans, attached hereto and incorporated herein by this reference;

WHEREAS, a rezone of the property to PD is required to allow creative development standards for site and building design, that are not otherwise allowed in standard zoning districts, to construct the proposed residential mixed-use development;

WHEREAS, in conformance with CEQA, the Environmental Impact Report (EIR) prepared for the Project and was noticed and circulated for a 45-day public review period from October 14, 2022 to November 30, 2022;

WHEREAS, the EIR identified potential significant impacts of Project development that with implementation of the mitigation measures identified in the Mitigation Monitoring and Reporting Program (“MMRP”) will reduce potential mitigation measures to less than significant and will be incorporated into the Project;

WHEREAS, the Project Site includes property that currently has a Historic Combining (HT) zoning designation;

WHEREAS, SCCC Section 18.58.030 provides for the review and input of the Historical and Landmarks Commission (HLC) prior to rezoning an HT property;

WHEREAS, on June 29, 2023, the HLC conducted a duly noticed public meeting, at the conclusion of which, the Commission voted to recommend that the Planning Commission disapprove the rezoning request, based upon the six-story scale of the project in relation to one- and two-story single-family residences.

WHEREAS, Santa Clara City Code (SCCC) Section 18.112.030 provides for the review and recommendation of the City’s Planning Commission of all rezoning requests before action is to be taken by the City Council;

WHEREAS, on May 11, 2023, notices of the May 24, 2023 public hearing on the Vesting Tentative Subdivision Map were posted within 300 feet of the Project Site and mailed to all property owners within 1,000 feet of the property, according to the most recent Assessor’s roll; and

WHEREAS, on May 24, 2023, the Planning Commission opened the public hearing and then voted to continue the hearing to June 14, 2023;

WHEREAS, on June 14, 2023, the Planning Commission reconvened the public hearing and the voted to again continue the hearing to July 13, 2023;

WHEREAS, on July 13, 2023, the Planning Commission again reconvened the public hearing, at which time all interested persons were given an opportunity to provide testimony and the

Commission considered the information presented in the Staff Report, and all verbal and written evidence.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. That the Planning Commission hereby recommends that the City Council rezone the Project Site from General Office (OG), Historic Combining (HT), and Community Commercial (CC) to Planned Development (PD) to allow the development of the Project, as shown on the attached Development Plans and conditioned as specified in the attached Conditions of Rezoning Approval, incorporated herein by this reference.

3. Pursuant to SCCC Code Section 18.112.040, the Planning Commission determines that the following findings exist in support of the rezoning:

A. The existing zoning is inappropriate or inequitable, in that the existing zoning for the Project Site does not allow for residential development and the creation of housing opportunities envisioned by the 2010-2035 General Plan. A PD zoning of the Project Site to allow residential development would implement the General Plan's Land Use and Housing goals and policies to provide housing in proximity to existing residential, neighborhood and community commercial uses, support services, local and regional transit facilities, outdoor open space and recreation areas.

B. The proposed zone change will conserve property values, protect or improve the existing character and stability of the area in question, and will promote the orderly and beneficial development of such area, in that the proposal redevelops an underutilized commercial parcel for residential development that observes several of the Transition Policies of the General Plan for site and building design, on- and -off-site improvements to integrate into the community, and the proposal would modify policies that are inconsistent with the proposal.

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

Attachments Incorporated by Reference:

1. Rezone Conditions of Approval
2. Development Plans

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA RECOMMENDING THAT THE CITY COUNCCIL APPROVE A VESTING TENTATIVE SUBDIVISION MAP (PLN22-00390) AT 906-950 MONROE STREET AND 1341 HOMESTEAD ROAD, SANTA CLARA

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on June, 16 2020, Lamb Partners, LLC (“Owner”) made an application for a General Plan Amendment in connection with development of a 0.87-acre site located at 906-950 Monroe Street and 1341 Homestead Road (APNs: 269-20-086, 269-20-087, and 269-20-095), which is currently developed with a 6,537 square foot commercial building and three existing single-family residences (“Project Site”);

WHEREAS, the applied for a Vesting Tentative Subdivision Map to subdivide three existing parcels into two single-family parcels and one mixed-use parcel with 50 condominium units, four townhouses, one detached single-family dwelling unit, one condominium unit for all common floor common area, two condominium units of basement parking, and three retail condominium units;

WHEREAS, pursuant to Section 17.05.210 of the Code of the City of Santa Clara (“SCCC”), a Tentative Subdivision Map shall be required for all divisions of land into five or more parcels;

WHEREAS, on July 19, 2022, the Subdivision Clearance Committee determined that the application was complete and that the proposed Vesting Tentative Subdivision Map should proceed to the Planning Commission in conformance with Section 17.05.300 of the SCCC;

WHEREAS, SCCC Section 17.05.300(g) requires that the Planning Commission make recommendations of denial, approval or conditional approval to the City Council on the Tentative Subdivision Map;

WHEREAS, the proposed Vesting Tentative Subdivision Map is consistent with the development of a residential mixed-use development consisting of 50 condominium units in a six-story structure, four townhomes, and three existing single-family residences with onsite and offsite improvements;

WHEREAS, in conformance with CEQA, the Environmental Impact Report (EIR) prepared for the Project was noticed and circulated for a 45-day public review period from October 14, 2022 to November 30, 2022;

WHEREAS, on May 11, 2023, notices of the May 24, 2023 public hearing on the Vesting Tentative Subdivision Map were posted within 300 feet of the Project Site and mailed to all property owners within 1,000 feet of the property, according to the most recent Assessor's roll;

WHEREAS, a notice of the May 24, 2023 public hearing was published in *The Weekly*, a newspaper of general circulation, on May 10, 2023 for a meeting to be conducted on May 24, 2023; and

WHEREAS, on May 24, 2023, the Planning Commission opened the public hearing and then voted to continue the hearing to June 14, 2023;

WHEREAS, on June 14, 2023, the Planning Commission reconvened the public hearing and the voted to again continue the hearing to July 13, 2023;

WHEREAS, on July 13, 2023, the Planning Commission again reconvened the public hearing, at which time all interested persons were given an opportunity to provide testimony and the Commission considered the information presented in the Staff Report, and all verbal and written evidence.

NOW THEREFORE, BE IT FURTHER RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the Planning Commission hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.

2. Vesting Tentative Subdivision Map Findings. Pursuant to California Government Code Sections 66426 and 66428 and SCCC Section 17.05.300(h), the Planning Commission finds and determines that:

A. The Vesting Tentative Subdivision Map is consistent with the objectives, policies, general land uses and programs specified in the City's General Plan, as proposed to be modified, in that the Vesting Tentative Subdivision Map subdivides the existing 0.87 acre Project Site to allow a residential mixed-use project in the Downtown Focus Area, subject to conditions set forth in the Conditions of Vesting Tentative Subdivision Map Approval, attached hereto and incorporated by this reference.

B. The design and improvements of the proposed subdivision are consistent with the City's General Plan in that the Vesting Tentative Subdivision Map facilitates development of housing stock and construction of ownership housing opportunities for the community; and furthermore complies with General Plan Land Use and Transitional Goals and Policies of the General Plan, as modified, in that it transforms the commercial lot to a residential mixed-use development that would transition in scale and intensity of use with existing and planned land uses; and is in proximity to transit with multi-modal connections to local and regional transit service to support transit ridership and reduce vehicle miles traveled.

C. The site is physically suitable for the proposed type of development, in that the Project provides a transition between low intensity residential development and the Downtown Focus Area.

D. The site is physically suitable for the proposed intensity of development, in that the Project Site is located in an urbanized area and is served by existing utilities and infrastructure.

E. The design of the subdivision and type of improvements are not likely to cause serious health problems, in that the proposed residential subdivision will implement Covenants

Conditions and Restrictions for operation and maintenance of the building and site improvements and does not propose the use of hazardous materials.

F. The design of the subdivision and type of improvements are not likely to cause substantial environmental damage and will not substantially or unavoidably injure fish or wildlife or their habitat in that the Project Site is located in an urbanized setting, is a developed site, and the proposed subdivision includes mitigation measures, as identified in the EIR, that reduces impacts to less-than-significant levels.

G. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large or use of property within the proposed subdivision in that it is designed to avoid encroachment and conflicts with public easements in the site design.

H. The Tentative Subdivision Map provides, to the extent feasible, for future passive or natural heating or cooling opportunities, in that it would allow flexibility in the development standards to maximize the benefits of green building standards for site and building design.

3. Based on the findings set forth in this Resolution and the evidence in the Staff Report and such other evidence as received at the public hearings on this matter before the Planning Commission, the Planning Commission hereby recommends approval of the Vesting Tentative Subdivision Map to the City Council, substantially in the form on file as shown on the attached Vesting Tentative Subdivision Map and Conditions of Vesting Tentative Subdivision Map Approval, hereby incorporated by this reference.

4. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SANTA CLARA, CALIFORNIA, AT A SPECIAL MEETING THEREOF HELD ON THE 13TH DAY OF JULY, 2023, BY THE FOLLOWING VOTE:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

ATTEST: _____
ANDREW CRABTREE
DIRECTOR OF COMMUNITY DEVELOPMENT
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Development Plan with Vesting Tentative Subdivision Map
2. Conditions of Vesting Tentative Subdivision Map Approval



CONDITIONS OF REZONE AND GPA APPROVAL
950 MONROE STREET MIXED-USE PROJECT

GENERAL

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

COMMUNITY DEVELOPMENT

BUILDING DIVISION

- BD1. Informational: Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy For Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet.
- Any building or structure that is demolished shall have its address retired and a new address/s shall be issued for the project.
- BD2. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- FEMA Flood Zone map designations and requirements are based on the map in effect at date of Building Permit issuance.
- BD3. Informational: The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices http://www.scvurppp-w2k.com/nd_wp.shtml. All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): http://www.scvurppp-w2k.com/construction_bmp.shtml, and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form,

available on this web page: <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention> and will be routed to a contract consultant for review.

- BD4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.
- During construction retaining a single company to install all fire rated penetrations is highly recommended.
 - The grade level lobbies shall be min. 1 hour rated all sides and above.
 - All stair shafts shall be min. 1 hour rated.
 - All elevator shafts shall be min. 1 hour rated.
 - All trash chute shafts shall be min. 1 hour rated.
 - Recommendation: provide a minimum of two trash chutes; one for recyclables, one for trash, each trash chute to be routed down to a grade level trash collection room.
 - Any trash rooms shall be min. 1 hour rated all sides and above.
- BD5. Informational: The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.
- BD6. Informational: Temporary Certificates of Occupancy will not be routinely issued and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.
- BD7. See Title 15 of the Santa Clara City Code for any amendments to the California Building Codes.
- BD8. This project is subject to the provisions of the City of Santa Clara 2022 Reach Code, effective January 2022 See Ordinance No. 2034 and/or Title 15 of the Santa Clara City Code.
- Chp. 15.36 – Energy Code for “all electric” provisions for new construction.
 - i. Subject to CA Energy Commission acceptance and approval and on this project’s entitlement date.
 - Chp. 15.38 – Green Building Code for additional Electric Vehicle Charging requirements for new construction.

HOUSING & COMMUNITY SERVICES DIVISION

- H1. In accordance with the Santa Clara City Code chapter 17.40, this project is subject to the affordable housing requirements and impact fee for the proposed 54 units of for-sale residential development. The Applicant shall provide not less than fifteen percent (15%)

of the units (or 8.10 units) to affordable households made available at affordable sales prices to extremely low, very low, low and/or moderate-income households as long as the distribution of affordable units averages to a maximum of one-hundred (100) percent of Area Median Income. All prices are set in accordance with the City's Below Market Purchase (BMP) Program Policies and Procedures Manual (subject to updates and changes). Applicant shall be responsible for cost incurred under the California Building Standards (California Code of Regulations, Title 24) for the each affordable for- sale residential unit. Additionally, where the calculation of affordable housing requirements results in a fractional unit, the Applicant shall either pay an In-Lieu Fee or the Applicant shall provide an additional unit to satisfy the requirement. Any in-lieu fee payment due to the City by the Applicant shall be payable prior to the issuance of the certificate of occupancy. The in-lieu fee amount shall be equal to the difference between the unrestricted appraised market value ("Initial Market Value") and the Affordable Sales Price of one of the BMP units at completion, multiplied by the fractional unit. The Initial Market Value of the last BMP unit sold shall be the basis for calculating the in-lieu fee to be paid by Applicant.

- H2. Prior to issuance of Building Permits, the Developer shall enter into an Affordable Housing Agreement (AHA) with the City that will determine the Affordable Sales Price, identify the actual unit to be sold as the Affordable Unit, and apply all terms and covenants guaranteeing the prescribed affordability. Satisfaction of the affordable housing obligation shall be memorialized in the AHA and subject to City Council approval. There will be a fee for the AHA preparation in the amount of \$4,020 which will be due prior to execution of the AHA.

PLANNING DIVISION

- P1. Obtain required permits and inspections from the Building Official and comply with the conditions thereof. If this project involves land area of 1 acre or more, the developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board prior to issuance of any building permit for grading, or construction; a copy of the NOI shall be sent to the City Building Inspection Division. A storm water pollution prevention plan is also required with the NOI.
- P2. Comply with all requirements of Building and associated codes (the CBC, CEC, CMC, CPC, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.
- P3. It shall be the Developer's responsibility through his engineer to provide written certification that the drainage designs for the subject property will prevent flood water intrusion in the event of a storm of 100-year return period. The Developer's engineer shall verify that the site will be protected from off-site water intrusion by designing the on-site grading and storm water collection system using the 100-year hydraulic grade line elevation provided by the City's Engineering Department or the Federal Flood Insurance Rate Map, whichever is more restrictive. Said certification shall be submitted to the City Building Inspection Division prior to issuance of building permits.
- P4. Prior to issuance of a demolition permit, Developer/Owner shall have an asbestos survey of the proposed site performed by a certified individual. Survey results and notice of the proposed demolition are to be sent to the Bay Area Air Quality Management District (BAAQMD). No demolition shall be performed

- without a demolition permit and BAAQMD approval and, if necessary, proper asbestos removal.
- P5. Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits. Proposed BMPs shall be submitted to and thereafter reviewed and approved by the Planning Division and the Building Inspection Division for incorporation into construction drawings and specifications.
 - P6. An erosion control plan shall be prepared and copies provided to the Planning Division and to the Building Inspection Division for review and approval prior to the issuance of grading permits or building permits that involve substantial disturbance of substantial ground area.
 - P7. The Final Storm Water Management Plan (SWMP) must be certified by a third-party consultant from SCVURPP's current list of qualified consultants. Five copies of the approval letter from the certified third party review (wet stamped and signed) must be submitted prior to the issuance of grading or building permit.
 - P8. Prior to the issuance final occupancy, the applicant shall enter into Operations and Maintenance (O&M) agreement with the City. The project operator is responsible for the operations and maintenance of the SWMP and stormwater BMPs consistent with the O&M agreement throughout the life of the project.
 - P9. The Developer is required to prepare, institute, and monitor a Transportation Demand Management (TDM) Plan to reduce vehicle miles traveled by at least 20% of which at least 10% is achieved through TDM measures.
 - P10. The Developer shall submit the TDM plan to the Planning Division for review and approval prior to the issuance of the occupancy permit.
 - P11. Each calendar year after issuance of the certificate of occupancy, an annual review of the TDM plan shall be completed by a qualified third part consultant, and the third-party consultant shall submit the TDM annual report covering the prior calendar year to the Planning Division for review and approval to the satisfaction of the Director of Community Development.
 - P12. Trees permitted by the City for removal shall provide replacement on- or off-site at a 2:1 ratio with 24-inch box or a 1:1 with 36" box.
 - P13. Site landscaping shall be maintained in good condition throughout the life of the Project and no trees shall be removed without City review and approval.
 - P14. Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
 - P15. Minor changes to the project would be subject to Planning Division review and approval prior to issuance of building permits.
 - P16. Prior to issuance of a demolition permit, Developer/Owner shall have an asbestos survey of the proposed site performed by a certified individual. Survey results and notice of the proposed demolition are to be sent to the Bay Area Air Quality Management District (BAAQMD). No demolition shall be performed without a demolition permit and BAAQMD approval and, if necessary, proper asbestos removal.

- P17. The developer shall submit a truck hauling route for demolition, soil, debris and material removal, and construction to the Director of Planning and Inspection for review and approval prior to the issuance of demolition and building permits.
- P18. Construction activity not confined within a building shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and not permitted on Saturdays and Sundays for projects within 500 feet of a residential use. Construction activity confined within a building shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 500 feet of a residential use and prohibited on Sundays. Construction activity shall not be allowed on recognized State and Federal holidays.
- P19. The project shall comply with the mitigation measures identified in the Environmental Impact Report and Mitigation Measures and Reporting Program.
- P20. In the event historic/prehistoric artifacts or human remains are discovered during ground disturbing activities, the following measures will be implemented: In compliance with State law (Section 7050.5 of the Health and Safety Code and Section 5097.94 of the Public Resources Code), in the event human remains are encountered during grading and construction, all work within 25 feet of the find will stop and the Santa Clara County Coroner's office will be notified. If the remains are determined to be Native American, the Coroner will notify the Native American Heritage Commission to identify the "Most Likely Descendant" (MLD). The City, in consultation with the MLD, would then prepare a plan for treatment, study and reinternment of the remains.
- P21. In compliance with State law (Section 7050.5 of the Health and Safety Code and Section 5097.94 of the Public Resources Code), in the event that historical artifacts are found, all work within 50 feet of the find will stop and a qualified archaeologist will examine the find. All significant artifacts and samples recovered during construction would be cataloged and curated by a qualified archaeologist and placed in an appropriate curation facility. The archaeologist must then submit a plan for evaluation of the resource to the City of Santa Clara Planning Division for approval. If the evaluation of the resource concludes that the found resource is eligible for the California Register of Historic Resources, a mitigation plan must be submitted to the City of Santa Clara Planning Division for approval. The mitigation plan must be completed before earthmoving or construction activities can recommence within the designated resource area.
- P22. The following HT provisions shall apply to the HRI properties at 906 and 930 Monroe Street to regulate use and maintenance:
- a. 18.58.050 Conversion of residential structures to commercial use.
 - b. 18.58.060 Architectural control.
 - c. 18.58.070 Demolition restriction.

FIRE

- F1. Prior to Business Closure, the existing facility(s) must obtain a closure permit from the fire department
- F2. Prior to Demolition Permit Issuance, a Phase II environmental assessment is required to be submitted to Community Risk Reduction Division (CRRD) of the fire department for review. If hazards are present that require site mitigation,

cleanup, or management of chemical contaminants in soil, soil vapor, or groundwater a separate permit from one of the regulatory agencies below will be required. The type and extent of contamination on site(s) will govern which of the regulatory agencies noted below can supervise the cleanup:

- a. Department of Toxic Substances Control (DTSC);
- b. State Water Resources Control Board; or
- c. Santa Clara County, Department of Environmental Health.

- F3. Prior to Building Permit Issuance, a permit for Construction Safety & Demolition plan shall be submitted approved to the fire department for review and approval in compliance with our Construction Safety & Demolition standard.
- F4. Prior to Building Permit Issuance, provide documentation from the City of Santa Clara Water & Sewer Department that the minimum required fire-flow can be met. Fire Department fire-flow will be based on the currently adopted California Fire Code (CFC) as amended. The maximum reduction for the installation of fire sprinklers is twenty-five percent. The most restrictive departments requirement shall apply.
- F5. Prior to Building Permit Issuance, a separate construction permit for fire hydrants shall be obtained from the fire department. The required number, location and distribution of public and private fire hydrants for the building will be based on the current adoption of the CFC, Appendix C as amended. The required number of public and private fire hydrants will be based on the fire-flow before the reduction for fire sprinklers in accordance with CFC as amend. Private fire hydrants are required to be spaced around the perimeter of the building at an average spacing be more than 300 feet on center. The design is required to be modified or an alternative materials, design and methods of construction and equipment is required to be obtained prior to Building Permit issuance. The final mitigation measures will be determined at time of submittal, but the project should plan on incorporating a fire service elevator into the design.
- F6. Prior to Building Permit Issuance, a five-foot all-weather perimeter pathway around the entire perimeter of the buildings to facilitate firefighter access is required to be incorporated into the Building permit submittal.
- F7. Prior to the issuance of the Building Permit, a construction permit from the fire department apparatus access roads is required to be submitted for review and approval. Roadways must be provided to comply with all the following requirements:
 - a. Fire apparatus access roadways shall be provided so that the exterior walls of the first story of the buildings are located not more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building. **The design is required to be modified or an alternative materials, design and methods of construction and equipment is required to be obtained prior to Building Permit issuance. The final mitigation measures will be determined at time of submittal, but the project should plan on incorporating a fire service elevator into the design.**

- b. The “minimum” unobstructed vertical clearance shall not be less than 13'-6” feet.
 - c. The “minimum” width of aerial roadways for aerial apparatus is 26 feet.
 - d. The minimum inside turning radius shall be 30 feet.
 - e. The aerial access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building.
 - f. Overhead utility and power lines easements shall not be located over fire apparatus access roads or between the aerial fire apparatus roads and the buildings to avoid the possibility of injury and equipment damage from electrical hazards.
 - g. Fire apparatus access roadways shall be all-weather surface(s) designed to support a gross vehicle weight of 75,000-pounds.
 - h. Trees at full development must not exceed 30 feet in height and not impair aerials apparatus operations to sweep opposing sides of a building. Other obstructions such as site lighting, bio-retention, and architectural features are reviewed case-by-case to ensure they do not obstruct aerial and ground ladder access.
 - i. Traffic control/calming devices are not permitted on any designated fire access roadway unless approved. A separate Fire Department permit is required for any barrier devices installed along fire department apparatus access roads.
 - j. All fire department apparatus access roadways on private property are required to “be recorded” with the County of Santa Clara as Emergency Vehicle Access Easements (EVAE's).
- F8. Prior to issuance of the Building Permit, a gate permit is required to be obtained. Openings for access gates located across fire apparatus access roads shall be a minimum of 20 feet of clear width. Gates shall also be provided with a minimum unobstructed vertical clearance of 16-feet. All gates installed on designated fire department access roads must be electrically automatic powered gates. Gates shall be provided with an emergency power or be of a fail-safe design, allowing the gate to be pushed open without the use of special knowledge or equipment. A Tomar Strobe Switch or 3M Opticom detector shall be installed to control the automatic gate(s) to allow emergency vehicles (e.g., fire, police, ems). Said device shall be mounted at a minimum height of eight to ten feet (8' - 10') above grade.
- F9. Prior to Building Permit Issuance, design provisions must be made within the Building permit submittal for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.

- F10. Prior to the start of construction, roadways and water supplies for fire protection are required to be installed and made serviceable and maintained throughout the course of construction.
- F11. Prior to any Certificate of Occupancy Issuance (temporary or permanent), fire-life safety systems installations must be fully installed, functional, and approved. In buildings where an automatic sprinkler system is required, it shall be unlawful to occupy any portion of a building or structure until the automatic sprinkler system installation has been tested and approved. In new buildings of combustible construction where, automatic fire sprinkler systems are required to be installed, the system shall be placed in service as immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Fire watch is not intended to facilitate occupancy during ongoing construction in a new building.

PARKS & RECREATION

- PR1. This memo assumes the Project is a subdivision and the Quimby Act provisions will apply. The project will generate an estimated 130 residents (2.4 persons/household x 54 units). Based on the Quimby Act standard of 3.0 acres/1000 residents, the amount of public parkland required for this Project to mitigate the impact of the new resident demand is approximately 0.3888-acres. The equivalent fee due in lieu of parkland dedication is therefore \$2,725,272.
- PR2. The existing three single-family residences on the corner of Monroe Streets and Homestead Road are not included in the calculations as they are not generating any new residents.
- PR3. Any in-lieu fees imposed under this Chapter shall be due and payable to the City prior to issuance of a building permit for each dwelling unit. Final calculations will depend upon the actual number and type of units and the mix of parkland dedicated and remaining fee due, at the discretion of the City.
- PR4. Dwelling Unit Tax. A dwelling unit tax (DUT) is also due based on the number of units and additional bedrooms per City Code Chapter 3.15. The Project mix includes 17 one-bedroom units, 33 two-bedroom units and 4 three-bedroom units for a total DUT of \$1,015
- PR5. Calculations may change if the number of units change, if any areas do not conform to the Ordinance and City Code Chapter 17.35, and/or if the fee schedule for new residential development fees due in lieu of parkland dedication changes before this Project is deemed complete by Planning.

POLICE

- PD1. PD1. The property should be fenced off during demolition and construction as a safety barrier to the public and deterrent to theft and other crime. Consider not having any screening material on the fence so passing Police Patrol checks will be able to see into the site.
- PD2. Address numbers should be a minimum of twelve (12) inches in height for commercial or industrial buildings. Consider illuminated numbers during the hours of darkness, and in a color that is contrasting to the background material.

- They shall be clearly visible from the street. Where multiple units or buildings occupy the same property, each unit/building address shall be clearly visible. A monument sign, preferably at all entrances to the property, should be prominently displayed showing all unit/building numbers, addresses, etc. A map is recommended for large complexes with multiple streets or walkways.
- PD3. In a development where there is an alley, driveway, etc. providing a rear entrance or access, the address shall be displayed to both the front and rear of the individual buildings. Where an alley, driveway, etc. provided vehicular access, address numbers shall be clearly visible from that access.
- PD4. Businesses with rear alley entrance doors shall be numbered with the same address numbers or suite numbers as the front doors. Numbers that are a minimum height of 4" are recommended.
- PD5. There shall be positioned near the entrance an illustrative diagram of the complex, which shows the location of the viewer and unit designations within the complex, including separate building designations. This diagram shall be illuminated and should be protected by vandal and weather resistant covers.
- PD6. Each distinct unit within the building shall have its address displayed on or directly above both front and rear doors.
- PD7. When there is an alley or driveway to the rear of the business or commercial establishment that provides pedestrian or vehicle access, that area should be fenced and locked after hours. A 'Knox Box' or key coded system shall be used for police and fire emergency access.
- PD8. Landscaping should follow the National Institute of Crime Prevention standards. That standard describes bushes/shrubs not exceeding 2' in height at maturity, or maintained at that height, and the canopies of trees should not be lower than 6' in height. Crime deterrent vegetation is encouraged along the fence and property lines and under vulnerable windows.
- PD9. Lighting for the project to be at the IES (Illuminating Engineering Society of North America) standards and include the features listed below: White light source, Pedestrian Scale, Full cut-off or shoebox design, Unbreakable exterior, Tamperproof Housings, Wall mounted lights/10' high. These features increase natural surveillance, support and/or enhance security camera capabilities, and increase Police Patrol effectiveness.
- PD10. Any required enclosure fencing (trash area, utility equipment, etc.) would preferably be see-thru. If for aesthetic reasons prohibit that, the fencing should have a six (6) inch opening along the bottom for clear visibility. Any gates or access doors to these enclosures should be locked.
- PD11. If the project includes any benches, these benches should not be longer than 5 feet in length, and should have arm rests at both ends. If the benches are longer than 5 feet in length, there should be a divider (arm rest or similar) in the middle of the bench in addition to the arm rests on both ends. This helps prevent unlawful lodging and/or skateboarding. Another option to benches could be cubes, knee walls, or other creative types of seating possibilities.
- PD12. The developer should install skate stoppers on any low clearance wall of 36 inches in height or lower to prevent vandalism/damage to the wall from skateboarding or similar activities. If there is outdoor seating associated with a

restaurant or similar business which is near vehicle parking stalls, the outdoor space will be designed to ensure the safety of the public from possible vehicular related incidents.

- PD13. All exterior doors should be adequately illuminated at all hours with their own light source.
- PD14. All construction of dwelling units shall conform to the requirements of the Uniform Building Security Code as adopted by the City of Santa Clara City Council.
- PD15. All elevators should be well lit and equipped with a security mirror to provide interior and exterior visibility prior to entry or exit.
- PD16. Consider convex mirrors for elevator cabs and at stairwell landings in order to enhance natural surveillance for the user of the elevator or stairs. It is highly desirable to design an elevator shaft and cab to be transparent, making occupants of the cab visible from the outside. All elevators should be well lit and equipped with a security mirror to provide interior & exterior visibility prior to entry or exit.
- PD17. Other line of sight obstructions (including recessed doorways, alcoves, etc.) should be avoided on building exterior walls and interior hallways.
- PD18. All business or commercial establishments, of whatever nature, should have an electronic intruder alarm system installed. The system should cover the interior and perimeter of structures determined to be a value target. Also, consideration should be given to exterior areas that are or contain value targets, such as a product display lot, company vehicle parking area, etc.
- PD19. The installation and use of interior and exterior security cameras and recording devices is highly encouraged.
- PD20. Exterior stairs shall be open style whenever structurally possible. The stairs should be well lit.
- PD21. "White" light meeting the IES standard should be considered. There should be no "dark" areas inside the structure.
- PD22. The interior of the parking structure should be painted a light, highly reflective color. This increases the natural lighting available and can help prevent dark areas that attract criminal activity.
- PD23. All entrances to the parking areas (structure, surface, subterranean, etc.) shall be posted with appropriate signage to discourage trespassing, unauthorized parking, etc. (See California Vehicle Code section 22658(a) for guidance)
- PD24. Alcoves and other visual obstructions that might constitute a hiding place should be eliminated whenever structurally possible. Pillars, columns, and other open construction should be considered over a solid wall design.
- PD25. Consider storage, maintenance, and trash rooms within the parking garage having doors which cannot be locked from the inside and that close and lock quickly and automatically upon exit.
- PD26. A Coded Entry System is required for police access to enclosed parking lots and gated communities. This can be accomplished with a coded key pad system or the Police Department Knox Box key system. We understand security is a prime concern for the tenants of the project, which necessitates some sort of secure building and admittance process. By having either of these secure access systems for law enforcement, it will allow us to better respond to emergency

situations should they arise in the development. Examples of these systems can be reviewed at the following projects: 2585 El Camino Real (Coded key pad access) and 3555 Monroe Street (Knox box key access)

- PD27. Public Safety Radio Systems Penetration Guidelines have been established by the city of Santa Clara Communications Department for radio signal penetration during emergencies. The developer is advised that the project may be required to install equipment for adequate radio coverage for the City Of Santa Clara Radio communications System, including but not limited to Police & Fire emergency services. The developer should contact the director of communications at (408) 615-557 (for high rises).
- PD28. When in the opinion of the fire code official, a new structure obstructs the line of sight of emergency radio communications to existing buildings or to any other locations, the developer of the structure shall provide and install the radio retransmission equipment necessary to restore communications capabilities. The equipment shall be located in an approved space or area within the new structure.
- PD29. Applicant shall contact the Santa Clara Police Department 'Permits' unit (408-615-4868) for regulated activity special licensing requirements.
- PD30. Applicant shall contact the Santa Clara Police Department 'Intelligence' unit (408-615-4849) for Alcohol Beverage Control (ABC) licensing review.
- PD31. The business shall undergo a 6 month and 1 year review, including a check for ABC violations and police service calls.
- PD32. Applicant shall contact the Santa Clara Police Department 'Intelligence' unit (408-615-4849) for entertainment permit requirements.
- PD33. All business or commercial establishments, of whatever nature, should have a comprehensive internal security plan, tailored to the specific use. This should include, but not limited to, employee security during working hours, after hours security, disaster preparation, etc. For retail uses, especially where there is cash on hand, robbery and cash security protocols should be established. Applicants are encouraged to contact the Santa Clara Police Department's Community Services Unit (408-615-4859) for assistance.

PUBLIC WORKS

ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed

- prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
 - E4. The sanitary sewer (SS) discharge information (i.e., building use, square footage, point of connection to the public system, and 24-hour average and peak SS flow graphs for the peak day, showing average daily and peak daily SS flows) submitted by the developer was added 3/31/2021 to the City's Sanitary Sewer Hydraulic Model (SSHM) to determine if there is enough SS conveyance capacity in the SS trunk system to accommodate the proposed development. The SSHM output indicates that there should be enough SS conveyance capacity to accommodate the proposed development. The SSHM output may change based on pending development applications and future projects. The SSHM output does not guarantee or in any way reserve or hold SS conveyance capacity until developer has Final Approval for the project. For purposes of this condition, "Final Approval" shall mean the final vote of the City Council necessary for all entitlements to be approved, unless a legal challenge is brought to the Council decisions, in which case the Final Approval shall mean the final disposition of the legal challenge.
 - E5. Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at Developer's expense.
 - E6. Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the City Engineer.
 - E7. Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
 - E8. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.

- E9. Dedicate, as needed, on-site easements for new sidewalk, and any other new utilities by means of subdivision map or approved instrument at time of development and pay applicable processing fee.
- E10. If requested, Developer/property owner shall prepare and submit for City approval a maintenance plan for all sidewalk, curb and gutter, landscaping and irrigation system improvements installed within the public right-of-way prior to encroachment permit issuance. Such plan shall include at a minimum, maintenance requirements for trees and shrubs, in acknowledgement of developer's/property owner's obligation under Chapter 12.30 and 17.15.
- E11. After City Council approval of the Tentative Map, submit the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.
- E12. Entire width of Homestead Road along the project frontage shall be slurry sealed with digouts. Entire width of Monroe Street and Franklin Street along the project frontage shall be 2" grind and overlaid with digouts. If the encroachment permit for the Project's off-site improvements is not submitted within two (2) years of Final Approval for the Project, the required pavement treatment is subject to revision per the City's pavement program recommendations at the time of encroachment permit issuance. For purposes of this condition, "Final Approval" shall mean the final vote of the City Council necessary for all entitlements to be approved, unless a legal challenge is brought to the Council decisions, in which case the Final Approval shall mean the final disposition of the legal challenge. Refer to <https://www.santaclaraca.gov/our-city/departments-g-z/public-works/maintenance-operations/street-maintenance/pavement-preservation-ordinance> for more information.
- E13. Visual obstructions over three feet in height will not be allowed within the driver's sight triangle near driveways and intersections in order to allow an unobstructed view of oncoming traffic.
- E14. On-street parking shall not be counted toward on-site parking requirements.
- E15. All proposed driveways shall be per City Standard ST- 8 for Lot 1.
- E16. All proposed driveways shall be per City Standard ST-5 for Lots 2 and 3.
- E17. Provide pedestrian ADA walkways from proposed buildings to public sidewalk and parking areas.
- E18. Provide a 10' min. sidewalk with 5' foot planter strip along Monroe new building frontage.
- E19. Provide 5' minimum sidewalk along Homestead and Franklin frontages.
- E20. Unused driveways in the public right-of-way shall be replaced with City standard curb, gutter, and sidewalk per City Standard Detail ST-12.

- E21. For current proposed retail, restaurant, and housing units, the following minimum bicycle facilities shall be provided at the main entrance and/or high visible areas:
- E22. 61 housing units: 20 Class I Bike Locker spaces and 4 Class II Bike Rack spaces
- E23. 2,000 sq. ft. retail: 1 Class I Bike Locker space per 30 employees and 4 Class II bike Rack spaces
- E24. Provide loading/unloading zone on-site. No loading zone will be allowed on-street.
- E25. Provide trash pick-up and drop areas on-site.
- E26. Maintain existing roadway signage along Monroe, Franklin, and Homestead project frontages.
- E27. Provide one ADA compliant curb ramp at the southwest corner of Monroe Street and Franklin Street and two ADA compliant curb ramps at the southwest corner of Homestead Road and Monroe Street.
- E28. Maintain the existing 5-foot Class II bicycle lane on Monroe along entire frontage.
- E29. Reconstruct traffic signal at the Monroe/Homestead intersection to bring signal, poles, and underground infrastructure to current ADA, City and Caltrans Standards. This will include installing a leading pedestrian interval crossing Monroe Street, countdown timer, Bluetooth velocity reader, CCTV, and an accessible pedestrian signal.
- E30. All proposed traffic striping, messages, and symbols shall be thermoplastic.
- E31. Proposed curb radius at Monroe/Homestead intersection is too wide. Curb radius at this intersection should be 15 to 20 feet maximum.
- E32. Enhanced crosswalk markings as shown in Figure 3B-17 (CA) contained in the CA Manual on Uniform Traffic Control Devices (CA MUTCD) and shown in Figure 1 within the memorandum by Hexagon Consultants titled "Pedestrian Crossing Study for Crosswalk Enhancements on Monroe Street in Conjunction with the Proposed Mixed-Use Project at 906 Monroe Street in Santa Clara, California" dated April 1, 2021 shall be installed at the Franklin and Monroe intersection. Bulb-outs shall be installed at the intersections of Monroe/Homestead and Monroe/Franklin. They shall have a gentle "S" curve and no sharp corner/curve and straight line allowed. Bulb-outs on Monroe side shall not encroach into the existing bike lane. Minimum bike lane width is 5'. Gutter pan shall not be used as part of the bike lane width.
- E33. Bike lane striping/messages destroyed/damaged at the proposed bulb-outs at Monroe/Franklin and Monroe/Homestead shall be replaced with thermoplastic striping/messages.
- E34. Per Santa Clara Technical Guidelines ST-8 drawing, the maximum width allowed for residential/commercial driveways is 30 feet. The revised site plan shows the driveway on Franklin as 48' feet wide, please revise to meet ST-8 standards.

- E35. The project shall comply with all requirements contained within the Downtown Precise Plan, once approved by City Council.

STREETS DIVISION

Landscape

- L1. Include [City of Santa Clara Tree Preservation/City Arborist specifications](#) on all improvement plans.
- L2. No cutting of any part of public or private trees, including roots, shall be done without securing prior approval of the City Arborist. Tree trimming/removal shall be done in accordance to the City of Santa Clara Tree Preservation/City Arborist specifications and with direct supervision of a certified arborist (Certification of International Society of Arboriculture).
- L3. Identified existing mature trees to be maintained. Prepare a tree protection plans for review and approval by the City of Santa Clara prior to any demolition, grading or other earthwork in the vicinity of existing trees on the site.
- L4. Tree replacement ratio shall be 2:1 with minimum box size replacements. If project can't meet the 2:1 replacement ratio, in-lieu fees must be paid prior to issuance of building permit.

Solid Waste

- . The applicant shall complete and provide the Post-Construction Solid Waste Generation Estimation and Collection Form, which includes the estimation of trash and recycling materials generated from the project. Use the City's Solid Waste Guidelines for New and Redevelopment Projects as specified by the development type. Contact the Public Works Department at Environment@SantaClaraCA.gov or (408) 615-3080 for more information.
- SW2. The applicant shall provide a site plan showing all proposed locations of solid waste containers, chutes, compactors, trash enclosures and trash staging areas. The site plan shall show the route or access for trash and recycling collectors (trucks) including vertical clearance, turning radius and street/alley widths. All plans shall comply with the City's Solid Waste Guidelines.
- SW3. For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a Waste Management Plan and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.
- SW4. Prior to obtaining a Temporary or Final Certificate of Occupancy, individual weight tickets for all materials generated for discard or reuse by the project during demolition and construction activities shall be uploaded to Green Halo and submitted for review and approval by Environmental Services. At a minimum two (2) weeks review time is required.

- SW5. This project is subject to the City's Accumulation, Transportation and Disposal of Solid Waste Ordinance (Chapter 8.25 of the Municipal Codes), which requires the handling and disposal of waste by authorized service haulers. Insert the General Notes for the Construction & Demolition (C&D) Waste Management into construction plans in accordance with the City's municipal codes prior to the issuance of a Building or Grading permit. Provide the Green Halo waste online tracking number to Building staff prior to the issuance of a demolition or building permit.
- SW6. This property falls within the City's exclusive franchise hauling area. The applicant is required to use the City's exclusive franchise hauler and rate structure for any hired debris boxes. Prior to the issuance of a Public Works clearance, the project applicant shall complete and sign the Construction and Demolition (C&D) / Waste Management Rules and Regulations Form.
- SW7. All refuse from all residential, commercial, industrial and institutional properties within the city shall be collected at least once a week, unless otherwise approved in writing (SCCC 8.25.120). Garbage service level required for residential developments (single-family and multi-family) as well as motels and hotels shall be no less than twenty (20) gallons per unit. All project shall submit to the Public Works Department the preliminary refuse service level assessment for approval.

Stormwater

Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the C.3 Data Form, the Special Project Narratives and Worksheet (as appropriate), and an Erosion and Sediment Control Plan.

- Applicant to provide an updated Special Projects Narrative that identifies TOD credit as 45%.
- ST2. The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party review letter shall be submitted with the Plan.
- ST3. For project that disturbs a land area of one acre or more, the applicant shall provide a copy of the Notice of Intent (NOI) with WDID number for coverage under the State Construction General Permit. Active projects with NOI will be inspected by the City once per month during the wet season (October – April).
- ST4. The applicant shall incorporate Best Management Practices (BMPs) into construction plans and incorporate post-construction water runoff measures into project plans. Include the SCVURPPP Countywide Construction BMPs Plan Sheet with the plans.
- ST5. Include the C.3 Treatment Facilities Construction Notes on the Improvement Plans and/or Stormwater Control Plans.
- ST6. During the construction phase, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3rd party consultant from the SCVURPPP List of Qualified Consultants, and a 3rd party concurrence letter on the C.3 facilities construction shall be submitted to the Public Works Department. The City reserves the right to review the 3rd party inspection reports on the C.3 stormwater facilities installation.

- ST7. Applicant shall install biotreatment soil media that meets the minimum specifications as set forth in the SCVURPPP C.3 Stormwater Handbook. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix (the date of such document shall not be older than 3 months).
- ST8. As-Built drawing shall be submitted to the Public Works Department. Include C.3 Stormwater Treatment Facilities Construction general notes on the improvement plans.
- ST9. Permeable Pavement, Media Filter vaults, Interceptor Trees and Trash Full Capture Devices shall be inspected by a third-party reviewer and/or manufacturer representative for conformance with the details and specifications. If necessary, percolation test shall be performed to ensure proper installation. A map displaying the number, location and details of full trash capture devices shall be prepared as an attachment to the Operations and Maintenance (O&M) Agreement with the City.
- ST10. Stormwater treatment facilities must be designed, installed, and maintained to achieve the site design measures throughout their life in accordance to the SCVRUPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C).
- ST11. The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures and full trash capture devices in perpetuity. Applicants should contact Public Works Dept. - Environmental Services at (408) 615-3080 or Street@SantaClaraCA.gov for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>. Inspection of permeable pavement, media filter vaults and full trash capture devices is to be done annually by December 31 of each year.
- ST12. Any site design measures used to reduce the size of stormwater treatment measures shall not be installed for the project without the written approval from the City, installing the corresponding resizing of other stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST13. Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST14. Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST15. Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST16. All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.
- ST17. Decorative and recreational water features such as fountains, pools, and ponds shall be designed and constructed to drain to the sanitary sewer system only.
- ST18. The use of architectural copper is discouraged. If such material is used, all wastewater generated by the installation, cleaning, treating, or washing of the

surface of copper architectural features, including copper roofs, shall not be discharged to the City's storm drain system.

SILICON VALLEY POWER

- SVP1. Townhome meters are being served within the same electrical room as the other building or customer owned conduits and cables will need to run to an SVP pull box along the frontage.
- SVP2. Property Lines are being removed as shown in tentative parcel map.
- SVP3. Pole 37C11 is to remain. Will need a 15-20' lead down guy & anchor for this pole.
- SVP4. Pole with light can be remove once pole 37C12 is removed. The area/street lighting is the projects responsibility to maintain while new SVP street lighting system can be installed/energized per detailed design.
- SVP5. Offsite duct banks crossing Franklin road & Monroe road shall be designed, installed and paid for by the developer.
- SVP6. All streetlight, secondary, and UE (Fiber) systems to be designed during detailed design.
- SVP7. Clearances: (Make sure job notes do not conflict with SVP clearance requirements)
 - a. EQUIPMENT
 - i. Ten (10) foot minimum clearance is required in front of equipment access doors. (UG1000 sheet 11)
 - ii. Five (5) foot minimum clearance from pad is required on sides without equipment access doors. (UG1000 sheet 11)
 - iii. Eighteen (18) foot minimum width, shall be provided and maintained on one side of the equipment pad to allow an electric dept. line truck to drive up next to the pad for installation and maintenance of equipment. (UG1000 Sheet 11).
 - iv. Barrier pipes are required only on sides accessible to vehicles. (UG1000 Sheet 12).
 - 1. Thirty (30) inches from side of equipment sides.
 - 2. Forty Eight (48) inches in front of access doors.
 - a. Barrier Pipes in front of access doors shall be removable.
 - b. CONDUITS
 - i. Five (5) foot minimum longitudinal clearance between new conduits or piping systems (open trench installation) and any existing or proposed SVP conduit system. This is for longitudinal. (UG1250 sheet 5)
 - ii. Twelve (12) inch minimum vertical clearance between new conduit/pipes installed perpendicular to existing SVP conduits for open trench installations. (UG1000 sheet 36, UG1250 Sheet 6)
 - iii. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)

- iv. Three (3) foot minimum clearance is required between sign posts, barrier pipes or bollards, fence posts, and other similar structures. (UG1250 sheet 10).
- v. Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities. (UG1000 sheet 8)
- vi. Five (5) foot minimum clearance from walls, footings, retaining wall, landscape planter, tree root barrier or other subsurface wall or structure. (UG1250 sheet 9).
- vii. Five (5) foot minimum clearance is required between fire hydrant thrust block. The thrust block extends 5' foot on either side of the fire hydrant in line with the radial water pipe connected to the hydrant.
- c. VAULTS/MANHOLES
 - i. Ten (10) foot minimum clearance is required between adjacent Vaults or Manholes.
 - ii. Five (5) foot minimum clearance is required between adjacent conduits.
 - iii. Minimum 36" from face of curb, or bollards required.
- d. Poles (Electrolier, Guy Stub poles, service clearance poles, self-supporting steel poles and lighting poles.)
 - i. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
- e. Guy Anchors
 - i. Five (5) foot minimum clearance is required between center of anchor line and any excavation area. (UG1250 sheet 15).
- f. Trees
 - i. OH 1230 for Overhead Lines
 - ii. SD 1235 for Tree Planting Requirements near UG Electric Facilities
- SVP8. Reference listed SVP standards for clearances.
 - a. Installation of Underground Substructures by Developers
 - b. UG1250 – Encroachment Permit Clearances from Electric Facilities
 - c. UG0339 – Remote Switch Pad
 - d. OH1230 – Tree Clearances From Overhead Electric Lines
 - e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- SVP9. Prior to submitting any project for Electric Department review, applicant shall provide a site plan showing all existing utilities, structures, easements and trees. Applicant shall also include a "Load Survey" form showing all current and proposed electric loads. A new customer with a load of 500KVA or greater or 100 residential units will have to fill out a "Service Investigation Form" and submit this form to the Electric Planning Department for review by the Electric Planning Engineer. Silicon Valley Power will do exact design of required substructures after plans are submitted for building permits.
- SVP10. The Developer shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.

- SVP11. Electric service shall be underground. See Electric Department Rules and Regulations for available services.
- SVP12. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- SVP13. Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- SVP14. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- SVP15. If the “legal description” (not “marketing description”) of the units is condominium or apartment, then all electric meters and services disconnects shall be grouped at one location, outside of the building or in a utility room accessible directly from the outside. If they are townhomes or single-family residences, then each unit shall have it’s own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- SVP16. If transformer pads are required, City Electric Department requires an area of 17’ x 16’-2”, which is clear of all utilities, trees, walls, etc. This area includes a 5’-0” area away from the actual transformer pad. This area in front of the transformer may be reduced from a 8’-0” apron to a 3’-0”, providing the apron is back of a 5’-0” min. wide sidewalk. Transformer pad must be a minimum of 10’-0 from all doors and windows, and shall be located next to a level, drivable area that will support a large crane or truck.
- SVP17. All trees, existing and proposed, shall be a minimum of five (5) feet from any existing or proposed Electric Department facilities. Existing trees in conflict will have to be removed. Trees shall not be planted in PUE’s or electric easements.
- SVP18. Any relocation of existing electric facilities shall be at Developer’s expense.
- SVP19. Electric Load Increase fees may be applicable.
- SVP20. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (Santa Clara City Code chapter 17.15.210 (2)).

- SVP21. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or more or any series of non-residential private improvements made within a three-year period valued at \$200,000 or more (Santa Clara City Code Title 17 Appendix A (Table III)).
- SVP22. Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.
- SVP23. Encroachment permits will not be signed off by Silicon Valley Power until Developers Work substructure construction drawing has been completed.
- SVP24. All SVP-owned equipment is to be covered by an Underground Electric Easement (U.G.E.E.) This is different than a PUE. Only publically-owned dry utilities can be in a UGEE. Other facilities can be in a joint trench configuration with SVP, separated by a 1' clearance, providing that they are constructed simultaneously with SVP facilities. See UG 1000 for details.
- SVP25. Proper clearance must be maintained from all SVP facilities, including a 5' clearance from the outer wall of all conduits. This is in addition to any UGEE specified for the facilities. Contact SVP before making assumptions on any clearances for electric facilities.
- SVP26. Transformers and Switch devices can only be located outdoors. These devices MAY be placed 5' from an outside building wall, provided that the building wall in that area meets specific requirements. (See UG 1000 document for specifics) EXAMPLE: If there are any doors, windows, vents, overhangs or other wall openings within 5' of the transformer, on either side, then the transformer MUST be 10' or more away from the building. These clearances are to be assumed to be clear horizontally 5' in either direction and vertically to the sky.
- SVP27. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel by separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developer should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.
- SVP28. SVP does not utilize any sub-surface (below grade) devices in its system. This includes transformers, switches, etc.
- SVP29. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.
- SVP30. High Rise Metering and Multi-Floor Infrastructure Requirements

- a. Refer to UG0250 – High Density Residential Metering Requirements
 - b. Refer to FO-1901 – Fiber Optic Splicing and Testing Methods
- SVP31. SVP’s largest 120/208V transformer is 750KVA.
- SVP32. SVP’s largest 277/480V transformer is 2000KVA.
- SVP33. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka “real dirt”), and cannot be supported on parking garage ceilings or placed on top of structures.
- SVP34. Applicant is advised to contact SVP (CSC Electric Department) to obtain specific design and utility requirements that are required for building permit review/approval submittal. Please provide a site plan to Leonard Buttitta at 408-615-6620 to facilitate plan review.

WATER & SEWER

- W1. Recycled Water Use: Pursuant to Chapter 13.15, Water, Article IV. Regulation of Recycled Water Service and Use, of the Municipal Code, the project is required to use recycled water for all non-potable uses where recycled water is made available and where provided for by Recycled Water regulations. This project is required to extend and connect to the City’s existing Recycled Water System.
- W2. Potable Water Redundancy: For all onsite industrial water use that requires uninterrupted service, the project shall provide a potable water back-up supply source that complies with all recycled water separation requirements.
- W3. Recycled Water Design: Each Recycled Water land use (irrigation, dual-plumbing, cooling system, industrial processes, etc.) shall have a separate metered service connection to the main. Applicant shall verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.
- W4. On-site Recycled Water Construction: Construction and installation of all on-site recycled water system equipment shall not begin until the Compliance Division of Water and Sewer Utilities has approved the on-site recycled water design. Please note on-site designs are generally not the same as the Building Permit plans. On-site recycled water plans require SBWR and California State Water Resources Control Board, Division of Drinking Water signatures for final approval.
- W5. On-site Recycled Water Inspection: Inspections are required at all on-site recycled water systems being installed prior to backfilling trenches or cover in walls and ceilings. Request a recycled water inspection by email watercompliance@santaclaraca.gov or call (408) 615-2002. Please provide the site location, SBWR project ID, and date and time preferences. These inspections are in addition to the Building Permit inspections.
- a. Need to verify separations between all potable/fire lines and recycled water lines, pipe type, pipe depths, equipment types, warning lids, tags and signs.
- W6. Recycled Water Main: The applicant shall install a new 12" DIP pipe recycled water main from the point of connection point on Madison and extend it to the site.

- W7. Encroachment Permit: Prior to issuance of Building Permits, the applicant shall submit an encroachment permit application and design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W8. Utility Design Plans: Utility Design Plans shall indicate the pipe material and the size of existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show meter and backflow configurations to scale and per City of Santa Clara Water & Sewer Utilities Standard Details. Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained.
- W9. Utility Separations: Applicant shall adhere to and provide a note indicating that all horizontal and vertical clearances comply with State and local regulations. The applicant shall maintain a minimum 12" of vertical clearance at water service crossing with other utilities, and all required minimum horizontal clearances from water services: 10' from sanitary sewer utilities, 10' from recycled water utilities, 8' from storm drain utilities, 5' from fire and other water utilities, 3' from abandoned water services, 5' from gas and electric utilities, and 5' from the edge of the propose or existing driveway. For sanitary sewer, water, and recycled water utilities, the applicant shall maintain a minimum horizontal clearance of 10' from existing and proposed trees. If applicant installs tree root barriers, clearance from tree reduces to 5' (clearance must be from the edge of tree root barrier to edge of water facilities). No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer, potable water and/or recycled water utilities and easements.
- W10. Separate Services: Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited. Approved backflow prevention device(s) are required on all potable water services.
- W11. City Standard Meters and Backflows: All proposed meters and backflows for all water services shall meet the current City of Santa Clara Water & Sewer Utilities Standard Details. Plans shall show meter and backflow configurations to scale.
- W12. Existing Services: The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services to the main per

- Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W13. Fats, Oil and Grease (FOG): All food service land uses conducting commercial cooking operations including dishwashing activities and equipment cleaning that generate grease-laden wastewater are subject to review from the Water and Sewer Utilities Department, for FOG Control and grease interceptor installation requirements. All food service projects are required to have an approved stamp from the Santa Clara County Department of Environmental Health before plans can be accepted for review. Contact Compliance Division of the Water and Sewer Utilities at (408) 615-2002 for a Food Service Checklist to initiate the process. Items to address include: future maintenance agreements, identification of proposed plumbing and equipment, calculation for proposed grease control device(s), identification of proposed grease control device(s), and waste/recycling/tallow storage.
- W14. On-Site Storm Drain Treatment: Prior to issuance of Building Permit, the applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W15. Water Usage: Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).
- W16. Landscaping: All the landscaping for the project shall comply with the California Water Conservation in Landscaping Act, Government Code Section 65591 et. seq. All plants shall be California native, non-invasive, low water-using or moderate water-using. High water-using plants and nonfunctional turf are prohibited.
- W17. Prior to issuance of Building Permits, the applicant shall submit plan details for all water features (including but not limited to fountains and ponds) designed to include provisions for operating the system without City potable water supply and capable of being physically disconnected from source of potable water supply during City declared water conservation periods, to the satisfaction of the Director of the Water & Sewer Utilities. Decorative water features may be permanently connected to the City's recycled water supply.
- W18. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so

Water Division can verify if there are any conflicts with proposed easements and water utilities.

- W19. Underground Fire Permit: Prior to issuance of Building Permits, applicant shall submit an underground fire permit unless otherwise waived by the Fire Department. If fire flow information is needed, applicant shall coordinate with Water and Sewer Utilities Department, for fire flow information at (408) 615-2000. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants. Fire service lines required for commercial and industrial use shall be sized appropriately per fire flow demand and code requirements.
- W20. Record Drawings: Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities Department.
- W21. Water Shortage Response Actions: Pursuant to the City of Santa Clara's Urban Water Management Plan, during times of drought or water shortage, the City implements water shortage response actions in accordance with the level of water shortage declared. All construction activities and all new irrigation connections are subject to the Water Shortage Response Actions in effect at the time of construction and connection of the irrigation service.

Water Shortage Response Actions for Stage 2 and higher include water use restrictions that limit the use of potable water such as:

- a. prohibiting the installation of new potable water irrigation services. new irrigation connections, construction, and dust control.
- b. restrict the use of potable water used for construction and dust control if recycled water is available.

This project is subject to all the requirements and restrictions of the Water Shortage Response Actions in place or adopted during the duration of the project. For more information, visit the City of Santa Clara Water & Sewer Utilities website at www.santaclaraca.gov/waterconservation.



CONDITIONS OF VESTING TENTATIVE SUBDIVISION MAP APPROVAL
950 MONROE STREET MIXED-USE PROJECT

GENERAL

- A. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- B. Comply with all applicable codes, regulations, ordinances and resolutions.

ATTORNEY'S OFFICE

- A. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

**COMMUNITY DEVELOPMENT
& COMMUNITY SERVICES DIVISION**

**H1.
PLANNING DIVISION**

- P1. The project shall comply with the Conditions of Architectural Review approvals (PLN2020-14457) and the mitigation measures identified in the Environmental Impact Report.
- P2. Developer shall prepare and submit Covenant, Conditions and Restrictions (CC&R's) to the City for review and approval. The approved CC&Rs are to be recorded prior to the issuance of building permits and a copy is provided to the Community Development Department.

PUBLIC WORKS

ENGINEERING

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be submitted within a Single Encroachment Permit to be reviewed and issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.
- E3. Submit public improvement/encroachment permit plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements directly to the Public Works Department. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of final map and/or issuance of building permits.
- E4. Dedicate, as needed, on-site easements for new sidewalk, and any other new utilities by means of subdivision map or approved instrument at time of development and pay applicable processing fee.
- E5. After City Council approval of the Tentative Map, submit 10 copies of the Subdivision Map, prepared by a Licensed Land Surveyor or a Registered Civil Engineer with Land Surveyor privileges to the Engineering Department. The submittal shall include a title report, closure calculations, and all appropriate fees.
- E6. Damaged curb, gutter, and sidewalk within the public right-of-way along property's frontage shall be repaired or replaced (to the nearest score mark) in a manner acceptable to the City Engineer or his

designee. The extents of said repair or replacement within the property frontage shall be at the discretion of the City Engineer or his designee.

- E7. Dedicate traffic signal easement to encompass 5' clearance from proposed traffic signal pole foundation.
- E8. On TM-2 for Stars and Stripes Drive, add "Public R/W to be vacated per separate instrument" similar to Centennial. Also, callout vacation area under separate instrument for the triangular portion on Tasman.
- E9. Ingress-egress easement (J347 OR 2195 & Doc 14150279) and public right-of-way (Doc 21195719) shall be vacated by separate instrument.

WATER & SEWER

- W1. Related Approvals: Applicant shall comply with all related City approvals, entitlements, permits, or requirements associated with the subject property, unless explicitly superseded or revised by the Director of Water and Sewer Utilities.
- W2. Easements: Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.

SILICON VALLEY POWER

- SVP1. Lot 1 will be allowed 2 services from SVP. 1 service is an existing service which is an overhead service for 1341 Homestead residence and the second service will be new one established for the rest of the site.
- SVP2. Lots 2 and 3 will each keep their existing electrical service.
- SVP3. Show all SVP easements on final parcel map.

From: Robert Brock <[REDACTED]>
Sent: Monday, May 15, 2023 3:57 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: ariana@lpgdevelopment.com
Subject:

Dear Council Members:

High-density housing and mixed-use city planning are absolutely essential to the health of our community and environment. The most direct solution to our housing crisis is to increase supply, and this project provides an excellent opportunity to do so. We cannot claim to care about solving homelessness without shifting away from low-density housing. As a Santa Clara resident, I am confident that this development is a necessary and exciting progression for the neighborhood.

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and I look forward to your yes vote on this project.

Sincerely,
Robert Brock

-----Original Message-----

From: Jim Blamey <[REDACTED]>
Sent: Wednesday, May 17, 2023 8:32 AM
To: Lesley Xavier <LXavier@santaclaraca.gov>; Steve Le <SLe@SantaClaraCA.gov>
Subject: 906-950 Monroe Street and 1341 Homestead Road

I am interested in finding out how to oppose the size and scope of the six story residential mixed use building planned for the above cited location. How does a six story building fit in to a neighborhood with single family dwellings? As a life long Santa Clara resident and homeowner near the site, it is unbelievable that zoning and planning would allow this type of monstrosity to be build. Please let me

know the official formal process to oppose the scope of this project. In addition, please send the names and email addresses of all city council members. Email is preferred.

Jim Blamey
876 Monroe St.
Santa Clara
[REDACTED]

From: Myron Von Raesfeld <[REDACTED]>
Sent: Monday, May 15, 2023 4:09 PM
To: Steve Le <SLe@SantaClaraCA.gov>; Clerk <Clerk@santaclaraca.gov>
Subject: 950 Monroe St development

Please see the attached letter in support of the development proposal located at 950 Monroe St. Santa Clara. Please make sure every planning commissioner gets a copy of this letter. I truly believe this will be a great development for the downtown area.

Myron Von Raesfeld
Keller Williams Realty
Real Estate Broker
CA DRE: 00866594
North Carolina Lic: 302419
408-472-4025

YOUR CALIFORNIA TO RALEIGH CONNECTION

From: RebeccaG Flores <[REDACTED]>
Sent: Monday, May 15, 2023 4:52 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana Gasper <Ariana@lpgdevelopment.com>
Subject: 950 Monroe St.

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

It is an efficient use of land in downtown Santa Clara,
It is the perfect example of environmentally sustainable development,
The architectural quality will help create new building design ideas in the downtown area,
This mixed-use project supports the city's Housing Element Goals,

New walkable housing helps energize the upcoming new downtown core,
The building is consistent with (and was designed with) the Downtown Task Force goals.
Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Rebecca Flores

-----Original Message-----

From: Anna Fisher <[REDACTED]>
Sent: Monday, May 15, 2023 3:22 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: Monroe street development project

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara.
Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you, and we look forward to your yes vote on this project.

Sincerely,
Anna Fisher

From: Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>
Sent: Monday, May 15, 2023 9:44 AM
To: Lesley Xavier <LXavier@santaclaraca.gov>; Andrew Crabtree <ACrabtree@SantaClaraCA.gov>; Reena Brilliot <RBrilliot@SantaClaraCA.gov>
Cc: Clerk <Clerk@santaclaraca.gov>
Subject: FW: New Downtown Proposal/Monroe Street project

Forwarding to share with the recipients below. A copy has been sent to Council.

From: Brian Goldenberg <[REDACTED]>
Sent: Sunday, May 14, 2023 10:59 PM
To: Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>; Clerk <Clerk@santaclaraca.gov>
Subject: New Downtown Proposal/Monroe Street project

Hello Mayor Gillmor and Council, **Planning Commission, and Historical Commission,**

I am a proud life-long Santa Clara and I am excited for the possibility of a new downtown for our city.

I am excited that the two historical houses won't be torn down. This part is very important to me to preserve Santa Clara's history.

And equally important is the ability to have quality places to go for dining and entertainment - in my own city!

For years now, I join my friends for dinner, festivals, and music nights in the downtowns of Campbell, Sunnyvale, Los Gatos, and Mountain View. I frequently wish we could have something similar in our great city. I frequently wonder why we don't have this already.

The idea of creating a new Downtown Santa Clara has been talked about for a while now. But now it's time for us to have a sense of urgency to make this happen.

Those other cities are passing us by when it comes to where Santa Clara Valley residents go to eat and enjoy themselves.

When you look at populations, we are 3 times larger than Campbell; 4 times larger than Los Gatos; almost twice as big as Palo Alto; and considerably bigger than Mountain View.

We have a great convention center, a great stadium, and a top-level university. And a great business district with world-class companies. We even have Great America! We have a lot of great people, places, and things in the city.

Why not a great destination center that attracts locals year-round?
Why not a great downtown?

Let's have a great part of town that draws people from those other cities TO Santa Clara!

Let's please not delay this further to 'review reports' and 'study the project.' Yes, it is important to do those things while we are making progress....not spinning our wheels while the downtowns of other cities continue to prosper and they collect tax dollars that could be going to Santa Clara.

So, please take the steps to help this move forward and continue making Santa Clara great!

Sincerely,

Brian Goldenberg
2047 Eucalyptus Ct.
Santa Clara 95050

From: Planning Public Comment <PlanningPublicComment@santaclaraca.gov>
Sent: Tuesday, May 16, 2023 10:26 AM
To: David DeLozier <[REDACTED]>; Planning Public Comment <PlanningPublicComment@santaclaraca.gov>; Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>; Reena Brilliot <RBrilliot@SantaClaraCA.gov>; Lesley Xavier <LXavier@santaclaraca.gov>; Steve Le <SLe@SantaClaraCA.gov>
Subject: RE: PLN2020-14457. 906-950 Monroe St. & 1341 Homestead Rd

Good Morning,

This is to confirm your email has been received in the Planning Division. By way of my reply I am including the appropriate Planning Division staff for review of your comments.

Thank you for taking the time to notify us on this matter.

Regards,

Elizabeth Elliott
Community Development Department | Planning Division
1500 Warburton Avenue | Santa Clara, CA 95050
O: 408.615.2450 | D: 408.615.2474

<https://gcc02.safelinks.protection.outlook.com/?url=http%3A%2F%2Fwww.santaclaraca.gov%2F&data=05%7C01%7CElliott%40santaclaraca.gov%7C5a7d5efe7b154f64195c08db5c6b77f6%7C28ea354810694e81aa0b6e4b3271a5cb%7C0%7C0%7C638205388857908340%7CUnknown%7CTWFpbGZsb3d8eyJWljiMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTil6lk1haWwiLCJXVCi6Mn0%3D%7C3000%7C%7C%7C&sdata=sXoWDgY6xZ5Yji2TADulT7j5t0ZY55zEI8%2Feef30E7s%3D&reserved=0>

-----Original Message-----

From: David DeLozier <[REDACTED]>
Sent: Monday, May 15, 2023 2:31 PM
To: Planning Public Comment <PlanningPublicComment@santaclaraca.gov>; Mayor and Council <MAYORANDCOUNCIL@SantaClaraCA.gov>
Subject: PLN2020-14457. 906-950 Monroe St. & 1341 Homestead Rd

Dear Mayor, Council, and Planning Commissioner's, Please have my comments read into the record. My name is David DeLozier and I'm the property owner at 1260-1290 Benton St.(Monroe). My parents built

CORRESPONDENCE RECEIVED IN THE PLANNING DIVISION

June 1, 2023 HLC MEETING

RTC 23-647

our building in 1967, it was the first building completed in the Franklin Mall. I'm not against growth and development when it's good and meets the needs of all citizen's of Santa Clara. I'm NOT in favor of overbuilt projects by developers that are interested in making the most return on their investment to the detriment of Santa Clara and it's neighborhoods!! This project is overbuilt and overbearing!! The number of stories and lack of parking for this project is unacceptable. I DON'T call Bus #22 and a mile away from the train/Bus depot, being on a mass transit route. You as our elected and appointed Representatives need to make developement decisions that are best for Santa Clara. Allowing the State or any other Government authority to override your representation of your constituents is a derelict of duty. Let me give you some history of our Downtown because " those who cannot remember the past are condemned to repeat it"!! The downtown was demolished by the Federal Redevelopment and then the Santa Clara Redelopment Agency, largely because of the lack of offstreet parking. The property owners of the Franklin Mall under a parking assessment district(still exists) purchased the land and built the 2 parking lots in the mall. They were built/required for public parking for the businesses in the mall, NOT to be overflow parking for underparked developments in the area. By allowing substantial parking variances on this project you will impact the offstreet parking, street parking, and traffic issue's in the Old Quad residential neighborhood (more conflict in the neighborhood). The folks living in this massive apt/condo complex will NOT be taking the #22 Bus to work or school. This project needs to be lowered in scale and more offstreet parking added(maybe 1 less floor of apt/condos and add parking to that floor). It's your duty to make decisions that are best for the citizen's of Santa Clara NOT maximising developer profits!!! I'm asking as a property owner and as a Santa Clara resident in this area, that you address the scale and parking on this development. Sincerely, David C. DeLozier, Former Santa Clara Councilmember, Santa Clara Businessowner, Santa Clara resident. [REDACTED]

Sent from my iPad

May 12, 2023

Santa Clara Planning Commission and Staff
City of Santa Clara
1500 Warburton Ave
Santa Clara Ca 95050

RE: 950 Monroe St Project

Dear Planning Commission and Staff

Our family have been part of Santa Clara ever since my dad began working as the City Manager back in 1962. Ever since then our family has called this great city home. My father loved this city and always wanted what was best for all the citizens and the companies that call this place home.

Several years ago, my father sold the 950 Monroe St building to Lamb partners who had indicated they would like to redevelop this site into a mixed-use residential development. While my father was excited and looking forward to the next chapter for this property he had owned since 1970 where he opened a small Hardware store.

The city has been talking about bring back a new downtown on the blocks between Monroe St, Lafayette St, Homestead Rd, and Benton St. While many proposals have floated around, and many people talk about the old downtown that no longer exists. The truth is that no new downtown will be successful without citizens visiting it regularly. With Monroe being a busy thoroughfare with an active buss line there is no better place than this parcel to accomplish the needed increase in housing for others to enjoy all that Santa Clara has to offer.

We have seen this proposed project and we are in complete support of this development. We hope that the Planning commission will unanimously approve this project. This will be good for the city and the future downtown that will someday be rebuilt for many to enjoy.

Respectfully,


Myron Von Raesfeld


Elizabeth Elliott

From: Karla Gutierrez [REDACTED]
Sent: Thursday, May 11, 2023 10:57 AM
To: Steve Le
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Karla Gutierrez

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Wednesday, May 10, 2023 6:34:41 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Dave Paolinelli

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 11:16:52 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Molly O'Leary

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpqdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Wednesday, May 10, 2023 6:52:15 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

--

Diyar

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Wednesday, May 10, 2023 6:12:56 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Erica

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Friday, May 12, 2023 9:02:19 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Angelina Paolinelli

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpqdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Friday, May 12, 2023 9:43:44 AM

Dear Council Members,

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote YES for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Samantha

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 9:37:30 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Alexandria Raffo

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 11:24:01 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Devon Mercurio

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe -Letter of Support
Date: Wednesday, May 10, 2023 7:57:12 PM

Dear Council Members:

I'm writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara.

Please vote YES for this project on JULY 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail.
- It is an environmentally sustainable development.
- The architectural quality will create a dynamic and vibrant downtown area.
- This mixed-use project supports the city's Housing Element Goals.
- New walkable housing helps energize the downtown core.
- The project is consistent with the goals and objectives of the general plan and housing goals while providing much needed affordable housing.
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Thank you,
Lindsey Davidson
[REDACTED]

--

NOTICE: This email and all attachments are confidential and may contain information that is privileged, confidential, or exempt from disclosure under law. If you are not the intended recipient, delete this message and notify the sender immediately. Any unauthorized use is strictly prohibited.

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support
Date: Thursday, May 11, 2023 11:22:49 AM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,

Jay Gutierrez

From: [REDACTED]
To: [Steve Le](#)
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe -Letter of Support
Date: Wednesday, May 10, 2023 7:57:12 PM

Dear Council Members:

I'm writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara.

Please vote YES for this project on JULY 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail.
- It is an environmentally sustainable development.
- The architectural quality will create a dynamic and vibrant downtown area.
- This mixed-use project supports the city's Housing Element Goals.
- New walkable housing helps energize the downtown core.
- The project is consistent with the goals and objectives of the general plan and housing goals while providing much needed affordable housing.
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Thank you,
Lindsey Davidson
[REDACTED]

--

NOTICE: This email and all attachments are confidential and may contain information that is privileged, confidential, or exempt from disclosure under law. If you are not the intended recipient, delete this message and notify the sender immediately. Any unauthorized use is strictly prohibited.

From: [REDACTED]
To: [Steve Le](#)
Cc: [Ariana Gasper](#)
Subject: 950 Monroe st letter of support
Date: Wednesday, May 10, 2023 8:09:14 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail
- It is an environmentally sustainable development
- The architectural quality will create a dynamic and vibrant downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the downtown core
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Shaun

[REDACTED]

From: [REDACTED]
To: [Steve Le](#)
Subject: 950 Monroe Street - Support Letter
Date: Thursday, May 11, 2023 9:05:49 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Bobby Caya

From: [REDACTED]
To: [Steve Le; sle@santaclara.gov](mailto:sle@santaclara.gov)
Cc: [Ariana Gasper](#)
Subject: 950 Monroe Street
Date: Thursday, May 11, 2023 7:20:20 AM

Dear Council Members -

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Below are some of the benefits to the city:

- It is an efficient use of land in downtown Santa Clara
- It is the perfect example of environmentally sustainable development
- The architectural quality will help create new building design ideas in the downtown area
- This mixed-use project supports the city's Housing Element Goals
- New walkable housing helps energize the upcoming new downtown core
- The building is consistent with (and was designed with) the Downtown Task Force goals
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown

Thank you for your consideration, and we look forward to your yes vote on this project.

Best,
Riley

From: [REDACTED]
To: [Steve Le](#)
Cc: Ariana@lpdevelopment.com
Subject: 950 Monroe Street Project
Date: Thursday, May 11, 2023 3:43:03 PM

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing,
- Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Emily

Lucy Garcia

From: David Paolinelli [REDACTED]
Sent: Wednesday, May 10, 2023 6:34 PM
To: Steve Le
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Letter of Support

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,
- It is an environmentally sustainable development,
- The architectural quality will create a dynamic and vibrant downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the downtown core,
- The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing
 - Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Dave Paolinelli

From: Carrick Young [REDACTED]
Sent: Thursday, May 11, 2023 1:33 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

From: Kevin Coyle [REDACTED]
Sent: Thursday, May 11, 2023 8:40 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Kevin

Kevin Coyle
[REDACTED]

From: Nick Casaccia [REDACTED]
Sent: Thursday, May 11, 2023 11:46 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.

- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Nick Casaccia

From: Lane Husted [REDACTED]
Sent: Thursday, May 11, 2023 1:37 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Lane Husted

Lane P. Husted, CPA, CFP®

Associate Wealth Advisor
Bordeaux Wealth Advisors
Silicon Valley | Seattle

(650) 419-1181 Direct
[REDACTED]

lhusted@bordeauxadvisors.com

[Website](#) | [LinkedIn](#)



This message is intended only for the designated recipient(s). It may contain confidential or proprietary information and may be subject to other confidentiality protections. If you are not a designated recipient, you may not review, copy, or distribute this message. If you receive this in error, please notify the sender by reply e-mail and delete this message. Thank you.

From: Ethan Clements [REDACTED]
Sent: Thursday, May 11, 2023 9:30 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara

Dear Council Members,

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Ethan Clements

From: Michael Liebes [REDACTED]
Sent: Thursday, May 11, 2023 8:50 AM
To: Steve Le <SLe@SantaClaraCA.gov>

Cc: Ariana@lpgdevelopment.com
Subject: 950 Monroe Street, Santa Clara

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Michael Liebes

From: Grant Chou [REDACTED]
Sent: Thursday, May 11, 2023 3:50 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: ariana@lpgdevelopment.com

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,

- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Grant

--

Grant Chou
Santa Clara University '17

From: Max Kollmorgen [REDACTED]
Sent: Thursday, May 11, 2023 9:20 PM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: Ariana@lpgdevelopment.com

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

It can revitalize downtown Santa Clara with much needed housing and community serving ground floor retail,

It is an environmentally sustainable development,
The architectural quality will create a dynamic and vibrant downtown area,
This mixed-use project supports the city's Housing Element Goals,
New walkable housing helps energize the downtown core,
The project is consistent with the goals and objectives of the general plan and Housing goals while providing much needed affordable housing,
Adding housing like this enables local retailers to thrive and plan for further growth to our downtown.

Thank you and we look forward to your support on this project.

Sincerely,
Max

RE: PLN2020-14457
906 – 950 Monroe Street & 1341 Homestead Road

Dear Mayor, Council Members, Planning Commissioners, and Historical Landmarks Commission of the City of Santa Clara:

The Downtown Community Task Force (DCTF) has been working on developing a Precise Plan for the revitalization of Santa Clara's Downtown to ensure that there is a clear vision to achieve a successful and vibrant "place" for all to enjoy for many generations to come.

The effort to restore Santa Clara's Downtown has taken years to culminate into the opportunity that lays before us. Over the past 60+ years, numerous attempts have been made to heal the scar that urban renewal left on our city, but all have fallen short due to logistics, long term lease agreements, and a need for the community to lead.

"No land-use decision of the last half-century has damaged the urban fabric of a city more than Santa Clara's decision to tear down its eight-block downtown in the 1960s. The result has no coherence, no center, no charm."

(Herhold, S. (2017, April 24) The Worst Local Decisions of the Last 50 Years. San Jose Mercury News)

The current community led effort to return a key section of Franklin St. to the public has created the opportunity to re-connect the downtown area by means of a main street that many thought was not possible. For the first time since the early 1980's, Santa Clara's Downtown could be connected by a public right-of-way. Residents and community groups have spent

countless hours researching, analyzing, and understanding the complexities of development, urban planning, and current government policies to incorporate them into the current Precise Plan that is near completion. The Downtown Precise Plan will provide a clear set of guidelines that will allow us to create a thoughtful “place” for all Santa Clara community members to enjoy.

The proposal for the 906 – 950 Monroe & 1341 Homestead (Monroe Development) being submitted prior to the approval of the Precise Plan and Form Based Code will only result in the same “parcel-by-parcel” development the area has struggled with since being leveled by urban renewal. The current proposal does not follow the Downtown Precise Plan or Form Based Code requirements that will outline and guide future development within the 10-blocks. If the Monroe Development is allowed to proceed, this will undermine the intention of the Downtown Precise Plan and set a bad precedent for other development proposals to follow as we continue to work diligently to complete the Downtown Precise Plan.

The proposed Monroe development does not consider the Downtown Precise Plan, Form Based Code, or even the current General Plan, thus requiring it to be submitted as a Planned Development. The Planned Development (PD) zoning designation was intended for “unique and unusual” sites that do not allow traditional zoning and/or planning guidelines to apply. This site is not “unique or unusual” and the current General Plan zoning and planning guidelines could be applied. Since the current General Plan requirements are applicable, the developer should either comply with these requirements or wait and follow the Downtown Precise Plan and Form Based Code, which are scheduled to be approved later this year.

Development projects of today will last beyond most of our time together and as we face many challenges and are pressured to meet goals, we must not make the same mistake leaders in the past made by rushing to approve “something” through a parcel-by-parcel approach, resulting in a mish mash of buildings that do not contribute to the community that we believe Downtown Santa Clara once was and can be again. We believe we should stay focused on the larger vision that will create a thoughtful, community-oriented “place” for many generations of Santa Clara residents to come.

“A society grows great when old men (women) plant trees in whose shade they shall never sit” – Greek Proverb

The DCTF respectfully asks that the development proposal for 906 – 950 Monroe & 1341 Homestead not be approved until the Downtown Precise Plan and Form Based Code are approved, implemented, and enforced. This parcel should be developed, but it should be consistent with the community vision articulated within the approved Downtown Precise Plan and Form Based Code.

Sincerely,
Chair - Adam Thompson
Co-Chair - Dan Ondrasek

On behalf of all members of the Downtown Community Task Force

From: Ariana Gasper <ariana@lpgdevelopment.com>
Sent: Friday, May 12, 2023 6:39 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Subject: Fwd: 950 Monroe Street, Santa Clara - Support Letter

Hi Steve,

It looks like they forgot to add the Ca at the end of your email address. Please see letter of support below.

Best regards,
Ariana Gasper

From: Nick Casaccia [REDACTED]
Sent: Thursday, May 11, 2023 11:43 PM
To: SLe@SantaClara.gov <SLe@SantaClara.gov>
Cc: Ariana Gasper <ariana@lpgdevelopment.com>
Subject: 950 Monroe Street, Santa Clara - Support Letter

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Nick Casaccia

From: Travis McAuley [REDACTED]
Sent: Thursday, May 11, 2023 8:34 AM
To: Steve Le <SLe@SantaClaraCA.gov>
Cc: Ariana@lpgdevelopment.com
Subject: In Support of 950 Monroe Street Condominium Project

Dear Council Members:

I am writing in support of the 950 Monroe Street condominium and townhome project in Santa Clara. Please vote yes for this project on July 11th!

Among the many benefits to the city:

- It is an efficient use of land in downtown Santa Clara,
- It is the perfect example of environmentally sustainable development,
- The architectural quality will help create new building design ideas in the downtown area,
- This mixed-use project supports the city's Housing Element Goals,
- New walkable housing helps energize the upcoming new downtown core,
- The building is consistent with (and was designed with) the Downtown Task Force goals.
- Adding housing like this enables local retailers to thrive and plan for expansion in the downtown.

Thank you and we look forward to your yes vote on this project.

Sincerely,

Travis McAuley

Dear Planner Steve,

Good day! Attached you will find a letter that I have written in support of the project at 950 Monroe Street in Santa Clara.

Please share it with the Staff and the Planning Commission.

With appreciation,

Emmy

M.E. "Emmy" Moore-Minister



May 12, 2023

Santa Clara Planning Commission
and Planning Staff
c/o Steve Le
Associate Planner
City of Santa Clara
1500 Warburton Ave.
Santa Clara, CA, 95050

Dear Honorable Chair Cherukuru, Fellow Planning Commissioners, and Planning Staff,

I write to you today, in full support of the project at **950 Monroe St.**, located in the “Heart of the City’s Old Quad” neighborhood, and a project, that is *committed to environmental sustainability*.

√ This project, which has been in the planning stage for a few years now, (and has received significant citizen input and suggestions from folks including myself), has been designed and redesigned with *thoughtful architectural modifications* throughout.

√ This project *has been reduced in units* from the original proposal of 61 down to 54 units.

√ Three *homes with historical significance will be saved* and maintained.

√ The project is *extremely compatible with the area* and supports plans to bring *vitality to the City’s inner core* as it moves forward with plans to revitalize the S.C. Downtown Area.

√ The 54 units *adds* to the City’s much-needed for additional housing units.

√ The ground floor retail *creates a “village” feel* where neighbors and their pets will feel welcome.

√ The project is *located near public transit* and is in walking distance to the Santa Clara Transit Center, with access to VTA, Caltrain, and Capitol Corridor.

√ This particular type of housing stock is *compatible for various age groups*, and most importantly, appealing to *retiring Santa Clara's (Seniors)* who would like to “scale down” from a large family home to a smaller and more efficient living space, while still being able to reside in the Mission City, close to amenities and just blocks from the City's Senior Center.

It is for all the reasons above, and more, that I respectfully request that you approve this project. It's well-thought-out, it's great for Santa Clara's Downtown, and it's good for the overall community.

Respectfully Submitted,

M. E. Emmy Moore-Minister
Co-Founder
Old Quad Residents Association

On Fri, May 26, 2023 at 10:28 AM Lucilia Haro <[REDACTED]> wrote:

Dear Historical and Landmarks Commission,

We are writing to express our concerns about the proposed mixed-use project located at 950 Monroe Street. Our property “touches” the proposed site. Our craftsman bungalow home was built in 1918 and is listed on the historic preservation and resource inventory list for the City of Santa Clara, as both architecturally and historically significant.

As long-time residents of the City of Santa Clara and more specifically, residents of The Old Quad, we are concerned about the proposed rezoning of the historic combining district to a planned development district. The proposed development would involve dismantling an old historic neighborhood and constructing a high-rise six-story building, in addition to four proposed townhomes (on a small parcel of land). This would undermine the historical landscape of the neighborhood and measures should be taken to protect the authenticity of the neighborhood.

Our opposition is also based on these potential/probable negative effects:

- Scope of development is comparatively more impactful (in both size and scope) than the DT Gateway Project (Benton, Monroe, Franklin; Silicon Sage project).
- Proposed project includes **64 rear-facing windows** viewing directly into our backyard, eliminating any sense of privacy.
- Four second-story townhomes with four rear-facing balconies peering into our backyard with a set-back of **ten feet** from our property line (DT Gateway project was built with a set-back of **45 feet** from rear-facing residential neighbors). Residents in townhomes (on balconies) will be positioned to look directly into our backyard, such close proximity will have a profoundly intrusive impact on our privacy.
- Two large outdoor community terraces (located on the proposed fourth and fifth floors) will also invade our privacy, as well as our surrounding neighbors. (DT Gateway was built **without** any terraces overlooking neighboring homes).
- The proposal does not maintain livability for adjacent neighbors; significant loss of privacy, solar access diminished, and physical impacts (i.e. parking, ground vibrations, traffic, noise levels, privacy, loss of sunlight, visual qualities, etc).
- Noise concerns with the introduction of a Klaus Multiparking system (no other project in the City of Santa Clara has a Klaus Multiparking system adjacent to residential neighbors, therefore impact is unknown). Highly concerned with noise levels since our historic homes (and our surrounding neighbors) are not equipped to endure high levels of noise.
- Project does not achieve compatibility between a featureless, multi-use, multi-story development with an existing historic, small-scale, single family neighborhood. Architectural

drawings are void of any historical elements/interest and therefore do not blend well with the two remaining historical homes located on the same east-facing block.

- Project lacks sufficient buffer(s) to mitigate the impacts of a larger scale development adjacent to single-family historic homes. Homes directly surrounding this project (**touching the site**) are all over one hundred years old and require more sensitivity and thoughtfulness than non-historic homes.

The current neighborhood has significant historical value, and it is important (if not vital) to preserve this value for future generations. We urge you to consider the impact that this development would have on the character of the neighborhood (The Old Quad) and to take steps to ensure that any development is in keeping with the historical integrity of the area.

Thank you for your attention to this matter.

Sincerely,

Jorge and Lucy Haro



Steve Le

From: HistoricalLandmarksCommission
Sent: Tuesday, June 27, 2023 1:28 PM
To: Steve Le
Subject: FW: historical homes in the 900 block of Monroe St. in Santa Clara.

3 of 3.

From: Jan Wittman [REDACTED]
Sent: Tuesday, June 27, 2023 8:33 AM
To: HistoricalLandmarksCommission <HistoricalLandmarksCommission@santaclaraca.gov>
Subject: historical homes in the 900 block of Monroe St. in Santa Clara.

Dear Members of the Commission,

Please save our historical homes!

Jan Wittman

Steve Le

From: HistoricalLandmarksCommission
Sent: Tuesday, June 27, 2023 1:28 PM
To: Steve Le
Subject: FW: Homes on Monroe to be destroyed or removed

2 of 3.

-----Original Message-----

From: connie Hill [REDACTED] >
Sent: Tuesday, June 27, 2023 6:14 AM
To: HistoricalLandmarksCommission <HistoricalLandmarksCommission@santaclaraca.gov>
Subject: Homes on Monroe to be destroyed or removed

Dear Planning Dept. Please do not move or destroy. I the owners can not keep these for commercial use, then the city should buy and keep them for their use. These are historical and help to keep the Old Quad area, Old Quad. The look and Manor of Santa Clara should not be destroyed or compromised for future, in corporate them into a wonderful walking area and part of commercial use. Many other cities in our country do it, why can't Santa Clara. I love walking down Monroe and seeing these. They could be a Restaurant or Coffee shop and make the front an out side area. They could be a clothing store, an emergency office for people who need first aid. Please use your imagination and keep them.

Thank you for your consideration in this manner.

Connie Hill

1410 Santa Clara St.

Owner of a home in Old Quad and want to keep our historical homes where they were originally built of our Cities History.

Sent from my iPad

Steve Le

From: HistoricalLandmarksCommission
Sent: Tuesday, June 27, 2023 1:27 PM
To: Steve Le
Subject: FW: Protect homes at 906 and 930 Monroe Street

1 of 3

From: Anne King [REDACTED] >
Sent: Monday, June 26, 2023 11:22 PM
To: Anne King [REDACTED]; HistoricalLandmarksCommission
<HistoricalLandmarksCommission@santaclaraca.gov>
Subject: Protect homes at 906 and 930 Monroe Street

Please, please, please protect the historic homes at 906 and 930 Monroe Street from the possibility of future misuse due to the stripping of their protections as historic properties. The whole of the historical character of the Old Quad and some outlying properties from the late 1800s and early 1900s will be compromised by the destruction of either of these houses, and a very valuable historical resource will be lost to our wonderful city.

We live in the heart of the Old Quad and are so grateful to have been given this beautiful place to live. Please protect it for us!

Thank you,
Dennis and Anne King

File No (s): PLN2020-14457

Location: 906-950 Monroe Street and 1341 Homestead Road

Applicant: Salvatore Caruso

Owner: Lamb Partners LLC

Dear Chairwoman Priya Cherukuru, and members of the Planning Commission,

My name is Lucy Haro. I am a life-long Santa Clara Resident, homeowner of 945 Madison Street and I am writing to you today to express my opposition to the proposed high-rise, mixed-use development located at 950 Monroe Street.

Our craftsman bungalow home was built in 1918 and is listed on the historic preservation and resource inventory list for the City of Santa Clara, as both architecturally and historically significant. Our historic property “touches” the proposed site and is well within 200 feet of the proposed development.

Our opposition to this project is based primarily on the size and scope of this project. The recent construction of DT Gateway (Benton, Monroe, Franklin Street project) has set the precedent of what the size and scope should be for a neighboring development (on the same front-facing side of Monroe Street). A taller, more intrusive structure (such as what is being currently proposed) will not complement or enhance the small-scale neighborhood, especially given the fact that this large-scale mixed-use project will be front-facing and adjacent to two two-story historical single-family homes.

For your reference, I’ve included a table that highlights the significant differences between the DT Gateway Development and the new mixed-use project.

	Downtown Gateway (SiliconSage Builders)	950 Monroe Street (Lamb Partners)
Land Area:	1.04 acres	0.87-acre site located at 906, 930, and 950 Monroe.
Number of Dwellings / Space:	44 residential condominiums and 14,477 sq ft of retail space	50 multi-family residential units and ~2,000 square feet of ground floor retail/restaurant space.

Number of Townhomes:	Zero	Four detached two-story townhouses would also be constructed on-site. Requires subdivision of current historical homes (906 and 930 Monroe Street)
Number of Balconies:	Zero	Two large outdoor terraces (fourth and fifth floors) overlooking neighborhood and residential homes
Number of Stories / average height of roofline:	Four (Height at highest peak: ~ 60 feet – Benton and Monroe) Average height of the roofline (fourth floor) is ~56 feet)	Six (Height at highest peak: ~ 85 feet – Franklin and Monroe) <i>sited: June 14, 2022 architecture plans</i> Average height of the roofline (sixth floor) is ~78 feet.
Project set-back(s)	45 feet (<i>from rear-facing residential neighbors</i>)	20 feet (mixed-use project) - (<i>from rear-facing residential neighbors</i>) 10 feet (townhomes) - (<i>from rear-facing residential neighbors</i>)
Number of Parking Spaces:	<i>145 (additional 16 spaces in a tandem configuration)</i>	<i>81 parking spaces (Updated 5/25/23; reduced parking in accordance with California State Law)</i>

In conclusion, this project is excessive, and a reduction of units (and floors) would vastly improve this project’s impact on the community. As it stands now, this project does not maintain livability for adjacent neighbors; some of the physical impacts include, increased parking issues, increased traffic, increased noise levels, loss of privacy, visual qualities, etc. If the proposed project is built (as it is being proposed today), it will undermine the historical landscape and fabric of The Old Quad. Let’s not repeat the mistakes of urban renewal that was done to our downtown in the 1960’s.

Thank you for your time and attention to this matter.

Sincerely,

Lucy Haro

945 Madison Street

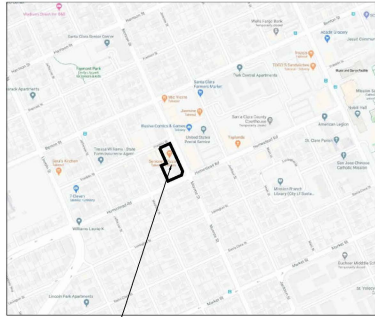
SITE DEVELOPMENT PERMIT FOR 906, 930, 940, 950 MONROE STREET & 1341 HOMESTEAD RD. SANTA CLARA, CA 95050

DESIGN PROFESSIONALS:

ARCHITECT:
SALVATORE CARUSO DESIGN CORPORATION
9600 CENTRAL EXP., SUITE 200
SANTA CLARA, CA 95050
PHONE: (415) 966-0677
FAX: (415) 966-0678

CIVIL ENGINEER:
S&S ENGINEERS
255 SHORELINE DRIVE, SUITE 202
REDWOOD CITY, CA 94065
PHONE: (650) 482-5300

OWNER:
UMAR PARTNERS, LLC
535 WOODFIELD ROAD, SUITE 180
MOUNTAIN VIEW, CA 94039
PHONE: (650) 308-4195



PROPOSED SITE

VICINITY MAP



APPLICABLE CODES:

PART 1.0. CALIFORNIA ADMINISTRATIVE CODE
PART 2.0. 2019 CALIFORNIA BUILDING CODE (CBC)
PART 2.5. 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 3.0. 2019 CALIFORNIA ELECTRIC CODE (CEC)
PART 4.0. 2019 CALIFORNIA MECHANICAL CODE (CMC)
PART 5.0. 2019 CALIFORNIA PLUMBING CODE
PART 6.0. 2019 CALIFORNIA ENERGY CODE
PART 8.0. 2019 CALIFORNIA FIRE CODE
PART 11.0. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
FHA ACCESSIBLE GUIDELINES USING THE SAFE HARBOR AS PERMITTED PER THE 1998 FHA DESIGN MANUAL WITH ANS A117.1-1996 PER 182 AND 2010 ADA
THE APPLICABLE CODES ARE AS AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF SANTA CLARA.

AFFORDABLE HOUSING NOTE:

NEW PLANNED DEVELOPMENT IS ONLY IN LOT 1; LOT 2 AND LOT 3 WILL REMAIN AS HISTORIC SINGLE FAMILY HOMES.
TOTAL NEW RESIDENTIAL UNIT PROPOSED IS 55 CONDOMINIUM UNITS (50 CONDOMINIUM + 4 TOWN HOUSES) AND ONE PRESTANDING HOME AT 1341 HOMESTEAD RD.
NUMBERS OF AFFORDABLE HOUSING UNITS WILL BE 55 x 0.15 = 8.25 UNITS
PROVIDES: 1 TOWNHOME AFFORDABLE UNIT
7 CONDOMINIUM UNITS IN MAIN BUILDING

SHEET INDEX

ARCHITECTURAL

- A0.1 COVER SHEET
- A0.2 RENDERING
- A0.3 RENDERING
- A0.4 RENDERING
- A0.5 RENDERING
- A0.6 RENDERING
- A1.0 EXISTING SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED BASEMENT PLAN
- A2.2 PROPOSED 1ST FLOOR PLAN
- A2.3 PROPOSED 2ND FLOOR PLAN
- A2.4 PROPOSED 3RD FLOOR PLAN
- A2.5 PROPOSED 4TH FLOOR PLAN
- A2.6 PROPOSED 5TH FLOOR PLAN
- A2.7 PROPOSED 6TH FLOOR PLAN
- A2.8 PROPOSED ROOF PLAN
- A3.0 PROPOSED ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A3.1a PROPOSED ELEVATIONS - TOWNHOMES
- A3.1b EXISTING & PROPOSED ELEVATIONS - HISTORIC HOMES
- A3.2 SECTIONS
- A3.3 MATERIAL BOARD (FOR REFERENCE)

CIVIL

- C1.0 EXISTING SITE CONDITION
- C2.0 PRELIMINARY SITE PLAN
- C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.0 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN
- C5.1 STORMWATER CONTROL DETAILS
- C6.0 BEST MANAGEMENT PRACTICES
- C7.0 FIRE GOVERNMENT WATER SUPPLY AND ACCESS PLAN
- DMO UTILITIES

VESTING TENTATIVE MAP

- TM-1 TITLE SHEET
- TM-2 SITE PLAN/MAP SHEET

LANDSCAPE

- L1.1 PLANTING PLAN
- L1.2 PLANTING PLAN
- L1.3 ARBORIST NOTES & WIRE WALL TRELLIS
- L1.4 ARBORIST NOTES

PHOTOMETRIC

- P1 FIRST FLOOR EXTERIOR LIGHTING PLAN
 - P2 4TH FLOOR EXTERIOR LIGHTING PLAN
 - P3 5TH FLOOR EXTERIOR LIGHTING PLAN
- TRASH MANAGEMENT**
- TR0.1 SITE PLAN - LEVEL 1
 - TR0.2 SITE PLAN - LEVEL 2
 - TR0.3 STAGING DETAILS - RESIDENTIAL AND COMMERCIAL
 - TR1.0 RESIDENTIAL TRASH ROOM PLAN
 - TR1.1 RETAIL TRASH COLLECTION ROOM
 - TR1.2 SECTIONS AT RESIDENTIAL TRASH ROOM
 - TR2.0 30" x 60" CHUTE DETAILS

PROJECT:

**SANTA CLARA
DOWNTOWN**
9600 CENTRAL EXP. #200
SANTA CLARA, CA 95050
&
1341 HOMESTEAD RD.
SANTA CLARA, CA 95050

GENERAL NOTES:

1. SEE SHEET 01 FOR A FULL SET OF ALL OTHER SHEETS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA.

PROJECT DATA	
PARCEL NUMBERS	289-20-065, 289-20-067, 289-20-088
TOTAL LOT AREA	7,872SF ± 7,822SF ± 22,886SF = 38,186SF (0.87 ACRES)
EXISTING USE	SINGLE FAMILY - RETAIL
PROPOSED USE	MIXED-USE (RETAIL AND OFFICE, RESIDENTIAL - MULTI-FAMILY)
NO. OF UNITS	LOT 1: 55 RESIDENTIAL CONDOMINIUM UNITS LOT 1: 1 CONDOMINIUM FOR ALL FLOOR COMMON AREAS LOT 1: 2 BASKETBALL PARKING GARAGE CONDOMINIUM UNITS LOT 1: 3 RETAIL CONDOMINIUM UNITS LOT 2: 1 (3) SINGLE FAMILY HOME LOT 3: 1 (3) SINGLE FAMILY HOME
NO. OF STORY	TOWNHOUSE: TWO FLOORS CONDOMINIUM: LEVELS OF BASEMENT + 8 STORES (ABOVE THE GROUND)
OCCUPANCY GROUP	R-2 (5 FLOORS OF RESIDENTIAL), A-2 (GROUND LEVEL CATERING), M (GROUND LEVEL RETAIL), S-2 (DINING), A-3 (OFFICE), B (OFFICE)
TYPE OF CONSTRUCTION	CONDOMINIUM - A FOR ELEVATOR AND GROUND LEVEL, M FOR UPPER FLOORS TOWNHOUSE: V-B
AUTOMATIC FIRE SPRINKLER	YES
CURRENT ZONING	M1 (HISTORIC COMMERCIAL), O2 (GENERAL OFFICE), CC (COMMUNITY COMMERCIAL)
GENERAL PLAN PROPOSED ZONING	PD
PROPOSED HEIGHT	23'-0" TO ROOF TOP, 84'-0" TO TOP OF ARCHITECTURAL DESIGNATION ELEMENT
PROPOSED DENSITY (DWELLING UNIT PER ACRE)	75.0/D ± 86.10/ACRE
PROPOSED FAR	TOTAL FAR IS 2.21 - COMMERCIAL FAR IS 0.1

FLOOR LEVEL	CONDOMINIUM												
	ONE BEDROOM	TWO BEDROOMS	TOTAL NO. OF UNITS	PARKING(S)	COMMUNITY ROOM	UTILITY/TRASH ROOM	LOBBY	RETAIL(SF)	SEMI ELEVATOR	GYM(SF)	TERRACE(SF)	BALCONY	GROSS AREA(SF)
BASEMENT	0	0	0	2119									2119
1ST FLOOR	0	0	0	702	871	1195	886	3874	914				7790
2ND FLOOR	4	8	12										1306
3RD FLOOR	4	8	12										1306
4TH FLOOR	3	7	10										1190
5TH FLOOR	3	5	8							651	1995	289	6735
6TH FLOOR	3	5	8							564	1682		6922
TOTAL	17	33	50								1770	61679	

Note: parking areas is excluded from the gross area calculation

TOWNHOMES			SINGLE FAMILY HOMES		COMMON SPACE CALCULATION	
FLOOR LEVEL	AREA CALCULATION PER FLOOR	TOTAL FLOOR AREA	FLOOR LEVEL	AREA (SF)	COMMUNITY ROOM	AREA(SF)
1ST FLOOR	RESIDENTIAL UNITS: 3,350 TOWNHOMES: 1,800	5,150	1ST FLOOR	1,801	GYM	653
2ND FLOOR	RESIDENTIAL UNITS: 3,000 TOWNHOMES: 1,560	4,560	2ND FLOOR	1,801	RECREATION	2,934
			3RD FLOOR	1,801	PRIVATE BALCONY	5,406
			4TH FLOOR	999	TOTAL	10,789
			5TH FLOOR	1,801		
			6TH FLOOR	1,801		
			TOTAL	10,789		
			TOTAL RESIDENTIAL AREA	6,710		
			TOTAL PRIVATE BALCONY AREA	627		

PARKING ANALYSIS				NOTE
	REQUIRED	PROVIDED		
RESIDENTIAL				
TOWNHOME	NOT REGULATED PER AB 2097	0	69	69 PROVIDED ON GROUND FLOOR. TOTAL AREAS PROVIDED FOR THE 80 SPACES ARE ALLOCATED FOR SOLID PARKING.
CONDOMINIUM	NOT REGULATED PER AB 2097	0		
TOTAL FOR RESIDENTIAL			69	
VAN ACCESSIBLE	3	1		PROVIDED ON GROUND FLOOR AS PART OF RESIDENTIAL ACCESSIBLE
REQUIRED LEVEL 2 EV CHARGING (TOTAL SPACES)	1 FOR EACH FIRST 20 UNITS	20	20	
	1 FOR EVERY 30 UNITS	2	2	
	1 LOW VOLTAGE LEVEL 2 FOR 25% OF 30 UNITS	27	27	PROVIDED BY AUTOMATIC PARKING SYSTEM IN BASEMENT
TOTAL NUMBER OF LEVEL 2 EV READY		29	29	
W/ AN ELECTRICAL LOW VOLTAGE LEVEL 2 EV READY		17	17	
SINGLE FAMILY HOME				
RESIDENTIAL ST	NOT REGULATED PER AB 2097	0	2	2 CAR GARAGE ON GROUND
865 MONROE ST	NOT REGULATED PER AB 2097	0	3	1-CAR GARAGE ON GROUND
REQUIRED BIKE PARKING				
REQUIRED CLASS 1 PER CITY ACCESS PLAN	54	54		PROVIDED BY BANQUET WITH 150V OUTLETS
REQUIRED CLASS 2 PER CITY COMMENTS	6	6		PROVIDED ON GROUND FLOOR
TOTAL				
COMMERCIAL				
TOTAL COMMERCIAL PARKING PROVIDED	NOT REGULATED PER AB 2097	0	9	5 PROVIDED ON GROUND FLOOR, 4 IN BASEMENT
VAN ACCESSIBLE	1	1		PROVIDED ON GROUND FLOOR
CLEAR AIR VEHICLES	1	1		PROVIDED ON GROUND FLOOR
VAN AC BIKES	1	1		PROVIDED ON GROUND FLOOR
REQUIRED CLASS 1 PER CITY COMMENTS	4	2		ON GROUND FLOOR NEXT TO PARKING
REQUIRED CLASS 2 PER CITY COMMENTS	4	4		PROVIDED ON GROUND FLOOR
COMBINED TOTAL AUTOMOBILE PARKING SPACES			81	
COMBINED TOTAL BIKE PARKING SPACES			66	
NOTES:				
1. 10% OF THE AUTOMOBILE PARKING SPACES 50% OF THE BIKE PARKING SPOTS ARE BY READY.				
2. ELECTRIC BIKE CHARGING IS AVAILABLE IN THE BASEMENT BIKE PARKING AREA WHICH CONTAINS 20 BIKES.				
3. ELECTRIC BIKE CHARGING WILL ALSO BE AVAILABLE AT BOTH THE CLASS 1 AND CLASS 2 BIKE PARKING AREA ON THE GROUND FLOOR FOR AN ADDITIONAL 12 BIKE PARKING SPACES.				



SHEET NAME:

COVER SHEET

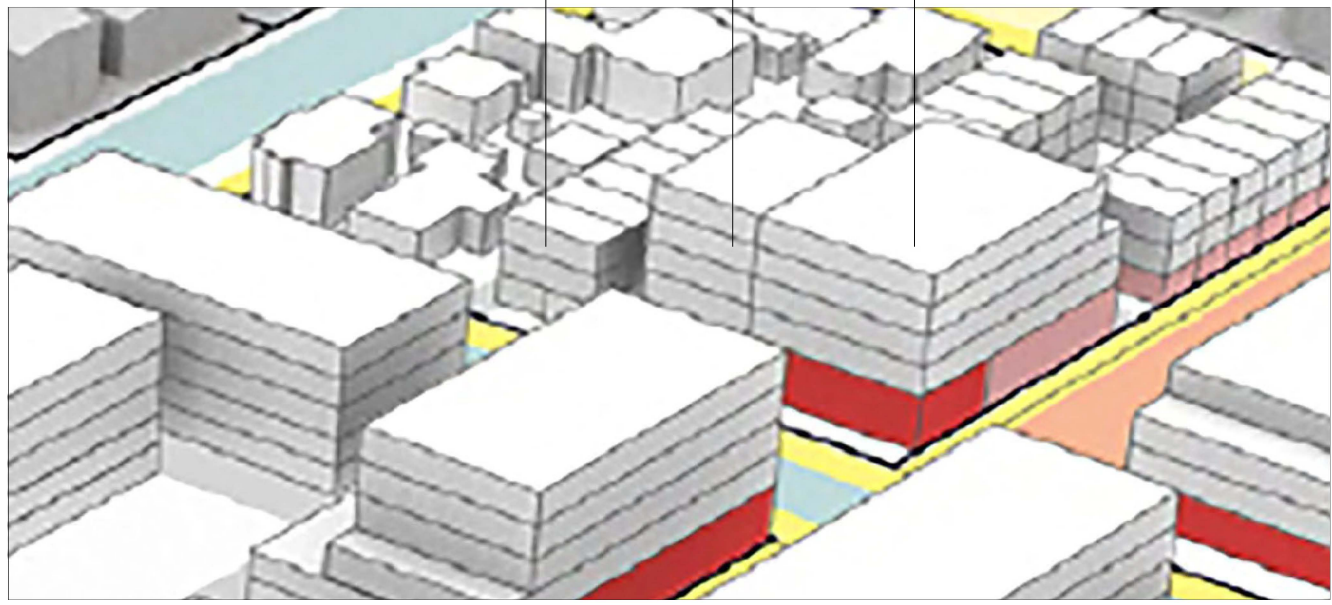
REVISIONS	BY

DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB No.: 18-10-07
SHEET No.:



VIEW FROM MONROE ST

3 STORY 4 STORY 6 STORY
 3 STORY 6 STORY 6 STORY



URBAN FORM FRAMEWORK
 AS SHOWN ON PAGE 45 OF THE SANTA CLARA DOWNTOWN
 PRECISE PLAN – EARLY 2022

PROJECT :

**SANTA CLARA
 DOWNTOWN**
 963/963/963 MONROE ST
 SANTA CLARA, CA 95050
 1541 BRIMFIELD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

1. THIS SHEET IS PART OF A SET OF ARCHITECTURAL DRAWINGS.
2. THE SHEET IS NOT TO BE USED IN ISOLATION.
3. THIS SHEET IS NOT TO BE USED IN ISOLATION.
4. THIS SHEET IS NOT TO BE USED IN ISOLATION.
5. THIS SHEET IS NOT TO BE USED IN ISOLATION.

SHEET NAME :

RENDERING

REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE:
 SCALE: 1/16"=1'-0"
 JOB No.: 18-10-07
 SHEET No.:



VIEW FROM MONROE ST



INDOOR OUTDOOR CONNECTIONS
 AS SHOWN ON PAGE 85 OF THE SANTA CLARA
 DOWNTOWN PRECISE PLAN



INDOOR OUTDOOR CONNECTIONS
 WITH SIDEWALK AND PARK STRIP PER SANTA CLARA
 DOWNTOWN PRECISE PLAN

PROJECT :

**SANTA CLARA
 DOWNTOWN**
 96,000/40,000 SQ. FT. MIXED USE
 SANTA CLARA, CA 95050
 &
 1241 BRIDGESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

1. THE SHEET IS PART OF A SET AND MUST BE USED AS SUCH.
2. THIS SHEET IS NOT FOR CONSTRUCTION AND NOT TO BE USED AS SUCH.
3. THIS SHEET IS NOT TO BE USED AS A BASIS FOR ANY OTHER PROJECTS.
4. THIS SHEET IS NOT TO BE USED AS A BASIS FOR ANY OTHER PROJECTS.
5. THIS SHEET IS NOT TO BE USED AS A BASIS FOR ANY OTHER PROJECTS.
6. THIS SHEET IS NOT TO BE USED AS A BASIS FOR ANY OTHER PROJECTS.

SHEET NAME :

RENDERING

REVISIONS	BY

DESIGNED:	
CHECKED:	05/17/2023
DATE:	1/16"-1/1"-0"
SCALE:	18.10.07
JOB No.:	
SHEET No.:	

PROJECT :

**SANTA CLARA
 DOWNTOWN**
WASHINGTON MONROE ST
 SANTA CLARA, CA 95050
 1541 BIRMINGHAM RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
2. THIS SHEET IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT OR DESIGNER.
3. APPROVED BY ARCHITECT: SALVATORE CARUSO



VIEW FROM MONROE ST

SHEET NAME :

RENDERING

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	05/17/2023
SCALE:	1/16"=1'-0"
JOB No.:	19-10-07
SHEET No.:	

PROJECT :

SANTA CLARA
DOWNTOWN
1500 CALIFORNIA AVENUE ST
 SANTA CLARA, CA 95050
 1501 BIRMINGHAM RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
2. THIS SHEET IS NOT FOR CONSTRUCTION AND THE ARCHITECT'S FIRM IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION ON THIS SHEET.
3. THIS SHEET IS NOT FOR CONSTRUCTION AND THE ARCHITECT'S FIRM IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION ON THIS SHEET.
4. APPROVED BY ARCHITECT: SALVATORE CARUSO



VIEW FROM MONROE ST

SHEET NAME :

RENDERING

REVISIONS	BY

DRAWN: _____
 CHECKED: _____
 DATE: 05/17/2023
 SCALE: 1/16"=1'-0"
 JOB No.: 19.10.07
 SHEET No.:



VIEW FROM HOMESTEAD RD

PROJECT :

**SANTA CLARA
 DOWNTOWN**
 963/963/500 MONROE ST
 SANTA CLARA, CA 95050
 &
 1541 HOMESTEAD RD,
 SANTA CLARA, CA 95050

GENERAL NOTES :

- 1. THE CLIENT IS OWNER OF A LOT AS SHOWN IN THE CITY RECORDS.
- 2. THIS ARCHITECTURAL RENDERING IS NOT TO BE USED AS A BASIS FOR CONSTRUCTION.
- 3. THIS ARCHITECTURAL RENDERING IS NOT TO BE USED AS A BASIS FOR OBTAINING PERMITS.
- 4. THIS ARCHITECTURAL RENDERING IS NOT TO BE USED AS A BASIS FOR OBTAINING FINANCING.
- 5. APPROVED BY ARCHITECT NUMBER 10000 0000

SHEET NAME :

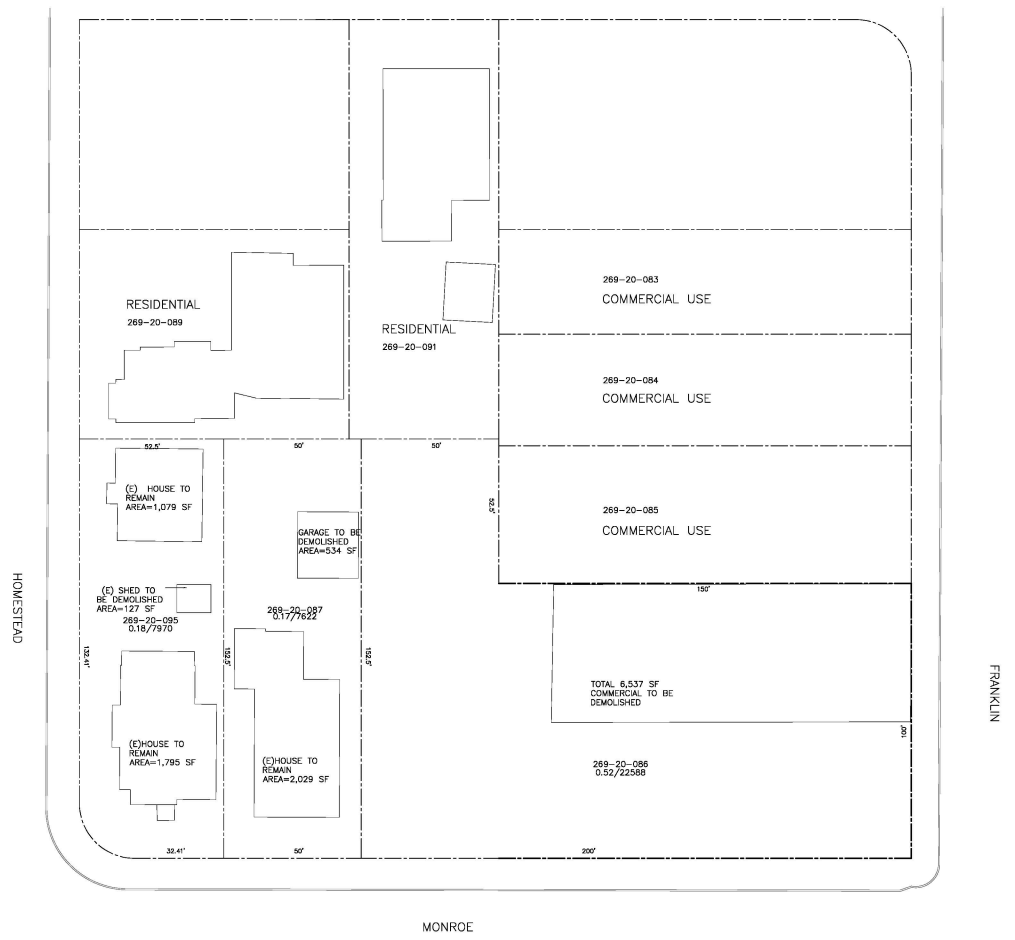
RENDERING

REVISIONS	BY

DRAWN:
CHECKED: 05/17/2023
DATE:
SCALE: 1/16"=1'-0"
JOB No.: 18-10-07
SHEET No.:

PROJECT:
**SANTA CLARA
 DOWNTOWN**
 960,000,000 MONROE ST
 SANTA CLARA, CA 95050
 1541 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES:
 1. THE SHEET IS PART OF A SET AND NOT TO BE USED IN ISOLATION.
 2. THE SHEET IS NOT FOR CONSTRUCTION AND NOT FOR RECORD DRAWING.
 3. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.
 4. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.
 5. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.
 6. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.
 7. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.
 8. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.
 9. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.
 10. THIS DRAWING IS NOT FOR RECORD AND NOT FOR CONSTRUCTION.

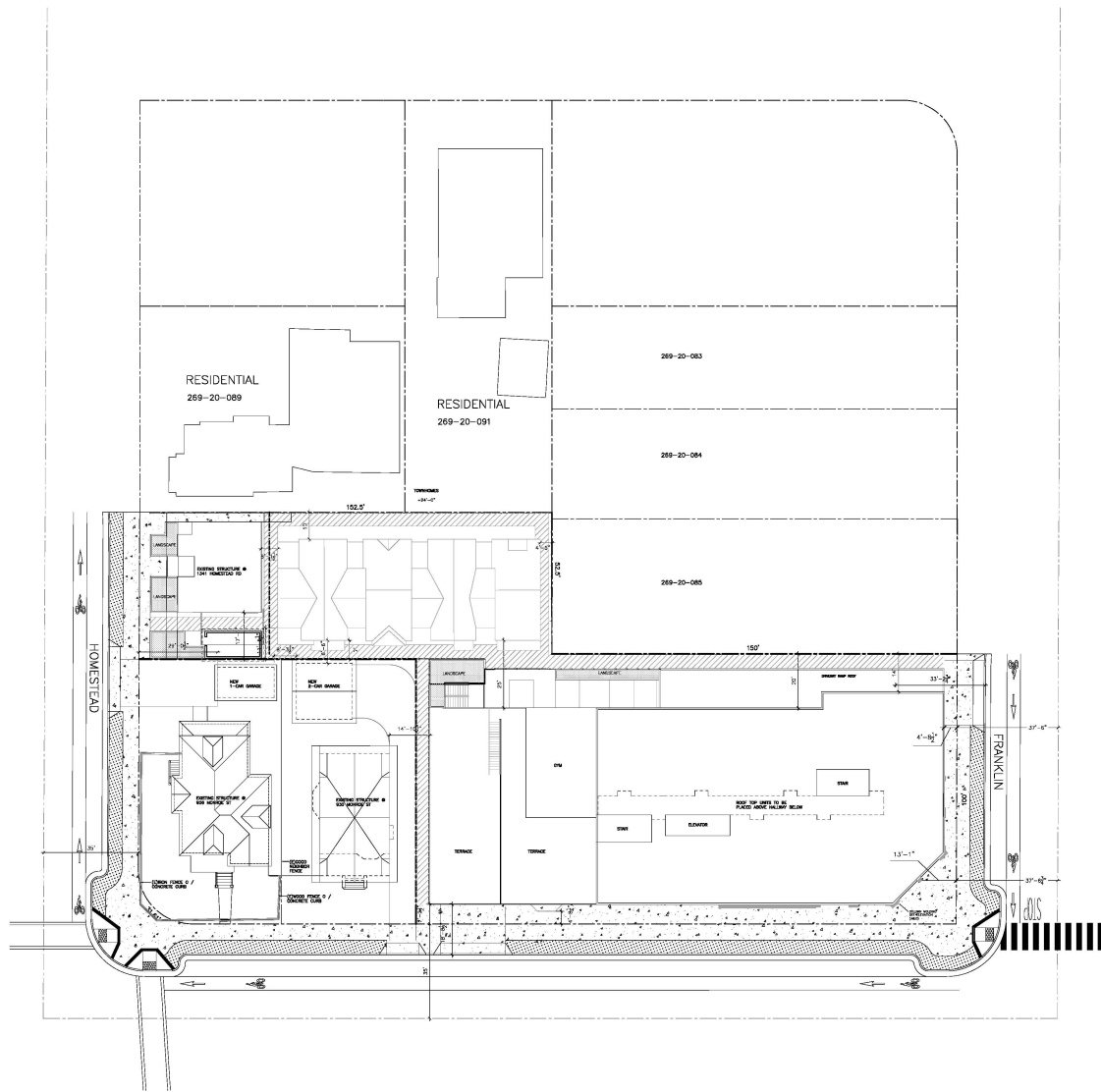


① EXISTING SITE PLAN SCALE: 1/16"=1'-0"

SHEET NAME:
 EXISTING
 SITE PLAN

REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2003
 DATE: 1/16"=1'-0"
 SCALE:
 JOB No.: 18.10.07
 SHEET No.:



1 PROPOSED SITE PLAN SCALE: 1/16"=1'-0"

PROJECT :

**SANTA CLARA
 DOWNTOWN**
 960,000,000,000,000 ST
 SANTA CLARA, CA 95050
 1541 BIRMINGHAM RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :

1. THE SHEET IS PART OF A SET AND IS NOT TO BE USED IN ISOLATION.
2. THE SHEET IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA OR INFORMATION PROVIDED BY OTHER SOURCES.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA OR INFORMATION PROVIDED BY OTHER SOURCES.

SHEET NAME :

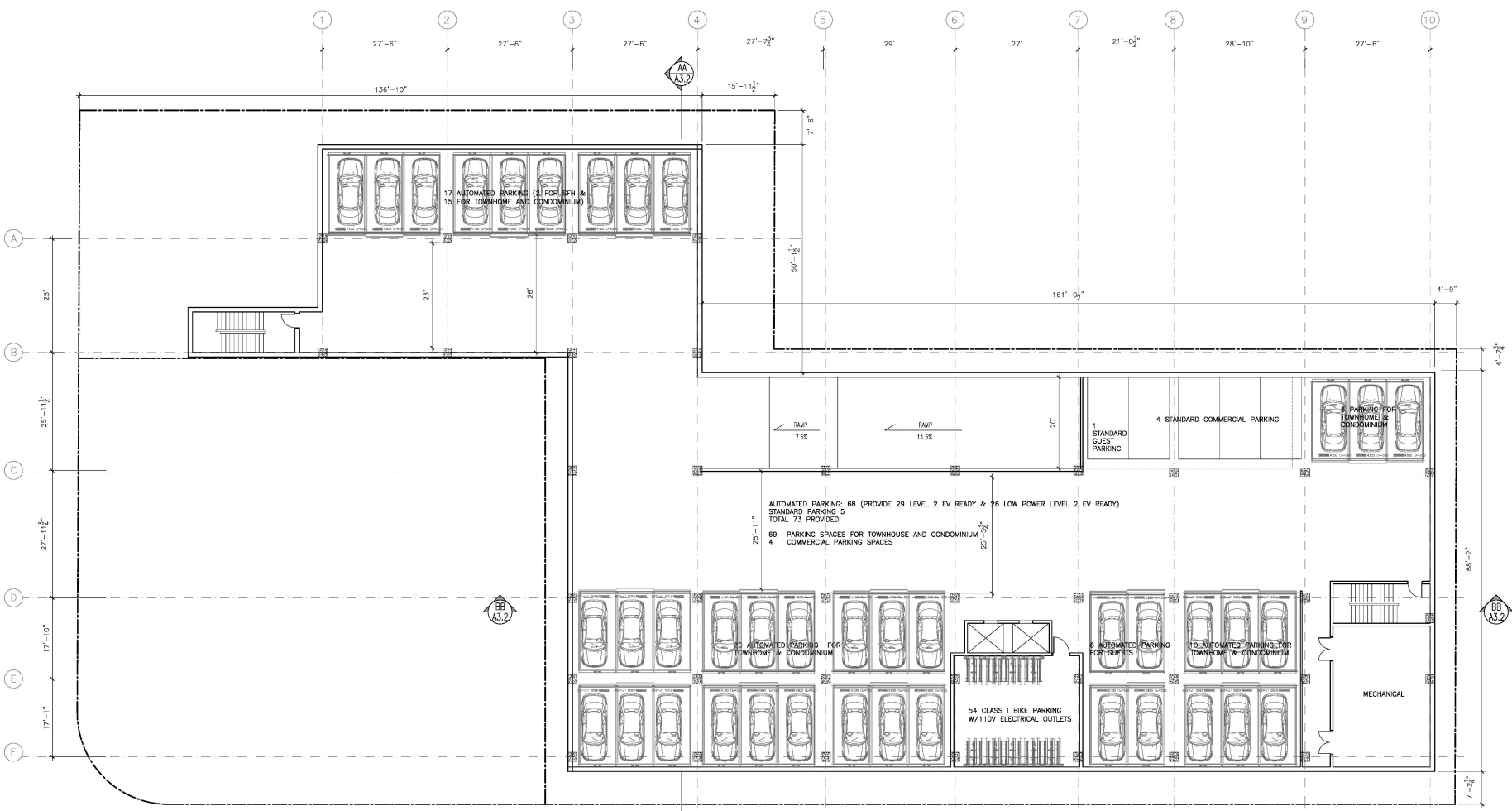
PROPOSED
 SITE PLAN

REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE: 1/16"=1'-0"
 SCALE: 18.10.07
 JOB No.:
 SHEET No.:

PROJECT :
SANTA CLARA
DOWNTOWN
 960 CALIFORNIA MONUMENT ST
 SANTA CLARA, CA 95050
 15th FLOOR
 SANTA CLARA, CA 95050

GENERAL NOTES :
 1. THE SHEET IS PART OF A SET OF 48 SHEETS IN THIS WORK.
 2. THE SHEET IS NOT TO BE CONSIDERED VALID UNLESS THE PROJECT IS UNDER THE CONTROL OF THE ARCHITECT.
 3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.
 4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.
 5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.



17 AUTOMATED PARKING SPACES FOR TOWNHOME & CONDOMINIUM
 4 STANDARD COMMERCIAL PARKING
 1 STANDARD GUEST PARKING
 69 AUTOMATED PARKING SPACES FOR TOWNHOME & CONDOMINIUM
 54 CLASS 1 BIKE PARKING W/110V ELECTRICAL OUTLETS
 MECHANICAL

PARKING ANALYSIS			
	REQUIRED	PROVIDED	NOTE
RESIDENTIAL			
TOWNHOME	NOT REQUIRED PER AB 2097	0	07 PROVIDED IN BASEMENT 7 THE PROVISION ON GROUND FLOOR TOTAL 68 PROVIDED 7 OF THE RESERVES ARE ALLOCATED FOR GUEST PARKING
CONDOMINIUM	NOT REQUIRED PER AB 2097	0	
1841 HOME/STAFF USE	NOT REQUIRED PER AB 2097	0	
TOTAL FOR RESIDENTIAL		69	
VAN ACCESSIBLE	1	1	PROVIDED ON GROUND FLOOR AS PART OF RESIDENTIAL RESERVES
ALTERNATIVE	1	1	
REQUIRED LEVEL 2 EV READY (TOTAL 35 UNITS)	1 FOR EACH FIRST 20 UNITS	20	20
	1 FOR 20% OF UNITS	9	9
TOTAL NUMBER OF LEVEL 2 EV READY	1 LOW POWER LEVEL 1 EV FOR 20% OF UNITS	27	27
TOTAL NUMBER OF LOW POWER LEVEL 2 EV READY		20	20
		27	27
SINGLE FAMILY HOUSE			
ON-ROADSIDE USE	NOT REQUIRED PER AB 2097	0	2-CAR GARAGE ON GROUND
ON-ROADSIDE USE	NOT REQUIRED PER AB 2097	0	1-CAR GARAGE ON GROUND
REQUIRED BIKE PARKING			
REQUIRED CLASS 1 PER CITY COMMENTS	54	54	PROVIDED IN BASEMENT WITH 110V OUTLETS
REQUIRED CLASS 2 PER CITY COMMENTS	0	0	PROVIDED ON GROUND FLOOR
COMMERCIAL			
TOTAL COMMERCIAL PARKING PROVIDED	NOT REQUIRED PER AB 2097	0	0
VAN ACCESSIBLE	1	1	PROVIDED ON GROUND FLOOR, 4 IN BASEMENT
CLEANABLE TRUCKS	1	1	PROVIDED ON GROUND FLOOR
VAN HOV 3+	1	1	PROVIDED ON GROUND FLOOR
REQUIRED BIKE PARKING			
REQUIRED CLASS 1 PER CITY COMMENTS	1	2	ON GROUND FLOOR NEXT TO PARKING
REQUIRED CLASS 2 PER CITY COMMENTS	0	0	PROVIDED ON GROUND FLOOR
COMMITTED TOTAL AUTOMOBILE PARKING SPACES		69	
COMMITTED TOTAL BIKE PARKING SPACES		54	
NOTES			
1. 1 OF THE AUTOMOBILE PARKING SPACES IS OF THE BIKE PARKING SPOTS ARE EV READY.			
2. ELECTRIC BIKE CHARGING IS AVAILABLE IN THE BASEMENT BY CYCLE PARKING AREA WHICH CONTAINS 54 BIKE.			
3. ELECTRIC BIKE CHARGING WILL ALSO BE AVAILABLE AT BOTH THE CLASS 1 AND CLASS 2 BIKE PARKING AREA ON THE GROUND FLOOR FOR AN ADDITIONAL 12 BIKE PARKING SPACES.			

1 PROPOSED BASEMENT PLAN SCALE: 1/8"=1'-0"

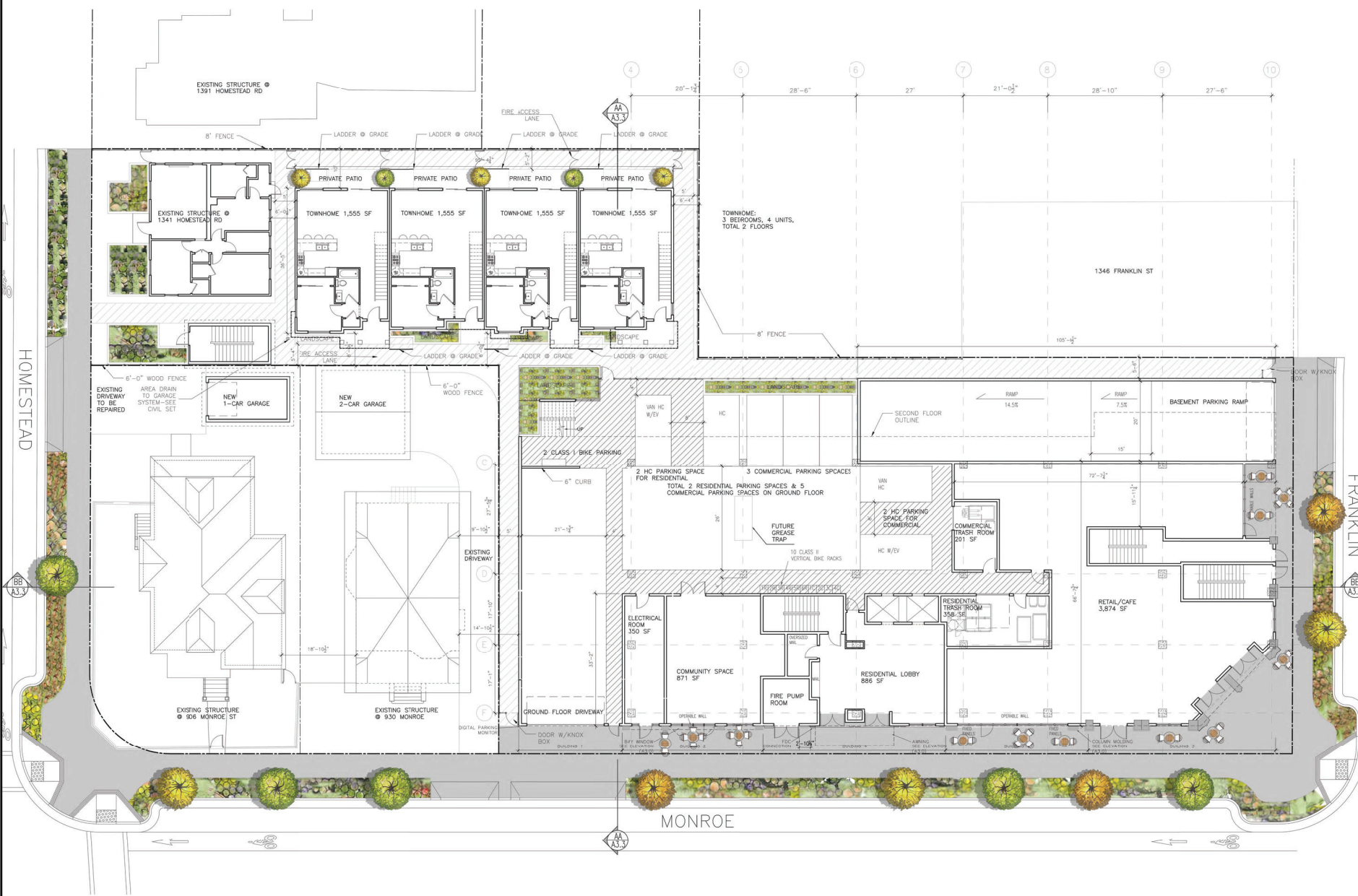
PROPOSED BASEMENT PLAN

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB No.: 18.10.07
SHEET No.:

PROJECT :
SANTA CLARA
DOWNTOWN
 1346 FRANKLIN MONROE ST
 SANTA CLARA, CA 95050
 1341 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
 1. THIS SHEET IS PART OF A SET & IS NOT TO BE USED ALONE.
 2. THE SHEET IS NOT FOR CONSTRUCTION UNLESS THE ARCHITECT'S DRAWING IS A PART OF THE SET.
 3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA OR THE RESULTS OF THE DATA OBTAINED BY THE USER OF THIS SHEET.
 4. CONSULT ALL APPLICABLE CODES AND ORDINANCES.

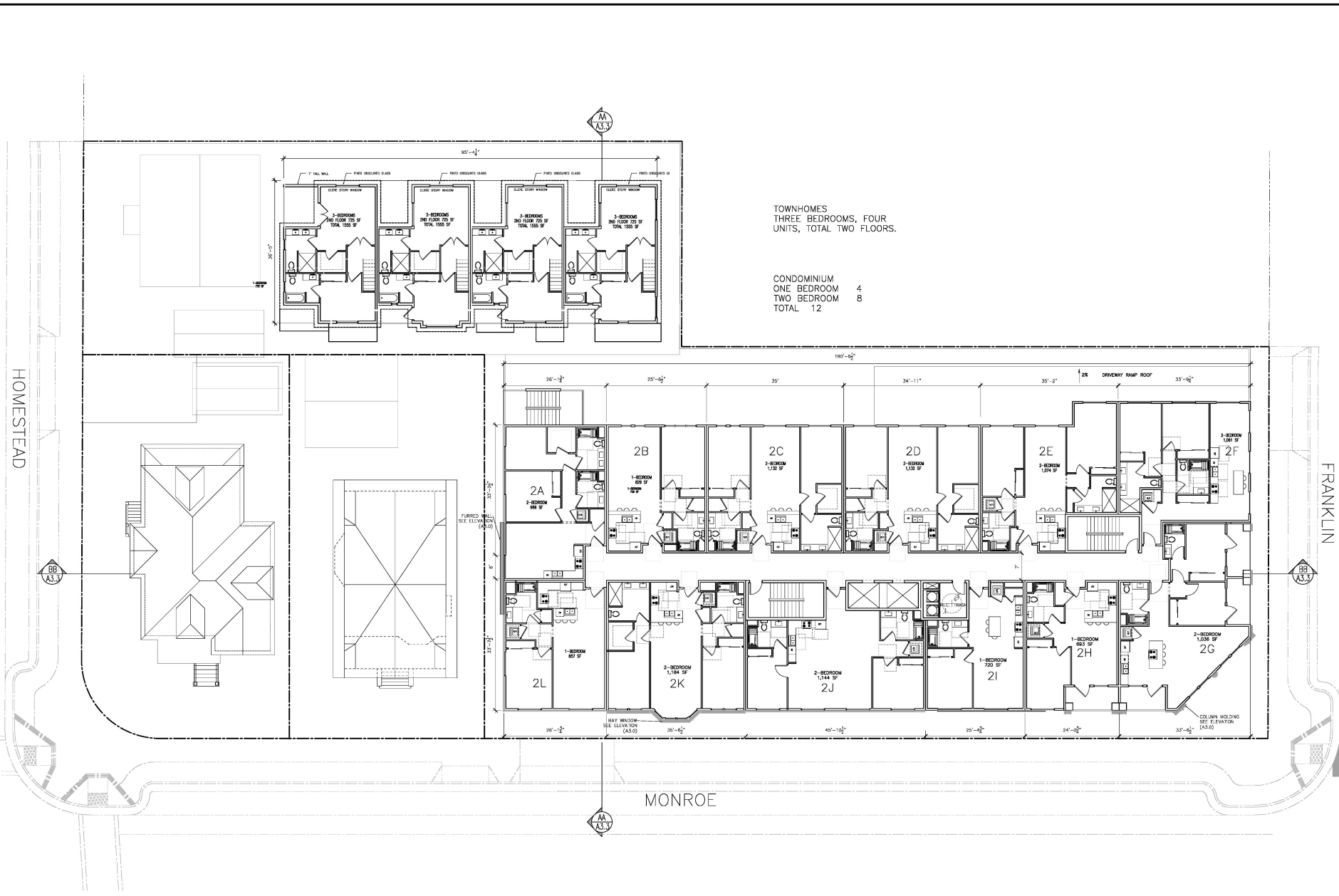


1 PROPOSED 1ST FLOOR PLAN SCALE : 1/8"=1'-0"

SHEET NAME :
PROPOSED
1ST FLOOR PLAN

REVISIONS	BY

DRAWN:
CHECKED: 05/17/2023
DATE: 1/20"=1'-0"
SCALE: 18.10.07
JOB No.:
SHEET No.:



TOWNHOMES
 THREE BEDROOMS, FOUR
 UNITS, TOTAL TWO FLOORS.

CONDOMINIUM
 ONE BEDROOM 4
 TWO BEDROOM 8
 TOTAL 12

PROJECT:
**SANTA CLARA
 DOWNTOWN**
 9816 CAMINO REAL, MONROE ST
 SANTA CLARA, CA 95050
 &
 1241 HOMESTEAD RD,
 SANTA CLARA, CA 95050

GENERAL NOTES:
 1. SEE SHEET 01 FOR ALL NOTES.
 2. THIS PLAN IS PART OF A SET OF ARCHITECTURAL DRAWINGS.
 3. THIS PLAN IS NOT TO BE USED IN ISOLATION FROM THE OTHER DRAWINGS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOTICES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS.

1 PROPOSED 2ND FLOOR PLAN SCALE: 1/8"=1'-0"

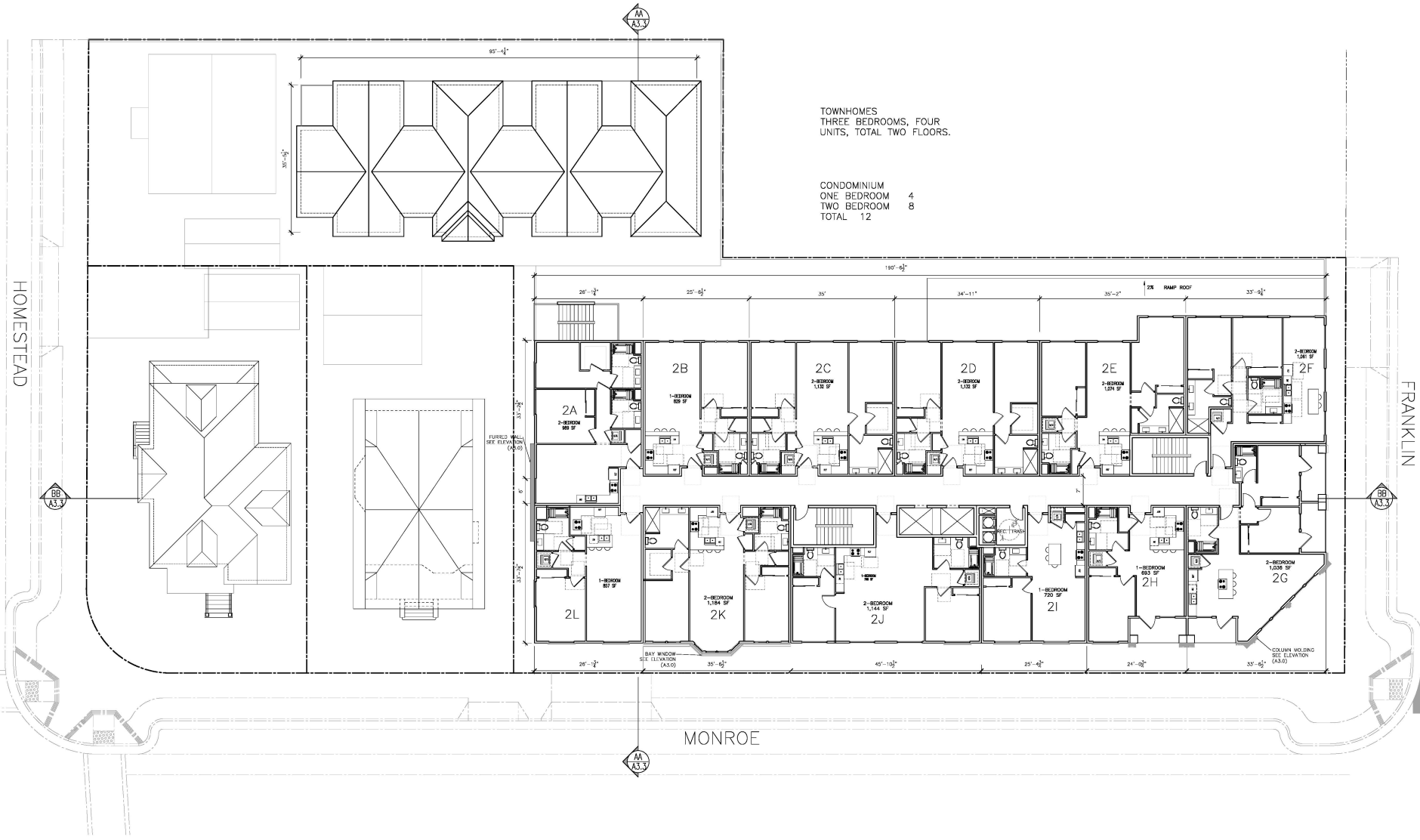
SHEET NAME:
**PROPOSED
 2ND FLOOR PLAN**

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 18.10.07
 SHEET No.:

PROJECT :
SANTA CLARA
DOWNTOWN
 960, 962, 964, 966 MONROE ST
 SANTA CLARA, CA 95050
 &
 1241 HOMESTEAD DR.
 SANTA CLARA, CA 95050

GENERAL NOTES :
 1. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 2. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 3. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 4. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 5. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 6. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 7. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 8. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 9. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.
 10. THE SHOWN UNIT IS A UNIT AS SHOWN IN THE UNIT PLAN.



TOWNHOMES
 THREE BEDROOMS, FOUR
 UNITS, TOTAL TWO FLOORS.

CONDOMINIUM
 ONE BEDROOM 4
 TWO BEDROOM 8
 TOTAL 12

1 PROPOSED 3RD FLOOR PLAN SCALE: 1/8"=1'-0"

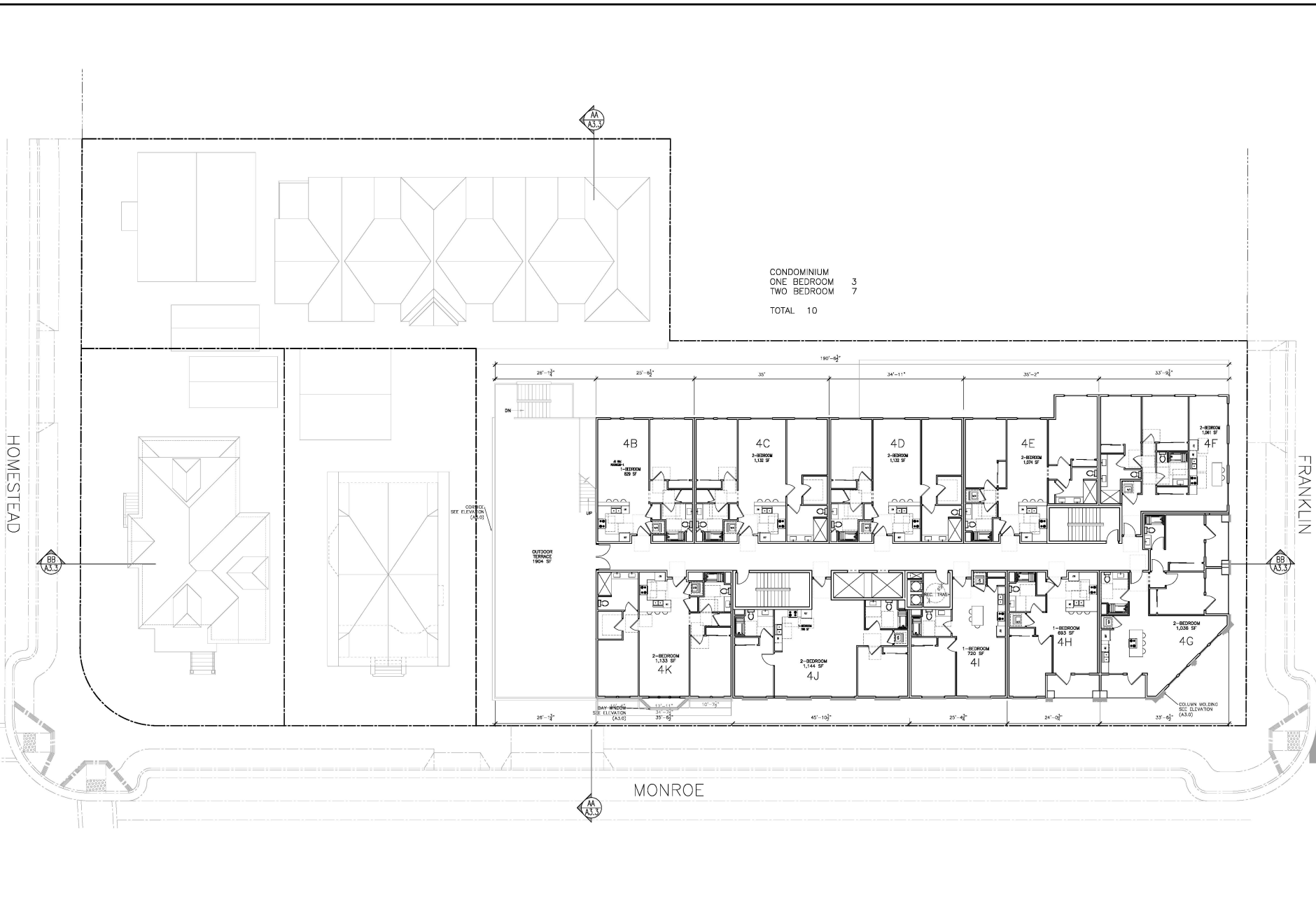
SHEET NAME :
 PROPOSED
 3RD FLOOR PLAN

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB No.: 18-10-07
SHEET No.:

PROJECT:
**SANTA CLARA
 DOWNTOWN**
 960,000,000 MONROE ST
 SANTA CLARA, CA 95050
 1241 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES:
 1. THE SHOWN UNIT IS TO BE A 40' X 40' IN SIZE UNIT.
 2. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 3. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 4. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 5. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 6. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 7. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 8. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 9. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.
 10. THE UNIT IS TO BE CONSTRUCTION WITH THE SHOWN UNIT.



CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 7
 TOTAL 10

1 PROPOSED 4TH FLOOR PLAN SCALE: 1/8"=1'-0"

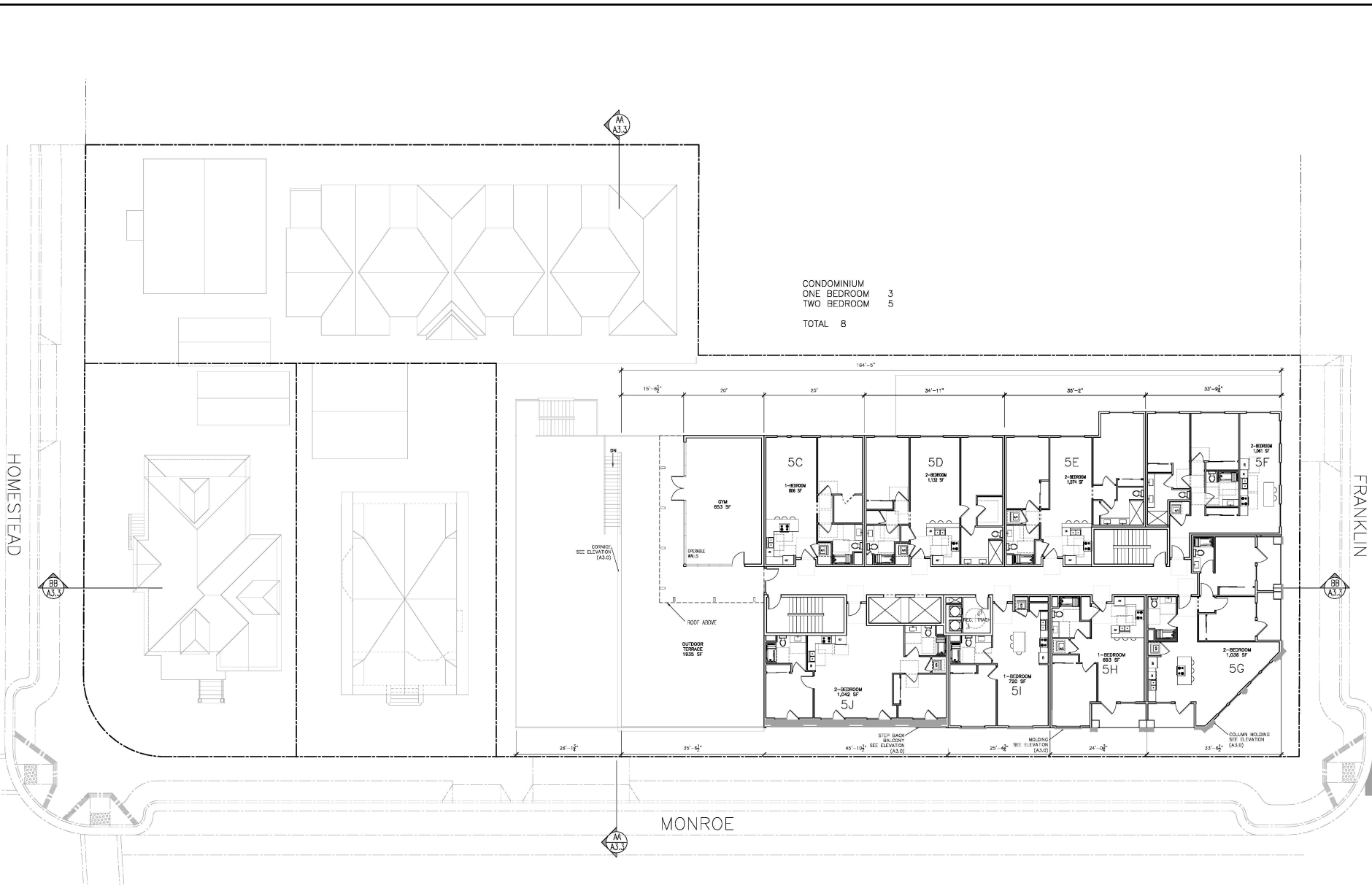
SHEET NAME:
 PROPOSED
 4TH FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 18-10-07
 SHEET No.:

PROJECT :
**SANTA CLARA
 DOWNTOWN**
 963/963/963 MONROE ST
 SANTA CLARA, CA 95050
 &
 1241 BIRMINGHAM RD.
 SANTA CLARA, CA 95050

GENERAL NOTES:
 1. THE SHEET IS PART OF A SET OF 8 SHEETS IN THIS WORK.
 2. THE SHEET IS NOT TO BE CONSIDERED VALID UNLESS THE PROJECT IS UNDER A "PENDING" OR "IN PROGRESS" STATUS.
 3. THE SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT'S OFFICE.
 4. APPROVED BY: SALVATORE CARUSO, DATE: 05/17/2023



CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 5
 TOTAL 8

1 PROPOSED 5TH FLOOR PLAN SCALE: 1/8"=1'-0"

SHEET NAME:
 PROPOSED
 5TH FLOOR PLAN

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 18.10.07
 SHEET No.:

PROJECT :
SANTA CLARA
DOWNTOWN
 9600 PACIFIC MONROUE ST
 SANTA CLARA, CA 95050
 &
 1241 HOMESTEAD DR.
 SANTA CLARA, CA 95050

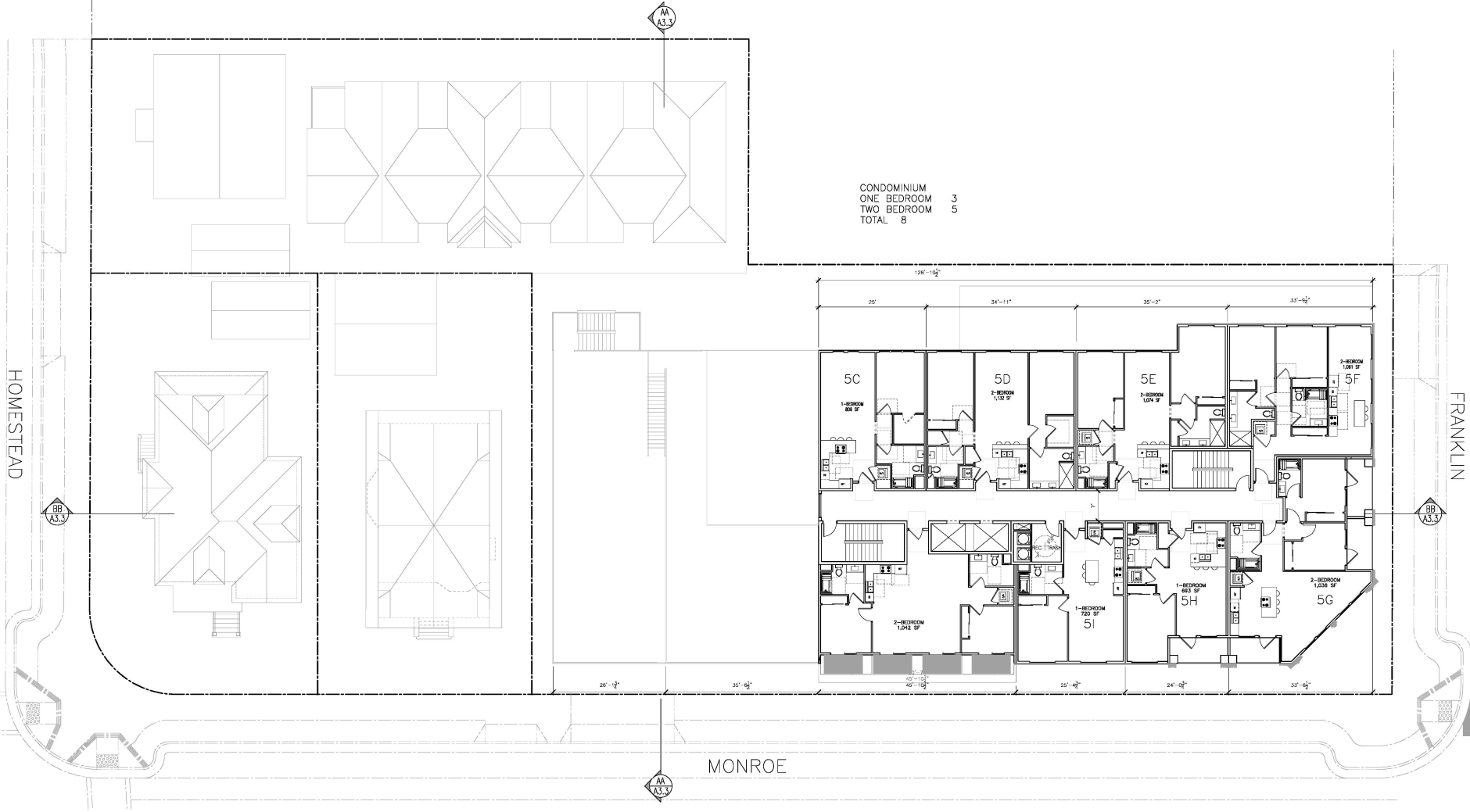
GENERAL NOTES :
 1. THE SHEET IS PART OF A SET OF 18 SHEETS IN THIS PROJECT.
 2. THE SHEET IS NOT TO BE USED FOR CONSTRUCTION UNLESS THE ARCHITECT'S SIGNATURE AND SEAL ARE ON THE SHEET.
 3. THE ARCHITECT'S SIGNATURE AND SEAL ARE REQUIRED FOR ALL SHEETS IN THIS PROJECT.
 4. THE ARCHITECT'S SIGNATURE AND SEAL ARE REQUIRED FOR ALL SHEETS IN THIS PROJECT.
 5. APPROVED BY: SALVATORE CARUSO, AIA, LEED AP

SHEET NAME :
PROPOSED
6TH FLOOR PLAN

REVISIONS	BY

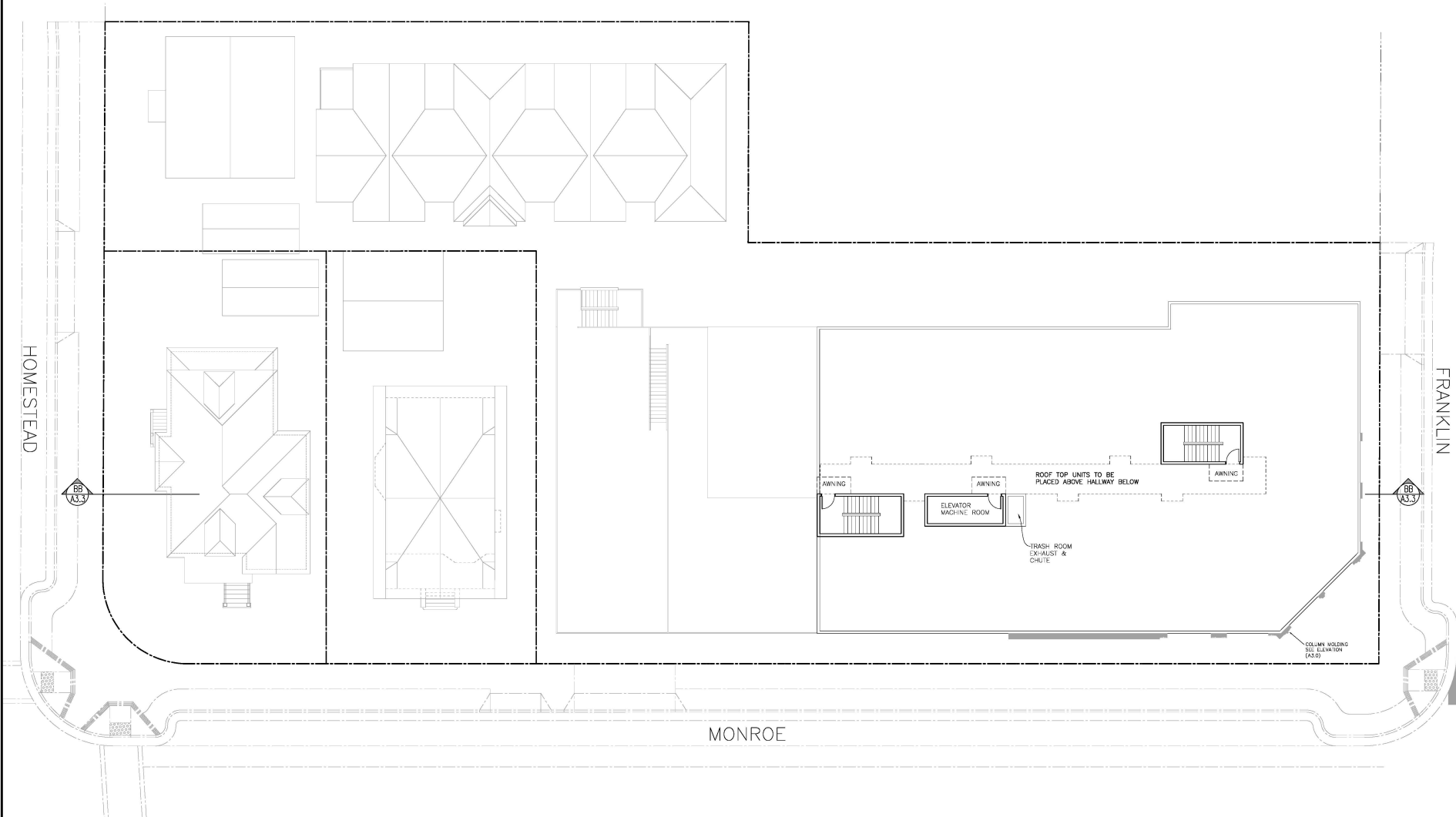
DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB No.: 18-10-07
SHEET No.:

CONDOMINIUM
 ONE BEDROOM 3
 TWO BEDROOM 5
 TOTAL 8



1 PROPOSED 6TH FLOOR PLAN SCALE: 1/8"=1'-0"

GENERAL NOTES:
 1. THE SHEET IS PART OF A SET AND MUST BE USED IN CONJUNCTION WITH THE PROJECT'S DRAWING SCHEDULE AND THE SHEET'S TITLE.
 2. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
 3. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
 4. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
 5. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.



① PROPOSED ROOF PLAN SCALE: 1/8"=1'-0"

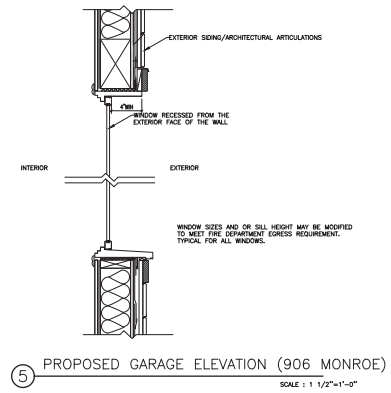
SHEET NAME:
**PROPOSED
 ROOF PLAN**

REVISIONS	BY

DRAWN:
 CHECKED: 05/17/2023
 DATE: 1/06"-1'-0"
 SCALE: 18.10.07
 SHEET No.:

PROJECT:
SANTA CLARA DOWNTOWN
WASHINGTON BOURQUE ST
 SANTA CLARA, CA 95050
 &
 1541 BIRMINGHAM DR
 SANTA CLARA, CA 95050

GENERAL NOTES:
 1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
 2. THIS SHEET IS FOR INFORMATION ONLY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.
 3. THIS SHEET IS FOR THE ARCHITECT'S USE ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 4. APPROVED BY SALVATORE CARUSO, ARCHITECT



SHEET NAME:
PROPOSED ELEVATIONS

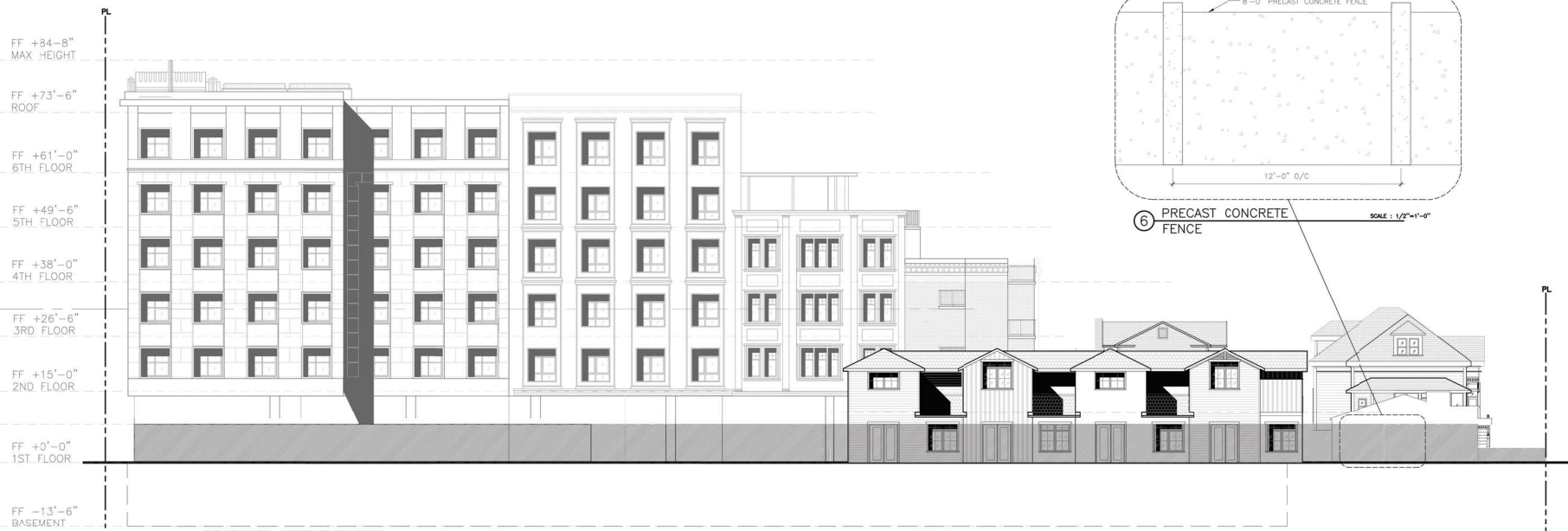
REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB NO.: 19.10.07
 SHEET NO.:

PROJECT :

**SANTA CLARA
 DOWNTOWN**
3400 BURNINGWOOD BLDG. ST
 SANTA CLARA, CA 95050
 &
 1541 HOMESTEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES :
 1. THIS SHEET IS PART OF A SET AND IS NOT TO BE USED ALONE.
 2. THE USER SHALL OBTAIN PERMISSION FROM THE ARCHITECT BEFORE MAKING ANY CHANGES TO THE SHEET.
 3. THIS SHEET IS PROVIDED FOR THE USER'S INFORMATION AND IS NOT TO BE USED FOR THE CONSTRUCTION OF THE PROJECT.
 4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
 5. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE USER'S ACTIONS OR OMISSIONS.
 6. THE USER SHALL BE RESPONSIBLE FOR THE USER'S ACTIONS OR OMISSIONS.



④ PROPOSED WEST ELEVATION SCALE : 1/8"=1'-0"



① PROPOSED SOUTH ELEVATION (HOMESTEAD) SCALE : 1/8"=1'-0"

SHEET NAME :

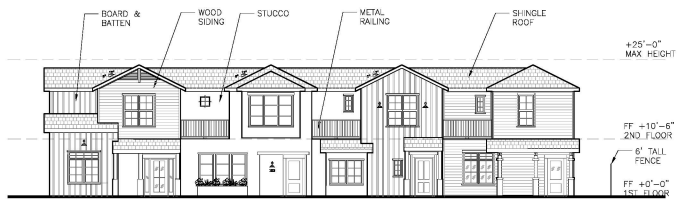
PROPOSED ELEVATIONS

REVISIONS	BY

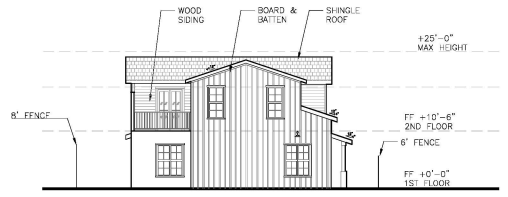
DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB NO.: 18.10.07
SHEET NO.:

PROJECT :
SANTA CLARA
DOWNTOWN
 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000
 &
 1241 BIRMINGHAM RD,
 SANTA CLARA, CA 95050

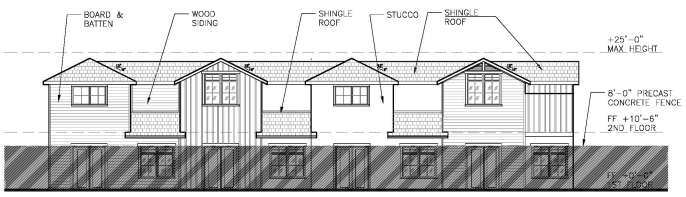
GENERAL NOTES :
 1. THE SHEET IS PART OF A SET AND IS NOT TO BE USED IN ISOLATION.
 2. THE SHEET IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 3. THIS SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 4. THE SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 5. APPROVED BY SALVATORE CARUSO, 12/22/2023



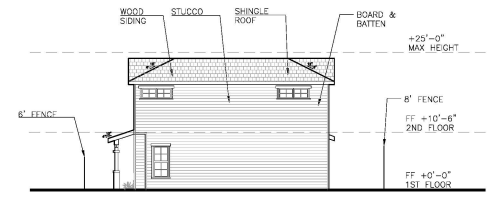
① TOWNHOMES PROPOSED EAST ELEVATION SCALE : 1/8"=1'-0"



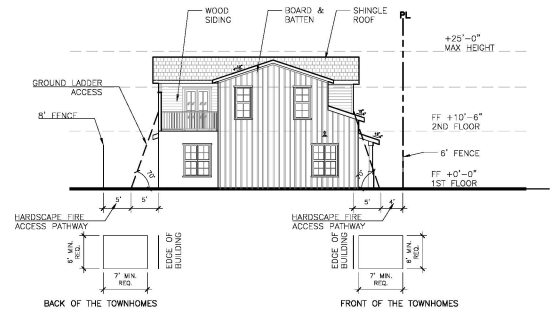
② TOWNHOMES PROPOSED SOUTH ELEVATION SCALE : 1/8"=1'-0"



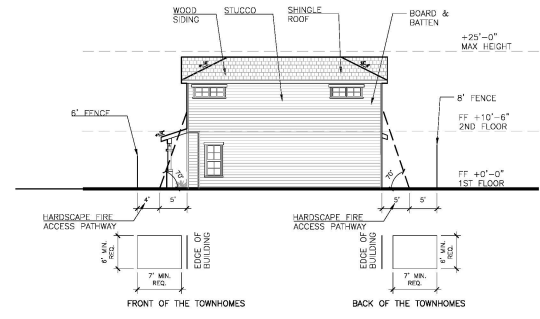
③ TOWNHOMES PROPOSED WEST ELEVATION SCALE : 1/8"=1'-0"



④ TOWNHOMES PROPOSED NORTH ELEVATION SCALE : 1/8"=1'-0"



⑤ FIRE DEPARTMENT GROUND LADDER ACCESS SCALE : 1/8"=1'-0"



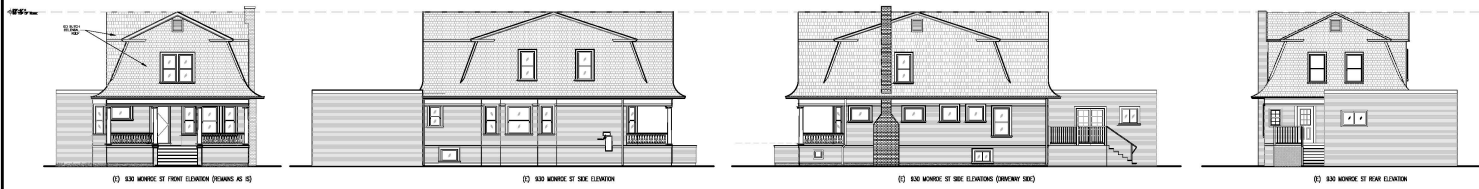
⑥ FIRE DEPARTMENT GROUND LADDER ACCESS SCALE : 1/8"=1'-0"

SHEET NAME :
PROPOSED TOWNHOME ELEVATIONS

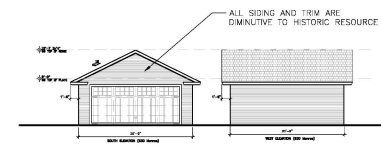
REVISIONS	BY

DRAWN:
CHECKED:
DATE: 05/17/2023
SCALE: 1/8"=1'-0"
JOB No.: 18-10-07
SHEET No.:

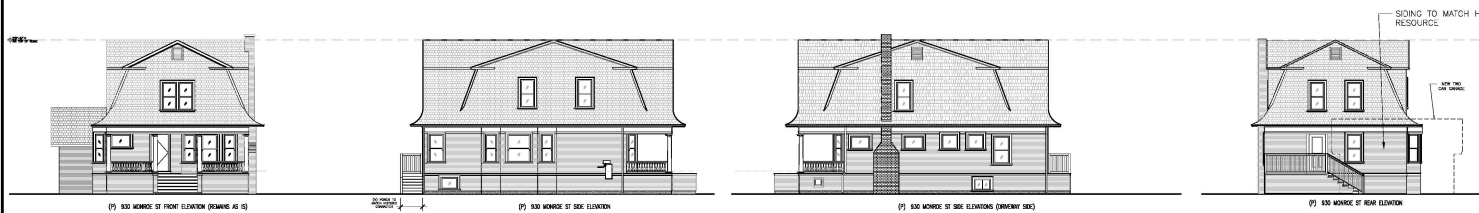
930 MONROE ST ELEVATIONS



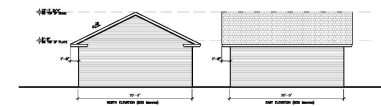
3 930 MONROE ST
 EXISTING ELEVATIONS
 SCALE: 1/8"=1'-0"



6 930 MONROE ST
 TWO CAR GARAGE ELEVATIONS
 SCALE: 1/2"=1'-0"



3 930 MONROE ST
 PROPOSED ELEVATIONS
 SCALE: 1/8"=1'-0"

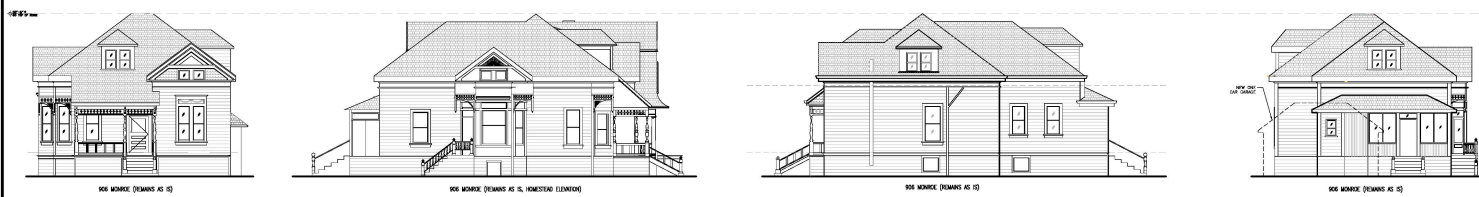


6 930 MONROE ST
 TWO CAR GARAGE ELEVATIONS
 SCALE: 1/2"=1'-0"

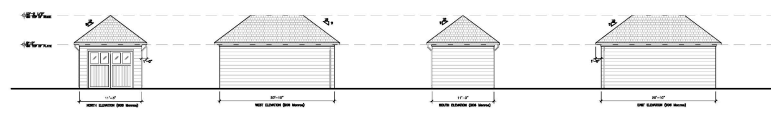
PROJECT:
**SANTA CLARA
 DOWNTOWN**
 9001 CLAYTON ROAD, #200
 SANTA CLARA, CA 95050
 &
 1541 BRIDGEHEAD RD.
 SANTA CLARA, CA 95050

GENERAL NOTES:
 1. THE SHEET IS PART OF A SET AND IS NOT TO BE USED IN ISOLATION.
 2. THE SHEET IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF SCDC.
 3. THIS SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SCDC.
 4. THE SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SCDC.
 5. APPROVED BY SALVATORE CARUSO, 03/28/2023

906 MONROE ST ELEVATIONS



3 906 MONROE ST
 EXISTING & PROPOSED ELEVATIONS
 SCALE: 1/8"=1'-0"

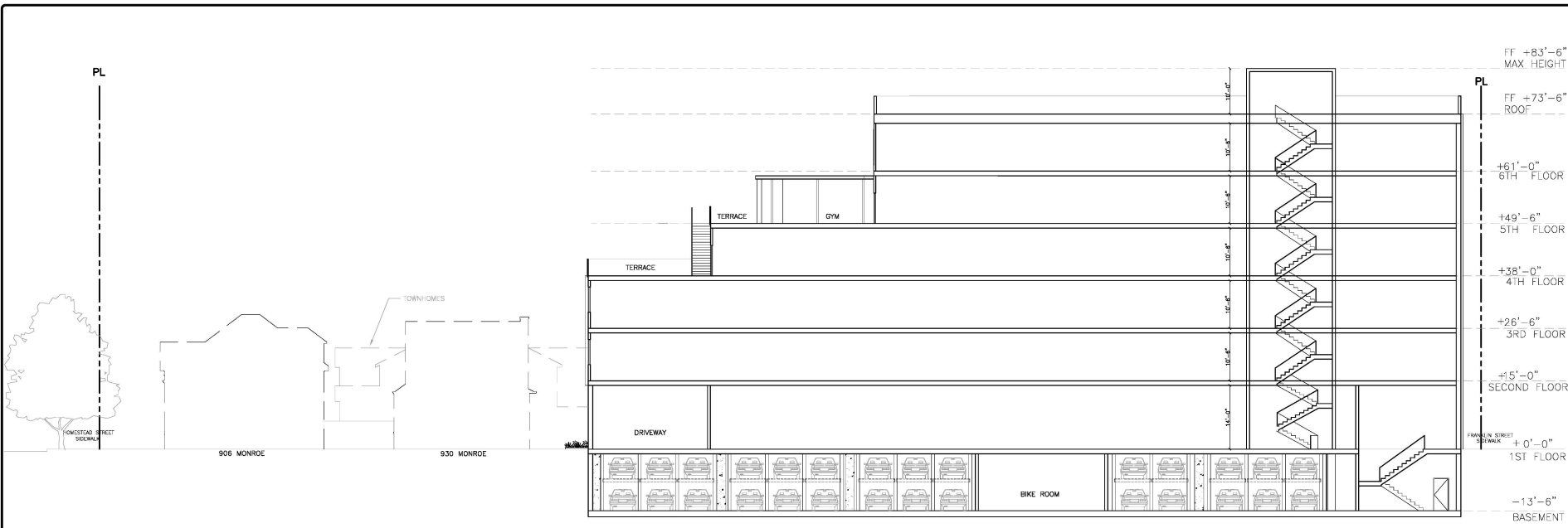


6 906 MONROE ST
 ONE CAR GARAGE ELEVATIONS
 SCALE: 1/2"=1'-0"

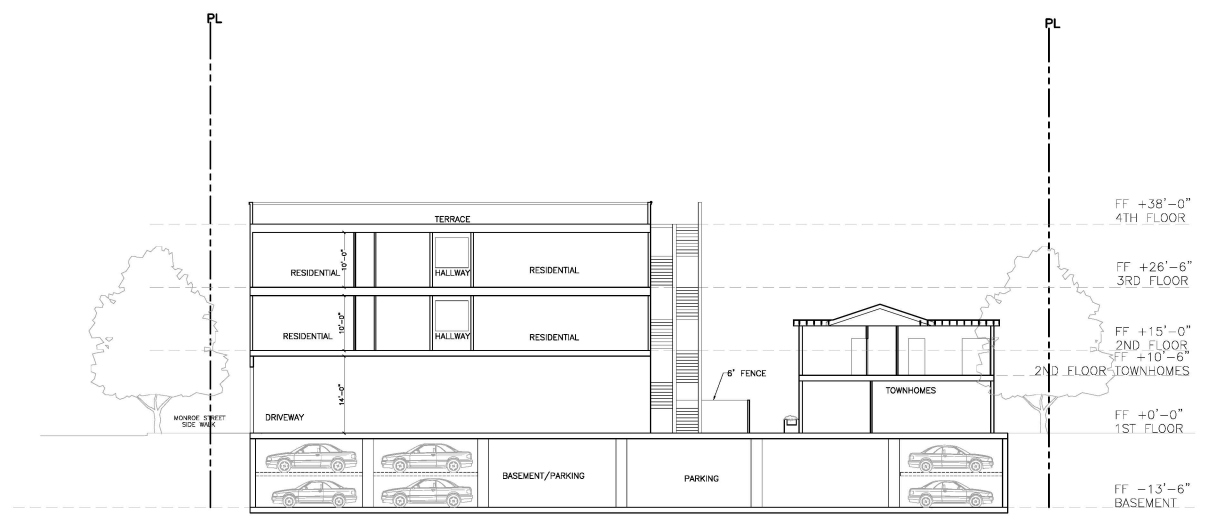
SHEET NAME:
 EXISTING & PROPOSED
 ELEVATIONS
 HISTORIC HOMES

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 05/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 18.10.07
 SHEET No.:



PROPOSED SECTION B-B SCALE: 1/8"=1'-0"



PROPOSED SECTION A-A SCALE: 1/8"=1'-0"

SHEET NAME:

SECTIONS

REVISIONS	BY

DRAWN:

CHECKED:

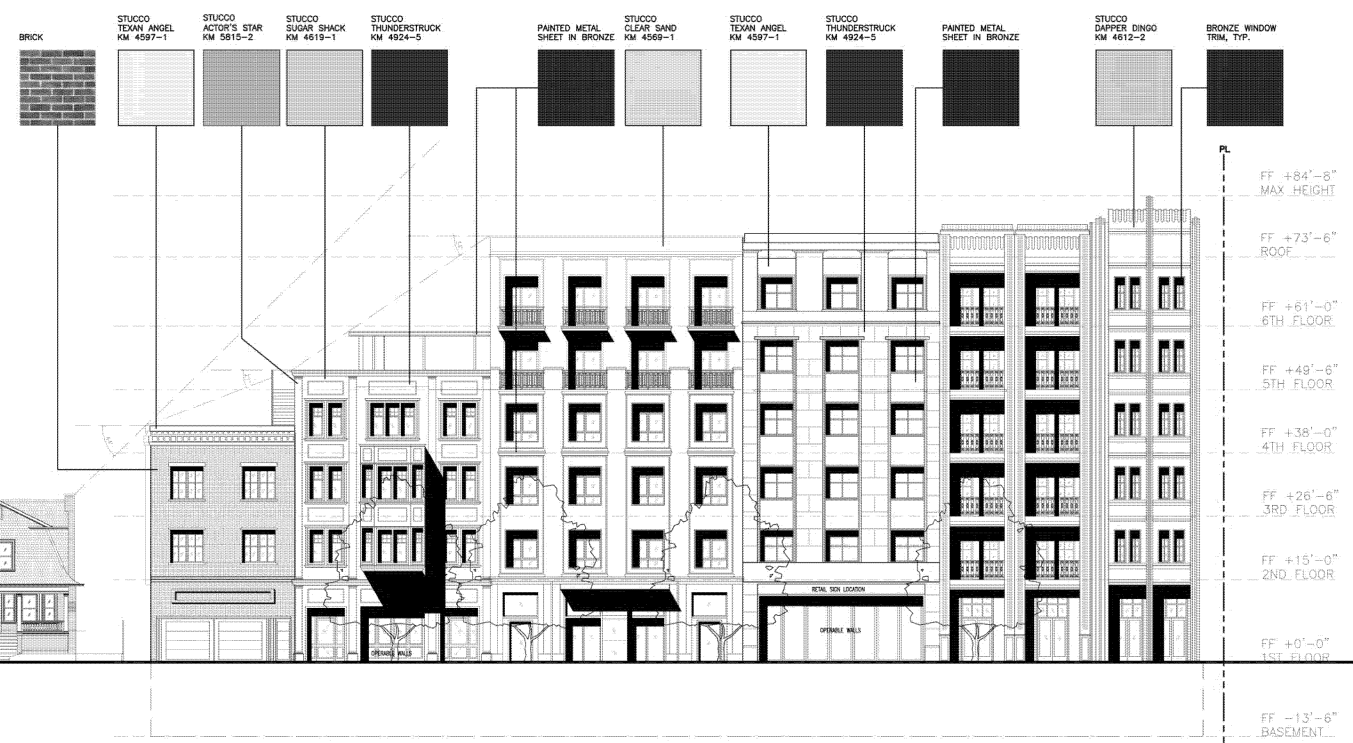
DATE: 05/17/2023

SCALE: 1/8"=1'-0"

JOB No.: 18.10.07

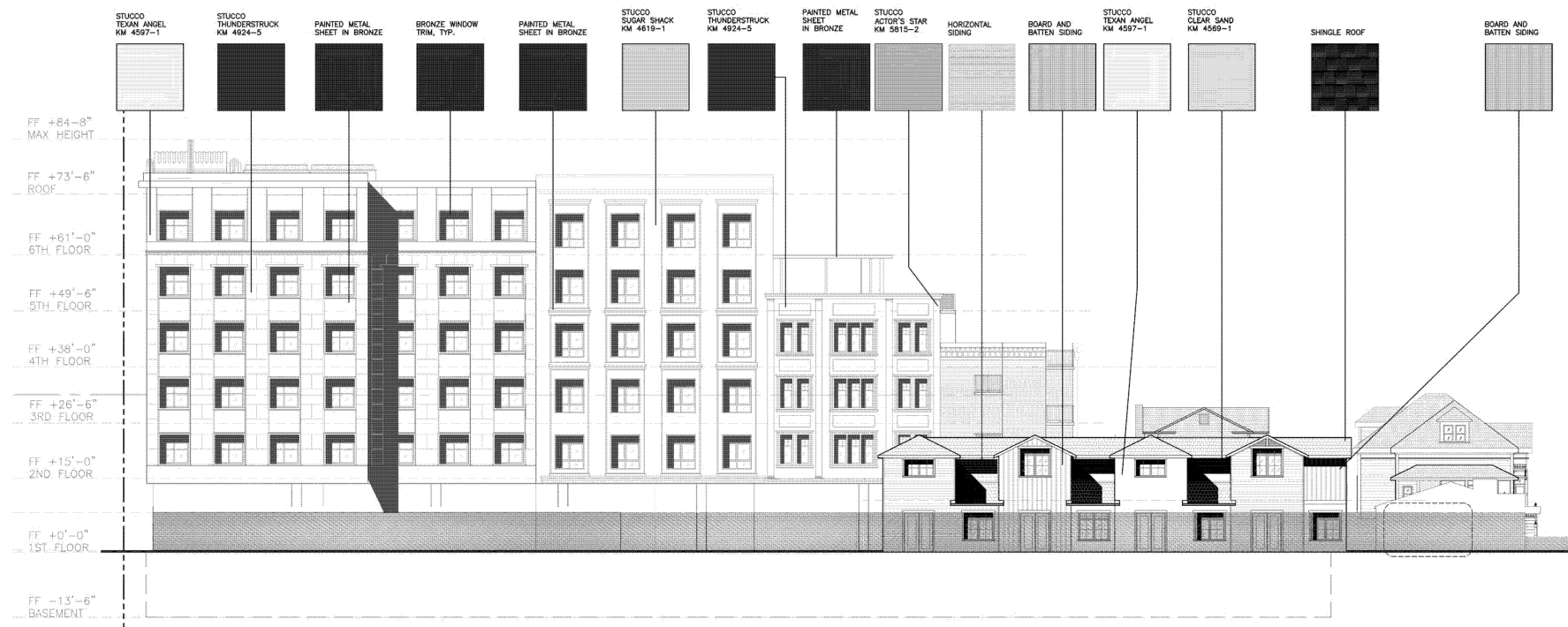
SHEET No.:

GENERAL NOTES :
 1. THE BASIS OF THIS SET OF PLANS IS THE FIELD SURVEY.
 2. THE FIELD SURVEY INFORMATION SHALL BE THE SOLE BASIS FOR THE LOCATION OF THE BUILDING.
 3. THE FIELD SURVEY SHALL BE THE BASIS FOR THE LOCATION OF ALL UTILITIES AND THE SETBACKS TO THE PROPERTY.
 4. THE FIELD SURVEY SHALL BE THE BASIS FOR THE LOCATION OF ALL UTILITIES AND THE SETBACKS TO THE PROPERTY.
 5. THE FIELD SURVEY SHALL BE THE BASIS FOR THE LOCATION OF ALL UTILITIES AND THE SETBACKS TO THE PROPERTY.



② PROPOSED EAST ELEVATION (MONROE)

SCALE : 1/8"=1'-0"



① PROPOSED WEST ELEVATION

SCALE : 1/8"=1'-0"

SHEET NAME :

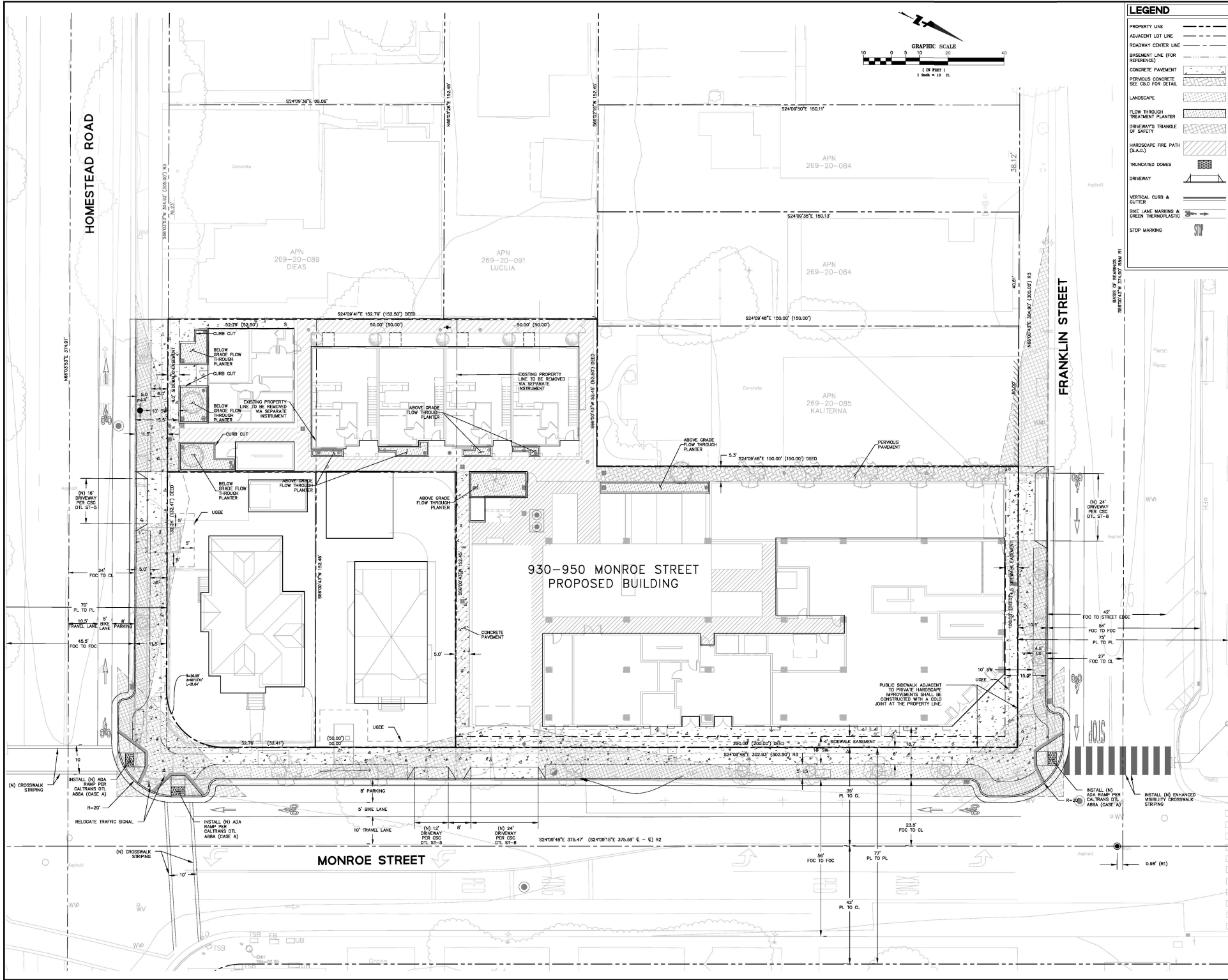
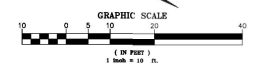
MATERIAL BOARD (FOR REFERENCE)

REVISIONS	BY

DRAWN:
 CHECKED:
 DATE: 06/17/2023
 SCALE: 1/8"=1'-0"
 JOB No.: 18.10.07
 SHEET No.:

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- ROADWAY CENTER LINE
- BASEMENT LINE (FOR REFERENCE)
- CONCRETE PAVEMENT
- PERVIOUS CONCRETE (SEE CS.O FOR DETAIL)
- LANDSCAPE
- FLOW THROUGH TREATMENT PLANTER
- DRIVEWAY'S TRIANGLE OF SAFETY
- HARDSCAPE FIRE PATH (S.A.S.)
- TRUNCATED CONES
- DRIVEWAY
- VERTICAL CURB & GUTTER
- BIKE LANE MARKING & GREEN THERMOPLASTIC
- STOP MARKING



NO.	REVISION	DATE

1730 N. 1ST STREET
SANTA CLARA, CA 95112
408-287-8198 (TX)
408-287-8199 (FAX)



CALIFORNIA

**SANTA CLARA DOWNTOWN PROJECT
906, 930, 940, & 950 MONROE STREET
PRELIMINARY GRADING AND DRAINAGE PLAN**

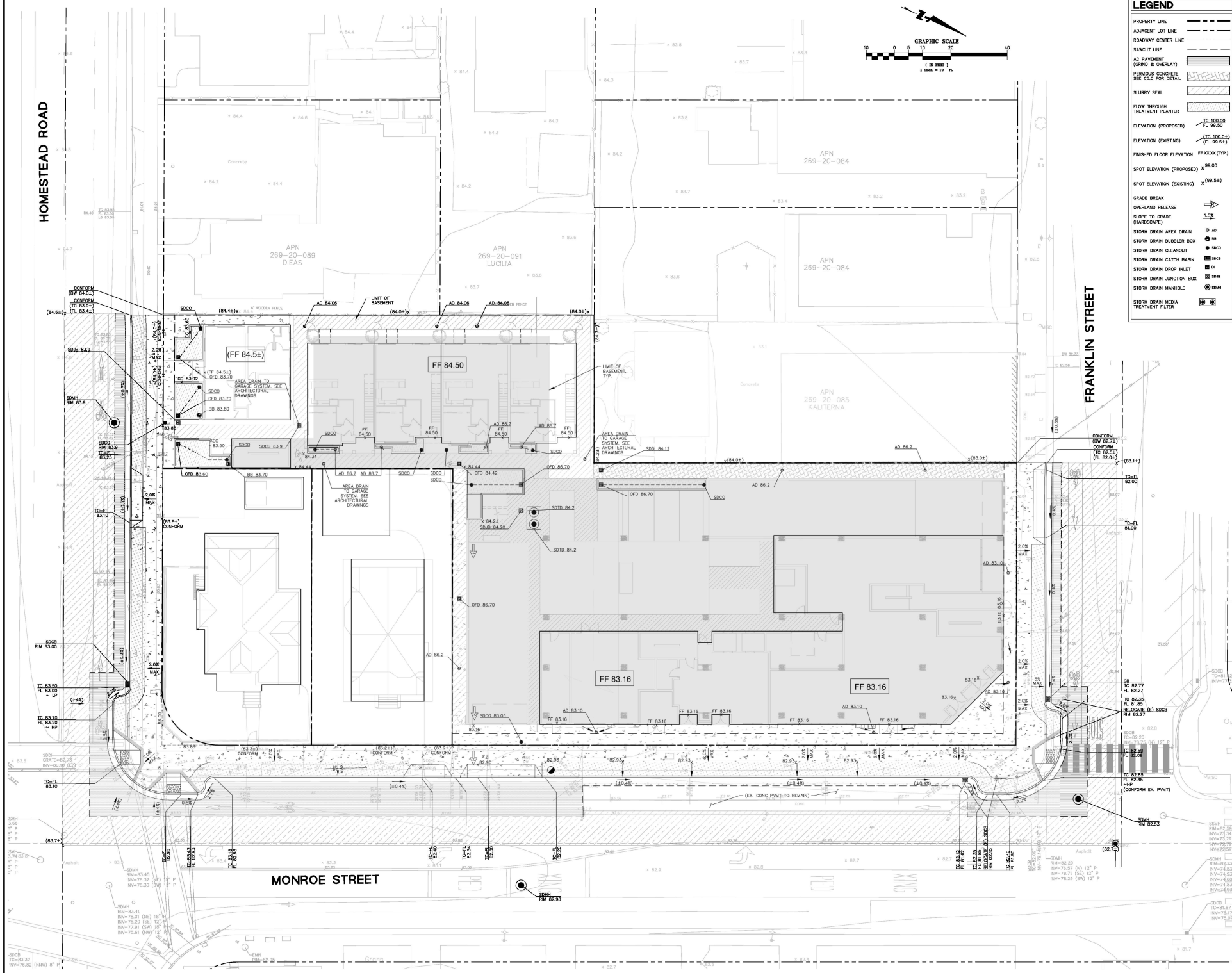
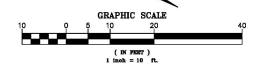
SANTA CLARA

DATE: 03/09/2023
DRAWN BY: BKH
CHECKED BY: BKH
PROJECT NO.: 230003
JOB NO.: 230003

Drawing Number: **C3.0**

LEGEND

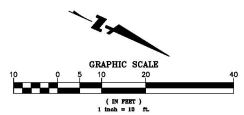
- PROPERTY LINE
- ADJACENT LOT LINE
- ROADWAY CENTER LINE
- SAW-CUT LINE
- AS PAVEMENT (ORING & OVERLAY)
- PERVIOUS CONCRETE (SEE C.O. FOR DETAIL)
- SLURRY SEAL
- FLOW THROUGH TREATMENT PLANTER
- ELEVATION (PROPOSED) (TC 100.00) (FL 99.54)
- ELEVATION (EXISTING) (TC 100.04) (FL 99.54)
- FINISHED FLOOR ELEVATION FF XXXX (TYP.)
- SPOT ELEVATION (PROPOSED) X 99.00
- SPOT ELEVATION (EXISTING) X (99.54)
- GRADE BREAK
- OVERLAND RELEASE
- SLOPE TO GRADE (HARDSCAPE)
- STORM DRAIN AREA DRAIN
- STORM DRAIN SUBSILER BOX
- STORM DRAIN CLEANOUT
- STORM DRAIN CATCH BASIN
- STORM DRAIN DROP INLET
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- STORM DRAIN MEDIA TREATMENT FILTER



MONROE STREET

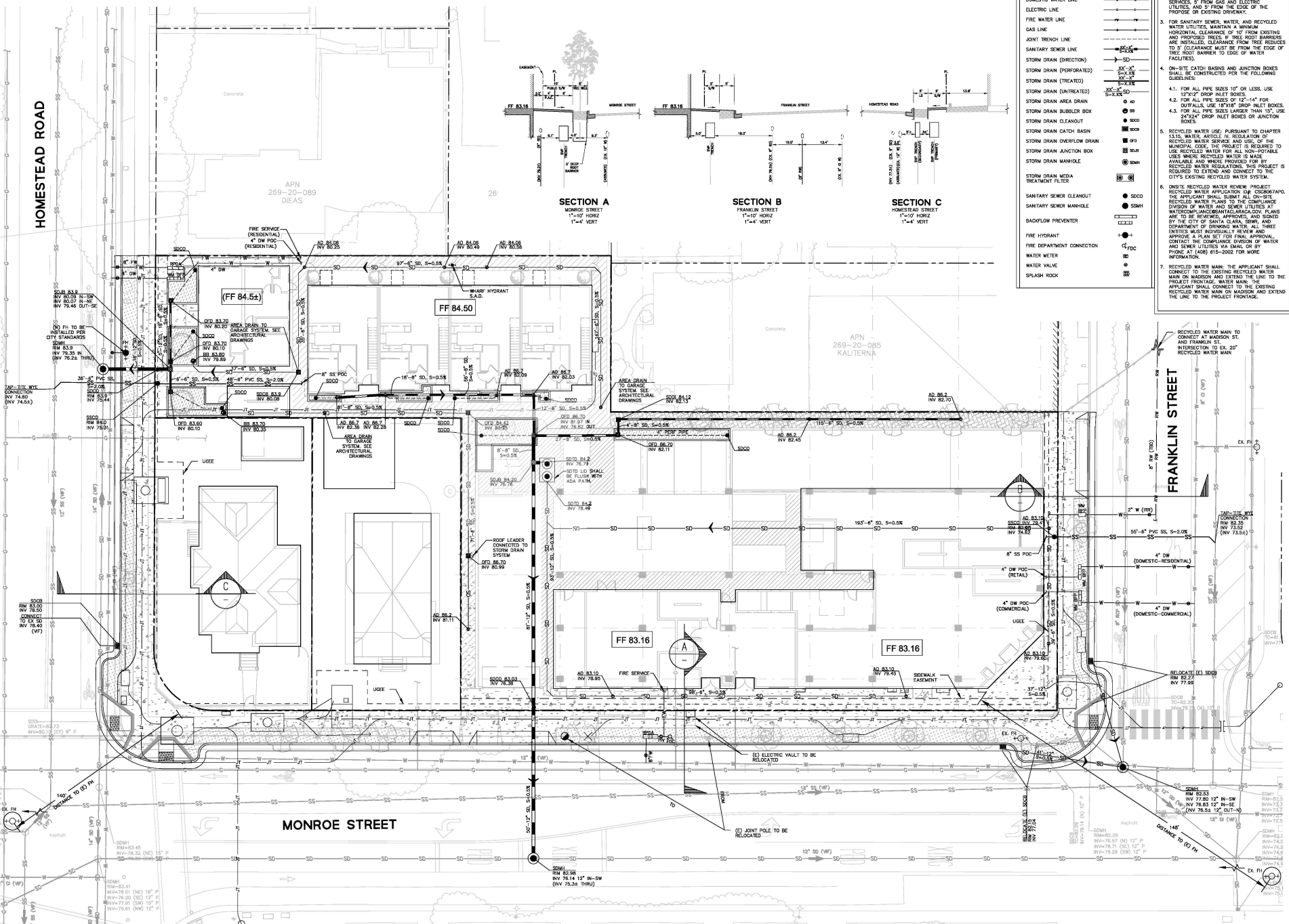
HOMESTEAD ROAD

FRANKLIN STREET



LEGEND	
PROPERTY LINE	---
ADJACENT LOT LINE	---
ROADWAY CENTER LINE	---
ELEVATION	RM 500.00 INV 500.00
COMMUNICATION LINE	---
DOMESTIC WATER LINE	---
ELECTRIC LINE	---
FIRE WATER LINE	---
GAS LINE	---
JOINT TRENCH LINE	---
SANITARY SEWER LINE	---
STORM DRAIN (DIRECTION)	SD
STORM DRAIN (PERFORATED)	SD
STORM DRAIN (TREATED)	SD
STORM DRAIN (UNTREATED)	SD
STORM DRAIN AREA DRAIN	SD
STORM DRAIN BUBBLER BOX	SB
STORM DRAIN CLEANOUT	SC
STORM DRAIN CATCH BASIN	SCB
STORM DRAIN OVERTLOW DRAIN	SDO
STORM DRAIN JUNCTION BOX	SDJ
STORM DRAIN MANHOLE	SMH
STORM DRAIN MEDIA TREATMENT FILTER	SMF
SANITARY SEWER CLEANOUT	SSCO
SANITARY SEWER MANHOLE	SSMH
BACKFLOW PREVENTER	BFP
FIRE HYDRANT	FH
FIRE DEPARTMENT CONNECTION	FDC
WATER METER	WM
WATER VALVE	WV
SPLASH ROCK	SR

- ### UTILITY NOTES
- EXISTING WATER AND SEWER SERVICES TO BE ABANDONED PER WATER AND UTILITIES STANDARDS.
 - FOR WATER SERVICES, MAINTAIN A MINIMUM OF 12" OF VERTICAL CLEARANCE AT WATER SERVICE CROSSING WITH OTHER UTILITIES, AND ALL REQUIRED MINIMUM HORIZONTAL CLEARANCES: 10' FROM SANITARY SEWER UTILITIES, 10' FROM RECYCLED WATER UTILITIES, 5' FROM FIRE AND OTHER WATER UTILITIES, 5' FROM ABANDONED WATER SERVICES, 5' FROM GAS AND ELECTRIC UTILITIES, AND 5' FROM THE EDGE OF THE PROPOSED OR EXISTING DRIVEWAY.
 - FOR SANITARY SEWER, WATER AND RECYCLED WATER UTILITIES, MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 10' FROM EXISTING AND PROPOSED TRENCH TIE-ROD BARRIERS AND INSTALLED CLEARANCE FROM THE REDUCES TO 5' (CLEARANCE MUST BE FROM THE EDGE OF THE TIE-ROD BARRIER TO EDGE OF WATER FACILITIES).
 - ON-SITE CATCH BASINS AND JUNCTION BOXES SHALL BE CONSTRUCTED PER THE FOLLOWING GUIDELINES:
 1. FOR ALL PIPE SIZES 10" OR LESS, USE 15"X15" DROOP INLET BOXES.
 2. FOR ALL PIPE SIZES OF 12"-14" FOR OUTFALLS, USE 18"X18" DROOP INLET BOXES.
 3. FOR ALL PIPE SIZES LARGER THAN 15", USE 24"X24" DROOP INLET BOXES OR JUNCTION BOXES.
 - RECYCLED WATER USE PURSUANT TO CHAPTER 13.05, WATER ARTICLE 10, REGULATION OF THE MUNICIPAL CODE, THIS PROJECT IS REQUIRED TO PURCHASE AND MAKE PROVIDED FOR BY RECYCLED WATER REGULATIONS. THIS PROJECT IS REQUIRED TO EXTEND AND CONNECT TO THE CITY'S EXISTING RECYCLED WATER SYSTEM.
 - ON-SITE RECYCLED WATER REVIEW PROJECT RECYCLED WATER APPLICATION (W-0008740). THE APPLICANT SHALL SUBMIT ALL ON-SITE RECYCLED WATER PLANS TO THE COMPLIANCE DIVISION OF WATER AND SEWER UTILITIES A WATER SERVICES MANAGER/AGENCY PLANS BY THE CITY OF SANTA CLARA, 2000, AND THESE THREE INDIVIDUALLY REVIEW AND APPROVE A RECYCLED WATER APPROVAL. CONTACT THE COMPLIANCE DIVISION OF WATER AND SEWER UTILITIES BY MAIL OR BY PHONE AT (408) 615-2002 FOR MORE INFORMATION.
 - RECYCLED WATER MAIN: THE APPLICANT SHALL CONNECT TO THE EXISTING RECYCLED WATER MAIN ON MADISON AND EXTEND THE LINE TO THE INTERSECTION TO EX. 30" RECYCLED WATER MAIN.



HOMESTEAD ROAD

MONROE STREET

FRANKLYN STREET

APN 269-20-089
DIAS

APN 269-20-085
KALITERNA

APN 269-20-085
KALITERNA

(FF 84.5z)

FF 84.50

FF 83.16

FF 83.16

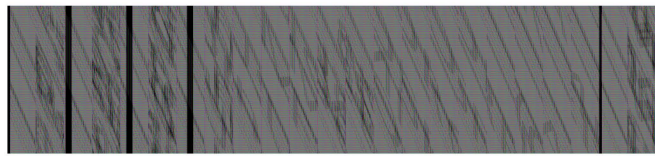
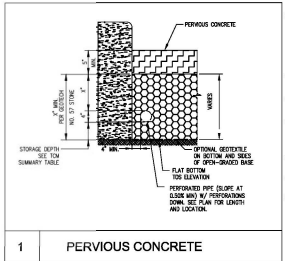
RELOCATE (E) 3000

LEGEND

PROPERTY LINE
ADJACENT LOT LINE
DRAINAGE MANAGEMENT AREA
CONCRETE PAVEMENT
LANDSCAPE
FLOW THROUGH TREATMENT PLANTER
PLANTER (NON-TREATMENT)
HARDSCAPE FREE PATH (S.A.D.)
STORM DRAIN (DIRECTION)
STORM DRAIN (PROPORTION)
STORM DRAIN (TREATED)
STORM DRAIN (UNTREATED)
STORM DRAIN AREA DRAIN
STORM DRAIN BUBBLE BOX
STORM DRAIN CLEANOUT
STORM DRAIN CATCH BASIN
STORM DRAIN OVERFLOW DRAIN
STORM DRAIN JUNCTION BOX
STORM DRAIN MANHOLE
STORM DRAIN MEDIA TREATMENT FILTER

- NOTES**
- PROPOSED TOTAL BENEFIT: 88 DU/AC MAX
 - DURING THE BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ADVISE THE CITY OF SANTA CLARA OF ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN. THE CITY ENGINEER SHALL REVIEW ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN AND APPROVE THEM IN ACCORDANCE WITH THE PROPOSED BUILDING PERMITS. THE CITY ENGINEER SHALL REVIEW ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN AND APPROVE THEM IN ACCORDANCE WITH THE PROPOSED BUILDING PERMITS. THE CITY ENGINEER SHALL REVIEW ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN AND APPROVE THEM IN ACCORDANCE WITH THE PROPOSED BUILDING PERMITS.
 - CONTRACTOR TO OBTAIN APPROVAL, IF THERE ARE ANY CHANGES TO SELECTED MEDIA FILTERS.
 - MULTI-FAMILY RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL DEVELOPMENT PROJECTS ARE REQUIRED TO INSTALL FULL-TERRACE CAPTURE DEVICES TO COLLECT LITTER AND DEBRIS FROM THEIR PROJECT AREAS (THAT ARE NOT TREATED BY CONCRETE OR PAVED AREAS). THE PROJECTS SHALL BE CONSIDERED TO BE FULL-TERRACE CAPTURE DEVICES THAT ARE NOT TREATED BY CONCRETE OR PAVED AREAS. THE PROJECTS SHALL BE CONSIDERED TO BE FULL-TERRACE CAPTURE DEVICES THAT ARE NOT TREATED BY CONCRETE OR PAVED AREAS.
 - STORMWATER TREATMENT AREA DATA
MEDIA PROJECTS CLASSIFICATION "C"
AT LEAST ONE OF THE TREATMENT AREAS IS WITHIN 1/2 MILE OF AN EXISTING OR PLANNED TRANSIT HUB
PROJECT IS DESIGNATED AS NON-AUTO-RELATED USE
TREATMENT CREDIT CALCULATION
LOCATION CREDIT: WITHIN 1/2 MILE OF TRANSIT HUB = 20%
TOBITY CREDIT: WITHIN 1/2 MILE OF TRANSIT HUB = 20%
TOTAL LD TREATMENT CREDIT = 40%
TOTAL IMPERVIOUS AREA TO BE TREATED (D.U.) 606 (8134 SF)
TOTAL IMPERVIOUS AREA TO BE TREATED (DOW-LOAD) 308 (3485 SF)
TOTAL IMPERVIOUS AREA TO BE TREATED 27.98 SF

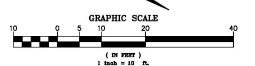
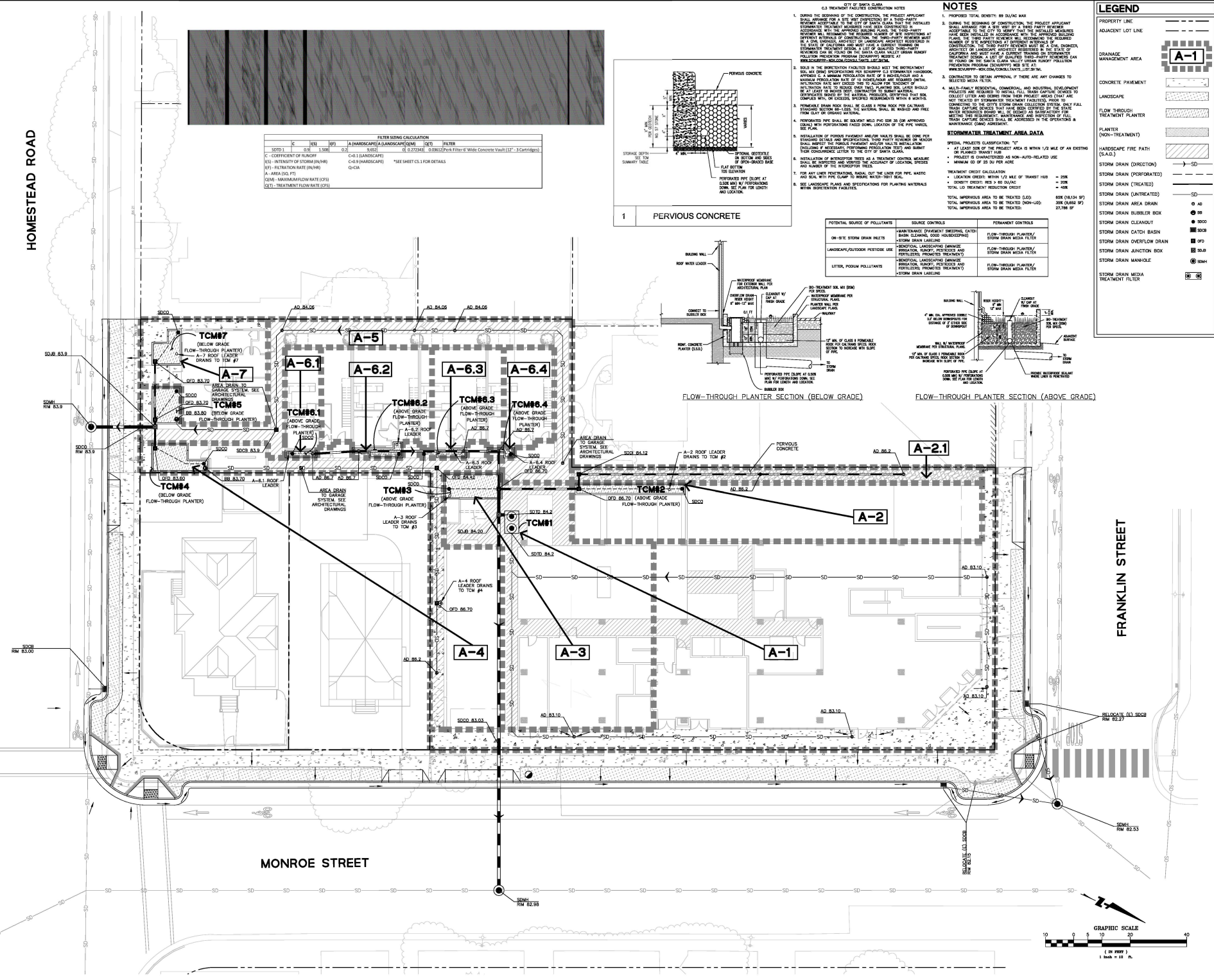
- CONSTRUCTION NOTES**
- DURING THE BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ADVISE THE CITY OF SANTA CLARA OF ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN. THE CITY ENGINEER SHALL REVIEW ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN AND APPROVE THEM IN ACCORDANCE WITH THE PROPOSED BUILDING PERMITS. THE CITY ENGINEER SHALL REVIEW ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN AND APPROVE THEM IN ACCORDANCE WITH THE PROPOSED BUILDING PERMITS.
 - SOILS IN THE SUBSTITUTION FACILITIES SHOULD MEET THE SUBSTITUTION FACILITIES REQUIREMENTS OF THE PROPOSED STORMWATER MANAGEMENT PLAN. A MINIMUM PROTECTION RATE OF 5 INCHES/24 HOURS AND A MINIMUM CONFINEMENT RATE OF 10 INCHES/24 HOURS ARE REQUIRED. THE PROTECTION RATE IS TO BE DETERMINED BY ALL THE PROPOSED SUBSTITUTION FACILITIES. THE PROTECTION RATE IS TO BE DETERMINED BY ALL THE PROPOSED SUBSTITUTION FACILITIES.
 - PERMEABLE DRAIN ROCK SHALL BE CLASS 8 FROM ROCK FOR CULTIVATION SUBSTITUTION FACILITIES. MATERIAL SHALL BE WASHED AND FREES OF ALL LUMPS AND FOREIGN MATERIAL. THE SIZE OF THE ROCK SHALL BE DETERMINED BY THE CITY OF SANTA CLARA. THE SIZE OF THE ROCK SHALL BE DETERMINED BY THE CITY OF SANTA CLARA.
 - PERMEABLE DRAIN ROCK SHALL BE CLASS 8 FROM ROCK FOR CULTIVATION SUBSTITUTION FACILITIES. MATERIAL SHALL BE WASHED AND FREES OF ALL LUMPS AND FOREIGN MATERIAL. THE SIZE OF THE ROCK SHALL BE DETERMINED BY THE CITY OF SANTA CLARA. THE SIZE OF THE ROCK SHALL BE DETERMINED BY THE CITY OF SANTA CLARA.
 - INSTALLATION OF EXISTING PLUMBING AND WELLS SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SANTA CLARA. THE CITY ENGINEER SHALL REVIEW ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN AND APPROVE THEM IN ACCORDANCE WITH THE PROPOSED BUILDING PERMITS. THE CITY ENGINEER SHALL REVIEW ANY CHANGES TO THE PROPOSED STORMWATER MANAGEMENT PLAN AND APPROVE THEM IN ACCORDANCE WITH THE PROPOSED BUILDING PERMITS.
 - FOR ANY LIGHT PENETRATING MEDIA, CUT THE LEAKS FOR PIPE, WASTIC AND SEAL WITH PIPE CLAMP TO WIND WATER-TIGHT SEAL.
 - SEE LANDSCAPE PLAN AND SPECIFICATIONS FOR PLANTING MATERIALS WITHIN SUBSTITUTION FACILITIES.



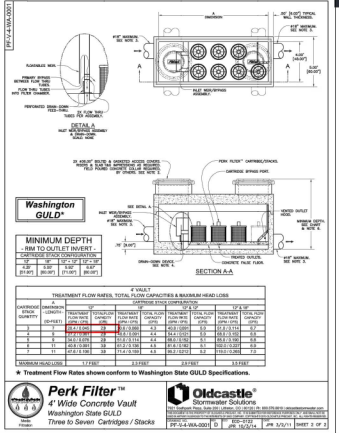
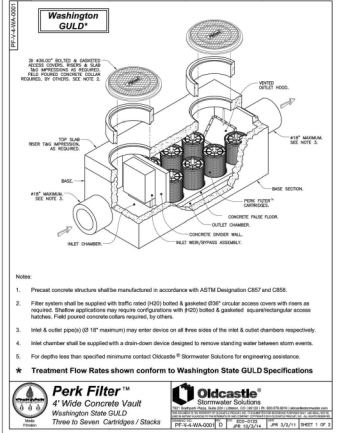
FILTER RIDING CALCULATION

C	NS	NS	A	THROSCAPITA	LANDSCAPE	DRY	FILTER
1.00	0.00	1.00	0.00	0.00	0.00	0.00	0.00
C: COEFFICIENT OF PLUFCP NS: INTENSITY OF STORM RAIN H: INTENSITY OF STORM RAIN A: AREA (SQ FT) Q(M): MAXIMUM FLOW RATE (CFS) Q(T): TREATMENT FLOW RATE (CFS)							

POTENTIAL SOURCE OF POLLUTANTS	SOURCE CONTROLS	PERMANENT CONTROLS
ON-SITE STORM DRAIN INLETS	SWAN TRAP(S) (POLLUTANT TRAPPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING)	FLOW-THROUGH PLANTER / STORM DRAIN MEDIA FILTER
LANDSCAPE/OUTDOOR PESTICIDE USE	GENERIC LANDSCAPE ORNAMENTATION, FERTILIZERS, PESTICIDES AND FERTILIZERS, PROMOTE TREATMENT	FLOW-THROUGH PLANTER / STORM DRAIN MEDIA FILTER
LITTER, POINT POLLUTANTS	RECREATIONAL LANDSCAPING (ORNAMENTATION, FERTILIZERS, PESTICIDES AND FERTILIZERS, PROMOTE TREATMENT)	FLOW-THROUGH PLANTER / STORM DRAIN MEDIA FILTER



MEDIA FILTRATION DETAIL



Section 0772 - CS Specifications - Perforator - Rev. A

STORMWATER FILTRATION SYSTEM

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2.2 Identification

2.3 Materials and Design

2.4 Performance

2.5 Quality Assurance

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3.2 Installation

3.3 Inspection

3.4 General

3.5 Marking Sections

3.6 Section Installation

3.7 Excavation

3.8 Backfill

3.9 Backfilling

3.10 Backfilling Methods in Trenches

3.11 Miscellaneous Construction Machinery

PART 1 - GENERAL 1.1

Related Requirements

A. Section 0330 - Submittals, Shop Drawings, Product Data and Samples

B. Section 0330 - Earthwork - Excavation, Trenching, Backfill and Compaction

C. Section 0337 - Erosion and Sediment Control (Including SWSPP)

1.2 Summary

A. This section includes radial cartridge stormwater media filters.

Section 0772 - CS Specifications - Perforator - Rev. A

1.3 Reference Standards

A. American Association of State Highway and Transportation Officials (AASHTO)

a. AASHTO M192 - Open Top Geotextiles

B. American Society for Testing and Materials (ASTM)

a. ASTM A45 - 309 - Open Top Geotextiles

b. ASTM A46 - Steel Wire, Plain, for Concrete Reinforcement

c. ASTM A48 - Steel Welded Wire Reinforcement, Plain or Concrete

d. ASTM A488 - Steel Wire, Deformed, for Concrete Reinforcement

e. ASTM A489 - Steel Welded Wire Reinforcement, Deformed for Concrete

f. ASTM A615 - Labeled and Plain, Carbon Steel Bars for Concrete Reinforcement

g. ASTM A639 - Aluminum Reinforcing Steel, Cast Iron

h. ASTM A675 - Cover and Marinite Deck, Made from Cast Iron

i. ASTM A706 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

j. ASTM A708 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

k. ASTM A709 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

l. ASTM A710 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

m. ASTM A711 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

n. ASTM A712 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

o. ASTM A713 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

p. ASTM A714 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

q. ASTM A715 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

r. ASTM A716 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

s. ASTM A717 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

t. ASTM A718 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

u. ASTM A719 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

v. ASTM A720 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

w. ASTM A721 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

x. ASTM A722 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

y. ASTM A723 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

z. ASTM A724 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

aa. ASTM A725 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ab. ASTM A726 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ac. ASTM A727 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ad. ASTM A728 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ae. ASTM A729 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

af. ASTM A730 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ag. ASTM A731 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ah. ASTM A732 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ai. ASTM A733 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

aj. ASTM A734 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ak. ASTM A735 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

al. ASTM A736 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

am. ASTM A737 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

an. ASTM A738 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ao. ASTM A739 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ap. ASTM A740 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

aq. ASTM A741 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ar. ASTM A742 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

as. ASTM A743 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

at. ASTM A744 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

au. ASTM A745 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

av. ASTM A746 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

aw. ASTM A747 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ax. ASTM A748 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

ay. ASTM A749 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

az. ASTM A750 - Reinforcing Steel, Plain, Carbon Steel Bars for Concrete Reinforcement

1.4 Definitions

A. BKH - Best Management Practices

B. TSS - Total Suspended Solids

1.5 Submittals

A. Products shall be submitted by Contractor in accordance with Section 0330 Submittal Procedures

A. Product Data for the following:

1. Radial Cartridge Stormwater Media Filter

2. Installation procedures

3. Shop drawings shall be provided to include details for fabrication, construction, performance, price, quantity and any associated items. Shop drawings shall be provided to include all details of the proposed installation, including material characteristics, required tests of materials and all design considerations for structural analysis.

4. Operation & Maintenance Manual

B. Independent third party certification or field report demonstrating conformance to applicable local or regional BMP criteria for the treatment system is installed for the following:

1. Removal efficiency

2. Hydraulic capacity

3. Hydraulic retention time

4. Identification of parameters to applicable standard

C. Products submitted for approval must be submitted at least two weeks prior to project bid opening and must be approved by project Engineer. Submittal for approved product must contain

Section 0772 - CS Specifications - Perforator - Rev. A

A signed letter from a representative officer of the manufacturer stating product is equivalent to all applicable requirements of this Specification.

1.8 Delivery, Storage and Handling

A. All filtration system components shall be delivered to the site and unloaded with handling that conforms to the manufacturer's instructions for reasonable care. Containers and internal components shall not be opened or damaged prior to use. The Contractor shall take necessary precautions to ensure the method used to lift or place the filtration system does not induce stress or damage to the concrete.

PART 2 - PRODUCTS

2.1 Radial Cartridge Stormwater Media Filter

2.1.1 Description

The Contractor, and/or a manufacturer selected by the Contractor and approved by the Engineer, shall furnish all labor, materials, equipment and accessories required to install radial cartridge stormwater filtration systems and appurtenances in accordance with the Drawings and these Specifications. The Stormwater Filtration System shall consist of a minimum of three concrete structures or houses, rechargeable, passive, anti-corrosion, radial-flow media filter cartridges which trap particulates (TSS) and absorb pollutants such as dissolved metals, nutrients and hydrocarbons. The Stormwater Filtration System shall be installed at a hydraulic loading rate of no more than 2.0 gpm of media surface area. The water quality treatment flow shall be as determined and approved by the Engineer.

The Stormwater Filtration System shall contain an pre-treatment flow and self-cleaning to increase the effective life of the filter media. The media cartridges shall be designed to reduce the accumulation of material on the cartridge faces. Each radial flow filter cartridge shall operate at a pre-determined flow rate through the use of an integrated flow control mechanism located within each filter cartridge. The filtration system must include the capability to partition faces, causing air to be directed into the filtration chamber during low-flow conditions. This can be accomplished with either internal or external diversion. Flows exceeding the treatment capacity of the unit shall be directed around the filtration chamber to prevent re-suspension and washout of previously trapped pollutants.

The Contractor shall furnish and install the Stormwater Filtration System complete and operate as shown and as specified herein in accordance with the requirements of the plans and contract documents.

2.1.2 Materials and Design

A. Concrete for precast Stormwater Filtration Systems shall conform to ASTM C478, CR87 and CR82 and meet the following additional requirements:

1. All cast-in-place wall thicknesses shall be no less than the minimum thickness necessary to sustain HECD 44 (HSB) loading requirements as determined by a Licensed Professional Engineer.

2. Secondary steel reinforcement shall be provided in accordance with ASTM C940.

3. Concrete shall be cured by approved method. Sections shall be so designed and constructed as to allow a compression strength of 4,000 psi (28 MPa) or other design strength suitable for the design.

4. The openings shall be sized to avoid spans of the concrete slabs or materials, and shall be sized by the Contractor with hydraulic engineer conformance to ASTM C1090/ASTM C1327.

5. Appurtenances shall conform to ASTM C33, except that the requirement for gradation shall not apply.

Section 0772 - CS Specifications - Perforator - Rev. A

2. Reinforcement shall consist of steel conforming to ASTM A601 or A603, of size matching conforming to ASTM A601 or A603 or Grade 40 steel bars conforming to ASTM A615.

3. Casting for maximum length and cover shall be in accordance with ASTM A601, CS-308 and A603/A615. The concrete cover shall be designed for HECD 44 (HSB) loading requirements and shall provide a minimum of 30 mm (1 1/8") cover.

4. Blocks in masonry and to build the masonry frame to grade shall conform to ASTM C1202 or ASTM C1203 and shall be installed in accordance with all local requirements.

5. Discharge weirs, separation chamber and all baffles shall be made from concrete, marine grade forgang steel or stainless steel and shall conform to ASTM A307.

6. All masonry and/or internal components shall be made of SWSPP shall conform to ASTM A307.

B. All internal components including stainless steel types marinite, pre-treatment filter, filter cartridges, filter media (as specified on the plans) by the Engineer, and shall be provided by the manufacturer:

1. The bypass manifold shall be fabricated of stainless steel, minimum Type 304, complying with the requirements of ASTM A240.

2. Filter cartridge bottom caps, lower ring, top and head shall be constructed from high density polyethylene (HDPE). Filter cartridge center shall consist of 7" x 11" welded steel mesh (1/2" opening) reinforced with stainless steel (304) conforming to ASTM A240.

3. The filter cartridge shall be reinforced with stainless steel mesh with a minimum of 30 mm (1 1/8") mesh opening, 18 gage (1.5 mm) mesh, 18 gage (1.5 mm) mesh, 30 gage (1.0 mm) mesh or a system design load as specified on drawings.

4. The filter media shall consist of one or more of the following, as specified on the Plans or by the Engineer:

a. Perlite Media. Perlite media shall be made of natural siliceous volcanic rock free of any debris or foreign matter. The perlite media shall have a bulk density ranging from 8.5 to 10.5 lb/ft³ and particle sizes ranging from that passing through a #20 mesh screen and retained on a U.S. Standard #40.

b. Zeolite Media. Zeolite media shall be made of naturally occurring clinoptilolite, which is a natural mineral. Zeolite media shall have a bulk density ranging from 4.0 to 4.5 lb/ft³ and particle sizes ranging from that passing through a U.S. Standard #40 mesh screen and retained on a U.S. Standard #100 mesh screen.

c. Sand. Sand shall be made of natural sand, free of any debris or foreign matter. The sand shall have a bulk density ranging from 120 to 125 lb/ft³.

d. Jarrolite Media. Jarrolite media shall have a bulk density ranging from 120 to 125 lb/ft³ and particle sizes ranging from that passing through a U.S. Standard #40 mesh screen and retained on a U.S. Standard #100 mesh screen.

e. Other media shall be approved by the Engineer.

5. The filter media shall be installed in the filter cartridge in a manner that will allow for uniform flow through the filter media.

6. Zeolite Perlite (ZP) is a media made that is composed of a blend of Zeolite and Perlite (see above).

2.1.3 Performance

A. Each qualified flow based Stormwater Filtration System shall be capable of removing 90% of the net annual Total Suspended Solids (TSS) load based on a 400 particle size of 20 microns. Annual TSS removal efficiency models shall be based on laboratory and field performance data, site specific hydrologic and hydrodynamic, and local rainfall intensity distributions. Filtration units shall have the ability to handle planned flows in excess of designed trapped sediment or re-entrained contaminants up to and including the Peak Flow Rate.

Section 0772 - CS Specifications - Perforator - Rev. A

Each Stormwater Filtration System shall contain one or more media cartridges that maintain a constant pressure profile across the face of the filter during operation. At the design flow rate, the maximum filter total loading rate shall be no more than 2.0 gpm of filter surface area. Stormwater shall flow through the filter cartridges through the sides and shall flow through the filter media radially from the outer perimeter inward and shall have an average media contact time of not less than 30 seconds.

C. The Stormwater Filtration System performance shall be third party verified and shall be based on site and field performance. The Stormwater Filtration System shall have Washington Department of Ecology (Ecology) Department (WDEQ).

D. The Stormwater Filtration System shall be supplied with either internal or external bypass with a minimum capacity and flow that the peak design storm as determined by the Engineer.

2.1.4 Quality Assurance

The materials, process and finished Stormwater Filtration System shall be subject to inspection by the Engineer. Acceptance or rejection of the system shall be based on the Specifications contained in this section. Inspections may be repeated and subject to the acceptance of the Engineer.

2.1.5 Manufacturer

Each Stormwater Filtration System shall be a Perforator as manufactured by Oldcastle Perforator, 7100 Long Street, Stockton, California, 95208.

PART 3 - EXECUTION

3.1 Earthwork

A. Excavation, trenching and backfilling shall be as specified in Division 2 Section "Earthwork".

3.2 Identification

A. All Stormwater Filtration devices shall be identified at the surface level with markings indicating that they are treatment devices.

3.3 Inspection

3.3.1 General

A. Concrete, intervals and accessories shall be inspected prior to installation and any defective or damaged product shall be replaced.

3.3.2 Manhole Sections

A. Any manhole section with damaged bells or signs shall be replaced and replaced.

B. Any manhole section with a fracture or crack greater than 1/16 inch in length or 1/4 inch in width shall be replaced and replaced.

C. Any manhole section that has not had its test cover (7 days max) free, including 12 hours cover open, and 12 hours without exposure to a load of water shall be replaced and replaced.

D. Any section with indications of imperfections in casting or curing, including, but not limited to, honeycombing, surface, shall be replaced and replaced.

E. Any section with indications of imperfections in casting or curing shall be replaced and replaced.

F. Any section with embedded reinforcing steel shall be replaced and replaced.

3.4 Structure Installation

3.4.1 General

A. General Locations and Arrangements, Drawing plans and details indicate general location and arrangement of underground storm and drainage piping systems. Location and arrangement of Stormwater Filtration Systems is critical and design consideration should be taken into account. Installation of Stormwater Filtration System shall be as indicated by the product manufacturer, to the minimum required practice. Where specific installation procedure is not indicated, follow product manufacturer's written instructions.

Section 0772 - CS Specifications - Perforator - Rev. A

All products shall be inspected for defects and cracks before being lowered into the trench, prior to placing. Any defective, damaged or unusable structure or any product that has not been third party verified shall be replaced. Shop drawings shall be provided with all details of the proposed installation, including material characteristics, required tests of materials and all design considerations for structural analysis.

4. Operation & Maintenance Manual

B. Independent third party certification or field report demonstrating conformance to applicable local or regional BMP criteria for the treatment system is installed for the following:

1. Removal efficiency

2. Hydraulic capacity

3. Hydraulic retention time

4. Identification of parameters to applicable standard

C. Products submitted for approval must be submitted at least two weeks prior to project bid opening and must be approved by project Engineer. Submittal for approved product must contain

2.4.2 Trench Excavation

2.4.2.1 Excavation

A. Excavation trenches to ensure that sites will be stable under all working conditions. Slope trenches walls or grade supports in accordance with all local and national standards for safety. Open only as much trench as can be safely maintained by the means of the work of each day.

B. When trench walls are shored or supported, provide a shoring system, but no greater than necessary to ensure working from a safe and sound position and compact backfilling and other embankment materials. The space between the filtration system and trench wall must be water tight to prevent water from entering the filtration system.

C. When supports such as trench shoring, trench jacks, trench shields or boxes are used, ensure that support of the filtration system and its embedment is maintained throughout installation. Ensure that shoring is sufficiently tight to prevent washing out of the trench wall from behind the shoring. Provide tight support of trench walls, below vaults, seating outlets, or other structures that restrict drainage of shoring.

2.4.2.2 Dewatering

A. Do not rely on embedded pipe or other Stormwater Filtration System in standing or running water. At all times prevent runoff and surface water from entering the filtration system.

B. When water is present in the work area, measure to maintain stability of the site and imported materials. Maintain water level below bedding and foundation to prevent differential settlement. Use an appropriate, sturdy pumps, well screens, deep wells, geotextiles, perforated underdrains, or storm drains of sufficient thickness to remove and control water in the trench. When excavating while dewatering ground water, ensure the ground water is below the bottom of out of all items to prevent washing from behind shoring or support of exposed trench walls. Maintain control of water in the trench below, during and after pipe system installation and until embedment is installed and sufficient backfill has been placed to prevent flotation of the pipe, fitting or drainage structure. To prevent loss of soil support, employ shoring or trench shields that meet requirements of these and the applicable code in 2.4.2.1 materials.

2.4.2.3 Removal of Back

A. Back or other ledge or doubler formation shall be replaced with suitable materials to provide a compacted earth backfill having a thickness between exposed rock and the manhole sections of at least 12 inches (305 mm). Back excavation shall be as specified and defined under section 0300 "Earthwork".

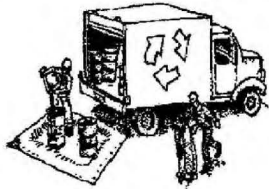
2.4.2.4 Removal of Inlet Material

A. When used or otherwise possible, it is the responsibility of properly installed the manhole structure, as determined by the Engineer, is incorporated in the bottom of a trench, such material shall be removed to a least 12 inches below bottom of the structure.

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



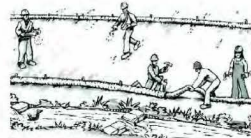
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



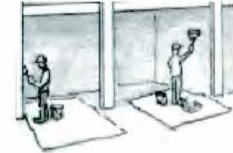
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

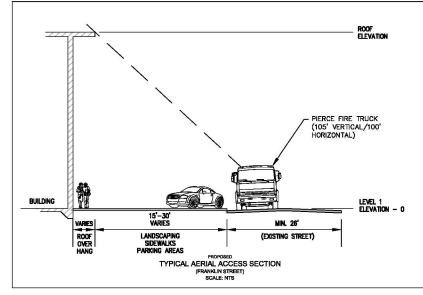
Storm drain polluters may be liable for fines of up to \$10,000 per day!

SANTA CLARA DOWNTOWN PROJECT
906, 930, 940, & 950 MONROE STREET
BEST MANAGEMENT PRACTICES

SANTA CLARA COUNTY

SANTA CLARA

Revision:	
No.	
Date:	
Drawn by:	
Checked by:	
Scale:	
Project No.:	2019003



FIRE FLOW CALCULATIONS:

BUILDING 1
 100% 1ST FLOOR (SCHA) (Type I-A) 31,796 sf
 3-STORY BUILDING (Type II-A) 66,235 sf
 TOTAL BUILDING AREA 98,032 sf
 PERCENTAGE OF 100% 1ST FLOOR (Type I-A) 31,796 / 98,032 = 32.4%
 PERCENTAGE OF 3-STORY BUILDING (Type II-A) 66,235 / 98,032 = 67.6%

REDUCED FIRE FLOW (100% VERTICAL/100% HORIZONTAL)
 1.000 GPM @ 0.254" (100% VERTICAL) + 1.000 GPM @ 0.254" (100% HORIZONTAL) = 2.000 GPM

BUILDING 2
 4 TOWNHOMES - 2-STORY BUILDING (Type Y-2)
 TOTAL FIRE FLOW (TABLE B101.1(2)) = 6,250 gpm

BUILDING 3
 100% 1ST FLOOR (SCHA) (Type I-A) 31,796 sf
 3-STORY BUILDING (Type II-A) 66,235 sf
 TOTAL FIRE FLOW (TABLE B101.1(2)) = 6,250 gpm

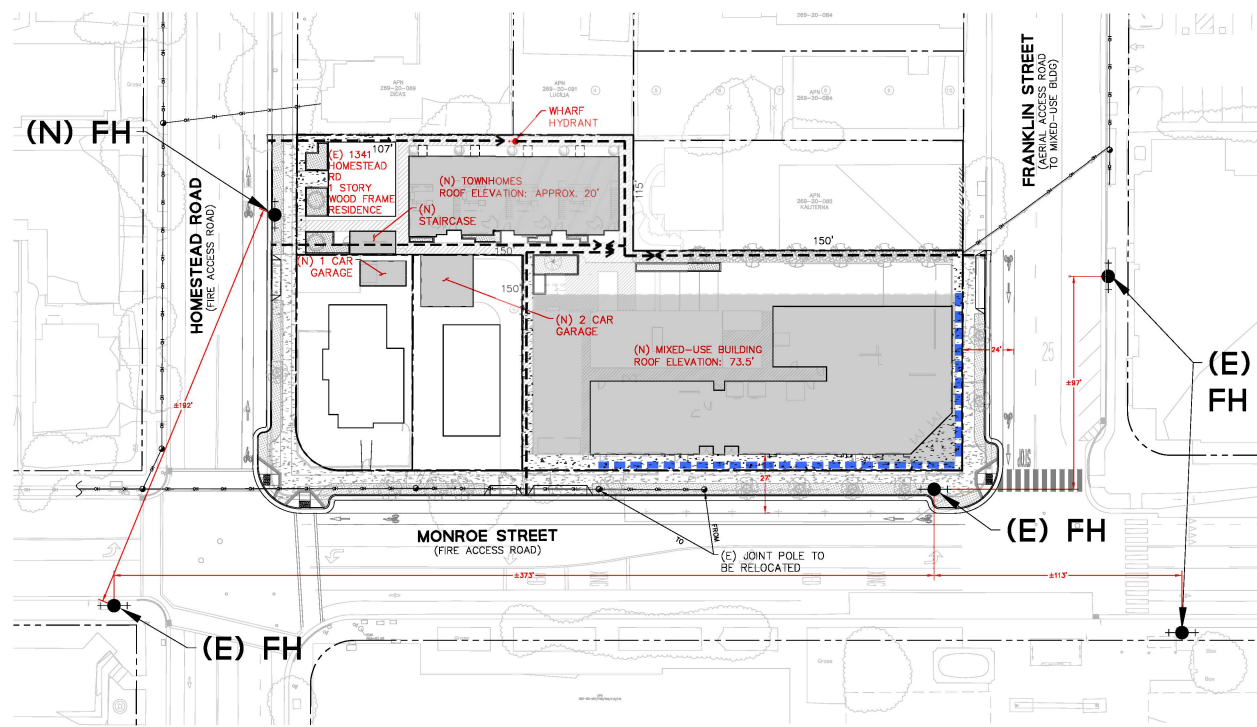
BUILDING 4
 100% 1ST FLOOR (SCHA) (Type I-A) 31,796 sf
 3-STORY BUILDING (Type II-A) 66,235 sf
 TOTAL FIRE FLOW (TABLE B101.1(2)) = 6,250 gpm

BASED ON THE FULL FIRE FLOW REQUIRED (APPENDIX C - TABLE C03.1):
 - FIRE FLOW REQUIRED: 2,500 GPM + 0.254" + 4,500 GPM + 0.254" = 7,000 GPM
 - NUMBER OF HYDRANTS: 2
 - AVERAGE SPACING BETWEEN HYDRANTS: 300 FT
 - MAX. DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A FH: 150 FT

NUMBER OF EXISTING FIRE HYDRANTS:
 ALONG MONROE STREET & FRANKLIN STREET: 4 HYDRANTS
 NUMBER OF PROPOSED FIRE HYDRANTS: 1 HYDRANT (ALONG HOMESTEAD ROAD)

LEGEND

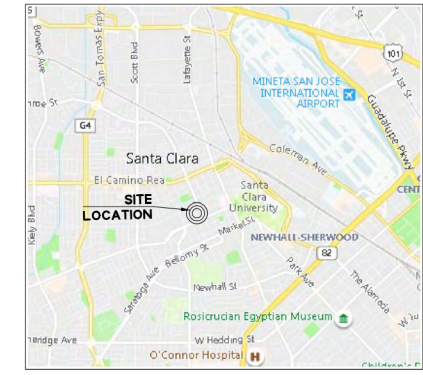
- PROPERTY LINE
 - LOT LINE/ALL PROPERTY LINE
 - OVERHEAD WIRE
 - AERIAL ACCESS
 - FIRE HYDRANT
 - JOINT POLE
 - PROPOSED BUILDING
- NOTE:
 1. THE MAXIMUM HEIGHT OF ANY TREES SHALL NOT EXCEED 25'.



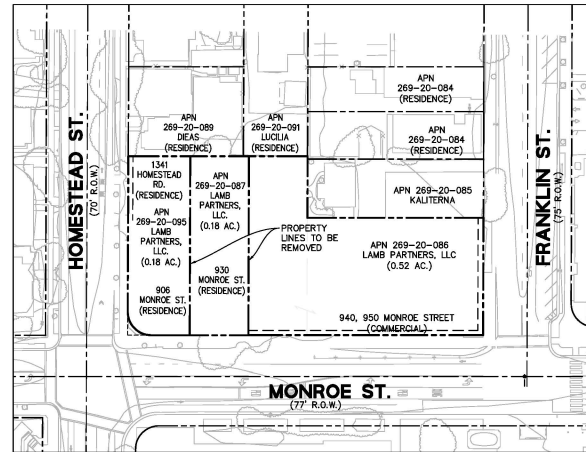
DATE	BY	REVISION
03/27/2023	AS SHOWN	

VESTING TENTATIVE MAP MONROE STREET FOR CONDOMINIUM PURPOSES

906, 930, 940 & 950 MONROE STREET AND 1341 HOMESTEAD STREET CITY OF SANTA CLARA, CALIFORNIA 95050 PLN2020-14457



VICINITY MAP
NTS



LOCATION MAP
SCALE: 1"=50'-0"

LEGEND

- PROPERTY LINE
- - - ADJACENT LOT LINE
- STREET CENTER LINE

SHEET INDEX

SHEET	DESCRIPTION
TM-1	TITLE SHEET
TM-2	SITE PLAN/MAP SHEET

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AC	ASPHALT CONCRETE	LG	LIP OF GUTTER
AD	AREA DRAIN	MH	MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	MON	MONUMENT
BDDG	BUILDING	(N)	NORTH/NEW
BM	BENCH MARK	N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
BW	BACK OF WALK / BOTTOM OF WALL	N.G.V.D.	NATIONAL GEODETICS VERTICAL DATUM
C&G	CURB & GUTTER	NO. #	NUMBER
C - CL	CENTERLINE	NTS	NOT TO SCALE
CON	CONCRETE	P.A.E.	PUBLIC ACCESS EASEMENT
CR	CURB RETURN	PCC	PORTLAND CEMENT CONCRETE
CVC	CENTER OF VERTICAL CURVE	PL	PROPERTY LINE
DIA	DIAMETER	PT	POINT
DWG	DRAWING	PV	PAVEMENT
EOR	END OF CURB RETURN	R	RADIUS
EP	ELEVATION	RCW	REINFORCED CONCRETE PIPE
EV	EDGE OF PAVEMENT	RT	RIGHT
EVC	END VERTICAL CURVE	R/W	RIGHT OF WAY
EX	EXISTING	(S) OR S.	SOUTH
F/C	FACE OF CURB	STD	STANDARD
FT	FEET	SW	SEWAGE
LT	LEFT	S.W.E.	SEWAGE EASEMENT
L	LENGTH	TYP.	TYPICAL
LF	LINEAR FEET	UGEE	UNDERGROUND ELECTRICAL EASEMENT
		VF	VERIFY IN FIELD
		W/	WITH
		W.U.E.	WEST WATER UTILITY EASEMENT

BASIS OF BEARINGS:

THE BEARING OF S66°10'43"W ALONG THE CENTER LINE OF FRANKLIN STREET, BETWEEN MADISON STREET AND MONROE STREET AS SHOWN HEREON, AND AS SHOWN ON BOOK 442 OF MAPS, PAGE 26.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY IS BENCHMARK A-9, FOUND AT BENTON STREET AND MONROE STREET, SE CORNER, TOP OF LETTER "C" IN WORD "CAL" ON TOP OF CATCH BASIN HOOD.

ELEVATION = 78.21 FEET (NAVD88 DATUM)

UTILITY COMPANY:

- ELECTRICITY: SILICON VALLEY POWER
- GAS: PG&E
- WATER AND SEWER: CITY OF SANTA CLARA, WATER AND SEWER DEPARTMENT
- GARBAGE: MISSION TRAIL WASTE SYSTEM (CLEAN GREEN)
- RECYCLING: RECOLOGY SILICON VALLEY

PROJECT SUMMARY:

- OWNER/SUBVIDER: LAMB PARTNERS LLC, 535 MIDFIELD RD, SUITE 190, MENLO PARK, CA 94025
- MAP PREPARED BY: BKF ENGINEERS CONSULTING ENGINEERS, 1730 N. FIRST STREET, SUITE 600, SAN JOSE, CA 95110, (408) 467-9100, CONTACT: PATRICK CHAN, P.E. (LICENSE # CB3189)
- GEOTECHNICAL ENG.: CORNERSTONE EARTHGROUP, 1255 OAKMEAD PARKWAY, SUNNYVALE, CA 94085, (408) 245-4620, CONTACT: MAURA F. RUFFATTO, P.E.
- APN: 269-20-086/087/095
- GENERAL PLAN USE: COMMUNITY MIXED-USE
- EXISTING LAND USE: COMMERCIAL AND RESIDENTIAL USE
- PROPOSED LAND USE: MIXED-USE (RESIDENTIAL, MULTI-FAMILY AND COMMERCIAL, RETAIL-RESTAURANT)
- EXISTING ZONING: HT-HISTORICAL COMBINING (906 MONROE ST. AND 1341 HOMESTEAD ST., APN 269-20-095); O2-GENERAL OFFICE (930 MONROE ST., APN 269-20-087); O2-COMMUNITY COMMERCIAL (940-950 MONROE ST., APN 269-20-086);
- REZONING: PLANNED DEVELOPMENT
- NO. OF EXISTING LOTS: 3
- TOTAL ACREAGE: 0.88 ACRES (38,217-SF)
- SOIL TYPE: SILTY CLAY LOAM/SANDY LOAM
- DEPTH TO GROUNDWATER: 12-FT
- FLOOD ZONE ELEVATION: ZONE X
- NUMBER OF STORY: 1 LEVEL OF BASEMENT TOWNHOMES; 2 STORES (ABOVE GRADE) CONDOMINIUM; 6 STORES (ABOVE GRADE)
- OCCUPANCY GROUP: R-2 (5 STORES OF RESIDENTIAL, 2 STORES OF RESIDENTIAL), A-2 (GROUND LEVEL) AND S-2 (PARKING AT BASEMENT LEVEL)
- TYPE OF CONSTRUCTION: TOWNHOMES: V-A CONDOMINIUM: I-A FOR BASEMENT AND GROUND LEVEL, V-A FOR UPPER FLOORS
- AUTOMATIC FIRE SPRINKLER: YES
- PROPOSED HEIGHT: 74'-0"
- NO. OF CONDOMINIUM UNITS PROPOSED: 60 CONDOMINIUM UNITS PROPOSED
LOT 1 - 55 RESIDENTIAL CONDOMINIUM UNITS
1 CONDOMINIUM UNIT FOR ALL FLOOR COMMON AREAS
2 BASEMENT PARKING GARAGE CONDOMINIUM UNITS
3 RETAIL CONDOMINIUM UNITS
LOT 2 - (E) SINGLE FAMILY HOME
LOT 3 - (E) SINGLE FAMILY HOME

NOTES:

- THE FILING OF THIS VESTING TENTATIVE MAP IS CONCURRENT TO THE PLANNED DEVELOPMENT REZONING AND THE PLANNED DEVELOPMENT PERMIT PLN2020-14457. THOSE PLANS AND STANDARDS WILL BE INCLUDED IN THIS SUBMITTAL.
- THIS MAP PROVIDES FOR THE CREATION OF TWO SEPARATE LOTS FOR SINGLE FAMILY RESIDENTIAL AND A SINGLE, DEVELOPABLE LOT TO BE FURTHER SUBDIVIDED VIA SEPARATE RESIDENTIAL CONDOMINIUM MAP INTO 60 CONDOMINIUM UNITS.
- UTILITY DEDICATIONS: THE ON-SITE STORM DRAIN, SANITARY SEWER, AND WATER SYSTEMS WILL BE PRIVATELY MAINTAINED.
- ANY EXISTING WELL(S) ON THE SUBJECT PROPERTY: TBD.
- ANY POTENTIALLY DANGEROUS AREAS WITHIN AND ADJACENT TO THE PROPOSED SUBDIVISION AND ON LANDS IMMEDIATELY ADJACENT THERETO: NONE.
- NO EXISTING PUBLIC OR PRIVATE EASEMENTS OF UTILITY, DRAINAGE, SEWER, PARKING ACCESS AND OTHER PURPOSES.

1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95110
408-467-9100



CALIFORNIA

VESTING TENTATIVE MAP
906, 930, 940, & 950 MONROE STREET
TITLE SHEET

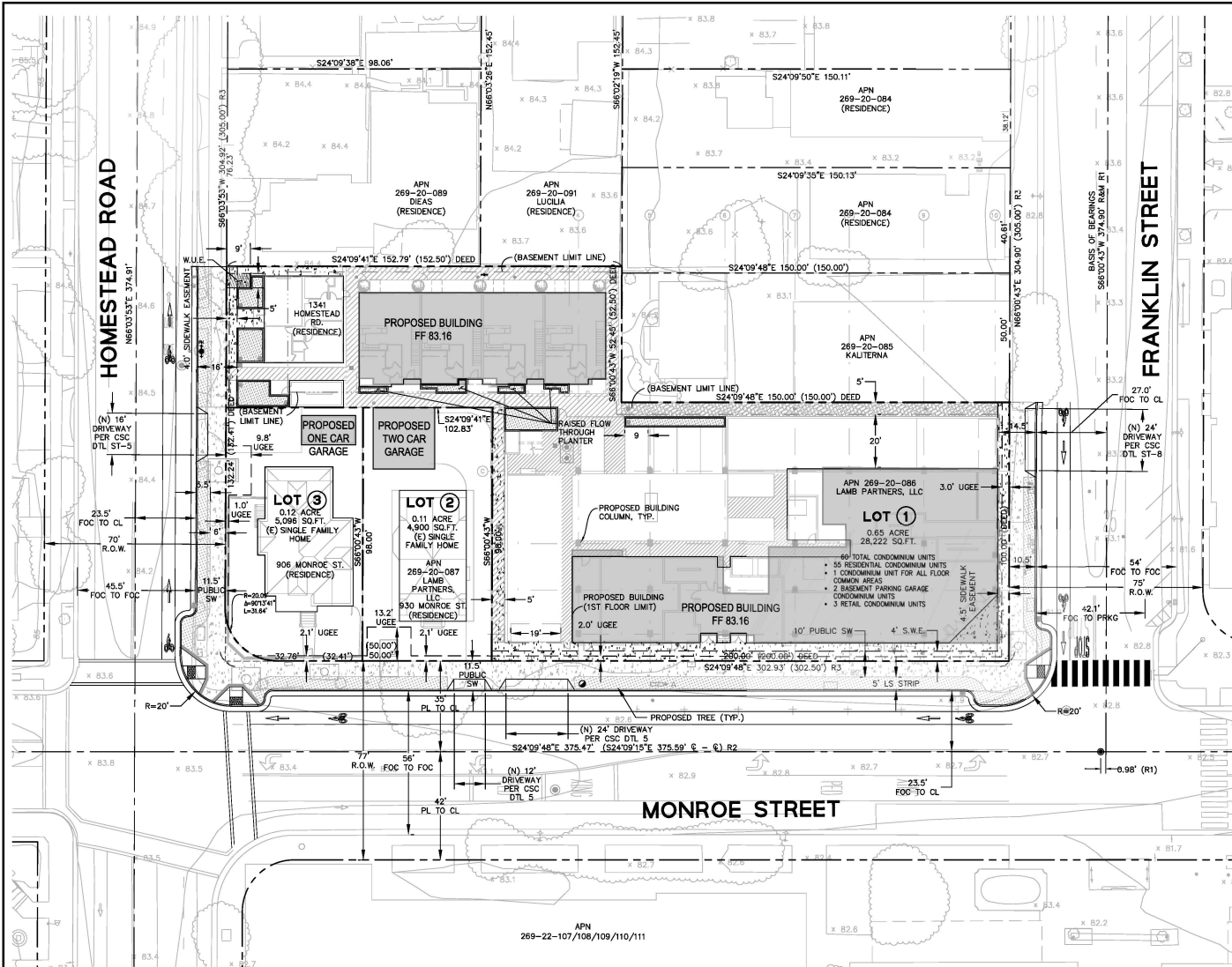
SANTA CLARA COUNTY
SANTA CLARA

CERTIFICATES & APPROVALS

No.	Revision

Date: 3/29/2023
Drawing No: TM-1
Drawing Title: Vesting Tentative Map
Author: MFC
Checked: MFC
Approved: PC
Job No: 20200003

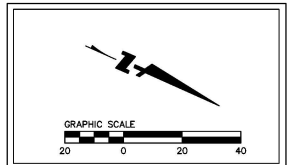
Drawing Number:
TM-1
1 of 2



LEGEND

BOUNDARY LINE	
LOT LINE	
EASIMENT LINE	
ROADWAY CENTER LINE	
BUILDING WALL LINE	
FENCE LINE	
DRIVEWAY	
SIDEWALK	
OVERHEAD LINE	
COMMUNICATION LINE	
ELECTRICAL LINE	
GAS LINE	
STORM DRAIN LINE	
SANITARY SEWER LINE	
WATER LINE	
ELEVATION	
BOLLARD	
COMMUNICATION BOX	
ELECTRIC BOX	
FIRE HYDRANT	
GAS METER	
GUY WIRE	
JOINT POLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER MANHOLE	
STORM DRAIN CATCH BASIN	
STORM DRAIN DROP INLET	
STORM DRAIN MANHOLE	
STREET LIGHT BOX	
SURVEY IRON PIPE	
TRAFFIC SIGNAL	
TRAFFIC SIGNAL MONUMENT	
UNKNOWN MANHOLE	
WATER METER	
WATER VALVE	
CONTOUR LINE	
CONCRETE SIDEWALK/PAVEMENT	
WATER UTILITY EASIMENT	
TRUNCATED DOME (AT CURB RAMP)	
DRIVEWAY	
VERTICAL CURB & GUTTER	
OVERLAND RELEASE	
GROUND ELEVATION (PER Aerial SURVEY)	
EXISTING TREE CANOPY (PER Aerial SURVEY)	

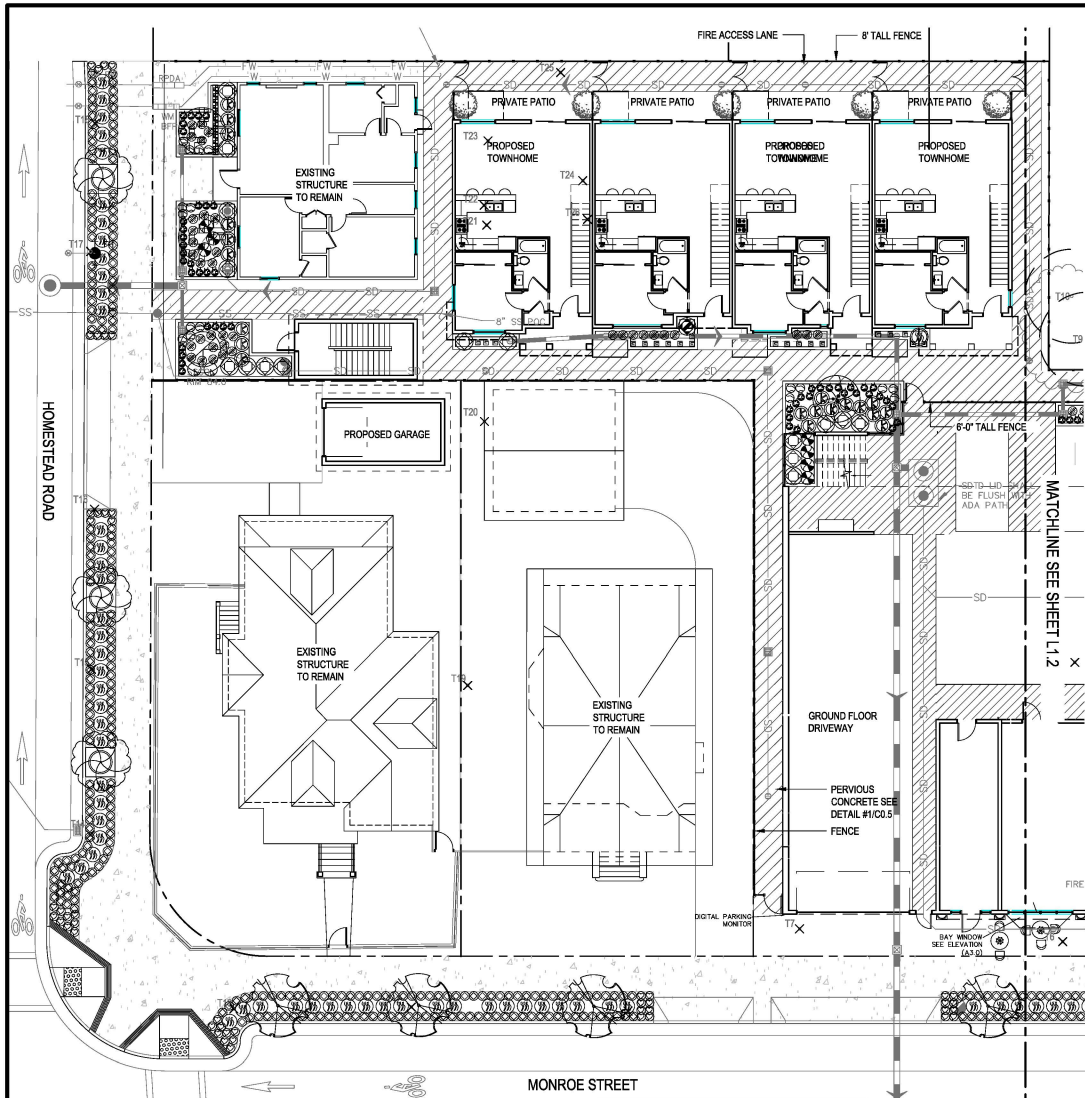
- SURVEY NOTES:**
- DATE OF FIELD SURVEY: 03-29-2020
 - ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - THE TYPES, LOCATIONS, AND SIZES OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE BASED ON AS-BUILT MAPS, GIS MAPS, AND OTHER UTILITY INFORMATION FROM DIVERSE SOURCES. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO REVEAL ALL KNOWN UNDERGROUND UTILITIES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES NOT SHOWN ON THESE DRAWINGS.



CERTIFICATES & APPROVALS

No.	Revisions
1	DATE: 3/29/2023 DRAWN BY: TM/MD CHECKED BY: JH APPROVED BY: JH JOB NO.: 20190003
2	
3	
4	
5	

Drawing Number:
TM-2
2 of 2



TREE MITIGATION						
TREE #	DIAMETER	MATURE HEIGHT	RATIO	BOTANICAL NAME	COMMON NAME	REMOVE OR RETAIN
T1	20"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T2	12"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T3	12"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T4	11"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T5	8"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T6	21"	N/A	3:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T7	20"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T8	8"	20'	N/A	DIOSPYROS KARI	PERSEIMON	RETAIN
T9	8"	15'	N/A	CITRUS SPP.	CITRUS	RETAIN
T10	8"	20'	N/A	DIOSPYROS KARI	PERSEIMON	RETAIN
T11	20"	N/A	4:1	CATALPA BIGNONIODES	COMMON CATALPA	REMOVE
T12	8", 9", 9"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T13	4", 4", 3", 3"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T14	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T15	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T16	12"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T17	11"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T18	4", 3", 3"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T19	4"	N/A	2:1	PRUNUS SPP.	PLUM	REMOVE
T20	8", 8", 7", 7"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T21	10", 9"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T22	12", 7", 5"	N/A	2:1	LIGUSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T23	8", 6"	N/A	2:1	CITRUS SPP.	CITRUS	REMOVE
T24	11"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T25	8"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T26	8"	N/A	2:1	MALUS SPP.	APPLE	REMOVE

TOTAL: ALL 21 TREES TO BE REMOVED CAN BE REMOVED WITHOUT A PERMIT

EXISTING TREES TO BE REMOVED
 EXISTING TREES TO BE RETAINED

SITE TREES				
NAME	COUNT	WUCOLS	SIZE	NOTES
AMBITUS UNICO - STANDARD	9	L	30"	
CERIFIS OCCIDENTALIS - MULTI	1	VL	24"	STANDARD - MULTI TRUNK
LAGERSTROMIA X 'MUSKOGEE'	4	L	24"	STANDARD

TOTAL: 14 - 24" BOX TREES PROVIDED.

OFF/SITE PLANTING LEGEND				
NAME	COUNT	SIZE	WUCOLS	NOTES
AGAPANTHUS 'BARY PETE'	510	1G	L	18" P.O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
FRASARIA VESCA	75	1G	M	
LOMANDRA LONGIFOLIA BREEZE	112	1G	L	

FTP PLANTING LEGEND				
NAME	COUNT	SIZE	WUCOLS	NOTES
ACHILLEA MILEFOLIUM 'LA LUNA'	80	1G	M	
CALAMAGROSTIS X ACUTIFLORA 'HARL FOERSTER'	20	1G	L	SUCULENT
CAREX DIVULSA	54	1G	L	C. TAMULICOLA, HORT.
CHONDROPETALUM 'ECTORUM 'EL CAMPO'	17	9G	M	LOW WATER ACCORDING TO L.A. EXPERIENCE
HEMEROCALLIS 'TOYON'	2	1G	M	18" P.O.C.
RIS DOUGLASSIANA	20	1G	L	
LIMONUM CALIFORNICUM	17	1G	L	
LOMANDRA LONGIFOLIA BREEZE 'S	1	9G	L	
MAHONIA AQUIFOLIUM	2	9G	L	
PENSTEMON X GLOXINIODES 'MIDNIGHT'	7	1G	L	LOW WATER ACCORDING TO L.A. EXPERIENCE
SAMBUCUS MEXICANA	1	9G	L	
SEDUM 'AUTUMN JOY'	12	18	L	

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

PLANTING
PLAN

DESIGN

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

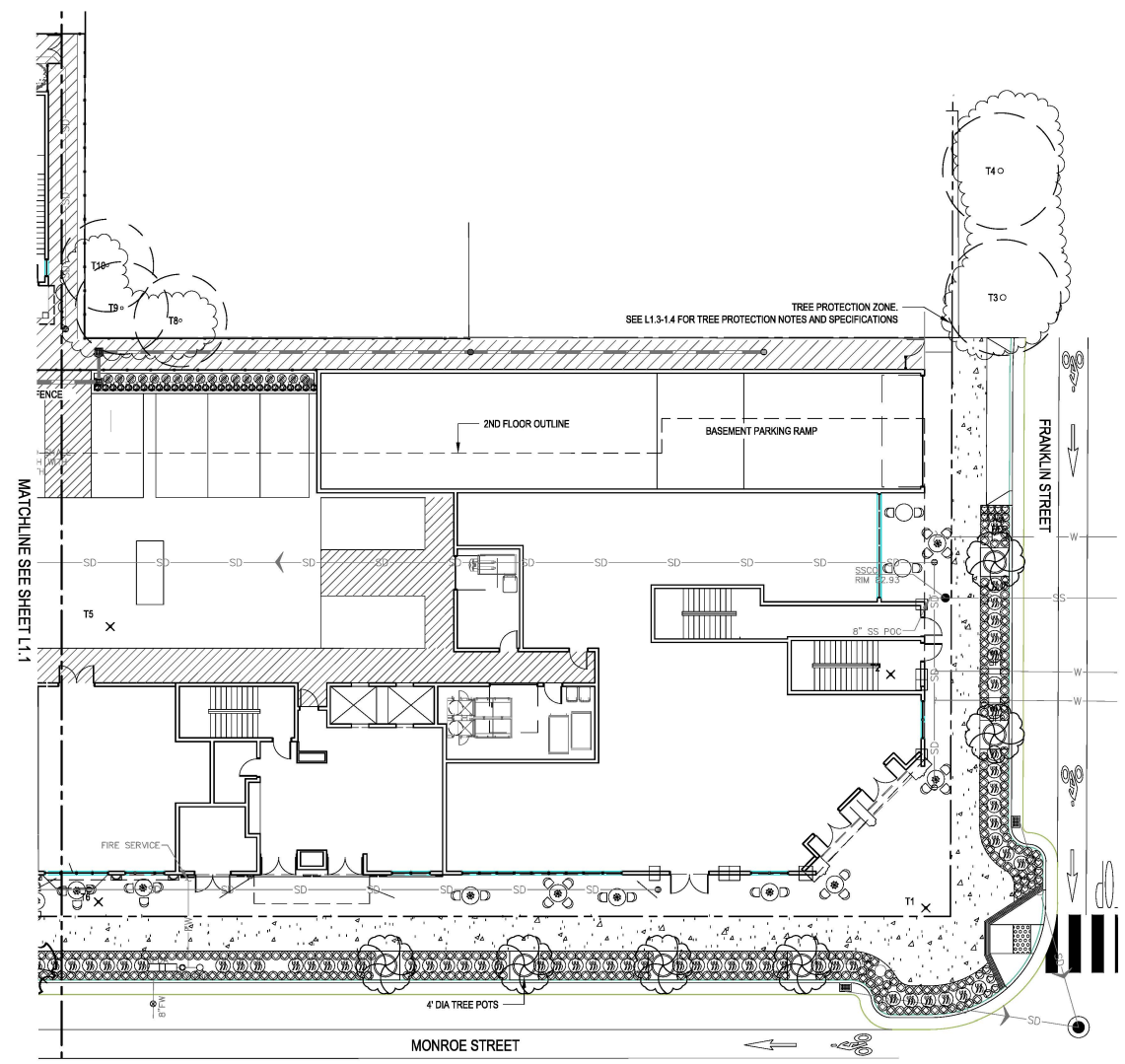
FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 06/16/2023
DESIGN BY: RJD
DRAWN BY: GEM/MO
SCALE: 1"=10'-0"

L1.1



TREE PROTECTION ZONE
SEE L1.3-1.4 FOR TREE PROTECTION NOTES AND SPECIFICATIONS

MONROE STREET

SITE TREES				
NAME	COUNT	WUCOLS	SIZE	NOTES
AMBITUS UNICO - STANDARD	9	L	30"	
CERCIS OCCIDENTALIS - MULTI	1	VL	24"	STANDARD - MULTI TRUNK
LACINIATROEAM X MAUSKODEE'	4	L	24"	STANDARD

TOTAL: 14 - 24" BOX TREES PROVIDED.

OFF-SITE PLANTING LEGEND				
NAME	COUNT	SIZE	WUCOLS	NOTES
AGAPANTHUS 'BARY PETE'	510	10	L	1/4" G.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
FRASARIA VESCA	75	10	M	
LOMANDRA LONGIFOLIA BREEZE	112	10	L	

TREE MITIGATION						
TREE #	DIAMETER	MATURE HEIGHT	RATIO	BOTANICAL NAME	COMMON NAME	REMOVE OR RETAIN
T1	20"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T2	12"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T3	12"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T4	11"	20'	N/A	PYRUS CALLERYANA	GALLERY PEAR	RETAIN
T5	8"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T6	21"	N/A	3:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T7	20"	N/A	4:1	LIQUIDAMBAR STYRACIFLUA	LIQUIDAMBAR	REMOVE
T8	8"	20'	N/A	DIOSPYROS KARK	PERSEIMON	RETAIN
T9	8"	15'	N/A	CITRUS SPP.	CITRUS	RETAIN
T10	8"	20'	N/A	DIOSPYROS KARK	PERSEIMON	RETAIN
T11	20"	N/A	4:1	CATALPA BIGNONIODES	COMMON CATALPA	REMOVE
T12	8", 8", 8"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T13	4", 4", 3", 3"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T14	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T15	4", 4", 4"	N/A	2:1	MAGNOLIA SPP.	MAGNOLIA	REMOVE
T16	12"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T17	11"	N/A	2:1	QUERCUS PALUSTRIS	PIN OAK	REMOVE
T18	4", 3", 3"	N/A	2:1	PRUNUS CERASIFERA	PURPLE LEAF PLUM	REMOVE
T19	4"	N/A	2:1	PRUNUS SPP.	PLUM	REMOVE
T20	8", 8", 7", 7"	N/A	2:1	LIGULSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T21	10", 9"	N/A	2:1	LIGULSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T22	12", 7", 5"	N/A	2:1	LIGULSTRUM JAPONICUM	GLOSSY PRIVET	REMOVE
T23	8", 6"	N/A	2:1	CITRUS SPP.	CITRUS	REMOVE
T24	11"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
T25	8"	N/A	2:1	SYAGRUS ROMANZOFFIANA	QUEEN PALM	REMOVE
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TOTAL: ALL 21 TREES TO BE REMOVED CAN BE REMOVED WITHOUT A PERMIT

T1 X EXISTING TREE TO BE REMOVED
T1 O EXISTING TREE TO BE RETAINED

FTP PLANTING LEGEND				
NAME	COUNT	SIZE	WUCOLS	NOTES
ACHILLEA MILEFOLIUM 'LA LINA'	80	10	M	
CALAMAGROSTIS X ACUTIFLORA 'KARL FOHRSTER'	20	10	L	SUGGULENT
CAREX DIVULSA	54	10	L	C. TUMMUCOLA HORT.
CHONDROPETALUM 'ECTORIUM 'EL CAMPO'	17	60	M	LOW WATER ACCORDING TO L.A. EXPERIENCE
HEMERICALIS 'TOYON'	2	10	M	18" G.C.
RIS DOUGLASSIANA	20	10	L	
LIMNODON CALIFORNICUM	17	10	L	
LOMANDRA LONGIFOLIA 'BREEZE' S	1	95	L	
MAHONIA AQUIFOLIUM	2	90	L	
PENSTEMON X GLODINIODES 'MIDNIGHT'	7	10	L	LOW WATER ACCORDING TO L.A. EXPERIENCE
SAMBUCUS MEXICANA	1	95	L	
SEDUM 'AUTUMN JOY'	12	16	L	

SANTA CLARA
DOWNTOWN
906,930,940; 950 MONROE ST
SANTA CLARA, CA 95050

PLANTING
PLAN

DESIGN

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BEN LOMOND, CA 95005
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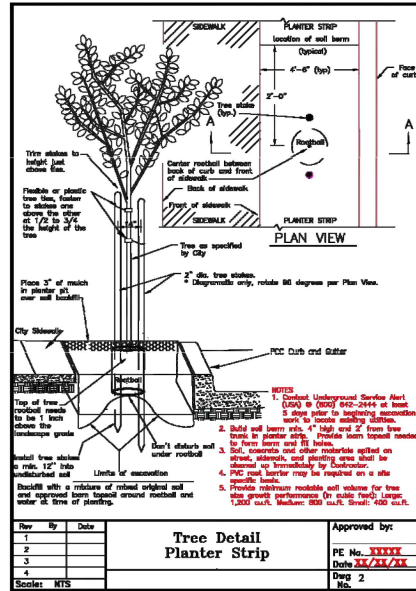
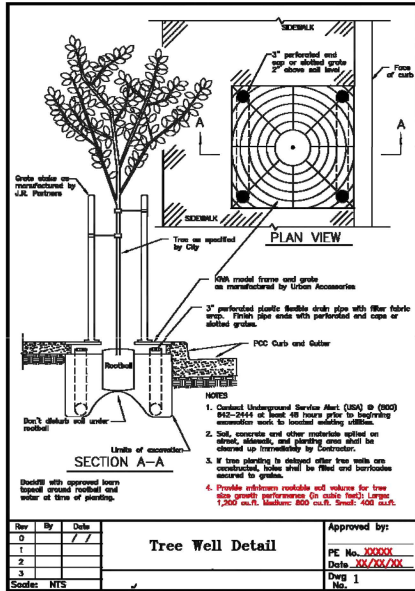
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DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 06/16/2023
DESIGN BY: RJD
DRAWN BY: GEM/MO
SCALE: 1"=10'-0"

L1.2



CITY OF SANTA CLARA ARBORIST NOTES

- I. GENERAL**
- No cutting of any part of city trees, including roots, shall be done without securing approval and direct supervision from the city arborist or arborist employed by city (408-815-3080).
 - No cutting of any part of private trees, including roots, shall be done without direct supervision of an International Society of Arboriculture (ISA) certified arborist.
 - When construction occurs within the drip line of existing trees, contractor shall pile the soil on the side away from the tree. When this is not possible, place soil on plywood, tarp, or 4" of thick bed of mulch. This is to help prevent cutting into the soil surface when the backhoe or tractor blade refills the trench.
 - Refill open trenches quickly within hours of excavation when they occur within the drip line of existing trees. If this is not possible and the weather is hot, dry, or windy, contractor must keep root ends moist by covering them with wet burlap. If the temperature is 80°F or greater, the burlap must be inspected every hour and re-wet as necessary to maintain a constant cool moist condition. If the temperature is below 80°F, the burlap must be inspected every four hours and re-wet as necessary to maintain a constant cool moist condition. Small roots can dry out and die in 10-15 minutes. Larger roots can succumb in an hour or less under unfavorable weather conditions.
 - When roots 2" or larger are required to be cut, shored by hand near the roots and pruned the roots with an industry approved pruning tool. Roots that are accidentally broken should be pruned two inches from the damaged end. Curved or torn roots are more likely to allow decay to begin. Sharply cut roots produce a flush of new roots helping the tree to recover from its injury.
 - Contractor shall notify the city arborist or arborist employed by city 72 hours in advance of any work requiring digging around or within the drip line of existing trees.
 - A clear system of flagging must be provided around trees within 80' of the proposed grading. Contractor shall secure approval of each system from the city arborist or arborist employed by city.
 - Materials, equipment, temporary buildings, signs, paints and other construction items shall not be placed within the drip line of existing trees.



CITY OF SANTA CLARA ARBORIST NOTES

- Fences all trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fencing shall be placed at the drip line of existing trees or, if possible, 1.5 times the radius of the drip line from the trunk of the tree. A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 8.5" x 11" and clearly state "Warning - tree protection zone this fence shall not be removed without approval from the city arborist/project arborist". Fences shall be 6-foot tall chain link or equivalent, as approved by the city arborist or arborist employed by city. Fences shall remain until all grading and construction work is completed. In addition, wrap all trees with straw waddle up to the first main branch, and then wrap snow fencing around the waddle on all trees in the construction zone to protect them from bark damage caused by the work.
- No trenching shall be done within the drip line of existing trees without the approval of the city arborist or arborist employed by city. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside the drip line of the tree involved. Exceptions may be allowed if, in the opinion of the city arborist or arborist employed by city, the impact of trenching on the tree will be negligible.
- Any cutting of existing roots of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. Any cutting of existing roots of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist.
- Grubbing should not create drainage problems for trees by channeling water into them, or creating such areas.
- All grading within the drip line of city trees shall be done with approved light equipment under the direct supervision of the city arborist or arborist employed by city. All grading within the drip line of private trees shall be done with approved equipment under the direct supervision of an ISA certified arborist. The original grade at the base of existing trees shall not be modified. If a grade increase is necessary, city walls should be used.
- When trenching is allowed, the contractor must first cut roots with a vernier root cutter prior to any trenching to avoid tearing or peeling of roots.
- Trees that are determined to be removed by the city arborist or arborist employed by city due to an unforeseen circumstance during construction shall be replaced by the



CITY OF SANTA CLARA ARBORIST NOTES

- contractor. The city arborist or arborist employed by city shall determine the replacement species, size, quantity, and spacing.
- Phase 4" x 4" thick mulch around all existing trees (out to their drip line) that are to be retained prior to any construction. This will help maintain moisture under the tree within the fencing area.
 - Bore pits are not allowed within the drip line of any tree.

II. BORING

Where there is insufficient space to bypass the drip line by trenching adjacent to all existing trees in excess of 8" DBH, the installation must be made by boring. The beginning and ending distance of the bore from the face of the tree in any direction is determined by the diameter of the bore from the face of the tree in any direction:

When the tree diameter at 4-ft is:	Boring will be replaced by boring at this minimum distance from the face of the tree in any direction:
0-3 inches	1 foot
3-4 inches	2 feet
4-9 inches	3 feet
10-14 inches	5 feet
15-19 inches	12 feet
over 19 inches	15 feet

Tree diameter	(minimum) depth of bore
8 inches or less	2.5 feet
10-14 inches	3.0 feet
15-19 inches	3.5 feet
20 inches or more	4.0 feet

III. TREE PROTECTION

- Contractor shall tag and identify existing trees which are to remain within the project limits and on the public right-of-way prior to start of work. Protect all tagged trees at all times from damage by the work. Protection of all minor damage to tagged trees shall be performed by an ISA certified arborist or other personnel approved by the city arborist or arborist employed by city. If a tagged tree is permanently



CITY OF SANTA CLARA ARBORIST NOTES

- Contractor shall pay the tree owner the value of existing trees to remain that died or were damaged because of the contractor's failure to provide adequate protection and maintenance. The payment amount shall be in accordance with the following schedule of values, using "tree calliper" method established in the most recent issue of the "guide for establishing values of trees and other plants", prepared by the council of tree and landscape architects.

7 inches	\$ 2,400
8 inches	\$ 3,400
9 inches	\$ 4,400
10 inches	\$ 5,200
11 inches	\$ 6,200
12 inches	\$ 7,200
13 inches	\$ 8,200
14 inches	\$ 9,200
15 inches	\$ 10,000
16 inches	\$ 11,000
17 inches	\$ 12,000
18 inches and over: Add for each calliper inch	\$ 1,200

SANTA CLARA
DOWNTOWN
906,930,940,950 MONROE ST
SANTA CLARA, CA 95050

ARBORIST NOTES
+
WIRE WALL TRELLIS

DESIGN

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 06/16/2023
DESIGN BY: RJD
DRAWN BY: GEM,MO
SCALE: NTS

L1.3

Appendix H - TREE PROTECTION GUIDELINES AND RESTRICTIONS

Protecting Trees During Construction:

- 1) Before the start of site work, equipment or materials move in, clearing, excavation, construction, or other work on the site, every tree to be retained shall be accurately fenced, of as delineated in approved plans. Such fences shall remain continuously in place for the duration of the work undertaken in connection with the development.
- 2) If the proposed development, including any site work, will encroach upon the tree protection zone, special measures shall be utilized, as approved by the project arborist, to allow the roots to obtain necessary oxygen, water, and nutrients.
- 3) Underground trenching shall avoid the major support and absorbing tree roots of protected trees. If avoidance is impractical, hand excavation undertaken under the supervision of the project arborist may be required. Trenches shall be consolidated as often as many wells as possible. Boring/tunneling under roots should be considered as an alternative to trenching.
- 4) Concrete or asphalt paving shall not be placed over the root zones of protected trees, unless otherwise permitted by the project arborist.
- 5) Artificial irrigation shall not occur within the root zone of native oaks, unless deemed appropriate on a temporary basis by the project arborist to improve tree vigor or mitigate root loss.
- 6) Compaction of the soil within the tree protection zone shall be avoided.
- 7) Any excavation, cutting, or filling of the existing ground surface within the tree protection zone shall be minimized and subject to such conditions as the project arborist may impose. Retaining walls shall likewise be designed, sited, and constructed to minimize their impact on protected trees.
- 8) Burning or use of equipment with an open flame near or within the tree protection zone shall be avoided. All brush, earth, and other debris shall be removed in a manner that prevents injury to the tree.
- 9) Oil, gas, chemicals, paints, cement, sludge or other substances that may be harmful to trees shall not be stored or dumped within the tree protection zone of any protected tree, or at any other location on the site from which such substances might enter the tree protection zone of a protected tree.
- 10) Construction materials shall not be stored within the tree protection zone of a protected tree.

Project Arborist Duties and Inspection Schedule:

The project arborist is the person(s) responsible for carrying out technical tree inspections, assessment of tree health, structure and risk, arborist report preparation, consultation with designers and municipal planners, specifying tree protection measures, monitoring, progress reports and final inspection.

A qualified project arborist (or firm) should be designated and assigned to facilitate and insure tree preservation practices. Habitat/way should perform the following inspection:

Inspection of site: Prior to equipment and materials move in, site work, demolition, landscape construction and tree removal. The project arborist will meet with the general contractor, architect/engineer, and owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

Inspection of site: During excavation or any activities that could affect trees. Inspect site during any activity within the Tree Protection Zones of preserved trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.

Final Inspection of Site: Inspection of site following completion of construction. Inspect for tree health and make any necessary recommendations. Kurt Fouca shall be the Project Arborist for this project. All scheduled inspections shall include a brief Tree Monitoring report, documenting activities and provided to the City Arborist.

Tree Protection Fencing

Tree Protection fencing shall be installed prior to the arrival of construction equipment or materials. Fence shall be comprised of six-foot chain link fence mounted on eight-foot tall, 1 and 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced on a minimum of 10-foot centers. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

A final inspection by the City Arborist at the end of the project will be required prior to removing any tree protection fencing.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, hand saw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond either roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Tree Work Standards and Qualifications

All tree work, removal, pruning, planting, shall be performed using industry standards of workmanship as established in the Best Management Practices of the International Society of Arboriculture (ISA) and the American National Standards Institute series, Safety Requirements in Arboriculture Operations ANSI Z133-2017.

Contractor licensing and insurance coverage shall be verified.

During tree removal and clearance, sections of the Tree Protection Fencing may need to be temporarily dismantled to complete removal and pruning specifications. After each section is completed, the fencing is to be re-installed.

Trees to be removed shall be cut into smaller manageable pieces consistent with safe arboricultural practices, and carefully removed so as not to damage any remaining trees or structures. The trees shall be cut down as close to grade as possible. Tree removal is to be performed by a qualified contractor with valid City Business/State Licenses and General Liability and Workmen's Compensation Insurance.

SANTA CLARA
DOWNTOWN
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SANTA CLARA, CA 95050

ARBORIST NOTES

DESIGN

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FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



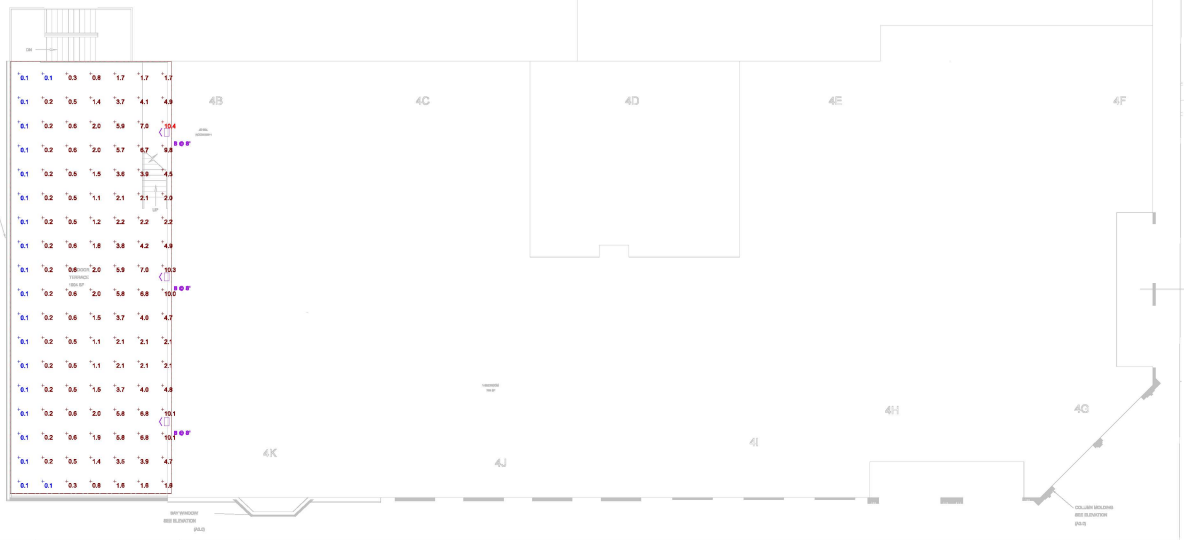
REVISED: 06/16/2023
DESIGN BY: RJD
DRAWN BY: GEM,MO
SCALE: NTS

L1.4

CONDOMINIUM
ONE BEDROOM 3
TWO BEDROOM 7
TOTAL 10

HOMESTEAD

NEW 9-04H GARAGE



MONROE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Fifth Floor Terrace	+	2.3 fc	10.8 fc	0.0 fc	N/A	N/A
Ground All	+	0.8 fc	20.3 fc	0.0 fc	N/A	N/A
Neighbours property floor	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Parking and Ramp West Floor	+	3.1 fc	19.6 fc	0.3 fc	65.3:1	10.3:1
Private Patio walkway floor	+	3.1 fc	6.5 fc	0.4 fc	16.3:1	7.8:1
Sidewalk floor	+	3.4 fc	6.5 fc	0.4 fc	16.3:1	8.5:1
Walkalong Homestead floor	+	1.5 fc	4.8 fc	0.1 fc	48.0:1	15.0:1
Walkalong Monroe Floor	+	3.5 fc	18.3 fc	0.1 fc	183.0:1	35.0:1
Walkway along Franklin	+	3.6 fc	7.0 fc	0.3 fc	23.3:1	12.0:1
4th Floor Terrace floor	+	2.3 fc	10.4 fc	0.1 fc	104.0:1	23.0:1

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
⊗	A	17	Lithonia Lighting	WDOG2 LED P3 30K 80CRI VF	WDOG2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		3015	0.85	22.55
⊕	B	6	Lithonia Lighting	WDOG2 LED P2 30K 80CRI VW	WDOG2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1997	0.85	14.53
⊖	B1	7	Lithonia Lighting	WDOG2 LED P1 30K 80CRI VV	WDOG2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1241	0.85	9.81
⊙	C	0	Lithonia Lighting	WDOG2 LED P2 30K 80CRI VF	WDOG2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1947	0.85	14.53
⊖	D	0	TARGETTI	Bullette LARGE FL 20 degree 3000K Ra84 12W	BLTRPFEL2FL30	LED-WW-10.4W_-	1148	0.85	12
⊖	D	0	TARGETTI	Bullette LARGE MFL 30 degree 3000K Ra84 12W	BLTRPFEL2MFL30	LED-WW-10.4W_-	1148	0.85	12
⊖	D	0	TARGETTI	Bullette LARGE WFL 3000K Ra84	BLTRPFEL2WFL30	LED-WW-10.4W_-	1148	0.85	12
⊖	E	0	TARGETTI	Targetti Steplight ZEPL0FWDPEL330	ZEDGE PRO DEEP 13W 3K FE	LED-WW-13W_-	2088	0.85	15
⊖	E	0	TARGETTI	Targetti Steplight ZEPL0FWDPEL330	ZEDGE PRO WIDE 13W 3K FE	LED-WW-13W_-	2088	0.85	15
⊕	F	0	ERCO GmbH	34743023_V03	Lightmark Bollard luminaire	LED 6W warm white	333	0.85	8
⊙	F	3	Gotham Architectural Lighting	EVO4SH 30/15 DFF SMO	EVO 4IN SHOWER, 80 CRI, 3000K, 1500LM, FLUSH CLEAR		1281	0.85	13.7
⊖	G	16	TARGETTI	MR B 41 40 18 12 40 (finish) 100_1KLED-NW-17W_	MR B0 Bollard, 40" Version 160 17W 40K 180 FE	LED-NW-17W_-	2806	0.85	19

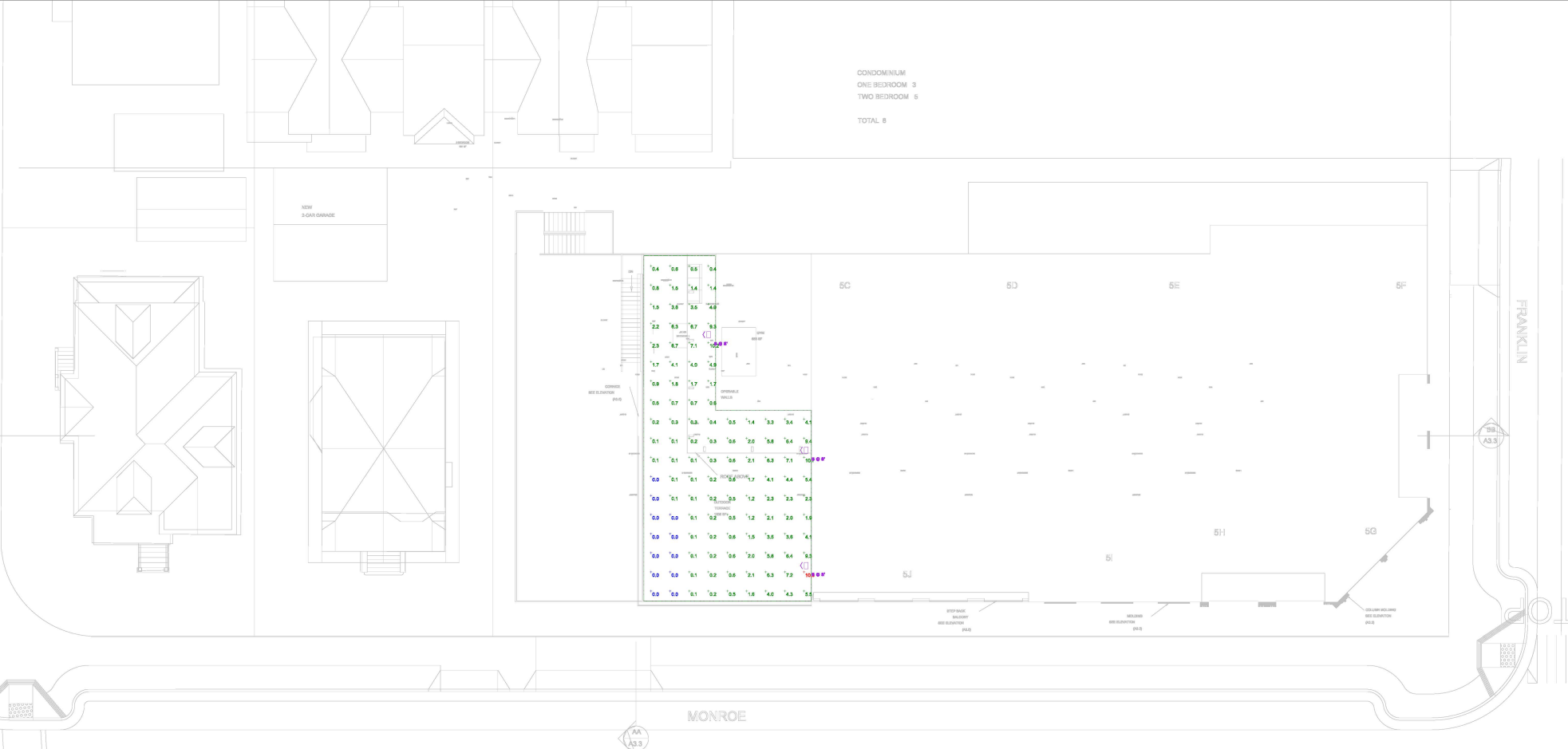
Ceiling Height: Varies
Luminaire Mounting Height: As noted
Calculation Point Height: As noted

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16500 Lighting Inc. is not responsible for the accuracy of the data provided in this report. The user is responsible for verifying the accuracy of the data provided in this report. The user is responsible for verifying the accuracy of the data provided in this report. The user is responsible for verifying the accuracy of the data provided in this report.



Project: Santa Clara Downtown, Monroe Street I
PC#20-14810
Client: Salvatore Caruso Design Corporation



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	D	0	TARGETTI	Bullette LARGE FL 20 degree 3000K Ra84 12W	BLTRPFEL2FL30	LED-WW-10.4W_-	1148	0.85	12
	D	0	TARGETTI	Bullette LARGE WFL 30 degree 3000K Ra84 12W	BLTRPFEL2MF30	LED-WW-10.4W_-	1148	0.85	12
	D	0	TARGETTI	Bullette LARGE WFL 3000K Ra84	BLTRPFEL2WF30	LED-WW-10.4W_-	1148	0.85	12
	E	0	TARGETTI	Targetti Steplight ZEP10FWDFEL330	ZEDGE PRO DEEP 13W 3K FE	LED-WW-13W_-	2088	0.85	15
	E	0	TARGETTI	Targetti Steplight ZEP10FWDFEL330	ZEDGE PRO WIDE 13W 3K FE	LED-WW-13W_-	2088	0.85	15
	F	0	ERCO GmbH	34743023_V03	Lightmark Bollard luminaire	LED 6W warm white	333	0.85	8
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	G	16	TARGETTI	MIB 8 41 40 18 L2 40 (Finic) 40K 1XLED-WW-17W_-	MIB 80 Bollard, 40" Version 160 17W 40K 180 FC	LED-MW-17W_-	2806	0.85	19

THE USER SHALL VERIFY ALL TECHNICAL SPECIFICATIONS AND REQUIREMENTS FOR ALL PRODUCTS AND MATERIALS TO BE USED IN THIS PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

Celling Height: Varies
Luminaire Mounting Height: As noted
Calculation Point Height: As noted

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 SBROWN@TRASHMANAGEMENT.COM

CONSULTANT

SALVATORE CARUSO

ARCHITECT

LAMB PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

MONROE STREET

PROJECT

STAGING DETAILS
 RESIDENTIAL & COMMERCIAL

DRAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN CM	TR0.3
APPROVED SB	
DATE 11/05/21	
SCALE 1/32"=1'-0"	

- GENERAL NOTES.**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
 - ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.
- PLAN CHECK NOTES.**
- MANAGEMENT STAFF SHALL PROVIDE DESIGNATED RECYCLING RECEPTACLE IN MAIL ROOM FOR RESIDENTIAL DISPOSAL OF UNWANTED MAIL, AS WELL AS A DESIGNATED WASTE RECEPTACLE FOR BATTERIES, PAINT, FLUORESCENT BULBS, OR ANY OTHER HAZARDOUS MATERIAL BANNED FROM LANDFILL THAT REQUIRES SPECIAL HANDLING.
 - MANAGEMENT STAFF SHALL PROVIDE SIGNAGE IN ALL TRASH VESTIBULES THAT EXPLICITLY DETAILS PROPER DISPOSAL OF WASTE, RECYCLING, AND COMPOST.

LEGEND:

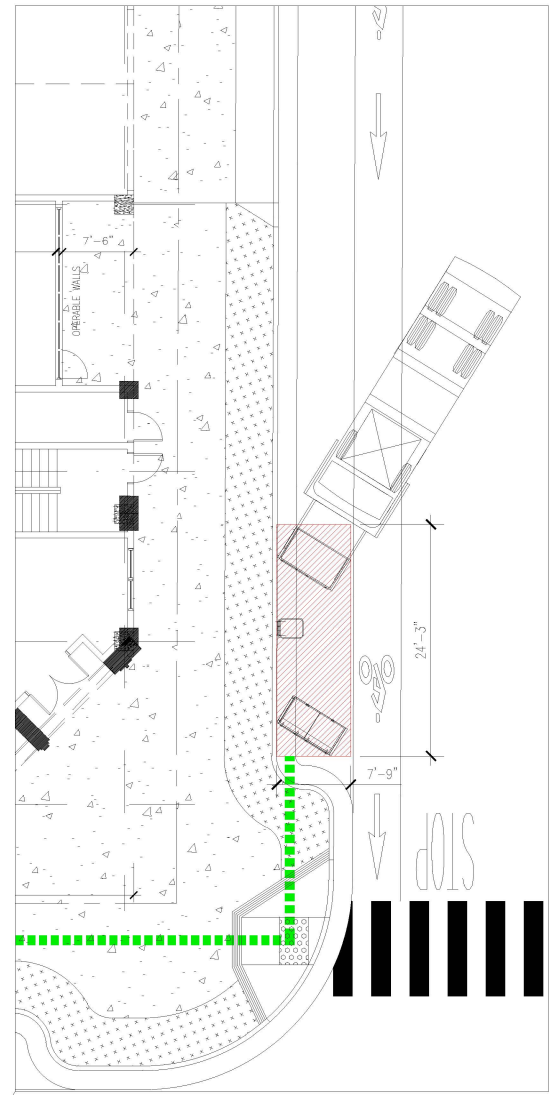
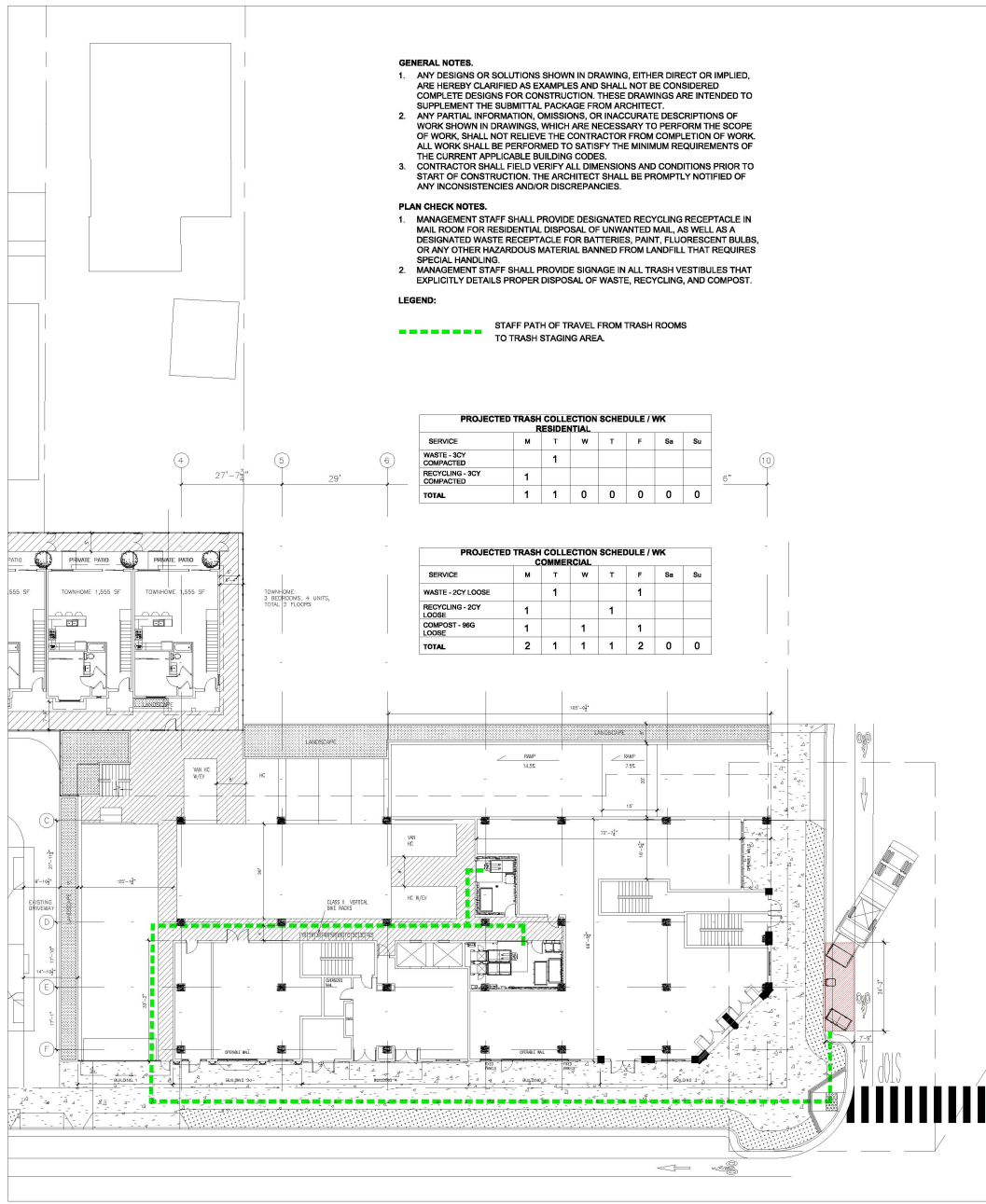
----- STAFF PATH OF TRAVEL FROM TRASH ROOMS TO TRASH STAGING AREA.

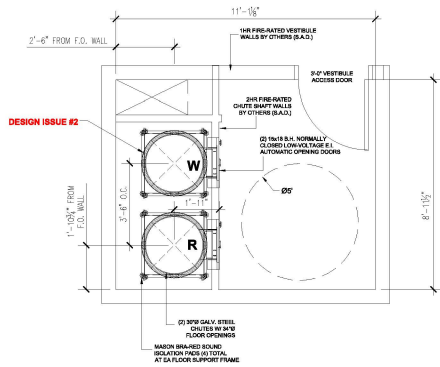
**PROJECTED TRASH COLLECTION SCHEDULE / WK
 RESIDENTIAL**

SERVICE	M	T	W	T	F	Sa	Su
WASTE - 3CY COMPACTED	1						
RECYCLING - 3CY COMPACTED	1						
TOTAL	1	1	0	0	0	0	0

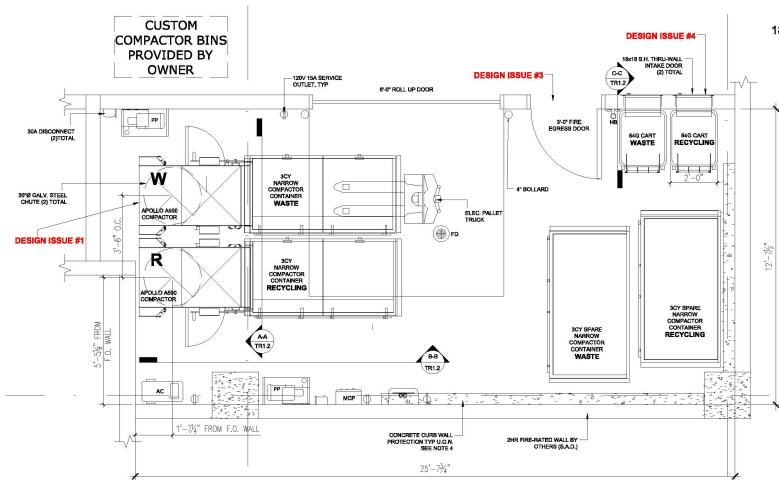
**PROJECTED TRASH COLLECTION SCHEDULE / WK
 COMMERCIAL**

SERVICE	M	T	W	T	F	Sa	Su
WASTE - 2CY LOOSE		1			1		
RECYCLING - 2CY LOOSE	1			1			
COMPOST - 96G LOOSE	1		1		1		
TOTAL	2	1	1	1	2	0	0





CHUTE VESTIBULE
TYPICAL AT LEVEL 2-6



RESIDENTIAL TRASH COLLECTION ROOM
LEVEL 1

SHEET NOTES.

RESIDENTIAL TRASH ROOM - LEVEL 1:

- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 11-1/4"x6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTOR OR POWER PACKS.
- 8'-0" WIDE ROLL-UP DOOR, AND 3'-0" WIDE NFPA COMPLIANT FIRE EGRESS DOOR.
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2019 CBC.
- (1) 30"Ø #304 S.S. GRAVITY CHUTE WITH COMPACTOR FOR WASTE. PROVIDE CUSTOM 3CY FL NARROW COMPACTOR CONTAINERS FOR WASTE.
- (1) 30"Ø GALVANNEAL STEEL GRAVITY CHUTE WITH COMPACTOR FOR RECYCLING. PROVIDE 3CY FL NARROW COMPACTOR CONTAINER FOR RECYCLING.
- CHUTES SHALL TERMINATE AT 5'-9" AFF.
- THRU-WALL INTAKE FOR RESIDENTIAL TRASH AT LEVEL 1. PROVIDE (2) 18"x18 SIDE HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING DOORS. SEE DETAIL 1/TR2.0.
- PP: COMPACTOR POWER PACKS SHALL BE FLOOR-MOUNTED. (1) 5HP 3-PHASE, 208/230/460V. 30A DISCONNECT 60" AFF.
- MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
- AC: 2HP CHUTE AIR COMPRESSOR SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY. TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.
- CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165° F FUSIBLE LINK.
- (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

CHUTE INTAKE VESTIBULES - LEVELS 2-6:

- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR; 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 2/TR2.0. MANAGEMENT SHALL PROVIDE 23-GALLON RUBBERMAID SLIM JIM CONTAINER AT EACH VESTIBULE FOR COMPOST COLLECTION AND DISPOSAL INTO WASTE COMPACTOR.
- CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
- PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/TR2.0 FOR ANCHORING AND MASON BRA-RED SOUND ISOLATION PAD ASSEMBLY. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

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- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

DESIGN ISSUES:

- COMPACTORS MOVED IN ORDER TO MAKE BETTER USE OF TRASH ROOM AREA.
- CHUTES MOVED TO MATCH NEW COMPACTOR LOCATION.
- 8'-0" ROLL-UP DOOR AND 3'-0" EXIT DOOR RELOCATED.
- THRU-WALL INTAKE DOORS AND CARTS MOVED OVER PAGE RIGHT.

PROJECTED TRASH COLLECTION SCHEDULE / WK
RESIDENTIAL

SERVICE	M	T	W	T	F	Sa	Su
WASTE - 3CY COMPACTED		1					
RECYCLING - 3CY COMPACTED	1						
TOTAL	1	1	0	0	0	0	0

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SBROWN@TRASHMANAGE.COM

CONSULTANT

SALVATORE CARUSO

ARCHITECT

LAMB PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

MONROE STREET

PROJECT

RESIDENTIAL TRASH ROOM PLAN

DRAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN CM	TR1.0
APPROVED SB	
DATE 11/05/21	
SCALE 3/16" = 1'-0"	

CONSULTANT

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ARCHITECT

LAMB PARTNERS

OWNER / DEVELOPER

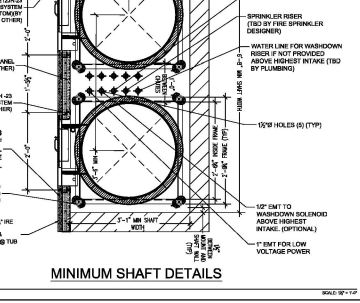
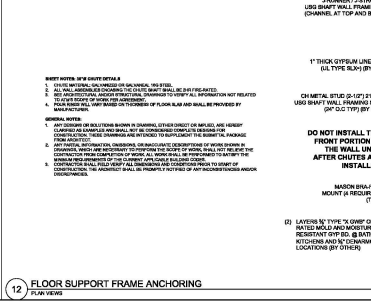
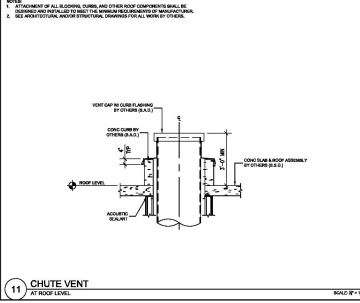
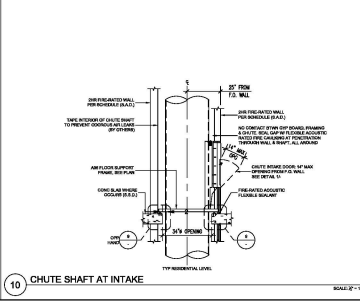
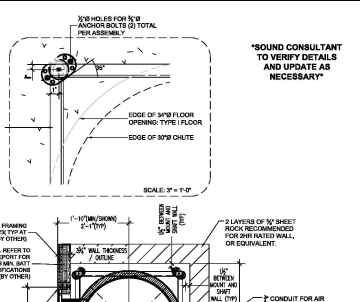
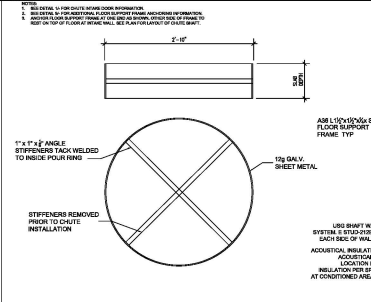
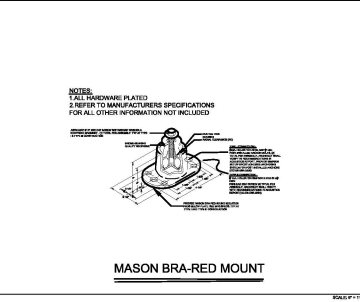
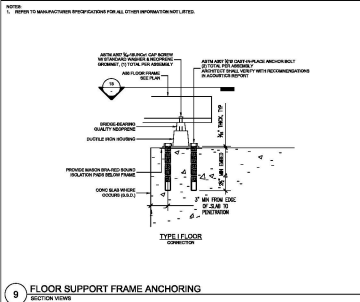
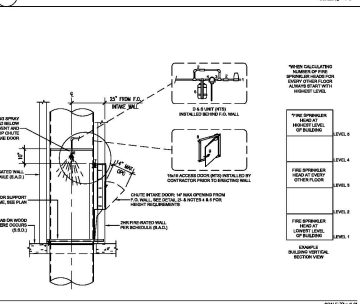
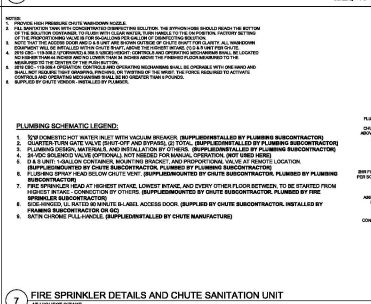
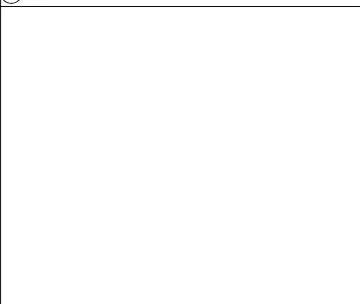
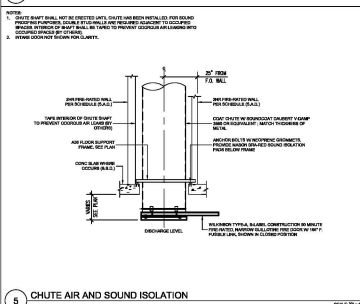
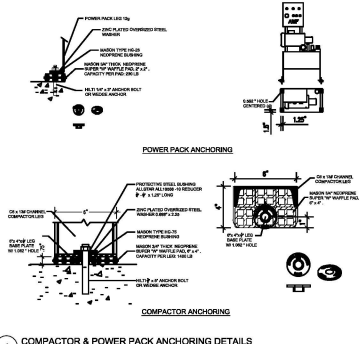
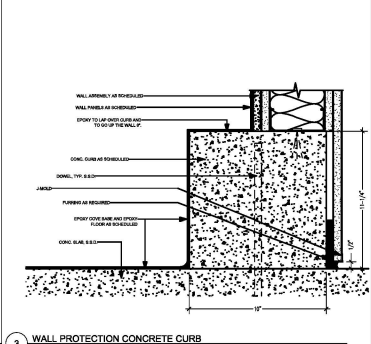
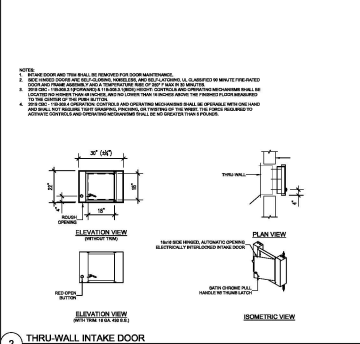
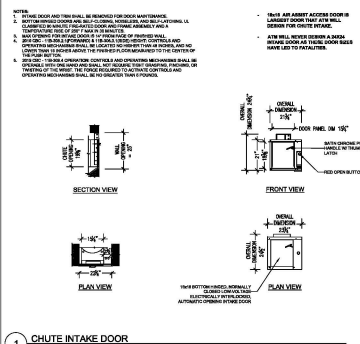
NO.	DATE	ISSUE / REVISION	ISSUED BY

MONROE STREET

PROJECT

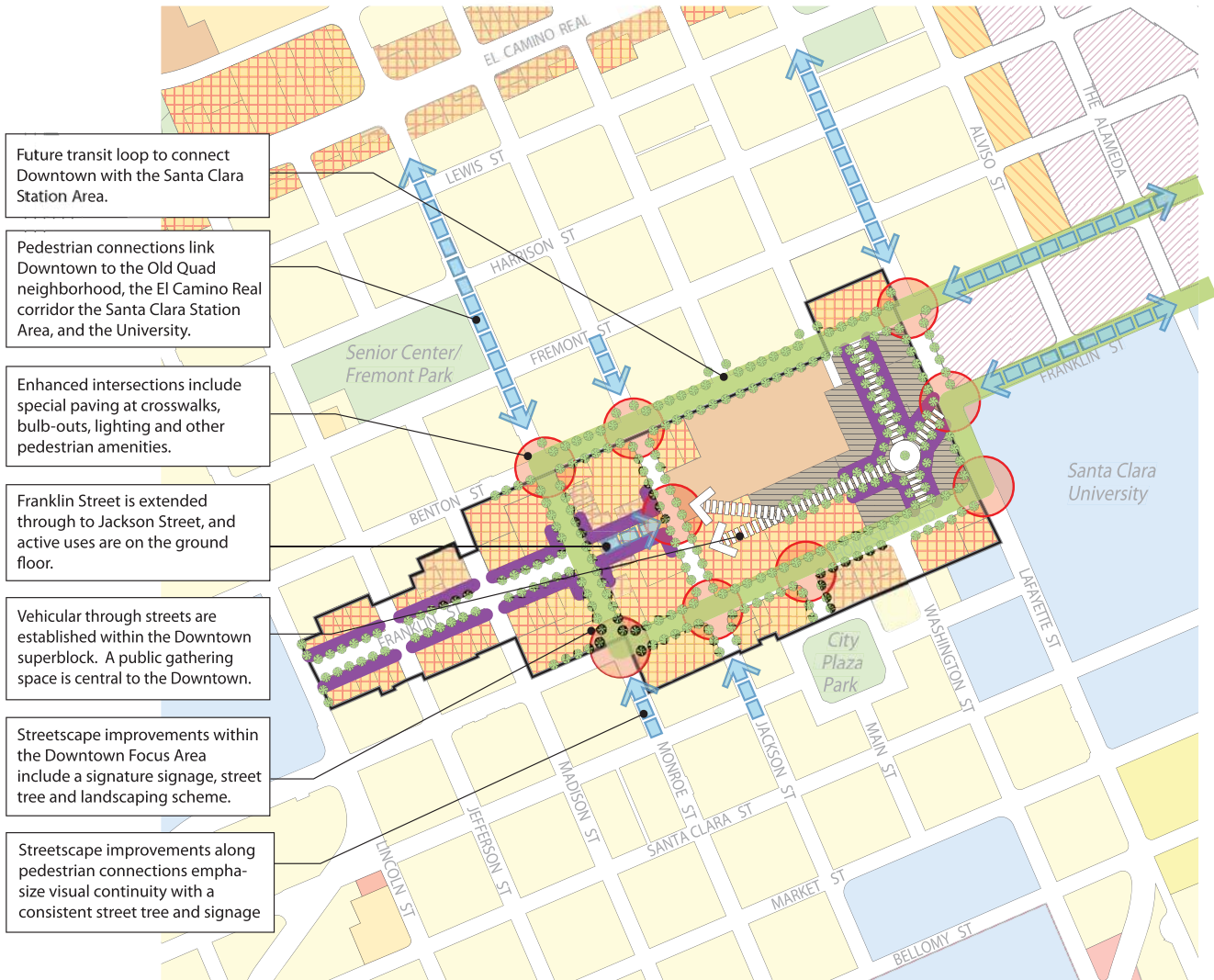
30"Ø CHUTE DETAILS

DRAWING TITLE		DRAWING NO.	
PROJECT NO.	CM	TR2.0	
DRAWN	SB	DATE 11/05/21	
APPROVED		SCALE AS SHOWN	





**Figure 5.4-3
Downtown Focus Area**



Legend

Land Uses Within the Focus Area

- High Density Residential
- Community Mixed Use
- Downtown Core

Urban Design Features

- Focus Area Boundary
- Potential Street
- Pedestrian Connection
- Pedestrian Orientation/Active Street Frontage
- Enhanced Intersection
- Transition Zone
- Signature Streetscape
- Downtown / BART Transit Loop

