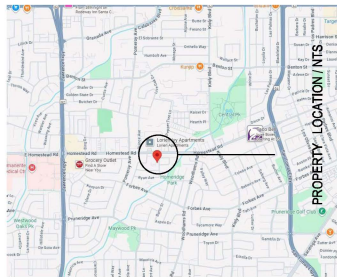


754 Ridge Road, RESIDENCE

SANTA CLARA, CA 95051

- * FIRE SPRINKLERS UNDER SEPARATE PERMIT
- * 2.92 kWdX DC PV SYSTEM REQUIRED.
- * EV CHARGER SEPARATE PERMIT

VICINITY MAP:



PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 293-11-005
 PROJECT TYPE: NEW RESIDENTIAL HOUSE
 PROJECT LOCATION: 754 RIDGE ROAD, SANTA CLARA, CA 95051
 ZONING: R1-SL
 OCCUPANCY GROUP: R-3 / U
 CONSTRUCTION TYPE: V-B
 NUMBER OF FLOORS: 1
 FIRE PROTECTION: HOUSE & ADU FIRE SPRINKLERS UNDER SEPARATE PERMIT
 BEDROOM NUMBER: MAIN HOUSE 3 BEDROOMS
 BATHROOM NUMBER: ADU 2
 GARAGE: MAIN HOUSE 2 FULL BATHROOMS
 LOT SIZE: 6700 SQ.FT
 FLOOR AREA RATIO: 40 % (NOT INCLUDING ADU)
 SF OF COMMON LIVING SPACE: 2229 HABITABLE MAIN HOUSE
 ADU HABITABLE SPACE: 1000 HABITABLE ATTACHED ADU
 OPEN LANDSCAPE AREA: 3500 SQ.FT
 EXISTING BUILDING YEAR: 1995

CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL	2025 EDITION
B. CALIFORNIA BUILDING	2025 EDITION
C. CALIFORNIA GREEN BUILDING	2025 EDITION
D. CALIFORNIA MECHANICAL	2025 EDITION
E. CALIFORNIA PLUMBING	2025 EDITION
F. CALIFORNIA ELECTRICAL	2025 EDITION
G. CALIFORNIA ENERGY	2025 EDITION
H. CALIFORNIA FIRE	2025 EDITION
ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.	2025 EDITION
I. SANTA CLARA MUNICIPAL CODE	2025 EDITION

PROJECT CONTACT:

OWNER:
 754 Ridge Road,
 Santa Clara, CA 95051

DESIGNER:
 RAMIN ZOHOR
 LEVEL UP HOMES REMODELING INC.
 569 CLYDE AVE., STE 550
 MOUNTAIN VIEW, CA 94043
 TEL: 408-497-5071
 LIC: 1034500

BUILDER:
 HILLEL BENZRI
 LEVEL UP HOMES REMODELING INC.
 569 CLYDE AVE., STE 550
 MOUNTAIN VIEW, CA 94043
 TEL: 408-497-5071
 LIC: 1034500

STRUCTURAL:
 ADX ENGINEERING, INC.
 6525 CROWN BLVD, #41088
 SAN JOSE, CA 95169
 TEL: 408-229-3517

T24 & ENERGY:
 GM DESIGNS
 122 WENDY CT,
 UNION CITY, CA 94587
 TEL: 408-568-5677
 EMAIL: gmartinez201@gmail.com

SURVEY:
 LEA & BRACE ENGINEERING INC.
 2485 INDUSTRIAL PKWY WEST,
 HAYWARD, CA 94546
 TEL: 510-887-4086

ARBORIST:
 DAVEY RESOURCE GROUP
 A Division of The Davey Tree Expert Company
 1500 North Mantua Street
 Kent, OH 44240

DRAWING INDEX:

ARCHITECTURAL PLAN:	
A-00.01:	COVER SHEET
TOPO & BOUNDARY MAP	
A-01:	SITE PLAN CONDITIONS
L1.0:	LANDSCAPE PLAN
A-01:	FIRST FLOOR PROPOSED PLAN
A-02:	SECOND FLOOR PROPOSED PLAN
A-03:	ROOF PLAN
A-04:	WINDOW AND DOOR SCHEDULE
A-05:	PROPOSED ELEVATIONS
A-06:	PROPOSED ELEVATIONS
A-07:	PROPOSED SECTIONS
A-08:	EXTERIOR MODEL
A-09:	FAR DIAGRAM

AREA CALCULATION:

EXISTING CONDITION:
 DEMO EXISTING HOUSE FULL STRUCTURAL AT 1998 SQ.FT.

*** NEW CONDITIONS

"N" MAIN HOUSE	2065	SQ.FT.
"N" ATTACHED ADU FLR:	1000	SQ.FT. (EGRESS 1ST FLR + 2ND FLR)
"N" ADU PORCH:	15	SQ.FT.
"N" ATTACHED GARAGE:	434	SQ.FT.
"N" PORCH:	23	SQ.FT.
LOT AREA:	6700	SQF

LOT COVERAGE (NO INCLUDING ADU)
 $2065+434+23+15 / 6700 = 2537 / 6700 = 0.378 = 38.0 \%$

FIRST AND SECOND FLOOR RATIO CALCULATION
 MAXIMUM 68 %

PROPOSED 1ST FLOOR + GARAGE = $2065 + 435 = 2500 * 0.68 = 1680$ SQ.FT. ON SECOND FLR
 PROPOSED 2ND FLOOR = 1000 SQ.FT.

SCOPE OF WORK

- DEMO EXISTING SINGLE STORY HOUSE.
- NEW SINGLE FAMILY HOME WITH AN ATTACHED ADU ON THE SECOND FLOOR WITH SEPARATE ENTRANCE.
- TOTAL 3 BEDROOMS & 2 FULL BATHROOM NEW RESIDENCE.
- ATTACHED ADU TO HAVE TWO BEDROOMS AND TWO FULL BATHROOMS ON THE SECOND FLOOR.
- NEW ATTACHED TWO CARS GARAGE.
- OPEN CONCEPT KITCHEN.
- FURNACE TO BE LOCATED INSIDE THE ATTIC. HEAT PUMP.
- NEW TANK HEAT PUMP WATER HEATER.
- NEW 400 AMP ELECTRICAL PANEL.

PLUMBING NOTES: (IMPORTANT READ)

All existing non-compliant plumbing fixtures in the dwelling unit shall be replaced with water conserving fixtures as listed in the table below. Note the requirements on plans.

Fixture Type	Non-Compliant (Flow rate over)	Conserving Fixtures (Max flow rate)
Kitchen Faucet	2.2 Gal/min	1.8 Gal/min @ 60 psi
Other Faucets	2.2 Gal/min	1.2 Gal/min @ 60 psi
Shower*	2.5 Gal/min	1.8 Gal/min @ 80 psi
Water Closet	1.6 Gal/flush	1.28 Gal/flush

*Flow rates combined for all showerheads and/or other outlets controlled by a single valve. (CGBCS 4.303, California CIV 1101.41)

PERMIT NOTES:

- Applications for which no permit is issued with 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandon for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than ONE extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactivation fee shall be approximately 100% of the original permit fee, per CRC R105.5.

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

HERS NOTES:

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT, PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

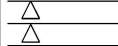
ADDITIONAL NOTES:

MINIMUM 65 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED PER CALIFORNIA GREEN BUILDING CODE SECTION 4.408.1

NEW CONSTRUCTION WITH ATTACHED ADU 754 Ridge Road, RESIDENCE

754 Ridge Rd,
 Santa Clara, CA 95051

REVISION TABLE:
 PLUMBING RESPONSE
 NUMBER 01 04/23/2025
 PLUMBING RESPONSE
 NUMBER 02 04/23/2025



Home Remodeling

DESIGNER:
 RAMIN ZOHOR
 LEVEL UP HOMES REMODELING INC.
 569 CLYDE AVE., STE 550
 MOUNTAIN VIEW, CA 94043
 TEL: 408-497-5071

SHEET TITLE:

COVER SHEET

PROJECT ID: _____
 DATE: _____
 SCALE: _____
 DRAWN BY: RAMIN ZOHOR
 LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:

A-00.01

OWNER:

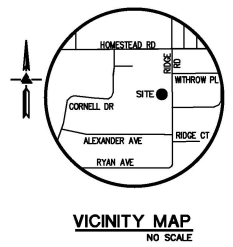
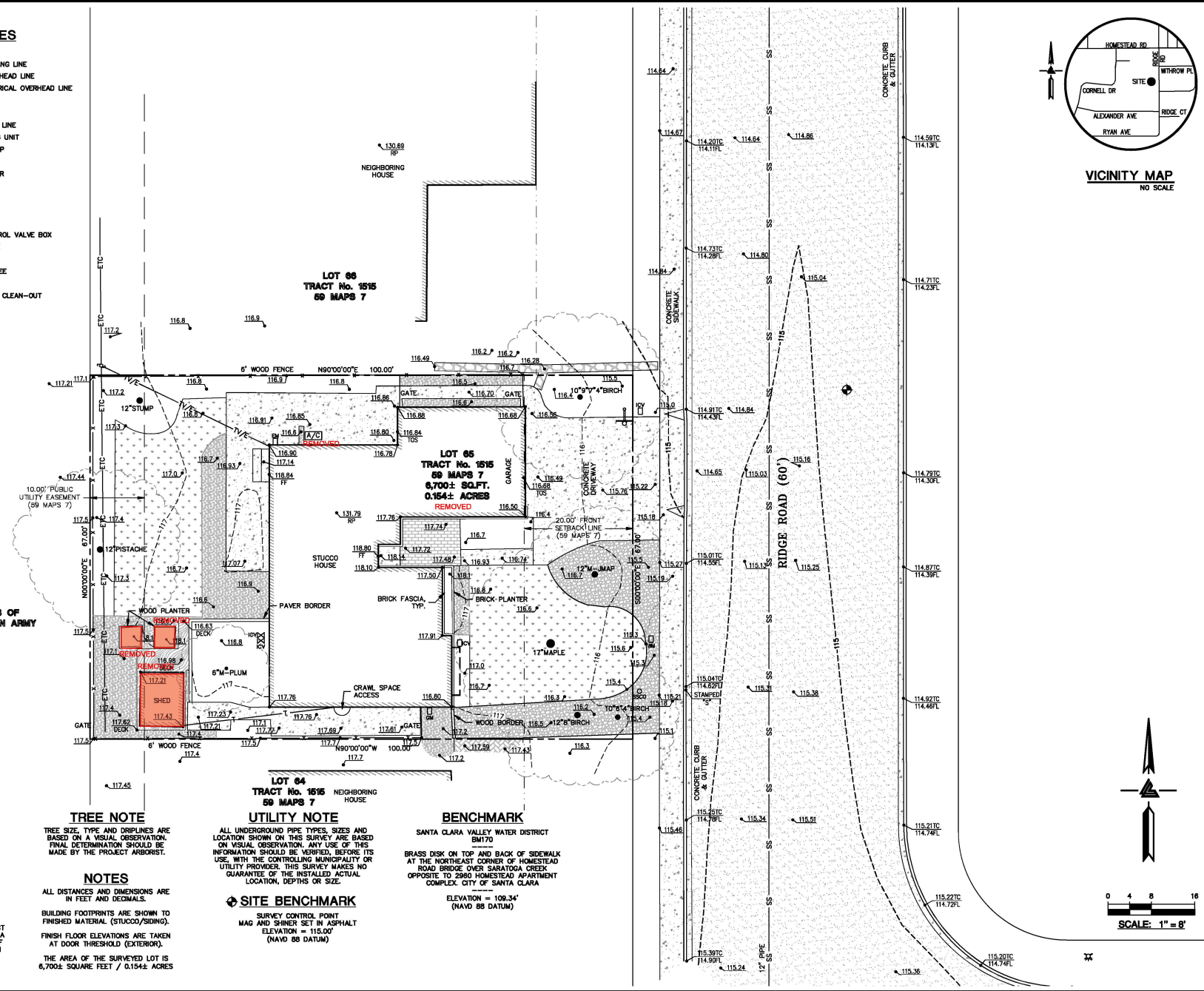
 RAMIN ZOHOR
 LEVEL UP HOMES REMODELING INC.
 TEL: 408-497-5071
 EMAIL: ZOHOR.RAMIN@GMAIL.COM

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- T TELEPHONE OVERHEAD LINE
- TV/E CABLE TV/ELECTRICAL OVERHEAD LINE
- EASEMENT
- x FENCE LINE
- SS SANITARY SEWER LINE
- A/C AIR CONDITIONING UNIT
- B BASKETBALL HOOP
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FF FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- ICV IRRIGATION CONTROL VALVE BOX
- JMAP JAPANESE MAPLE
- JP JOINT POLE
- M- TRUNK TREE
- RP ROOF PEAK
- OSSCO SANITARY SEWER CLEAN-OUT
- TC TOP OF CURB
- TOS TOP OF SLAB
- WM WATER METER
- WV WATER VALVE
- XXX.XX SPOTGRADE

- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- LAWN
- PAVERS
- RIVER ROCK
- STONE
- WOOD

LANDS OF SALVATION ARMY



LEA & BRAZEE ENGINEERING, INC.
 CIVIL ENGINEERS | LAND SURVEYORS
 REGISTRATION NO. 10000
 MAIN OFFICE: 10000 UNIVERSITY AVE
 SAN JOSE, CALIFORNIA 95138
 (415) 887-4088
 WWW.LEABRAZEE.COM

754 RIDGE ROAD
 SANTA CLARA
 CALIFORNIA

TOPOGRAPHIC SURVEY

REVISIONS	BY

JOB NO: 2251875
 DATE: 10-8-25
 SCALE: 1"=8'
 DNDY BY: RM
 FIELD BY: EH
 DRAWN BY: KF
 SHEET NO:

SU1
 1 OF 1 SHEETS

FEMA FLOOD NOTE
 FLOOD ZONE: X (SHADED)
 AREAS OF REDUCED FLOOD RISK
 1% ANNUAL CHANCE FLOOD DISCHARGE
 CONTAINED IN STRUCTURE
 FEMA FLOOD INSURANCE RATE MAP
 NO. 0605022091
 MAP REVISED: MAY 18, 2009

EASEMENT NOTE
 A CURRENT TITLE REPORT FOR THE SUBJECT
 PROPERTY HAS NOT BEEN EXAMINED BY LEA
 & BRAZEE ENGINEERING, INC. EASEMENTS OF
 RECORD MAY EXIST THAT ARE NOT SHOWN
 ON THIS MAP.
 EASEMENTS ARE SHOWN PER 59 MAPS 7

TREE NOTE
 TREE SIZE, TYPE AND DRIFLINES ARE
 BASED ON A VISUAL OBSERVATION.
 FINAL DETERMINATION SHOULD BE
 MADE BY THE PROJECT ARBORIST.

NOTES
 ALL DISTANCES AND DIMENSIONS ARE
 IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO
 FINISHED MATERIAL (STUCCO/SIDING).
 FINISH FLOOR ELEVATIONS ARE TAKEN
 AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS
 6,700± SQUARE FEET / 0.154± ACRES

UTILITY NOTE
 ALL UNDERGROUND PIPE TYPES, SIZES AND
 LOCATION SHOWN ON THIS SURVEY ARE BASED
 ON VISUAL OBSERVATION. ANY USE OF THIS
 INFORMATION SHOULD BE VERIFIED BEFORE ITS
 USE. WITH THE CONTROLLING MUNICIPALITY OR
 UTILITY PROVIDER. THIS SURVEY MAKES NO
 GUARANTEE OF THE INSTALLED ACTUAL
 LOCATION, DEPTHS OR SIZE.

SITE BENCHMARK
 SURVEY CONTROL POINT
 MAG AND SHINER SET IN ASPHALT
 ELEVATION = 115.00'
 (NAVD 88 DATUM)

BENCHMARK
 SANTA CLARA VALLEY WATER DISTRICT
 BM170
 BRASS DISK ON TOP AND BACK OF SIDEWALK
 AT THE NORTHEAST CORNER OF HOMESTEAD
 ROAD BRIDGE OVER SARATOGA CREEK
 OPPOSITE TO 2966 HOMESTEAD APARTMENT
 COMPLEX, CITY OF SANTA CLARA
 ELEVATION = 109.34'
 (NAVD 88 DATUM)

GRADING and DEMO NOTES:

- CONTACT PUBLIC WORKS FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
- ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- NA
- TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
- ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
- PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
- PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL WITH EXCEPTION:
 - IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
- (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

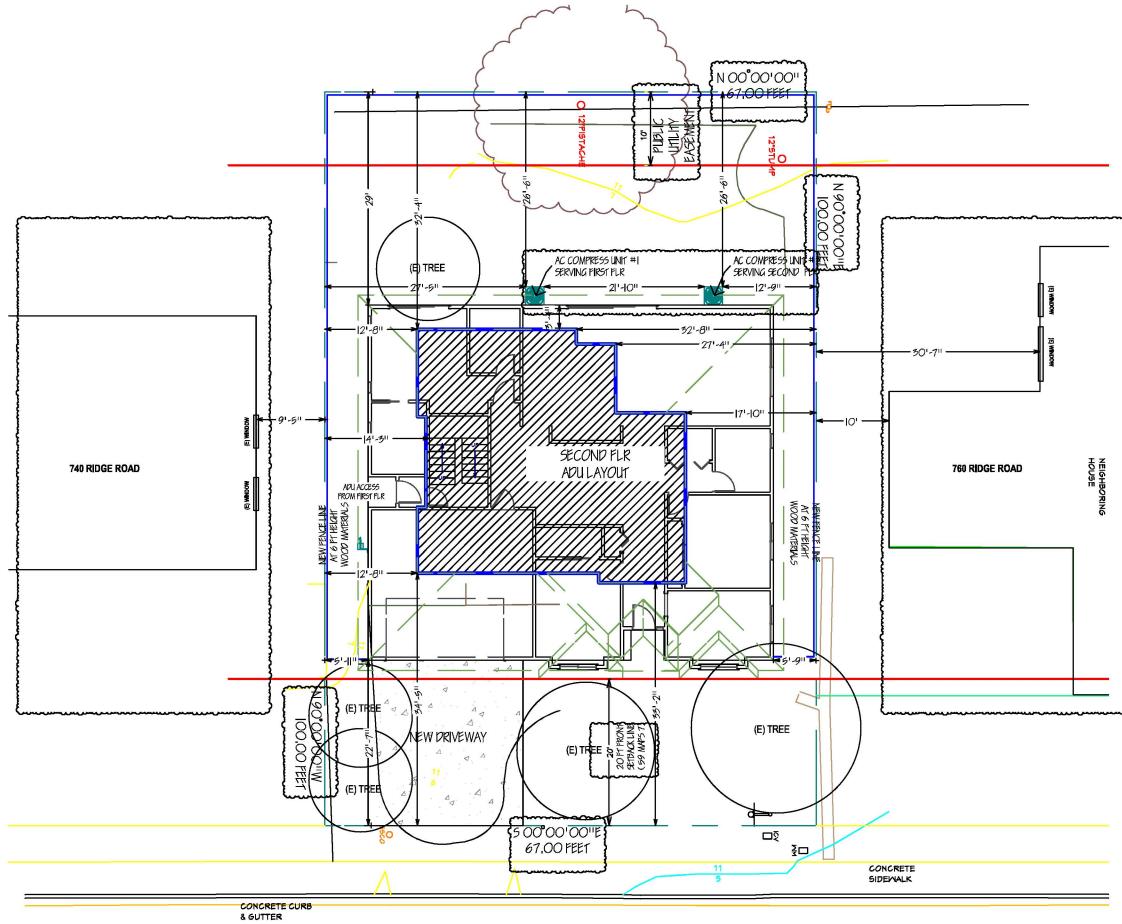
TREE PROTECTION NOTES:

- A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
- ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED, THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
- NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
- IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
- TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
- THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN, NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
- FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
- THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
- ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
- NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
- TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

1. REFER TO SHEET LI.0 FOR ALL LANDSCAPE FEATURES & LAYOUT
 2. NO ACCESSORY STRUCTURE OR SHEDS ON THE PROPERTY. ALL FIXTURES BEING REMOVED FROM EXISTING SITE AS MARKED ON THE TOPO AND BOUNDARY MAP.

LEGEND:

- PROPERTY LINE
- FENCE LINES
- EXTERIOR WALLS
- ROOF LINE
- SECOND FLR FOOTPRINT
- PUBLIC UTILITY EASEMENT



1 PROPOSE SITE PLAN
 30' : 1" = 1'-0"



NEW CONSTRUCTION WITH ATTACHED ADU
754 Ridge Road, RESIDENCE

754 Ridge Rd,
 Santa Clara, CA 95051

REVISION TABLE:	
△	PLANNING RESPONSE ROUND 01 04.12.2023
△	PLANNING RESPONSE ROUND 02 04.12.2023



DESIGNER:
 RAMIN ZOHOR
 LEVEL UP HOMES REMODELING INC.
 590 GUYER AVE., STE 500
 MOUNTAIN VIEW, CA 94043
 TEL: 408-487-5071

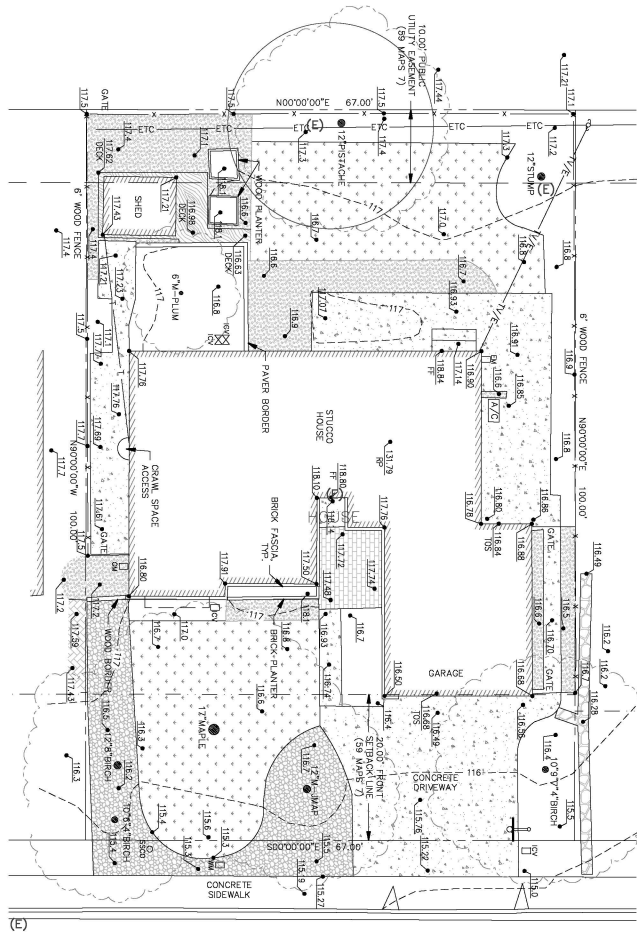
SITE PLAN CONDITIONS

PROJECT ID: _____
 DATE: _____
 SCALE: _____
 DRAWN BY: RAMIN ZOHOR
 LEVEL UP HOMES REMODELING INC.

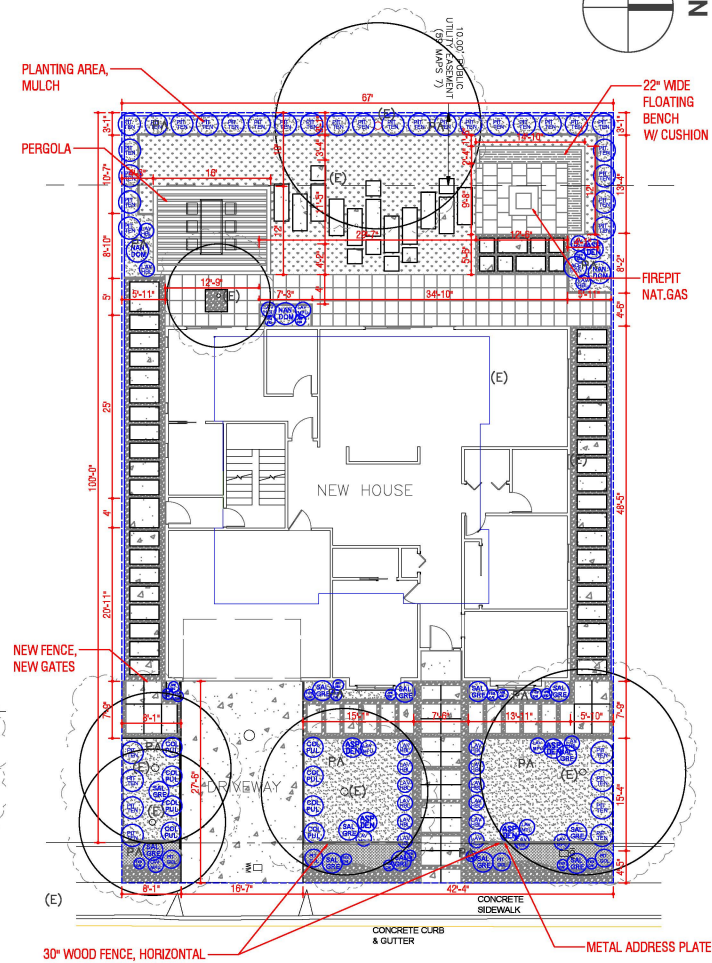
SHEET NUMBER:
A-S1

OWNERSHIP:
 RAMIN ZOHOR
 LEVEL UP HOMES REMODELING INC.
 TEL: 408-487-5071
 EMAIL: ZOHOR.RAMIN@GMAIL.COM

EXISTING



PROPOSED



LEGEND

- SYMBOL DESCRIPTION
- PROPERTY LINE
- SCOPE OF WORK – 4362 SQ.FT.
- EXISTING TREE
- PA PLANTING AREA
- (E) EXISTING REMOVE TREE

FRONT YARD

SYMBOL	NAME	SQ.FT.
PERMEABLE SURFACE AREA		
	MULCH	693
	DECOMPOSED GRANITE	93
	DECOMPOSED GRANITE	242
IMPERVIOUS SURFACE AREA		
	CONCRETE, BROOM FINISH	759
TOTAL FRONT YARD SURFACE AREA:		
		1787

BACK YARD

SYMBOL	NAME	SQ.FT.
PERMEABLE SURFACE AREA		
	MULCH	360
	SYNTHETIC TURF	487
	DECOMPOSED GRANITE	272
IMPERVIOUS SURFACE AREA		
	CONCRETE, BROOM FINISH	506
	DECK PAVERS	609
	BONFIRE PAVERS	104
TOTAL BACKYARD SURFACE AREA:		
		2338

FRONT YARD - PROPOSED:

Total Area: 1787 SQ.FT.

Impervious: 759sq.ft. - 42%

Permeable: 1028 sq.ft. - 58%

BACK YARD - PROPOSED:

Total Area: 2338 SQ.FT.

Impervious: 1219 sq.ft. - 42%

Permeable: 1119 sq.ft. - 58%

PLANT SCHEDULE

Code	Qty	Size	Botanical	Common	Water
ACE BON	1	15 gal	Acer palmatum 'Bonfire'	Bonfire Japanese Maple	Medium
ANI BIG	7	5 gal	Anguonanthos 'Big Red'	Big Red Kangaroo Paw	Low
ASP DEN	5	5 gal	Asparagus densiflorus 'Myers'	Myers Asparagus	Low
COL PUL	8	5 gal	Coleonema pulchellum 'Sunset Gold'	Golden Breath Of Heaven	Low
FES CAI	14	1 gal	Festuca 'Cool as Ice'	Cool As Ice Fescue	Low
LAV HBL	18	5 gal	Lavandula angustifolia 'Hidcote Blue'	Hidcote English Lavender	Low
LAV MPU	8	5 gal	Lavandula stoechas 'Madrid Purple'	Purple Madrid Spanish Lavender	Very Low
NAN DOM	3	15 gal	Nandina domestica	Nandina Heavenly Bamboo	Low
PT COL	4	5 gal	Pittosporum tenuifolium 'Golf Ball'	Golf Ball Kohuhu	Very Low, Low
PT TEN	35	15 gal	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Pittosporum	Low
SAL GRE	13	5 gal	Salvia greggii	Autumn Sage	Very Low



KEEP AND PROTECT EXISTING TREES

FRONTYARD SURFACE AREA PERCENTAGE CALCULATION:

SYMBOL	NAME	SQ.FT.	%
PERMEABLE SURFACE AREA			58%
	MULCH	693	
	DECOMPOSED GRANITE	93	
	DECOMPOSED GRANITE	242	
IMPERVIOUS SURFACE AREA			42%
	CONCRETE, BROOM FINISH	759	
TOTAL FRONT YARD SURFACE AREA:			100%
		1787	

OWNER/CONTRACTOR TO NOTIFY LANDSCAPE DESIGNER OF ANY DISCREPANCIES ON PLAN. LANDSCAPE DESIGNER IS NOT A PROFESSIONAL SURVEYOR AND INTENDS THESE PLANS ONLY AS AN APPROXIMATION OF ACTUAL SITE CONDITIONS



569 Clyde Ave. #550
Mountain View, CA 94033
+1 (408) 692-7203
leveluphomemodeling.com

GNUCHEV & PARTNERS
LANDSCAPE DESIGN COMPANY

706 Santa Susana St
Sunnyvale, CA 94085
+1 (650) 810 - 3793
www.gnuchev.com

APN:
293-11-005

ADDRESS:
754 Ridge Rd, Santa Clara, CA 95051

REVISIONS:

DRAWING TITLE:
LANDSCAPE PLAN

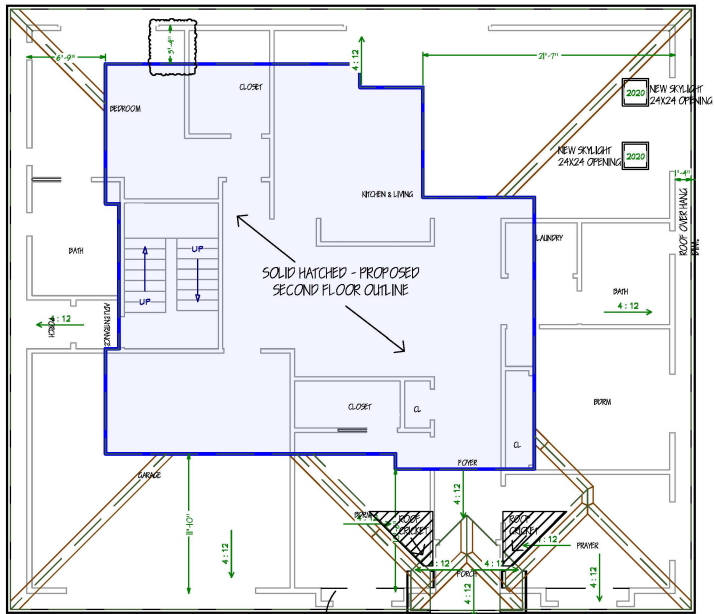
SCALE:
1/8" = 1'-0"

DRAWN BY:
VASILY GNUCHEV

ISSUE DATE:
03 / 07 / 2026

DRAWING NO.:

L1.0



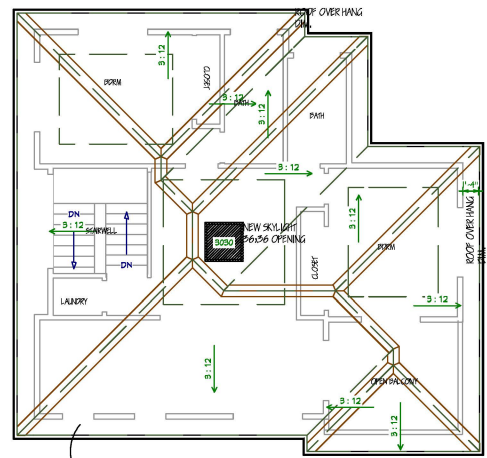
SOLID HATCHED - PROPOSED SECOND FLOOR OUTLINE

PROPOSED ROOF COMP. SHINGLES MIN CLASS 'A' WITH TWO LAYERS OF #15 UNDERLAYMENT S ALL AROUND FIRST AND SECOND FLR

ROOF PITCHED AT 4:12

PROPOSE ROOF PLAN FIRST FLOOR

SC: 1/8" = 1'-0"



PROPOSED ROOF COMP. SHINGLES MIN CLASS 'A' WITH TWO LAYERS OF #15 UNDERLAYMENT S ALL AROUND FIRST AND SECOND FLR

ROOF PITCHED AT 3:12

PROPOSE ROOF PLAN SECOND FLOOR

SC: 1/8" = 1'-0"

NEW CONSTRUCTION WITH ATTACHED ADU

754 Ridge Road, RESIDENCE

754 Ridge Rd, Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
AREA	ROUND 02 04/13/2025
AREA	PLANNING RESPONSE
AREA	ROUND 02 04/13/2025

Level UP
Home Remodeling

DESIGNER:
RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
590 GUYDE AVE., STE 500
MOUNTAIN VIEW, CA 94043
TEL: 408-487-5071

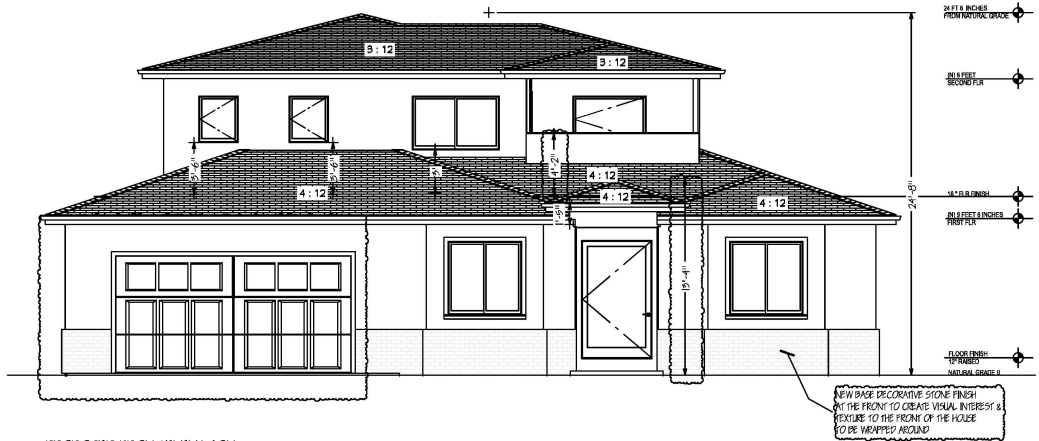
SHEET TITLE:
ROOF PLAN CONDITIONS

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:
A-03

OWNERSHIP:
Ramin Zohoor

RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-487-5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM



PROPOSED FRONT ELEVATION
 SC: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 SC: 1/4" = 1'-0"

NEW CONSTRUCTION WITH ATTACHED ADU

754 Ridge Road, RESIDENCE

754 Ridge Rd, Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
AREA	ROUND 02 04/13/2025
AREA	PLANNING RESPONSE
AREA	ROUND 02 04/13/2025
AREA	PLANNING RESPONSE
AREA	ROUND 02 04/13/2025

Level Up
Home Remodeling

DESIGNER:
 RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.
 590 CLYDE AVE., STE 500
 MOUNTAIN VIEW, CA 94043
 TEL: 408-487-5071

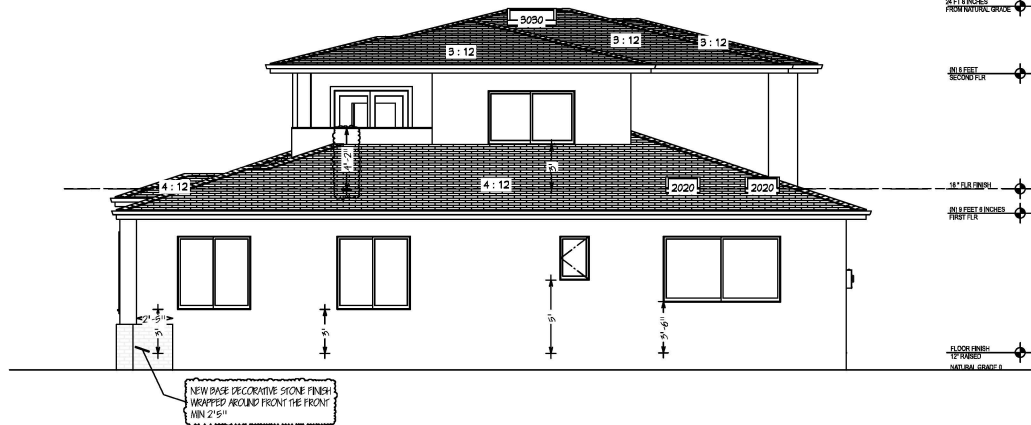
SHEET TITLE:
PROPOSED ELEVATIONS

PROJECT ID: _____
 DATE: _____
 SCALE: _____
 DRAWN BY: RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.

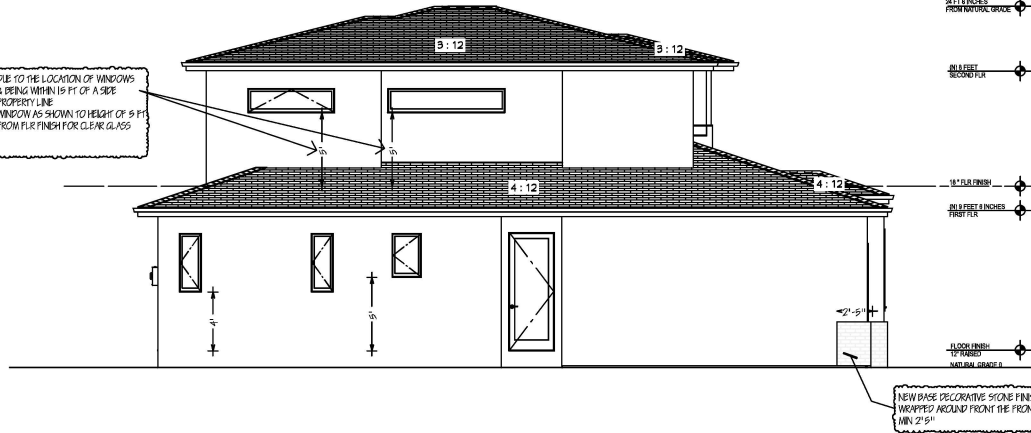
SHEET NUMBER:
A-05

OWNERSHIP:

 RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.
 TEL: 408-487-5071
 EMAIL: ZOHOOOR.RAMIN@GMAIL.COM



PROPOSED RIGHT ELEVATION
SC: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
SC: 1/4" = 1'-0"

NEW CONSTRUCTION WITH ATTACHED ADU
754 Ridge Road, RESIDENCE
754 Ridge Rd.
Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
△	ROUND 02 04.10.2025
△	ROUND 02 04.10.2025
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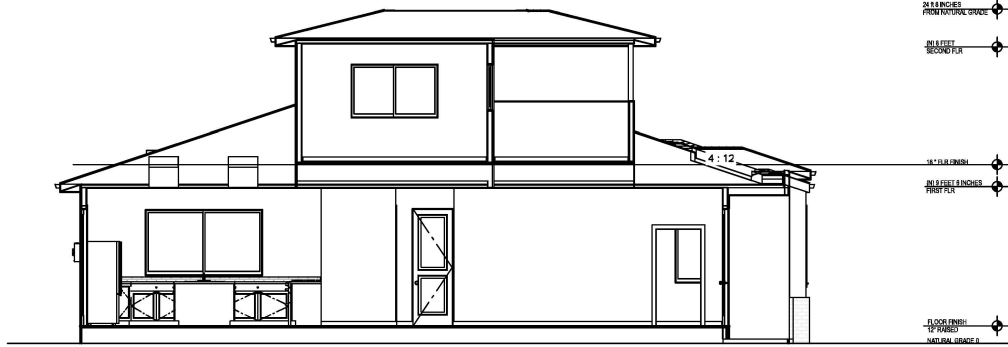


DESIGNER:
RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
650 GUYER AVE., STE 500
MOUNTAIN VIEW, CA 94043
TEL: 408-487-5071

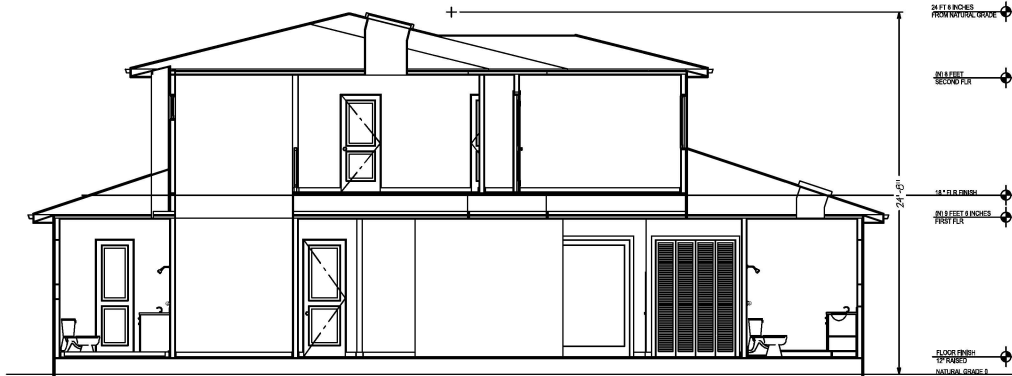
SHEET TITLE:
PROPOSED ELEVATIONS

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:
A-06
OWNERSHIP: *Ramin Zohoor*
RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-487-5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM



PROPOSED CROSS SECTION A-A
SC: 1/4" = 1'-0"



PROPOSED CROSS SECTION B-B
SC: 1/4" = 1'-0"

NEW CONSTRUCTION WITH
ATTACHED ADU
**754 Ridge Road,
RESIDENCE**
754 Ridge Rd,
Santa Clara, CA 95051

REVISION TABLE:	
△	PLANNING RESPONSE ROUND 02 04.01.2025
△	PLANNING RESPONSE ROUND 02 04.01.2025
△	PLANNING RESPONSE ROUND 02 04.01.2025



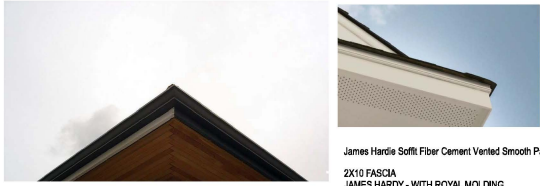
DESIGNER:
RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
690 CLYDE AVE., STE 500
MOUNTAIN VIEW, CA 94043
TEL: 408-497-5071

**PROPOSED
SECTIONS**

PROJECT ID: _____
DATE: _____
SCALE: _____
DRAWN BY: RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:
A-07

OWNERSHIP: *[Signature]*
RAMIN ZOHOOOR
LEVEL UP HOMES REMODELING INC.
TEL: 408-497-5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

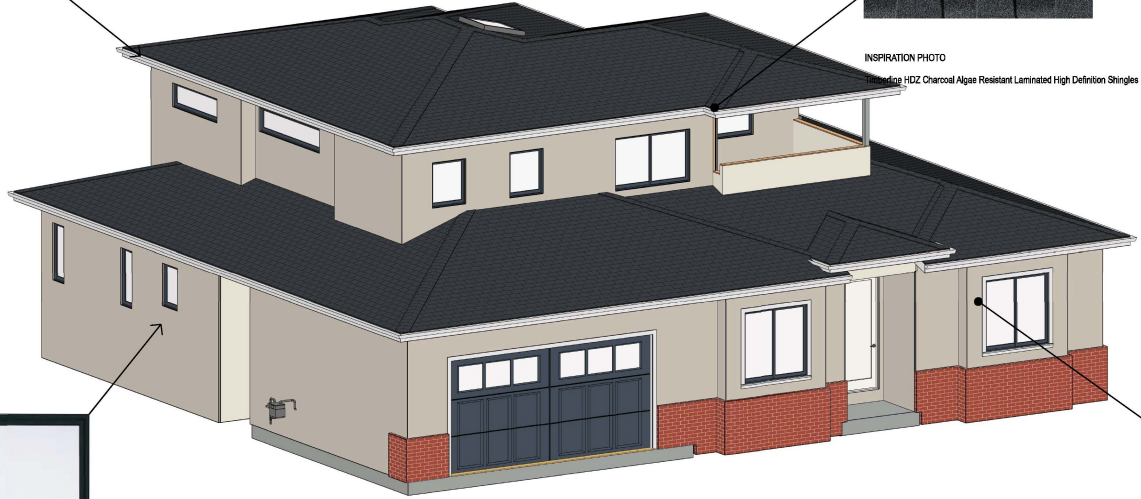


James Hardie Soffit Fiber Cement Vented Smooth Panel painted black satin finish
 2X10 FASCIA
 JAMES HARDY - WITH ROYAL MOLDING

INSPIRATION PHOTO
 EAVES
 FASCIA BOARDS AND GUTTER BLACK COLOR



INSPIRATION PHOTO
 30 Year HDZ Charcoal Algae Resistant Laminated High Definition Shingles



Milgard C650 Ultra™
 Series Spanglers windows - "black bean color"
 *ALL EXTERIOR WINDOWS TO BE FIBER GLASS
 **NO WINDOW TRIM PROPOSED
 *ALL EXTERIOR DOORS TO BE FIBER GLASS



EXTERIOR STUCCO
 BENJAMIN MOORE
 ICICLE
 P44270
 SOFT WHITE WITH MUTED GRAY-GREEN UNDERTONES

NEW CONSTRUCTION WITH ATTACHED ADU

754 Ridge Road, RESIDENCE

754 Ridge Rd.
 Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
1	ROUND 02 04/13/2025
2	PLANNING RESPONSE
3	ROUND 02 04/13/2025



DESIGNER:
 RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.
 590 G. YOE AVE., STE 550
 MOUNTAIN VIEW, CA 94043
 TEL: 408-497-5071

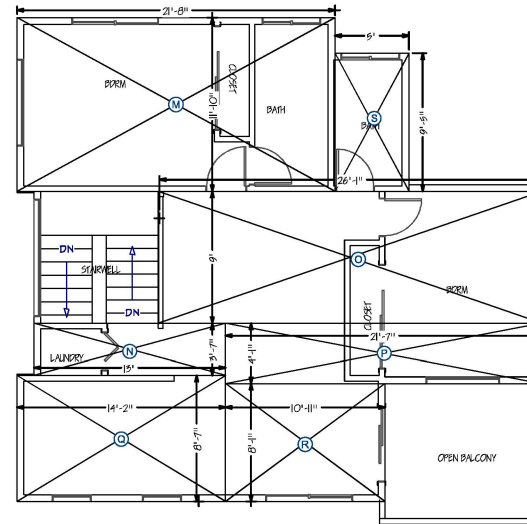
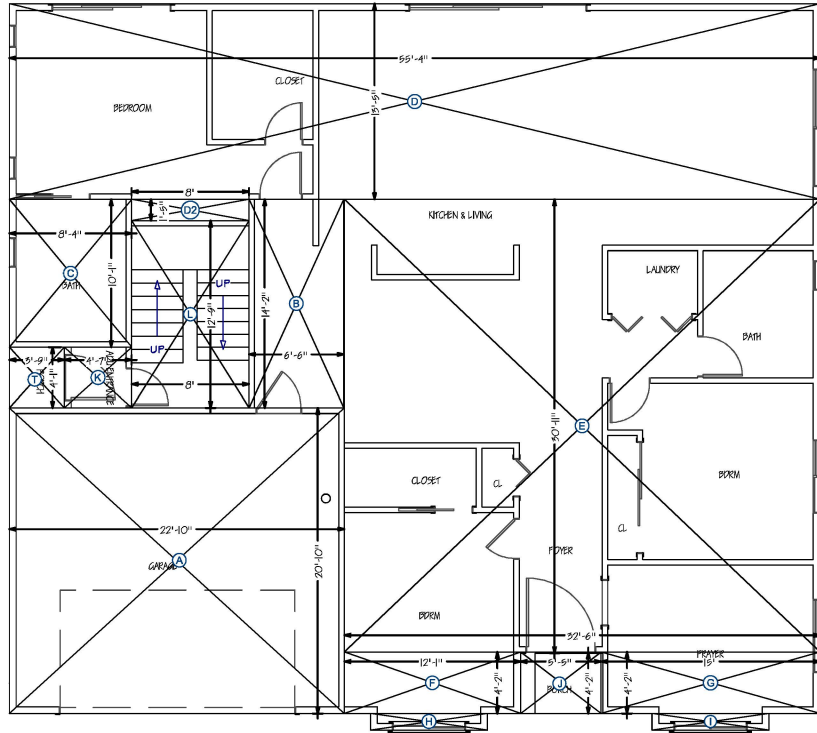
MATERIAL BOARDS

PROJECT ID: _____
 DATE: _____
 SCALE: _____
 DRAWN BY: RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:
A-08

OWNERSHIP:

 RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.
 TEL: 408-497-5071
 EMAIL: ZOHOOOR.RAMIN@GMAIL.COM



FIRST FLOOR			
CONDITION	LABEL	SIZE	AREA
GARAGE	A	20'10"X20'10"	434 GARAGE
MAIN HOUSE 1ST FLR	B	14'2"X6'6"	92 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	C	10'1"X8'4"	84 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	D	56'4"X13'5"	742 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	E	30'1"X32'6"	1006 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	F	12'1"X4'2"	50 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	G	4'2"X1'5"	63 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	H	1'2"X8'0"	9 MAIN HOUSE 1ST FLR
MAIN HOUSE 1ST FLR	J	1'2"X8'0"	9 MAIN HOUSE 1ST FLR
PORCH	J	4'2"X5'5"	23 PORCH
ADU EGRESS	K	4'7"X4'1"	19 ADU EGRESS
ADU EGRESS	L	12'0"X8'0"	102 ADU EGRESS
MAIN HOUSE 1ST FLR	DZ	8'0"X1'5"	11 MAIN HOUSE 1ST FLR
SECOND FLOOR			
CONDITION	LABEL	SIZE	AREA
ADU	M	21'8"X11'10"	256 ATTACHED ADU
ADU	N	13'0"X3'7"	46 ATTACHED ADU
ADU	O	26'1"X9'0"	234 ATTACHED ADU
ADU	P	21'7"X4'1"	88 ATTACHED ADU
ADU	Q	8'7"X14'2"	120 ATTACHED ADU
ADU	R	10'11"X8'1"	88 ATTACHED ADU
ADU	S	9'5"X5'0"	47
ADU	T	3'9"X4'1"	15 ADU PORCH
SECOND FLR ADU			1000
GARAGE			434
MAIN HOUSE 1ST FLR			2065
PORCH			23
ADU PORCH			15

NEW CONSTRUCTION WITH ATTACHED ADU
754 Ridge Road, RESIDENCE

754 Ridge Rd, Santa Clara, CA 95051

REVISION TABLE:	PLANNING RESPONSE
AREA	ROUND 01 04.10.2025
AREA	PLANNING RESPONSE
AREA	ROUND 02 04.10.2025



DESIGNER:
 RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.
 550 CLAYME AVE., STE 550
 MOUNTAIN VIEW, CA 94043
 TEL: 408-487-5071

SHEET TITLE:
FAR DIAGRAM

PROJECT ID: _____
 DATE: _____
 SCALE: _____
 DRAWN BY: RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.

SHEET NUMBER:
A-09

OWNERSHIP: *Ramin Zohoor*
 RAMIN ZOHOOOR
 LEVEL UP HOMES REMODELING INC.
 TEL: 408-487-5071
 EMAIL: ZOHOOOR.RAMIN@GMAIL.COM